

**1125 Duval St Planning Package  
Application**

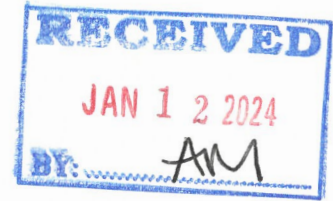


**DEVELOPMENT PLAN AND  
CONDITIONAL USE APPLICATION**  
CITY OF KEY WEST, FLORIDA • PLANNING DEPARTMENT

Address: 1300 White Street • Key West, Florida 33040

Phone: 305-809-3764

Website: [www.cityofkeywest-fl.gov](http://www.cityofkeywest-fl.gov)



Fees listed below include a \$341.78 advertising/noticing fee and a \$121.55 fire review fee where applicable. Any Major or Minor Development Plan returned to the Planning Board after initial approval will require a new application fee equivalent to one-half of the current fee schedule

Development Plan and Conditional Use Application Fee Schedule	
Development Plan	
Minor Development Plan	
Within Historic District Total Application Fee	\$ 3,745.19
Outside Historic District Total Application Fee	\$ 3,015.88
Conditional Use Total Application Fee	\$ 1,800.38
Extension Total Application Fee	\$ 1,071.07
Major Development Plan Total Application Fee	\$ 4,960.69
Conditional Use Total Application Fee	\$ 1,800.38
Extension Total Application Fee	\$ 1,071.07
Administrative Modification Fee	\$ 882.00
Minor Modification Fee	\$ 1,681.31
Major Modification Fee	\$ 2,839.21
Conditional Use (not part of a development plan) Total Application Fee	\$ 3,502.09
Extension (not part of a development plan) Total Application Fee	\$ 1,071.07
Revision or Addition (not part of a development plan) Fee	\$ 2,205.00

**Applications will not be accepted unless complete**

<u>Development Plan</u>	<u>Conditional Use</u>	<u>Historic District</u>
Major _____	_____	Yes <u>x</u> _____
Minor <u>X</u> _____		No _____

Please print or type:

- 1) Site Address: 1125 Duval Street, Key West, Florida 33040
- 2) Name of Applicant: Oropeza, Stones & Cardenas, PLLC
- 3) Applicant is:  
Property Owner: \_\_\_\_\_  
Authorized Representative: X \_\_\_\_\_  
(attached Authorization and Verification Forms must be completed)
- 4) Address of Applicant: 221 Simonton Street, Key West, FL 33040
- 5) Applicant's Phone #: 305-294-0252 Email: greg@oropezastonescardenas.com
- 6) **Email Address:** greg@oropezastonescardenas.com; lisa@oropezastonescardenas.com
- 7) Name of Owner, if different than above: Patrick T. Hegarty and Christopher J. Rounds
- 8) Address of Owner: 1125 Duval Street, Key West, Florida 33040



9) Owner Phone #: c/o (305) 294-0252 Email: c/o greg@oropezastonescardenas.com  
 10) Zoning District of Parcel: HRCC-3 RE# 00027870-000000

11) Is Subject Property located within the Historic District? Yes  No

If Yes: Date of approval \_\_\_\_\_

HARC approval # \_\_\_\_\_

OR: Date of meeting \_\_\_\_\_

12) Description of Proposed Development and Use. Please be specific, list existing and proposed buildings and uses, number of dwelling units, parking, restaurant seats, vehicles proposed, etc. If there is more than one use, describe in detail the nature of each use (Give concise description here and use a separate sheet if necessary).

The Proposed Development provides for the addition of 500 square feet of non-residential gross floor area.

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13) Has subject Property received any variance(s)? Yes \_\_\_\_\_ No

If Yes: Date of approval \_\_\_\_\_ Resolution # \_\_\_\_\_

Attach resolution(s).

14) Are there any easements, deed restrictions or other encumbrances on the subject property?

Yes \_\_\_\_\_ No

If Yes, describe and attach relevant documents.

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A. For both *Conditional Uses* and *Development Plans*, provide the information requested from the attached **Conditional Use and Development Plan** sheet.

B. For *Conditional Uses* only, also include the **Conditional Use Criteria** required under Chapter 122, Article III, Sections 122-61 and 122-62 of the Land Development Regulations (see attached copy of criteria).

C. For *Major Development Plans* only, also provide the **Development Plan Submission Materials** required under Chapter 108, Article II, Division 7, Sections 108-226 through 108-248 of the Land Development Regulations (see attached copy of criteria) and any additional information as determined by the Planning Staff.

D. For both *Conditional Uses* and *Development Plans*, one set of plans MUST be signed & sealed by an Engineer or Architect.

Please note, development plan and conditional use approvals are quasi-judicial hearings, and it is improper to speak to a Planning Board member or City Commissioner about the project outside of the hearing.

### **Required Plans and Related Materials for both a Conditional Use and Minor/Major Development Plan**

I. **Existing Conditions.**

- A) Recent Survey of the site by a licensed Surveyor (Survey must be within 10 years from submittal date of this application) showing all dimensions including distances from property lines, and including:
- 1) Size of site;
  - 2) Buildings, structures, and parking;
  - 3) FEMA Flood Zone;
  - 4) Topography;
  - 5) Easements; and
  - 6) Location of Utility Lines (sewer, water, electric, cable) adjacent and extending into the site.
- B) Existing size, type and location of trees, hedges, and other features.
- C) Existing stormwater retention areas and drainage flows.
- D) A sketch showing adjacent land uses, buildings, and driveways.

II. **Proposed Development:** Plans at 11" X 17" (10,000 Sq. ft. or less); 24" X 36" if site is over 10,000 sq. ft.

- A) Site Plan to scale of with north arrow and dimensions by a licensed architect or engineer.
- 1) Buildings
  - 2) Setbacks
  - 3) Parking:
    - a. Number, location and size of automobile and bicycle spaces
    - b. Handicapped spaces
    - c. Curbs or wheel stops around landscaping
    - d. Type of pavement
  - 4) Driveway dimensions and material
  - 5) Location of Utility Lines (sewer, water, electric, cable) adjacent and extending into the site.
  - 6) Location of garbage and recycling
  - 7) Signs
  - 8) Lighting
  - 8) Project Statistics:
    - a. Zoning
    - b. Size of site
    - c. Number of units (or units and Licenses)
    - d. If non-residential, floor area & proposed floor area ratio
    - e. Consumption area of restaurants & bars
    - f. Open space area and open space ratio
    - g. Impermeable surface area and impermeable surface ratio
    - h. Number of automobile and bicycle spaces required and proposed
- B) Building Elevations
- 1) Drawings of all building from every direction. If the project is in the Historic District, please submit HARC approved site plans.
  - 2) Height of building.
  - 3) Finished floor elevations and bottom of first horizontal structure
  - 4) Height of existing and proposed grades
- C) Drainage Plan: Existing & Proposed retention areas and calculations approved by the City Engineer. See one of the attached commercial and residential use Stormwater Retention Forms.
- D) Landscape Plan: Size, type, location and number of plants to be removed, kept, and installed. The plan must be approved by the City Landscape Coordinator through a letter of approval. If the project is a Major Development Plan a landscape design prepared by a licensed Landscape Architect is required per Section 108-511(b) of the Land Development Regulations.

- III. **Solutions Statement.** Aspects of the design that address community issues including but not limited to water pollution from stormwater runoff, potable water conservation, waste disposal, recycling, energy conservation, affordable housing, and impacts on neighbors such as lighting, noise, traffic and parking.

## **Development Plan Submission Materials**

### **Sec. 108-226. Scope.**

A development plan, for the purposes of this division, shall include but not necessarily be limited to the requirements in this division. With the exception of sections 108-227 through 108-229, the city planner may waive or modify requirements, information and specific performance criteria for development plan review after rendering a finding in writing that such requirements:

- (1) Are not necessary prior to development plan approval in order to protect the public interest or adjacent properties.
- (2) Bear no relationship to the proposed project or its impacts; and
- (3) Are found to be impractical based on the characteristics of the use, including the proposed scale, density/intensity, and anticipated impacts on the environment, public facilities and adjacent land uses.

### **Sec. 108-227. Title block.**

The development plan shall contain the following pertaining to the title block:

- (1) Name of development.
- (2) Name of owner/developer.
- (3) Scale.
- (4) North arrow.
- (5) Preparation and revision date.
- (6) Location/street address of development.

### **Sec. 108-228. Identification of key persons.**

The development plan shall contain the following pertaining to identification of key persons:

- (1) Owner.
- (2) Owner's authorized agent.
- (3) Engineer and architect.
- (4) Surveyor.
- (5) Landscape architect and/or environmental consultant.
- (6) Others involved in the application.
- (7) A verified statement showing each and every individual person having a legal and/or equitable ownership interest in the subject property, except publicly held corporations whose stock is traded on a nationally recognized stock exchange, in which case the names and addresses of the corporation and principal executive officers together with any majority stockholders will be sufficient.

### **Sec. 108-229. Project description.**

Project description should be included on the site plan sheet. The development plan shall contain the following pertaining to the project description:

- (1) Zoning (include any special districts).
- (2) Project site size (acreage and/or square footage).
- (3) Legal description.
- (4) Building size.
- (5) Floor area ratio permitted and proposed.
- (6) Lot coverage permitted and proposed.
- (7) Impervious surface.
- (8) Pervious surface.
- (9) Landscape areas.
- (10) Parking spaces permitted and proposed.
- (11) Delineation of location of existing and proposed structures.
- (12) Existing and proposed development type denoted by land use including density/intensity.
- (13) Setbacks.

**Sec. 108-230. Other project information.**

A general outline of the proposed development shall include the following criteria where applicable:

- (1) Proposed stages or phases of development or operation and facility utilization.
- (2) Target dates for each phase.
- (3) Expected date of completion.
- (4) Proposed development plan for the site.
- (5) A written description of characteristics of the proposed development (i.e., number and type of residential units; floor area by land use; number of tourist accommodations units; seating or parking capacities; number of hospitalbeds; any proposed outside facilities or areas to be used for storage, display, outside sales, waste disposal or similar use; and any other proposed uses).
- (6) For planned unit developments, indicate design techniques (i.e., clustering, zero lot line, or other techniques) used to reduce public facility costs, reduce disturbance of natural resources, and preserve scenic quality of the site.
- (7) Buildings and sitting specifications which shall be utilized to reduce damage potential and to comply with federal flood insurance regulations.
- (8) Protection against encroachment together with proposed mitigation measures to be employed within environmentally sensitive areas.

**Sec. 108-231. Residential developments.**

- (a) If the development includes residential units, the following characteristics shall be discussed in the written description:
  - (1) A breakdown of the proposed residential units by number of bedrooms.
  - (2) Tenure (i.e., owner-occupied or rental); and
  - (3) Structure type, such as single-family, duplex, multiple-family, mobile home.
- (b) Refer to division 10 of article V of chapter 122 for information and legal instruments needed to satisfy the city's affordable housing requirements.

**Sec. 108-232. Intergovernmental coordination.**

The development plan shall contain the following pertaining to intergovernmental coordination:

- (1) Provide proof of coordination with applicable local, regional, state and federal agencies, including but not limited to the following agencies that will be involved in the project:
  - a. South Florida Regional Planning Council (SFRPC).
  - b. City electric system (CES).
  - c. State department of environmental protection (DEP).
  - d. Army Corps of Engineers (ACOE).
  - e. South Florida Water Management District (SFWMD).
  - f. State department of transportation (DOT).
  - g. State department of community affairs (DCA).
  - h. Florida Keys Aqueduct Authority (FKAA).
  - i. State fish and wildlife conservation commission (F&GC).
  - j. The county.
- (2) Provide evidence that any necessary permit, lease or other permission from applicable local, regional, state and federal agencies has been obtained for any activity that will impact wetland communities or submerged land.
- (3) When intergovernmental coordination efforts are incomplete, the applicant shall provide evidence of good faith efforts towards resolving intergovernmental coordination issues.

**CONDITIONAL USE CRITERIA**

**Sec. 122-61. Purpose and intent**

The purpose of this article is to ensure that a conditional use shall only be permitted on specific sites where the proposed use may be adequately accommodated without generating adverse impacts on properties and land uses within the immediate vicinity. This article sets forth provisions and criteria for consideration of conditional uses on specific sites. Conditional uses shall be permitted only upon a finding that the proposed use satisfies this article.

**Sec. 122-62. Specific criteria for approval.**

- (a) Findings. A conditional use shall be permitted upon a finding by the planning board that the proposed use, application and, if applicable, development plan complies with the criteria specified in this section, including specific conditions established by the planning board and or the city commission during review of the respective application in order to ensure compliance with the comprehensive plan and land development regulations. If the proposed conditional use is a major development pursuant to sections 108-165 and 108-166, the city commission shall render the final determination pursuant to section 122-63. A conditional use shall be denied if the city determines that the proposed use does not meet the criteria provided in this section and, further, that the proposed conditional use is adverse to the public's interest. An application for a conditional use shall describe how the specific land use characteristics proposed meet the criteria described in subsection (c) of this section and shall include a description of any measures proposed to mitigate against possible adverse impacts of the proposed conditional use on properties in the immediate vicinity.
- (b) Characteristics of use described. The following characteristics of a proposed conditional use shall be clearly described as part of the conditional use application:
- (1) Scale and intensity of the proposed conditional use as measured by the following:
    - a. Floor area ratio;
    - b. Traffic generation;
    - c. Square feet of enclosed building for each specific use;
    - d. Proposed employment;
    - e. Proposed number and type of service vehicles; and
    - f. Off-street parking needs.
  - (2) On- or off-site improvement needs generated by the proposed conditional use and not identified on the list in subsection (b)(1) of this section including the following:
    - a. Utilities;
    - b. Public facilities, especially any improvements required to ensure compliance with concurrency management as provided in chapter 94;
    - c. Roadway or signalization improvements, or other similar improvements;
    - d. Accessory structures or facilities; and
    - e. Other unique facilities/structures proposed as part of site improvements.
  - (3) On-site amenities proposed to enhance site and planned improvements. Amenities including mitigative techniques such as:
    - a. Open space;
    - b. Setbacks from adjacent properties;
    - c. Screening and buffers;
    - d. Landscaped berms proposed to mitigate against adverse impacts to adjacent sites; and
    - e. Mitigative techniques for abating smoke, odor, noise, and other noxious impacts
- (c) Criteria for conditional use review and approval. Applications for a conditional use shall clearly demonstrate the following:
- (1) Land use compatibility. The applicant shall demonstrate that the conditional use, including its proposed scale and intensity, traffic-generating characteristics, and off-site impacts are compatible and harmonious with adjacent land use and will not adversely impact land use activities in the immediate vicinity.
  - (2) Sufficient site size, adequate site specifications, and infrastructure to accommodate the proposed use. The size and shape of the site, the proposed access and internal circulation, and the urban design enhancements must be adequate to accommodate the proposed scale and intensity of the conditional use requested. The site shall be of sufficient size to accommodate urban design amenities such as screening, buffers, landscaping, open space, off-street parking, efficient internal traffic circulation, infrastructure (i.e., refer to chapter 94 to ensure concurrency management requirements are met) and similar site plan improvements needed to mitigate against potential adverse impacts of the proposed use.

- (3) Proper use of mitigative techniques. The applicant shall demonstrate that the conditional use and site plan have been designed to incorporate mitigative techniques needed to prevent adverse impacts to adjacent land uses. In addition, the design scheme shall appropriately address off-site impacts to ensure that land use activities in the immediate vicinity, including community infrastructure, are not burdened with adverse impacts detrimental to the general public health, safety and welfare.
- (4) Hazardous waste. The proposed use shall not generate hazardous waste or require use of hazardous materials in its operation without use of city-approved mitigative techniques designed to prevent any adverse impact to the general health, safety and welfare. The plan shall provide for appropriate identification of hazardous waste and hazardous material and shall regulate its use, storage and transfer consistent with best management principles and practices. No use which generates hazardous waste or uses hazardous materials shall be located in the city unless the specific location is consistent with the comprehensive plan and land development regulations and does not adversely impact wellfields, aquifer recharge areas, or other conservation resources.
- (5) Compliance with applicable laws and ordinances. A conditional use application shall demonstrate compliance with all applicable federal, state, county, and city laws and ordinances. Where permits are required from governmental agencies other than the city, these permits shall be obtained as a condition of approval. The city may affix other conditions to any approval of a conditional use in order to protect the public health, safety, and welfare.
- (6) Additional criteria applicable to specific land uses. Applicants for conditional use approval shall demonstrate that the proposed conditional use satisfies the following specific criteria designed to ensure against potential adverse impacts which may be associated with the proposed land use:
  - a. Land uses within a conservation area. Land uses in conservation areas shall be reviewed with emphasis on compliance with section 108-1 and articles III, IV, V, VII and VIII of chapter 110 pertaining to environmental protection, especially compliance with criteria, including land use compatibility and mitigative measures related to wetland preservation, coastal resource impact analysis and shoreline protection, protection of marine life and fisheries, protection of flora and fauna, and floodplain protection. The size, scale and design of structures located within a conservation area shall be restricted in order to prevent and/or minimize adverse impacts on natural resources. Similarly, public uses should only be approved within a wetland or coastal high hazard area V zone when alternative upland locations are not feasible on an upland site outside the V zone.
  - b. Residential development. Residential development proposed as a conditional use shall be reviewed for land use compatibility based on compliance with divisions 2 through 14 of article IV and divisions 2 and 3 of article V of this chapter pertaining to zoning district regulations, including size and dimension regulations impacting setbacks, lot coverage, height, mass of building, building coverage, and open space criteria. Land use compatibility also shall be measured by appearance, design, and land use compatibility criteria established in chapter 102; articles III, IV and V of chapter 108; section 108-956; and article II of chapter 110; especially protection of historic resources; subdivision of land; access, internal circulation, and off-street parking; as well as possible required mitigative measures such as landscaping and site design amenities.
  - c. Commercial or mixed-use development. Commercial or mixed-use development proposed as a conditional use shall be reviewed for land use compatibility based on compliance with divisions 2 through 14 of article IV and divisions 2 and 3 of article V of this chapter pertaining to zoning district regulations, including size and dimension regulations impacting floor area ratio, setbacks, lot coverage, height, mass of buildings, building coverage, and open space criteria. Land use compatibility also shall be measured by appearance, design, and land use compatibility criteria established in chapter 102; articles I, II, IV and V of chapter 108; section 108-956; and article II of chapter 110; especially protection of historic resources; subdivision of land; access, pedestrian access and circulation; internal vehicular circulation together with access and egress to the site, and off-street parking; as well as possible required mitigative measures such as landscaping, buffering, and other site design amenities. Where commercial or mixed-use development is proposed as a conditional use adjacent to U.S. 1, the development shall be required to provide mitigative measures to avoid potential adverse impacts to traffic flow along the U.S. 1 corridor, including but not limited to restrictions on access from and egress to U.S. 1, providing for signalization, acceleration and deceleration lanes, and/or other appropriate mitigative measures.
  - d. Development within or adjacent to historic district. All development proposed as a conditional use within or



adjacent to the historic district shall be reviewed based on applicable criteria stated in this section for residential, commercial, or mixed use development and shall also comply with appearance and design guidelines for historic structures and contributing structures and/or shall be required to provide special mitigative site and structural appearance and design attributes or amenities that reinforce the appearance, historic attributes, and amenities of structures within the historic district.

- e. Public facilities or institutional development. Public facilities or other institutional development proposed as a conditional use shall be reviewed based on land use compatibility and design criteria established for commercial and mixed-use development. In addition, the city shall analyze the proposed site location and design attributes relative to other available sites and the comparative merits of the proposed site, considering professionally accepted principles and standards for the design and location of similar community facilities and public infrastructure. The city shall also consider compliance with relevant comprehensive plan assessments of community facility and infrastructure needs and location impacts relative to service area deficiencies or improvement needs.
- f. Commercial structures uses and related activities within tidal waters. The criteria for commercial structures, uses and related activities within tidal waters are as provided in section 122-1186.
- g. Adult entertainment establishments. The criteria for adult entertainment establishments are as provided in division 12 of article V of this chapter.

# **Drainage Plan**

## SITE CIVIL

Digitally signed  
by Allen E  
Perez  
Date: 2024.01.11  
09:59:03-05'00'



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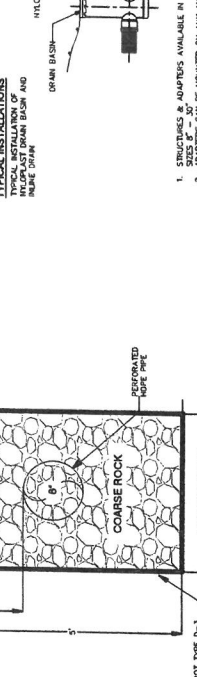
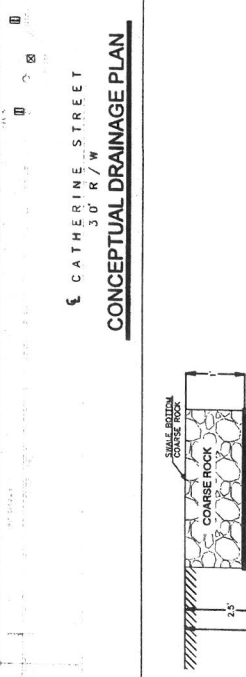
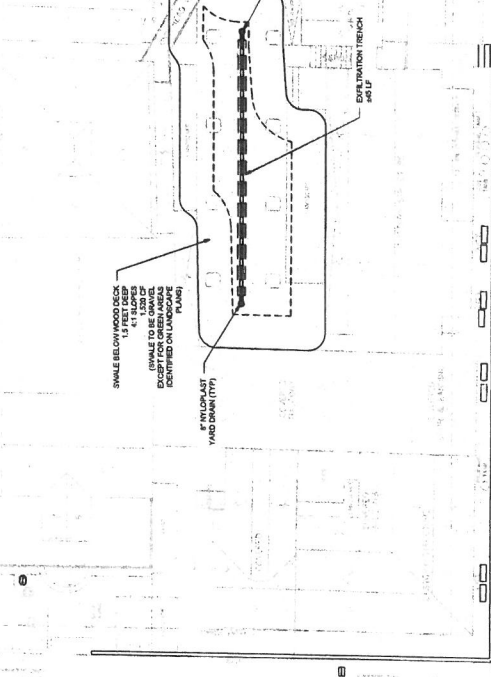


SCALE 1"=10'  
NOT TWO INCHES ON ORIGINAL DRAWINGS IF NOT TWO INCHES ON THIS PRINT. ADJUST SCALES

Water Quality Calculations - 25%/25th Drainage Storm	
Area	17,348
Impervious Area	11,138
Permeable Area	6,210
% Impervious	64.1%
Peak Flow for 25%/25th event	12.23
Depth to Water Table	4
Soil Storage	6
Soil Storage	2.09
Soil Storage	0.30
Soil Storage	3.79
Soil Storage	3.88
Soil Storage	0.40
Soil Storage	0.15
Soil Storage	0.15

Water Quality Characteristics	
Project Area	17,348
Impervious Area	11,138
Permeable Area	6,210
% Impervious	64.1%
Peak Flow for 25%/25th event	12.23
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Soil Storage	6
Soil Storage	2.09
Soil Storage	0.30
Soil Storage	3.79
Soil Storage	3.88
Soil Storage	0.40
Soil Storage	0.15
Soil Storage	0.15

Stormwater Treatment Volume Summary	
Trench Volume (10" L.S.W. @ 0.08% SLO)	1,440
Average Trench Width (W)	6
Average Trench Depth (D)	48
Length of Trench (L)	200.00
Trench Volume Provided	200.00
Volume Required	1,440
Exfiltration Trench Volume	200.00
Total Volume Provided	1,440



1. STRUCTURES & ADAPTERS AVAILABLE IN NYLOPLAST CAN BE MOUNTED ON ANY ANGLE
2. ADAPTERS CAN BE CUSTOM MANUFACTURED
3. DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS

NOTES:  
1. COARSE ROCK SHALL BE NO. 57 STONE.

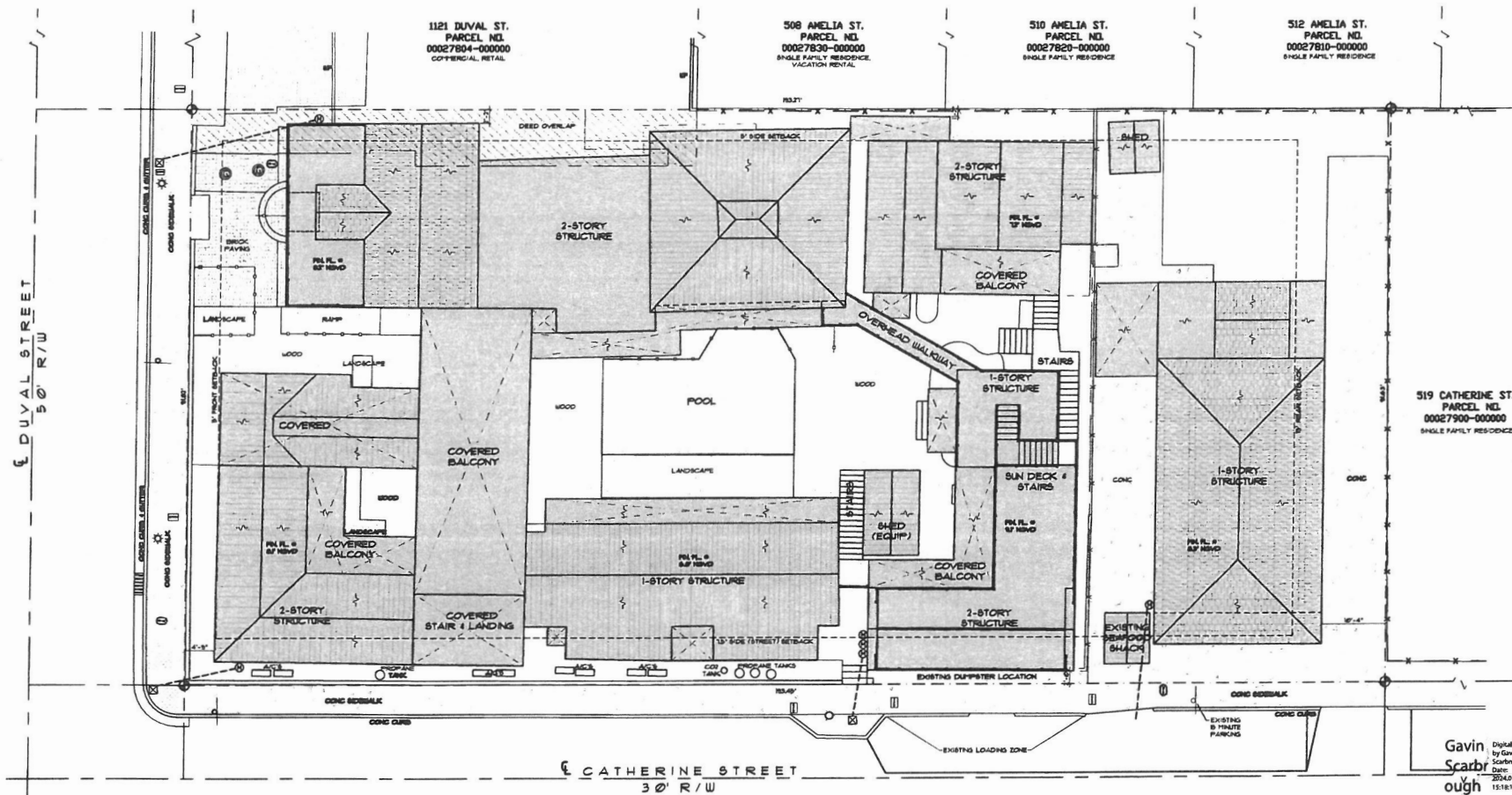
PRELIMINARY - NOT FOR CONSTRUCTION

# Floor Plans

FLOOR PLANS, SITE PLANS AND LANDSCAPE PLANS

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CATHERINE ST HOUSE FLOOR PLAN	A12
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CATHERINE ST HOUSE EXTERIOR ELEVATIONS	A22



Existing Site Plan



sheet:  
**A0.1**

POPE-SCARBROUGH-ARCHITECTS  
THOMAS E. POPE, P.A.  
(305) 296 3611 610 White St., Key West FL

LaTeDa Resort  
1125 Duval & 515 Catherine Key West, FL

Gavin Scarbrough  
date: 01/15/24  
revision:

LaTeDa Resort		
Zoning		HRCC-3
Flood Zone	AE G (FUTURE AE 2)	
Design Flood Elevation	BFE+3'	9.0'
Site Area		17,736
Site Area (Ac)		0.41
Max Lot Coverage	50%	8,868.0
Existing Lot Coverage	57.4%	10,180.0
Proposed Lot Coverage	55.7%	9,876.0
Max Impervious Area	60%	10,641.6
Existing Impervious Area	62.7%	11,126.0
Proposed Impervious Area	56.5%	10,022.0
Min Open Space Ratio	0.20	3,547.2
Existing Open Space	0.15	2,712.0
Proposed Open Space	0.16	2,800.0
Max Floor Area Ratio	0.50	8,868.0
Existing Floor Area Ratio	0.39	6,961.0
Proposed Floor Area Ratio	0.44	7,779.0

