# KEYS OVERNIGHT TEMPORARY SHELTER 5537 COLLEGE ROAD KEY WEST, FL



# KEY PERSONNEL

## ARCHITECT:

WILLIAM P. HORN ARCHITECT, P.A. K/W STRUCTURAL ENGINEERS

WILLIAM P. HORN, RA, LEED AP 915 EATON ST. KEY WEST, FL 33040 TEL. (305) 296-8302

**CIVIL ENGINEERING:** 

PEREZ ENGINEERING AND DEVELOPMENT INC.

ALLEN E. PEREZ, PE 1010 EAST KENEDY DRIVE SUITE 202 KEY WEST, FL 33040 TEL. (305) 293–9440

STRUCTURAL ENGINEERING:

MARK KEISTER, P.E.

6501 ARLINGTON EXPRESSWAY BUILDING B, SUITE 156 JACKSONVILLE, FL 32211 TEL. (904) 619–2333 MEP ENGINEERING:

INNOVATIVE ENGINEERING GROUP INC.

SUDHIR GUPTA, PE, LEED AP

2500 NW 79TH AVE., SUITE 240 DORAL, FL 33122 TEL. (305) 468–1783

LANDSCAPE ARCHITECT:

LADD ROBERTS, LEED AP

1936 SAN MARCO BLVD SUITE 101 JACKSONVILLE, FL 32207 TEL. (904) 343–4194

SERVICES, INC.

PHIL FRANK

1241 CRANE BLVD. SUGARLOAF KEY, FL 33042 TEL. (305) 393-4200

OWEN TREPANIER 1421 1ST STREET PO BOX 2155 KEY WEST, FL 33040 TEL. (305) 293-8983

## SURVEYOR: LANDWISE DESIGN AVIROM AND ASSOCIATES MICHAEL AVIROM, PROFESSIONAL SURVEYOR & MAPPER 402 APPELROUTH LN. STE 2E KEY WEST, FL 33040 TEL. (305) 294–7770 ENVIRONMENTAL ENGINEER: OWNER: (PROPERTY) **TERRAMAR ENVIRONMENTAL** MONROE CO. BOARD OF **COUNTY COMMISSIONERS** KEVIN WILSON, ASST. COUNTY ADMINISTRATOR LAND USE PLANNER: **TREPANIER & ASSOCIATES, INC.**

1100 SIMONTON ST. KEY WEST, FL 33040 TEL. (305) 294-4641
OWNER: (KOTS LEASE OWNER
CITY OF KEY WEST
1300 WHITE ST. KEY WEST, FL 33040 TEL. (305) 809-3700

