Historic Architectural Review Commission
Staff Report for Item 7

To:	Chairman Bryan Green and Historic Architectural Review Commission Members
From:	Kathleen McDonald, MHP Historic Preservation Planner II
Meeting Date:	January 25, 2022
Applicant:	William Rowan
Address:	#1107 Packer Street

Description of Work:
Renovations and new gable roof at rear.

Site Facts:
The property under review contains a one-story frame vernacular structure. This structure is listed on our survey as historic and contributing, with a year built circa 1920, though it appears to show on the Sanborn maps dating back to 1889. There is an existing one-story flat-roof addition at the rear, which does not appear on any of the historic Sanborn maps or in the historic 1965 photo. An existing shed roof addition on the south side of the house appears in the historic 1965 photo.

Guidelines Cited on Review:
- Guidelines for Additions and Alterations (pages 37a-37k), specifically guidelines 1, 2, 5, 6, 11, 12, 13, 14, 19, 26 and 30.

Staff Analysis:
The Certificate of Appropriateness under review proposes renovations and the addition of a new gable roof over and existing, non-historic, one-story rear addition at 1107 Packer Street. A portion of the roof on the existing rear addition would need to be demolished to allow for the addition of the new roof.

Renovations include replacement of non-historic spindles on the front porch railing and the replacement of wood siding throughout. Renovations also include the addition of impact sliders at the rear of the house and new impact windows on the north side of the rear addition.

The new gable roof over the existing rear addition would bring the ridgeline of the rear addition just below that of the historic portion of the house. The new roof would be an open-ended gable that would have 5v-crimp roofing.

Consistency with Cited Guidelines:

Staff finds the proposal to be consistent with the cited guidelines.

The proposed renovations and new gable roof over the rear addition will require no changes to the character defining features of the historic house at 1107 Packer Street. The proposed renovations are in compliance with the guidelines, and the new gable roof is proposed over a non-historic rear addition. The new gable roof will also come just below the ridgeline of the historic portion of the house, which is in compliance with the guidelines for Additions and Alterations. Staff also finds that the materials proposed for this project are in compliance with the guidelines.

APPLICATION

HARC MAJOR PROJECTS CERTIFICATE OF APPROPRIATENESS

$441 NON-REFUNDABLE BASE APPLICATION FEE - OTHER FEES MAY BE APPLICABLE Rev 09/27/2021 ET

City of Key West
1300 White Street
Key West, Florida 33040

HARC COA #	REVISION #	INITIAL & DATE
FLOOD ZONE	ZONING DISTRICT	BLDG PERMIT #

A PRE-APPLICATION MEETING WITH HARC STAFF IS REQUIRED PRIOR TO SUBMITTAL

ADDRESS OF PROPOSED PROJECT:	1107 PACKER STREET, KEY WEST FL. 33040	
NAME ON DEED:	ANN DUROT	PHONE NUMBER
OWNER'S MAILING ADDRESS:	1107 PACKER STREET	EMAIL
APPLICANT NAME:	GEORGE & ANN DUROT	PHONE NUMBER (678) 570-0087
APPLICANT'S ADDRESS:	1107 PACKER STREET	EMAIL ANNDUROT@bellsouth.net
	Key West FL 33040	
APPLICANT'S SIGNATURE:	Ann C. Durot	DATE 12-22-21

ANY PERSON THAT MAKES CHANGES TO AN APPROVED CERTIFICATE OFAPPROPRIATENESS MUST SUBMIT A NEW APPLICATION.

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND-DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083. THE APPLICANT FURTHER HEREBY ACKNOWLEDGES THAT THE SCOPE OF WORK AS DESCRIBED IN THE APPLICATION SHALL BE THE SCOPE OF WORK THAT IS CONTEMPLATED BY THE APPLICANT AND THE CITY. THE APPLICANT FURTHER STIPULATES THAT SHOULD FURTHER ACTION BE TAKEN BY THE CITY FOR EXCEEDING THE SCOPE OF THE DESCRIPTION OF WORK, AS DESCRIBED HEREIN, AND IF THERE IS CONFLICTING INFORMATION BETWEEN THE DESCRIPTION OF WORK AND THE SUBMITTED PLANS, THE AFOREMENTIONED DESCRIPTION OF WORK SHALL BE CONTROLLING.

PROJECT INCLUDES: REPLACEMENT OF WINDOWS X RELOCATION OF A STRUCTURE ___ ELEVATION OF A STRUCTURE ___
PROJECT INVOLVES A CONTRIBUTING STRUCTURE: YES X NO ___ INVOLVES A HISTORIC STRUCTURE: YES ___ NO X
PROJECT INVOLVES A STRUCTURE THAT IS INDIVIDUALLY LISTED ON THE NATIONAL REGISTER: YES ___ NO X

DETAILED PROJECT DESCRIPTION INCLUDING MATERIALS, HEIGHT, DIMENSIONS, SQUARE FOOTAGE, LOCATION, ETC.

GENERAL: REPLACE EXISTING 500 SQ FT. FLAT ROOF W/ WOOD FRAMED GABLE 5V ROOF @ NON HISTORIC REAR PORTION OF STRUCTURE. NEW (3) PANEL IMPACT GLASS SLIDER, (2) IMPACT WINDOWS TO REPLACE EXISTING @ NON HISTORIC PORTION, NEW WOOD SIDING TO MATCH EXISTING FRONT FACADE. ALSO NEW MATERIAL TO BE WOOD UNO.

MAIN BUILDING: MAIN HISTORIC STRUCTURE TO REMAIN AS IS. TO REMAIN AS IS.

DEMOLITION (PLEASE FILL OUT AND ATTACH DEMOLITION APPENDIX):

REMOVE EXISTING FLAT ROOF OVER NON HISTORIC REAR ADDITION. REMOVE (3) ALUMINUM WINDOWS & (1) GLASS SLIDING DOOR @ REAR REAR WALL OF STRUCTURE

APPLICATIONS MUST BE SUBMITTED IN PERSON WITH HARD COPIES BY 3PM ON THE SCHEDULED DEADLINE
PLEASE SEND AN ELECTRONIC COPY OF ALL DOCUMENTS CITY_HARC@CITYOFKEYWEST-FL.GOV

ACCESSORY STRUCTURE(S): NONE	
PAVERS: NONE	**FENCES:** EXISTING
DECKS: EXISTING "NON" HISTORICAL DECK @ REAR WILL BE REPAIRED AS NEEDED	**PAINTING:** COLORS TO MATCH EXISTING (WHITE, EXISTING GREEN TRIM)
SITE (INCLUDING GRADING, FILL, TREES, ETC): NONE	**POOLS (INCLUDING EQUIPMENT):** NONE
ACCESSORY EQUIPMENT (GAS, A/C, VENTS, ETC): NONE	**OTHER:** NONE

OFFICIAL USE ONLY:	**HARC COMMISSION REVIEW**	**EXPIRES ON:**
MEETING DATE:	___APPROVED ___NOT APPROVED ___DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
MEETING DATE:	___APPROVED ___NOT APPROVED ___DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
MEETING DATE:	___APPROVED ___NOT APPROVED ___DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
REASONS OR CONDITIONS:		
STAFF REVIEW COMMENTS:		
FIRST READING FOR DEMO:	SECOND READING FOR DEMO:	
HARC STAFF SIGNATURE AND DATE:	HARC CHAIRPERSON SIGNATURE AND DATE:	

THIS APPLICATION MAY BE REVIEWED BY PLANNING DEPARTMENT STAFF.

HARC CERTIFICATE OF APPROPRIATENESS: DEMOLITION APPENDIX

City of Key West
1300 White Street
Key West, Florida 33040

HARC COA #	INITIAL & DATE
ZONING DISTRICT	BLDG PERMIT #

ADDRESS OF PROPOSED PROJECT:	1107 PACKER STREET
PROPERTY OWNER'S NAME:	ANN DUROT
APPLICANT NAME:	ANN DUROT

I hereby certify I am the owner of record and that the work shall conform to all applicable laws of this jurisdiction. By receiving a Certificate of Appropriateness, I realize that this project will require a Building Permit approval ***PRIOR to proceeding with the work outlined above*** *and that a final inspection is required under this application. I also understand that* ***any changes to an approved Certificate of Appropriateness must be submitted for review.***

PROPERTY OWNER'S SIGNATURE ACDurot **DATE AND PRINT NAME**

DETAILED PROJECT DESCRIPTION OF DEMOLITION

REMOVE NON-HISTORIC PORTION OF HOUSE AT REAR OF PROPERTY ONLY. FLAT ROOF, WALL WITHIN SETBACK 3" TO BE REMOVED. ** NO DEMOLITION OF HISTORIC STRUCTURE **

CRITERIA FOR DEMOLITION OF CONTRIBUTING OR HISTORIC STRUCTURES:

Before any Certificate of Appropriateness may be issued for a demolition request, the Historic Architectural Review Commission must find that the following requirements are met (please review and comment on each criterion that applies):

(1) If the subject of the application is a contributing or historic building or structure, then it should not be demolished unless its condition is irrevocably compromised by extreme deterioration or it does not meet any of the following criteria:

(a) The existing condition of the building or structure is irrevocably compromised by extreme deterioration.

N/A

(2) Or explain how the building or structure meets the criteria below:

(a) Embodies no distinctive characteristics of a type, period, or method of construction of aesthetic or historic significance in the city and is not a significant and distinguishable building entity whose components may lack individual distinction.

N/A

Nothing in this application is intended to alter the authority of the Building Official to condemn for demolition dangerous buildings, as provided in Section 102-218 of the Land Development Regulations and Chapter 14 of the Code of Ordinances.

(b) Is not specifically associated with events that have made a significant contribution to local, state, or national history.

N/A

(c) Has no significant character, interest, or value as part of the development, heritage, or cultural characteristics of the city, state or nation, and is not associated with the life of a person significant in the past.

N/A

(d) Is not the site of a historic event with significant effect upon society.

N/A

(e) Does not exemplify the cultural, political, economic, social, or historic heritage of the city.

N/A

(f) Does not portray the environment in an era of history characterized by a distinctive architectural style.

N/A

(g) If a part of or related to a square, park, or other distinctive area, nevertheless should not be developed or preserved according to a plan based on the area's historic, cultural, natural, or architectural motif.

N/A

(h) Does not have a unique location or singular physical characteristic which represents an established and familiar visual feature of its neighborhood or of the city, and does not exemplify the best remaining architectural type in a neighborhood.

N/A

Nothing in this application is intended to alter the authority of the Building Official to condemn for demolition dangerous buildings, as provided in Section 102-218 of the Land Development Regulations and Chapter 14 of the Code of Ordinances.

(i) Has not yielded, and is not likely to yield, information important in history,

N/A

CRITERIA FOR DEMOLITION OF NON-CONTRIBUTING OR NON-HISTORIC STRUCTURES:

The following criteria will also be reviewed by the Historic Architectural Review Commission for proposed demolitions. The Commission shall not issue a Certificate of Appropriateness that would result in the following conditions (please review and comment on each criterion that applies):

(1) Removing buildings or structure that are important in defining the overall historic character of a district or neighborhood so that the character is diminished.

N/A

(2) Removing historic buildings or structures and thus destroying the historic relationship between buildings or structures and open space.

