

**PLANNING BOARD
RESOLUTION NO. 2024-032**

A RESOLUTION OF THE CITY OF KEY WEST PLANNING BOARD APPROVING A MAJOR DEVELOPMENT PLAN APPLICATION AND LANDSCAPE WAIVER TO ALLOW FOR THE REDEVELOPMENT OF A MARINA LOCATED AT 711 EISENHOWER DRIVE (RE# 00023130-000000, 00072082-002900, & 00072070-000000), INCLUDING THE DEMOLITION OF EXISTING DRY STORAGE BOAT RACKS AND OUTBUILDINGS, THE CONSTRUCTION OF NEW BOAT RACKS AND A RESTROOM FACILITY, SEAWALL REPAIR, MAINTENANCE DREDGING, AND A LANDSCAPE WAIVER INCLUDING A REDUCTION OF MINIMUM LANDSCAPE BUFFER REQUIREMENTS FROM 30 FEET TO 9 FEET FOR PROPERTY LOCATED IN THE GENERAL COMMERCIAL, CONSERVATION, AND PUBLIC AND SEMI-PUBLIC SERVICES ZONING DISTRICTS, PURSUANT TO SECTIONS 108-91, 108-517 AND 122-32 OF THE LAND DEVELOPMENT REGULATIONS OF THE CODE OF ORDINANCES OF THE CITY OF KEY WEST, FLORIDA, PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, Section 108-91(B)(2)(d) of the Code of Ordinances (the “Code”) of the City of Key West, Florida (the “City”) provides that any development located within tidal waters extending 600 feet seaward of the corporate city limits shall require major development plan approval; and

WHEREAS, Section 108-91(B) provides that major development plan approval is required for the addition of outdoor commercial storage equal to or greater than 5,000 square feet; and

WHEREAS, the proposed redevelopment of upland real property and submerged lands located at and near 711 Eisenhower Drive (RE# 00023130-000000, 00072082-002900, &


Chairman


Planning Director

00072070-000000) includes development within tidal waters and the addition of outdoor commercial storage greater than 5,000 square feet; and

WHEREAS, Code Section 108-196(a) requires the Planning Board to review and approve, approve with conditions or deny the proposed Major Development Plan in an advisory capacity to the City Commission; and

WHEREAS, Article IV of Chapter 108 provides minimum landscaping standards for development plans, including Section 108-413 which provides that sites between one and three acres shall provide landscaping along street frontage with a minimum width of thirty feet; and

WHEREAS, the proposed landscaping along the street frontage ranges from a minimum of nine feet to a maximum of thirty feet; and

WHEREAS, Section 108-517 provides that the Planning Board may grant a waiver to minimum landscaping requirements if it determines that the waivers or modifications are not contrary to the intent of this subdivision and that a literal enforcement of the standards of this subdivision would be impracticable and would not violate the criteria outlined in Section 108-517(b); and

WHEREAS, the Planning Board granted a variance to minimum required parking standards for the proposed redevelopment pursuant to Planning Board Resolution 2024-__ ; and

WHEREAS, these matters came before and were approved by the Planning Board at a duly noticed public hearing on September 19, 2024; and

WHEREAS, the Planning Board finds that the granting of a Major Development Plan and landscape waiver is in harmony with the general purpose and intent of the Land Development

 Chairman

 Planning Director

Regulations, and will not be injurious to the neighborhood, or otherwise detrimental to the public welfare; and

NOW THEREFORE, BE IT RESOLVED BY THE PLANNING BOARD OF THE CITY OF KEY WEST, FLORIDA, AS FOLLOWS:

Section 1. That the above recitals are incorporated by reference as if fully set forth herein.

Section 2. The Major Development Plan and landscape waiver for the construction of four boat racks and a restroom facility, seawall repair, maintenance dredging, and other site improvements on property located at and near 711 Eisenhower Drive (RE# 00023130-000000, 00072082-002900, & 00072070-000000) in the General Commercial, Public and Semi-Public Services, and Conservation zonings districts pursuant to Sections 108-91(b) of the Land Development Regulations of the Code of Ordinances of the City of Key West, Florida, as shown in the attached site plans is hereby approved with the following conditions:

General Conditions:

1. The applicant shall obtain Planning Board approval for a variance to minimum parking standards.
2. Maintenance dredging and seawall repair shall be consistent with the attached plans by Glen Boe and Associated, Inc, dated 07/07/2023, and shall meet the permit conditions issued by the Florida Department of Environmental Protection, Army Corps of Engineers, and South Florida Water Management District.

3. Upland development including site work and boat rack construction shall be consistent with the attached plans by Weiler Engineering Corporation, signed and sealed on 06/13/2024 by Michael Giardullo.
4. The construction of restrooms shall be consistent with the attached plans by Architectural Alliance Architecture, signed and sealed 05/15/2024 by Pete Meador Ebersolo.
5. Landscaping shall be installed in accordance with the attached plans by Architectural Alliance Landscape, signed and sealed 06/25/2024 by Hugh Johnson. The applicant shall meet the specifications and criteria for plant materials, installation, and maintenance identified in Section 108-481 and Section 108-482 of the LDRs. Pursuant to Section 108-416, grass, ground cover, shrubs, and other landscaping materials shall be used to treat all ground not covered by building, paving, or other structures. Installation shall comply with Sec. 108-452. - Required sight distances for landscaping adjacent to public rights-of-way and points of access.
6. During the course of construction, the contractor is not permitted to directly discharge into the storm drain. The applicant shall coordinate dewatering activities through the Utilities Department. Dredged material and effluent shall not be discharged into outstanding waters and shall be disposed of in an approved off-site facility.
7. A turbidity barrier shall be deployed throughout the course of construction and shall remain until the project is completed and the site returns to ambient levels.
8. The restroom building sanitary sewer connection may not go into the grease interceptor. Connection to the sanitary sewer lateral must be downstream of the grease interceptor.

 Chairman

 Planning Director

9. Solid waste storage areas must be screened from adjacent properties and rights-of-way.
10. The applicant shall coordinate with the Utilities Department regarding the replacement of the City stormwater outfall pipe. The pipe shall be replaced using material specifications provided by the Utilities Department. The applicant shall grant the City an easement in a form acceptable to the City Attorney for the purpose of providing the City the ability to access, repair, and maintain the existing stormwater pipe.
11. The property owner shall be responsible for removing boat racks from the City-owned parcel upon termination of the lease.
12. The applicant shall meet the manatee protection criteria identified in Section 110-186.
13. Boat maintenance and cleaning activities shall be located as far as possible from open waterbodies in order to reduce contamination of waterbodies by toxic substances common to boat maintenance. Runoff from boat maintenance must be collected and treated prior to discharge.

Conditions required prior to issuance of a Building Permit

1. The applicant shall provide a complete stormwater management plan which shall be reviewed and approved by the City stormwater engineer. The plan shall meet the criteria identified in Chapter 108, Article VIII of the Land Development Regulations (the “LDRs”) and Section 110-187, which provides that no new point-source pollution shall be permitted to discharge into ocean, gulf, and nearshore waters. The stormwater management plan shall comply with Comprehensive Plan Policy 4-1.1.1, including the

 Chairman

 Planning Director

provision that stormwater facilities which directly discharge into Outstanding Florida Waters shall provide an additional treatment pursuant to Section 62-25.025 (9), Florida Administrative Code.

- 2. The applicant shall provide a soil erosion and sediment control plan that includes a stormwater pollution prevention plan. The plan shall be provided to and approved by the City stormwater engineer.
- 3. The applicant shall obtain and provide to the City all necessary permits from federal, state and regional agencies, including the South Florida Water Management District, Florida Department of Environmental Protection, and the Army Corps of Engineers.
- 4. The applicant must satisfy the public art requirements of Section 2-487.

Section 3. This resolution does not constitute a finding as to ownership or right to possession of the property, and assumes, without finding, the correctness of applicant’s assertion of legal authority respecting the property.

Section 4. This resolution shall go into effect immediately upon its passage and adoption and authentication by the signatures of the presiding officer and the Clerk of the Commission.

Section 5. This resolution is subject to appeal periods as provided by the City of Key West Code of Ordinances (including the Land Development Regulations). After the City appeal period has expired, this permit or development order shall be rendered to the Florida Department of Commerce (DOC). Pursuant to Chapter 73C-44, F.A.C., this permit or development order is not

 Chairman
 Planning Director

effective for 45 days after it has been properly rendered to the DOC with all exhibits and applications attached to or incorporated by reference in this approval; that within the 45-day review period, the DEO can appeal the permit or development order to the Florida Land and Water Adjudicatory Commission; and that such an appeal stays the effectiveness of the permit until the appeal is resolved by agreement or order.

Read and passed on first reading at a regularly scheduled meeting held this 19th day of September, 2024.

Authenticated by the Chair of the Planning Board and the Planning Director.

Sam Holland 9/30/24
Sam Holland, Planning Board Chair Date

Attest:

Katie P. Halloran Sept 27, 2024
Katie P. Halloran, Planning Director Date

Filed with the Clerk:

Keri O'Brien 9/30/2024
Keri O'Brien, City Clerk Date

WJH Chairman
ICPH Planning Director



FLORIDA DEPARTMENT OF Environmental Protection

Southeast District Branch Office
2796 Overseas Highway, Suite 211
Marathon, FL 33050
305-289-7070

Ron DeSantis
Governor

Jeanette Nuñez
Lt. Governor

Shawn Hamilton
Secretary

February 6, 2024

Garrison Bight SMI LLC
c/o David Miller
17330 Preston Rd Ste 220A
Dallas, TX 75252
Sent via e-mail: eric.metz@suntex.com

Re: File No.: 44-0217501-002-003-004-EE
File Name: Garrison Bight Seawall Dock Drdgc

Dear David Miller:

On July 10, 2023, we received your request for verification of exemption to perform the following activities: to repair and replace a 35 ft. and 77 ft. section of seawall with 85 sq. ft./20 cy. of backfill each, repair and replace a 280 sq. ft. and 620 sq. ft. section of cap, and to maintenance dredge an a 11,000 sq. ft./900 cy. area. The project is located in Garrison Bight, Outstanding Florida Waters, Class III Waters, adjacent to 711 Eisenhower Drive, Key West (Section 32, Township 67 South, Range 25 East), in Monroe County (Latitude N 24° 33' 39.0753", Longitude W -81° 47' 21.8061").

Your request has been reviewed to determine whether it qualifies for (1) regulatory exemption, (2) proprietary authorization (related to state-owned submerged lands), and (3) federal approval that may be necessary for work in wetlands or waters of the United States.

Your project did not qualify for the proprietary and federal authorization of this verification request. **Additional authorization must be obtained prior to commencement of the proposed activity.** This letter does not relieve you from the responsibility of obtaining other federal, state, or local authorizations that may be required for the activity. Please refer to the specific section(s) dealing with that portion of the review below for advice on how to proceed.

If you change the project from what you submitted, the authorization(s) granted may no longer be valid at the time of commencement of the project. Please contact us prior to beginning your project if you wish to make any changes.

If you have any questions regarding this matter, please contact Haley Kilgour at the letterhead address or at 305-289-7079, Haley.Kilgour@FloridaDEP.gov.

1. Regulatory Review – VERIFIED

Based on the information submitted, the Department has verified that the activity as proposed is exempt, under Chapter 62-330.051(7)(a) and (12)(b & d), Florida Administrative Code, from the need to obtain a regulatory permit under Part IV of Chapter 373 of the Florida Statutes.

This exemption verification is based on the information you provided the Department and the statutes and rules in effect when the information was submitted. This verification may not be valid if site conditions materially change, the project design is modified, or the statutes or rules governing the exempt activity are amended. In the event you need to re-verify the exempt status for the activity, a new request and verification fee will be required. Any substantial modifications to the project design should be submitted to the Department for review, as changes may result in a permit being required.

2. Proprietary Review- NOT REQUIRED

The activity does not require further authorization under chapter 253 of the Florida Statutes, or chapters 18-20 or 18-21 of the Florida Administrative Code.

3. Federal Review - NOT APPROVED

Your proposed activity as outlined on your application and attached drawings **does not qualify** for Federal authorization pursuant to the State Programmatic General Permit and a **SEPARATE permit** or authorization **shall be required** from the Corps. You must apply separately to the Corps using their APPLICATION FOR DEPARTMENT OF THE ARMY PERMIT, ENG FORM 4345, or alternative as allowed by their regulations. More information on Corps permitting may be found online in the Jacksonville District Regulatory Division Source Book at: <https://www.saj.usace.army.mil/Missions/Regulatory/Source-Book>.

Authority for review - an agreement with the USACOE entitled “Coordination Agreement Between the U. S. Army Corps of Engineers (Jacksonville District) and the Florida Department of Environmental Protection (or Duly Authorized Designee), State Programmatic General Permit”, Section 10 of the Rivers and Harbor Act of 1899, and Section 404 of the Clean Water Act.

Additional Information

Please retain this letter. The activities may be inspected by authorized state personnel in the future to ensure compliance with appropriate statutes and administrative codes. If the activities are not in compliance, you may be subject to penalties under Chapter 373, F.S., and Chapter 18-14, F.A.C.

NOTICE OF RIGHTS

This action is final and effective on the date filed with the Clerk of the Department unless a petition for an administrative hearing is timely filed under Sections 120.569 and 120.57, F.S., before the deadline for filing a petition. On the filing of a timely and sufficient petition, this action will not be final and effective until a subsequent order of the Department. Because the administrative hearing

process is designed to formulate final agency action, the hearing process may result in a modification of the agency action or even denial of the application.

Petition for Administrative Hearing

A person whose substantial interests are affected by the Department's action may petition for an administrative proceeding (hearing) under Sections 120.569 and 120.57, F.S. Pursuant to Rules 28-106.201 and 28-106.301, F.A.C., a petition for an administrative hearing must contain the following information:

- (a) The name and address of each agency affected and each agency's file or identification number, if known;
- (b) The name, address, any e-mail address, any facsimile number, and telephone number of the petitioner, if the petitioner is not represented by an attorney or a qualified representative; the name, address, and telephone number of the petitioner's representative, if any, which shall be the address for service purposes during the course of the proceeding; and an explanation of how the petitioner's substantial interests will be affected by the agency determination;
- (c) A statement of when and how the petitioner received notice of the agency decision;
- (d) A statement of all disputed issues of material fact. If there are none, the petition must so indicate;
- (e) A concise statement of the ultimate facts alleged, including the specific facts that the petitioner contends warrant reversal or modification of the agency's proposed action;
- (f) A statement of the specific rules or statutes that the petitioner contends require reversal or modification of the agency's proposed action, including an explanation of how the alleged facts relate to the specific rules or statutes; and
- (g) A statement of the relief sought by the petitioner, stating precisely the action that the petitioner wishes the agency to take with respect to the agency's proposed action.

The petition must be filed (received by the Clerk) in the Office of General Counsel of the Department at 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida 32399-3000, or via electronic correspondence at Agency_Clerk@dep.state.fl.us. Also, a copy of the petition shall be mailed to the applicant at the address indicated above at the time of filing.

Time Period for Filing a Petition

In accordance with Rule 62-110.106(3), F.A.C., petitions for an administrative hearing by the applicant and persons entitled to written notice under Section 120.60(3), F.S., must be filed within 21 days of receipt of this written notice. Petitions filed by any persons other than the applicant, and other than those entitled to written notice under Section 120.60(3), F.S., must be filed within 21 days of publication of the notice or within 21 days of receipt of the written notice, whichever occurs first. You cannot justifiably rely on the finality of this decision unless notice of this decision and the right of substantially affected persons to challenge this decision has been duly published or otherwise provided to all persons substantially affected by the decision. While you are not required to publish notice of this action, you may elect to do so pursuant Rule 62-110.106(10)(a).

The failure to file a petition within the appropriate time period shall constitute a waiver of that person's right to request an administrative determination (hearing) under Sections 120.569 and

120.57, F.S., or to intervene in this proceeding and participate as a party to it. Any subsequent intervention (in a proceeding initiated by another party) will be only at the discretion of the presiding officer upon the filing of a motion in compliance with Rule 28-106.205, F.A.C. If you do not publish notice of this action, this waiver will not apply to persons who have not received written notice of this action.

Extension of Time

Under Rule 62-110.106(4), F.A.C., a person whose substantial interests are affected by the Department's action may also request an extension of time to file a petition for an administrative hearing. The Department may, for good cause shown, grant the request for an extension of time. Requests for extension of time must be filed with the Office of General Counsel of the Department at 3900 Commonwealth Boulevard, Mail Station 35, Tallahassee, Florida 32399-3000, or via electronic correspondence at Agency_Clerk@dep.state.fl.us, before the deadline for filing a petition for an administrative hearing. A timely request for extension of time shall toll the running of the time period for filing a petition until the request is acted upon.