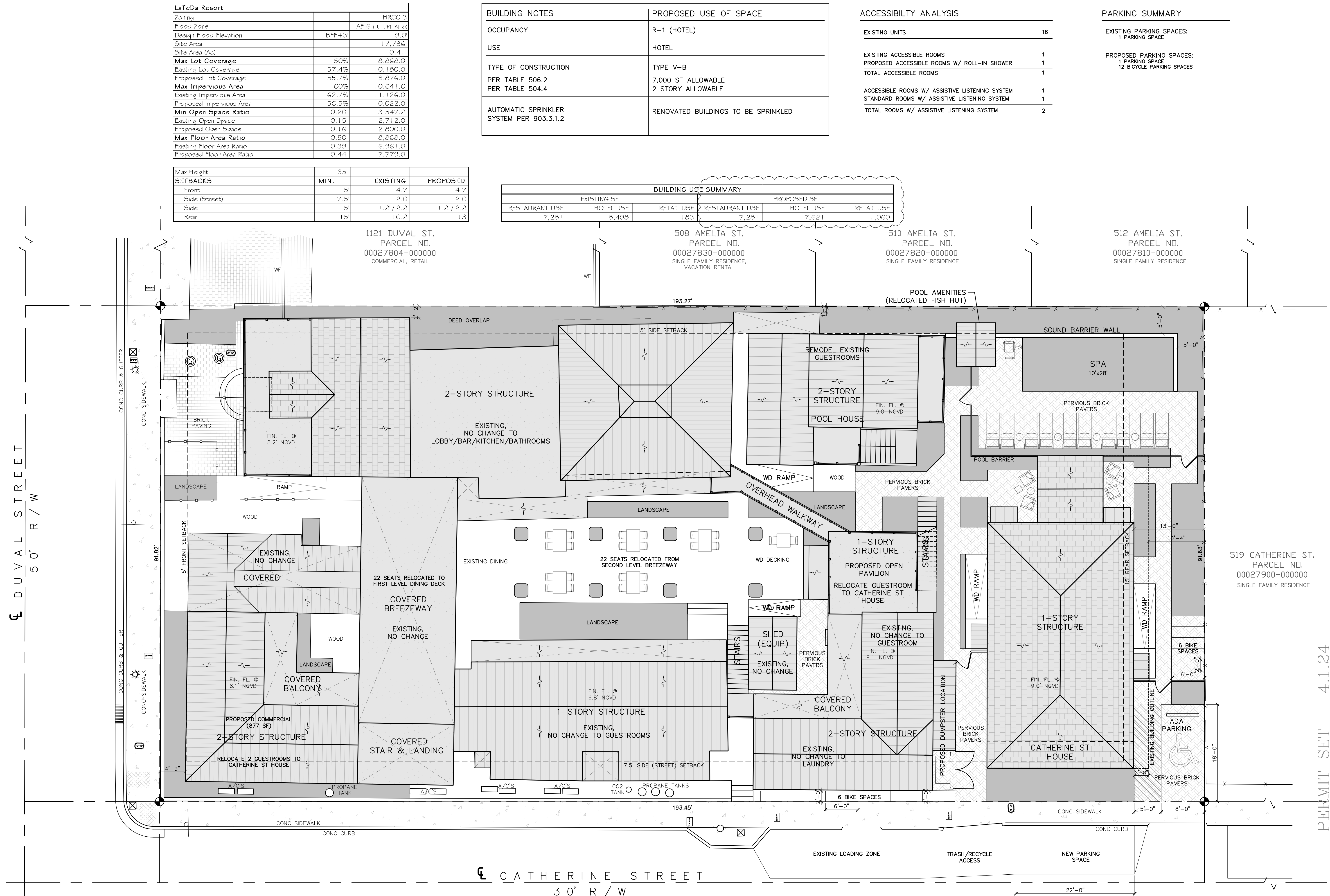
SETBACKS	MIN.	EXISTING	PROPOSED
Front	5'	4.7'	4.7'
Side (Street)	7.5'	2.0'	2.0'
Side	5'	1.2' / 2.2'	1.2' / 2.2'
Rear	15'	10.2'	13'

BUILDING NOTES	PROPOSED USE OF SPACE
OCCUPANCY	R-1 (HOTEL)
USE	HOTEL
TYPE OF CONSTRUCTION	TYPE V-B
PER TABLE 506.2	7,000 SF ALLOWABLE
PER TABLE 504.4	2 STORY ALLOWABLE
AUTOMATIC SPRINKLER SYSTEM PER 903.3.1.2	RENOVATED BUILDINGS TO BE SPRINKLED

ACCESSIBILITY ANALYSIS	
EXISTING UNITS	16
EXISTING ACCESSIBLE ROOMS	1
PROPOSED ACCESSIBLE ROOMS W/ ROLL-IN SHOWER	1
TOTAL ACCESSIBLE ROOMS	1
ACCESSIBLE ROOMS W/ ASSISTIVE LISTENING SYSTEM	1
STANDARD ROOMS W/ ASSISTIVE LISTENING SYSTEM	1
TOTAL ROOMS W/ ASSISTIVE LISTENING SYSTEM	2

PARKING SUMMARY	
EXISTING PARKING SPACES:	1 PARKING SPACE
PROPOSED PARKING SPACES:	1 PARKING SPACE 12 BICYCLE PARKING SPACES

BUILDING USE SUMMARY					
EXISTING SF			PROPOSED SF		
RESTAURANT USE	HOTEL USE	RETAIL USE	RESTAURANT USE	HOTEL USE	RETAIL USE
7,281	8,498	183	7,281	7,621	1,060



1121 DUVAL ST.  
PARCEL NO.  
00027804-000000  
COMMERCIAL, RETAIL

508 AMELIA ST.  
PARCEL NO.  
00027830-000000  
SINGLE FAMILY RESIDENCE,  
VACATION RENTAL

510 AMELIA ST.  
PARCEL NO.  
00027820-000000  
SINGLE FAMILY RESIDENCE

512 AMELIA ST.  
PARCEL NO.  
00027810-000000  
SINGLE FAMILY RESIDENCE

519 CATHERINE ST.  
PARCEL NO.  
00027900-000000  
SINGLE FAMILY RESIDENCE

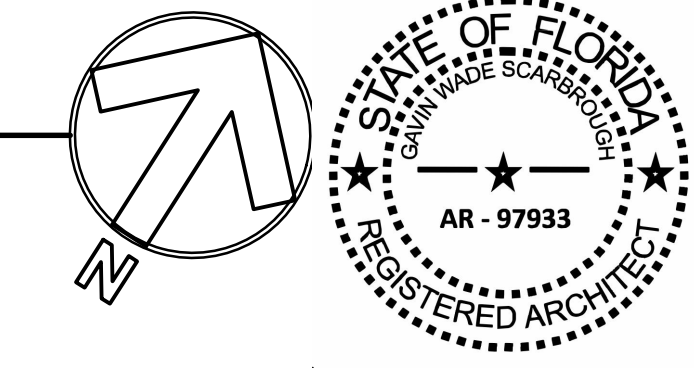
**LaTeDa Resort**  
 1125 Duval & 515 Catherine Key West, FL

**POPE-SCARBROUGH-ARCHITECTS**  
 THOMAS E. POPE, P.A.  
 (305) 296 3611 610 White St. Key West FL

PERMIT SET - 4.1.24

**Proposed Site Plan**

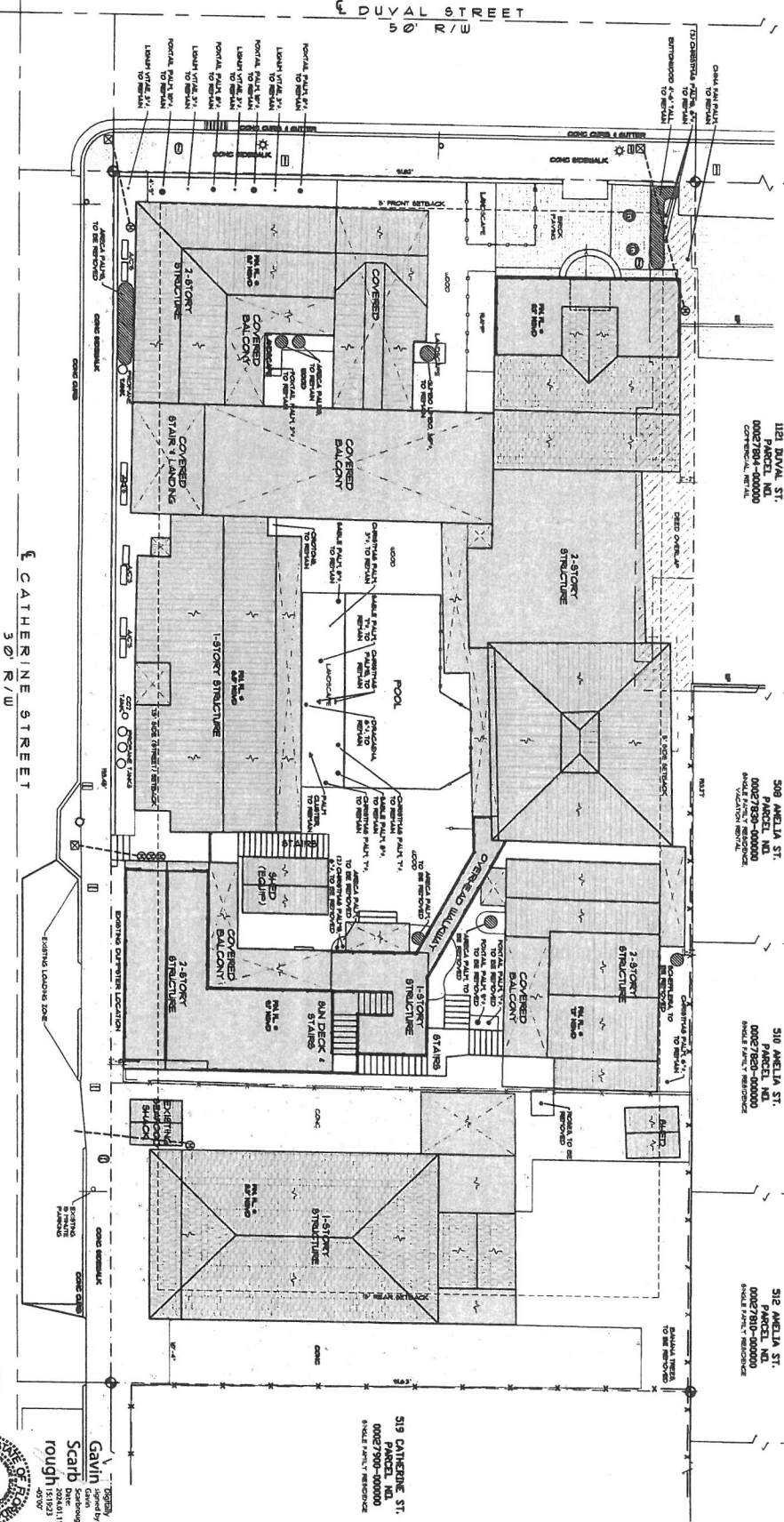
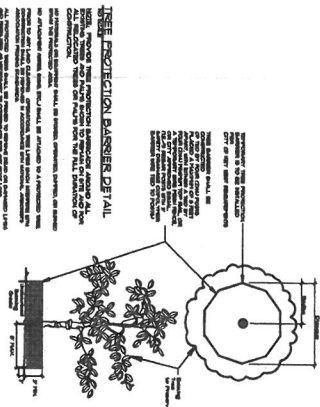
1/8" = 1' - 0"



date:  
04/01/24  
revision:  
6/12/24  
7/1/24

sheet:  
**A0.2**





QTY	BOTANICAL NAME	COMMON NAME	SPECIFICATION	DISPOSITION
4	Gulabam sanctum	Lignum Vitae	3" DBH (Approx. 39" Total)	Remain
5	Wodyetia bifurcata	Fossil Palm	3" - 10" DBH (Approx. 16" Total)	Remove
2	Wodyetia bifurcata	Fossil Palm	7" - 9" DBH (Approx. 16" Total)	Remove
8	Adonidia merrillii	Christmas Palm	3" - 10" DBH (Approx. 43" Total)	Remain
2	Adonidia merrillii	Christmas Palm	6" DBH (Approx. 12" Total)	Remove
3	Banksia speciosa	Christmas Palm	7" - 8" DBH (Approx. 23" Total)	Remain
1	Conocarpus strictus	Burquois Palm	4" - 6" DBH (Approx. 12" Total)	Remove
1	Conocarpus strictus	Burquois Palm	6" DBH	Remain
1	Uapaca diversata	China Fan Palm	Various Clusters (refer to plan)	Remain
1	Dyplasis wisconsinensis	Various Clusters (refer to plan)	Various Clusters (refer to plan)	Remove
1	Dyplasis wisconsinensis	Burquois Palm	Cluster	Remove
1	Schellera	Roses	Remove	Remove

Tree Disposition Plan

DATE: 09/09/24  
REVISIONS:

Scarb  
Gavin  
Gavin

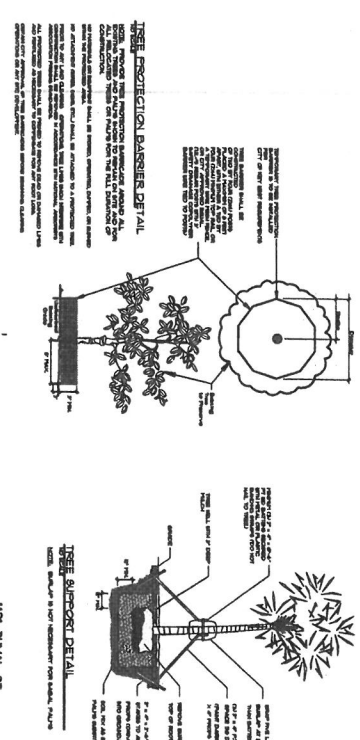
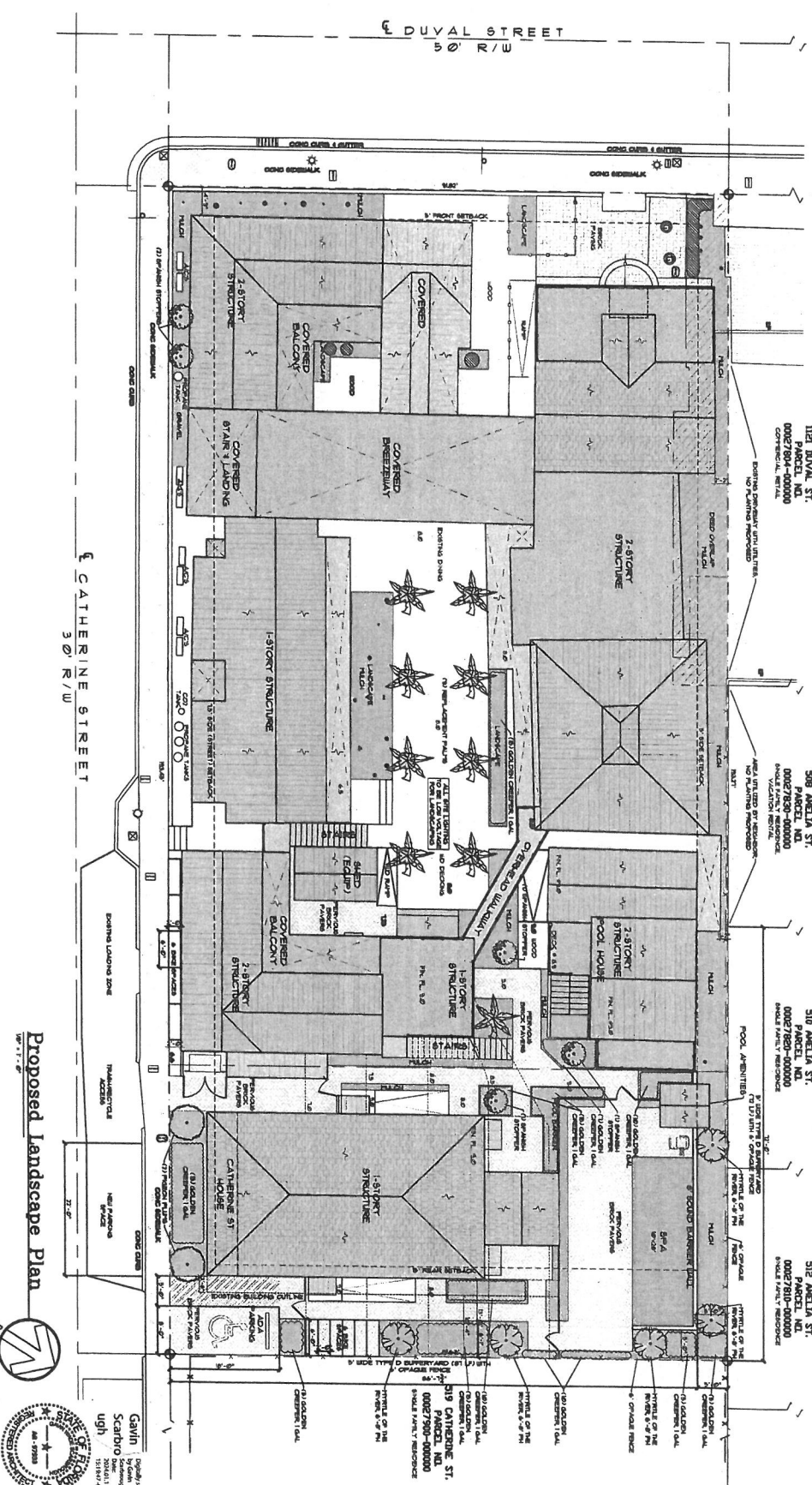
**POPE-SCARBROUGH-ARCHITECTS**  
THOMAS E. POPE, P.A.

(305) 296 3611 610 White St. Key West FL

**LaTeDa Resort**  
1125 Duval & 515 Catherine Key West, FL



Sheet: A0.3



Planting Schedule per Key West LDC, Section 12B.3(2)

TYPE	HEIGHT	FACTORS	LINEAR FEET	REQUIRED	PROPOSED
1	8 FT	1	11	11	11
2	10 FT	2	11	22	22
3	12 FT	3	11	33	33
4	14 FT	4	11	44	44
5	16 FT	5	11	55	55
6	18 FT	6	11	66	66
7	20 FT	7	11	77	77
8	22 FT	8	11	88	88
9	24 FT	9	11	99	99
10	26 FT	10	11	110	110
11	28 FT	11	11	121	121
12	30 FT	12	11	132	132
13	32 FT	13	11	143	143
14	34 FT	14	11	154	154
15	36 FT	15	11	165	165
16	38 FT	16	11	176	176
17	40 FT	17	11	187	187
18	42 FT	18	11	198	198
19	44 FT	19	11	209	209
20	46 FT	20	11	220	220
21	48 FT	21	11	231	231
22	50 FT	22	11	242	242
23	52 FT	23	11	253	253
24	54 FT	24	11	264	264
25	56 FT	25	11	275	275
26	58 FT	26	11	286	286
27	60 FT	27	11	297	297
28	62 FT	28	11	308	308

Landscaping Materials per Key West LDC, Section 12B.3(2)

TYPE	HEIGHT	FACTORS	LINEAR FEET	REQUIRED	PROPOSED
1	8 FT	1	11	11	11
2	10 FT	2	11	22	22
3	12 FT	3	11	33	33
4	14 FT	4	11	44	44
5	16 FT	5	11	55	55
6	18 FT	6	11	66	66
7	20 FT	7	11	77	77
8	22 FT	8	11	88	88
9	24 FT	9	11	99	99
10	26 FT	10	11	110	110
11	28 FT	11	11	121	121
12	30 FT	12	11	132	132
13	32 FT	13	11	143	143
14	34 FT	14	11	154	154
15	36 FT	15	11	165	165
16	38 FT	16	11	176	176
17	40 FT	17	11	187	187
18	42 FT	18	11	198	198
19	44 FT	19	11	209	209
20	46 FT	20	11	220	220
21	48 FT	21	11	231	231
22	50 FT	22	11	242	242
23	52 FT	23	11	253	253
24	54 FT	24	11	264	264
25	56 FT	25	11	275	275
26	58 FT	26	11	286	286
27	60 FT	27	11	297	297
28	62 FT	28	11	308	308

Proposed Landscape Plan  
 1/2" = 1'-0"

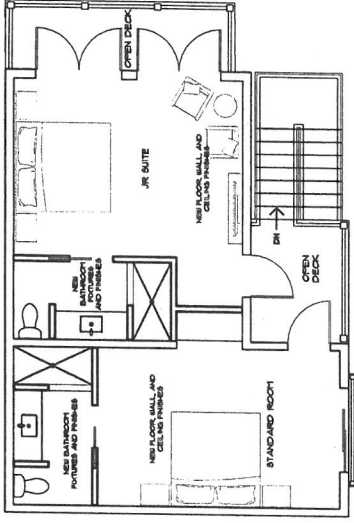


Scale: 1/2" = 1'-0"  
 Date: 10/24/04  
 Project: LaTeDa Resort  
 Prepared by: Gavin Scarbrough  
 Checked by: Thomas E. Pope  
 10/24/04

POPE-SCARBROUGH-ARCHITECTS  
 THOMAS E. POPE, P.A.  
 (305) 296 3611 610 White St. Key West FL

LaTeDa Resort  
 1125 Duval & 515 Catherine Key West, FL

1125 Duval & 515 Catherine  
Key West, FL  
LaTeDa Resort



Proposed Second Floor Plan

1/24/12

POPE-SCARBROUGH-ARCHITECTS  
THOMAS E. POPE, P.A.  
610 White St. Key West FL  
(305) 296 3611

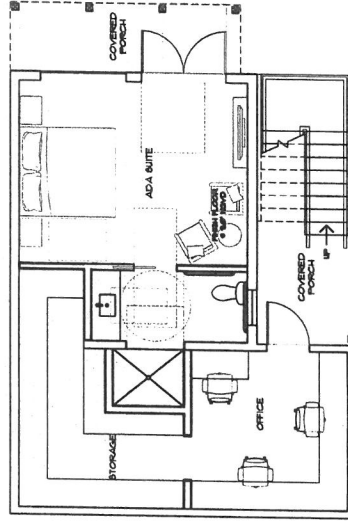
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by Gavin  
Scarborough  
Date: 2012.01.11  
12:22:00 -0500  
revision: 1



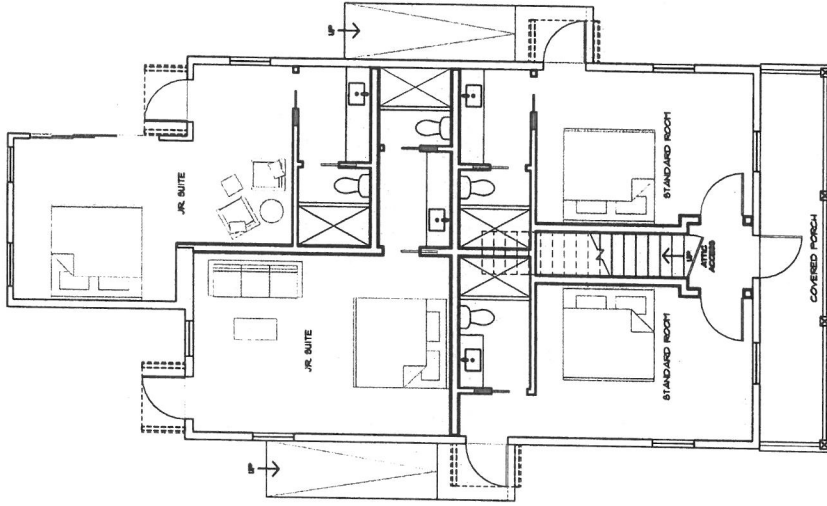
Sheet:  
A1.1

Proposed First Floor Plan

1/24/12



POOL HOUSE FLOOR PLANS



CATHERINE STREET

Proposed First Floor Plan **Gavin Scarbrough**  
1/4" = 1' - 0"

Digitally signed  
 by Gavin Scarbrough  
 date: 2024.01.11 15:26:40 -0500  
 #1/09/24 revision:



CATHERINE ST HOUSE FLOOR PLAN

sheet: **A1.2**

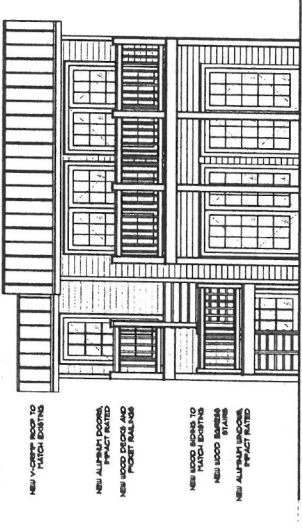
POPE-SCARBROUGH-ARCHITECTS  
 THOMAS E. POPE, P.A.  
 610 White St. Key West FL  
 (305) 296 3611

LatEda Resort  
 1125 Duval & 515 Catherine  
 Key West, FL



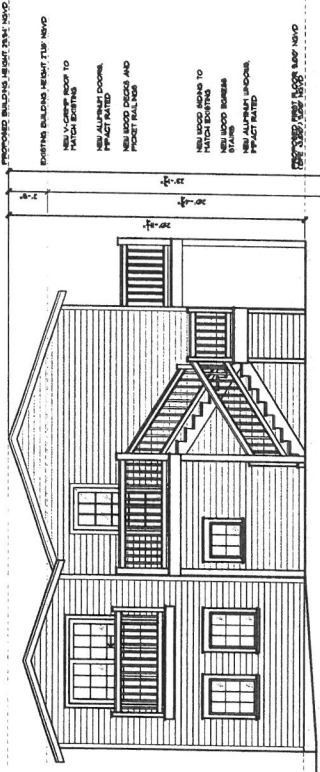


1125 Duval & 515 Catherine Key West, FL  
 LaTeDa Resort



NEW V-GROOVE ROOF TO MATCH EXISTING  
 NEW ALUMINUM DOORS, PRACTICALLY FINISHED  
 NEW WOOD DECKS AND POSTS FINISHED  
 NEW WOOD SIDING TO MATCH EXISTING  
 NEW ALUMINUM WINDOWS, PRACTICALLY FINISHED

Proposed West Elevation  
 W-11.1-P



PROPOSED BUILDING HEIGHT: 12'-10 1/2"  
 EXISTING BUILDING HEIGHT: 12'-10 1/2"  
 NEW V-GROOVE ROOF TO MATCH EXISTING  
 NEW ALUMINUM DOORS, PRACTICALLY FINISHED  
 NEW WOOD DECKS AND POSTS FINISHED  
 NEW WOOD SIDING TO MATCH EXISTING  
 NEW ALUMINUM WINDOWS, PRACTICALLY FINISHED

Proposed South Elevation  
 W-11.2-P

610 White St. Key West, FL  
 THOMAS E. POPE, P.A.  
 POPE-SCARBROUGH-ARCHITECTS  
 (305) 296 3611

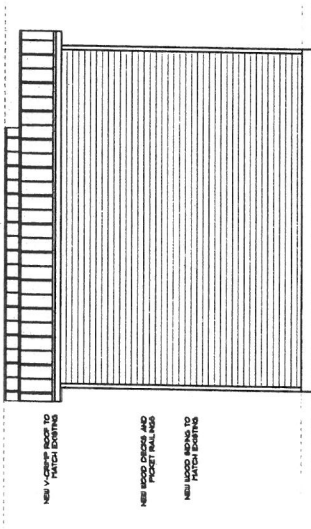
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date: 01/09/24

revision: 01/09/24

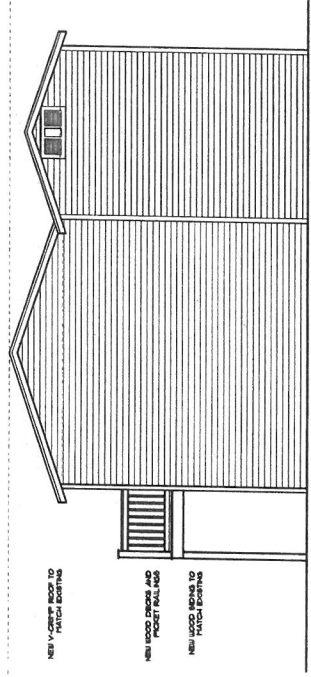


Sheet: A2.1



NEW V-GROOVE ROOF TO MATCH EXISTING  
 NEW WOOD DECKS AND POSTS FINISHED  
 NEW WOOD SIDING TO MATCH EXISTING

Proposed East Elevation  
 W-11.3-P



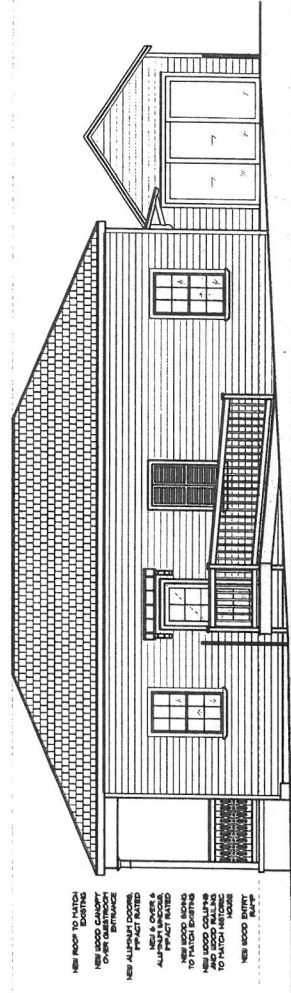
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 NEW WOOD DECKS AND POSTS FINISHED  
 NEW WOOD SIDING TO MATCH EXISTING

Proposed North Elevation  
 W-11.4-P

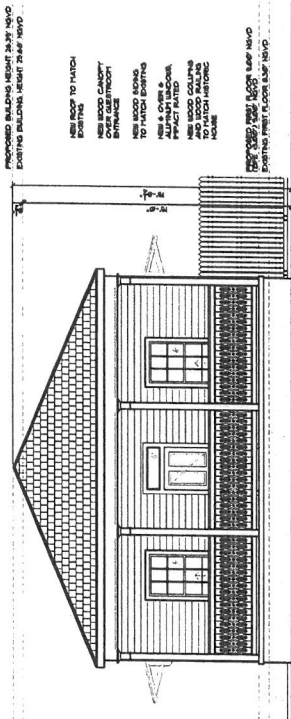
POOL HOUSE ELEVATIONS



LaTeDa Resort  
1125 Duval & 515 Catherine Key West, FL

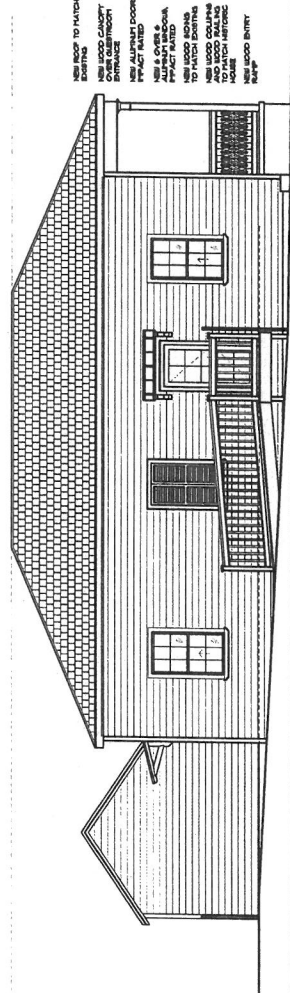


Proposed West Side Elevation  
W.T.P.