EXISTING FLAT ROOF WILL BE REMOVED. ~~[illegible]~~ ~~[illegible]~~

N/A

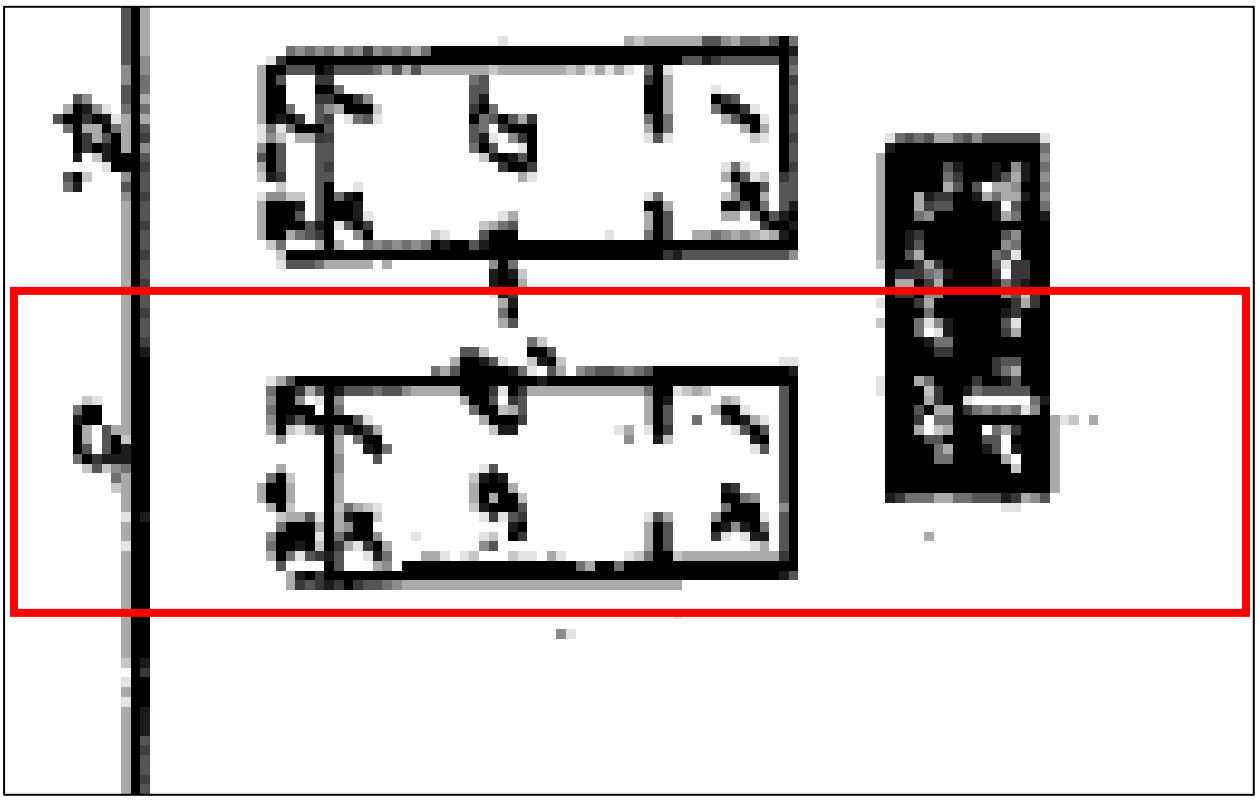
(3) Removing an historic building or structure in a complex; or removing a building façade; or removing a significant later addition that is important in defining the historic character of a site or the surrounding district or neighborhood.

N/A

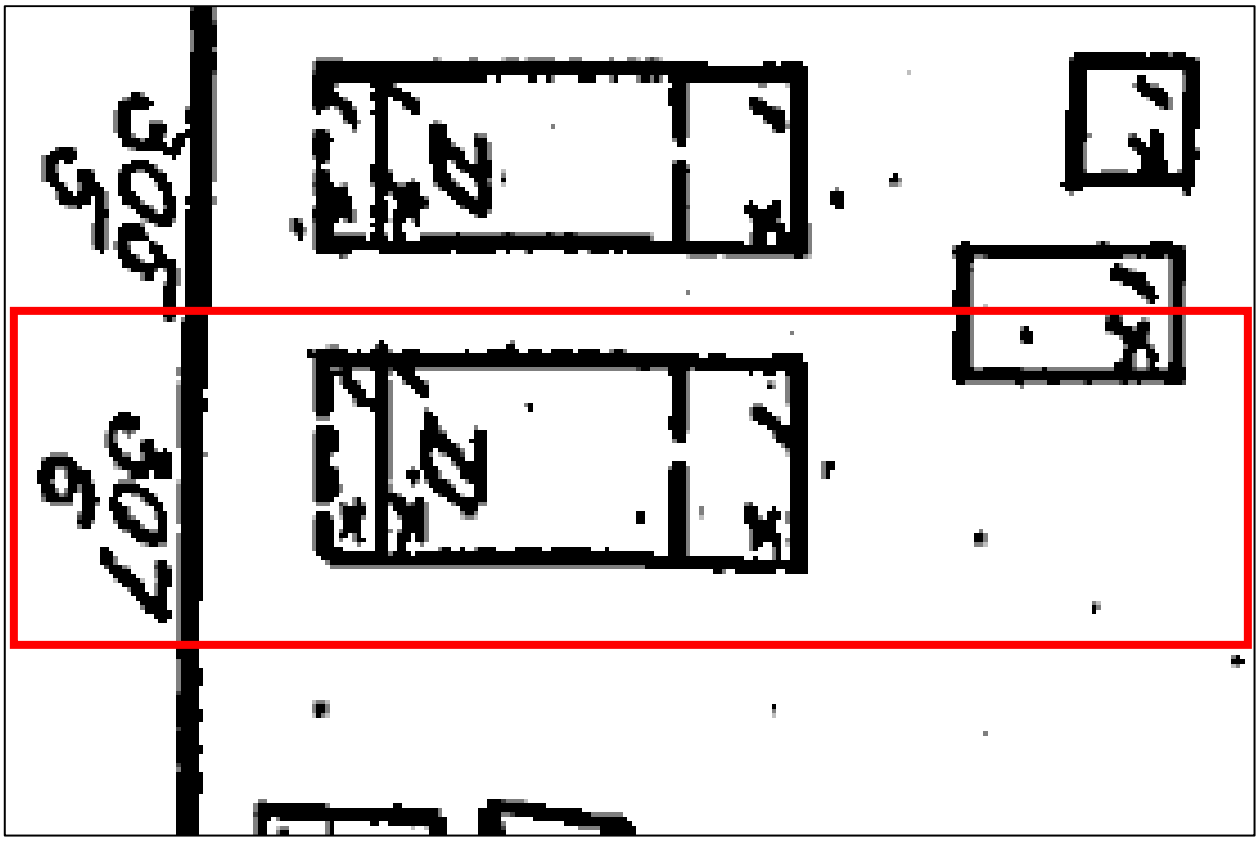
(4) Removing buildings or structures that would otherwise qualify as contributing.

THE HISTORIC PORTION OF THE HOUSE WILL REMAIN. FLAT ROOF ADDITION AT REAR IS ALL THAT IS BEING REMOVED. FLAT ROOF ADDITION IS IN REAR OF PROPERTY