Mediation

Mediation is not available in this proceeding.

FLAWAC Review

The applicant, or any party within the meaning of Section 373.114(1)(a) or 373.4275, F.S., may also seek appellate review of this order before the Land and Water Adjudicatory Commission under Section 373.114(1) or 373.4275, F.S. Requests for review before the Land and Water Adjudicatory Commission must be filed with the Secretary of the Commission and served on the Department within 20 days from the date when this order is filed with the Clerk of the Department.

Judicial Review

Once this decision becomes final, any party to this action has the right to seek judicial review pursuant to Section 120.68, F.S., by filing a Notice of Appeal pursuant to Florida Rules of Appellate Procedure 9.110 and 9.190 with the Clerk of the Department in the Office of General Counsel (Station #35, 3900 Commonwealth Boulevard, Tallahassee, Florida 32399-3000) and by filing a copy of the Notice of Appeal accompanied by the applicable filing fees with the appropriate district court of appeal. The notice must be filed within 30 days from the date this action is filed with the Clerk of the Department.

EXECUTION AND CLERKING

Executed in West Palm Beach, Florida.

STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION



William Lange
Environmental Manager
Southeast District

Enclosures:

Attachment A- Specific Exemption Rule
Project drawings, 5 pages

CERTIFICATE OF SERVICE

The undersigned duly designated deputy clerk hereby certifies that this document and all attachments were sent on the filing date below to the following listed persons:

FDEP – William Lange, Haley Kilgour
Sean Kirwan, Glen Boe & Associates, Inc., glenboe@bellsouth.net
Stephen Werndli, Florida Keys National Marine Sanctuary, steve.werndli@noaa.gov

FILING AND ACKNOWLEDGMENT

FILED, on this date, pursuant to Section 120.52, F. S., with the designated Department Clerk, receipt of which is hereby acknowledged.

Kameil Akbar
Clerk

02.06.2024
Date

Attachment A

Chapter 62-330.051 Exempt Activities.

The activities meeting the limitations and restrictions below are exempt from permitting. However, if located in, on, or over state-owned submerged lands, they are subject to a separate authorization under Chapters 253 and 258, F.S., and Chapters 18-18, 18-20, and 18-21, F.A.C., as applicable.

(7) Maintenance and Restoration –

(a) Maintenance dredging under section 403.813(1)(f), F.S

(12) Construction, Replacement, Restoration, Enhancement, and Repair of Seawall, Riprap, and Other Shoreline Stabilization –

(b) The restoration of a seawall or riprap under section 403.813(1)(e), F.S., where:

1. The seawall or riprap has been damaged or destroyed within the last year by a discrete event, such as a storm, flood, accident, or fire or where the seawall or riprap restoration or repair involves only minimal backfilling to level the land directly associated with the restoration or repair and does not involve land reclamation as the primary project purpose. See section 3.2.4 of Volume I for factors used to determine qualification under this provision;

2. Restoration shall be no more than 18 inches waterward of its previous location, as measured from the waterward face of the existing seawall to the face of the restored seawall, or from the waterward slope of the existing riprap to the waterward slope of the restored riprap; and

3. Applicable permits under chapter 161, F.S., are obtained.

(d) Installation of batter piles, king piles, or a seawall cap, used exclusively to stabilize and repair seawalls, provided they do not impede navigation.

PROJECT LOCATION

PARCEL ID 00023130-000000
KW BENJ ALBURYS SUBD PB1-3 PT LOTS 1 AND 2
AND ALL LOTS 3 AND 4 OF TR 7
SEC/TWP/RNG 32/67/25
KEY WEST
LATITUDE: 25.560874°N LONGITUDE: 81.789133°W

DIRECTIONS:

US HIGHWAY NO 1 SOUTH TO KEY WEST. RIGHT ON
N ROOSEVELT BOULEVARD. RIGHT ON PALM AVENUE CAUSEWAY.
LEFT ON EISENHOWER DRIVE.
PROPERTY ADDRESS: 711 EISENHOWER DRIVE.

ADJOINING OWNERS

CITY OF KEY WEST FLA FOR GARRISON BIGHT
PO BOX 1409
KEY WEST FL 33041

719 EISENHOWER LTD
201 FRONT STREET, SUITE 310
KEY WEST, FL 33040



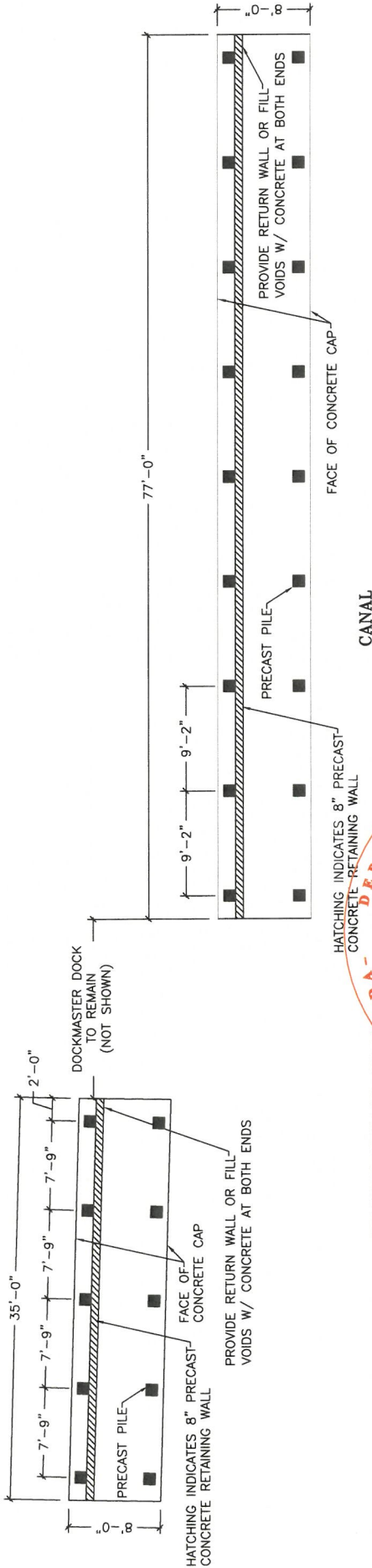
REVISIONS:

LOCATION & VICINITY MAP
SCALE: AS SHOWN

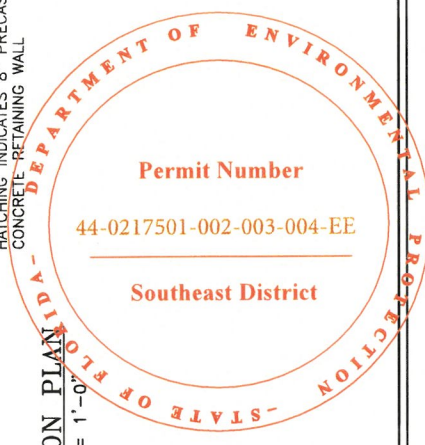
SHORELINE REPAIRS & MAINTENANCE DREDGE
GARRISON BIGHT SMI LLC - 711 EISENHOWER DRIVE
KEY WEST, MONROE COUNTY, FL

GLEN BOE AND ASSOCIATES, INC. # 4061
5800 OVERSEAS HIGHWAY, SUITE 4, MARATHON, FL 33050
Telephone (305) 743-9121 Fax (305) 743-9197
Email: glenboe@bellsouth.net

DATE: 07/07/23



FOUNDATION PLAN
SCALE: 3/32" = 1'-0"



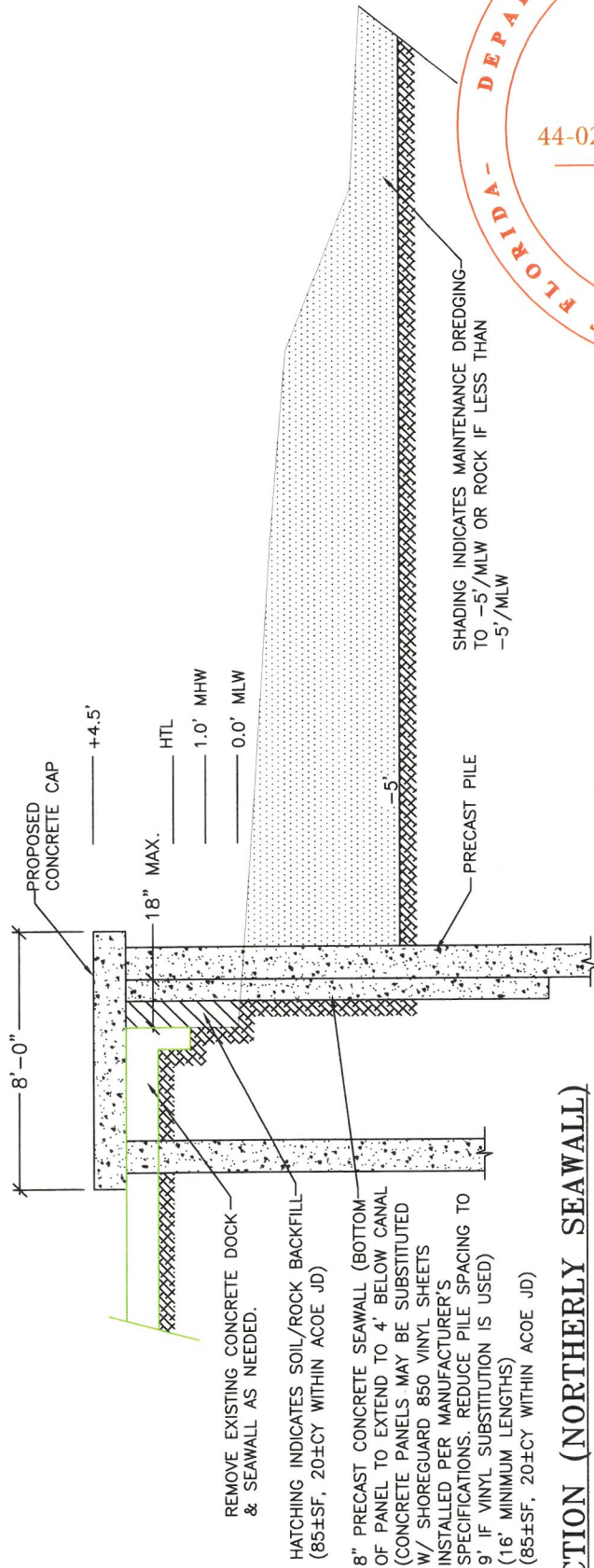
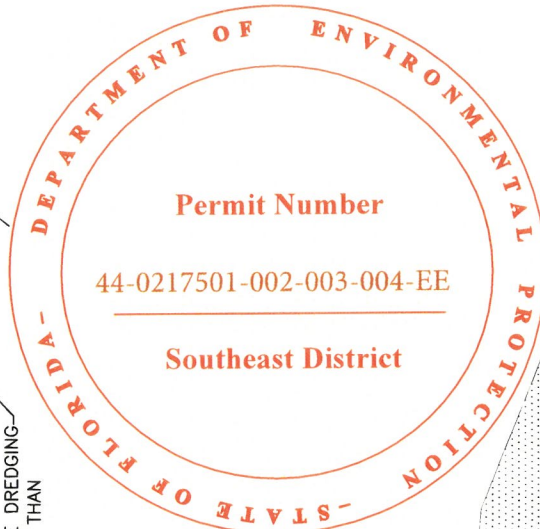
REVISIONS:

DESIGNED BY:
SEAN KIRWAN, P.E. #67506

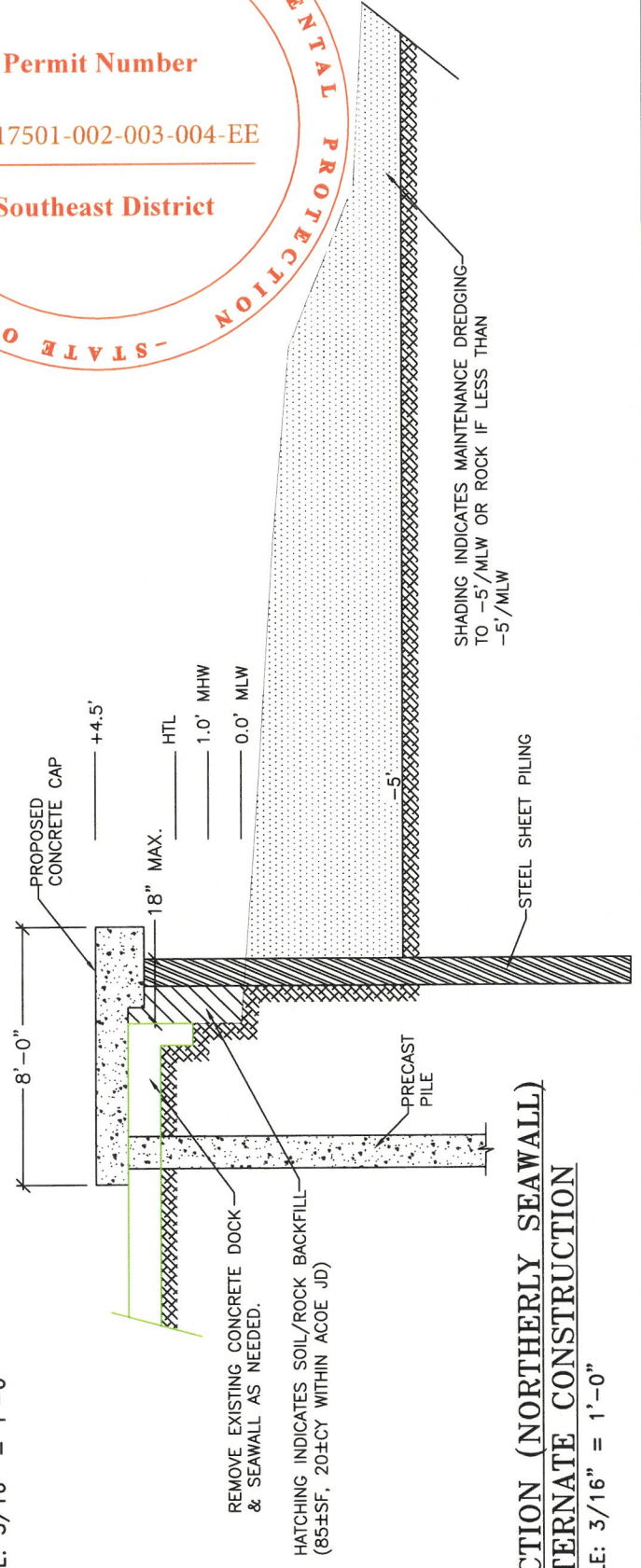
SHORELINE REPAIRS & MAINTENANCE DREDGE
GARRISON BIGHT SMI LLC - 711 EISENHOWER DRIVE
KEY WEST, MONROE COUNTY, FL

GLEN BOE AND ASSOCIATES, INC. # 4061
5800 OVERSEAS HIGHWAY, SUITE 4, MERRITON, FL 33660
Telephone: (305) 743-9121
E-mail: glenboe@bellsouth.net

DATE: 07/07/23
3
SHEET 3 OF 5



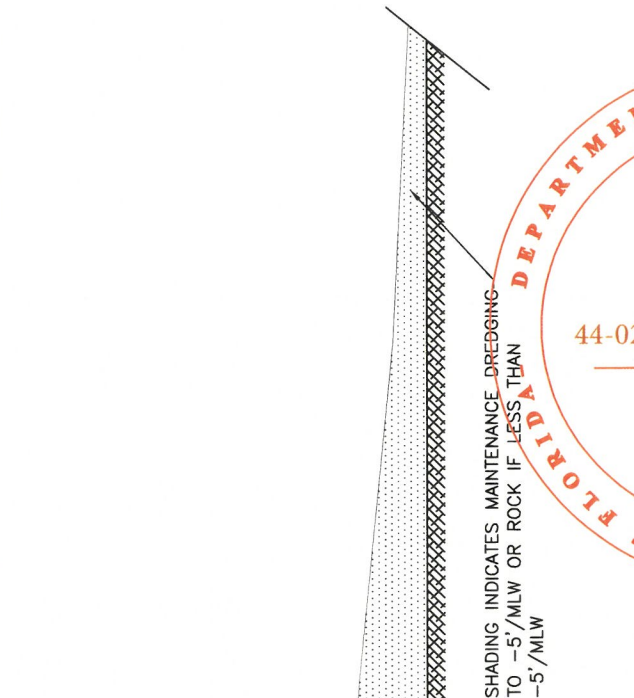
SECTION (NORTHERLY SEAWALL)
SCALE: 3/16" = 1'-0"



**SECTION (NORTHERLY SEAWALL)
ALTERNATE CONSTRUCTION**
SCALE: 3/16" = 1'-0"

REVISIONS:	
SHORELINE REPAIRS & MAINTENANCE DREDGE GARRISON BIGHT SMI LLC - 711 EISENHOWER DRIVE KEY WEST, MONROE COUNTY, FL	
GLEN BOE AND ASSOCIATES, INC. # 4061 5902 OVERSEAS HIGHWAY, SUITE 4, MARATHON, FL 33050 Telephone (305) 743-9121 Fax (305) 743-9197 Email: glenboe@bellsouth.net	
DATE: 07/07/23	
4	
SHEET 4 OF 5	

CERTIFIED BY:
SEAN KIRWAN, P.E. #57506



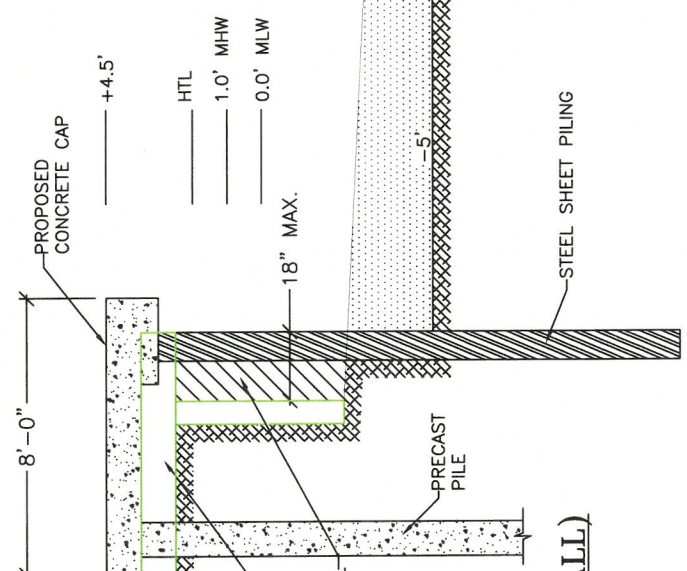
REMOVE EXISTING CONCRETE DOCK & SEAWALL AS NEEDED.