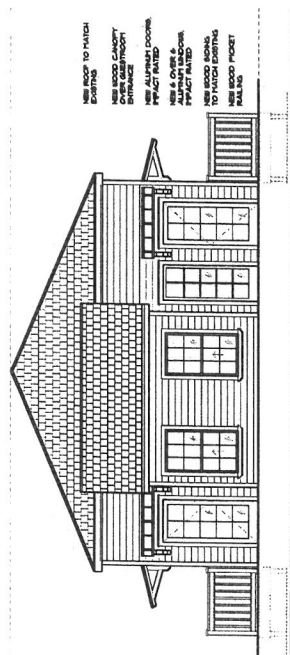


Proposed Front Elevation  
W.T.P.

POPE-SCARBROUGH-ARCHITECTS  
THOMAS E. POPE, P.A.  
610 White St. Key West FL  
(305) 296 3611



Proposed East Side Elevation  
W.T.P.



Proposed Rear Elevation  
W.T.P.

Digitally signed by  
Gavin Scarbrough  
Date: 2024.01.11  
13:42:40 -0500  
verified!



CATHERINE ST HOUSE ELEVATIONS

Sheet: A2.2

# Licenses

Existing Licenses



# CITY OF KEY WEST, FLORIDA

## Business Tax Receipt

This Document is a business tax receipt  
Holder must meet all City zoning and use provisions.  
P.O. Box 1409, Key West, Florida 33040 (305) 809-3955

Business Name LA TE DA

Location Addr 1125 DUVAL ST

Lic NBR/Class 28843

Issued Date 9/27/2023

PROPERTY RENTAL

**Expiration Date: September 30, 2024**

TRANSIENT HOTEL MOTEL OR TIMESHARE

Comments: 16 GUESTHOUSE ROOMS

Restrictions: HOT5402074 (10/01/24)

LA TE DA  
1125 DUVAL ST

KEY WEST, FL 33040

This document must be prominently displayed.

LA TE DA REDUX

# Memorandum



GREGORY S. OROPEZA | ADELE V. STONES [Retired] | SUSAN M. CARDENAS, of Counsel  
LISA MARIE KEHOE | KAI A. MURPHY

## MEMORANDUM REGARDING VARIANCE APPLICATION

1125 Duval Street (R.E. # 00027870-000000)

### **Title Block:**

- a. Name of Development: La Te Da
- b. Name of Owner: Patrick T. Hegarty and Christopher J. Rounds
- c. Name of Tenant/Operator: La Te Da
- d. Name of Applicant: Oropeza Stones & Cardenas, PLLC
- e. North Arrow: As identified on the survey

### **Identification of Key Persons:**

- a. Owner: Patrick T. Hegarty and Christopher J. Rounds
- b. Owner's Authorized Agent: Gregory Oropeza- Oropeza, Stones & Cardenas, PLLC
- c. Architect: Pope-Scarborough-Architects
- d. Engineer: Perez Engineering
- e. Surveyor: Florida Keys Land Surveying
- f. The undersigned certifies that all individuals/entities with a legal and equitable interest in the Property are as follows: Patrick T. Hegarty and Christopher J. Rounds

**Proposed Project:** The proposed project is for the addition of 877 square feet of non-residential gross floor area. No additional hotel units or consumption seats are proposed.

**Requested Variance:** The Requested variance is for the waiver of three parking spaces. The Property, which is in the HRCC-3 zoning district, is part of the Historic Commercial Pedestrian-Oriented Area, and as such is authorized to employ off-street parking only. However, pursuant to Section 108-573 of the Land Development Code, the proposed development triggers parking requirements as the proposed development is for the addition of new non-residential floor area. Based upon the parking requirements set forth in Section 108-571, which requires 1 parking space for every 300 square feet of gross floor area, the new gross floor area of 877 feet requires three (3) parking spaces. The Property currently provides for one (1) parking space which is required to be maintained pursuant to Section 108-573, therefore the proposed development will call for a total of four (4) parking spaces.

**Additional Factors:**

**1. Substitution of Bicycle Parking Spaces.**

Pursuant to Chapter 108- 574, four (4) bicycle parking spaces may be substituted for one (1) vehicle parking space so long as the additional bicycle parking spaces will be beneficial and would satisfy the standards set forth in Sections 90.395. Those standards are as follows:

**Sec. 90.395- Standards, findings.**

- (a) Existence of special conditions or circumstances. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other land, structures or buildings in the same zoning district.

This request does not add any additional hotel units or consumption seats to the Property, and therefore the additional gross floor area does not create a need for addition on-site parking. The requirement for additional on-site parking creates a special condition which is not seen by other like kind properties or businesses.

- (b) Conditions not created by applicant. That the special conditions and circumstances do not result from the action or negligence of the applicant.

No special conditions were created by the Applicant. The Applicant is improving the site overall and bringing the site more into conformance with the land development code and Florida Building Code:

- (c) Special privileges not conferred. That granting the variance requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings or structures in the same zoning district.

The requested variance for the waiver of three (3) parking spaces does not confer a special privilege upon the Property Owner as the business is not increasing with regard to consumption seats or hotel units, and therefore the Applicant is not serving any additional patrons.

- (d) Hardship conditions exist. That literal interpretation of the provisions of the land development regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant.

Other businesses with similar hotel units and consumption seat numbers are not required to provide parking outside of off-street parking. The requirement for parking triggered by Section 108-573 creates a hardship on this Applicant and deprives the Applicant of the rights enjoyed by like kind businesses with similar hotel until and seating counts.

- (e) Only minimum variance granted. That the variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure.

The requested variance does not seek an unreasonable use of the land, building, or structure. Rather, it allows for the continued operation of the business at its current capacity while maintaining the integrity of this historic, architecturally important piece of Property through its continued adaptive reuse and further encourages the use of non-motorized vehicles in the historic district.

- (f) Not injurious to the public welfare. That the grant of the variance will be in harmony with the general intent and purpose of the land development regulations and that such variance will not be injurious to the area involved or otherwise detrimental to the public interest or welfare.

The waiver of three (3) parking spaces will not effect the public welfare.

- (g) Existing nonconforming uses of other property not the basis for approval. No nonconforming use of neighboring lands, structures, or buildings in the same district, and no permitted use of lands, structures or buildings in other districts shall be considered grounds for the issuance of a variance.

Existing non-conforming uses of other properties are not the basis for approval of the requested variance.

**Existing Loading Zone Usage:**

In its current condition, the Property currently enjoys the use of an extended loading zone running along Catherine Street. The Applicant is proposing to relinquish a portion of the loading zone so that the City can reclaim a parking spot for metered parking.

**Conclusion:**

In addition to the substitution set forth above, the standards for the granting of a substitution of bicycle parking spaces provided within the boundary lines of the Property for vehicle parking spaces are met, the planning board is authorized to substitute one (1) vehicle parking space for every four (4) bicycle parking spaces provided. The Applicant will provide a total of twelve (12) bicycle parking spaces within the Property's boundary lines, therefore, the substitution of three (3) parking spaces for these twelve (12) bicycles parking spaces is authorized. Further, the Applicant is proposing to relinquish a portion of the loading zone on Catherine that was previously used for Tomasita's fish shack. As such, the proposed development triggers the need for 3 new parking spaces, but with bicycle substitution and the addition of one new off street parking spot, the Applicant is providing a surplus of the parking demand triggered.

# Property Card

# Property Card

# Monroe County, FL

## Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

## Summary

Parcel ID 00027870-000000  
 Account# 1028649  
 Property ID 1028649  
 Millage Group 10KW  
 Location 1125 DUVAL St 16, KEY WEST  
 Address  
 Legal KW PT LOT 4 SQR 5 TR 11 H1-377 G41-397/98 G42-1/2 OR656-573 OR741-524  
 Description OR820-1754/55 OR1195-2449/51 OR1195-2453/54 OR1214-1078/79 OR1475-2350/52 OR1538-987/88 OR1572-2017 OR2665-438/40  
 (Note: Not to be used on legal documents.)  
 Neighborhood 32070  
 Property Class HOTEL - LUXURY (3900)  
 Subdivision  
 Sec/Twp/Rng 06/68/25  
 Affordable No  
 Housing



## Owner

HEGARTY PATRICK T  
 1125 Duval St  
 Key West FL 33040

ROUNDS CHRISTOPHER J

## Valuation

	2023 Certified Values	2022 Certified Values	2021 Certified Values	2020 Certified Values
+ Market Improvement Value	\$4,162,167	\$4,162,167	\$4,162,167	\$5,451,798
+ Market Misc Value	\$462,463	\$462,463	\$462,463	\$545,180
+ Market Land Value	\$4,624,630	\$4,624,630	\$4,624,630	\$4,906,618
= Just Market Value	\$9,249,260	\$9,249,260	\$9,249,260	\$10,903,596
= Total Assessed Value	\$9,249,260	\$9,249,260	\$9,249,260	\$9,312,257
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$9,249,260	\$9,249,260	\$9,249,260	\$10,903,596

## Historical Assessments

Year	Land Value	Building Value	Yard Item Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value	Maximum Portability
2022	\$4,624,630	\$4,162,167	\$462,463	\$9,249,260	\$9,249,260	\$0	\$9,249,260	\$0
2021	\$4,624,630	\$4,162,167	\$462,463	\$9,249,260	\$9,249,260	\$0	\$9,249,260	\$0
2020	\$4,906,618	\$5,451,798	\$545,180	\$10,903,596	\$9,312,257	\$0	\$10,903,596	\$0
2019	\$5,161,658	\$4,645,492	\$516,166	\$10,323,316	\$8,465,689	\$0	\$10,323,316	\$0
2018	\$4,714,894	\$4,243,404	\$471,489	\$9,429,787	\$7,696,081	\$0	\$9,429,787	\$0

The Maximum Portability is an estimate only and should not be relied upon as the actual portability amount. Contact our office to verify the actual portability amount.

## Land

Land Use	Number of Units	Unit Type	Frontage	Depth
(3900)	12,780.00	Square Foot	85	143

## Buildings

Building ID	39938	Exterior Walls	AB AVE WOOD SIDING
Style		Year Built	1933
Building Type	RESTRNT/CAFETR-B- / 21B	EffectiveYearBuilt	1993
Building Name		Foundation	
Gross Sq Ft	7172	Roof Type	
Finished Sq Ft	4510	Roof Coverage	
Stories	2 Floor	Flooring Type	
Condition	GOOD	Heating Type	
Perimeter	546	Bedrooms	16



Functional Obs	0				Full Bathrooms	18
Economic Obs	0				Half Bathrooms	0
Depreciation %	40				Grade	450
Interior Walls					Number of Fire Pl	0
Code	Description	Sketch Area	Finished Area	Perimeter		
OPX	EXC OPEN PORCH	360	0	0		
FLA	FLOOR LIV AREA	4,510	4,510	0		
OOU	OP PR UNFIN UL	448	0	0		
OPF	OP PRCH FIN LL	225	0	0		
PDO	PATIO DIN OPEN	1,629	0	0		
<b>TOTAL</b>		<b>7,172</b>	<b>4,510</b>	<b>0</b>		

Building ID	39939				Exterior Walls	AB AVE WOOD SIDING
Style					Year Built	1928
Building Type	HOTEL/MOTEL B / 39B				EffectiveYearBuilt	1993
Building Name					Foundation	
Gross Sq Ft	1641				Roof Type	
Finished Sq Ft	1222				Roof Coverage	
Stories	2 Floor				Flooring Type	
Condition	GOOD				Heating Type	
Perimeter	220				Bedrooms	0
Functional Obs	0				Full Bathrooms	0
Economic Obs	0				Half Bathrooms	0
Depreciation %	40				Grade	400
Interior Walls					Number of Fire Pl	0
Code	Description	Sketch Area	Finished Area	Perimeter		
FLA	FLOOR LIV AREA	1,222	1,222	0		
OOU	OP PR UNFIN UL	154	0	0		
OPF	OP PRCH FIN LL	205	0	0		
SBF	UTIL FIN BLK	60	0	0		
<b>TOTAL</b>		<b>1,641</b>	<b>1,222</b>	<b>0</b>		

Building ID	39940				Exterior Walls	AB AVE WOOD SIDING
Style					Year Built	1983
Building Type	HOTEL/MOTEL B / 39B				EffectiveYearBuilt	1993
Building Name					Foundation	
Gross Sq Ft	3098				Roof Type	
Finished Sq Ft	1360				Roof Coverage	
Stories	2 Floor				Flooring Type	
Condition	GOOD				Heating Type	
Perimeter	264				Bedrooms	0
Functional Obs	0				Full Bathrooms	0
Economic Obs	0				Half Bathrooms	0
Depreciation %	40				Grade	450
Interior Walls					Number of Fire Pl	0
Code	Description	Sketch Area	Finished Area	Perimeter		
FLA	FLOOR LIV AREA	1,360	1,360	0		
OPU	OP PR UNFIN LL	52	0	0		
OOU	OP PR UNFIN UL	1,170	0	0		
OPF	OP PRCH FIN LL	176	0	0		
SBF	UTIL FIN BLK	340	0	0		
<b>TOTAL</b>		<b>3,098</b>	<b>1,360</b>	<b>0</b>		

Building ID	39941				Exterior Walls	AB AVE WOOD SIDING
Style					Year Built	1933
Building Type	HOTEL/MOTEL B / 39B				EffectiveYearBuilt	1993
Building Name					Foundation	
Gross Sq Ft	1308				Roof Type	
Finished Sq Ft	1020				Roof Coverage	
Stories	1 Floor				Flooring Type	
Condition	GOOD				Heating Type	
Perimeter	154				Bedrooms	0
Functional Obs	0				Full Bathrooms	0
Economic Obs	0				Half Bathrooms	0
Depreciation %	40				Grade	400
Interior Walls					Number of Fire Pl	0
Code	Description	Sketch Area	Finished Area	Perimeter		
FLA	FLOOR LIV AREA	1,020	1,020	0		
OPU	OP PR UNFIN LL	288	0	0		
<b>TOTAL</b>		<b>1,308</b>	<b>1,020</b>	<b>0</b>		

Building ID	39942	Exterior Walls	AB AVE WOOD SIDING
Style		Year Built	1983
Building Type	HOTEL/MOTEL B / 39B	EffectiveYearBuilt	1993
Building Name		Foundation	
Gross Sq Ft	2131	Roof Type	
Finished Sq Ft	1344	Roof Coverage	
Stories	2 Floor	Flooring Type	
Condition	GOOD	Heating Type	
Perimeter	248	Bedrooms	0
Functional Obs	0	Full Bathrooms	0
Economic Obs	0	Half Bathrooms	0
Depreciation %	40	Grade	450
Interior Walls		Number of Fire PI	0

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	1,344	1,344	0
OPU	OP PR UNFIN LL	255	0	0
OUU	OP PR UNFIN UL	168	0	0
OPF	OP PRCH FIN LL	168	0	0
PDO	PATIO DIN OPEN	196	0	0
<b>TOTAL</b>		<b>2,131</b>	<b>1,344</b>	<b>0</b>

### Yard Items

Description	Year Built	Roll Year	Size	Quantity	Units	Grade
BRICK PATIO	1969	1970	0 x 0	1	96 SF	4
WALL AIR COND	1979	1980	0 x 0	1	1 UT	2
BRICK PATIO	1979	1980	0 x 0	1	220 SF	2
LC UTIL BLDG	1979	1980	0 x 0	1	32 SF	1
RES POOL	1979	1980	0 x 0	1	516 SF	3
WOOD DECK	1979	1980	0 x 0	1	64 SF	3
FENCES	1979	1980	0 x 0	1	870 SF	3
WOOD DECK	1991	1992	0 x 0	1	1253 SF	2
FENCES	1991	1992	4 x 12	1	48 SF	2
WALL AIR COND	1991	1992	0 x 0	1	9 UT	1
CONC PATIO	2001	2002	0 x 0	1	100 SF	2

### Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved	Grantor	Grantee
12/13/2013	\$6,300,000	Warranty Deed		2665	438	01 - Qualified	Improved		
3/12/1999	\$1,469,700	Warranty Deed		1572	2017	K - Unqualified	Improved		
9/1/1997	\$2,466,700	Warranty Deed		1475	2350	Q - Qualified	Improved		
5/1/1992	\$650,000	Warranty Deed		1214	1078	U - Unqualified	Improved		
10/1/1978	\$101,000	Warranty Deed		820	1754	M - Unqualified	Improved		

### Permits

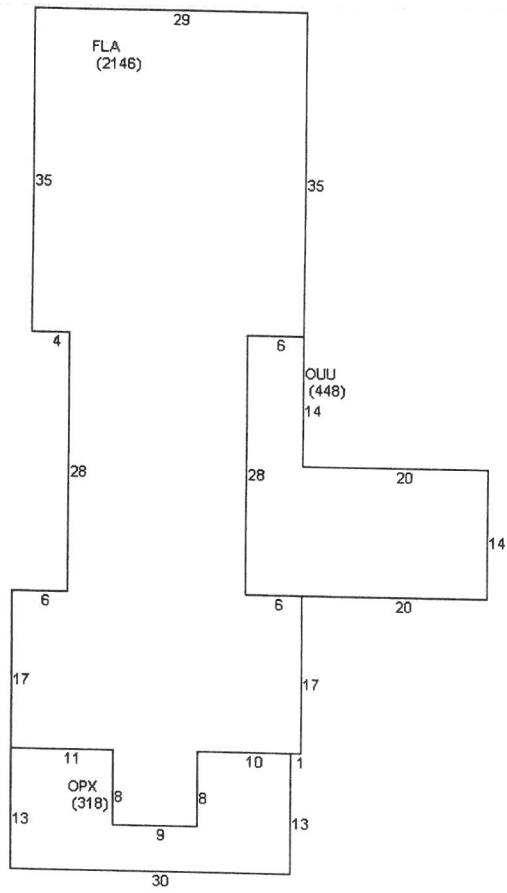
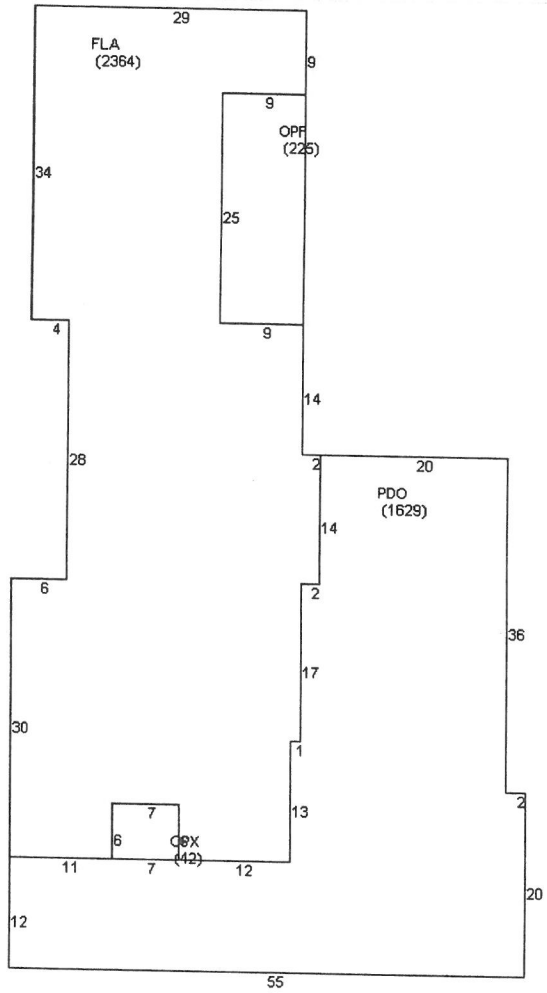
Number	Date Issued	Date Completed	Amount	Permit Type	Notes
BLD2022-2646	9/13/2022	10/20/2022	\$4,500	Commercial	ELECTRICAL REMODEL OF EXISTING BAR. REMOVE/REPLACE EXISTING CEILING FANS, REMOVE/REPLACE EXISTING DEVICES BEHIND BAR, REPLACE EXISTING BREAKERS WITH GFCI BREAKERS, DISCONNECT/RECONNECT CIRCUITS DURING BAR REMODEL.
BLD2022-2654	9/9/2022	10/25/2022	\$9,300	Commercial	Replacing plumbing outside Bar 1-3 comp sink, 1-hand sink, 1 under sink grease trap, 1-Dishwasher, 2-floor drain, Tie drain and water to existing
BLD2022-1438	8/3/2022	10/21/2022	\$82,000	Commercial	Install 6 new wall mount fans, paint bar area, R&R aprox 680 sq' of decking R&R bar cabinetry and top. We will be removing existing bar-top and bar, we will be removing existing composite decking and replacing it with teak decking. We will tile the floor behind the bar. The new bar-top will be mahogany. All of this work will be in the existing footprint (see photos attachments) the bar shape will not change. This is the outside bar at LaTeDa.
BLD2019-3199	9/10/2019		\$12,625	Commercial	Install 700 sf of 60 mil TPO single ply roofing
BLD2019-3155	9/5/2019		\$24,650	Commercial	Additional Installation of NEW Stairs (Voltage Step Lights). Wall Mounted 4 Flood Lights and 6 Emergency on Outside Stairs.
BLD2019-2470	8/6/2019		\$185,000	Commercial	Rebuild the exterior of building from damage during Irma. Painting, framing, siding trim, drywall and insulation.
17-3051	8/26/2017	8/26/2019	\$109,000	Commercial	Remove and replace 2 sets stair systems (1st to 2nd floors and 2nd floor to 3rd floor sun deck). R&R deck framing and decking at 3rd floor sun deck. Replace decking at 2nd floor balcony. R&R handrails as needed. Wood siding and trim work as needed. Install new decking and stairs. NOC FOGARTY BUILDERS IS REMOVING FROM THIS PERMIT. January 12, 2018
16-00002571	3/21/2017	8/3/2017	\$9,200	Commercial	REPLACE EXISTING SIGN AND BRACKET. WRAP EXISTING 4X4 WOOD POLE TO CONCEAL EXISTING ELECTRIC. (NOC ON FILE). H16-01-0911 **HSA
16-00003857	10/4/2016	4/16/2017	\$3,800	Commercial	INSTALL 3' X 3" 26G GALVALUME EAVE DRIP, GRACE ICE AND WATERSHIELD, 5V CRIMP 26G GALVALUME METAL ROOF. FLAT SECTION INSTALL 1 POLYGLASS BASE SHEET, 4" LAPPED FELT DRY IN WITH 1 1/4 NAILS AND TIN TABS, POLYGLASS SELF ADHESIVE. **NOC REQUIRED** HARC INPECTION REQUIRED ***