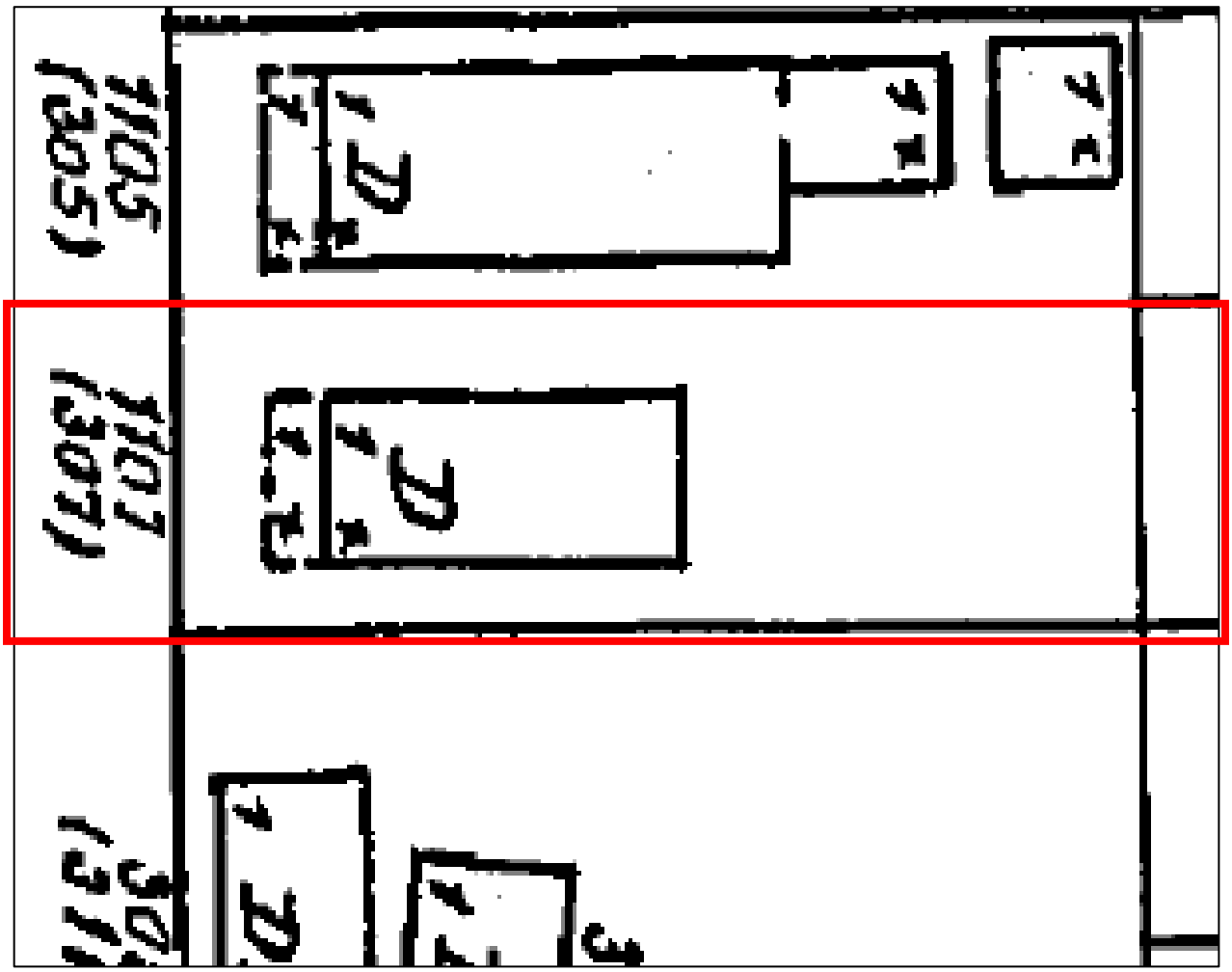
SANBORN MAPS



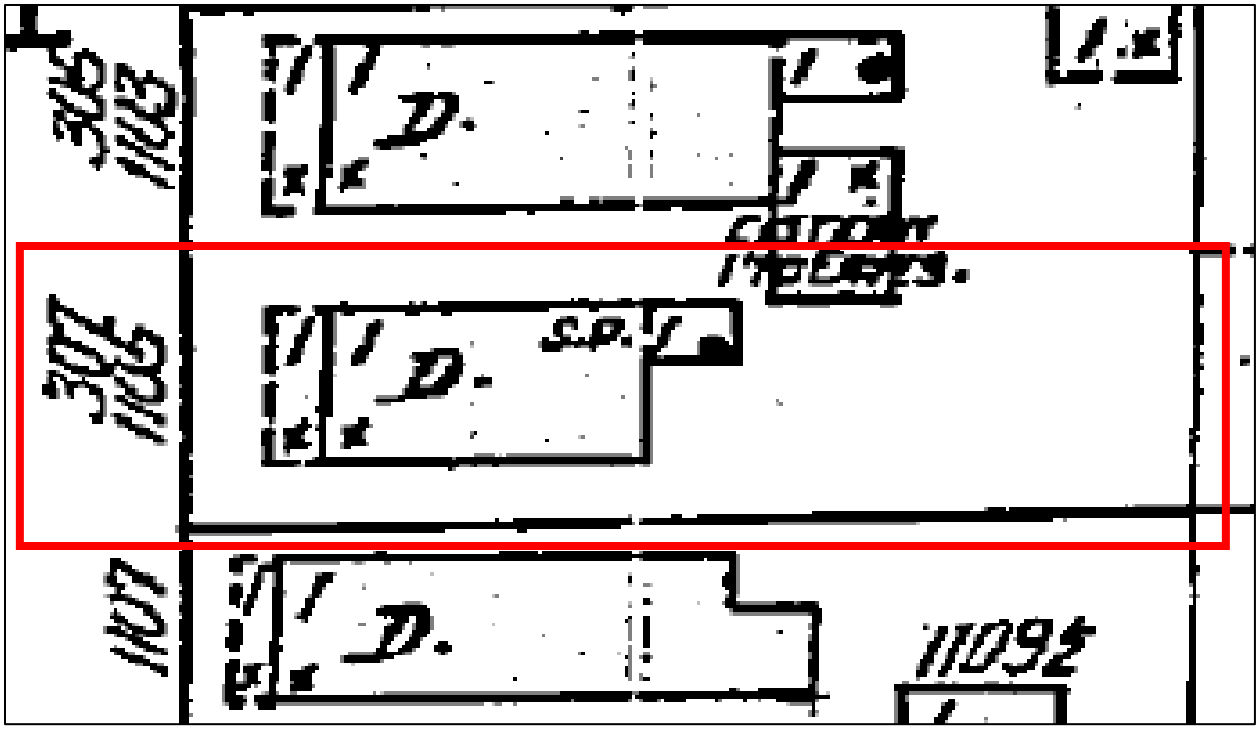
1889 Sanborn with the structure at 1107 (5) Packer indicated in red.



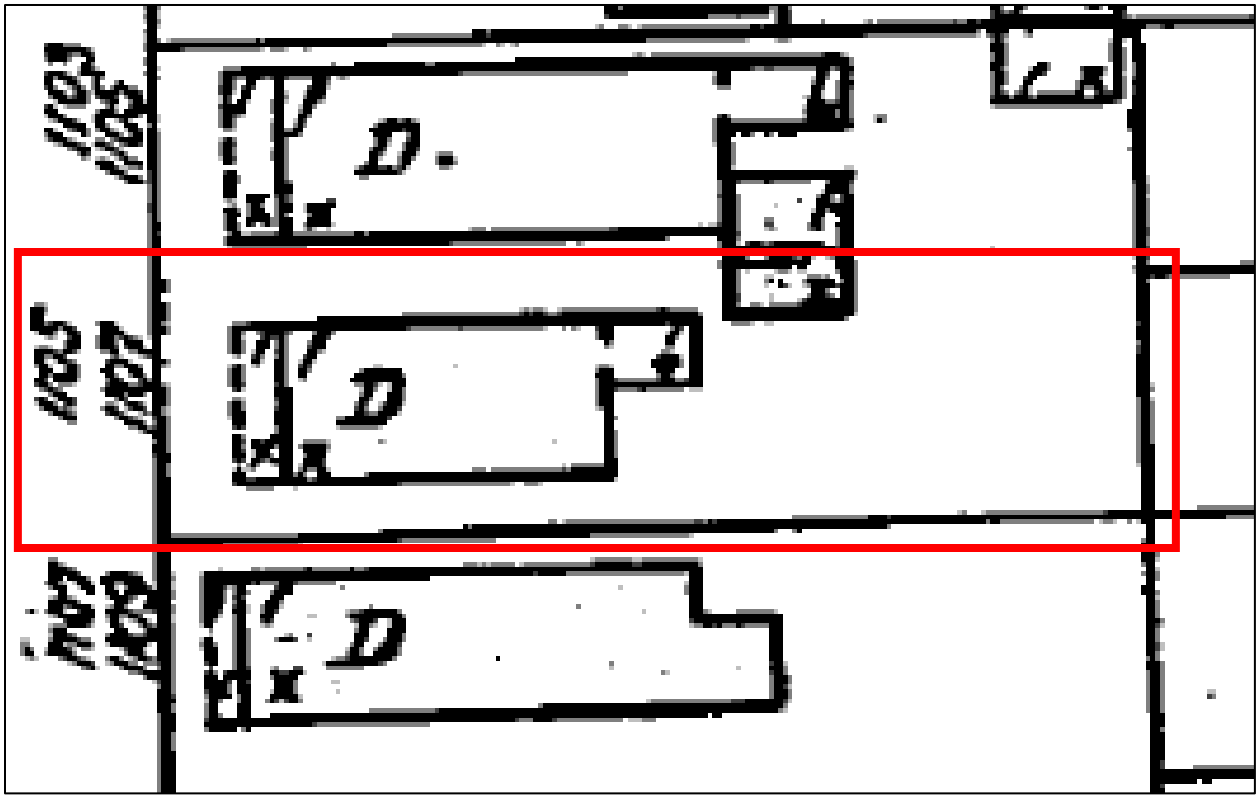
1892 Sanborn with the structure at 1107 (307/6) Packer indicated in red.



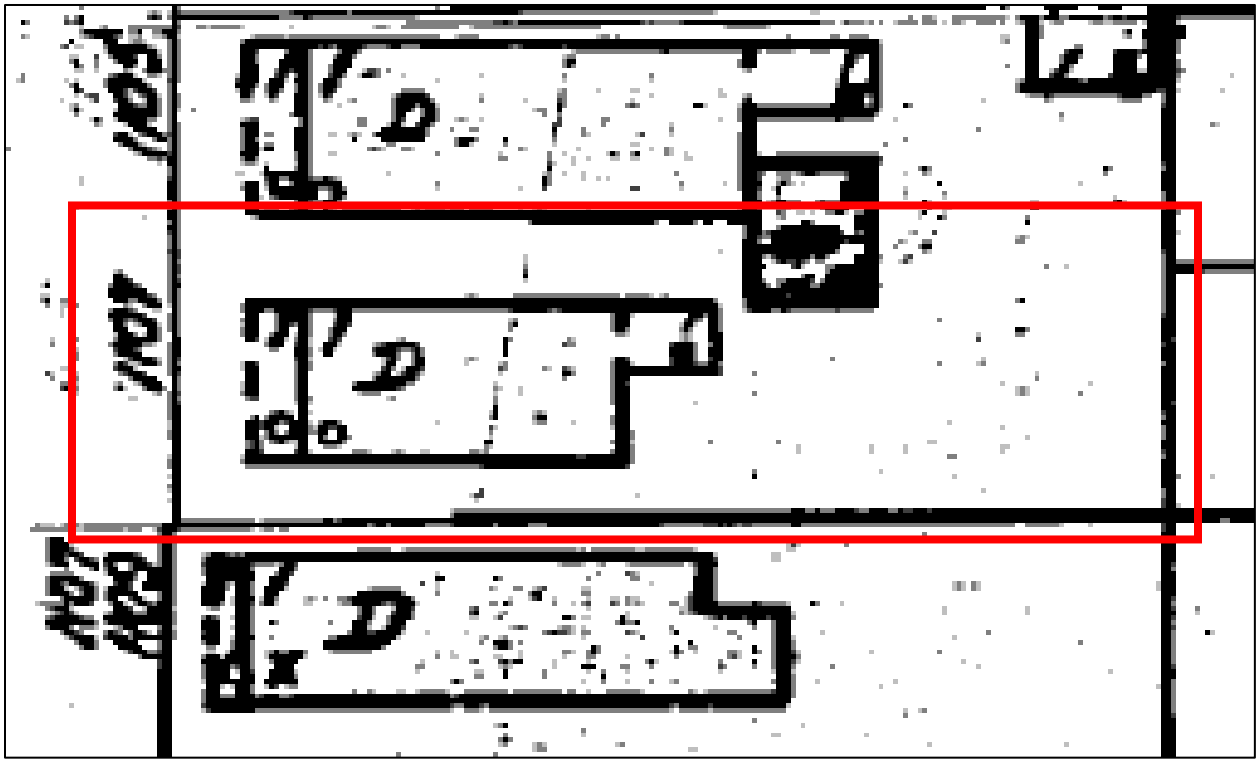
1899 Sanborn with the structure at 1107 (307) Packer indicated in red.



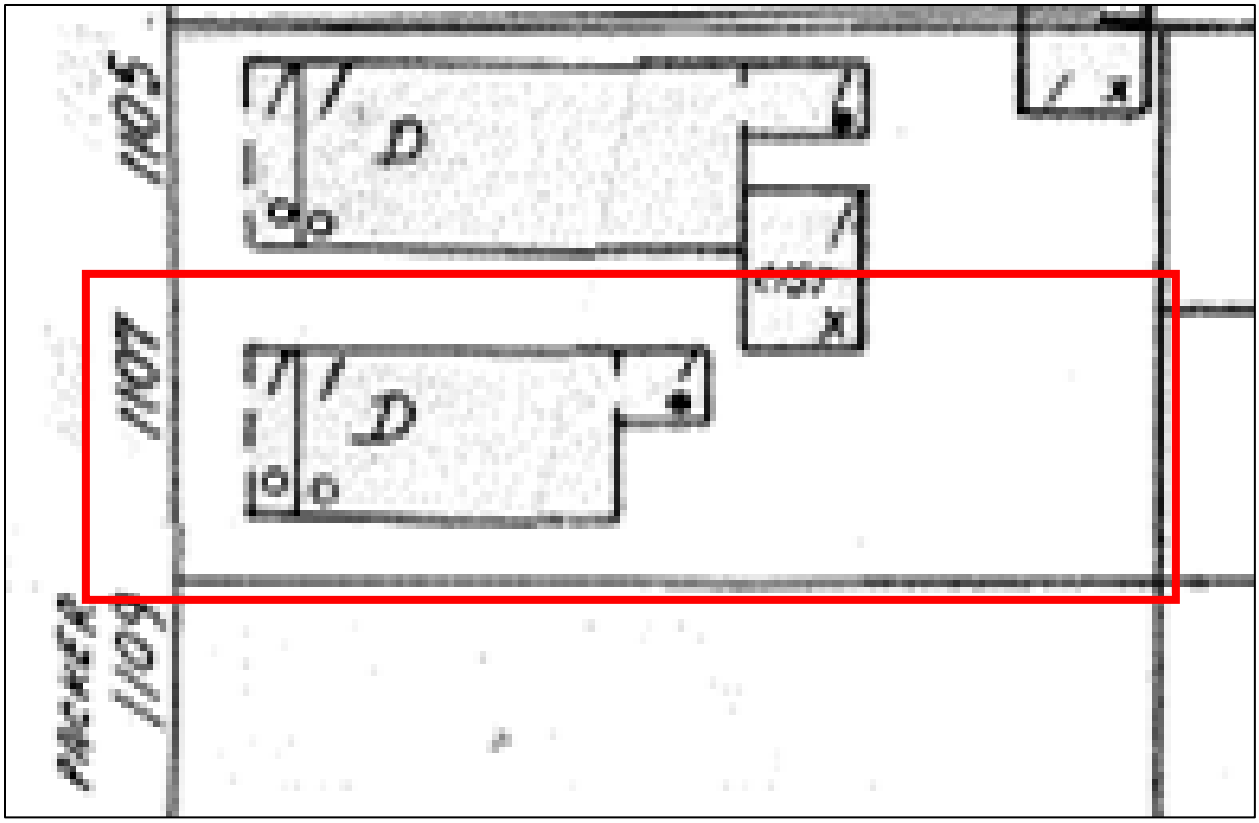
1912 Sanborn with the structure at 1107 (1105/307) Packer indicated in red.