HATCHING INDICATES SOIL/ROCK BACKFILL (85±SF, 20±CY WITHIN ACOE JD)

8" PRECAST CONCRETE SEAWALL (BOTTOM OF PANEL TO EXTEND TO 4' BELOW CANAL (CONCRETE PANELS MAY BE SUBSTITUTED W/ SHOREGUARD 850 VINYL SHEETS INSTALLED PER MANUFACTURER'S SPECIFICATIONS. REDUCE PILE SPACING TO 9' IF VINYL SUBSTITUTION IS USED) (16' MINIMUM LENGTHS) (85±SF, 20±CY WITHIN ACOE JD)

SECTION (SOUTHERLY SEAWALL)

SCALE: 3/16" = 1'-0"

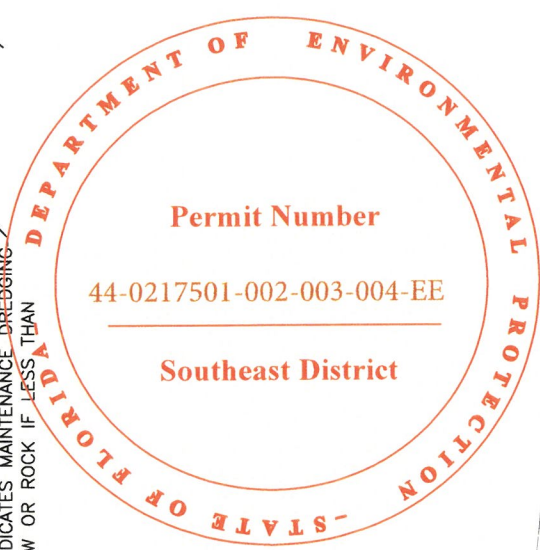


REMOVE EXISTING CONCRETE DOCK & SEAWALL AS NEEDED.

HATCHING INDICATES SOIL/ROCK BACKFILL (85±SF, 20±CY WITHIN ACOE JD)

SECTION (SOUTHERLY SEAWALL) ALTERNATE CONSTRUCTION

SCALE: 3/16" = 1'-0"



SHADING INDICATES MAINTENANCE DREDGING TO -5'/MLW OR ROCK IF LESS THAN -5'/MLW

SHADING INDICATES MAINTENANCE DREDGING TO -5'/MLW OR ROCK IF LESS THAN -5'/MLW

REVISIONS:

SHORELINE REPAIRS & MAINTENANCE DREDGE
 GARRISON BIGHT SMI LLC - 711 EISENHOWER DRIVE
 KEY WEST, MONROE COUNTY, FL

GLEN BOE AND ASSOCIATES, INC. # 4061
 5800 OVERSEAS HIGHWAY, SUITE 4, MARATHON, FL 33050
 Telephone (305) 743-9121 Fax (305) 743-9197
 Email: glenboe@bellisouth.net

DATE: 07/07/23

5

PROJECT LOCATION

PARCEL ID 00023130-000000
KW BENJ ALBURYS SUBD PB1-3 PT LOTS 1 AND 2
AND ALL LOTS 3 AND 4 OF TR 7
SEC/TWP/RNG 32/67/25
KEY WEST
LATITUDE: 25.560874°N LONGITUDE: 81.789133°W

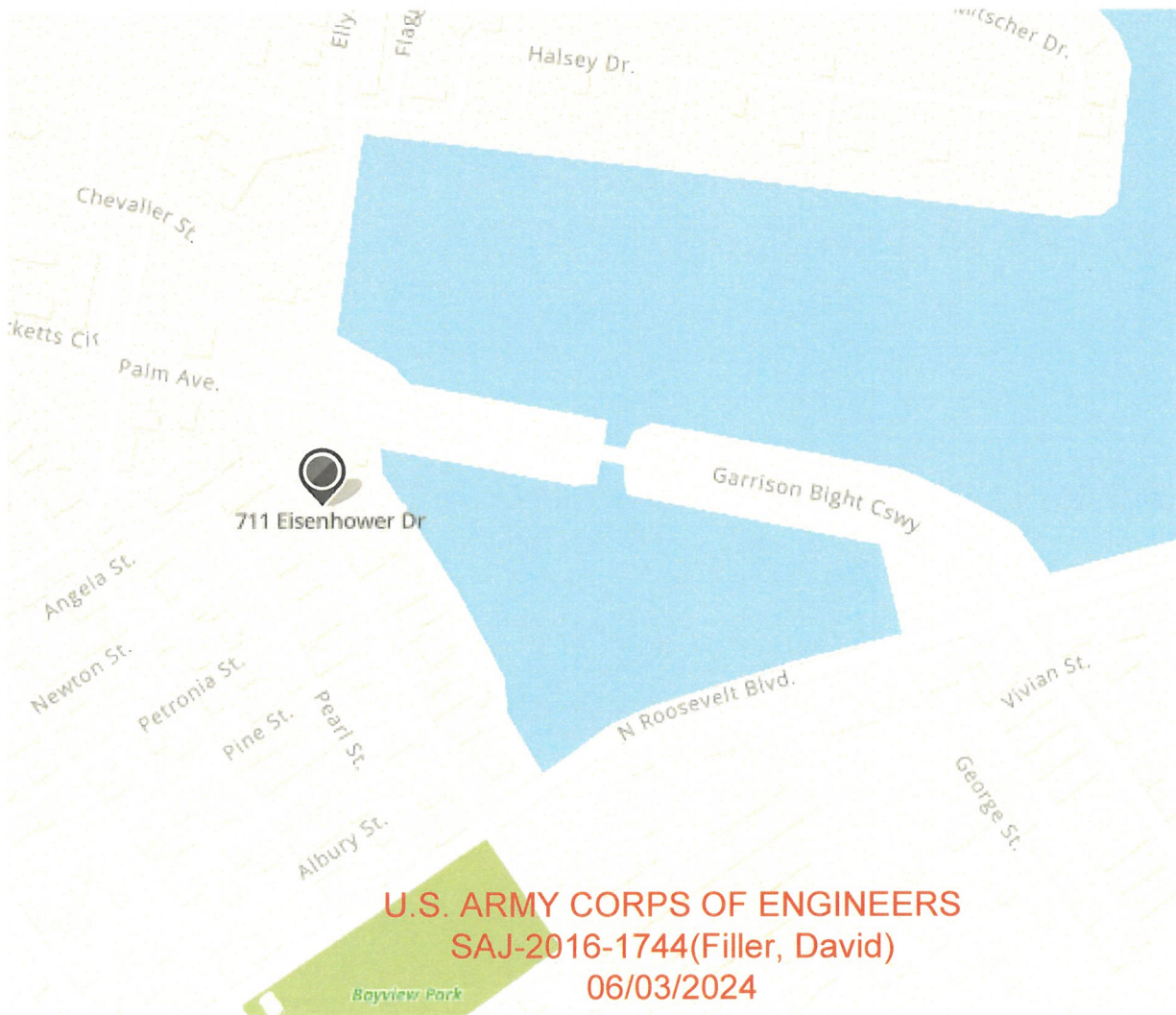
DIRECTIONS:

US HIGHWAY NO 1 SOUTH TO KEY WEST. RIGHT ON
N ROOSEVELT BOULEVARD. RIGHT ON PALM AVENUE CAUSEWAY.
LEFT ON EISENHOWER DRIVE.
PROPERTY ADDRESS: 711 EISENHOWER DRIVE.

ADJOINING OWNERS

CITY OF KEY WEST FLA FOR GARRISON BIGHT
PO BOX 1409
KEY WEST FL 33041

719 EISENHOWER LTD
201 FRONT STREET, SUITE 310
KEY WEST, FL 33040



U.S. ARMY CORPS OF ENGINEERS
SAJ-2016-1744(Filler, David)

06/03/2024
Page 1 of 5

REVISIONS:

LOCATION & VICINITY MAP
SCALE: AS SHOWN

SHORELINE REPAIRS & MAINTENANCE DREDGE
GARRISON BIGHT SMI LLC - 711 EISENHOWER DRIVE
KEY WEST, MONROE COUNTY, FL

GLEN BOE AND ASSOCIATES, INC. # 4061
5800 OVERSEAS HIGHWAY, SUITE 4, MARATHON, FL 33050
Telephone (305) 743-9121 Fax (305) 743-9197
Email: glenboe@bellsouth.net

DATE: 07/07/23



SITE PLAN
SCALE: 1" = 40'

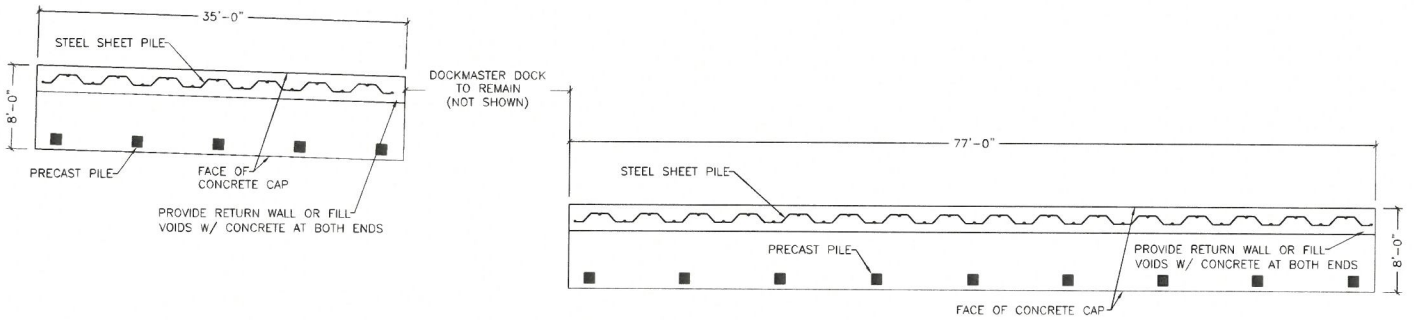
U.S. ARMY CORPS OF ENGINEERS
SAJ-2016-1744(Filler, David)
06/03/2024
Page 2 of 5

2
GLEN BOE AND ASSOCIATES, INC. # 4061
3800 OVERSEAS HIGHWAY, SUITE 4, MARATHON, FL 33050
Telephone (202) 742-9121
Email: glenboe@glboe.com

SHORELINE REPAIRS & MAINTENANCE DREDGE
GARRISON BIGHT SMI LLC - 711 EISENHOWER DRIVE
KEY WEST, MONROE COUNTY, FL

CERTIFIED BY:
SEAN RICHWAY, P.E. 45706

REVISIONS:

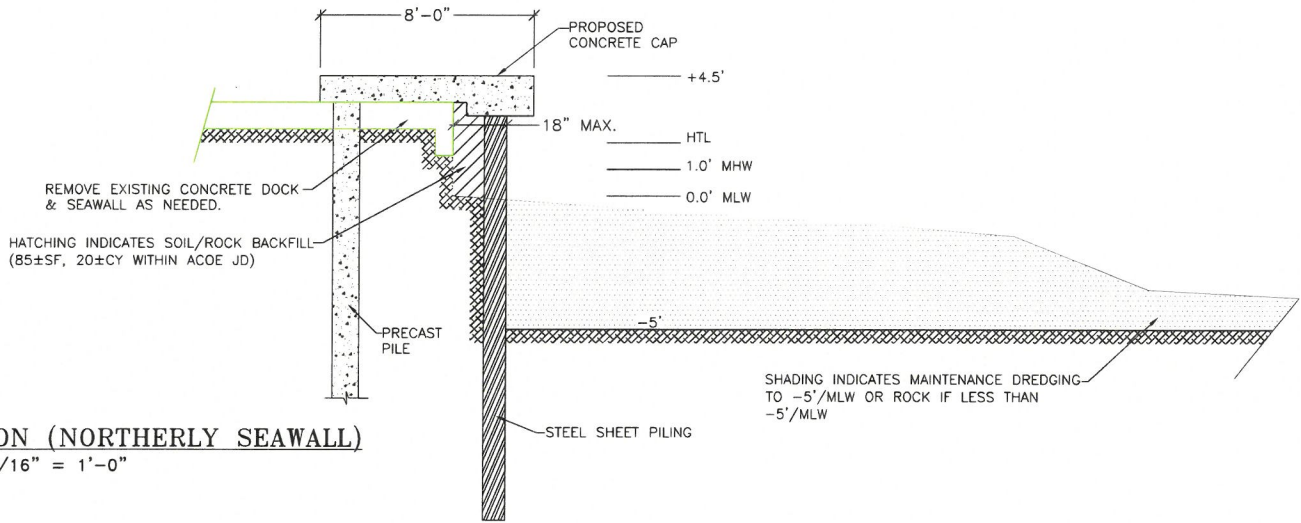


FOUNDATION PLAN
SCALE: 3/32" = 1'-0"

CANAL

U. S. ARMY CORPS OF ENGINEERS
SAJ-2016-1744(Filler, David)
06/03/2024
Page 3 of 5

SHEET NO. 3	C	17/09/2019	GLEN BOE AND ASSOCIATES, INC. # 4061 5600 OVERSEAS HIGHWAY, SUITE 4 MARATHON, FL 33050 Telephone (202) 743-0121 Email: glenboe@glboe.com	SHORELINE REPAIRS & MAINTENANCE DREDGE GARRISON BIGHT SMI LLC - 711 EISENHOWER DRIVE KEY WEST, MONROE COUNTY, FL	CERTIFIED BY: SEAN KIRWAN, P.E. #97506	REVISIONS: 1 03/04/24



SECTION (NORTHERLY SEAWALL)
 SCALE: 3/16" = 1'-0"

U.S. ARMY CORPS OF ENGINEERS
 SAJ-2016-1744(Filler, David)
 06/03/2024
 Page 4 of 5