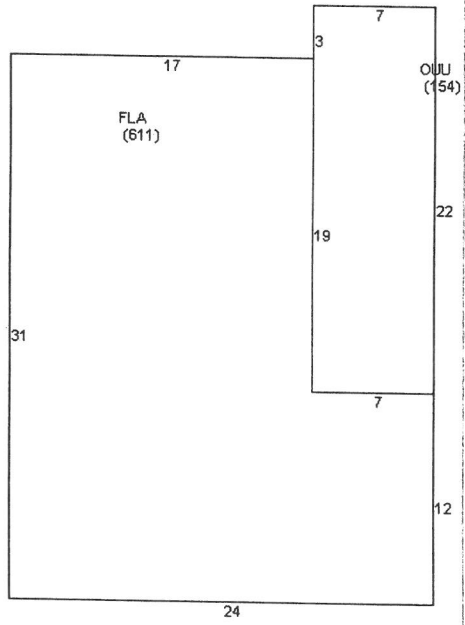
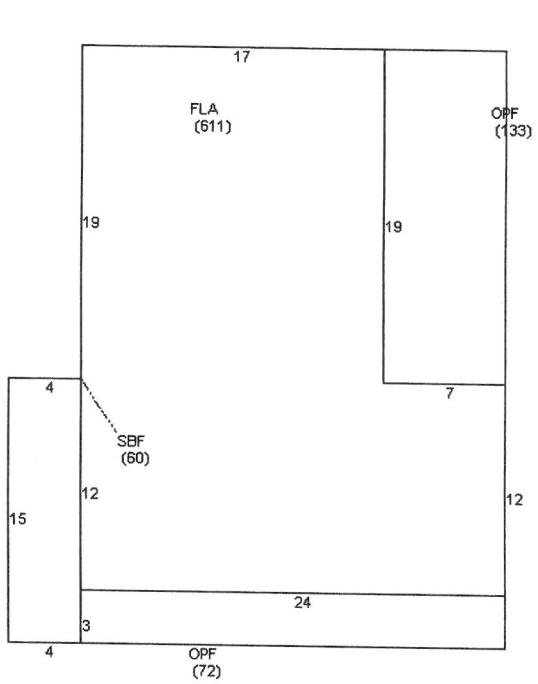
Number	Date Issued	Date Completed	Amount	Permit Type	Notes
16-2487	8/16/2016	4/15/2017	\$30,300	Commercial	EXTEND ROOF OF OUTDOOR BAR PER PLANS DATED 2/15/15. PB-2015-44-GRANTS LOT COVERAGE VARIANCE OF ROOF ADDITION 2/23/16.
15-4753	12/3/2015	6/14/2016	\$27,600	Commercial	R/R IN APPROX. 150 SQS OF WOOD SIDING, COVER HOLES IN BLDG & COVER LINE SETS. INSTALL GUTTERS, DOWNSPOUTS AND PAINT.
15-4199	10/29/2015	6/3/2016	\$14,000	Commercial	REMOVE EXISTING ROOF ABOVE STAGE. REPLACE WITH METAL.
15-3872	9/17/2015	6/14/2016	\$2,460	Commercial	Install (3) hand sinks, (3) toilets and (1) wall mount hand sink. Replace all on and off valves.
14-4629	10/6/2014	5/14/2017	\$750	Commercial	ADDED TV ABOVE CABINTRY. INSTALLED 12 NEW SWITCHES. INSTALLED 4 CEILING FANS. REPLACE 7 GFI'S. REPLACE CROWN LIGHTING IN 2 LOCATIONS. ALL SAME LOCATIONS. N.O.C. EXEMPT.
14-4336	9/18/2014	6/21/2016	\$20,261	Commercial	MAINTENANCE AND PAINT 1100 SQ/FT OF 11 SQS OF V-CRIMP COST \$4385. INSTALL 11 SQ/FT OF 11 SQS OF 60 MIL TPO W/A LAYER OF 1/2 PLYWOOD COST \$2625. INSTALL 1100 SQ/FT OF 11 SQS OF V-CRIMP METAL ROOFING W/ A LAYER OF 1/2 PLYWOOD COST \$2563. N.O.C. W/APPLICATION.
14-4216	9/9/2014	10/10/2014	\$39,600	Commercial	REMOVE & REPLACE APPROX. 680 S.F. OF DECKING & REPLACE AZEK, REMOVE & REPLACE OUTDOOR BAR CABINETRY, INSTALL GRANITE BAR TOP, TILE RAMP.
14-0149	1/28/2014	6/21/2016	\$4,500	Commercial	PORCH- REMOVE EXISTING FLAT ROOFING. INSTALL GLASS BASE, EAVES DRIP AND MODIFIED RUBBER.
14-0082	1/14/2014	6/20/2016	\$28,575	Commercial	REPAIR WORK UPPER DECK, SUBFLOOR, REPLACE DOORS, SHUTTERS, TRIM, RAILS WELL COVER, GATE SIDING, PLANTERS. COMPLETE LIST OF REPAIRS IN FILE
13-3689	9/5/2013	10/16/2013	\$5,000	Commercial	REPLACE AND RELOCATE EXISTING 400A METER CAN PER KES. REPLACE FEEDERS IF NECESSARY KES METER LOCATION.
13-3187	8/2/2013	12/10/2013	\$15,000	Commercial	REMOVE AND REPLACE APPROX. 900SF OF WOOD DECKING AND REPLACE W/NEW AZEK DECKING H13-01-1075 HSA (FOR DECK SURROUNDING THE SWIMMING POOL).
13-2678	7/18/2013	11/18/2013	\$18,800	Commercial	REPLACE MAIN DRAIN COVERS WITH APPROVED VGB COVERS. REPLACE INTERIOR FINISH. REPLACE WATERLINE TILE. REPLACE LADDER, REPLUMB EQUIPMENT. PLEASE SEE FRONT OF LIST FOR COMPLETE LIST.
11-2975	8/18/2011	9/21/2012	\$300	Commercial	**AFTER THE FACT** REPAIR DRYER VENT AND INSTALL VENT RAIN CAP
07-0239	2/2/2007		\$200	Commercial	INSTALL 3 COMPARTMENT SINKS IN OUTSIDE BAR AREA
06-6445	1/9/2007		\$10,000	Commercial	CONSTRUCT OUTDOOR BAR AREA COVERED 254 SF
06-0255	1/18/2006		\$6,800	Commercial	EXTEND #02-1642 FOR FINAL INSPECTION
05-1352	6/16/2005	12/31/2005	\$14,000	Commercial	REMODEL BATHROOMS REPLACE HANDICAPP RAMP
05-0927	3/23/2005	12/31/2005	\$1,800	Commercial	INSTALL RUBBER ROOFING
04-1778	3/9/2005	12/31/2005	\$3,800	Commercial	ELECTICAL TO BRING KITCHEN TO CODE
04-1778	10/22/2004	11/22/2004	\$800	Commercial	ELECTRIC
04-1602	5/25/2004	11/22/2004	\$4,800	Commercial	9 AWNINGS
04-1156	4/12/2004	11/22/2004	\$1,800	Commercial	DUCTWORK & A/C
04-1001	4/2/2004	11/22/2004	\$9,865	Commercial	REPAIR ROOF
02-2702	10/7/2002	11/22/2002	\$5,900	Commercial	RENOVATE BACK OFFICE
02-2442	9/9/2002	10/30/2002	\$1,000	Commercial	ELECTRICAL
02-1642	6/19/2002	10/30/2002	\$6,800	Commercial	INSTALL 2 DUCTLESS SYSTEM
01-3663	11/14/2001	10/30/2002	\$2,500	Commercial	CHANGEOUT AC
01-2182	6/7/2001	11/16/2001	\$6,200		RESIDE OVER BRICK/PAINT
00-2370	9/22/2000	11/16/2001	\$125,000		REMODELING/REPAIRS
9903770	12/6/1999	11/16/2001	\$4,500		REPAIRS
9903710	11/3/1999	12/7/1999	\$12,153		NEW ROOF
9902021	10/1/1999	11/16/2001	\$15,000		ROOFING
9903224	9/13/1999	11/3/1999	\$1,000		DRAIN/WATER LINES
9902905	8/17/1999	11/3/1999	\$500		4 CEILING FANS
9902021	8/4/1999	11/3/1999	\$15,000		ROOF OVER DECK
9902265	6/29/1999	11/3/1999	\$2,200		2 NEW SHED TYPE AWNINGS
9604448	11/1/1996	7/1/1997	\$800		SIGN
E951435	5/1/1995	11/1/1995	\$2,000		100 AMP SERVICE/ALTERATIO
B951160	4/1/1995	11/1/1995	\$4,600		REPAIR FENCE & DECK
B941054	3/1/1994	11/1/1994	\$1,800		BLD BX TO COVER DUCT 20'
B940531	2/1/1994	11/1/1994	\$1,800		RELOCATE BAR & BATH ROOM
M940683	2/1/1994	11/1/1994	\$2,500		5 DROPS
B940015	1/1/1994	11/1/1994	\$800		REPLACE 50' RAILING
B940090	1/1/1994	11/1/1994	\$1,500		RENOVATIONS
13-2678	1/1/1900	11/18/2013	\$18,800	Commercial	REPLACE MAIN DRAIN COVERS WITH APPROVED VGB COVERS. REPLACE INTERIOR FINISH. REPLACE WATERLINE TILE. REPLACE LADDER, REPLUMB EQUIPMENT.

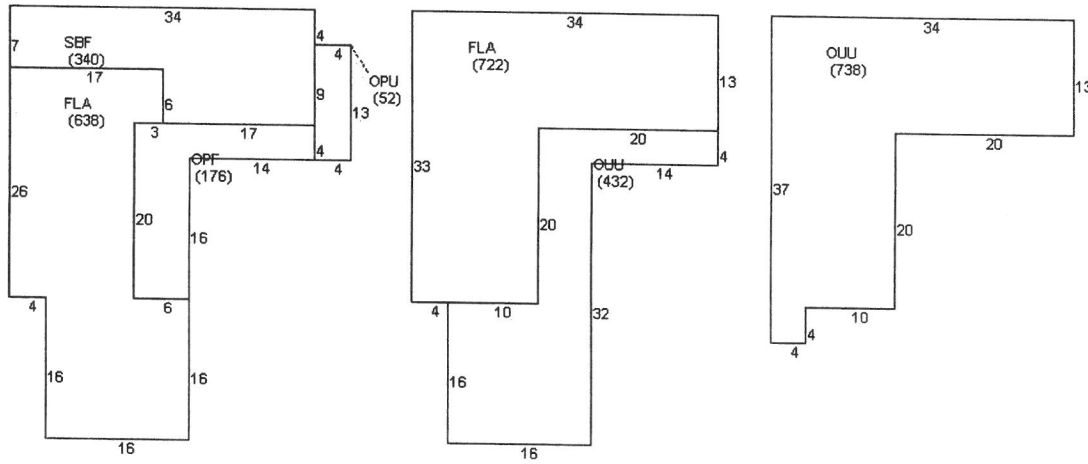
### View Tax Info

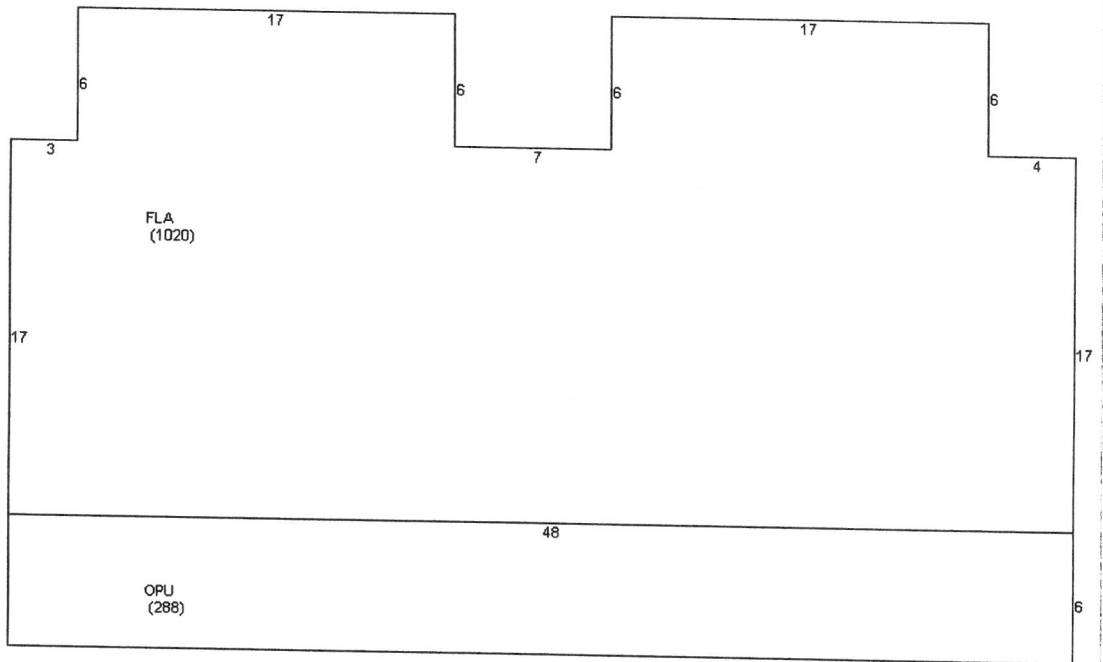
[View Taxes for this Parcel](#)

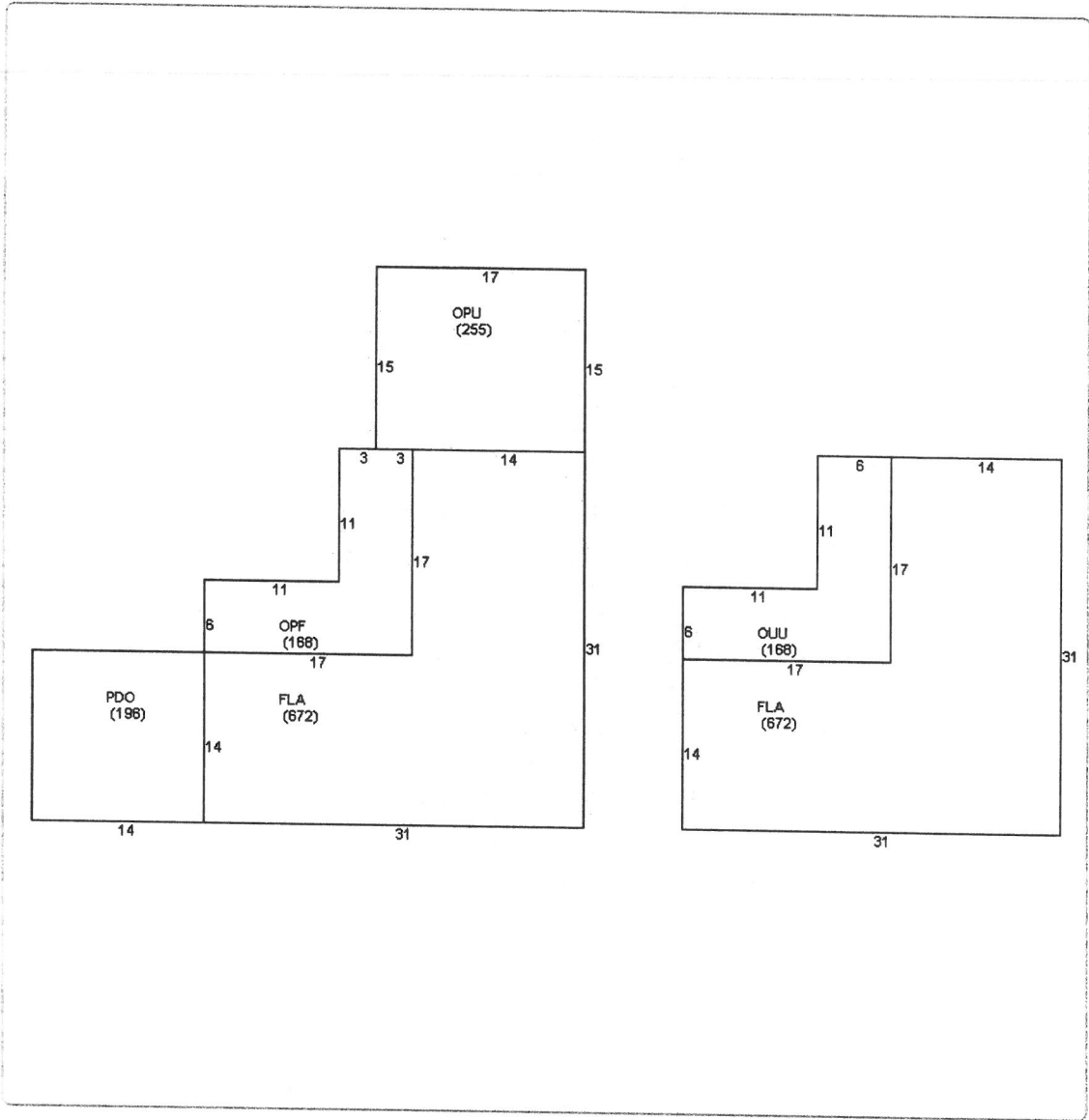
[Sketches \(click to enlarge\)](#)



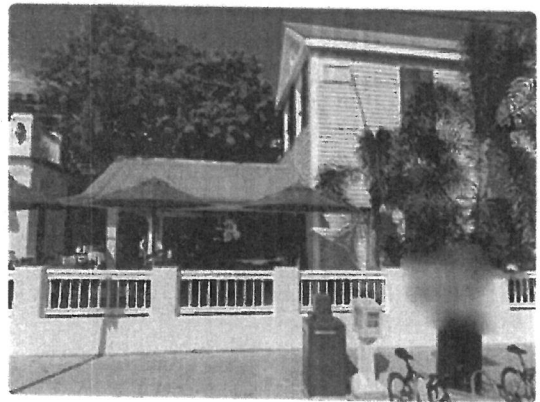






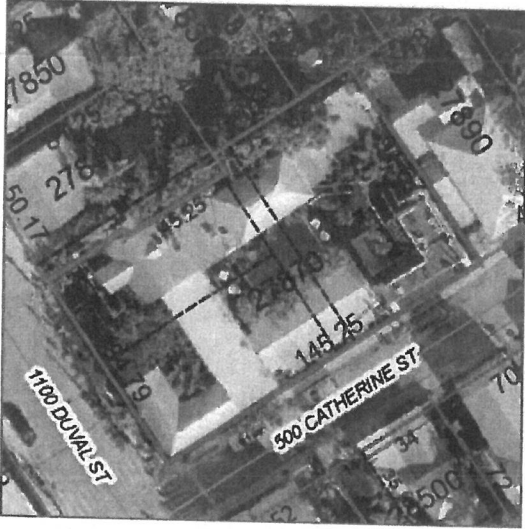


Photos





## Map



## TRIM Notice

[2023 TRIM Notice \(PDF\)](#)

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the

[| User Privacy Policy](#) | [GDPR Privacy Notice](#)  
Last Data Upload: 1/9/2024, 4:55:08 AM

[Contact Us](#)

Developed by  
 Schneider  
GEOSPATIAL

# SURVEY

# MAP OF BOUNDARY SURVEY

BEARING BASE:  
ALL BEARINGS ARE BASED ON  
N1°27'08"W ASSUMED ALONG  
THE CENTERLINE OF DUVAL  
STREET.

ALL ANGLES DEPICTED  
ARE 90 DEGREES UNLESS  
OTHERWISE INDICATED

ALL UNITS ARE SHOWN IN  
U.S. SURVEY FEET

ALL ELEVATIONS SHOWN  
ARE SHOWN IN NGVD 1929

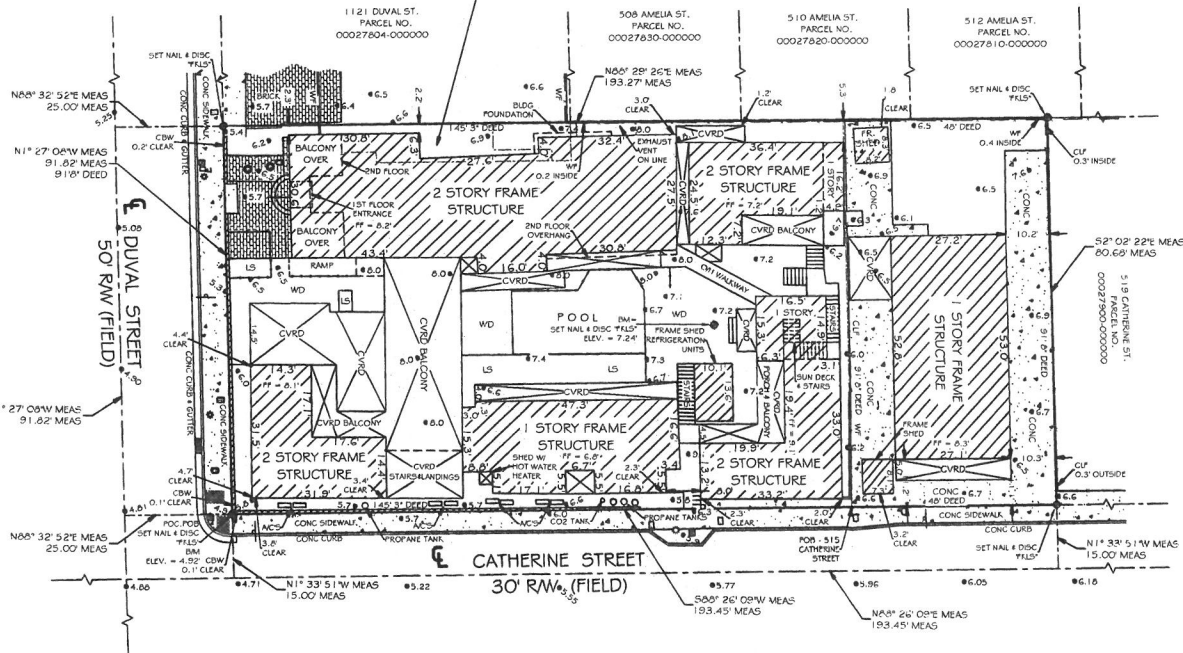
ADDRESS:  
1125 DUVAL STREET AND  
515 CATHERINE STREET  
KEY WEST, FL 33040

COMMUNITY NO.: 120168  
MAP NO.: 12087C-1516K  
MAP DATE: 02-18-2005  
FLOOD ZONE: AE  
BASE ELEVATION: G

**NOTE:**  
THERE APPEARS TO BE A DEED OVER LAP BETWEEN 1121  
DUVAL STREET AND 1125 DUVAL STREET. THE 1121 DUVAL  
STREET DEED IS RECORDED IN OFFICIAL RECORDS BOOK  
3187, PAGE 2191, OF THE PUBLIC RECORDS OF MONROE  
COUNTY, FLORIDA.  
ADDITIONALLY THERE IS AN EASEMENT PARTIALLY OVERLAPPING  
THE SAME AREA. THE EASEMENT IS RECORDED IN OFFICIAL  
RECORDS BOOK 1732, PAGE 1200, OF THE PUBLIC RECORDS  
OF MONROE COUNTY, FLORIDA.  
SEE DETAIL (A) (SHEET 2) FOR DEED OVER LAP & EASEMENT  
INFORMATION.



LOCATION MAP - NTS  
SEC. 06-T685-R25E

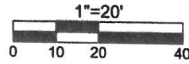


### SURVEYOR NOTES:

- ELEVATIONS SHOWN HEREON ARE IN FEET AND BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD 1929), AND ARE CERTIFIED TO AN ACCURACY OF ± 0.1 FT.
- BENCHMARK DESCRIPTION: NATIONAL GEODETIC SURVEY BENCHMARK 1211 (P.I.D. AAC020), ELEVATION = 3.91' (NGVD 1929).
- THE FINISH FLOOR ELEVATION(S) (FF) WERE TAKEN AT AN EXTERIOR DOOR THRESHOLD. NO INTERIOR FLOOR ELEVATIONS WERE VERIFIED.
- THIS SURVEY WAS PERFORMED FOR THE SOLE AND EXCLUSIVE BENEFIT OF THE PARTIES LISTED HEREIN AND SHALL NOT BE USED UPON BY ANY OTHER ENTITY OR INDIVIDUAL WHOMSOEVER, LIKEWISE, ANY REUSE OF THIS SURVEY FOR ANY PURPOSE OTHER THAN WHICH WAS ORIGINALLY INTENDED, WITHOUT THE WRITTEN PERMISSION OF THE UNDERSIGNED SURVEYOR & MAPPER, WILL BE DONE SO AT THE RISK OF THE REUSING PARTY AND WITHOUT ANY LIABILITY TO THE UNDERSIGNED SURVEYOR & MAPPER.
- THIS SURVEY DOES NOT PURPORT TO SHOW OWNERSHIP OF WALLS OR FENCES ALONG PROPERTY LINES.

### LEGEND

- WATER METER
- SANITARY SEWER CLEAN OUT
- MAILBOX
- WOOD POWER POLE
- CONCRETE POWER POLE
- GLY ANCHOR
- SPOT ELEVATION (TYPICAL)



TOTAL AREA = 17736.49 SQ FT ±

### CERTIFIED TO -

PATRICK T. HEGARTY,  
CHRISTOPHER J. ROUNDS;

NOTE: FOUNDATIONS BENEATH THE SURFACE ARE NOT SHOWN. MEASURED DIMENSIONS EQUAL PLATTED OR DESCRIBED DIMENSIONS UNLESS INDICATED OTHERWISE.

THE FOLLOWING IS A LIST OF ABBREVIATIONS THAT MAY BE FOUND ON THIS SHEET:

BY = BACKFLOW PREVENTER	CU = CURB	FF = FINISH FLOOR	FF = POINT OF BEGINNING
BO = BLOW UP	CL = CONCRETE CURB & GUTTER	FF = POINT OF BEGINNING	FF = POINT OF BEGINNING
CC = CONCRETE CURB	CL = CONCRETE CURB	FF = POINT OF BEGINNING	FF = POINT OF BEGINNING
CD = CONCRETE DRIVE	CL = CONCRETE CURB	FF = POINT OF BEGINNING	FF = POINT OF BEGINNING
CE = CONCRETE EAVE	CL = CONCRETE CURB	FF = POINT OF BEGINNING	FF = POINT OF BEGINNING
CF = CONCRETE FINISH	CL = CONCRETE CURB	FF = POINT OF BEGINNING	FF = POINT OF BEGINNING
CG = CONCRETE GROUND	CL = CONCRETE CURB	FF = POINT OF BEGINNING	FF = POINT OF BEGINNING
CH = CONCRETE HOLE	CL = CONCRETE CURB	FF = POINT OF BEGINNING	FF = POINT OF BEGINNING
CI = CONCRETE INTERIOR	CL = CONCRETE CURB	FF = POINT OF BEGINNING	FF = POINT OF BEGINNING
CJ = CONCRETE JOINT	CL = CONCRETE CURB	FF = POINT OF BEGINNING	FF = POINT OF BEGINNING
CK = CONCRETE KICK	CL = CONCRETE CURB	FF = POINT OF BEGINNING	FF = POINT OF BEGINNING
CL = CONCRETE CURB	CL = CONCRETE CURB	FF = POINT OF BEGINNING	FF = POINT OF BEGINNING
CM = CONCRETE MASONRY	CL = CONCRETE CURB	FF = POINT OF BEGINNING	FF = POINT OF BEGINNING
CO = CONCRETE	CL = CONCRETE CURB	FF = POINT OF BEGINNING	FF = POINT OF BEGINNING
CP = CONCRETE POWER POLE	CL = CONCRETE CURB	FF = POINT OF BEGINNING	FF = POINT OF BEGINNING
CS = CONCRETE SIDEWALK	CL = CONCRETE CURB	FF = POINT OF BEGINNING	FF = POINT OF BEGINNING
CT = CONCRETE TANK	CL = CONCRETE CURB	FF = POINT OF BEGINNING	FF = POINT OF BEGINNING
CU = CONCRETE CURB	CL = CONCRETE CURB	FF = POINT OF BEGINNING	FF = POINT OF BEGINNING
CV = CONCRETE VALVE	CL = CONCRETE CURB	FF = POINT OF BEGINNING	FF = POINT OF BEGINNING
CA = CONCRETE ANCHOR	CL = CONCRETE CURB	FF = POINT OF BEGINNING	FF = POINT OF BEGINNING
CB = CONCRETE BENCH	CL = CONCRETE CURB	FF = POINT OF BEGINNING	FF = POINT OF BEGINNING
CC = CONCRETE CURB	CL = CONCRETE CURB	FF = POINT OF BEGINNING	FF = POINT OF BEGINNING
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CO = CONCRETE	CL = CONCRETE CURB	FF = POINT OF BEGINNING	FF = POINT OF BEGINNING
CP = CONCRETE POWER POLE	CL = CONCRETE CURB	FF = POINT OF BEGINNING	FF = POINT OF BEGINNING
CS = CONCRETE SIDEWALK	CL = CONCRETE CURB	FF = POINT OF BEGINNING	FF = POINT OF BEGINNING
CT = CONCRETE TANK	CL = CONCRETE CURB	FF = POINT OF BEGINNING	FF = POINT OF BEGINNING
CU = CONCRETE CURB	CL = CONCRETE CURB	FF = POINT OF BEGINNING	FF = POINT OF BEGINNING
CV = CONCRETE VALVE	CL = CONCRETE CURB	FF = POINT OF BEGINNING	FF = POINT OF BEGINNING
CA = CONCRETE ANCHOR	CL = CONCRETE CURB	FF = POINT OF BEGINNING	FF = POINT OF BEGINNING
CB = CONCRETE BENCH	CL = CONCRETE CURB	FF = POINT OF BEGINNING	FF = POINT OF BEGINNING

### LEGAL DESCRIPTION -

1125 Duval Street;  
That part of Lot Four (4) in Square Five (5) of Tract Eleven (11) according to Chas. W. Tift's Map of the City of Key West;  
Commencing at the Northerly corner of Duval and Catherine streets and running along Duval Street in a Northerly direction Ninety-One (91) Feet, Eight (8) inches; thence at right angles in a Northerly direction parallel to Catherine Street One Hundred Forty-Five (145) feet, Three (3) inches; thence at right angles in a Southeasterly direction Ninety-one (91), Eight (8) inches to Catherine Street; thence at right angles in a Southeasterly direction One Hundred Forty-Five (145) feet, Three (3) inches to the Point of Beginning.

AND ALSO:  
515 Catherine Street;  
Part of Lot 4, Square 5, Tract 11, according to Charles W. Tift's Map of the Island of Key West, Monroe County, Florida, but better described by meters and bounds as follows:  
Commencing at the Northerly corner of Duval and Catherine Street, thence run in a Northeasterly direction along Catherine Street for a distance of 145 feet and 3 inches to the Point of Beginning; From said Point of Beginning continue along Catherine Street for a distance of 48 feet to a point; thence at a right angle in a Northwesterly direction 91 feet and 8 inches; thence at a right angle in a Southeasterly direction 48 feet; thence at a right angle in a Southeasterly direction 91 feet and 8 inches back to the Point of Beginning.

SCALE: 1"=20'  
FIELD WORK: 07/17/2023  
DATE: 07/17/2023  
MAP DATE: 10/10/2023  
REVISION: XXXXXXXX  
DATE:  
SHEET: 1 OF 2  
DRAWN BY: MPB  
JOB NO.: 23-137

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTERS 3014-147 & 541-17.05, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

NOT VALID WITHOUT THE SIGNATURE AND THE SEALED OF A FLORIDA SURVEYOR AND MAPPER.

ERIC A. CANNON, PROFESSIONAL SURVEYOR AND MAPPER, LDF 7849

**FLORIDA KEYS  
LAND SURVEYING**  
3180 OVERSEAS HWY, SUITE 4  
CLIFTON KEY, FL 33044  
PHONE: (305) 394-3690  
FAX: (305) 509-7373  
EMAIL: FLK2mail@gmail.com



# **Verification & Authorization**

## Verification and Authorization Forms



**City of Key West  
Planning Department**

**Authorization Form**  
*(Individual or Joint Owner)*

Please complete this form if someone other than the owner is representing the property owner in this matter.

I, Patrick T. Hegarty and Christopher J. Rounds authorize  
*Please Print Name(s) of Owner(s) as appears on the deed*

Gregory S. Oropeza, Esq., Oropeza, Stones & Cardenas, PLLC  
*Please Print Name of Representative*

to be the representative for this application and act on my/our behalf before the City of Key West.

*Patrick T. Hegarty* *Christopher J. Rounds*  
*Signature of Owner* *Signature of Joint Co-owner if applicable*

Subscribed and sworn to (or affirmed) before me on this 1-11-2024  
*Date*

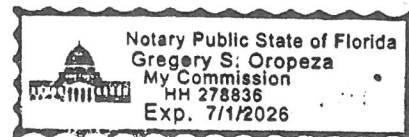
by Patrick T. Hegarty and Christopher J. Rounds  
*Name of Owner*

He/She is personally known to me or has presented \_\_\_\_\_ as identification.