1926 Sanborn with the structure at 1107 (1105) Packer indicated in red.



1948 Sanborn with the structure at 1107 Packer indicated in red.



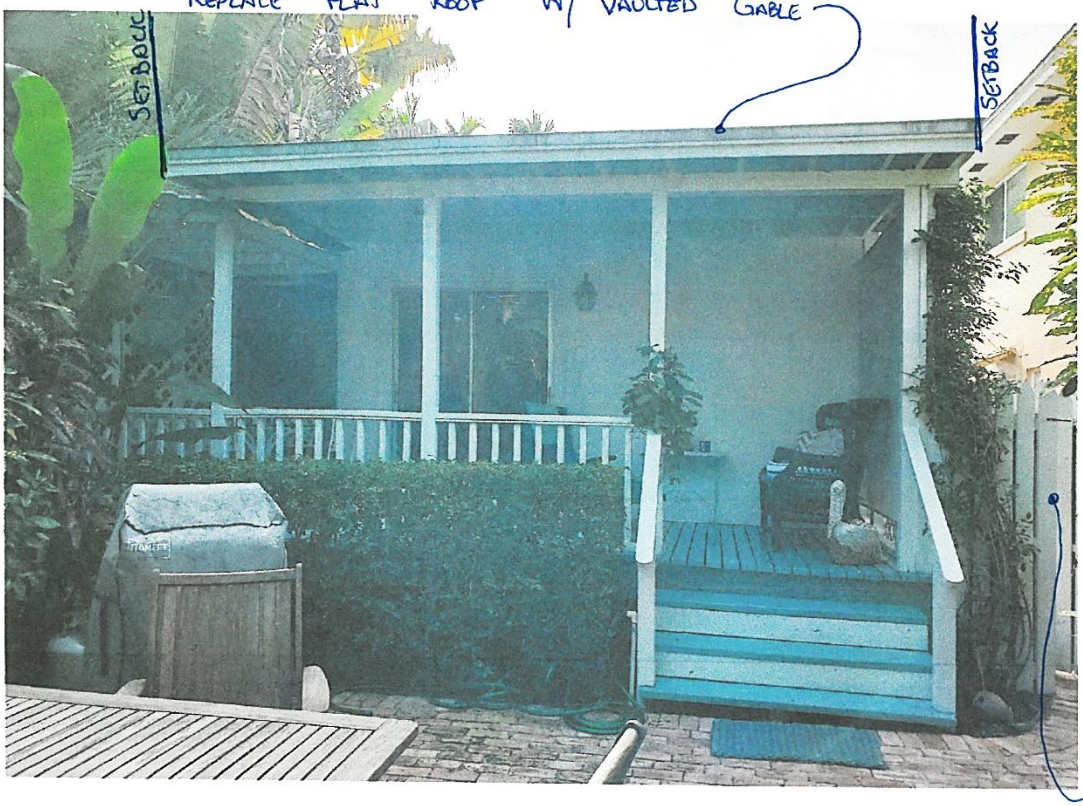
1962 Sanborn with the structure at 1107 Packer indicated in red.

PROJECT PHOTOS

1965 photo showing the building at 1107 Packer Street.

REMOVE REAR DECK & FLAT ROOF

REPLACE FLAT ROOF W/ VAULTED GABLE



EXISTING FENCE & GATE TO REMAIN

FLAT ROOF TO BE REMOVED

EXISTING LANDSCAPING TO REMAIN

REMOVE WINDOWS @ REAR ONLY

REMOVE FLAT ROOF

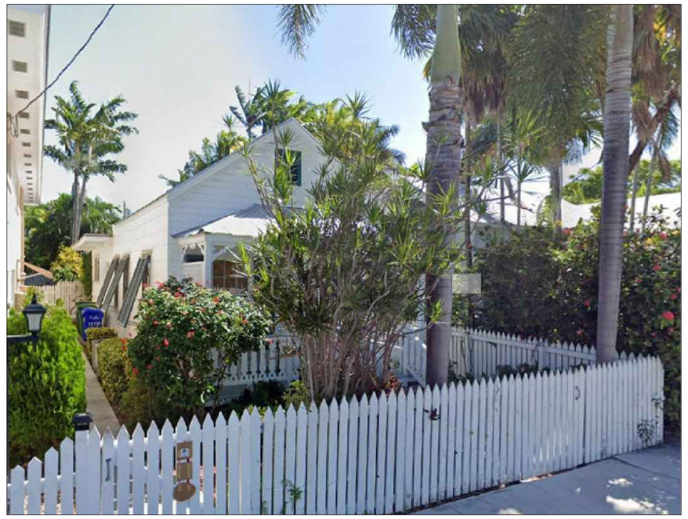
Remove Flat Roof

Remove Aluminum Doors & Windows @ Rear

Roof To Be Removed

1107 Packer Street View

PROPOSED DESIGN



STREET VIEW

DUROT RESIDENCE
RESIDENTIAL UPGRADES

1107 PACKER STREET   KEY WEST, FLORIDA 33040

GENERAL NOTES

All work shall comply with the 2020 7th edition Florida Building Code, latest edition, and all applicable laws, codes and ordinances of the city, county, and the state of Florida. In the city of Key West, applicable Codes forming the basis of this design and compliance requirements for the contractor include:

BUILDING:	Florida Building Code, 2020
ELECTRICAL:	National Electrical Code, 2020
PLUMBING:	Florida Building Code (Plumbing), 2019
MECHANICAL:	Florida Building Code (Mech.), 2020
GAS:	LP Gas Code, 2020 edition (NFPA 58)

This project is designed in accordance with A.S.C.E. 7-16 to resist wind loads of 180 mph (gusts) (Exposure C)
This project is designed in accorance with A.S.C.E. 24-14 for flood resistant design.
Concrete: Building code requirements for concrete, American concrete institute, ACI 318-11.

SHEET INDEX

NO.	DESCRIPTION
1	COVER - LOCATION, SITE PLAN, SURVEY, GENERAL NOTES
2	EXISTING PLAN / DEMO PLAN, NOTES
3	EXISTING ELEVATIONS / DEMO PLAN, NOTES
4	PROPOSED PLAN / FLOOR PLAN, NOTES
5	ELEVATIONS, NOTES
6	ELEVATIONS, NOTES
7	FRAMING PLAN, DETAILS, NOTES
8	PLUMBING PLAN, HVAC PLAN, NOTES
9	ELECTRICAL PLAN, HVAC, NOTES

ABBREVIATIONS:

A = ARC
A/C = AIR CONDITIONER
BLDG. = BUILDING
CB = CATCH BASIN
CBS = CONCRETE, BLOCK, STUCCO
CH = CHORD
CH BR = CHORD BEARING.
C & G = CURB AND GUTTER.
CLF = CHAIN LINK FENCE
CLR = CLEAR
CONC = CONCRETE
CP = CONCRETE POST
D° = DEGREE
D = DELTA
DIP = DUCTILE IRON PIPE
E = EAST
EB = ENGINEERING BUSINESS NUMBER
ELEV = ELEVATION
ELECT = ELECTRIC
ENC = ENCROACHMENT
EP = EDGE OF PAVEMENT
FIP = FOUND IRON PIPE
FPL = FLORIDA POWER AND LIGHT
FND = FOUND
I.P. = IRON PIPE.
L = LENGTH
LB = SURVEYOR BUSINESS NUMBER
M & R = MEASURED AND RECORD
MEAS = MEASURED
MH = MANHOLE
N = NORTH
NO. = NUMBER
N & DISC = NAIL AND DISC
NO ID. = NO IDENTIFICATION NUMBER
N.T.S. = NOT TO SCALE
OBV = OBSERVED ANGLE
O/E = OVERHEAD ELECTRIC
O/E = OVERHEAD ELECTRIC
ORB = OFFICIAL RECORDS BOOK
O' = MINUTE OR FEET
O" = SECOND OR INCH
P = PLAT
PAV = PAVEMENT
PB = PLAT BOOK
PCC = POINT OF COMPOUND CURVATURE
PC = POINT OF CURVATURE
PG = PAGE
PL = PLANTER
PLS = PROFESSIONAL LAND SURVEYOR
PI = POINT OF INTERSECTION
POB = POINT OF BEGINNING
POC = POINT OF COMMENCE
PT = POINT OF TERMINATION
PRC = POINT OF REVERSE CURVATURE
PSM = PROFESSIONAL SURVEYOR AND MAPPER
R = RADIUS OR RECORD
REG = REGULAR
RNG = RANGE
RLS = REGISTERED LAND SURVEYOR
R/W = RIGHT OF WAY
S = SOUTH
SEC = SECTION
STA = STATION
SWK = SIDEWALK
T = TANGENT
SS = SANITARY SEWER
TWP = TOWNSHIP
W = WEST
W = WITH
WF = WOOD FENCE
WM = WATER METER
WV = WATER VALVE
ZW = ZURWELLE-WHITTAKER, INC

FLOOD INFORMATION:

COMMUNITY NUMBER : 120168
PANEL NUMBER : 12087C1516
SUFFIX : K
DATE OF FIRM : 02-18-2005
FIRM ZONE : X
BASE FLOOD ELEVATION : N/A

FIELD WORK INFORMATION:

DATE FIELD WORK : 03-25-2020
DATE DRAFTING : 03-26-2020
DATE SIGNED AND SEALED : 03-27-2020
REVISED FIELD SURVEY : N/A

SYMBOL LEGEND:

LIGHT POLE
CONC. POLE
ELECTRIC BOX
TRAFFIC SIGNAL BOX
FIRE HYDRANT
STORM SEWER/CATCH BASIN
WATER METER
SIGN
TELEPHONE BOX
WATER VALVE
EL. 7.05' ELEVATIONS
TRAFFIC LANE FLOW
CENTER LINE
MONUMENT LINE
Ø DIAMETER.