SHEET 4 OF 5

4

DATE: 07/07/23

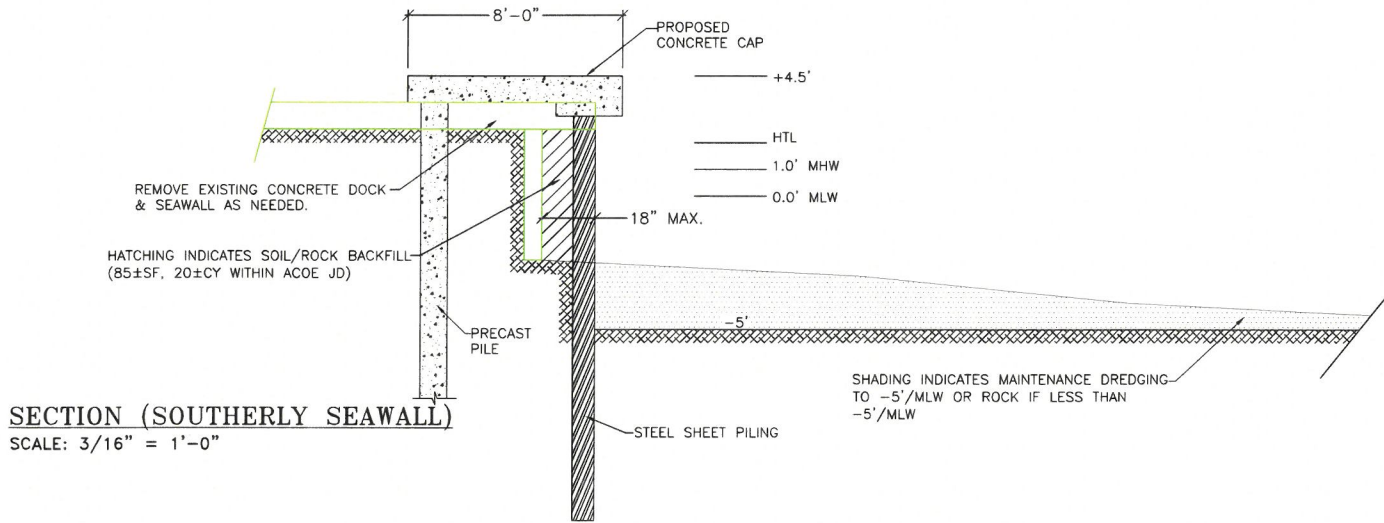
GLEN BOE AND ASSOCIATES, INC. # 4061
 5800 OVERSEAS HIGHWAY, SUITE 4, MARATHON, FL 33050
 Telephone (305) 743-9121 Fax (305) 743-9197
 Email: glenboe@bellsouth.net

SHORELINE REPAIRS & MAINTENANCE DREDGE
 GARRISON BIGHT SMI LLC - 711 EISENHOWER DRIVE
 KEY WEST, MONROE COUNTY, FL

CERTIFIED BY:
 SEAN KIRWAN, P.E. #57506

REVISIONS:

1	03/04/24



U.S. ARMY CORPS OF ENGINEERS
SAJ-2016-1744(Filler, David)
06/03/2024
Page 5 of 5

SHEET 5 OF 5

5

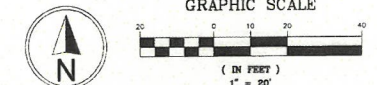
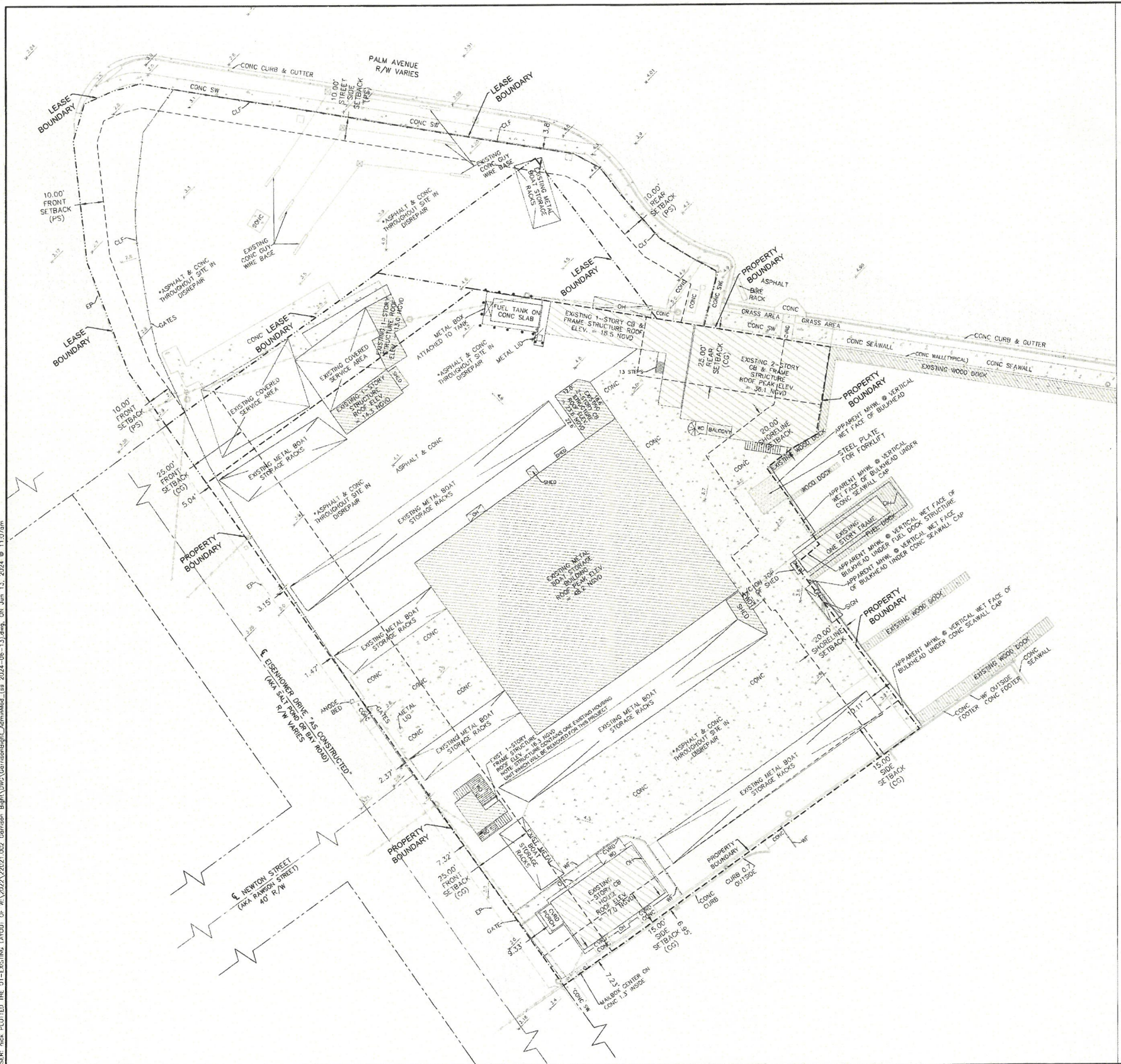
GLEN BOE AND ASSOCIATES, INC. # 4061
5800 OVERSEAS HIGHWAY, SUITE 4, MARATHON, FL 33050
Telephone (305) 743-9121 Fax (305) 743-9197
Email: glenboe@bellsouth.net

SHORELINE REPAIRS & MAINTENANCE DREDGE
GARRISON BIGHT SMI LLC - 711 EISENHOWER DRIVE
KEY WEST, MONROE COUNTY, FL

CERTIFIED BY:
SEAN KIRWAN, P.E. #57506

REVISIONS:	
1	03/04/24

USER: mck_PLOTTED THE 01-EXISTING LAYOUT OF W:\2024\2024.002_Cemstar_Bight\DWG\CemstarBight.dwg, ON Jun 13, 2024 @ 11:07am



PROJECT DATA

PROJECT: GARRISON BIGHT MARINA
 711 EISENHOWER DRIVE
 KEY WEST, FLORIDA 33040

OWNERSHIP: GARRISON BIGHT SWI LLC
 17330 PRESTON ROAD
 DALLAS, TEXAS 75252

ENGINEER: THE WULLER ENGINEERING CORPORATION (WEC)
 MICHAEL J. GARDULLO P.E., INC. 70876
 201 W. MARION AVE., SUITE 1306
 PUNTA GORDA, FLORIDA 33950
 941.505.1700

SURVEYOR: FLORIDA KEYS LAND SURVEYING (FKLS)
 ERIC A. ISSACS, PSM #783
 21460 OVERSEAS HIGHWAY, SUITE 4
 CLOUDGE KEY, FL 33042
 (305) 334-3590

SEWER UTILITY: CITY OF KEY WEST
 WATER UTILITY: FLORIDA KEYS AQUEDUCT AUTHORITY (FKAA)
 WASTE COLLECTION: WASTE MANAGEMENT (WM)
 DATUM: N.G.V.D. 29 (PER SURVEY)

LOT COVERAGE SUMMARY

TOTAL UPLAND AREA (OWNED AND LEASED)	77,050.1 SF	1.77 AC	100.00 %
EXISTING LOT COVERAGE			
EXISTING BUILDINGS	18,765.1 SF	0.43 AC	24.35 %
EXISTING BOAT RACKS	7,207.4 SF	0.17 AC	9.35 %
EXISTING ASPHALT AND CONCRETE	27,570.2 SF		
EXISTING FENCE	476.0 SF		
EXISTING POWER POLES	102.9 SF		
EXISTING LOT COVERAGE AREA	53,921.6 SF	1.24 AC	69.98 %
EXISTING OPEN SPACE AREA	23,133.5 SF	0.53 AC	30.02 %

LEGEND

- PROPERTY BOUNDARY
- LEASE BOUNDARY
- SETBACK
- EXISTING POWER LINES
- EXISTING ASPHALT
- EXISTING CONCRETE
- EXISTING BUILDING
- EXISTING WOOD DOCK
- EXISTING FENCE
- EXISTING SPOT ELEVATION

Design:	AM
Drawn:	JNB
Checked:	AM/MJG
Scale:	1" = 20'
Job No.:	22021.002
Date Issued:	06-13-2024

WEC
 WULLER ENGINEERING CORPORATION
 30 Years of Excellence
 WEC
 WULLER ENGINEERING CORPORATION
 30 Years of Excellence
 201 W. MARION AVE., SUITE 1306
 PUNTA GORDA, FLORIDA 33950
 941.505.1700

EXISTING CONDITIONS
 for
GARRISON BIGHT MARINA

Revisions	Description

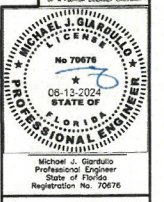


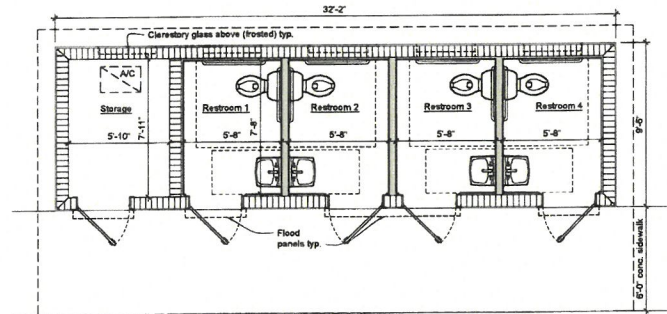
EXHIBIT ONLY - NOT FOR CONSTRUCTION

Sheet No. C-1.00

Michael J. Gardullo
 KPIT
 9/27/24

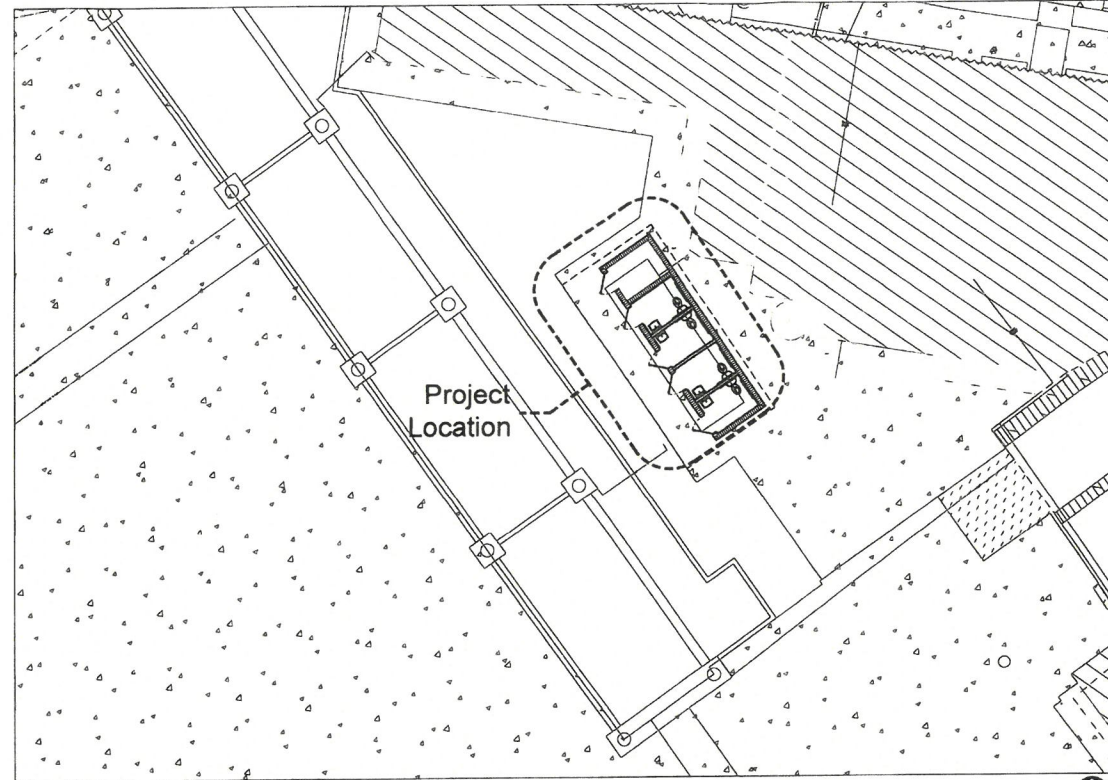
New Restroom Building For: Garrison Bight Marina

711 Eisenhower Drive
Key West, Florida 33040



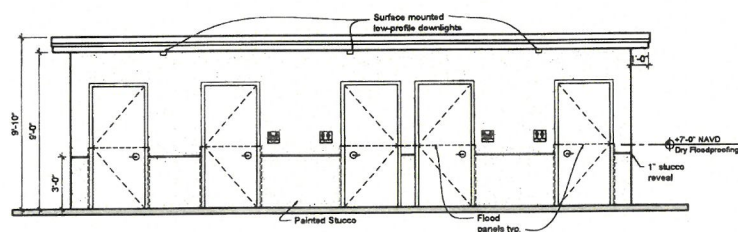
Construction Plan

Scale: 1/4"=1'-0"



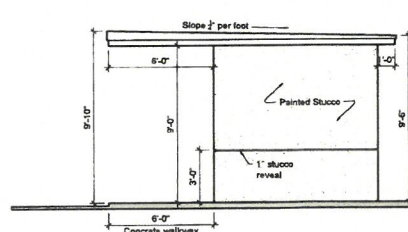
Partial Site Plan

Not to scale



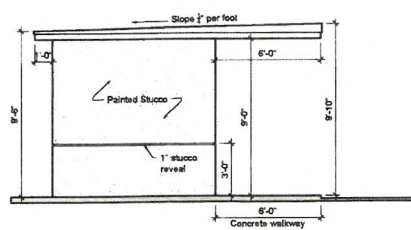
West Elevation

Scale: 1/4"=1'-0"



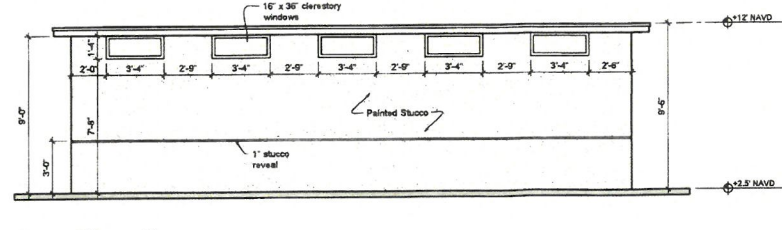
South Elevation

Scale: 1/4"=1'-0"



North Elevation

Scale: 1/4"=1'-0"



East Elevation

Scale: 1/4"=1'-0"

Scope of Work
New restroom building on existing marina site with 4 ADA compliant restrooms and storage room
Area Calculations
New Restroom Building Area = 303 s.f.