*[Signature]*  
*Notary's Signature and Seal*

\_\_\_\_\_  
*Name of Acknowledger typed, printed or stamped*

\_\_\_\_\_  
*Commission Number, if any*





**City of Key West  
Planning Department  
Verification Form**  
*(Where Applicant is an entity)*


I, Gregory S. Oropeza, in my capacity as Managing Partner  
(print name) (print position; president, managing member)  
 of Oropeza, Stones & Cardenas, PLLC  
(print name of entity)

being duly sworn, depose and say that I am the Authorized Representative of the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

1125 Duval Street, Key West, Florida 33040  
Street address of subject property

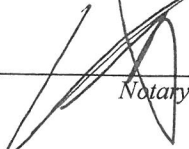
I, the undersigned, declare under penalty of perjury under the laws of the State of Florida that I am the Authorized Representative of the property involved in this application; that the information on all plans, drawings and sketches attached hereto and all the statements and answers contained herein are in all respects true and correct.

In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.

  
Signature of Applicant

Subscribed and sworn to (or affirmed) before me on this 11<sup>th</sup> day of Jun 2024 by  
date  
Gregory S. Oropeza  
Name of Applicant

He/She is personally known to me or has presented \_\_\_\_\_ as identification.

  
Notary's Signature and Seal

\_\_\_\_\_  
Name of Acknowledger typed, printed or stamped  
 \_\_\_\_\_  
Commission Number, if any





# **Warranty Deed**

## Warranty Deed

Prepared by and return to:  
Gregory S. Oropeza, Esq.  
Attorney at Law  
Oropeza Stones Cardenas, PLLC  
221 Simonton Street  
Key West, FL 33040  
305-294-0252  
File Number: 23-44  
Consideration: \$1,550,000.00

Parcel Identification No. 00027890-000000

[Space Above This Line For Recording Data]

## Warranty Deed

(STATUTORY FORM - SECTION 689.02, F.S.)

This Indenture made this 8<sup>th</sup> day of February, 2023 between Diana H O'Dell, a married woman and Rigoberto Hernandez, Jr., a single man and Janet H Delgado, a married woman whose post office address is 45 Watauga Creek Trail, Franklin, NC 28734 of the County of Macon, State of North Carolina, grantor\*, and Patrick Hegarty, a single man and Christopher Rounds, a single man, as joint tenants with right of survivorship whose post office address is 900 Johnson Street, Key West, FL 33040 of the County of Monroe, State of Florida, grantee\*,

Witnesseth that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Monroe County, Florida, to-wit:

Part of Lot 4, Square 5, Tract 11, according to Charles W. Tift's Map of the Island of Key West, Monroe County, Florida, but better described by metes and bounds as follows:  
Commencing at the Northeasterly corner of Duval and Catherine Street, thence run in a Northeasterly direction along Catherine street for a distance of 145 feet and 3 inches to the Point of Beginning. From said Point of Beginning continue along Catherine Street for a distance of 48 feet to a point; thence at a right angle in a Northwesterly direction 91 feet and 8 inches; thence at a right angle in a Southwesterly direction 48 feet; thence at a right angle in a Southeasterly direction 91 feet and 8 inches back to the Point of Beginning.

Subject to taxes for 2023 and subsequent years; covenants, conditions, restrictions, easements, reservations and limitations of record, if any.

THE PROPERTY CONVEYED HEREIN IS NEITHER THE DOMICILE NOR THE HOMESTEAD OF GRANTOR, NOR GRANTOR'S SPOUSE, NOR ANY OF GRANTOR'S IMMEDIATE HOUSEHOLD, AS DEFINED BY THE LAWS OF THE STATE OF FLORIDA. GRANTOR RESIDES AT THE ADDRESS SHOWN ABOVE.

and said grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

\* "Grantor" and "Grantee" are used for singular or plural, as context requires.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Silas Way  
Witness Name: Silas Way

Diana H O'Dell  
Diana H O'Dell

Pris. for an... 11  
Witness Name: Pris. for an... 11

State of NC  
County of Macon

The foregoing instrument was acknowledged before me by means of  physical presence or  online notarization, this 6 day of February, 2023 by Diana H O'Dell, who  is personally known or  has produced a driver's license as identification.



Brian Marshall  
Notary Public

Printed Name: Brian Marshall

My Commission Expires: 5-28-2027

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Madison Fallon  
Witness Name: Madison Fallon

[Signature]  
Rigoberto Hernandez, Jr.

[Signature]  
Witness Name: Gregory Oropeza

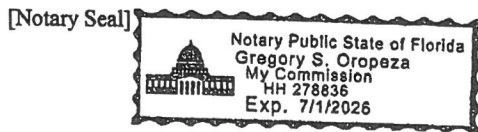
[Signature]  
Janet H Delgado

[Signature]  
Witness Name: Gregory Oropeza

Walt Lee  
Witness Name: Walt Lee

State of Florida  
County of Monroe

The foregoing instrument was acknowledged before me by means of  physical presence or  online notarization, this 6 day of February, 2023 by Rigoberto Hernandez, Jr., who  is personally known or  has produced a driver's license as identification.



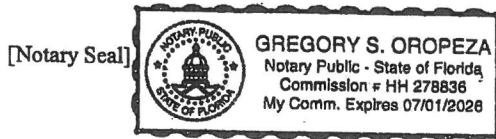
[Signature]  
Notary Public

Printed Name: \_\_\_\_\_

My Commission Expires: \_\_\_\_\_

State of FL  
County of MONROE

The foregoing instrument was acknowledged before me by means of  physical presence or  online notarization, this 7 day of February, 2023 by Janet H Delgado, who  is personally known or  has produced a driver's license as identification.



[Signature]  
Notary Public

Printed Name: \_\_\_\_\_

My Commission Expires: \_\_\_\_\_

THIS INSTRUMENT PREPARED BY:

Mark I. Aronson, Esq.  
Holland & Knight LLP  
Suite 3000  
701 Brickell Avenue  
Miami, Florida 33131

Doc# 1963150 12/30/2013 11:38AM  
Filed & Recorded in Official Records of  
MONROE COUNTY AMY HEAVILIN

12/30/2013 11:38AM  
DEED DOC STAMP CL: Krys \$44,100.00

Doc# 1963150  
Bk# 2665 Pg# 438

\_\_\_\_\_  
Space Above This Line For Recording  
ALTERNATE KEY NO. 1028649

### SPECIAL WARRANTY DEED

This Special Warranty Deed, is made the 17th day of December, 2013, by LA TE DA REDUX, INC., a Florida corporation, whose address is 1125 Duval Street, Key West, Florida 33040 ("Grantor"), in favor of PATRICK T. HEGARTY and CHRISTOPHER J. ROUNDS, as tenants in common, whose address is 1125 Duval Street, Key West, Florida 33040 ("Grantee").

GRANTOR, for and in consideration of the sum of Ten and No/100 Dollars (\$10.00) and other valuable consideration, receipt of which is hereby acknowledged, has granted, bargained and sold to Grantee, and Grantee's successors and assigns forever, the land located in Monroe County, Florida, as more particularly described in Exhibit "A" attached hereto and made a part hereof (the "Property").

TO HAVE AND TO HOLD, the same together with all and singular tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining, and all the estate, right, title, interest, lien, equity, and claim whatsoever of the Grantor, either in law or in equity, to the use, benefit and behalf of the Grantee forever.

This conveyance is made subject to the following:

1. Taxes and assessments for the year 2014 and subsequent years.
2. Zoning and other governmental regulations.
3. Conditions, restrictions, limitations and easements of record, if any, none of which are intended to be reimposed by this conveyance.

TO HAVE AND TO HOLD, the same in fee simple forever.

Together with all tenements, hereditaments and appurtenances belonging or in any way appertaining to the Property.

AND Grantor hereby specially warrants the title to the Property and will defend the same against the lawful claims of all persons claiming by, through and under Grantor, but none others.

27.00

IN WITNESS WHEREOF, the Grantor has caused this Special Warranty Deed to be executed the day and year first above written.

Signed, sealed and delivered  
in the presence of:

GRANTOR:

*(X) Tammie Wells*  
Print Name: Tammie Wells

LA TE DA REDUX, INC., a Florida corporation

*VMCFADYEN*  
Print Name: VMCFADYEN

By: *Robert B Goldman, President*  
Robert B. Goldman, President

STATE OF FLORIDA )  
   )  
COUNTY OF MONROE                          )

SS:

The foregoing instrument ~~was~~ acknowledged before me this 13<sup>th</sup> day of December, 2013, by Robert B. Goldman, as President of La Te Da Redux, Inc., on behalf of the Corporation. He is personally known to me or has produced \_\_\_\_\_ as identification.

*VMCFADYEN*  
\_\_\_\_\_  
NOTARY PUBLIC, State of Florida at Large  
(NOTARY SEAL)

My Commission Expires:



EXHIBIT "A"

Legal Description

That part of Lot Four (4) in Square Five (5) of Tract Eleven (11) according to Chas. W. Tift's Map of the City of Key West:

Commencing at the Northerly corner of Duval and Catherine Streets and running along Duval Street in a Northwesterly direction Ninety-One (91) feet, Eight (8) inches; thence at right angles in a Northeasterly direction parallel to Catherine Street One Hundred Forty-Five (145) feet, Three (3) inches; thence at right angles in a Southeasterly direction Ninety-One (91) feet, Eight (8) inches to Catherine Street; thence at right angles in a Southwesterly direction One Hundred Forty-Five (145) feet, Three (3) inches to the Point of Beginning.



# **Pre-App Meeting Notes**



# **Landscape Waiver Request**

VIA HAND DELIVERY

June 5, 2024

Katie Halloran, Director of Planning  
City of Key West Planning Department  
1300 White Street  
Key West, FL 33040

RE: Requests for Landscape Waiver - 1125 Duval Street, Key West, Florida 33040

Pursuant to Article V of Section 108 of the City of Key West Code (“Code”), and more particularly set forth below, the Applicant for 1125 Duval Street, Key West, Florida 33040, more commonly known as La Te Da (the “Property”), is requesting a waiver to the landscape Code provisions referenced below. Currently, Property exists with legal non-conformities which are, in part, improved by and through the Property’s Landscape Plan. In accordance with the requirements of the City of Key West’s Urban Forestry Department’s initial evaluation of the Property’s Landscape Plan, the Applicant has prepared the following pertinent waiver requests.

**Section 108-346 – Open space, landscaping and removal of exotic vegetation.**

The Property is within the HRCC-3 zoning district, which requires 0.20, or 20%, open space requirement. In its current condition, the Property exists with 0.15, or 15%, open space. The Proposed Plan increased the amount of open space to 0.17, or 17%, which is an improvement of the legal non-conforming open space ratio. The Applicant is seeking a waiver to permit the proposed 17% of open space within the Property which, although an improvement on the existing legally non-conforming open space ratio of 15%, is less than the required 20% open space ratio.

**Section 108-437- Bufferyard and Landscape Screening Types:**

The Property’s proposed use falls within the category of medium impact, multifamily, and therefore has bufferyard requirement of 15 plant units per 100 linear feet. The Bufferyard Standards for the Property are as follows:

Type D BUFFERYARD					
		Factor	Linear Feet	Required	Proposed
Buffer	Width	5 Feet	72 Feet	5 Feet	5 Feet
	Plant Units	15 Units per 100 LF		10.8 Units	30 Units
Buffer	Width	5 Feet	87 Feet	5 Feet	5 Feet
	Plant Units	15 Units per 100 LF		13 Units	15 units

Along the Northwest property line area, approximately 30 plant units are required pursuant to the code requirement of 15 plant units with an opaque fence (D buffer) per 100 linear feet. The Proposed Plan calls for 4 subcanopy tree species and a total of 20 plant units with an opaque fence.

However, this area borders historic structures and is the primary means of access for fire safety and, as such, Karen DeMaria, as Manager of the City of Key West Urban Forestry Department, has recommended that no additional vegetation be planted in this area. The Applicant is therefore seeking a waiver to reduce the total required plant units from 30 units down to 20 units per the Proposed Plan and recommendations of the Urban Forestry Department.

**Section 108-412- Minimum Landscape Requirements**

- a. Minimum Landscaped Areas: 20% of the building site area

The Proposed Development provides for 16% of the building site designated as landscaped areas. This is an improvement on the existing, legally non-conforming landscape area ratio of 15%.

- b. Minimum Native Plant Requirement: 70% of the minimum required landscaping

The Proposed Plan calls for 64% native vegetation. The Applicant intends to remove and replace 11 palm trees and intends to replace these 11 trees with 9 native palm trees of varying species and 2 native Eugenia Foetidas. The only non-native vegetation are Alexander Palms which will be potted indoors. Alexander Palms are indigenous to the Island and are similar to other existing palms in the area.

The Applicant is seeking a waiver of a reduction of the total native vegetation by 6% and a reduction of the required minimum landscape area by 4% to allow for 64% native vegetation and 16% of the building site being landscaped area.

**Section 108-413 (b) - Requirements along Street Frontage: Property less than 0.5 Acres**

	Linear Feet	Width	Plant Units Per 100 LF	Required Plant Units	Proposed
Catherine Street	194 LF	10'	40	80	
Duval Street	92 LF	10'	40	40	

The Proposed Plan includes an existing 4 foot 9 inches wide landscaped area along the Duval Street section of the Property which has a total of 24 plant units. No new vegetation is planned for this area. The Applicant is seeking a waiver of 16 plant units to allow it to proceed with the planned 24 plant units in this area, as well as a waiver of the required width of the landscaped area which is currently 4 feet 9 inches wide throughout the area, but which the Code requires a total of 10 feet in width.

Along Catherine Street, the Proposed Plan calls for a total of 35 plant units and a total approximate width of 4 feet 9 inches. The Applicant is seeking a waiver of 45 plant units to allow it to proceed

with the planned 35 plant units, as well as a waiver of the required width of the landscaped area which is currently 4 feet 9 inches wide throughout the area, but which the Code requires a total of 10 feet in width.

**Section 108-416 – Other Landscape Requirements for nonvehicular use areas.**

Percent of Site in Nonvehicular Open Space (NOS) (percent)	Tree Requirement	Proposed (0.17)
Less than 30	4 trees/2,000 sq. ft. NOS	2 Trees, 8 Alexander Palms

The Proposed Plan calls for the planting of two (2) Spanish Stopper trees and eight (8) Alexander Palms. The current code requires a total of four (4) trees. The Applicant is seeking a waiver of two (2) trees to allow it to proceed with its current plan of two (2) trees (Spanish Stopper) and eight (8) Alexander Palms.

**Section 108-481 – Specifications for plant materials.**

The Code restricts the total percentage of Palm Trees to be planted to 25% of the total tree requirements for any of the applicable Sections 108. The Proposed Plan calls for Palm Trees to account for a total of 36% of the plants to be planted. The Proposed Plan is designed to create an appealing atmosphere which creates a tropical appearance congruent with the area. As such, the Applicant is seeking a waiver of 11% to allow for the Plan to proceed with Palm Trees accounting for 36% of the plants to be planted.

If you should have any questions or require additional information, please do not hesitate to contact me.

Very Truly Yours,



Gregory S. Oropeza

# **Unity of Title**

Prepared by and return to:  
Gregory s. Oropeza, esq.  
Attorney at law  
Oropeza, stones & Cardenas, PLLC  
221 Simonton street  
Key west, FL 33040  
305-294-0252

---

**UNITY OF TITLE**

WHEREAS, **PATRICK T. HEGARTY and CHRISTOPHER J. ROUNDS** are the owners of the property located in Key West, Monroe County, Florida, and described as:

**SEE EXHIBIT "A" ATTACHED HERETO**

**Parcel ID No. 00027870-000000**

Also known as: 1125 Duval Street 16, Key West, Florida 33040

and,

WHEREAS, **PATRICK T. HEGARTY and CHRISTOPHER J. ROUNDS** are the owners of the property located in Key West, Monroe County, Florida, and described as:

**SEE EXHIBIT "B" ATTACHED HERETO**

**Parcel ID No. 00027890-000000**

Also known as: 515 Catherine Street, Key West, Florida 33040

WHEREAS, the undersigned recognize and acknowledge that the herein described properties shall be considered as one parcel of land; and

WHEREAS, the undersigned hereby execute this written document to effect the above stated purpose.

NOW, THEREFORE, in consideration of other goods and valuable considerations, the undersigned hereby agrees to restrict the use of the above-described real properties in the following manner:

1. That the two parcels of property referred to herein above shall be considered as one plot and parcel of land for transfer purposes, and that no portion of said plot and parcel of land shall be sold, transferred, devised or assigned separately, except in its entirety as one plot or parcel of land unless a termination of this Unity of Title is filed in the Monroe County, Florida public records.

2. The undersigned further agrees that this condition, restriction, and limitation shall be deemed a covenant running with the land and shall remain in full force and effect and shall be binding upon the undersigned, their heirs, and assigns until such a time as the undersigned executes and records a termination of this Unity of Title is filed in the Monroe County, Florida public records.

3. The undersigned further agree that this Unity of Title shall be recorded in the Public Records of Monroe County.



SIGNED, SEALED, EXECUTED and acknowledged on this 11 day of Jan, 2024.

Witnesses:

[Signature]  
Printed Name: Derek McClann  
1125 Duval St  
Key West FL 33040

By: [Signature]  
Patrick T. Hegarty

[Signature]  
Printed Name: Gregory Oropeza  
221 Simonton St  
Key West FL 33040

By: [Signature]  
Christopher J. Rounds

[Signature]  
Printed Name: Derek McClann  
1125 Duval St  
Key West FL 33040

[Signature]  
Printed Name: Gregory Oropeza  
221 Simonton St  
Key West FL 33040

STATE OF FL )  
COUNTY OF MONROE )

Subscribed and acknowledged before me on this 11<sup>th</sup> of JANUARY, 2024, by **Patrick T. Hegarty and Christopher J. Rounds**, who are personally known to me or who have produced drivers licenses as identification and who did not take an oath.

[Signature]  
Notary Public  
My Commission Expires:  
My Commission Number is:

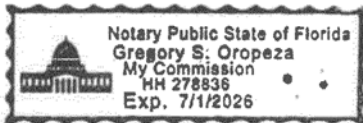


EXHIBIT A

That part of Lot Four (4) in Square Five (5) of Tract Eleven (11) according to Chas. W. Tift's Map of the City of Key West:

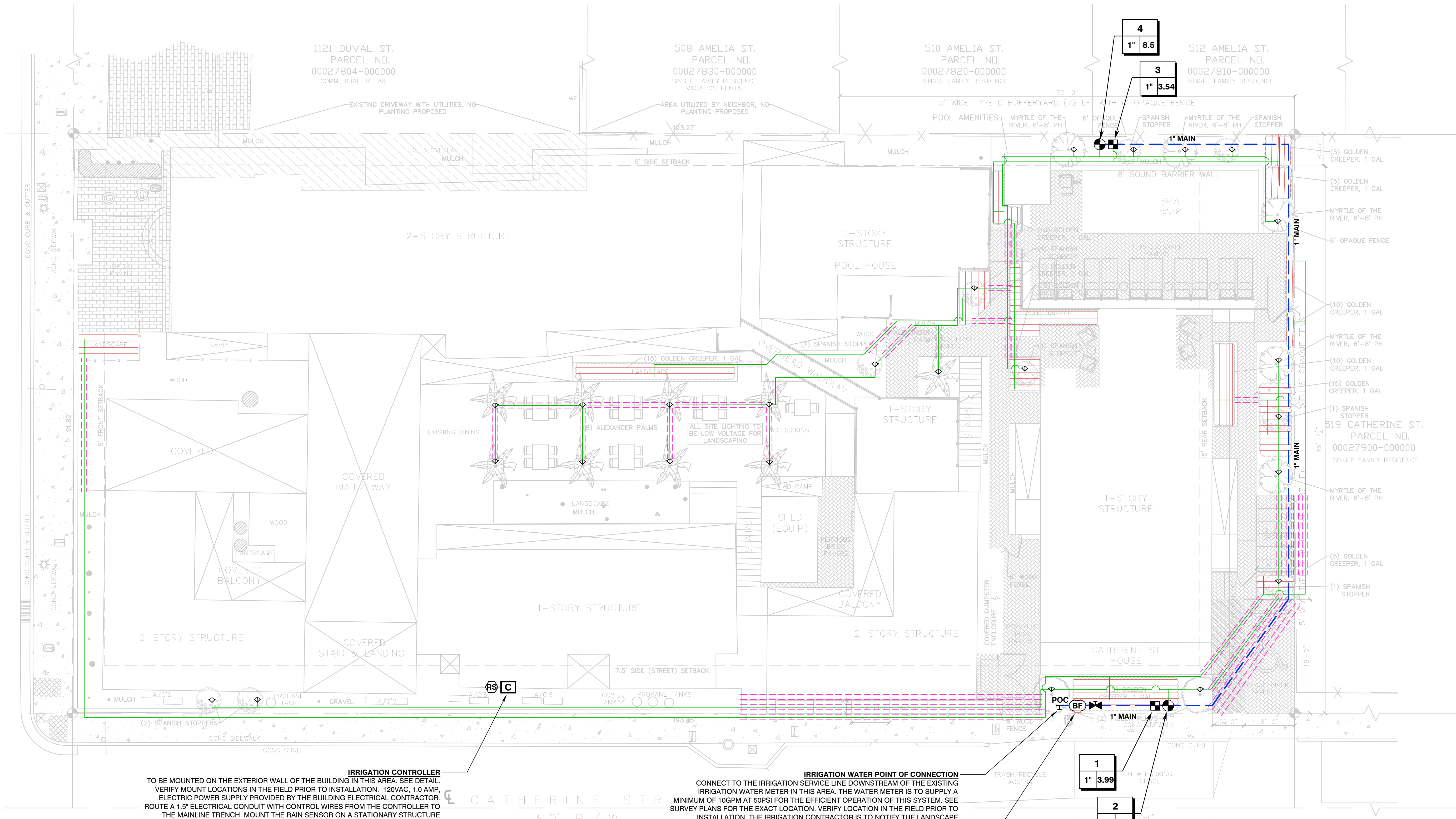
Commencing at the Northerly corner of Duval and Catherine Streets and running along Duval Street in a Northwesterly direction Ninety-One (91) feet, Eight (8) inches; thence at right angles in a Northeasterly direction parallel to Catherine Street One Hundred Forty-Five (145) feet, Three (3) inches; thence at right angles in a Southeasterly direction Ninety-One (91) feet, Eight (8) inches to Catherine Street; thence at right angles in a Southwesterly direction One Hundred Forty-Five (145) feet, Three (3) inches to the Point of Beginning.

EXHIBIT B

Part of Lot 4, Square 5, Tract 11, according to Charles W. Tift's Map of the Island of Key West, Monroe County, Florida, but better described by metes and bounds as follows:

Commencing at the Northeasterly corner of Duval and Catherine Street, thence run in a Northeasterly direction along Catherine street for a distance of 145 feet and 3 inches to the Point of Beginning. From said Point of Beginning continue along Catherine Street for a distance of 48 feet to a point; thence at a right angle in a Northwesterly direction 91 feet and 8 inches; thence at a right angle in a Southwesterly direction 48 feet; thence at a right angle in a Southeasterly direction 91 feet and 8 inches back to the Point of Beginning.

# **Irrigation Plan**



87 LF/100 LF = 0.87 x 1  
 PROVIDED:  
 (5) ORNAMENTAL TREES +  
 (35) SHRUBS = 35 PLAN  
 60 PLANT UNITS PROVIDED  
 6" OPAQUE FENCE PROVIDED  
 WITH KEY WEST LDC SE

REPLACEMENT

**LATERAL LEGEND**

	1"
	1.5"
	2"
	2.5"

**SLEEVE LEGEND**

LATERAL/MAINLINE SIZE	SLEEVE SIZE
1"	2"
1.5"	3"
2"	4"
2.5"	4"
3"	6"
4"	8"
CONTROL WIRE CONDUIT	2"

ALL PROPOSED SLEEVES IN DRAWING ARE TO BE DIRECTIONAL BORE SHOT SLEEVES

**IRRIGATION CONTROLLER**  
 TO BE MOUNTED ON THE EXTERIOR WALL OF THE BUILDING IN THIS AREA. SEE DETAIL. VERIFY MOUNT LOCATIONS IN THE FIELD PRIOR TO INSTALLATION. 120VAC, 1.0 AMP. ELECTRIC POWER SUPPLY PROVIDED BY THE BUILDING ELECTRICAL CONTRACTOR. ROUTE A 1.5" ELECTRICAL CONDUIT WITH CONTROL WIRES FROM THE CONTROLLER TO THE MAINLINE TRENCH. MOUNT THE RAIN SENSOR ON A STATIONARY STRUCTURE ABOVE ALL OVERHEAD OBSTRUCTIONS. PROVIDE TWO (2) ADDITIONAL CONTROL WIRES IN WIRE BUNDLE FOR FUTURE USE.

THE IRRIGATION CONTRACTOR IS TO SET THE RUN TIMES FOR EACH ZONE TO MATCH THE PLANT WATER REQUIREMENTS, SITE CONDITIONS AND MICRO-CLIMATE FACTORS. SEE THE LANDSCAPE PLANS FOR PLANT SPECIFICATIONS.

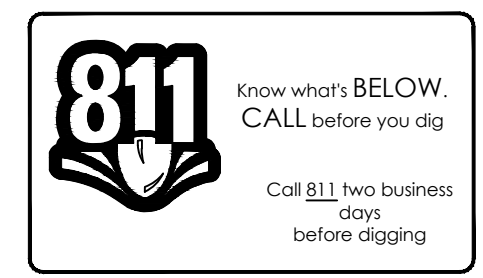
**IRRIGATION WATER POINT OF CONNECTION**  
 CONNECT TO THE IRRIGATION SERVICE LINE DOWNSTREAM OF THE EXISTING IRRIGATION WATER METER IN THIS AREA. THE WATER METER IS TO SUPPLY A MINIMUM OF 10GPM AT 50PSI FOR THE EFFICIENT OPERATION OF THIS SYSTEM. SEE SURVEY PLANS FOR THE EXACT LOCATION. VERIFY LOCATION IN THE FIELD PRIOR TO INSTALLATION. THE IRRIGATION CONTRACTOR IS TO NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION IF THE REQUIRED PRESSURE IS NOT AVAILABLE ON THE SERVICE LINE.

**BACKFLOW PREVENTER**  
 IRRIGATION INSTALLER TO FOLLOW LOCAL CODES. VERIFY LOCATION IN THE FIELD BEFORE INSTALLATION. SEE THE PRODUCT LEGEND FOR THE BACKFLOW MANUFACTURER AND MODEL #.

IRRIGATION PLANS ARE TO BE VIEWED IN COLOR FOR MOST ACCURATE INTERPRETATION OF THE DESIGN.

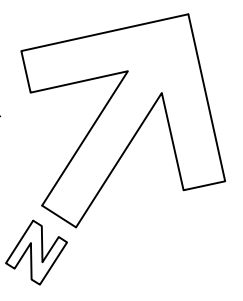
MAINLINE AND CONTROL VALVES MAY BE SHOWN OFFSET FOR GRAPHIC CLARITY. INSTALL ALL MAINLINE AND CONTROL VALVES IN THE LANDSCAPED AREA. SET THE IRRIGATION MAINLINE ROUTE TO AVOID CONFLICTS WITH TREE INSTALLATION (TYP.)

INSTALL ALL THE IRRIGATION EQUIPMENT TO AVOID CONFLICTS WITH INSTALLED UTILITIES, TREE INSTALLATION AND EXISTING TREES TO REMAIN. THE IRRIGATION MAINLINE, LATERAL LINE, AND IRRIGATION SPRINKLER LOCATIONS ARE SHOWN SCHEMATICALLY AND SHALL BE ADJUSTED BASED ON FIELD CONDITIONS. ALL LANDSCAPED AREAS ARE TO RECEIVE 100% COVERAGE BY THE IRRIGATION SYSTEM (TYP.)