SURVEYOR'S NOTES:

1. EXAMINATION OF THE ABSTRACT OF THE TITLE WILL HAVE TO BE MADE TO DETERMINE RECORD INSTRUMENTS IF ANY, AFFECTING THE PROPERTY.
2. LOCATION AND IDENTIFICATION OF UNDERGROUND ENCROACHMENTS OR UTILITIES ON AND/OR ADJACENT TO THE PROPERTY WERE NOT SECURED AS SUCH INFORMATION WAS NOT REQUESTED
3. NO SEARCH OF PUBLIC RECORDS HAS BEEN MADE (BY THIS OFFICE) FOR ACCURACY AND OR OMISSIONS.
4. THIS CERTIFICATION IS ONLY FOR THE LANDS AS DESCRIBED, IT IS NOT A CERTIFICATION OF TITLE, ZONING, EASEMENTS, OR FREEDOM FROM ENCUMBRANCES, "TITLE" ABSTRACT NOT REVIEWED.
5. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.
6. THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF ENTITIES NAMED HEREON AND THE CERTIFICATION DOES NOT EXTEND TO ANY UNNAMED PARTY.
7. DIMENSIONS, BEARINGS OR ANGLES INDICATED HEREIN ARE MEASURED AND ARE THE SAME AS PLAT VALUES UNLESS OTHERWISE INDICATED BEARINGS ARE BASED ON SHOWN PLAT VALUES (IF ANY) OR AN ASSUMED VALUE.
8. ALL RIGHTS OF WAYS SHOWN ARE PUBLIC UNLESS OTHERWISE NOTED
9. UTILITY FACILITIES WITHIN UTILITY EASEMENTS NOT NOTED AS VIOLATIONS, DRIVEWAYS OR PORTIONS THEREOF WITHIN ROADWAYS NOT NOTED AS VIOLATIONS OR ENCROACHMENTS.
10. THE LEGAL DESCRIPTION WAS FURNISHED BY THE CLIENT
11. THIS DRAWING IS PROPERTY OF ZURWELLE-WHITTAKER, INC AND CANNOT BE REPRODUCED WITHOUT WRITTEN CONSENT
12. THE ELEVATION INFORMATION SHOWN HEREON (IF ANY) IS RELATIVE TO THE NATIONAL GEODETIC VERTICAL DATUM, (N.G.V.D.), OF 1929 UNLESS OTHER WISE NOTED
13. BENCHMARK USED: NGS BENCHMARK & FPRN (SEE BENCHMARK INFO.)
14. COORDINATES SHOWN ARE RELATIVE TO THE NORTH AMERICAN DATUM OF 1983/90 AS BASED ON THE STATE OF FLORIDA'S D.O.T. FLORIDA PERMANENT REFERENCE NETWORK (F.P.R.N.) A GPS/GNSS REFERENCE NETWORK. BASE STATION USED: FLKW (KEY WEST STATION)
15. COORDINATE CONVERSIONS (IF ANY) HAVE BEEN CONVERTED USING CORPSCON VERSION 6.6.1, FROM U.S. ARMY CORPS OF ENGINEERS. ALEXANDRIA,VIRGINA.
16. UNLESS IT BEARS THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER, THIS DRAWING SKETCH, PLAT OR MAP IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT VALID.
17. ACCURACY OF HORIZONTAL CONTROL:(FOR EXPECTED USE OF LAND AS DEFINED BY (5J-17)) THE FIELD MEASUREMENTS VERIFIED BY CALCULATIONS OF A CLOSED GEOMETRIC FIGURE BASED UPON FIELD INFORMATION TAKEN IN THE FIELD BY TOTAL STATION AND OR GPS.

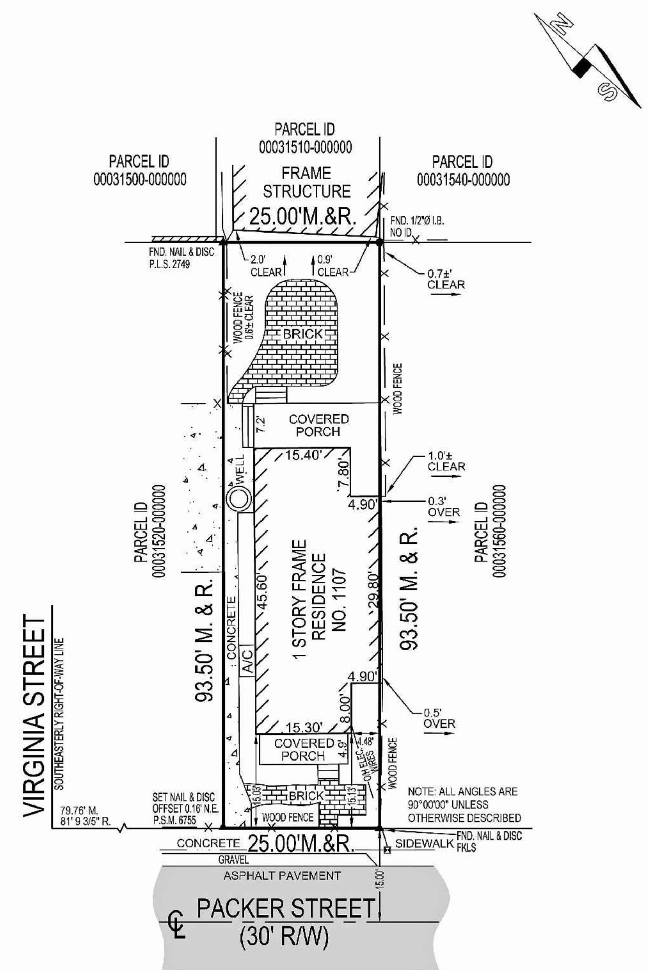
___	COMMERCIAL/HIGH RISK	LINEAR: 1 FOOT IN 10,000 FEET
X	SUBURBAN	LINEAR: 1 FOOT IN 7,500 FEET
___	RURAL	LINEAR: 1 FOOT IN 5,000 FEET

LOCATION MAP (N.T.S.)

PART OF LOT 4, SQUARE 5, TRACT 13
GEORGE W. WATSON'S SUB.
KEY WEST, FL

LEGAL DESCRIPTION:

All that tract or parcel of land located on the Island of Key West, Florida, and known on William A. Whitehead's map of said Island delineated in February, A.D., 1829, as part of Tract Thirteen (13), and is now better known as part of Lot Four (4) in Square Five (5) of said Tract Thirteen (13) according to George G. Watson's subdivision of a part of said Tract Thirteen (13) as recorded in Book "I", Page 209, Monroe County, Florida Public Records.
Commencing at a point on Packer a distance of Eight-one (81) feet and Nine and three-fifths (9-3/5) inches from the corner of Packer and Virginia Streets, running thence along Packer Street in a Southeasterly direction Twenty-five (25) feet; thence at right angles in a Northeasterly direction Ninety-three (93) feet Six (6) inches: thence at right angles in a Northwesterly direction Twenty-five (25) feet; thence at right angles in a Southwesterly direction Ninety-three (93) feet Six (6) inches to the Point of Beginning.



BENCHMARK INFORMATION:
NOT REQUESTED

SURVEYORS NOTE:
SHEET SIZE 13"X19"

MONROE COUNTY SURVEYING & MAPPING,INC
SURVEYORS & MAPPERS, CIVIL ENGINEERS
A DIVISION OF ZURWELLE-WHITTAKER, INC (ESTAB. 1926)
1100 TRUMAN AVENUE, KEY WEST, FL 33040 CERTIFICATE OF AUTHORIZATION NO. LB8236
PH: (305) 534-4668 OR (305) 293-0466 FAX (305) 531-4589 WWW.MCSMCO.COM
MEMBER: FLORIDA LAND SURVEYOR'S COUNCIL, FLORIDA SURVEYING AND MAPPING SOCIETY

ELIZABETH ANN CATHRALL
1107 PACKER STREET
KEY WEST, FL 33040

EDDIE A. MARTINEZ
PROFESSIONAL SURVEYOR AND MAPPER NO. LS6755
STATE OF FLORIDA

JOB No.	DRAWN:	REVISIONS
N/A	DRF	
FIELD BOOK: N/A	REVISED: EAM	
SCALE: 1"=16'	SHEET No. 1 OF 1	

SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY THAT THE ATTACHED "BOUNDARY SURVEY" WAS PREPARED UNDER MY DIRECTION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT THE SURVEY MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS PURSUANT TO CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027.

CAD FILE:
\\Fred\Island Surveying Data\Data MCSM\Drawings\Key West\Block 127\1107 PACKER.dwg

SURVEY

Site Data

	Allowed	Existing	Proposed
Zoning HMDR			
Flood X			
Lot Size		2,338 S.F.	
Building Coverage	50% (1,169 S.F.)	50% (1,157 S.F.)	49% (1,152 S.F.)
Impervisions	60% (1,402 S.F.)	72% (1,684 S.F.)	71% (1,768 S.F.)
Open Space	30% (701 S.F.)	32% (738 S.F.)	32% (738 S.F.)
Setbacks			
Front	10'	10.15'	10.15'
Side	5'	0'	0'
Side	5'	2.4'	2.4'
Rear	15'	25.5'	25'

Coverage: House, Porches, A/C, Well = 1,152 S.F.
Impervious: All above + Concrete = 1,350 S.F.
Open Space: Landscaping = 738 S.F.

Storm Drainage
Coverage does not increase, No additional drainage required

NO VARIANCE REQUIRED
NEW CONSTRUCTION

BUILDING COVERAGE
NO

IMPERVIOUS AREA
NO

OPEN SPACE
NO

SETBACKS
NO

DUROT RESIDENCE
RESIDENTIAL UPGRADES
1107 PACKER STREET KEY WEST, FLORIDA 33040

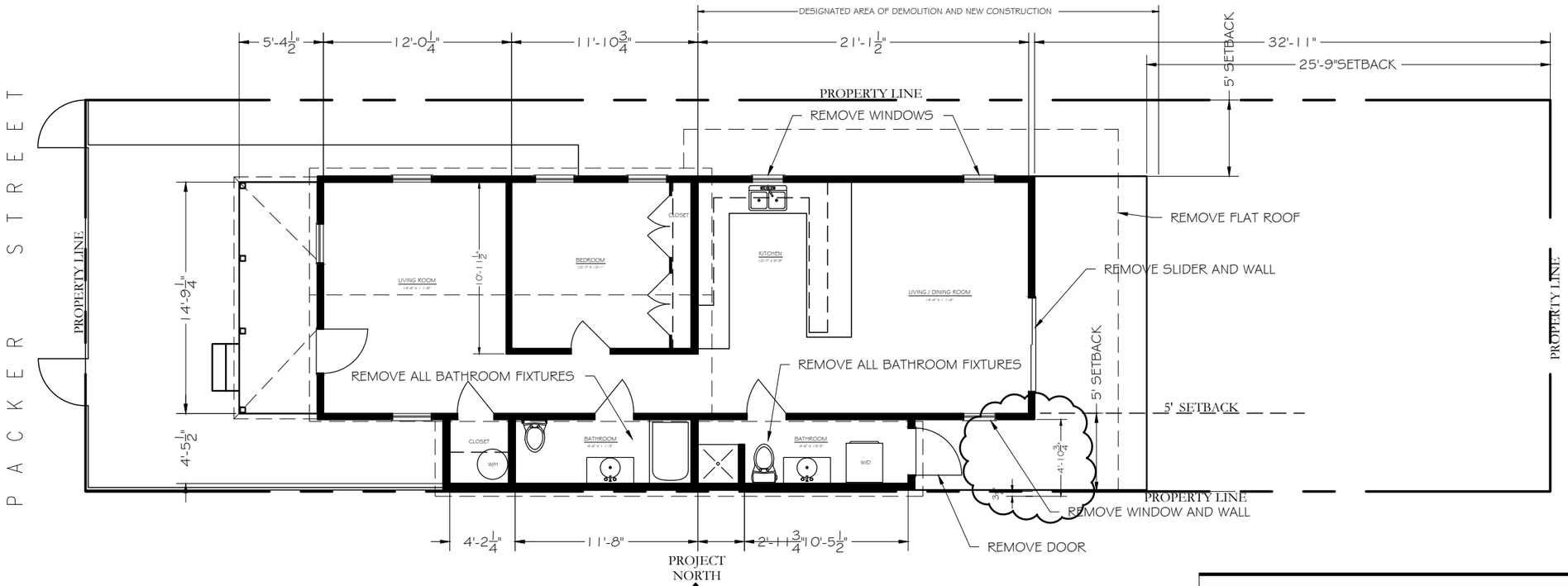
WILLIAM ROWAN
ARCHITECTURE
321 PEACON LANE
305 296 3784
KEY WEST, FLORIDA
FLORIDA LICENSE AR-0017751

PROJECT NO :

DATE :
12-29-2021
11-24-2021
9-30-2020

1

1 OF 9



FLOOR PLAN (EXISTING)

1/8" = 1'-0"

DEMOLITION NOTES

1. If Demolition commences prior to permit, GC shall obtain demo permits.
2. Furnish all labor and materials as required to complete demolition and removal of all items as indicated.
3. Provide strict control of job cleaning and prevent dust and debris from emanating from demolition area. Keep area clean.
4. If any questions arise as to the removal of any material, clarify the point in question with the architect or owner before proceeding.
5. At completion of demolition work the construction areas shall be left in "broom clean" condition. All debris and misc. material shall be moved to waste area provided by the contractor.
6. Debris removal must be performed in accordance with owner and building management requirements and procedures.
7. Carefully remove all existing light fixtures and lenses (where demolition is note) and store for future use. Before indicated reinstallation, inspect each fixture and repair or replace parts as required. All relocated fixtures shall be in full operating order. All tubes and/or ballasts not reused shall be disposed of in a proper manner.
8. Contractor shall be responsible for patching and/or repairing any damage caused by him or his subcontractors to existing construction. Refinish to match existing adjacent finish or as noted herein.
9. Existing smoke detectors to remain as needed.
10. Removal of any equipment, cabling, switches, and conduit pertaining to data/communications and telephone shall be verified with telephone companies or service owner data/communications representative as required to prevent new construction delays.
11. Demolition is not necessarily limited to what is shown on the drawings. The intent is to indicate the general scope of demolition required to complete the work in accordance with the contract drawings.
12. Contractor to coordinate with owner for reuse of existing millwork.
13. Existing elevated slab, piers, beams, cbs walls, and roof system to remain.
14. Install temporary supports below trusses during demo and construction as needed.