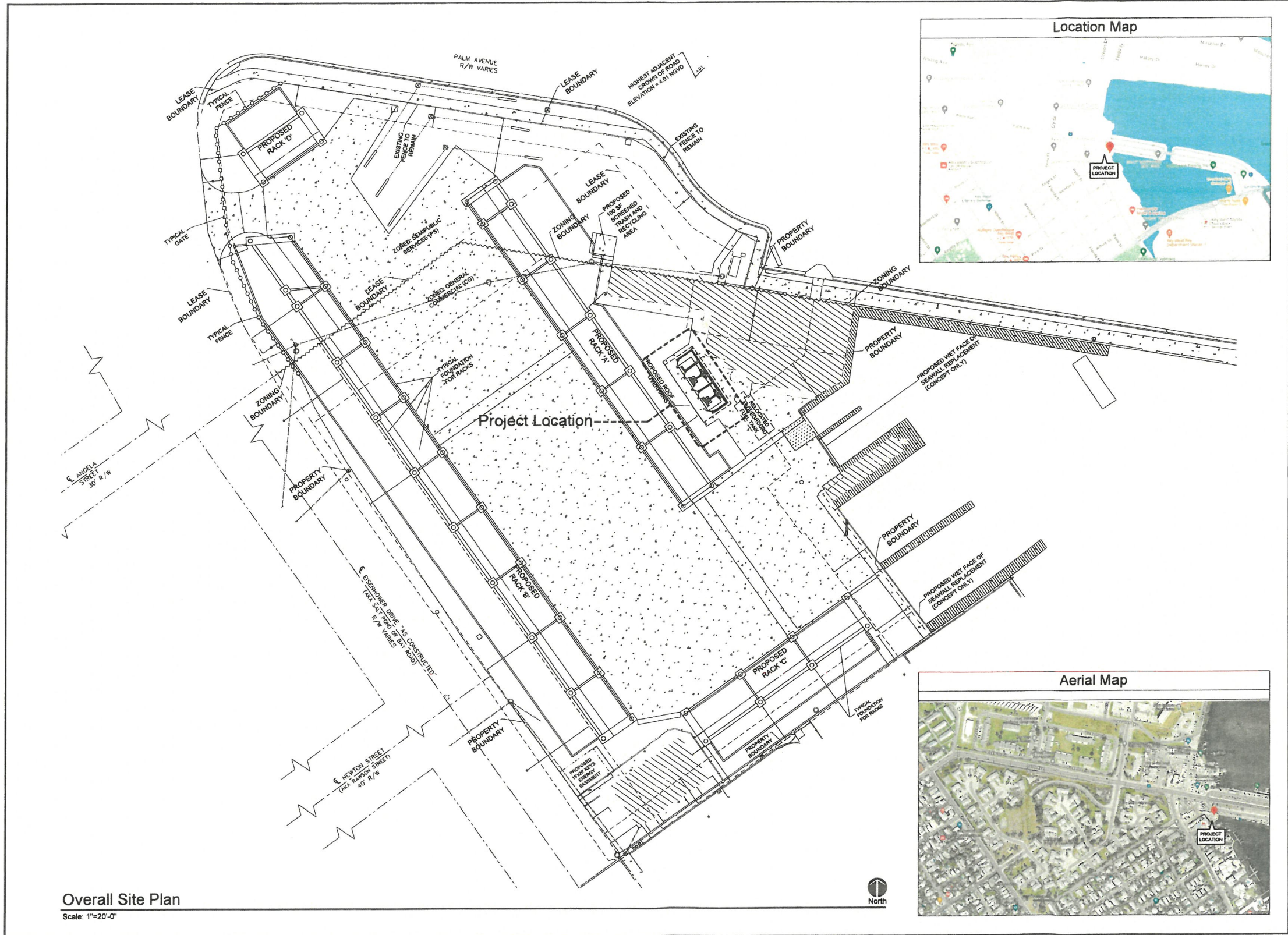
Architect
Architectural Alliance 612 S.W. 4th Avenue FL Lauderdale, FL 33315 Phone (954) 764-8858 Ext. 12 Contact: Patrick Gross, Project Manager pgross@archall.net



New Restroom Building for:
Garrison Bight Marina
711 Eisenhower Drive
Key West, Florida 33040

Sheet Description
Construction Plan / Elevations
Release Date
05/17/2024
Project Number
24123A - ps
Sheet Number
A101
DRC Submission

*Work 9/20/24
KPH 9/27/2024*



Overall Site Plan
Scale: 1"=20'-0"

ARCHITECTURAL ALLIANCE ARCHITECTURE
ALL IN AN AVIDENT FORT LAUDERDALE FLORIDA STATE, INC. 10000 W. UNIVERSITY BLVD. SUITE 1000
FORT LAUDERDALE, FL 33324
Phone: 760.438.1134
www.aalliance.com

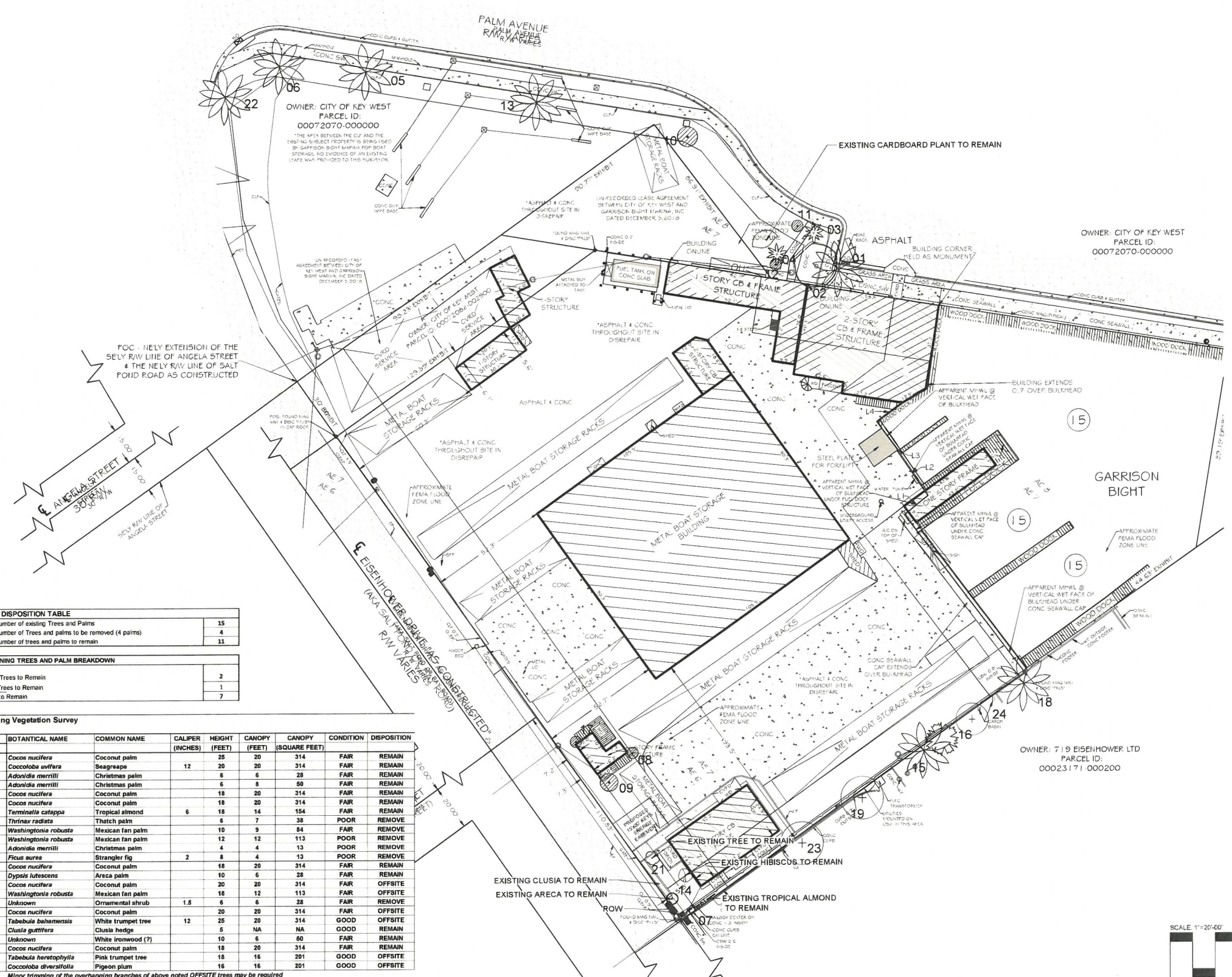
Paul M. Eberste
A R S 1 1 8 3 4
Revision Dates

Project Name

New Restroom Building for:
Garrison Bight Marina
711 Eisenhower Drive
Key West, Florida 33040

Sheet Description	Site Plan / Location Map
Release Date	05/17/2024
Project Number	24123A - ps
Sheet Number	A102
DRC Submission	

Handwritten notes:
KPT 9/27/2024
Walt 9/30/24



TREE DISPOSITION TABLE

Total number of existing Trees and Palms	15
Total number of Trees and palms to be removed (4 palms)	4
Total number of trees and palms to remain	11

REMAINING TREES AND PALM BREAKDOWN

Shade Trees to Remain	2
Small Trees to Remain	1
Palms to Remain	7

Existing Vegetation Survey

KEY	BOTANICAL NAME	COMMON NAME	CALIPER (INCHES)	HEIGHT (FEET)	CANOPY (FEET)	CANOPY (SQUARE FEET)	CONDITION	DISPOSITION
1	<i>Cocos nucifera</i>	Coconut palm	25	20	314	314	FAIR	REMAIN
2	<i>Coccoloba uvifera</i>	Seagrape	12	20	314	314	FAIR	REMAIN
3	<i>Adonia merrilli</i>	Christmas palm	6	6	28	28	FAIR	REMAIN
4	<i>Adonia merrilli</i>	Christmas palm	6	8	50	50	FAIR	REMAIN
5	<i>Cocos nucifera</i>	Coconut palm	18	20	314	314	FAIR	REMAIN
6	<i>Cocos nucifera</i>	Coconut palm	18	20	314	314	FAIR	REMAIN
7	<i>Terminalia catappa</i>	Tropical almond	6	18	154	154	FAIR	REMAIN
8	<i>Thrinax radiata</i>	Thatch palm	6	7	38	38	POOR	REMOVE
9	<i>Washingtonia robusta</i>	Mexican fan palm	10	9	84	84	FAIR	REMOVE
10	<i>Washingtonia robusta</i>	Mexican fan palm	12	12	113	113	POOR	REMOVE
11	<i>Adonia merrilli</i>	Christmas palm	4	4	13	13	POOR	REMOVE
12	<i>Ficus aurea</i>	Strangler fig	2	8	4	13	POOR	REMOVE
13	<i>Cocos nucifera</i>	Coconut palm	18	20	314	314	FAIR	REMAIN
14	<i>Dyopsis lutescens</i>	Areca palm	10	6	28	28	FAIR	REMAIN
15	<i>Cocos nucifera</i>	Coconut palm	20	20	314	314	FAIR	REMAIN
16	<i>Cocos nucifera</i>	Coconut palm	20	20	314	314	FAIR	REMAIN
17	<i>Unknown</i>	Ornamental shrub	1.5	6	6	28	FAIR	REMOVE
18	<i>Cocos nucifera</i>	Coconut palm	20	20	314	314	FAIR	OFFSITE
19	<i>Tabebuia bahamensis</i>	White trumpet tree	12	25	20	314	GOOD	OFFSITE
20	<i>Clusia guttifer</i>	Clusia hedge	5	NA	NA	NA	GOOD	REMAIN
21	<i>Unknown</i>	White ironwood (?)	10	6	60	60	FAIR	REMAIN
22	<i>Cocos nucifera</i>	Coconut palm	18	20	314	314	FAIR	REMAIN
23	<i>Tabebuia heratophylla</i>	Pink trumpet tree	18	15	201	201	GOOD	OFFSITE
24	<i>Coccoloba diversifolia</i>	Pigeon plum	15	15	201	201	GOOD	OFFSITE

Minor trimming of the overhanging branches of above noted OFFSITE trees may be required



Hugh Johnson
 2024.06.25
 2024.06.25

Revision Dates

1	2024.06.25
---	------------

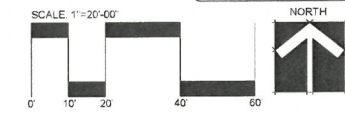
Landscape Plan
Garrison Bight Marina
 711 Eisenhower Drive
 Key West, Florida

Sheet Description
 Existing Vegetation Survey (Tree Disposition Plan)

Release Date
 9-25-23

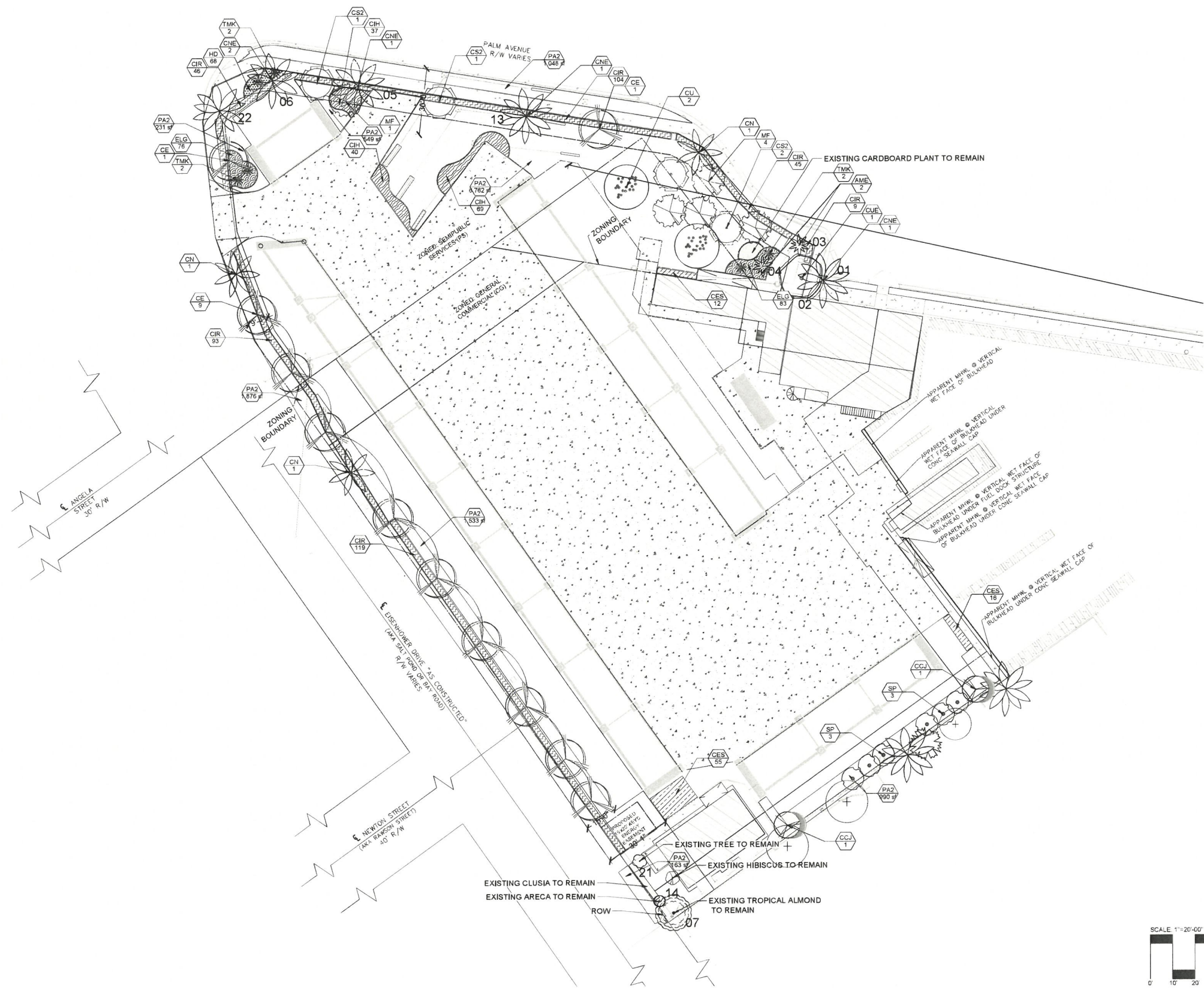
Project Number
 2314B

Drawing Number
TD-1
 Sheet 1 of 3



AAAL 9/30/24

KPH 9/27/2024

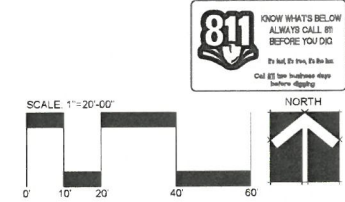


Hugh Johnson
 Hatched by
 Date: 24.06.24
 1100

DATE	REVISION	DESCRIPTION
09/24/24	1	ISSUED FOR PERMIT

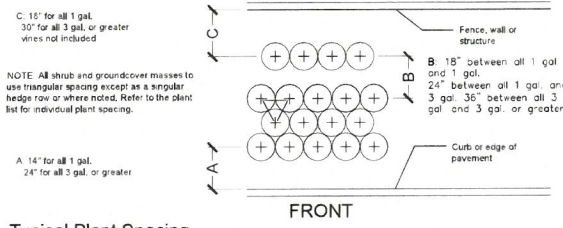
Landscape Plan
Garrison Bight Marina
 711 Eisenhower Drive
 Key West, Florida