**IRRIGATION PLAN**

1/8" = 1' - 0"



LaTeDa Resort  
 1125 Duval & 515 Catherine Key West, FL

POPE-SCARBROUGH-ARCHITECTS  
 THOMAS E. POPE, P.A.  
 (305) 296 3611 610 White St. Key West FL

date: 04/01/24  
 revision:

sheet: A0.4

## IRRIGATION NOTES

- THE PLANS AND DRAWINGS ARE DIAGRAMMATIC OF THE WORK TO BE PERFORMED. SOME COMPONENTS MAY BE SHOWN OUTSIDE THE WORK AREA FOR CLARITY. THE WORK SHALL BE EXECUTED IN A MANNER TO AVOID CONFLICTS WITH UTILITIES AND OTHER ELEMENTS OF CONSTRUCTION, INCLUDING LANDSCAPE MATERIALS. ALL DEVIATIONS FROM THE PLANS SHALL BE APPROVED BY THE OWNERS REPRESENTATIVE BEFORE BEING INSTALLED.
- THE IRRIGATION SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANS, IRRIGATION SYSTEM SPECIFICATIONS AND ALL CONTRACT DOCUMENTS. THE CONTRACTOR SHALL COMPLY WITH ALL CURRENT LOCAL CODES, ORDINANCES, AND REGULATIONS.
- ALL IRRIGATION MAINLINE AND LATERAL LINES ARE TO NOT EXCEED A VELOCITY OF 5FPS.
- THE CONTRACTOR SHALL NOT WILLFULLY INSTALL ANY ASPECT OF THE IRRIGATION SYSTEM AS SHOWN ON THE PLANS AND DRAWINGS, WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS, GRADE DIFFERENCES, OR DISCREPANCIES EXIST THAT MIGHT NOT HAVE BEEN KNOWN DURING THE DESIGN OF THE IRRIGATION SYSTEM. IN THE EVENT THAT NOTIFICATION OF THE CONFLICT IS NOT APPROVED BY THE OWNERS REPRESENTATIVE, THE CONTRACTOR WILL ASSUME FULL RESPONSIBILITY FOR ALL REVISIONS.
- REFER TO THE LANDSCAPE PLANS WHEN TRENCHING TO AVOID TREE ROOT BALLS WHEN INSTALLING IRRIGATION EQUIPMENT. CALL 811 AND REFER TO UTILITY PLANS PRIOR TO TRENCHING.
- IRRIGATION CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS, INCLUDING UTILITY LOCATIONS BEFORE INSTALLATION OF THE IRRIGATION SYSTEM. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING INSTALLATION WITH ALL OTHER CONSTRUCTION ON SITE, ESPECIALLY LANDSCAPE INSTALLATION. THE IRRIGATION SYSTEM SHALL BE RELOCATED AT NO ADDITIONAL COST FOR ANY CONFLICT WITH LANDSCAPE INSTALLATION OR ANY OTHER SITE CONSTRUCTION OR EXISTING CONDITIONS.
- VERIFY THE REQUIRED MINIMUM STATIC WATER PRESSURE IS AVAILABLE AT THE PROJECT SITE PRIOR TO BEGINNING THE IRRIGATION INSTALLATION. NOTIFY THE IRRIGATION DESIGN CONSULTANT AND LANDSCAPE ARCHITECT IN WRITING IF THE MINIMUM STATIC WATER PRESSURE OR WATER VOLUME IS NOT AVAILABLE. SEE PLAN SHEET FOR REQUIREMENTS.
- WHERE EXISTING OR NEW TREES, LIGHT FIXTURES, SIGNS, ELECTRONIC CONTROLLERS AND/OR OTHER OBJECTS ARE AN OBSTRUCTION TO AN IRRIGATION SPRINKLERS PATTERN, THE COMPONENT AND PIPING SHALL BE RELOCATED AS NECESSARY TO OBTAIN PROPER COVERAGE OF AN IRRIGATION SPRINKLER'S PATTERN. THE COMPONENT AND PIPING SHALL BE RELOCATED AS NECESSARY TO OBTAIN THE PROPER COVERAGE WITHOUT DAMAGING THE OBSTRUCTION.
- 100% IRRIGATION COVERAGE IS REQUIRED. ASSURE THAT ANY MODIFIED SPACING DOES NOT EXCEED THE SPACING SHOWN IN THE PLANS.
- IRRIGATION CONTRACTOR SHALL ADJUST ALL SPRINKLERS TO AVOID OVER SPRAY ONTO IMPERVIOUS AREAS.
- ALL MATERIALS AND EQUIPMENT SHOWN SHALL BE NEW AND INSTALLED AS SHOWN ON THE PLANS. IF THE DRAWINGS DO NOT THOROUGHLY DESCRIBE THE TECHNIQUES TO BE USED, THE INSTALLER SHALL FOLLOW THE INSTALLATION METHODS AND INSTRUCTIONS RECOMMENDED BY THE PRODUCT MANUFACTURER.
- THE LOCATION OF THE IRRIGATION MAINLINE SHALL BE IDENTIFIED IN THE FIELD AND APPROVED BY THE OWNER'S REPRESENTATIVE BEFORE INSTALLATION.
- CONTRACTOR IS TO SUBMIT PRODUCT SPECIFICATION SHEETS FOR ALL IRRIGATION EQUIPMENT TO BE USED FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- THE QUANTITIES SHOWN IN THE LEGEND SHEETS SHALL NOT BE USED FOR BIDDING PURPOSES. THE CONTRACTOR WILL BE RESPONSIBLE FOR CONDUCTING A COMPREHENSIVE MATERIALS TAKEOFF TO DETERMINE THE ACTUAL QUANTITIES OF MATERIAL NECESSARY TO EXECUTE THE WORK DESCRIBED IN THE DOCUMENTS.
- ALL TRENCHES SHALL BE BACKFILLED WITH CLEAN DEBRIS-FREE MATERIALS.
- IRRIGATION CONTRACTOR IS TO INSTALL CHRISTY ZONE TAGS WITH THE CORRESPONDING CONTROLLER ZONE NUMBER AT EACH CONTROL VALVE.
- AS BUILT DOCUMENTS ARE TO BE PROVIDED TO THE OWNER UPON COMPLETION OF THE PROJECT. THE MAINLINE, CONTROL VALVES, ISOLATION VALVES, GROUND RODS AND SPLICE BOXES SHALL BE LOCATED WITH A MEASUREMENT FROM TWO FIXED POINTS.
- IRRIGATION CONTRACTOR SHALL SECURE ANY AND ALL NECESSARY PERMITS FOR THE WORK PRIOR TO COMMENCEMENT OF ON-SITE OPERATIONS.
- A MAINLINE PRESSURE TEST IS TO BE CONDUCTED BEFORE BACKFILLING. ALL FINDINGS ARE TO BE REPORTED TO THE LANDSCAPE ARCHITECT WITHIN TWENTY FOUR HOURS POST TEST.
- ALL SLEEVES ARE TO BE TWO TIMES THE SIZE OF THE PIPE.
- ROUTE AN ELECTRICAL CONDUIT FROM THE CONTROLLER TO THE MAINLINE TRENCH FOR THE CONTROL WIRES. RUN THE CONDUIT AND CONTROL WIRES PARALLEL TO THE MAINLINE.
- THE IRRIGATION SYSTEM IS TO BE INSPECTED AND APPROVED BY THE PROJECT OWNER PRIOR TO RECEIVING CERTIFICATION.
- ANY PRODUCT SUBSTITUTIONS MADE BY THE IRRIGATION CONTRACTOR ARE TO BE REVIEWED AND APPROVED BY THE OWNER PRIOR TO INSTALLATION.

### DRIP SPECIFICATIONS & NOTES:

DRIP TUBING; SPECIFICATION AS SHOWN ON THE PRODUCT SCHEDULE; DRIP GRID LAY-OUT IS BASED ON 30 PSI.

- INSTALL DRIP SYSTEM IN THE FOLLOWING ORDER: A) WITH ALL MAINLINE AND IT'S ASSOCIATE EQUIPMENT (INCLUDING PRE-FILTERING 120 MESH FILTER AT P.O.C.) COMPLETELY INSTALLED, FLUSH MAINLINE TILL FREE AND CLEAR OF DEBRIS. B) INSTALL ALL LATERALS TO THE VARIOUS DRIP GRIDS, AND SUPPLY HEADERS WITH RISERS EXTENDED ABOVE GROUND. CENTER FEED RISERS, TEMPORARY EXTEND NIPPLES WITH PIPE AND COUPLINGS (DO NOT GLUE). FLUSH TILL FREE AND CLEAR OF DEBRIS, TEMPORARY CAP NIPPLES. SEAL BLANK TUBING (RISERS) WITH TAPE. C) INSTALL EXHAUST HEADERS - RISERS - FLUSH POINTS. D) INSTALL DRIP GRID, STAPLE TUBING PER DETAIL, CONNECT DRIP TUBING TO SUPPLY HEADER RISERS. FLUSH TILL FREE AND CLEAR OF DEBRIS. E) CONNECT DRIP GRID TO EXHAUST HEADER RISERS, FLUSH SYSTEM USING "FLUSH POINT".
- INSTALL OPERATION INDICATORS WITHIN 12-INCHES OF "FLUSH POINT" VALVE BOX. SEE DETAIL. ACTIVATE DRIP ZONE, ENSURE ALL OPERATION INDICATORS ARE FULLY EXTENDED, ADJUST STREAM SPRAY TO WHERE IT CAN EASILY BE SEEN BY MAINTENANCE PERSON.
- PRESSURE TEST WITH OWNERS REPRESENTATIVE PRESENT; PER ZONE, TEMPORARY INSTALL (2) PRESSURE GAUGES (LIQUID FILLED PRESSURE GAUGES) ON (2) FLUSH POINTS. (1) ON LARGEST GRID "FLUSH POINT" AND THE OTHER ON FARTHEST GRID "FLUSH POINT". ACTIVATE ZONE, AFTER FLOW HAS STABILIZED, VERIFY ALL ZONE OPERATION INDICATORS ARE FULLY EXTENDED, CHECK PRESSURE ON BOTH GAUGES, PRESSURE MUST BE 20 PSI OR HIGHER TO PASS TEST. IF TEST FAILS, CONTRACTOR TO LOCATE AND CORRECT PROBLEM AND RETEST. IT IS IN THE CONTRACTORS BEST INTEREST TO PERFORM HIS OWN TEST BEFORE HE CALLS OWNERS REPRESENTATIVE PRESENTS TO AVOID RE-INSPECTION FEES.
- PRESSURE TEST RESULTS SHALL BE NOTED AS-BUILD DRAWING BY THE "FLUSH POINT" WHERE TESTS WAS TAKEN. ALL "FLUSH POINTS" LOCATIONS SHALL BE INCLUDED IN AS-BUILD DRAWINGS.





THE FOLLOWING PRODUCTS ARE NOT SHOWN ON THE PLAN FOR GRAPHIC CLARITY BUT ARE TO BE INCLUDED DURING THE BIDDING PROCESS AND ARE TO BE INSTALLED BY THE IRRIGATION INSTALLATION CONTRACTOR. FOLLOW ALL MANUFACTURERS SPECIFICATIONS AND RECOMMENDATIONS.

- FLUSH VALVES (MANUAL OR AUTOMATIC).
- AIR RELIEF VALVES - LOCATE AT THE HIGHPOINT OF THE ZONE.
- DRIP INDICATOR HEAD - LOCATE IN AN INCONSPICUOUS AREA BUT ACCESSIBLE BY THE SITE MAINTENANCE TEAM.

IRRIGATION PLANS ARE TO BE VIEWED IN COLOR FOR MOST ACCURATE INTERPRETATION OF THE DESIGN.

MAINLINE AND CONTROL VALVES MAY BE SHOWN OFFSET FOR GRAPHIC CLARITY. INSTALL ALL MAINLINE AND CONTROL VALVES IN THE LANDSCAPED AREA. SET THE IRRIGATION MAINLINE ROUTE TO AVOID CONFLICTS WITH TREE INSTALLATION (TYP.)

### LATERAL LEGEND

	1"
	1.5"
	2"
	2.5"

### SLEEVE LEGEND


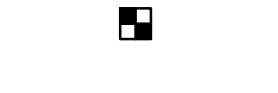






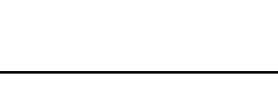



LATERAL/MAINLINE SIZE	SLEEVE SIZE
1"	2"
1.5"	3"
2"	4"
2.5"	4"
3"	6"
4"	8"
CONTROL WIRE CONDUIT	2"

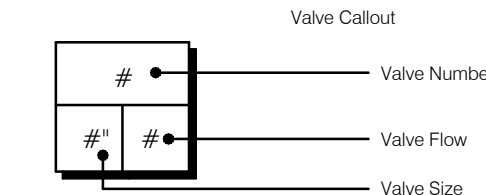
### VALVE SCHEDULE

NUMBER	MODEL	SIZE	TYPE	GPM	PRECIP
1	RAIN BIRD XCZ-100-LC	1"	AREA FOR DRIPLINE	3.99	1.44 in/h
2	RAIN BIRD PEB	1"	BUBBLER	4	1.7 in/h
3	RAIN BIRD XCZ-100-LC	1"	AREA FOR DRIPLINE	3.54	1.44 in/h
4	RAIN BIRD PEB	1"	BUBBLER	8.5	1.7 in/h

THE IRRIGATION CONTRACTOR IS TO SET THE RUN TIMES FOR EACH ZONE TO MATCH THE PLANT WATER REQUIREMENTS, SITE CONDITIONS AND MICRO-CLIMATE FACTORS. SEE THE LANDSCAPE PLANS FOR PLANT SPECIFICATIONS.

## IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
	RAIN BIRD 1800-1400 FLOOD FIXED FLOW RATE 0.25 GPM - 2.0 GPM, FULL CIRCLE BUBBLER, 1/2IN. FIPT.	25	30
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
	RAIN BIRD KCZ-100-LC WIDE FLOW DRIP CONTROL KIT, FOR LIGHT COMMERCIAL USES. 1IN. PEB VALVE, WITH 1IN. PRESSURE REGULATING 40PSI BASKET FILTER. 0.3-20 GPM.	2	
	AREA TO RECEIVE DRIPLINE RAIN BIRD XFS-08-12 (GROUND LEVEL) XFS SUB-SURFACE PRESSURE COMPENSATING DRIPLINE W/COPPER SHIELD TECHNOLOGY. 0.9 GPH EMITTERS AT 12" O.C. LATERALS SPACED AT 12" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. UV RESISTANT. SPECIFY XF INSERT FITTINGS.	502.1 L.F.	
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
	RAIN BIRD PEB 1IN., 1-1/2IN., 2IN. PLASTIC INDUSTRIAL VALVES. LOW FLOW OPERATING CAPABILITY, GLOBE CONFIGURATION.	2	
	LANDSCAPE PRODUCTS INC. BBV 1/2IN., 3/4IN., 1IN., 1-1/4IN., 1-1/2IN., 2IN., 2-1/2IN., 3IN. FULL PORT MASS BALL VALVE. SUITABLE FOR A FULL RANGE OF LIQUIDS AND GASES IN RESIDENTIAL AND COMMERCIAL APPLICATIONS.	1	
	ZURN 975XL 1" REDUCED PRESSURE BACKFLOW DEVICE	1	
	RAIN BIRD ESPLXME2 12 STATION TRADITIONALLY-WIRED, COMMERCIAL CONTROLLER. INDOOR/OUTDOOR, PLASTIC WALL-MOUNT ENCLOSURE.	1	
	RAIN BIRD RSD-BEX RAIN SENSOR, WITH METAL LATCHING BRACKET, EXTENSION WIRE.	1	
	POINT OF CONNECTION 1" CONNECT DOWNSTREAM OF THE DOMESTIC WATER METER. SEE CIVIL PLANS.	1	
	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21 SEE PIPE LEGEND FOR COLOR CODING AND SIZING.	979.7 L.F.	
	IRRIGATION MAINLINE: PVC CLASS 200 SDR 21	146.8 L.F.	
	PIPE SLEEVE: PVC SCHEDULE 40 DIRECTIONAL BORE SHOT SLEEVE	419.0 L.F.	



THE QUANTITIES SHOWN IN THE LEGEND SHEETS SHALL NOT BE USED FOR BIDDING PURPOSES. THE CONTRACTOR WILL BE RESPONSIBLE FOR CONDUCTING A COMPREHENSIVE MATERIALS TAKEOFF TO DETERMINE THE ACTUAL QUANTITIES OF MATERIAL NECESSARY TO EXECUTE THE WORK DESCRIBED IN THE DOCUMENTS.

### CRITICAL ANALYSIS

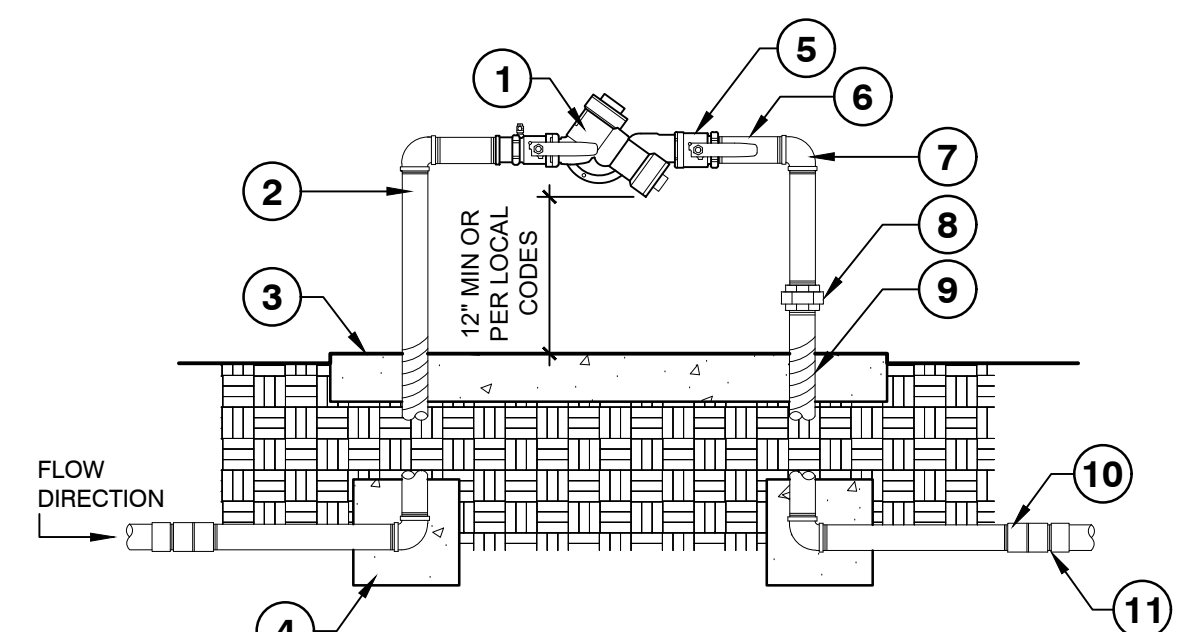
P.O.C. NUMBER: 01  
Water Source Information: CONNECT DOWNSTREAM OF THE DOMESTIC WATER METER. SEE CIVIL PLANS.

FLOW AVAILABLE  
Point of Connection Size: 1"  
Flow Available: 10 GPM

PRESSURE AVAILABLE  
Static Pressure at POC: 50 PSI  
Pressure Available: 50 PSI

DESIGN ANALYSIS  
Maximum Station Flow: 8.5 GPM  
Flow Available at POC: 10 GPM  
Residual Flow Available: 1.5 GPM

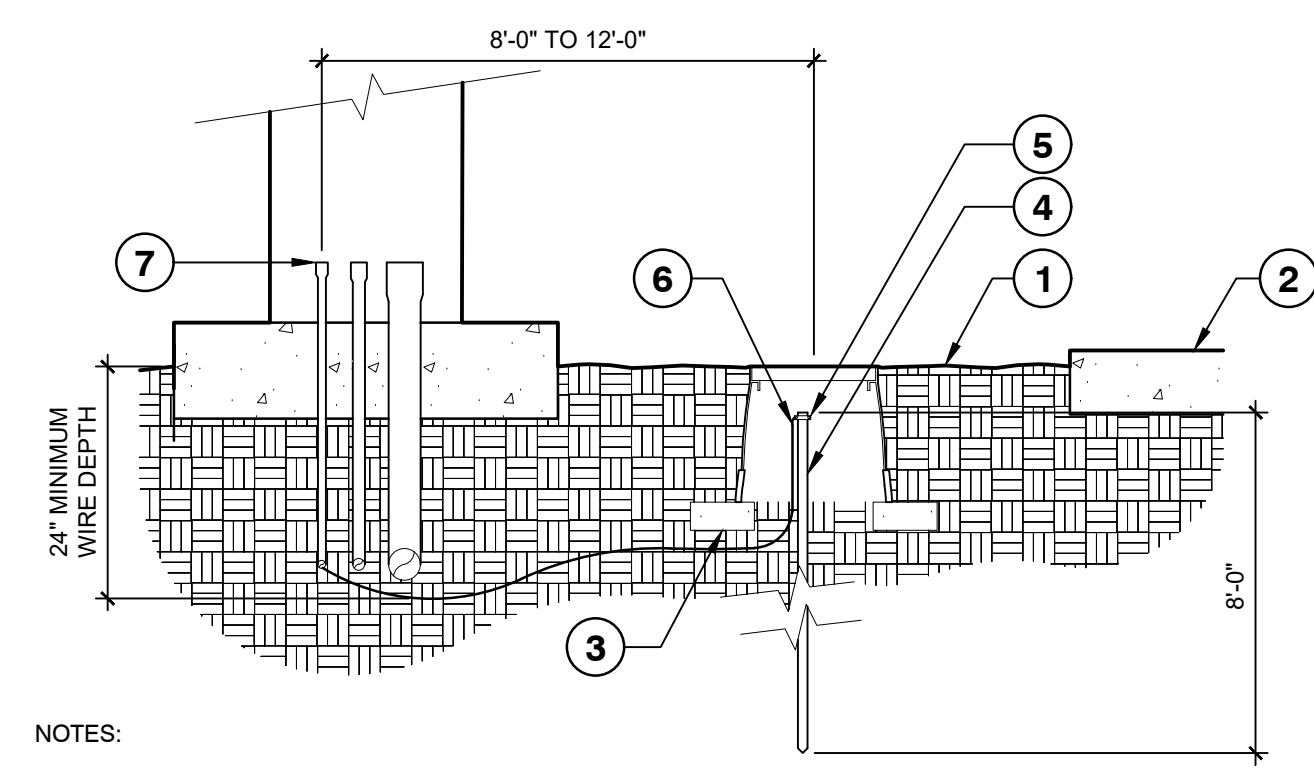
Critical Station: 4  
Design Pressure: 30 PSI  
Friction Loss: 0.44 PSI  
Fittings Loss: 0.04 PSI  
Elevation Loss: 0 PSI  
Loss through Valve: 1.77 PSI  
Pressure Req. at Critical Station: 32.2 PSI  
Loss for Fittings: 0.15 PSI  
Loss for Main Line: 1.54 PSI  
Loss for POC to Valve Elevation: 0 PSI  
Loss for Backflow: 11.5 PSI  
Critical Station Pressure at POC: 45.5 PSI  
Pressure Available: 50 PSI  
Residual Pressure Available: 4.53 PSI



- 1 BACKFLOW PREVENTION DEVICE (SEE IRRIGATION PLANS FOR MAKE AND MODEL). INSTALL DEVICE PER THE LOCAL WATER PURVEYOR'S STANDARDS AND SPECIFICATIONS
- 2 GALVANIZED NIPPLE
- 3 4" THICK CONCRETE PAD, 1" ABOVE FINISHED GRADE. SEE BACKFLOW CAGE DETAIL
- 4 CONCRETE THRUST BLOCKS REQUIRED ON BACKFLOW DEVICES 2-1/2" AND LARGER
- 5 BRASS BALL VALVE
- 6 THREADED GALVANIZED NIPPLE
- 7 GALVANIZED 90° (DEGREE) ELBOW
- 8 GALVANIZED UNION
- 9 WRAP 20 MIL TAPE TWICE AROUND GALVANIZED PIPE UNDER FINISHED GRADE AND THROUGH THE CONCRETE
- 10 GALVANIZED COUPLING
- 11 SCH. 80 PVC MALE ADAPTER

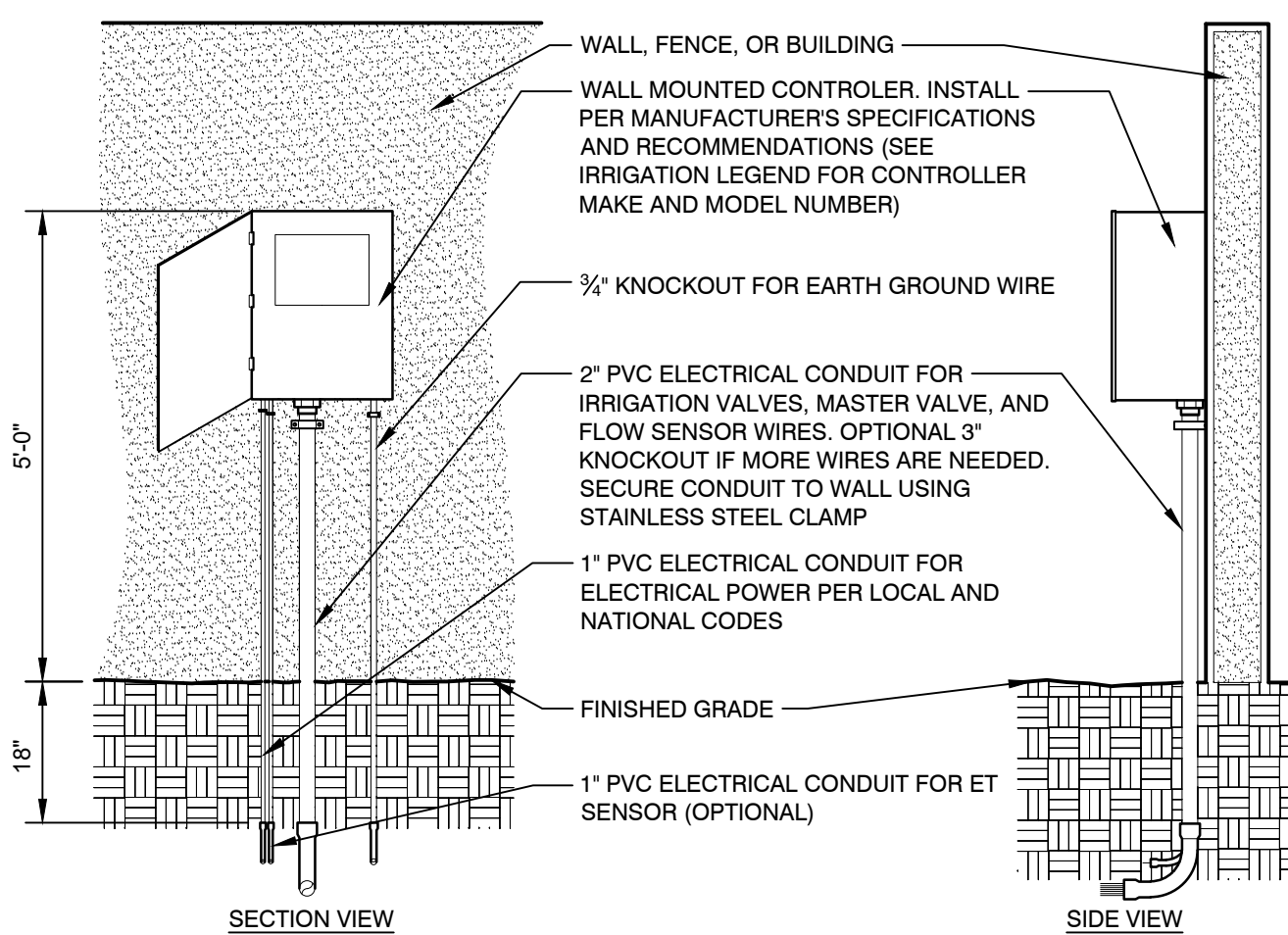
- NOTES:
- ALL ASSEMBLY PARTS (THREADED NIPPLES, FITTINGS, ETC.) SHALL BE GALVANIZED OR BRASS PER LOCAL CODES AND REQUIREMENTS.
  - GALVANIZED NIPPLE SHALL EXTEND 12" PAST THE EDGE OF THE CONCRETE FOOTING.
  - SCH. 80 PVC MALE ADAPTER SHALL BE USED IN CONNECTION FROM GALVANIZED TO THE MAINLINE.
  - BACKFLOW PREVENTION DEVICE SHALL BE LOCATED AS CLOSE AS POSSIBLE TO THE LANDSCAPE METER.
  - BACKFLOW PREVENTION DEVICE SHALL BE LOCATED IN PLANTING AREA UNLESS APPROVED BY OWNER'S REPRESENTATIVE.
  - SEE DETAIL FOR BACKFLOW CAGE INSTALLATION.
  - ALL BACKFLOW PREVENTION DEVICES SHALL HAVE FREEZE BLANKET INCLUDED UPON INSTALLATION.
  - ALL GALVANIZED CONNECTIONS SHALL TO BE MADE USING PIPE THREAD SEALANT. ALL SCH. 80 PVC TO GALVANIZED CONNECTIONS TO BE MADE USING TEFLON TAPE.