Basic Building Structural Information

Floor and Roof Live Loads	
Attics:	20 psf w/ storage, 10 psf w/o storage
Habitable Attics, Bedroom:	30 psf
All Other Rooms:	40 psf
Garage:	40 psf
Roofs:	20 psf

Wind Design Data			
Ultimate Wind Speed:	180 mph	Nominal Wind Speed:	139 mph
Risk Category:	II	Wind Exposure:	C
Enclosure Classification:	Enclosed	End Zone Width:	4.00 ft.
Internal Pressure Coefficient:		0.18 +/-	

Components and Cladding Design Pressures			
	Roof Zone 1:	+25.8 psf max.,	-41.1 psf min.
	Roof Zone 2:	+25.8 psf max.,	-71.5 psf min.
	Roof Zone 3:	+25.8 psf max.,	-105.8 psf min.
	Roof at Zone 2 Overhangs:		-83.6 psf min.
	Roof at Zone 3 Overhangs:		-140.7 psf min.
	Wall Zone 4:	+44.9 psf max.,	-48.6 psf min.
	Wall Zone 5:	+44.9 psf max.,	-60.0 psf min.

The Nominal Wind Speed was used to determine the above Component and Cladding Design Pressures.

All exterior glazed openings shall be protected from wind-borne debris as per Section 1609.1.2 of the code.

The site of this building is not subject to special topographic wind effects as per Section 1609.1.1.1 of the code.

DUROT RESIDENCE
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321 PEACON LANE
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PROJECT NO :

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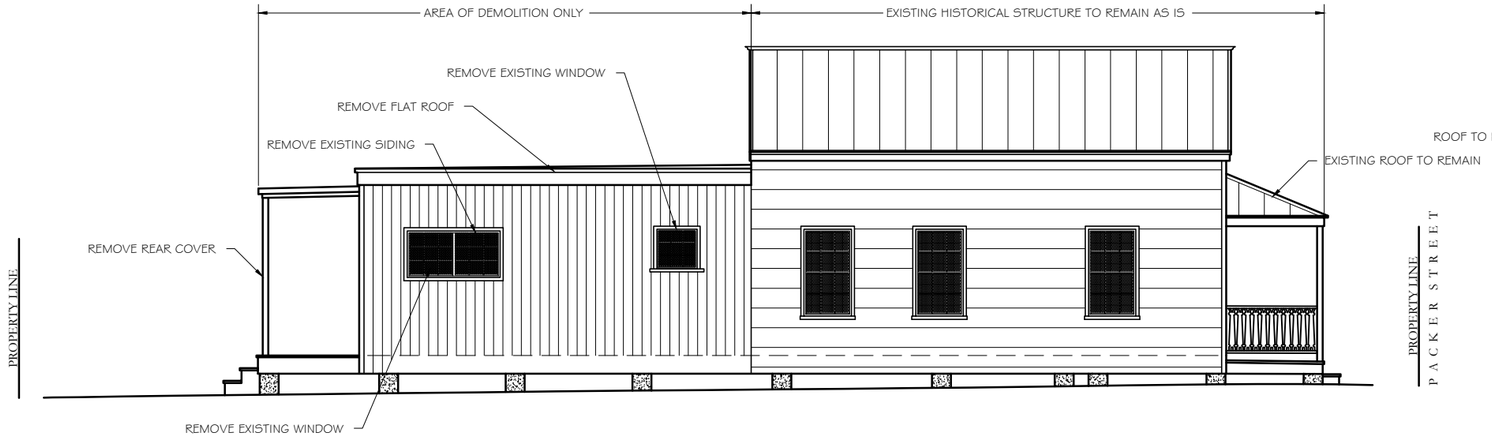
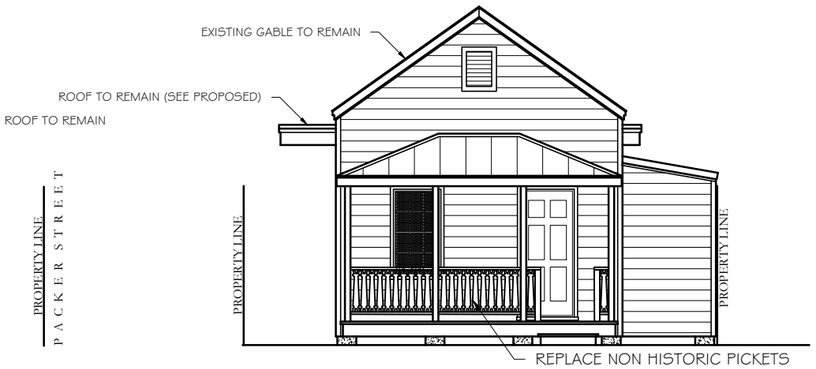
2



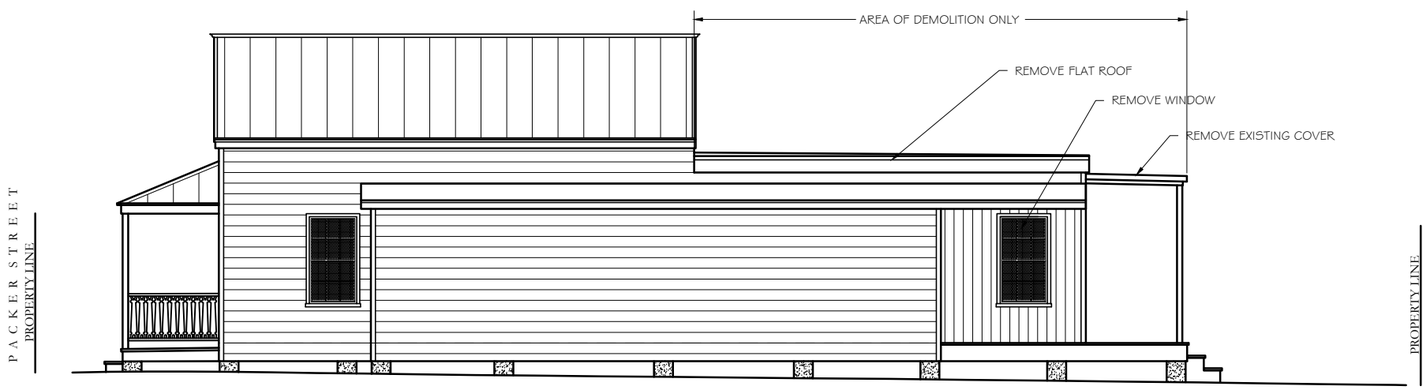
NORTH ELEVATION (EXISTING)

1/8" = 1'-0"



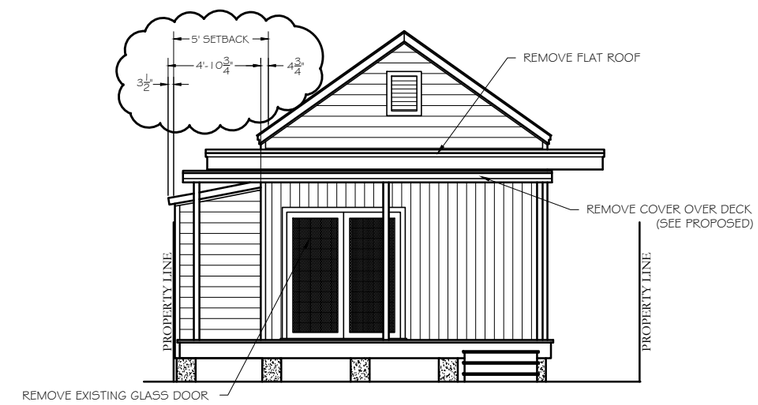
WEST ELEVATION (EXISTING)

1/8" = 1'-0"



SOUTH ELEVATION (EXISTING)

1/8" = 1'-0"



EAST ELEVATION (EXISTING)

1/8" = 1'-0"

DEMOLITION NOTES

1. If Demolition commences prior to permit, GC shall obtain demo permits.
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3. Provide strict control of job cleaning and prevent dust and debris from emanating from demolition area. Keep area clean.
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5. At completion of demolition work the construction areas shall be left in "broom clean" condition. All debris and misc. material shall be moved to waste area provided by the contractor.
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7. Carefully remove all existing light fixtures and lenses (where demolition is note) and store for future use. Before indicated reinstallation, inspect each fixture and repair or replace parts as required. All relocated fixtures shall be in full operating order. All tubes and/or ballasts not reused shall be disposed of in a proper manner.
8. Contractor shall be responsible for patching and/or repairing any damage caused by him or his subcontractors to existing construction. Refinish to match existing adjacent finish or as noted herein.
9. Existing smoke detectors to remain as needed.
10. Removal of any equipment, cabling, switches, and conduit pertaining to data/communications and telephone shall be verified with telephone companies or service owner data/communications representative as required to prevent new construction delays.
11. Demolition is not necessarily limited to what is shown on the drawings. The intent is to indicate the general scope of demolition required to complete the work in accordance with the contract drawings.
12. Contractor to coordinate with owner for reuse of existing millwork.
13. Existing elevated slab, piers, beams, cbs walls, and roof system to remain.
14. Install temporary supports below trusses during demo and construction as needed.