Sheet Description	Landscape Plan
Release Date	9-25-23
Project Number	2314B
Drawing Number	LP-1
Sheet 2 of 3	



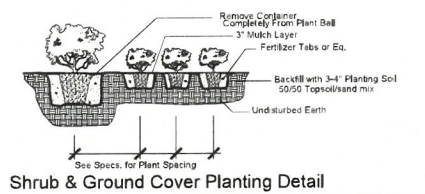
Handwritten: CASH 9/30/24
 KPT 9/27/2024

PLANT SCHEDULE									
CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CALIPER	SIZE	NATIVE	DROUGHT	
TREES									
CCJ	2	CAPPARIS CYNOPHALOPHORA	JAMAICA CAPER	30 GAL	2" CAL	8' - 10' MULTI-TRUNK	YES	HIGH	
CU	2	COCCOLOBA UVIFERA	SEA GRAPE	FG/B&B	2" CAL	10-12' OA, SINGLE, STRAIGHT LEADER	YES	HIGH	
GUE	1	COCCOLOBA UVIFERA	SEA GRAPE	EXISTING			YES	HIGH	
CE	11	CONOCARPUS ERECTUS	BUTTONWOOD	FG/B&B	2.5" CAL	12-14' OA HT., 4' CT, SINGLE STRAIGHT LEADER	YES	HIGH	
CS2	4	CONOCARPUS ERECTUS F. SERICEUS	SILVER BUTTONWOOD	FG/B&B	2" CAL	12' HT, 5' SPR, SINGLE STRAIGHT LEADER	YES	HIGH	
MF	5	MYRCIANTHES FRAGRANS	SIMPSON'S STOPPER	FG/B&B	2" CAL	12' HT, 5' SPR, SINGLE STRAIGHT LEADER	YES	HIGH	
TC2	1	TERMINALIA CATAPPA	TROPICAL ALMOND	EXISTING			NO	MED.	
PALM TREES									
AME	2	ADONIDIA MERRILLII	CHRISTMAS PALM	EXISTING			NO	MED.	
CNE	5	COCOS NUCIFERA	COCONUT PALM	EXISTING			YES	HIGH	
CN	3	COCOS NUCIFERA	COCONUT PALM	FG/B&B		8' CT., 24-28' OA.	YES	HIGH	
DLE	1	DYPSIS LUTESCENS	ARECA PALM	EXISTING			NO	MEDIUM	
SP	6	SABAL PALMETTO	CABBAGE PALMETTO	FG/B&B		14'-20' OA, VARY HEIGHTS	YES	HIGH	
CYCADS/PALMS									
TMK	6	THRINAX MORRISII	KEY THATCH PALM	-		4' OA, MATCHED	YES	HIGH	
SHRUB AREAS									
CIR	429	CHRYSOBALANUS ICACO 'REDTIP'	RED TIP COCOPLUM	-		24"HT X 24"SPR	YES	MEDIUM	24" o.c.
CES	83	CONOCARPUS ERECTUS SERICEUS	SILVER BUTTON WOOD	-		30"HT X 24"SPR	YES	HIGH	24" o.c.
GROUND COVERS									
GH	134	CHRYSOBALANUS ICACO 'HORIZONTALIS'	HORIZONTAL COCOPLUM	-		12"HT X 16" SPR	YES	HIGH	24" o.c.
ELG	159	ERNODEA LITTORALIS	GOLDEN GREEPER	-		12" HT, X 12" SPR	YES	HIGH	18" o.c.
HD	68	HELIANTHUS DEBILIS	BEACH SUNFLOWER	-		6" HT, 12" SPR, FULL	YES	HIGH	14" o.c.
SOD									
PA2	14,163 SF	PASPALUM NOTATUM 'ARGENTINE'	ARGENTINE BAHIAGRASS	SOD			NO	HIGH	



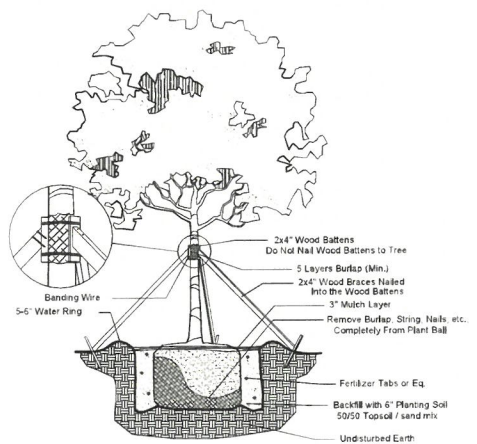
Typical Plant Spacing

NTS



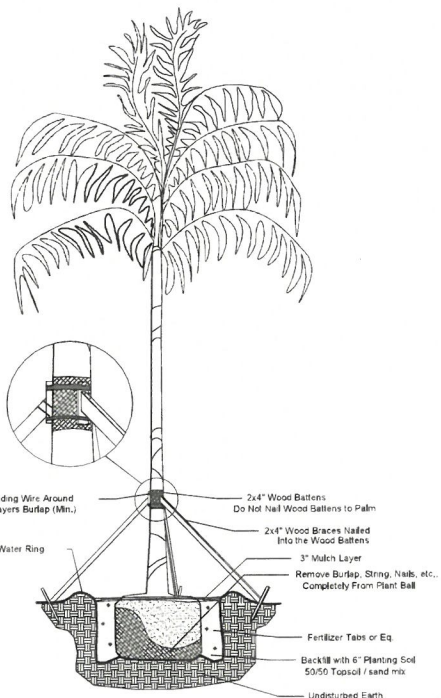
Shrub & Ground Cover Planting Detail

NTS



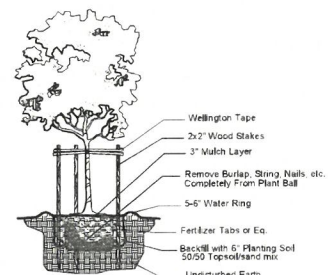
Large Tree Planting Detail

NTS



Palm Planting Detail

NTS



Small Tree Planting Detail

NTS

LANDSCAPE CALCULATIONS

LOT COVERAGE SUMMARY:	77,055 sf.	1.77 ac
TOTAL SITE AREA:	33,725 sf.	
PROPOSED VUA:	30,573 sf.	
PROPOSED OPEN SPACE AREA:	6,795 sf.	(20% of VUA)
NON-VUA OPEN SPACE:	13 req.	13 provided
NO. OF TREES:	532 lf	9-30' width
FRONTAGE LANDSCAPE STRIP:	120 req.	138 provided
PLANT UNITS PER 100 LF	37	
TOTAL # OF TREES:	35 (95%)	
% NATIVE	361	
TOTAL # OF SHRUBS	361 (100%)	
% NATIVE		

GENERAL PLANTING REQUIREMENTS

All sizes shown for plant material on the plans are to be considered Minimum. All plant material must meet or exceed these minimum requirements for both height and spread. Any other requirements for specific shape or effect as noted on the plan(s) will also be required for final acceptance.

All plant material furnished by the landscape contractor shall be Florida #1 or better as established by "Grades and Standards for Florida Nursery Plants" and "Grades and Standards for Florida Nursery Trees". All material shall be installed as per CSI specifications.

All plant material as included herein shall be warranted by the landscape contractor for a minimum period as follows: All trees and palms for 12 months, all shrubs, vines, groundcovers and miscellaneous planting materials for 90 days, and all lawn areas for 60 days after final acceptance by the owner or owner's representative.

All plant material shall be planted in planting soil that is delivered to the site in a clean loose and friable condition. All soil shall have a well drained characteristic. Soil must be free of all rocks, sticks, and objectionable material including weeds and weed seeds as per CSI specifications.

Twelve inches (12") of planting soil 50/50 sand/topsoil mix is required around and beneath the root ball of all trees and palms, and 1 cubic yard per 50 bedding or groundcover plants.

All landscape areas shall be covered with Eucalyptus or sterilized seed free Melaleuca mulch to a minimum depth of three inches (3") of cover when settled. A four-inch clear space must be left for air between plant bases and the mulch. Cypress bark mulch shall not be used.

All plant material shall be thoroughly watered in at the time of planting; no dry planting permitted. All plant materials shall be planted such that the top of the plant ball is flush with the surrounding grade.

All landscape and lawn areas shall be irrigated by a fully automatic sprinkler system adjusted to provide 100% coverage of all landscape areas. All heads shall be adjusted to 100% overlap as per manufacturers specifications and performance standards utilizing a rust free water source. Each system shall be installed with a rain sensor.

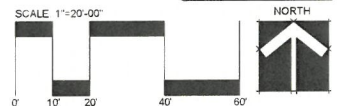
It is the sole responsibility of the landscape contractor to insure that all new plantings receive adequate water during the installation and during all plant warranty periods. Deep watering of all new trees and palms and any supplemental watering that may be required to augment natural rainfall and site irrigation is mandatory to insure proper plant development and shall be provided as a part of this contract.

All plant material shall be installed with fertilizer, which shall be State approved as a complete fertilizer containing the required minimum of trace elements in addition to N-P-K, of which 50% of the nitrogen shall be derived from an organic source as per CSI specifications.

Contractors are responsible for coordinating with the owners and appropriate public agencies to assist in locating and verifying all underground utilities prior to excavation.

All ideas, designs and plans indicated or represented by this drawing are owned by and are the exclusive property of AAL.

The plan takes precedence over the plant list.





Architectural Alliance Landscape

811 KNOW WHAT'S BELOW ALWAYS CALL IT BEFORE YOU DIG

It's Not, Be Free, Be Safe. Call 811 Now. Schedule your utility dig.

DESIGNED BY: High Johnson

DRAWN BY: D. G. G.

DATE: 2024.06.25

TIME: 17:09:36

REVISION DATES

LANDSCAPE PLAN

Garrison Bight Marina

711 Eisenhower Drive
Key West, Florida

Sheet Description
Landscape Schedule
Planting Notes & Details

Release Date
9-25-23

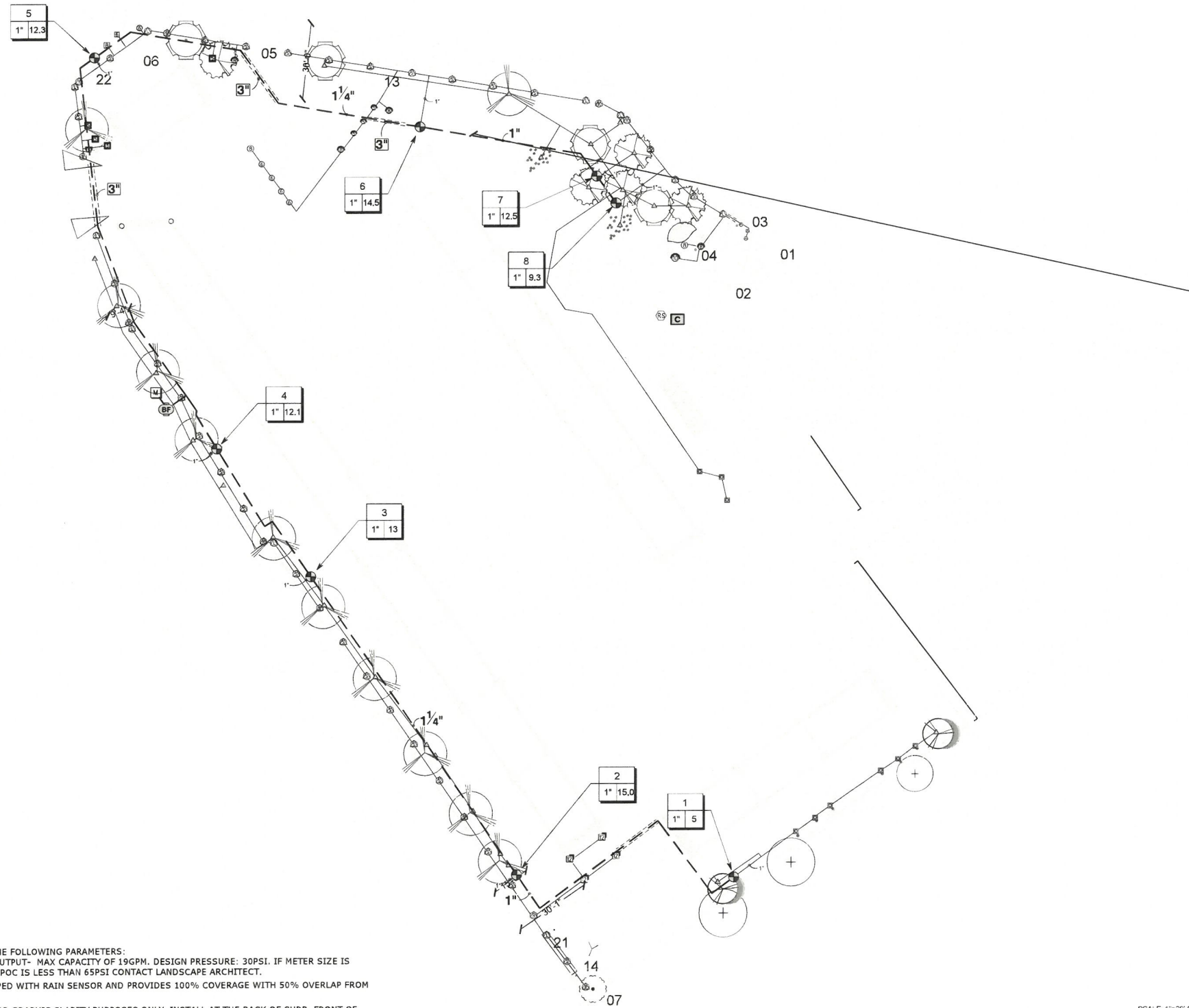
Project Number
2314B

Drawing Number
LP-2

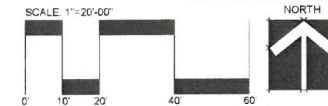
Sheet 3 Of 3

WSD 9/20/24

KP14 9/27/2024



SYSTEM DESIGNED TO OPERATE WITHIN THE FOLLOWING PARAMETERS:
 POC: 1" DEDICATED CITY WATER METER; OUTPUT- MAX CAPACITY OF 19GPM. DESIGN PRESSURE: 30PSI. IF METER SIZE IS LESS THAN 1", OR IF STATIC PRESSURE AT POC IS LESS THAN 65PSI CONTACT LANDSCAPE ARCHITECT.
 AUTOMATIC IRRIGATION SYSTEM IS EQUIPPED WITH RAIN SENSOR AND PROVIDES 100% COVERAGE WITH 50% OVERLAP FROM AN APPROVED WATER SOURCE.
 MAINLINE LOCATION, WHERE SHOWN, IS FOR GRAPHIC CLARITY PURPOSES ONLY. INSTALL AT THE BACK OF CURB, FRONT OF WALK, BACK OF WALK, OR ADJACENT TO OTHER HARDSCAPES TO FACILITATE FUTURE LOCATION AND TO PROTECT FROM DAMAGE. ENSURE MAINLINE IS INSTALLED ACCORDING TO IRRIGATION SPECIFICATIONS AND DETAILS.
 INSTALL DIRECT BURIAL CONTROL WIRE ADJACENT TO MAINLINE FROM CONTROLLER TO VALVES. USE 2" CONDUIT FOR CONTROL WIRE UNDER PAVEMENT