# <u>SITE DATÁ</u>

	<u>SITE_AREA</u> : OVERALL_SITE_AREA:607,339.97_SQFT_13.94_ACRES LEASE_AREA:041,976.22_SQFT_00.96_ACRES
	LAND USE: PS (PUBLIC SERVICE)
	FLOOD ZONE: AE EL +10.0' PER LOMR CASE NO. 21-04-3573P
	<u>HEIGHT:</u> ALLOWED: $25'+3.5'= 28.5'$ (FINISHED FLOOR IS 3.5' ABOVE BFE+1) PROPOSED: $26.3'\pm$
	<u>SETBACKS (PRINCIPAL STRUCTURES):</u> FRONT SETBACK: REQUIRED = 20' PROPOSED = N/A
	SIDE SETBACK: REQUIRED = 15' PROPOSED = 25'
	REAR SETBACK (WETLAND SETBACK): REQUIRED = 25' PROPOSED = 25'
	<u>SETBACKS (ACTIVE/PASSIVE/RECREATION):</u> FRONT/SIDES/REAR: ALLOWED = 10' PROPOSED = 10'
	$\frac{FAR:}{ALLOWED} = 0.8$ EXISTING = 0.69 PROPOSED = 0.70
	$\frac{\text{LOT COVERAGE:}}{\text{ALLOWED}} = 40\%$ EXISTING = 25.2% PROPOSED = 25.4%
	$\frac{\text{IMPERVIOUS AREA:}}{\text{ALLOWED} = 50\%}$ $EXISTING = 46.35\%$ $PROPOSED = 44.58\%$
	$\begin{array}{rcl} \underline{LANDSCAPE & AREA:} \\ & REQUIRED &= 20\% \\ & EXISTING &= 53.65\% \\ & PROPOSED &= 55.42\% \end{array}$
	$\frac{\text{OPEN SPACE AREA:}}{\text{REQUIRED}} = 50\%$ $EXISTING = 53.65\%$ $PROPOSED = 55.42\%$
	PARKING: REQUIRED = N/A EXISTING = 0 PROPOSED = 18 SPACES REV $1$
	BIKE/SCOOTER PARKING REQUIRED (= N/A EXISTING = OUT OF LEASE AREA PROPOSED( = 87 SPACES (TENANTS) <u>9 SPACES</u> (EMPLOYEE/VISITORS) 96 SPACES TOTAL
ł	BUILDING DATA
	EXISTING BUILDING AREAS: MCSO JAIL AND DJJ = 383,684 SQFT MCSO ADMIN = 26,833 SQFT EXISTING KOTS FACILITY = 9,024 SQFT
	PROPOSED BUILDING AREAS: KOTS FIRST FLOOR ENCLOSED = 10,422 SQFT KOTS FIRST FLOOR COVERED = 310 SQFT KOTS GROUND FLOOR ENCLOSED = 384 SQFT KOTS GROUND FLOOR COVERED = 10,208 SQFT

KEYS OVERNIGHT TEMPORARY SHELTER (KOTS) 5537 COLLEGE ROAD KEY WEST, FLORIDA

WILLIAM P. HORN ARCHITECT, P.A.

915 EATON ST KEY WEST,

FLORIDA 33040

REV /1

LIST OF DRAWINGS

EXISTING OVERALL SITE PLAN

PROPOSED PARTIAL SITE PLAN

PROPOSED FIRST FLOOR PLAN

PROPOSED ELEVATIONS

EXISTING VEGETATION PLAN

PROPOSED GROUND FLOOR PLAN

LANDSCAPE PLAN (CONCEPTUAL) LANDSCAPE SCHEDULE AND DETAILS LANDSCAPE SPECIFICATIONS IRRIGATION SPECIFICATIONS

PROPOSED ELEVATIONS PROPOSED SCHEMATIC BUILDING SECTION FIRST FLOOR LIFE SAFETY PLAN GROUND FLOOR LIFE SAFETY PLAN LIFE SAFETY DETAILS

EXISTING PARTIAL SITE PLAN PROPOSED OVERALL SITE PLAN

COVER SHEET

E-1 SITE LIGHTING PLAN C-100 EROSION CONTROL PLAN

C-300 SITE UTILITY PLAN

SURVEYS

C-200 GRADING AND DRAINAGE PLAN

A-0

A-1

A-2

A-3

A-4

A-5 LS-1 LS-2 LS-3

L-1

L-2

L-3

L-4 L-5

A-3.1

EX-1 EX-2

TEL. (305) 296-8302 FAX (305) 296-1033

LICENSE NO. AA 0003040

KEYS OVERNIGHT TEMPORARY SHELTER 5537 COLLEGE RD. KEY WEST, FLORIDA.

SEAL

DATE 11-04-2021 D.R.C. 11-30-2021 REV 12-09-2021 D.R.C. 02-11-2022 PL. BD.

REVISIONS

DRAWN BY EMA JFS CAB PROJECT NUMBER

2023





EXISTING OVERALL SITE PLAN

SITE PLAN BASED ON INFORMATION OBTAINED FROM SURVEY PREPARED BY AVIRON & ASSOCIATES DATED ON 04-08-2021.