DUROT RESIDENCE
RESIDENTIAL UPGRADES
1107 PACKER STREET KEY WEST, FLORIDA 33040

WILLIAM ROWAN
ARCHITECTURE
KEY WEST, FLORIDA
FLORIDA LICENSE AR-0017751
321 PEACON LANE
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PROJECT NO :

DATE : 12-29-2021
11-24-2021
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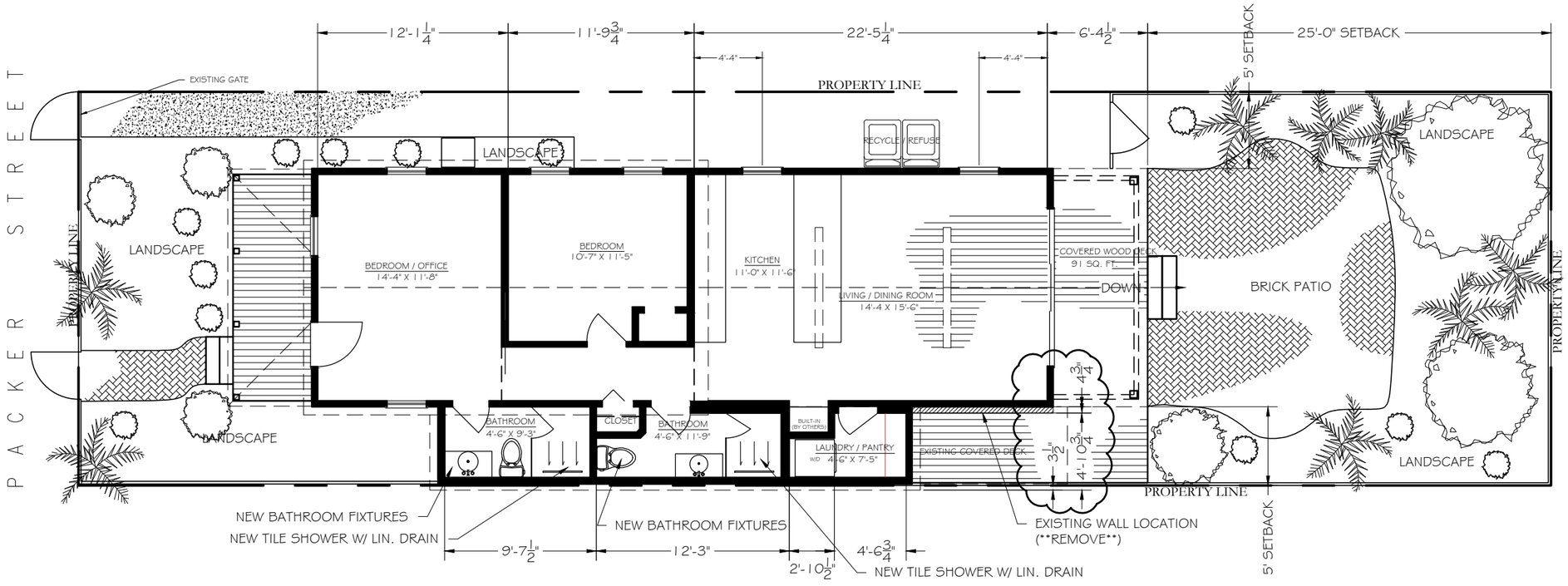


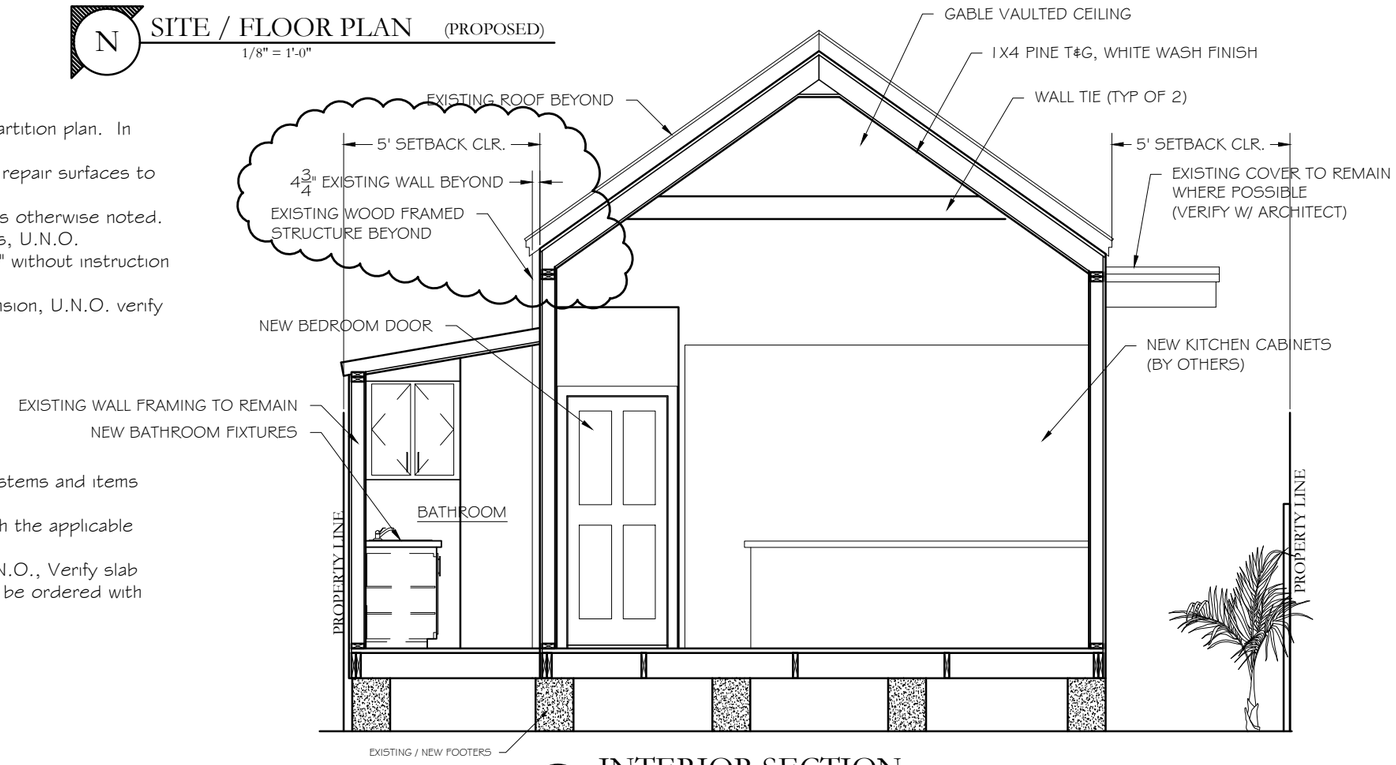
N

SITE / FLOOR PLAN (PROPOSED)

1/8" = 1'-0"

CONSTRUCTION PLAN GENERAL NOTES

1. Do not scale drawings, written dimensions govern. All partition locations shall be as shown on the partition plan. In case of conflict, verify with the owner or architect.
2. All new gypsum board partitions shall be taped and sanded smooth with no visible joints. Patch and repair surfaces to match adjacent or adjoining surfaces where required. All surfaces shall be aligned and sanded smooth.
3. All partitions are dimensioned from finish face of gypsum board to finish face of gypsum board unless otherwise noted. All dimensions marked "Clear" or "clr" shall be maintained and shall allow for thicknesses of all wall finishes, U.N.O.
4. Dimensions noted "clear" or "clr" must be accurately maintained and shall not vary more than +/- 1/8" without instruction from architect and/or owner, as applicable.
5. Dimensions marked +/- mean a tolerance not greater nor smaller than 2 inches from indicated dimension, U.N.O. verify field dimensions exceeding tolerance with architect or owner.
6. All dimensions to the exterior window wall are to the inside face of sill, U.N.O.
7. Notify architect or owner of any discrepancies of conflicts in the locations of the new construction.
8. All exposed gypsum board edges to have metal edge trim work or equivalent.
9. All work shall be directed and installed, plumb, level, square, and true and in proper alignment.
10. Refer to cover sheet for additional notes, legends, symbols, abbreviations, and schedules.
11. Refer to electrical power plans for locations of switched, outlets and the like.
12. Obtain approval from architect or owner, as applicable, prior to modifying building components, systems and items not identified prior to adjusting any and all other field conditions required to fit plans.
13. All existing and new floor penetrations for piping shall be fully blocked and sealed in accordance with the applicable building fire codes.
14. Trim the bottoms of the doors to clear the top of finished floor, as applicable, by ½" maximum, U.N.O., Verify slab conditions, trim each door to fit condition. Where radical variations in floor elevation exist, doors shall be ordered with bottom stile sized to accommodate these undercut conditions.
15. Dimensions locating doors are to the inside of edge of jamb U.N.O.
16. All "wet walls" to receive concrete board or green board.
17. Existing plumbing in baths to remain. Tie into existing plumbing at new fixtures
18. New electrical to be verified in existing panel



1

INTERIOR SECTION (PROPOSED)

1/4" = 1'-0"

DUROT RESIDENCE
RESIDENTIAL UPGRADES
1107 PACKER STREET KEY WEST, FLORIDA 33040

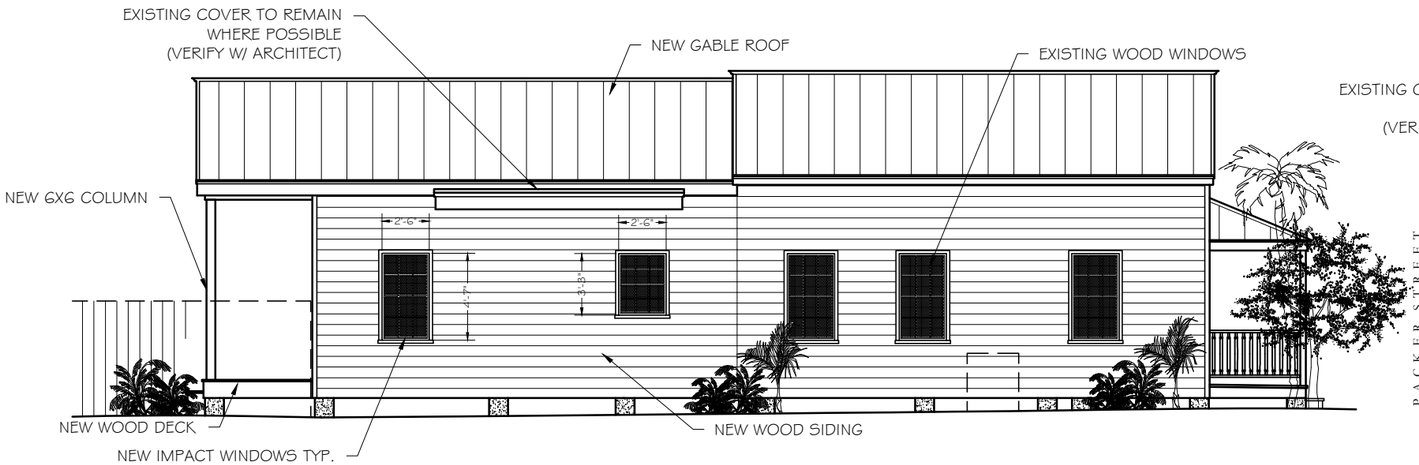
STATE OF FLORIDA WILLIAM ROWAN AR0017751 REGISTERED ARCHITECT

WILLIAM ROWAN
ARCHITECTURE
KEY WEST, FLORIDA
FLORIDA LICENSE AR-0017751
321 PEACON LANE
305.296.3784

PROJECT NO :