2024 CITY COMMENTS	Revision Dates
--------------------	----------------

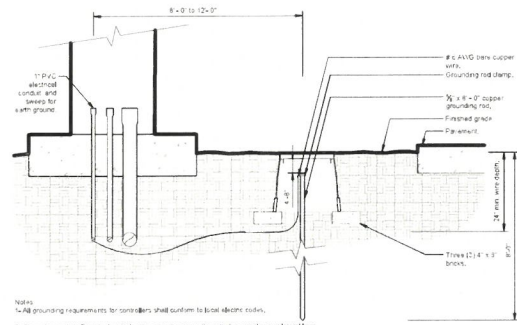
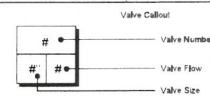
Irrigation Plan
Garrison Bight Marina
 711 Eisenhower Drive
 Key West, Florida

Sheet Description	IRRIGATION PLAN
Release Date	2-20-23
Project Number	2314B
Drawing Number	IR-1
	Sheet 1 of 3

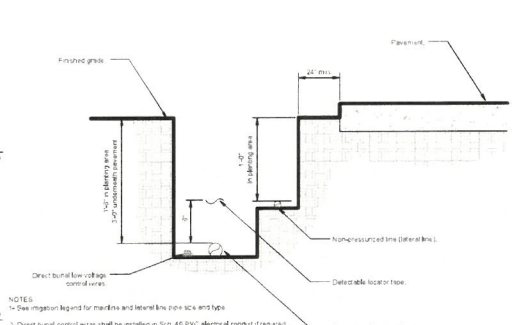
Handwritten notes:
 KPH
 9/27/2024
 ASD 9/20/24

IRRIGATION SCHEDULE

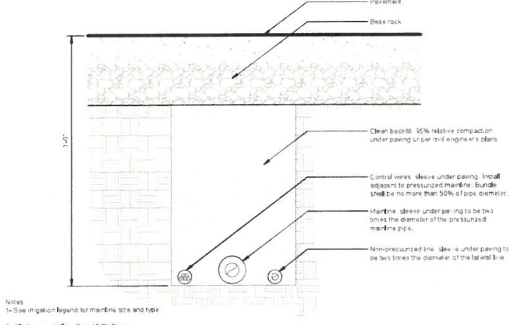
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
	RAIN BIRD 1812-SAM SO SERIES SHRUB SPRAY 12IN. POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL, 1/2IN. NPT FEMALE THREADED INLET, WITH SEAL-A-MATIC CHECK VALVE.	3	30
	RAIN BIRD 1812-SAM 15 STRIP SERIES SHRUB SPRAY 12IN. POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL, 1/2IN. NPT FEMALE THREADED INLET, WITH SEAL-A-MATIC CHECK VALVE.	49	30
	RAIN BIRD 1812-SAM 5 SERIES MPR SHRUB SPRAY 12IN. POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL, 1/2IN. NPT FEMALE THREADED INLET, WITH SEAL-A-MATIC CHECK VALVE.	3	30
	RAIN BIRD 1812-SAM 8 SERIES MPR SHRUB SPRAY 12IN. POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL, 1/2IN. NPT FEMALE THREADED INLET, WITH SEAL-A-MATIC CHECK VALVE.	4	30
	RAIN BIRD 1812-SAM 10 SERIES MPR SHRUB SPRAY 12IN. POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL, 1/2IN. NPT FEMALE THREADED INLET, WITH SEAL-A-MATIC CHECK VALVE.	1	30
	RAIN BIRD 1812-SAM ADJ SHRUB SPRAY 12IN. POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL, 1/2IN. NPT FEMALE THREADED INLET, WITH SEAL-A-MATIC CHECK VALVE.	7	30
	RAIN BIRD 1806-SAM 5 SERIES MPR SHRUB SPRAY 6IN. POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL, 1/2IN. NPT FEMALE THREADED INLET, WITH SEAL-A-MATIC CHECK VALVE.	5	30
	RAIN BIRD 1806-SAM 12 SERIES MPR SHRUB SPRAY 6IN. POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL, 1/2IN. NPT FEMALE THREADED INLET, WITH SEAL-A-MATIC CHECK VALVE.	4	30
	RAIN BIRD 1806-SAM ADJ SHRUB SPRAY 6IN. POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL, 1/2IN. NPT FEMALE THREADED INLET, WITH SEAL-A-MATIC CHECK VALVE.	2	30
	RAIN BIRD 1800-1400 FLOOD FIXED FLOW RATE 0.25 GPM - 2.0 GPM, FULL CIRCLE BUBBLER, 1/2IN. FIPT.	35	20
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
	RAIN BIRD PEB 1", 1-1/2", 2" PLASTIC INDUSTRIAL VALVES. LOW FLOW OPERATING CAPABILITY, GLOBE CONFIGURATION.	8	
	FBECO 825Y 1" REDUCED PRESSURE BACKFLOW PREVENTER	1	
	RAIN BIRD ESP4ME3 WITH (2) ESP-SM3 TO STATION, HYBRID MODULAR OUTDOOR CONTROLLER, FOR RESIDENTIAL OR LIGHT COMMERCIAL USE. LINK WIFI MODULE AND FLOW SENSOR READY.	1	
	RAIN BIRD RSD-BEX RAIN SENSOR, WITH METAL LATCHING BRACKET, EXTENSION WIRE.	1	
	WATER METER 1" PROPOSED 1" METER	1	
	IRRIGATION LATERAL LINE PVC CLASS 200 SDR 21	1,711 L.F.	
	IRRIGATION MAINLINE PVC SCHEDULE 40	747.7 L.F.	
	PIPE SLEEVE PVC SCHEDULE 40	86.3 L.F.	



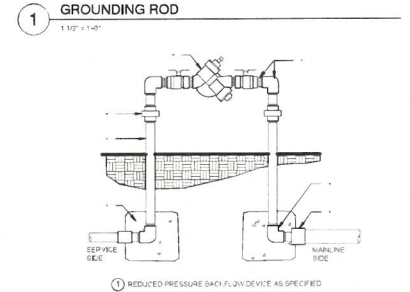
- NOTES:
1- All grounding requirements for conductors shall conform to local electrical codes.
2- Grounding rod shall not be located in the same trench as the irrigation lines or lateral lines.
3- All rods shall be wrapped with a minimum 1 mil thick plastic and secured to the valve box using duct tape or electrical tape.
4- Detailed location map shall be located on sheet 1.3.3 above the entire mainline run.



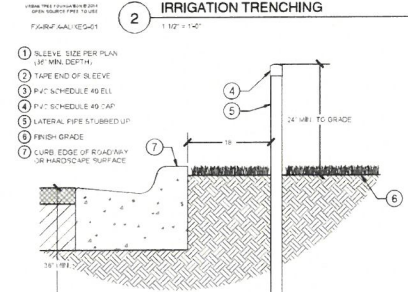
- NOTES:
1- See irrigation legend for mainline and lateral line size and type.
2- Direct burial control wires shall be installed in Sch. 40 PVC electrical conduit (free end).
3- Down irrigation wires shall be installed in Sch. 40 PVC electrical conduit.
4- Detailed location map shall be located on sheet 1.3.3 above the entire mainline run.



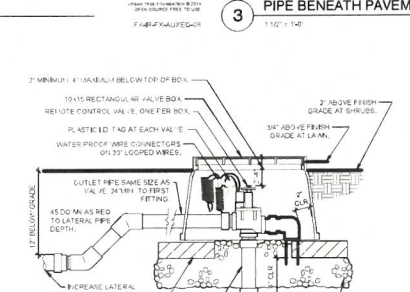
- NOTES:
1- See irrigation legend for mainline size and type.
2- All sleeves shall be Sch. 40 PVC.
3- All sleeves shall extend 12" beyond the edge of pavement.
4- End of sleeves shall be located with a wooden stake or PVC pipe. Location shall run parallel to the end of the sleeve to the next riser.



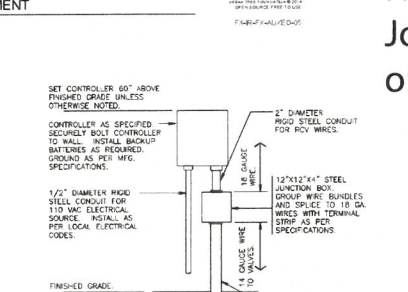
- 1- REDUCED PRESSURE BACKFLOW DEVICE AS SPECIFIED
2- GAL. WIPER CHECKS AT EACH SIDE
3- GAL. WIPER KEYS
4- CONCRETE THRUST BUSHINGS TO GAL. OF CONCRETE EACH
5- GAL. WIPER AND ELBOW AS REQUIRED
6- GAL. WIPER AND ELBOW 1/2" DIA. EACH SIDE
7- PVC COUPLER AND SCH. 40 PIPE TYPICAL EACH SIDE



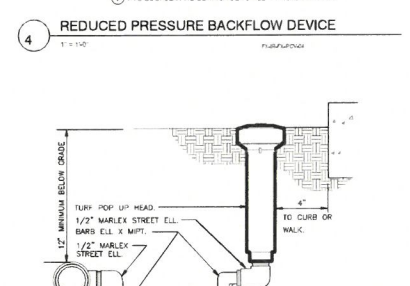
- 1- MINIMUM 4" UNBENT SECTION OF BOX
2- 1/2" DIA. RING AND VALVE BOX
3- REMOTE CONTROL VALVE - ONE PER BOX
4- PLASTIC 1" DIA. AT EACH VALVE
5- WATER PROOF WIRE CONNECTORS ON 30' LOOPED WIRES
6- 1/2" DIA. RING AND VALVE BOX
7- 1/2" DIA. RING AND VALVE BOX
8- 1/2" DIA. RING AND VALVE BOX
9- 1/2" DIA. RING AND VALVE BOX
10- 1/2" DIA. RING AND VALVE BOX
11- 1/2" DIA. RING AND VALVE BOX
12- 1/2" DIA. RING AND VALVE BOX



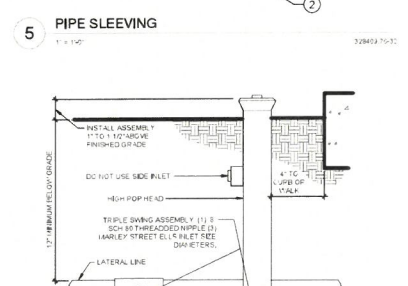
- 1- SET HEAD 1" ABOVE SHRUBLINE
2- 6" POP UP HEAD
3- 1/2" MINIMUM BELOW GRADE
4- 1/2" MINIMUM BELOW GRADE
5- 1/2" MINIMUM BELOW GRADE
6- 1/2" MINIMUM BELOW GRADE
7- 1/2" MINIMUM BELOW GRADE
8- 1/2" MINIMUM BELOW GRADE
9- 1/2" MINIMUM BELOW GRADE
10- 1/2" MINIMUM BELOW GRADE
11- 1/2" MINIMUM BELOW GRADE
12- 1/2" MINIMUM BELOW GRADE



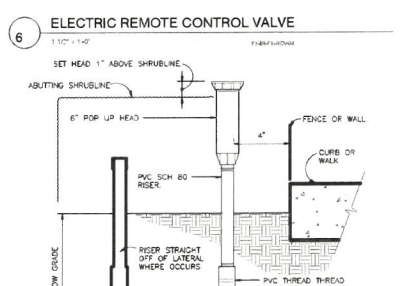
- 1- SET CONTROLLER 60" ABOVE FINISHED GRADE UNLESS OTHERWISE NOTED.
2- CONTROLLER AS SPECIFIED
3- SECURELY BOLT CONTROLLER TO WALL. INSTALL BACKUP BATTERIES AS REQUIRED. CHARGE AS PER MFG. SPECIFICATIONS.
4- 1/2" DIAMETER RIGID STEEL CONDUIT FOR 1/2" DIA. ELECTRICAL SOURCE. INSTALL AS PER LOCAL ELECTRICAL CODES.
5- 1/2" DIA. RING AND VALVE BOX
6- 1/2" DIA. RING AND VALVE BOX
7- 1/2" DIA. RING AND VALVE BOX
8- 1/2" DIA. RING AND VALVE BOX
9- 1/2" DIA. RING AND VALVE BOX
10- 1/2" DIA. RING AND VALVE BOX
11- 1/2" DIA. RING AND VALVE BOX
12- 1/2" DIA. RING AND VALVE BOX



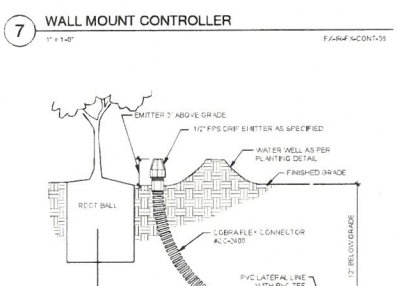
- 1- TURF SPRAY FLEX ASSEMBLY (1) 1/2" SCH. 40 THREADED NIPPLE (2) HARBOR STREET ELL 1/2" DIA. EACH SIDE
2- 1/2" MINIMUM BELOW GRADE
3- 1/2" MINIMUM BELOW GRADE
4- 1/2" MINIMUM BELOW GRADE
5- 1/2" MINIMUM BELOW GRADE
6- 1/2" MINIMUM BELOW GRADE
7- 1/2" MINIMUM BELOW GRADE
8- 1/2" MINIMUM BELOW GRADE
9- 1/2" MINIMUM BELOW GRADE
10- 1/2" MINIMUM BELOW GRADE
11- 1/2" MINIMUM BELOW GRADE
12- 1/2" MINIMUM BELOW GRADE



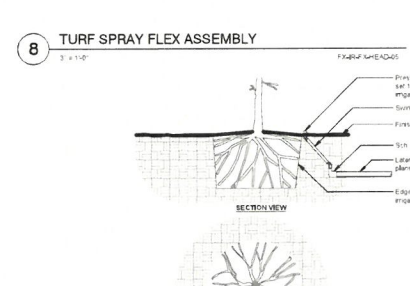
- 1- PHYSICIAN COMPANION BUBBLER SHALL BE 1" DIA. FINISH GRADE (See irrigation legend for main and model).
2- FINISH GRADE
3- 1/2" MINIMUM BELOW GRADE
4- 1/2" MINIMUM BELOW GRADE
5- 1/2" MINIMUM BELOW GRADE
6- 1/2" MINIMUM BELOW GRADE
7- 1/2" MINIMUM BELOW GRADE
8- 1/2" MINIMUM BELOW GRADE
9- 1/2" MINIMUM BELOW GRADE
10- 1/2" MINIMUM BELOW GRADE
11- 1/2" MINIMUM BELOW GRADE
12- 1/2" MINIMUM BELOW GRADE



- 1- RIGID STRAIGHT OFF OF LATERAL INHIDE OCCURS
2- PVC LATERAL LINE
3- PVC SLIP SLIP TEE
4- K9-FH-500-4 4" FLEX RISER
5- NIPPLE AS REQUIRED
6- 1/2" MINIMUM BELOW GRADE
7- 1/2" MINIMUM BELOW GRADE
8- 1/2" MINIMUM BELOW GRADE
9- 1/2" MINIMUM BELOW GRADE
10- 1/2" MINIMUM BELOW GRADE
11- 1/2" MINIMUM BELOW GRADE
12- 1/2" MINIMUM BELOW GRADE



- 1- PHYSICIAN COMPANION BUBBLER SHALL BE 1" DIA. FINISH GRADE (See irrigation legend for main and model).
2- FINISH GRADE
3- 1/2" MINIMUM BELOW GRADE
4- 1/2" MINIMUM BELOW GRADE
5- 1/2" MINIMUM BELOW GRADE
6- 1/2" MINIMUM BELOW GRADE
7- 1/2" MINIMUM BELOW GRADE
8- 1/2" MINIMUM BELOW GRADE
9- 1/2" MINIMUM BELOW GRADE
10- 1/2" MINIMUM BELOW GRADE
11- 1/2" MINIMUM BELOW GRADE
12- 1/2" MINIMUM BELOW GRADE



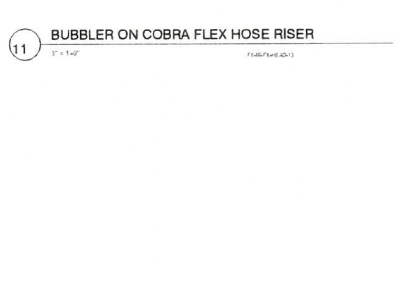
- 1- FINISH GRADE
2- FINISH GRADE
3- FINISH GRADE
4- FINISH GRADE
5- FINISH GRADE
6- FINISH GRADE
7- FINISH GRADE
8- FINISH GRADE
9- FINISH GRADE
10- FINISH GRADE
11- FINISH GRADE
12- FINISH GRADE