# KEYS OVERNIGHT TEMPORARY SHELTER (KOTS) 5537 COLLEGE ROAD KEY WEST, FLORIDA

# WILLIAM P. HORN ARCHITECT, P.A.

915 EATON ST. KEY WEST, FLORIDA 33040

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SITE PLAN BASED ON INFORMATION OBTAINED FROM SURVEY PREPARED BY AVIRON & ASSOCIATES DATED ON 04-08-2021.

# WILLIAM P. HORN ARCHITECT, P.A.

# KEYS OVERNIGE TEMPORARY 5537 COLLEGE RD

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![](_page_7_Picture_4.jpeg)

![](_page_7_Figure_5.jpeg)

![](_page_7_Picture_6.jpeg)

# KEY SOVERNIGHT TEMPORARY SHELTER (KOTS) 5537 COLLEGE ROAD KEY WEST, FLORIDA

![](_page_7_Figure_12.jpeg)

WILLIAM P. HORN

![](_page_8_Figure_0.jpeg)

![](_page_9_Figure_0.jpeg)

![](_page_9_Figure_1.jpeg)

![](_page_10_Figure_0.jpeg)

	CRITERIA
A	USE AND OCCUPANCY
	R-1 CONGREGATE LIVING TRANSIENT
В	GENERAL BUILDING HEIGHTS/ AREAS/ CONSTRUCT
	OCUPANCY R-1
	CONSTRUCTION TYPE: IIB= R-1
	BUILDING HEIGHT: (TYPE IIB) (SPRINKLERED) R-1 = 75'-0" MAX
	BUIDLING STORIES: (TYPE IIB) (SPRINKLERED) R-1 = 5 STORY MAX
	BUILDING AREA: (TYPE IIB) (SPRINKLERED)
	R-1 = 64,000 SF
	SEPARATION REQUIREMENTS FOR
С	DIFFERENT OCCYPANCY TYPES
D	FIRE RESISTANT RATINGS FOR BUILDING ELEMENT STRUCTURAL FRAME: IIB = R-1
	BEARING WALLS
	EXTER
	INTER
	ROOF/CEILING CONSTRUCTION:
	SHAFT CONSTRUCTION:
	INTERIOR EG
	ELEVATOR SHAFT
	OPENINGS IN EXTERIOR WALLS
	FIRE RESISTANT RATINGS FOR EXTERIOR WALLS BA
	5'-0" ≤ X < 10'-0"
	10'-0" ≤ X < 30'-0"
E	MEANS OF EGRESS
	DORMITORIES- 50 S
	EGRESS COMPONENT WIDTH
	MINIMUM CORRIDOR WIDTH
	COMMON PATH:
	COMMON PATH:

STATUS FBC 2020 REFERENCE SPECIAL REQUIREMENTS/ COMPLIANCE CHAPTER 3 310.3 CHAPTERS 4-6 TION REQUIRED AUTOMIC FIRE SPRINKLER SYSTEM 420.1-420.5 REUIRED SMOKE AND FIRE ALARM SYSTEMS TABLE 601 602.2 BUILDING HEIGHT = 26'-6" OK TABLE 504.3a BUILDING STORIES = 2 STORIES ОК TABLE 504.4 BUILDING AREA: LOWER LEVEL: ENCLOSED = 384 SQFT COVERED = 10,208 SQFT OK TABLE 506.2 UPPER LEVEL: ENCLOSED = 10,422 SQFT COVERED = 310 SQFT CHAPTERS 4 & 5 BUILDING IS ONE OCCUPANCY NO SEPARATION IS REQUIRED CHAPTERS 6 & 7 OK TABLE 601 OHRS IOR: IIB = R-1 0 HRS OK TABLE 601 OK TABLE 601 OR: IIB = R-1 0 HRS OK TABLE 601 OHRS 0 HRS OK TABLE 601 OK TABLE 601 IIB = R-1 0 HR OK 713.4 GRESS STAIRS 1 STORY ELEVATED = 1HR ENCLOSURE 1 STORY ELEVATED = 1HR 25' - 30' SEPARATION = NO LIMIT OK TABLE 705.8 ASED ON IN/A TABLE 602 IN/A ОК TYPE IIB = OHRS REQUIRED ОК TYPE IIB = OHRS REQUIRED CHAPTER 10 QFT/PERSON UPPER LEVEL ENCLOSED SF = 10,422 / 50 SQFT PER PERSON = 208.44 TABLE 1004.5 OCCUPANTS MAX. TOTAL 208 OCCUPANTS MIN. 0.2" PER OCCUPANT = 40" MIN. 1005.3.2 2 EXIT REQUIRED MIN. 3 PROVIDED TABLE 1006.3.2 ОК 1010.1.1 36" PROVIDED ОК REQUIRED MIN 32" 60" PROVIDED TABLE 1020.2 REQUIRED MIN 44" ACTUAL: 15'-0" TABLE 1006.2.1 R-1 = 75'-0" MAX SEE LIFE SAFETY PLAN FOR ALL DISTANCES GREATEST ACTUAL: 126'-0" TABLE 1017.2 PRINKLERED 200'-0" MAX