**1 BACKFLOW PREVENTION DEVICE**  
3/4" = 1'-0" FX-IR-FX-BACK-02



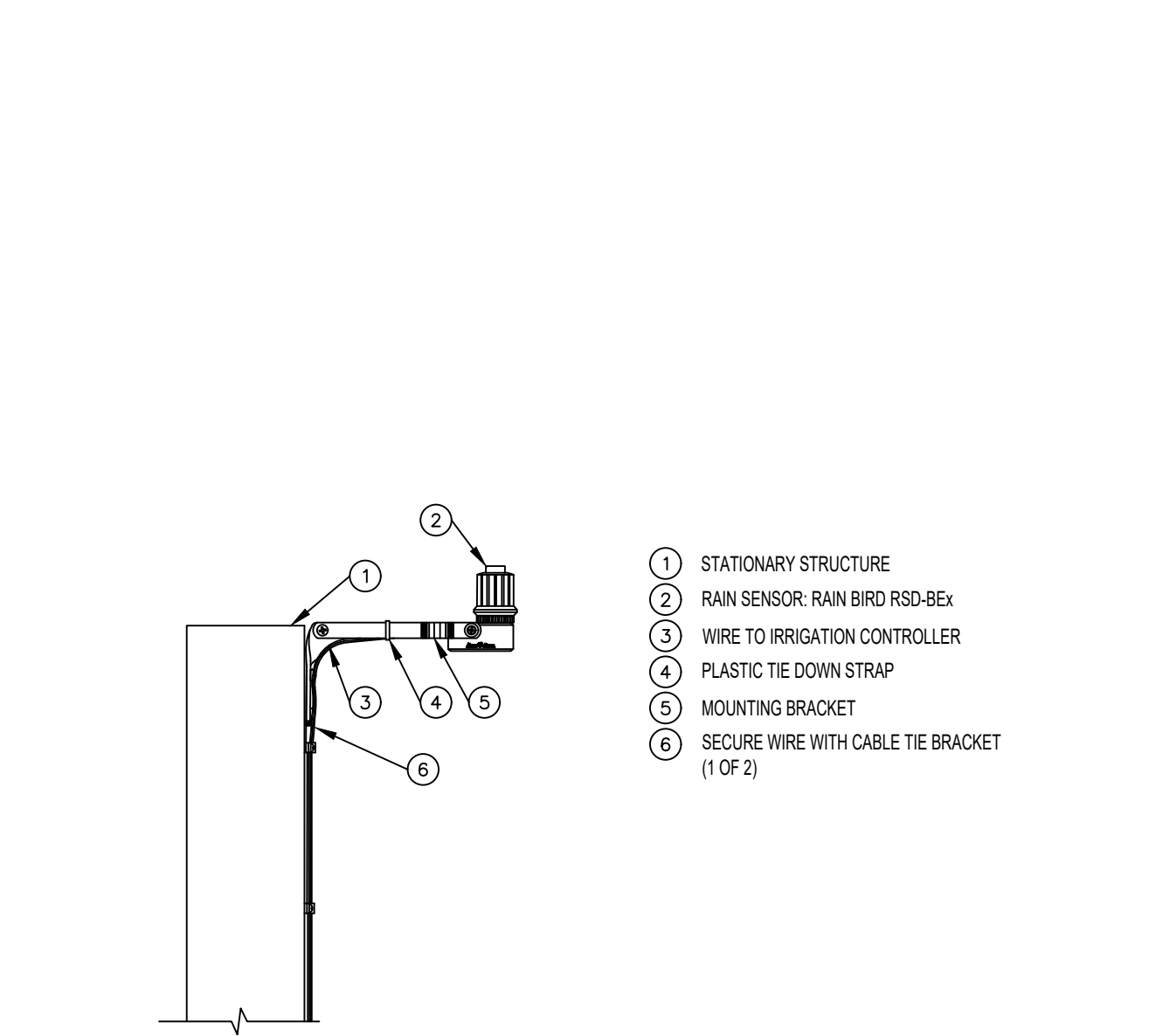
- NOTES:
- ALL GROUNDING REQUIREMENTS FOR CONTROLLERS SHALL CONFORM TO LOCAL ELECTRIC CODES.
  - GROUNDING ROD SHALL NOT BE LOCATED IN THE SAME TRENCH AS IRRIGATION MAINLINES OR LATERAL LINES.
  - VALVE BOX SHALL BE WRAPPED WITH A MINIMUM 3 MIL THICK PLASTIC AND SECURED TO THE VALVE BOX USING DUCT TAPE OR ELECTRICAL TAPE.
  - INSTALL GROUNDING ROD PER THE CONTROLLER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
- 1 FINISH GRADE
  - 2 PAVEMENT
  - 3 THREE (3) 4" x 8" BRICKS
  - 4 5/8" x 8'-0" COPPER GROUNDING ROD
  - 5 GROUNDING ROD CLAMP
  - 6 #6 AWG BARE COPPER WIRE
  - 7 1/2" PVC ELECTRICAL CONDUIT AND SWEEP FOR EARTH GROUND

**2 GROUNDING ROD**  
1" = 1'-0" FX-IR-FX-AUXEQ-01

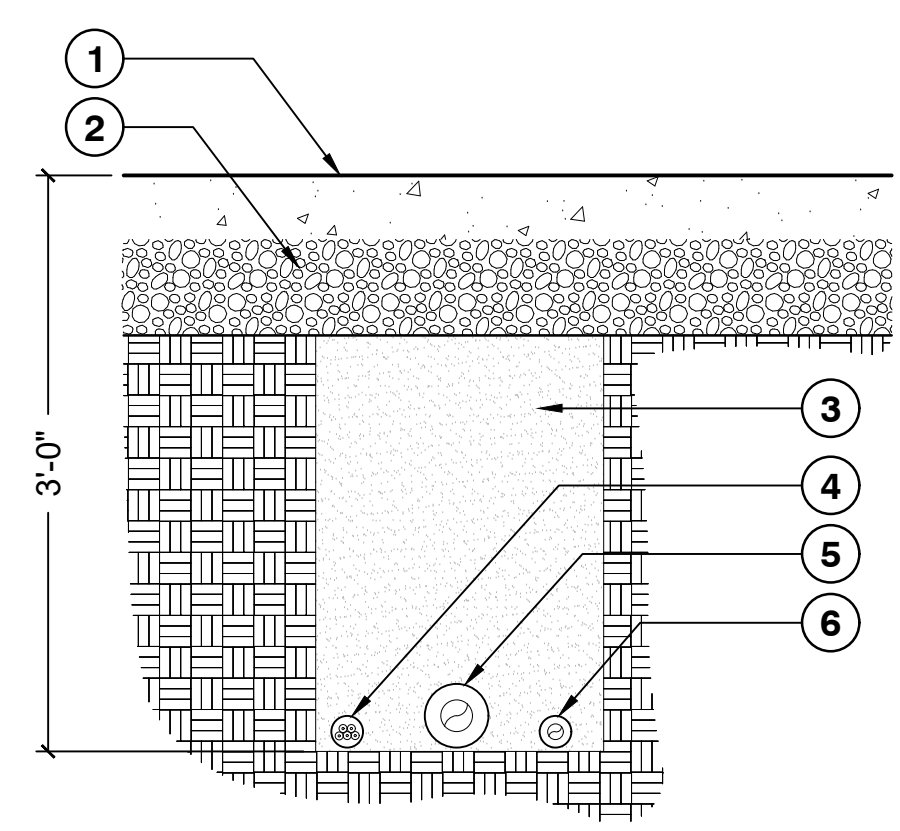


- NOTES:
- COMMON AND CONTROLLER WIRE TO BE BUNDLED USING ELECTRICAL TAPE 10'-0" ON CENTER. GROUNDING RODS SHALL BE LOCATED BETWEEN 8'-0" TO 12'-0" AWAY FROM THE CONTROLLER. GROUNDING RODS SHALL BE 3/4" IN DIAMETER x 8' IN LENGTH. CONNECT THE GROUNDING ROD TO THE CONTROLLER USING 6 GAUGE BARE COPPER WIRE OR PER THE MANUFACTURER'S SPECIFICATIONS. SEE GROUNDING ROD DETAIL.
  - ET STATION SHALL BE INSTALLED NO FURTHER THAN 90' AWAY FROM THE CONTROLLER AND A MINIMUM OF 15' OFF THE GROUND, OUT FROM UNDER ANY OVERHEAD OBSTRUCTIONS SUCH AS, BUT NOT LIMITED TO, BUILDING OVERHANGS, TREES, OR UTILITIES.

**3 WALL MOUNTED CONTROLLER**  
1/2" = 1'-0" FX-IR-FX-CONT-05

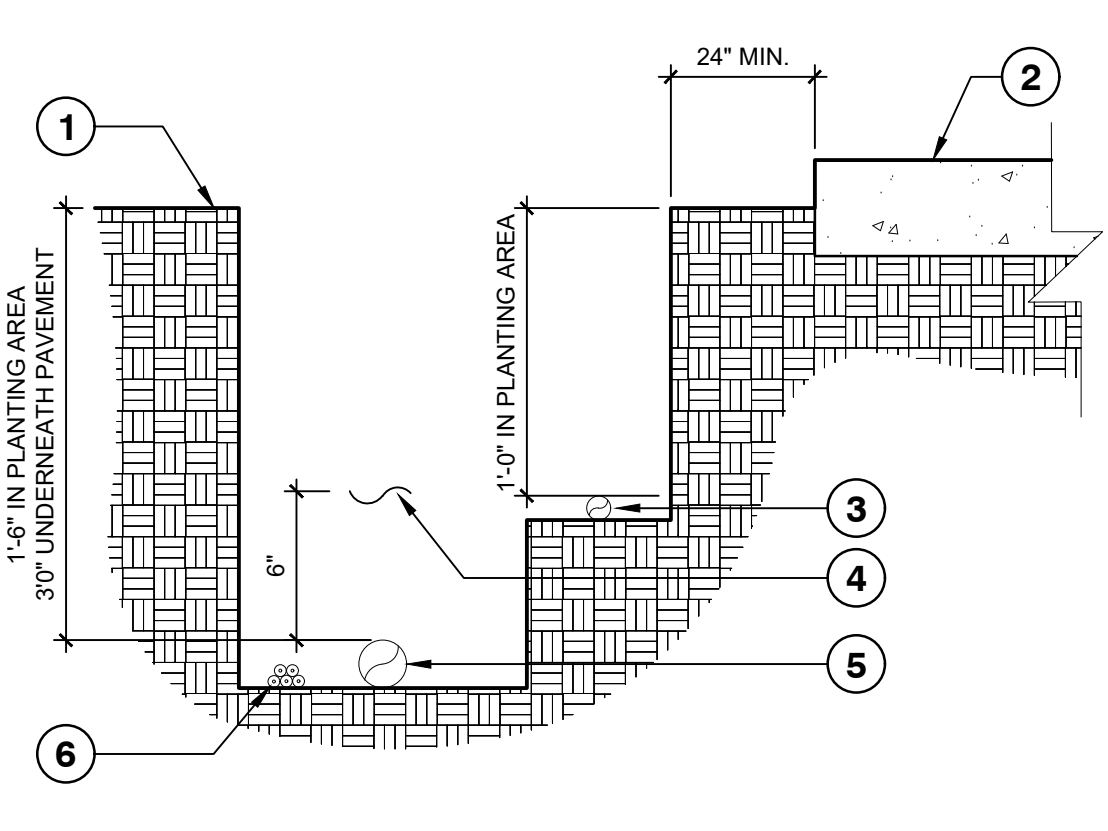


**4 RAIN BIRD - RSD-BEX RAIN SENSOR**  
N.T.S. I-16



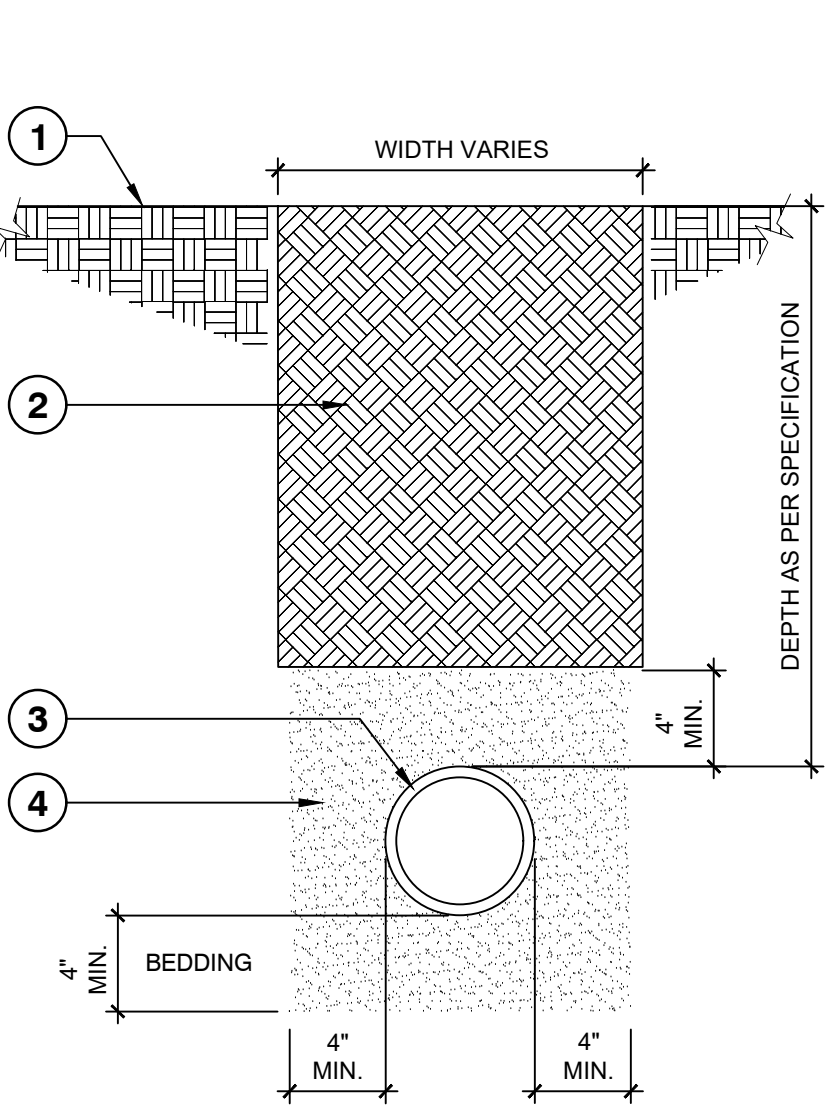
- NOTES:
- SEE IRRIGATION LEGEND FOR MAINLINE SIZE AND TYPE.
  - ALL SLEEVES SHALL BE SCH. 40 PVC PIPE.
  - ALL SLEEVES SHALL EXTEND 12" BEYOND THE EDGE OF PAVEMENT.
  - END OF SLEEVES SHALL BE LOCATED WITH A WOODEN STAKE OR PVC PIPE. LOCATORS SHALL RUN CONTINUOUSLY FROM THE END OF THE SLEEVE TO FINISHED GRADE.

**5 PIPE BENEATH PAVEMENT**  
1" = 1'-0" FX-IR-FX-AUXEQ-05



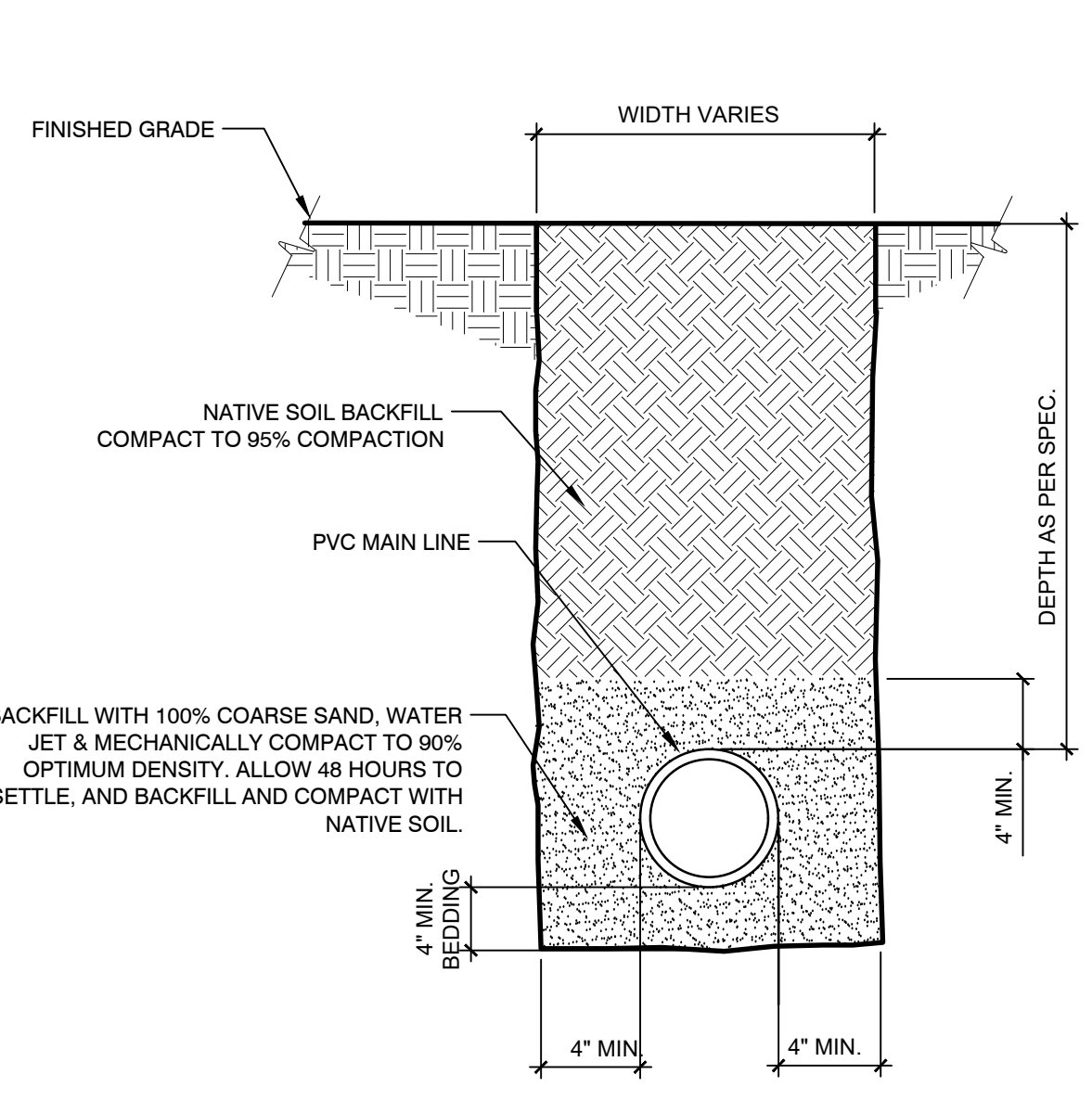
- NOTES:
- SEE IRRIGATION LEGEND FOR MAINLINE AND LATERAL LINE PIPE SIZE AND TYPE.
  - DIRECT BURIAL CONTROL WIRES SHALL BE INSTALLED IN SCH. 40 PVC ELECTRICAL CONDUIT IF REQUIRED.
  - 2-WIRE IRRIGATION WIRE SHALL BE INSTALLED IN SCH. 40 PVC ELECTRICAL CONDUIT.
  - DETECTABLE LOCATOR TAPE SHALL BE LOCATED SIX INCHES (6") ABOVE THE ENTIRE MAINLINE RUN.
- 1 FINISHED GRADE
  - 2 PAVEMENT
  - 3 NON-PRESSURIZED LINE (LATERAL LINE)
  - 4 DETECTABLE LOCATOR TAPE
  - 5 PRESSURIZED LINE (MAINLINE)
  - 6 DIRECT BURIAL LOW VOLTAGE CONTROL WIRES

**6 IRRIGATION TRENCHING**  
1 1/2" = 1'-0" FX-IR-FX-AUXEQ-08

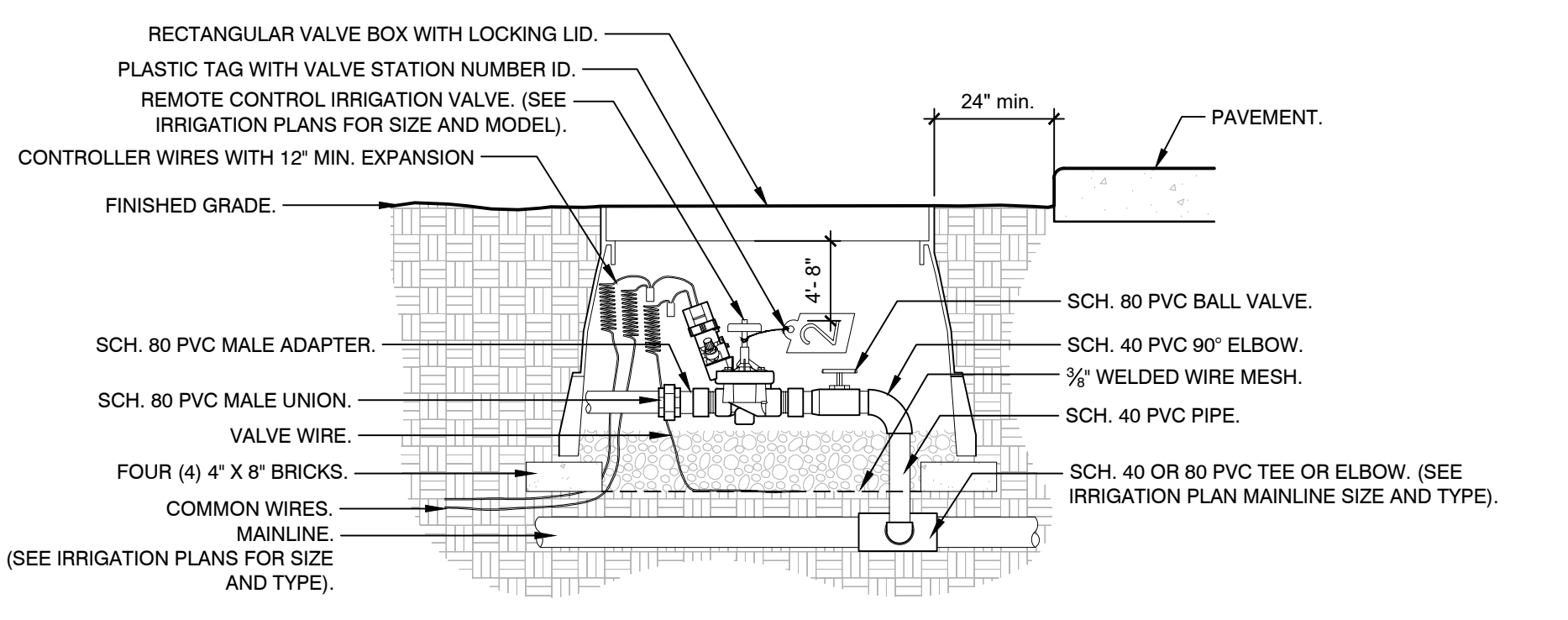


- 1 FINISHED GRADE
- 2 NATIVE SOIL BACKFILL COMPACT TO 95% COMPACTION
- 3 PVC MAINLINE
- 4 BACKFILL WITH 100% COARSE SAND, WATER JET AND MECHANICALLY COMPACT TO 90% OPTIMUM DENSITY. ALLOW 48 HOURS TO SETTLE, AND BACKFILL AND COMPACT WITH NATIVE SOIL

**7 MAINLINE WITH SAND BEDDING**  
1 1/2" = 1'-0" FX-IR-FX-AUXEQ-13

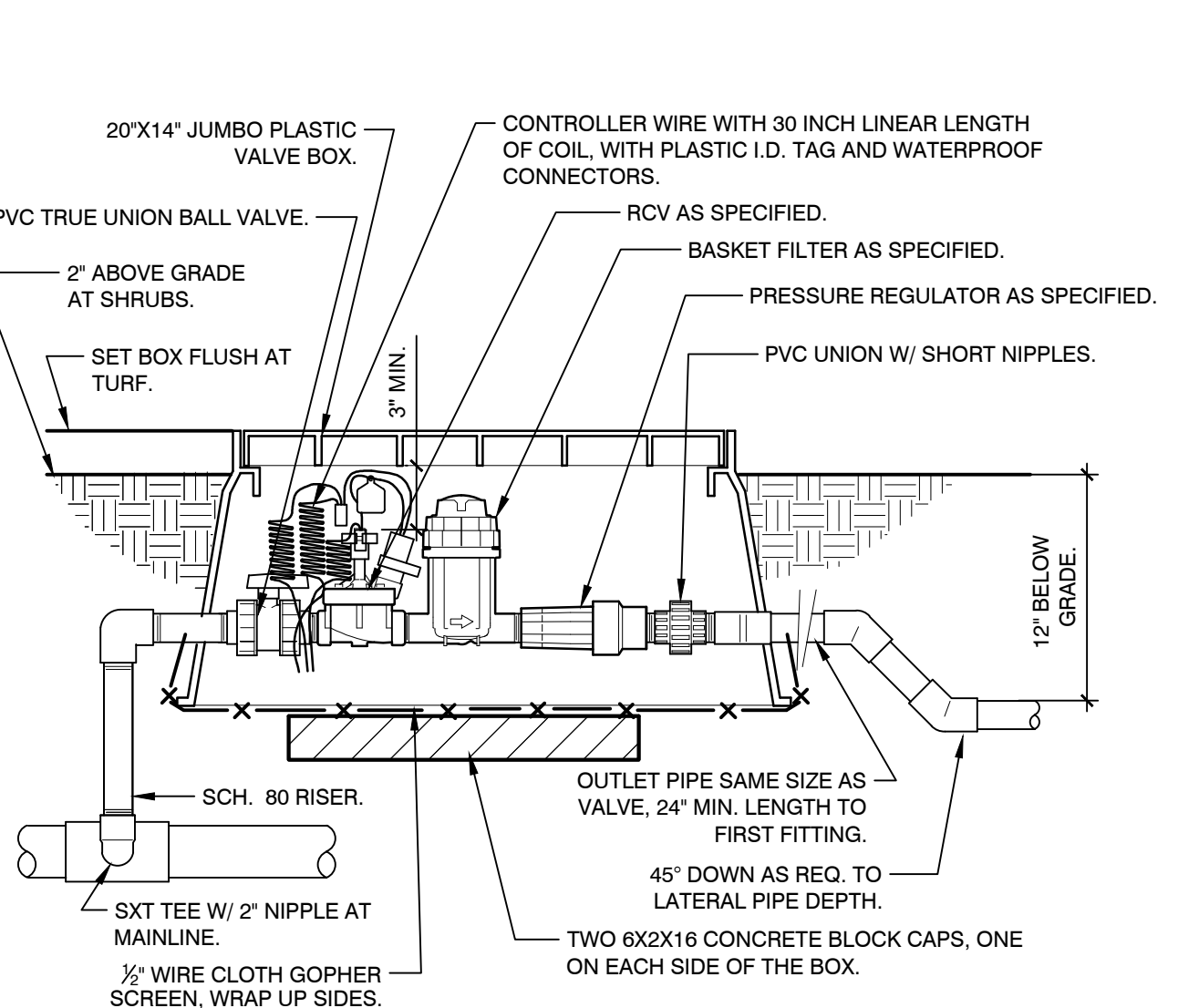


**8 SLEEVE AT ROAD**  
1 1/2" = 1'-0" FX-IR-FX-AUXEQ-15

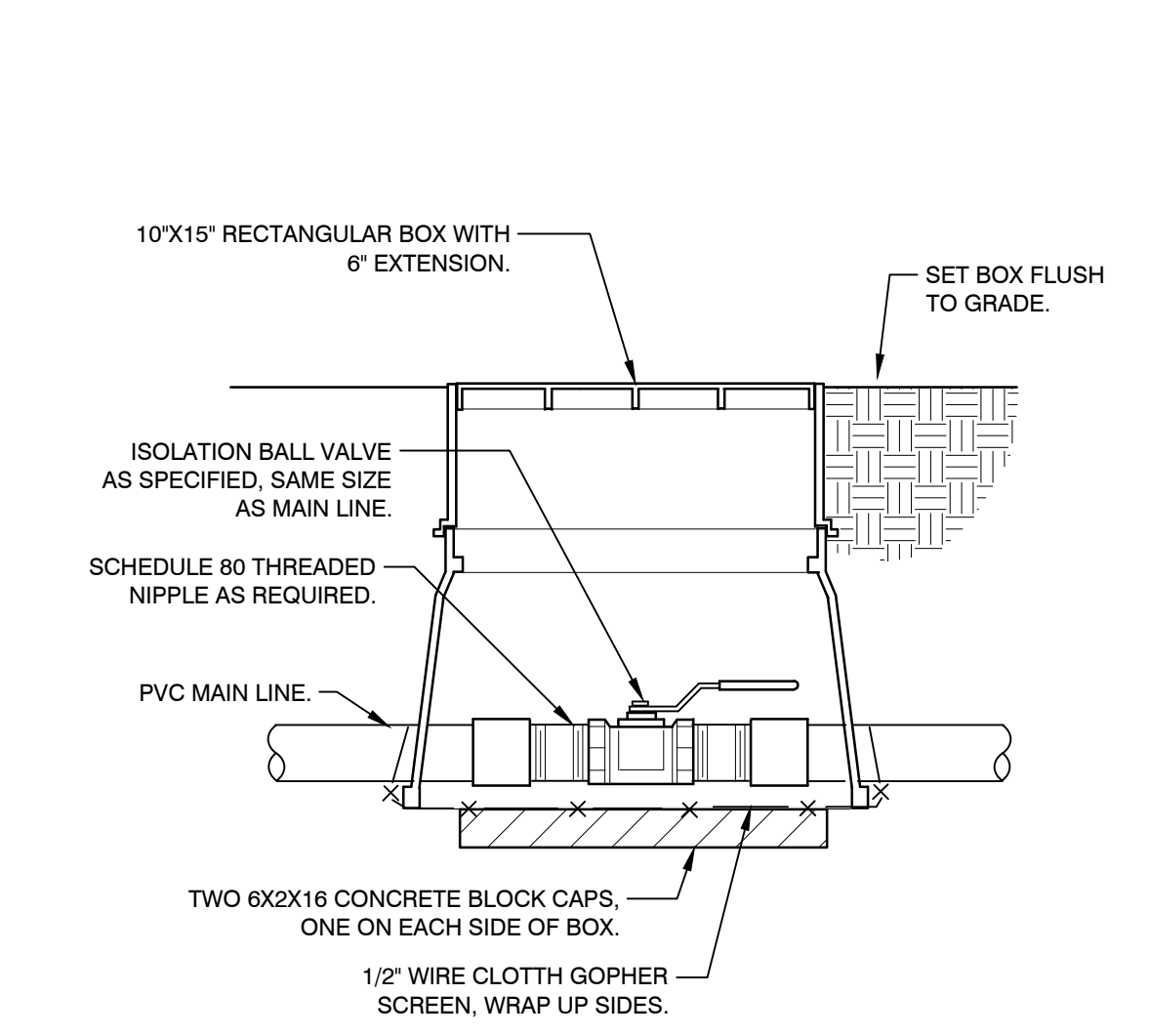


- NOTE:
- LOCATE VALVE BOX WITHIN 24" OF PAVEMENT EDGE IN PLANTING AREA WHERE EASILY ACCESSIBLE WHENEVER POSSIBLE.
  - COMMON WIRE AND CONTROLLER WIRE SHALL BE DIRECT BURIAL 14 AWG OR LARGER. COLOR: COMMON (WHITE), CONTROLLER WIRE FOR TURF (BLUE), AND CONTROLLER WIRE FOR SHRUBS (RED). (SEE SPECIFICATIONS FOR 2-WIRE CONTROLLERS).
  - ALL WIRE RUNS SHALL BE CONTINUOUS WITHOUT ANY SPLICES UNLESS APPROVED BY THE OWNER'S REPRESENTATIVE. SEE SPLICE BOX DETAIL. WIRE CONNECTIONS SHALL BE MADE USING DBRY-6 CONNECTORS OR APPROVED EQUAL.
  - VALVE BOX SHALL BE WRAPPED WITH MIN. 3 MIL THICK PLASTIC AND SECURE IT USING DUCT TAPE OR ELECTRICAL TAPE.
  - MAINLINES 4" OR LARGER SHALL USE SADDLES AT THE CONNECTIONS POINTS TO THE IRRIGATION VALVE. (SEE SPECIFICATIONS FOR IRRIGATIONS SADDLES).
  - ALL SCH. 80 PVC TO SCH. 40 PVC THREADED CONNECTIONS SHALL BE MADE USING TEFLON TAPE.
  - VALVE BOXES SHALL BE LOCATED IN PLANTING AREAS.