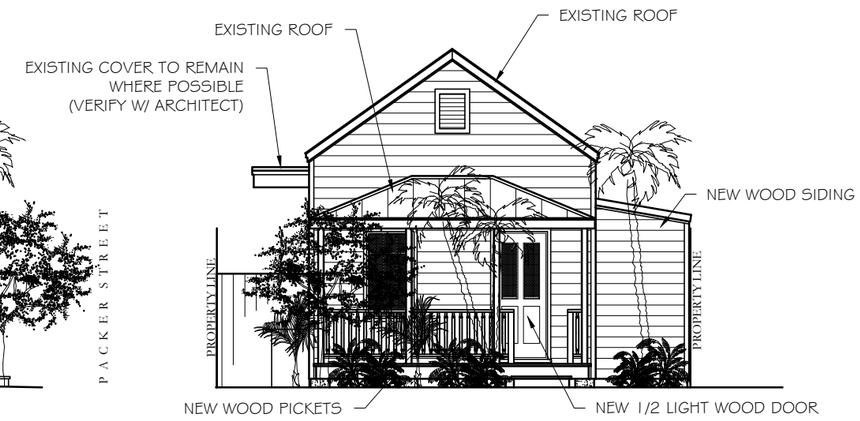
DATE : 12-29-2021
11-24-2021
9-30-2020

4



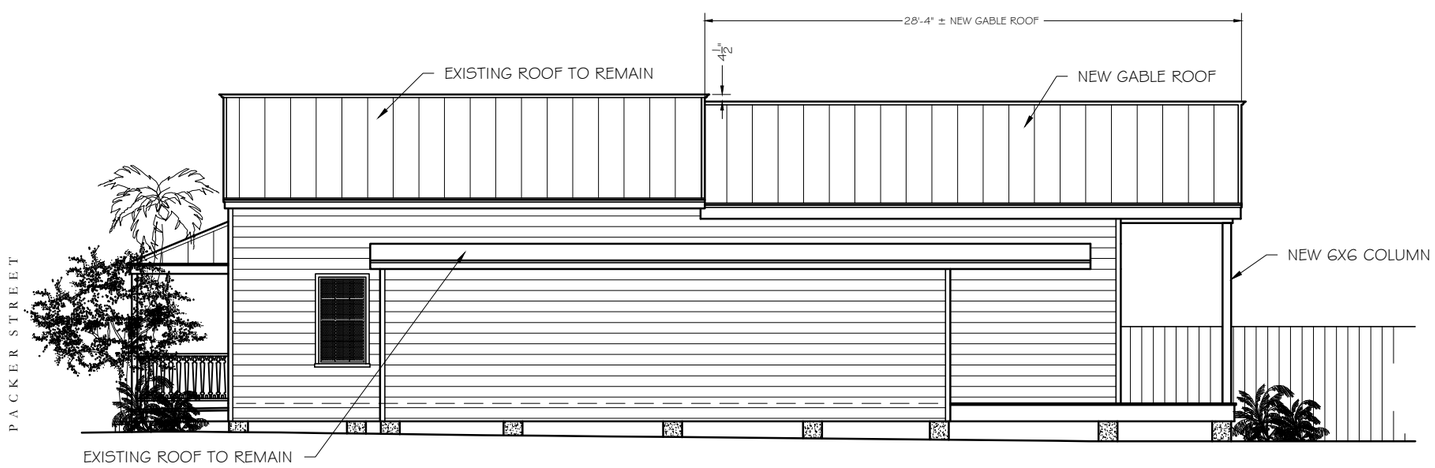
NORTH ELEVATION (PROPOSED)

1/8" = 1'-0"



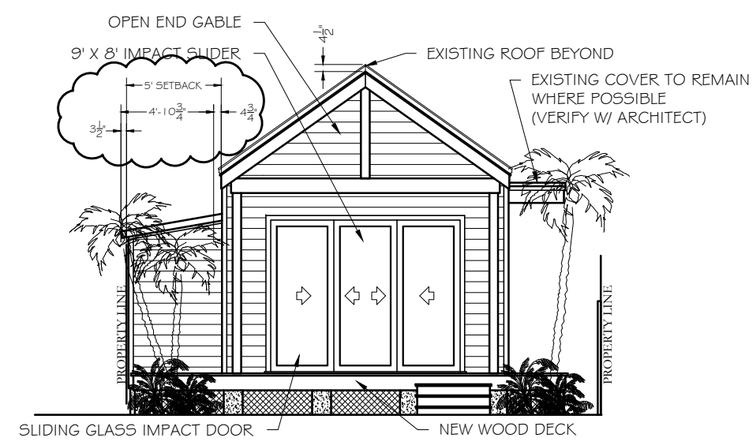
WEST ELEVATION (PROPOSED)

1/8" = 1'-0"



SOUTH ELEVATION (PROPOSED)

1/8" = 1'-0"



EAST ELEVATION (PROPOSED)

1/8" = 1'-0"

DUROT RESIDENCE
RESIDENTIAL UPGRADES
1107 PACKER STREET KEY WEST, FLORIDA 33040

STATE OF FLORIDA WILLIAM EUGENE ROWAN AR0017761 REGISTERED ARCHITECT

WILLIAM ROWAN
ARCHITECTURE
KEY WEST, FLORIDA
FLORIDA LICENSE: AR0017751
321 PEACON LANE
305 296 3784

PROJECT NO :

DATE : 12-29-2021
11-24-2021
9-30-2020

5

NOTICING

Public Meeting Notice

The Historic Architectural Review Commission will hold a public meeting at **5:00 p.m., January 25, 2022 at City Hall, 1300 White Street**, Key West, Florida. In order to view the live feed of the meeting, you can tune in to Comcast channel 77, AT&T Uverse channel 99, or type this link into your browser: http://keywestcity.granicus.com/MediaPlayer.php?publish_id=1&embed=1 If you wish to participate virtually, please contact HARC staff at 305-809-3975. The purpose of the hearing will be to consider a request for:

RENOVATIONS AND NEW GABLE ROOF AT REAR. PARTIAL DEMOLITION OF NON-HISTORIC REAR ROOF.

#1107 PACKER STREET

Applicant – William Rowan Application #H2021-0063

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 1300 White Street, call 305-809-3975 or visit our website at www.cityofkeywest-fl.gov.

THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION

ADA ASSISTANCE: It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 800-955-8771 or 800-955-8770 (Voice) or the ADA Coordinator at 305-809-3811 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.

HARC POSTING AFFIDAVIT

STATE OF FLORIDA:
COUNTY OF MONROE:

BEFORE ME, the undersigned authority, personally appeared BRIAN OLSON, who, first being duly sworn, on oath, depose and says that the following statements are true and correct to the best of his/her knowledge and belief:

1. That a legal notice for Public Notice of Hearing of the Historic Architectural Review Commission (HARC) was placed on the following address: 1107 PACKER STREET on the 18TH day of JANUARY, 2022.

   This legal notice(s) contained an area of at least 8.5"x11".

   The property was posted to notice a public hearing before the Key West Historic Architectural Review Commission to be held on JANUARY 25TH, 2022.

   The legal notice(s) is/are clearly visible from the public street adjacent to the property.

   The Certificate of Appropriateness number for this legal notice is H2021-0063

2. A photograph of that legal notice posted in the property is attached hereto.

Signed Name of Affiant:
Date: 1/18/2022
Address: 314 FERLON LN
City: KEY WEST FL
State, Zip: FL 33040

The forgoing instrument was acknowledged before me on this 19th day of January, 2022.

By (Print name of Affiant) BRIAN OLSON who is personally known to me or has produced personally known as identification and who did take an oath.

NOTARY PUBLIC
Sign Name:
Print Name: Veronica Cleare
Notary Public - State of Florida (seal)
My Commission Expires: 1/25/2022

VERONICA CLEARE
Commission # HH 084046
Expires January 25, 2025
Bonded Thru Troy Fain Insurance 800-385-7019

1107
Public
Meeting
Notice

PROPERTY APPRAISER INFORMATION

qPublic.net™ Monroe County, FL

Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID	00031530-000000
Account#	1032310
Property ID	1032310
Millage Group	10KW
Location Address	1107 PACKER St, KEY WEST
Legal Description	KW G G WATSON SUB I-209 PT LOT 4 SQR 5 TR 13 D5-135 OR751-974 OR769-1034 OR769-566 OR768-650 OR779-1434/35 OR1956-151/53 OR2921-711/12 (Note: Not to be used on legal documents.)
Neighborhood	6096
Property Class	SINGLE FAMILY RESID (0100)
Subdivision	
Sec/Twp/Rng	05/68/25
Affordable Housing	No

Owner

DUROT ELIZABETH ANN CATHRALL
1107 Packer St
Key West FL 33040

Valuation

	2021	2020	2019	2018
+ Market Improvement Value	$109,273	$111,844	$113,129	$115,700
+ Market Misc Value	$736	$736	$736	$736
+ Market Land Value	$331,412	$363,325	$355,961	$351,664
= Just Market Value	**$441,421**	**$475,905**	**$469,826**	**$468,100**
= Total Assessed Value	**$441,421**	**$475,905**	**$469,826**	**$468,100**
- School Exempt Value	$0	$0	$0	$0
= School Taxable Value	**$441,421**	**$475,905**	**$469,826**	**$468,100**

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
RESIDENTIAL DRY (010D)	2,338.00	Square Foot	25	93.5

Buildings

Building ID	2465
Style	1 STORY ELEV FOUNDATION
Building Type	S.F.R. - R1 / R1
Gross Sq Ft	925
Finished Sq Ft	789
Stories	1 Floor
Condition	AVERAGE
Perimeter	130
Functional Obs	0
Economic Obs	0
Depreciation %	16
Interior Walls	WALL BD/WD WAL
Exterior Walls	ABOVE AVERAGE WOOD
Year Built	1933
EffectiveYearBuilt	2007
Foundation	WD CONC PADS
Roof Type	GABLE/HIP
Roof Coverage	METAL
Flooring Type	CONC S/B GRND
Heating Type	NONE with 0% NONE
Bedrooms	2
Full Bathrooms	1
Half Bathrooms	0
Grade	450
Number of Fire Pl	0

Code	Description	Sketch Area	Finished Area	Perimeter
OPX	EXC OPEN PORCH	100	0	0
FLA	FLOOR LIV AREA	789	789	0
OPF	OP PRCH FIN LL	36	0	0
TOTAL		**925**	**789**	**0**

Yard Items

Description	Year Built	Roll Year	Quantity	Units	Grade
CH LINK FENCE	1964	1965	1	100 SF	1
CONC PATIO	1969	1970	1	24 SF	1
BRICK PATIO	1969	1970	1	58 SF	2
FENCES	1996	1997	1	200 SF	2

Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved
8/9/2018	$0	Order (to be used for Order Det. Heirs, Probate in	2181727	2921	711	30 - Unqualified	Improved

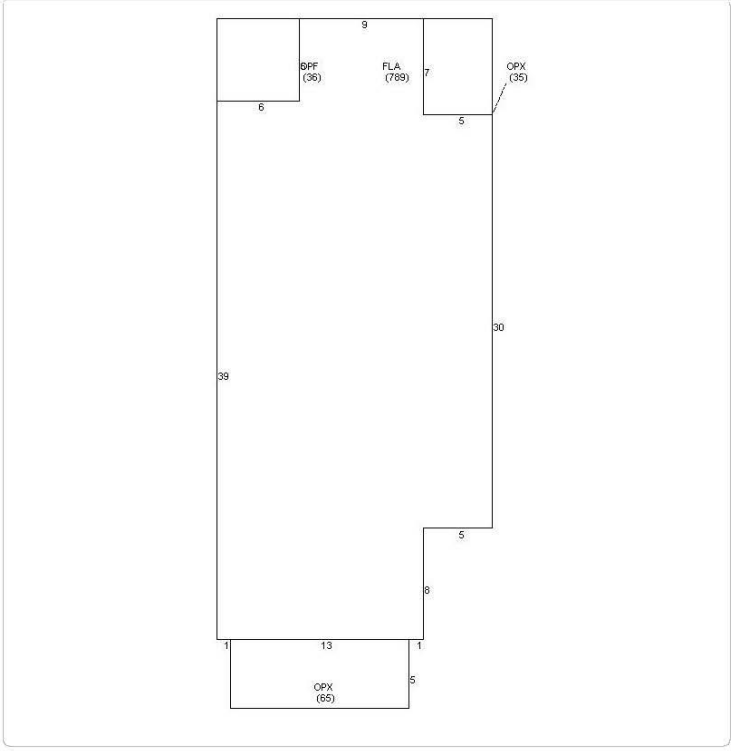
Permits

Number	Date Issued	Date Completed	Amount	Permit Type	Notes
04-0370	2/20/2004	10/15/2004	$650		REPLACE 100AMP BREAKER
B933321	11/1/1993	12/1/1994	$1,000		REPAIRS

View Tax Info

View Taxes for this Parcel

Sketches (click to enlarge)



Photos

Map

TRIM Notice

2021 TRIM Notice (PDF)

2021 Notices Only

No data available for the following modules: Commercial Buildings, Mobile Home Buildings, Exemptions.

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