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# KEYS OVERNIGHT TEMPORARY SHELTER 5537 COLLEGE RD. Key west, florida.

FIRE SPRINKLER SYSTEM

CONTRACTOR TO PROVIDE SHOP DRAWINGS SIGNED & SEALED BY A FLORIDA REGISTERED ENGINEER FOR A COMPLETE FIRE SPRINKLER SYSTEM TO CODE INCLUDING THE FIRE ALARM SYSTEM FOR REVIEW AND APPROVAL BY THE FIRE DEPARTMENT.

SEAL

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![](_page_12_Figure_0.jpeg)

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	<b>NS -</b> Chapter 108.412 t	o 108.416		ED	KEYS
E AREA	REQUIRED	PROVIDED		ОНВІТ	DVERNIGHT
ACRES	20% / 8,520 SF	35% / 14,980 SF		IS PRO	EMPORARY
ANT REQUIREMENT 70%	PROVIDED	PERCENTAGE		, INC.	HOUSING
	X X	30% (-)		ESIGN	5537 COLLEGE ROAD
NTAGE LANDSCAPING ALONG ROW	/			WISE D	STOCK ISLAND, FL 33040
				A LAND	
EQUIREMENT	REQUIRED	PROVIDED		I FROM	
12 TREES REQUIRED) n, seagrape, sabal palms)	12	12+	_	SSION	
REQUIREMENT				PERMI	
ngrove / wetland			_	LLEN	NORTH
SPACE (NOS) TREE REQUIREMENT				D WRI	++
an city parcer that provides excess NO.				RESSE	SCALE: 1" = 20'
LANDSCAPE CALCULATIO	NS - Chapter 108.346 1	to 108.347		JT EXPF	6000.00000
	REQUIRED	PROVIDED		VITHOL	ANDSCADE AS
. OF TOTAL SITE AREA (42,602)	20% / 8,520 SF	64.7% /27,602 SF		M NOI	LA 6666692
				DUCT	X add opens
/IPACT / MULTIFAMILY 5' "B" Buffer @ = 2.15)	40 PU's per 100'			REPRO	
, 	PLANT PROVIDED	x PLANT UNITS	PU's PROVIDED	ORF	FLORIDA
d Slvr. Buttonwood Trees) Canopy Trees Understory Trees	<u> </u>	10 0	120 0	Y USE	< <u>2000000</u>
(utilizes cordgrass) Shrubs	80	1	80	AN	
TOTAL PU'S PROVIDED			200		
R USES - NO SCREENING					
Ilowing PU's are Provided Anyway		X PLANT LINITS			
Canopy Trees	0	10	0		
wood, Dwf Tabebuia) Understory Trees	14 96	5	70		4
TOTAL PU's PROVIDED			166		
EN NOT APPLICABLE					<b>H</b>
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				1936 S	DESAN MARCO BLVD. SUITE 101 - JACKSONVILLE, FL 32207 904.343.4194