- 1- PHYSICIAN COMPANION BUBBLER SHALL BE 1" DIA. FINISH GRADE (See irrigation legend for main and model).
2- FINISH GRADE
3- 1/2" MINIMUM BELOW GRADE
4- 1/2" MINIMUM BELOW GRADE
5- 1/2" MINIMUM BELOW GRADE
6- 1/2" MINIMUM BELOW GRADE
7- 1/2" MINIMUM BELOW GRADE
8- 1/2" MINIMUM BELOW GRADE
9- 1/2" MINIMUM BELOW GRADE
10- 1/2" MINIMUM BELOW GRADE
11- 1/2" MINIMUM BELOW GRADE
12- 1/2" MINIMUM BELOW GRADE



- 1- RIGID STRAIGHT OFF OF LATERAL INHIDE OCCURS
2- PVC LATERAL LINE
3- PVC SLIP SLIP TEE
4- K9-FH-500-4 4" FLEX RISER
5- NIPPLE AS REQUIRED
6- 1/2" MINIMUM BELOW GRADE
7- 1/2" MINIMUM BELOW GRADE
8- 1/2" MINIMUM BELOW GRADE
9- 1/2" MINIMUM BELOW GRADE
10- 1/2" MINIMUM BELOW GRADE
11- 1/2" MINIMUM BELOW GRADE
12- 1/2" MINIMUM BELOW GRADE



- 1- PHYSICIAN COMPANION BUBBLER SHALL BE 1" DIA. FINISH GRADE (See irrigation legend for main and model).
2- FINISH GRADE
3- 1/2" MINIMUM BELOW GRADE
4- 1/2" MINIMUM BELOW GRADE
5- 1/2" MINIMUM BELOW GRADE
6- 1/2" MINIMUM BELOW GRADE
7- 1/2" MINIMUM BELOW GRADE
8- 1/2" MINIMUM BELOW GRADE
9- 1/2" MINIMUM BELOW GRADE
10- 1/2" MINIMUM BELOW GRADE
11- 1/2" MINIMUM BELOW GRADE
12- 1/2" MINIMUM BELOW GRADE



DATE	REVISION
06/28/2024	1

IR-2
Sheet 2 of 3

Garrison Bight Marina
711 Eisenhower Drive
Key West, Florida

Sheet Description
IRRIGATION SCHEDULE & DETAILS

Release Date
2-20-23

Project Number
2314B

Drawing Number
IR-2

Sheet 2 of 3

WJW
9/20/24
KPH
9/27/2024

WIRING

Irrigation control wire shall be thermoplastic solid copper, single conductor, low voltage irrigation controller wire, suitable for direct burial and continuous operation at rated voltages.

Tape and bundle control wire every 10' and run alongside the mainline. At all turns in direction, make a 2' coil of wire. At all valve boxes coil wire around a 3/4" piece of PVC pipe to make a coil using 30 linear inches of wire. Make electrical connections with 3MDBY/R connectors.

Number all wires, using an electrical book of numbers, according to the plans. Number wires in all valve boxes, junction boxes and at the controller.

Wire sized, numbered and colored as follows:

- #14 white for common
- #14 spare black common
- #14 individual color coded hot wire
- #14 spare yellow hot wire

Spare wires

Leaving each controller, run four spare wires in both directions (eight spare wires total). Install as 1 common spare (2 total) and 3 hot wires (6 total). Loop these wires into each RCV along their path and terminate in the last valve box controlled by the wires respective controller. The loop into each valve box shall extend up into the valve box a minimum of 8" and be readily accessible by opening the valve box lid. These wires must all be color coded and numbered as required in the plans.

Controller and pump station Control Panel grounding - Contractor to utilize 4"x8"x1/2" copper grounding plates, 3/4"x10' copper clad grounding rods, One Strike CAD wells at all connection points, #6 insulated copper wire, and earth contact material. Install these and other required components as outlined in the detail. Contractor to verify that the earth to ground resistance does not exceed 10 ohms. Contractor shall provide a written certification, on a licensed electrical contractors letter head, showing the date of the test, controller/pump location, and test results. Each controller/pump shall be so grounded as tested. Each component must have its own separate ground grid, unless they are sitting side by side, in which case up to two controllers can share a common grounding grid.

LAYOUT

Lay out irrigation system mainlines and lateral lines. Make the necessary adjustments as required to take into account all site obstructions and limitations prior to excavating trenches.

Stake all sprinkler head locations. Adjust location and make the necessary modifications to nozzle types, etc. required to ensure 100% head to head coverage. Refer to the Edge of Pavement Detail on the Irrigation Detail sheet.

Spray heads shall be installed 4" from sidewalks or curbed roadways and 12" from uncurbed roadways and building foundations. Rotors shall be installed 4" from sidewalks or curbed roadways, 12" from building foundations, and 36" from uncurbed roadways.

Shrub heads shall be installed on 1/2" Sch 40 PVC risers. The risers shall be set at a minimum of 18" off sidewalks, roadway curbing, building foundations, and/or any other hardscaped areas. Shrub heads shall be installed to a standard height of 2' above maintained height of plants and shall be installed a minimum of 6" within planted masses to be less visible and offer protection. Paint all shrub risers with flat black or forest green paint, unless irrigation system will utilize reuse water; in this case the risers shall be purple PVC and shall not be painted.

Locate valves prior to excavation. Ensure that their location provides for easy access and that there is no interference with physical structures, plants, trees, poles, etc. Valve boxes must be placed a minimum of 12" and a maximum of 15" from the edge of pavement, curbs, etc. and the top of the box must be 2" above finish grade. No valve boxes shall be installed in turf areas without approval by the irrigation designer - only in shrub beds. Never install in sport field areas.

VALVES

Sequence all valves so that the farthest valve from the POC operates first and the closest to the POC operates last. The closest valve to the POC should be the last valve in the programmed sequence.

Adjust the flow control on each RCV to ensure shut off in 10 seconds after deactivation by the irrigation controller.

Using an electric branding iron, brand the valve ID letter/number on the lid of each valve box. This brand must be 2"-3" tall and easily legible.

EQUIPMENT

All pop-up heads and shrub risers shall be pressure compensating. All pop-up heads shall be mounted on flex-type swing joints. All rotors shall be installed with PVC triple joints unless otherwise detailed.

All sprinkler equipment, not otherwise detailed or specified on these plans, shall be installed as per manufacturer's recommendations and specifications, and according to local and state laws.

TRENCHING

Excavate straight and vertical trenches with smooth, flat or sloping bottoms. Trench width and depth should be sufficient to allow for the proper vertical and horizontal separation between piping as shown in the pipe installation detail on the detail sheet.

Protect existing landscaped areas. Remove and replant any damaged plant material upon job completion. The replacement material shall be of the same genus and species, and of the same size as the material it is replacing. The final determination as to what needs to be replaced and the acceptability of the replacement material shall be solely up to the owner or owner's representative.

INSTALLATION

Solvent Wld Pipe: Cut all pipe square and deburr. Clean pipe of fittings of foreign material; then apply a small amount of primer while ensuring that any excess is wiped off immediately. Primer should not puddle or drip from pipe or fittings. Next apply a thin coat of PVC cement, first apply a thin layer to the pipe, next a thin layer inside the fitting, and finally another very thin on the pipe. Insert the pipe into the fitting. Insure that the pipe is inserted to the bottom of the fitting, then turn the pipe a 1/2 turn and hold for 10 seconds, make sure that the pipe doesn't recede from the fitting. If the pipe isn't at the bottom of the fitting upon completion, the glue joint is unacceptable and must be discarded. Pipes must cure a minimum of 30 minutes prior to handling and placing into trenches. A longer curing time may be required; refer to the manufacturer's specifications. The pipe must cure a minimum of 24 hours prior to filling with water.

BACK FILL

The back fill 6" below, 6" above, and around all piping shall be clean sand and anything beyond that in the trench can be of native material but nothing larger than 2" in diameter. All piping and excavations shall be backfilled and compacted to a density of 95% modified Proctor, or greater.

Main line pipe depth measure to the top of pipe shall be:

- 24" minimum for 1/2" - 2 1/2" PVC with a 30" minimum at vehicular crossings;
- 30" minimum for 3" & 4" PVC with a 36" minimum at vehicular crossings.

Lateral line depths measure to top of pipe shall be:

- 18" minimum for 1/2" - 3" PVC with a 30" minimum at vehicular crossings;
- 24" minimum for 4" PVC and above with a 30" minimum at vehicular crossings.

Contractor shall backfill all piping, both mainline and laterals, prior to performing any pressure tests. The pipe shall be backfilled with the exception of 2" on each side of every joint (ball fittings, 90's, tees, 45's, etc). These joints shall not be backfilled until all piping has satisfactorily passed its appropriate pressure test as outlined below.

FLUSHING

Prior to the placement of valves, flush all mainlines for a minimum of 10 minutes or until lines are completely clean of debris, whichever is longer.

Prior to the placement of heads, flush all lateral lines for a minimum of 10 minutes or until lines are completely clean of debris, whichever is longer.

Use screens in heads and adjust heads for proper coverage avoiding excess water on walks, walls and paving.

TESTING

Schedule testing with Owner's Representative a minimum of three (3) days in advance of testing.

Mainline: Remove all remote control valves and cap using a threaded cap on SCH 80 nipple. Hose bibs and gate valves shall not be tested against during a pressure test unless authorized by written permission from the owner. Fill mainline with water and pressurize the system to 125 PSI. Monitor the system pressure at two gauge locations; the gauge locations must be at opposite ends of the mainline. With the same respective pressures, monitor the gauges for two hours. There can be no loss in pressure at either gauge for solvent-welded pipe.

If these parameters are exceeded, locate the problem; repair it; wait 24 hours and retry the test. This procedure must be followed until the mainline passes the test.

Lateral lines: The lateral lines must be fully filled to operational pressure and visually checked for leaks. Any leaks detected must be repaired.

Operational Testing - Once the mainline and lateral lines have passed their respective tests, and the system is completely operational, a coverage test and demonstration of the system is required. The irrigation contractor must demonstrate to the owner, or his/her representative, that proper coverage is obtained and the system works automatically from the controller. This demonstration requires each zone to be turned on, in the proper sequence as shown on the plans, from the controller. Each zone will be inspected for proper coverage and function. The determination of proper coverage and function is at the sole discretion of the owner or owner's representative.

Upon completion of the operational test, run each zone until water begins to puddle or run off. This will allow you to determine the number of irrigation start times necessary to meet the weekly evapotranspiration requirements of the planting material in each zone. In fine sandy soils, it is possible no puddling will occur. If this is experienced, then theoretical calculations for run times will be required for controller programming.

SUBMITTALS

Pre-Construction: Deliver five (5) copies of submittals to Owner's Representative within ten (10) working days from date of Notice to Proceed. Furnish information in 3-ring binder with table of contents and index sheet. Index sections for different components and label with specification section number and name of component. Furnish submittals for components on material list. Indicated which items are being supplied on catalog cut sheets when multiple items are shown on one sheet. Incomplete submittals will be returned without review, in lieu of hardcopies, an electronic package in PDF format can be submitted.

After project completion:

As a condition of final acceptance, the irrigation contractor shall provide the owner with

1. Irrigation As-builts - shall be provided accurately locating all mainlines, sleeves, remote control valves, gate valves, independent wire runs, wire splice boxes, controllers, high voltage supply sources/conduit path, control mechanisms, sensors, wells and water source connections. All mainline and independent runs of wire shall be located every 30' for straight runs and at every change of direction. Sleeves will be located at end points and every 20' of length. All underground items shall include depth in inch format.

2. Controller charts - Upon completion of "as-built" prepare controller charts, one per controller. Indicate on each chart the area controlled by a remote control valve (using a different color for each zone). This chart shall be reduced to a size that will fit inside the controller door. The reduction shall be hermetically sealed inside two 2ml pieces of clear plastic.

3. Grounding Certification - Provide ground certification results for each controller and pump panel grounding grid installed. This must be on a licensed electrician letter head indication location tested (using IR plan symbols), date, time, test method and testing results.

INSPECTIONS AND COORDINATION MEETINGS REQUIRED - Contractor is required to schedule, perform, and attend the following, and demonstrate to the owner and/or owners representative to their satisfaction, as follows:

1. Pre-construction meeting - Designer and contractor to review entire install process and schedule with owner/general contractor.
2. Mainline installation inspection(s) - All mainline must be inspected for proper pipe, fittings, depth of coverage, backfill and installation method.
3. Mainline pressure test - All mainline shall be pressure tested according to this design's requirements.
4. Flow meter calibration - All flow meters must be calibrated. Provide certified calibration report for all flow meters.
5. Coverage and operational test
6. Final inspection
7. Punch list inspection

FINAL ACCEPTANCE

Final acceptance of the irrigation system will be given after the following documents and conditions have been completed and approved. Final payment will not be released until these conditions are satisfied.

1. All above inspections are completed, documented, approved by owner.
2. Completion and acceptance of 'as-built' drawings.
3. Acceptance of required controller charts and placement inside controllers.
4. All other submittals have been made to the satisfaction of the owner.

GUARANTEE: The irrigation system shall be guaranteed for a minimum of one calendar year from the time of final acceptance.

MINIMUM RECOMMENDED IRRIGATION MAINTENANCE PROCEDURES

1. Every irrigation zone should be checked monthly and written reports generated describing the date(s) each zone was inspected, problems identified, date problems repaired, and a list of materials used in the repair. At minimum, these inspections should include the following tasks:

- A. Turn on each zone from the controller to verify automatic operation.
- B. Check schedules to ensure they are appropriate for the season, plant and soil type, and irrigation method. Consult an I.A. certified auditor for methods used in determining proper irrigation scheduling requirements.
- C. Check remote control valve to ensure proper setting, if present.
- D. Check setting on pressure regulator to verify proper setting, if present.
- E. Check flow control and adjust as needed, ensure valve closure within 10-15 seconds after deactivation by controller.
- F. Check for leaks - mainline, lateral lines, valves, heads, etc.
- G. Check all heads as follows:
 1. Proper set height (top of sprinkler is 1" below mow height)
 2. Verify head pop-up height - 6" in turf, 12" in groundcover, and riser in shrub beds
 3. Check wiper seal for leaks - if leaking, clean head and re-impact.
 4. If still leaking, replace head with the appropriate head with pressure regulator and built-in check valve.
 5. All nozzles checked for proper pattern, clogging, leaks, correct make & model, etc. - replace as needed
 6. Check for proper alignment - perfectly vertical, coverage area is correct, minimize over spray onto hardscapes
 7. Riser height raised/lowered to accommodate plant growth patterns and ensure proper coverage.
 8. Verify pop-ups retract after operation. If not, repair/replace as needed.
- H. Check controller/C.C.U. grounds for resistance (10 ohms or less) once per year. Submit written reports.
- I. Check rain shut-off device monthly and clean/repair/replace as needed.
- J. Inspect all valve boxes to ensure they are in good condition, lids are in place and locked.
- K. Inspect backflow devices by utilizing a properly licensed backflow inspector. This should be done annually, at minimum.
- L. Inspect all filters monthly and clean/repair/replace as needed.
- M. Check pump stations for proper operation, pressures, filtration, settings, etc. - refer to pump station operations manual.
- N. Check and clean intake screens on all suction lines quarterly, at minimum. Clean and/or repair, as needed.
- O. Winterize, if applicable, as weather in your area dictates, follow manufacturer recommendations and blow out all lines and equipment using compressed air. Perform seasonal startup of system as per manufacturer recommendations.
- P. Conduct additional inspections, maintenance tasks, etc. that are particular for your site.

SOIL MOISTURE SENSOR (When applicable)

1. Place all soil moisture sensor wiring in 1" SCH 40 PVC conduit
2. Soil moisture sensor should be placed in the middle of a spray or drip area as per manufacturer's recommendations.
3. Controller shall be set to the Florida Automated Weather Network's urban scheduler settings using the SMS as a moisture cut off device (like a rain switch) per manufacturer directions.



AAAL
Architectural Alliance Landscape
117 New York Ave., Fort Lauderdale, FL 33304 (954) 377-1111
www.aalandscape.com



Hugh Johnson
Date: 2024.06.28
10:49 AM

Revision Dates

Irrigation Plan
Garrison Bight Marina
711 Eisenhower Drive
Key West, Florida

Sheet Description
IRRIGATION NOTES

Release Date
2-20-23

Project Number
2314B

Drawing Number
IR-3

Sheet 3 Of 3

WJH
9/30/24

KPH
9/27/2024