**9 REMOTE CONTROL IRRIGATION VALVE**  
1 1/2" = 1'-0" FX-IR-FX-RCV-02



**10 1" DRIP VALVE W/BASKET FILTER**  
1 1/2" = 1'-0" FX-IR-FX-DRIP-13



**11 BRASS BALL ISOLATION VALVE**  
1 1/2" = 1'-0" FX-IR-FX-ISOV-02



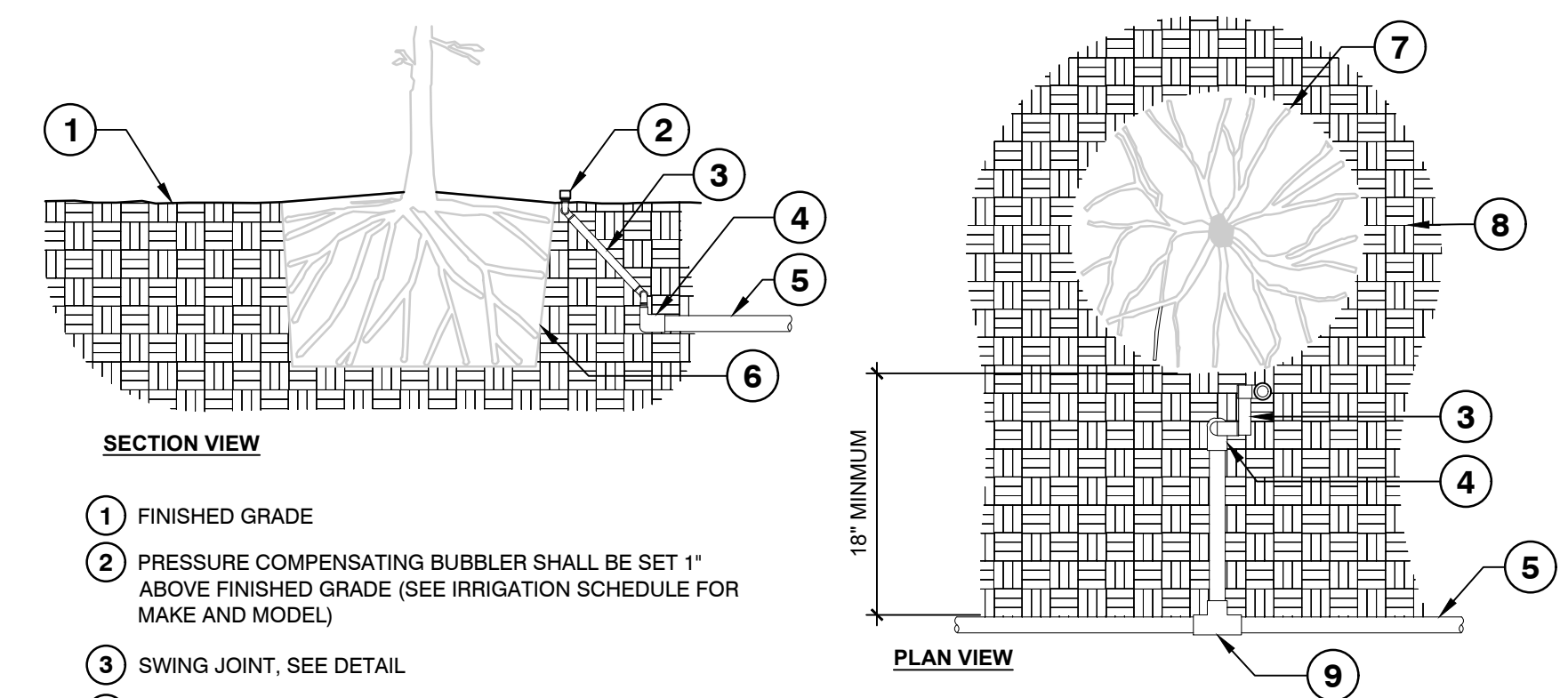
IRRIGATION DETAILS

LaTeDa Resort  
1125 Duval & 515 Catherine Key West, FL

POPE-SCARBROUGH-ARCHITECTS  
THOMAS E. POPE, P.A.  
610 White St. Key West FL  
(305) 296 3611

date: 04/01/24  
revision:

sheet: A0.6

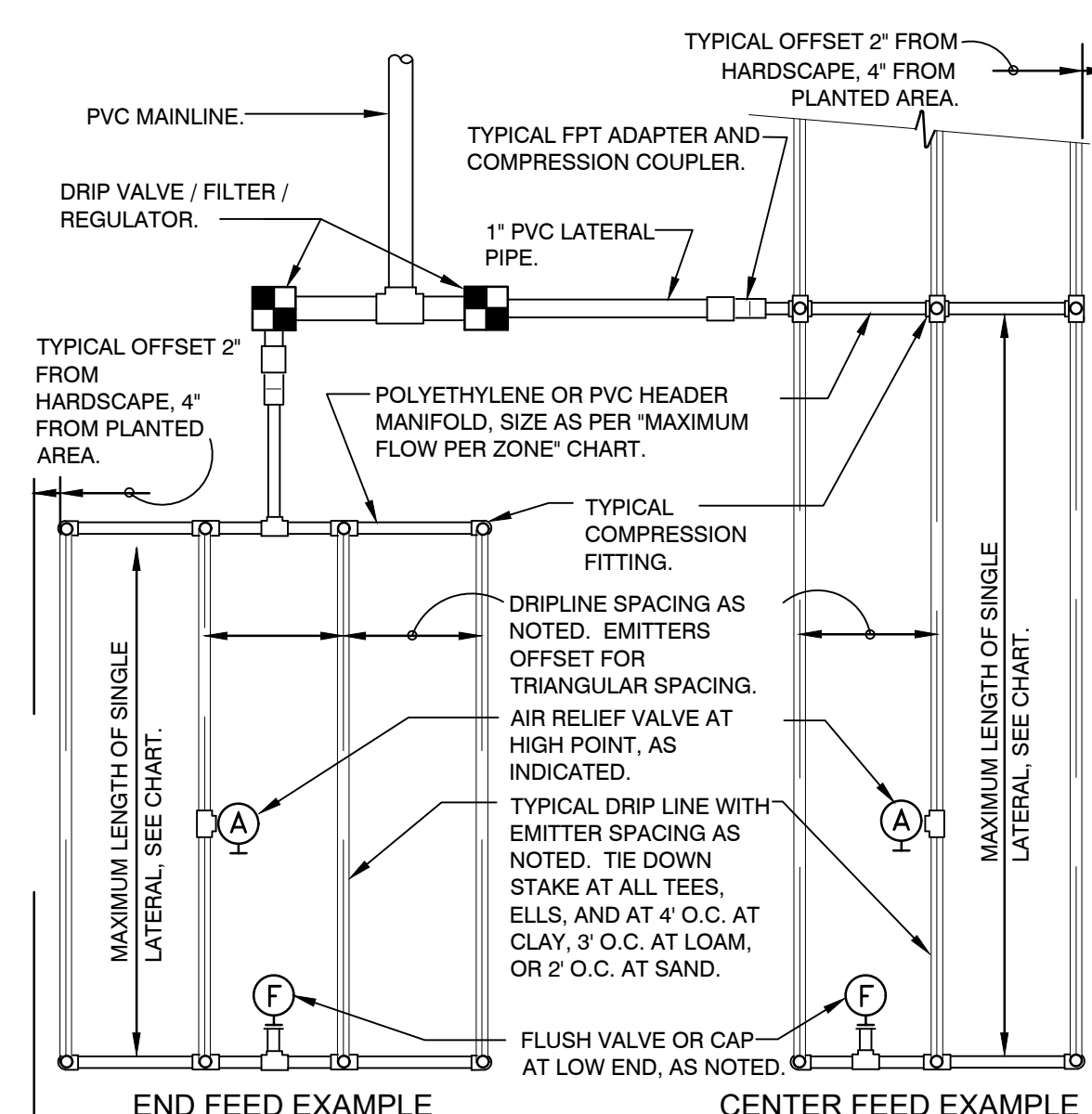


- SECTION VIEW**
- 1 FINISHED GRADE
  - 2 PRESSURE COMPENSATING BUBBLER SHALL BE SET 1" ABOVE FINISHED GRADE (SEE IRRIGATION SCHEDULE FOR MAKE AND MODEL)
  - 3 SWING JOINT, SEE DETAIL
  - 4 SCH. 40 PVC 90° ELBOW SLIP TO THREAD
  - 5 LATERAL LINE IRRIGATION (SEE IRRIGATION PLANS FOR SIZING)
  - 6 EDGE OF ROOT BALL. SETTLE BACKFILL SO IRRIGATION FLOWS THROUGH ROOT BALL
  - 7 EDGE OF ROOT BALL
  - 8 EXISTING OR MODIFIED SOIL (SEE SPECIFICATIONS FOR SOIL MODIFICATION)
  - 9 SCH. 40 PVC TEE OR 90° ELBOW

- NOTES:**
1. ALL IRRIGATION FITTINGS SHALL BE SCH. 40 PVC UNLESS SPECIFIED OTHERWISE.
  2. ALL THREADED CONNECTIONS FROM SCH. 40 TO SCH. 80 PVC SHALL BE MADE USING TEFLON TAPE.
  3. CONTRACTOR SHALL SETTLE THE AREA AROUND THE BUBBLER AND EDGE OF THE ROOT BALL SO THAT ALL IRRIGATION FLOWS THROUGH THE ROOT BALL.

**1 IRRIGATION BUBBLER W/ LAYOUT**  
3/4" = 1'-0"

FX-IR-FX-BUBB-04



**2 TYPICAL DRIPLINE REQUIREMENTS**  
N.T.S.

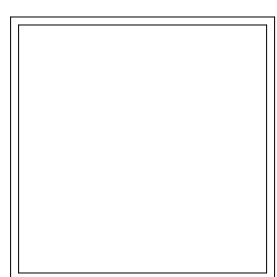
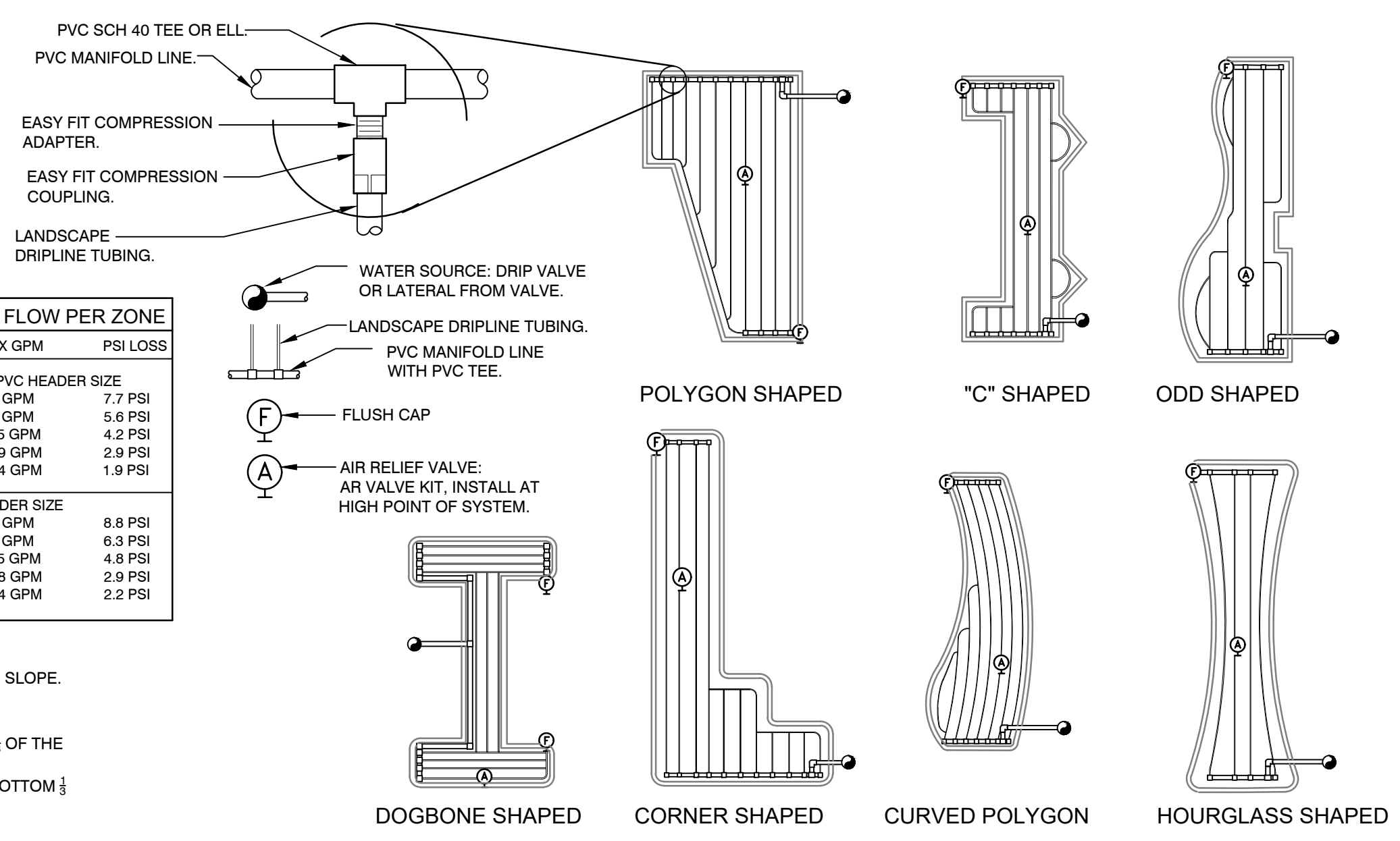
MAXIMUM LATERAL LENGTH (FEET)				
PSI	EMITTER FLOW RATE GPH			
	12" SPACING 0.6 0.9	18" SPACING 0.6 0.9	24" SPACING 0.6 0.9	
10	125 96	175 135	218 171	
20	249 191	350 171	442 340	
30	307 236	434 333	550 422	
40	350 268	495 380	627 171	
50	125 96	175 135	218 171	
60	125 96	175 135	218 171	

GRID PRECIPITATION RATES (IN/HR)			
EMITTER SPACING	LATERAL SPACING	EMITTER FLOW RATE	
		0.6	0.9
12	12	0.96	1.44
18	18	0.69	1.03
24	24	0.28	0.41

LATERAL FLOW PER 100 FT (GPM)			
EMITTER FLOW	SPACING		
	12"	18"	24"
0.6 GPH	1.0 GPM	0.67 GPM	0.50 GPM
0.9 GPH	1.5 GPM	1.0 GPM	0.75 GPM

MAXIMUM FLOW PER ZONE		
SCHEDULE 40 PVC HEADER SIZE	MAX GPM	PSI LOSS
1/2"	4.7 GPM	7.7 PSI
3/4"	8.3 GPM	5.6 PSI
1"	13.5 GPM	4.2 PSI
1-1/2"	33.9 GPM	2.9 PSI
2"	52.4 GPM	1.9 PSI

- SLOPED CONDITION NOTE:**
1. DRIPLINE LATERALS SHOULD FOLLOW THE CONTOURS OF THE SLOPE.
  2. INSTALL AIR RELIEF VALVE AT HIGHEST POINT.
  3. NORMAL SPACING WITHIN THE TOP 2/3 OF SLOPE.
  4. INSTALL DRIPLINE AT 25% GREATER SPACING AT THE BOTTOM 1/3 OF THE SLOPE.
  5. WHEN THE ELEVATION CHANGE IS 10FT OR MORE, ZONE THE BOTTOM 1/3 ON A SEPARATE VALVE.



LaTeDa Resort  
1125 Duval & 515 Catherine Key West, FL

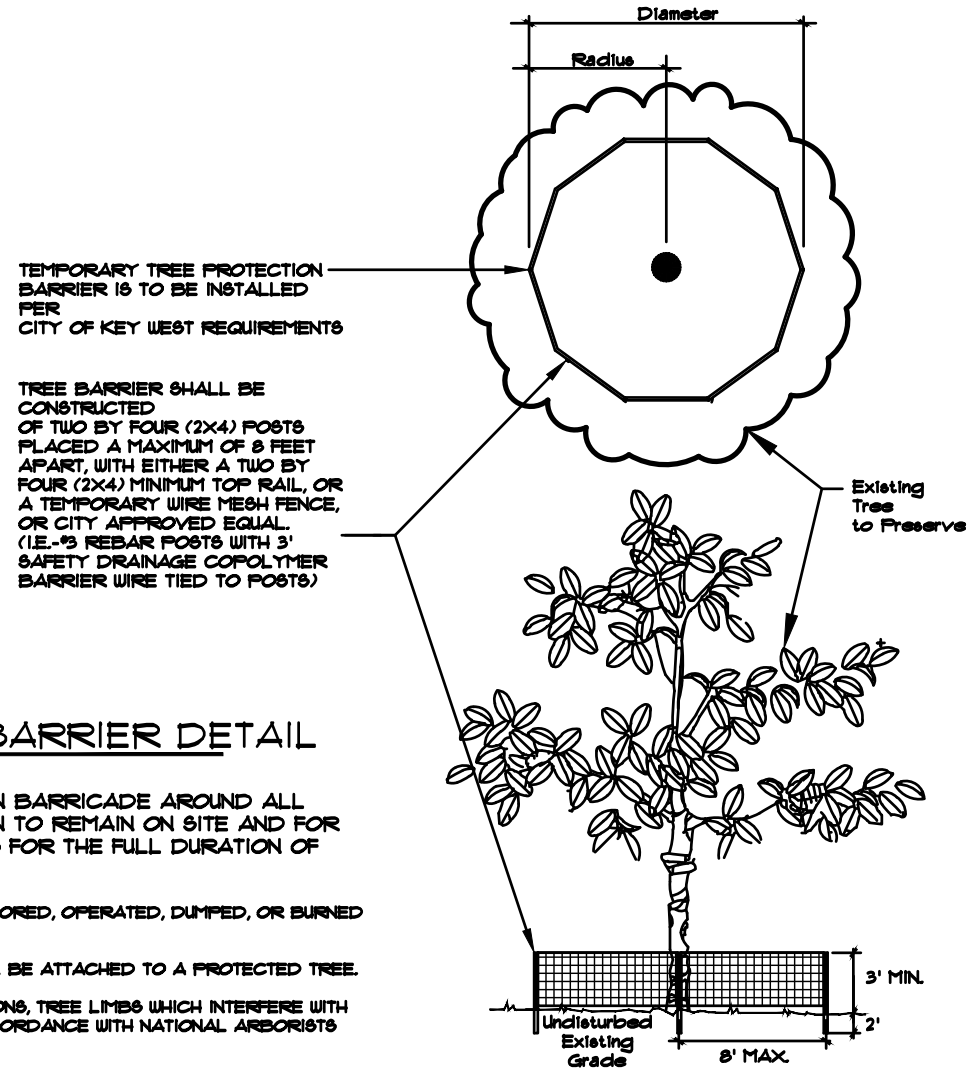
POPE-SCARBROUGH-ARCHITECTS  
THOMAS E. POPE, P.A.  
(305) 296 3611 610 White St. Key West FL

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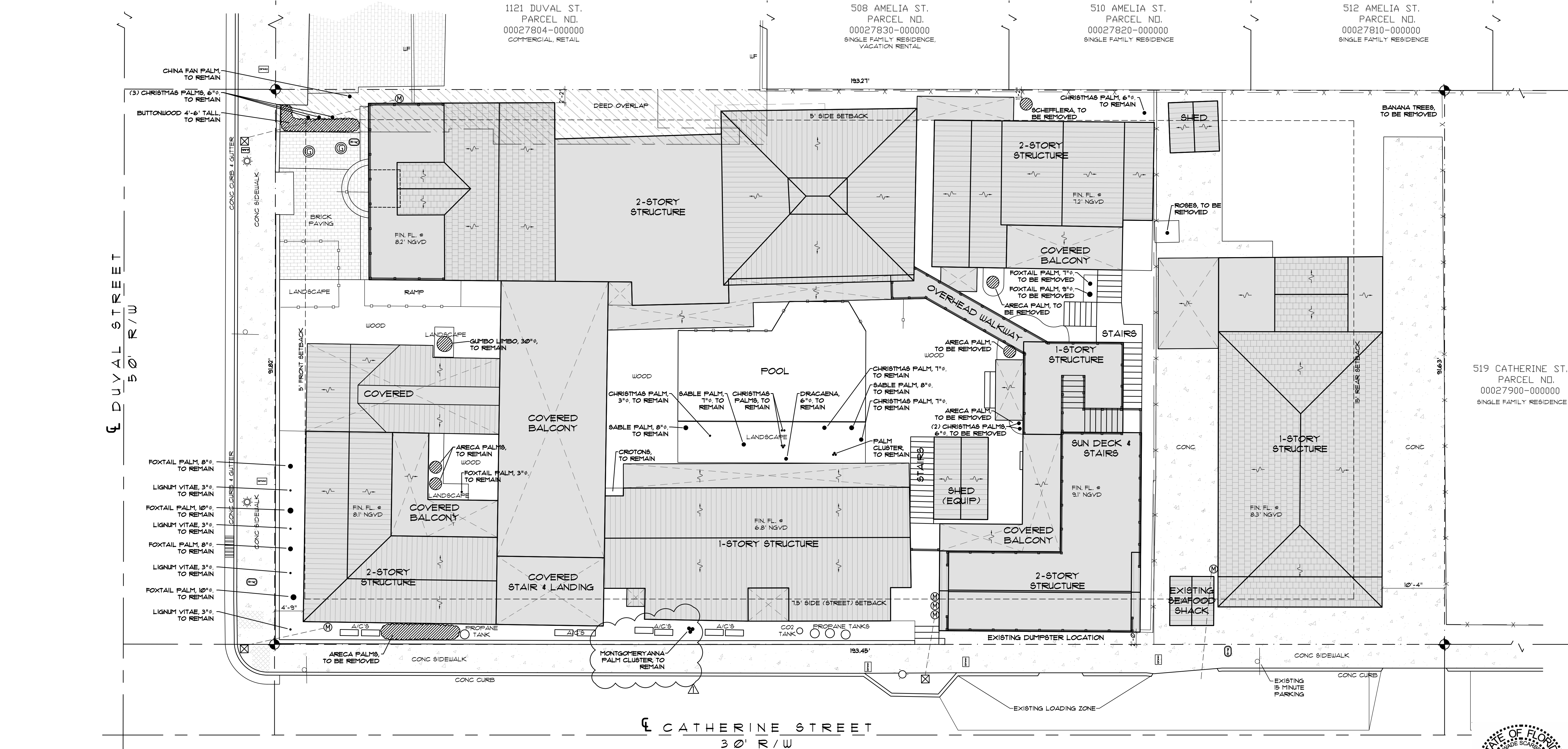




**TEMPORARY TREE PROTECTION BARRIER IS TO BE INSTALLED PER CITY OF KEY WEST REQUIREMENTS**

**TREE BARRIER SHALL BE CONSTRUCTED OF TWO BY FOUR (2x4) POSTS PLACED A MAXIMUM OF 8 FEET APART, WITH EITHER A TWO BY FOUR (2x4) PLYWOOD SHEET OR A TEMPORARY WIRE MESH FENCE OR CITY APPROVED SIGN. (1.5\"/>**

EXISTING PLANTING				
QTY	BOTANICAL NAME	COMMON NAME	SPECIFICATION	DISPOSITION
4	Guaiacum sanctum	Lignum Vitae	3" DBH	Remain
5	Wodyetia bifurcata	Foxtail Palm	3" - 10" DBH (Approx. 39" Total)	Remain
2	Wodyetia bifurcata	Foxtail Palm	7" - 9" DBH (Approx. 16" Total)	Remove
8	Adonia merrillii	Christmas Palm	3" - 10" DBH (Approx. 41" Total)	Remain
2	Adonia merrillii	Christmas Palm	6" DBH (Approx. 12" Total)	Remove
3	Sable palmetto	Cabbage Palm	7" - 8" DBH (Approx. 23" Total)	Remain
1	Bursera simaruba	Gumbo Limbo	30" DBH	Remain
1	Conocarpus erectus	Buttonwood	4' - 6' Tall Hedge	Remain
1	Dracaena marginata	Dragon Tree	6" DBH	Remain
1	Livistona chinensis	China Fan Palm		Remain
1	Veitchia Montgomeryana	Montgomery Palm	Cluster	Remain
	Dypsis lutescens	Areca Palm	Various Clusters (refer to plans)	Remain
	Dypsis lutescens	Areca Palm	Various Clusters (refer to plans)	Remove
		Banana Trees	Cluster	Remove
1		Schefflera		Remove
1		Roses		Remove



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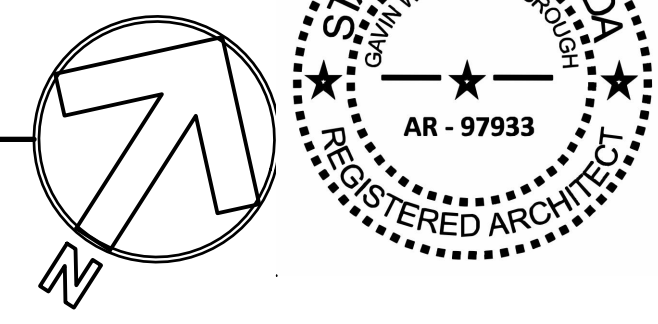
PERMIT SET - 4.1.24

date: 04/01/24  
 revision: 4/25/24

sheet:  
**A0.3**

NARRATIVE OF REVISION 1 (DATED 4/25/24):  
 MONTGOMERY PALM ADDED TO SITE PLAN AND TREE DISPOSITION.

**Tree Disposition Plan**



1/8" = 1' - 0"



# **Condemnation Letter from CBO**

← RE: 1125 Duval permit 2024-...

Afternoon Enid,

I was requested to do site visit at 1125 Duval rear, which is the La Te Da complex. One of the rear structures is undergoing a major renovation, which requires it to be lifted for a new foundation. Once it was opened up it was discovered that the one building is made up of multiple structures together and it's unsafe to lie as one due to severe structural deterioration. It is my opinion that is will be safer to demolish said structure and rebuild to current codes including fire sprinkling of the new building. The contractor will be putting in for a demolition permit and updating the scope of work and evaluation on the current permit.

Thank you

Raj Ramsingh  
Chief Building Official  
Building Director  
City of Key West

 Enid Torregrosa May 30  

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