![](_page_14_Picture_0.jpeg)

GENERAL LANDSCAPE NOTES:

- 1. CHANGES MAY OCCUR DURING THE NORMAL COURSE OF IMPLEMENTATION. VERBAL CHANGE ORDERS WILL NOT BE HONORED. ANY CHANGES MUST BE SUBMITTED TO LANDSCAPE ARCHITECT IN WRITING AS A CHANGE ORDER TO BE **REVIEWED AND APPROVED IN WRITING BY OWNER/CLIENT.**
- ALL NEWLY PLANTED AREAS TO RECEIVE 100% COVERAGE BY AUTOMATIC IRRIGATION SYSTEM (DRIP PREFERRED) UNLESS OTHERWISE DIRECT BY OWNER. LANDSCAPE CONTRACTOR TO COORDINATE INSTALLATION OF IRRIGATION SYSTEM WITH IRRIGATION CONTRACTOR. IRRIGATION TIME CLOCK TO BE HARD WIRED ON COMPLETION -RESPONSIBILITY OF IRRIGATION CONTRACTOR. LANDSCAPE CONTRACTOR TO HAND WATER OR ARRANGE FOR WATERING DURING PLANTING UNTIL IRRIGATION SYSTEM IS 100% OPERABLE. THIS IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- 3. LANDSCAPE CONTRACTOR TO BECOME FAMILIAR WITH THE SCOPE OF WORK AS WELL AS THE SITE, DIGGING
- CONDITIONS, AND ANY OBSTACLES PRIOR TO BIDDING.
- 4. LANDSCAPE CONTRACTOR SHALL LOCATE AND VERIFY ALL UNDERGROUND UTILITIES PRIOR TO DIGGING. 5. ALL PLANT MATERIAL IS TO BE FLORIDA NO. 1 OR BETTER. FLORIDA DEPARTMENT OF AGRICULTURE GRADES AND STANDARDS, PARTS I & II, 1975, RESPECTIVELY.
- 6. ALL TREES TO BE STAKED IN A GOOD WORKMAN LIKE MANNER. NO NAIL STAKING PERMITTED.
- 7. LANDSCAPE PLAN SHALL BE INSTALLED IN COMPLIANCE WITH ALL LOCAL CODES.
- 8. ALL TREE HOLES TO BE BACK FILLED AROUND AND UNDER ROOT BALL WITH WASHED BEACH SAND AND PLANTING MIX. ALL SHRUB BEDS TO BE INSTALLED WITH WASHED BEACH SAND AND PLANTING MIX. 9. ALL TREES, SHRUBS AND GROUND COVERS SHALL BE GUARANTEED FOR ONE YEAR FROM DATE OF FINAL
- ACCEPTANCE. ALL PALMS ARE TO GUARANTEED FOR ONE YEAR.
- 10. ALL PLANTING BEDS SHALL BE WEED AND GRASS FREE. 11. ALL TREES, PALMS, SHRUBS AND GROUND COVER PLANTS SHALL BE FERTILIZED AT INSTALLATION ACCORDING TO MANUFACTURERS' RECOMMENDATIONS. TYPE AND AMOUNT OF FERTILIZER IS UP TO DISCRETION OF LANDSCAPE CONTRACTOR IN ORDER TO AVOID "BURN" ON PLANTS THAT MAY ALREADY CONTAIN FERTILIZER FROM NURSERY AND ENSURE PROPER ESTABLISHMENT TO MAINTAIN CONTRACTORS WARRANTY.
- 12. PLANTING PLAN SHALL TAKE PRECEDENCE OVER PLANT LIST IN CASE OF DISCREPANCIES.

13. NO CHANGE SHALL BE MADE WITHOUT PRIOR CONSENT OF LANDSCAPE ARCHITECT. 14. ALL MATERIAL SHALL BE SUBJECT TO AVAILABILITY AT TIME OF INSTALLATION. SUBSTITUTIONS MAY BE MADE AFTER CONSULTATION WITH LANDSCAPE ARCHITECT.

- 15. LANDSCAPE CONTRACTOR TO COORDINATE HIS WORK WITH GENERAL CONTRACTOR, IRRIGATION CONTRACTOR, AND THE ELECTRICAL CONTRACTOR.
- 16. ALL EXISTING PLANT MATERIAL TO REMAIN SHALL BE PROTECTED.
- 17. ALL TREES TO BE RELOCATED WILL BE ROOT PRUNED 30 DAYS MINIMUM (OR MORE IF REQUIRED BY SPECIES). UPON RELOCATION, THIN OUT 30% OF THE RELOCATED TREES' CANOPY. 18. AFTER REMOVAL OR RELOCATION OF EXISTING TREES AND PALMS, BACKFILL TREE PIT WITH WASHED BEACH SAND,
- AND SOD DISTURBED AREA, IF REQUIRED.
- 19. ALL TREES ON SOD AREA SHALL RECEIVE A MULCH RING 2" IN DIAMETER TYPICAL.
- 20. ALL TREES SHALL HAVE 2" CALIPER AT D.B.H. MINIMUM FOR A 10' HEIGHT TREE. 21. ALL 1 GALLON MATERIAL TO HAVE 12" SPREAD MINIMUM, ALL 3 GALLON MATERIAL TO HAVE 20-24" SPREAD
- MINIMUM
- 22. LANDSCAPE CONTRACTOR TO BE COUNTY OR CITY LICENSED WHERE WORK IS TO BE PERFORMED. LIABILITY AND WORKMANS COMP INSURANCE IS REQUIRED FOR EACH AND EVERY EMPLOYEE TO BE ON-SITE AT ANY TIME DURING IMPLEMENTATION. PAPERWORK TO THIS EFFECT TO BE PROVIDED ON REQUEST WITHIN 2 BUSINESS DAYS.

END

IRRIGATION NOTES:

- 1. ALL MAJOR PALMS TO HAVE TWO BUBBLERS ON OPPOSING SIDES OF ROOT BALL. BUBBLERS TO BE HIDDEN FROM
- VIFW
- IMPLEMENTATION. AVOID ROOT BALLS OF TREES AND LARGE PLANT MATERIALS. REFER TO LANDSCAPE DRAWINGS.
- 3. ALL PIPE TO BE PVC SCHEDULE 40, 8" MINIMUM COVER.
- 4. ALL HEADS INSTALLED ON FLEXIBLE PVC PIPE AND FITTINGS. 5. PRESSURIZED BACKFLOW, RAIN SWITCH, AND MULTI-PROGRAMMABLE CONTROLLER WITH BATTERY BACKUP
- REQUIRED. 6. ALL CROSSINGS UNDER PERMANENT CONCRETE TO BE SLEEVED TWO TIMES THE SPRINKLER PIPE SIZE WITH SCHEDULE 16. IRRIGATION CONTRACTOR TO BE COUNTY AND CITY LICENSED WHERE WORK IS TO BE PERFORMED. LIABILITY AND 40 PVC.
- 7. ALL VALVES TO HAVE FLOW CONTROL AND BE INSTALLED IN GREEN VALVE BOXES WITH ROOM TO WORK IN FUTURE. 8. ALL VALVE BOXES TO BE LOCATED AWAY FROM WALKWAYS, GARDEN PATHS, AND GROUNDCOVERS - KEEP TO 17. AS-BUILT IRRIGATION DRAWING TO BE PROVIDED PRIOR TO FINAL PAYMENT.
- BACK OF BEDS. 9. ALL SPRINKLERS TO BE COMMERCIAL GRADE TORO 570 SERIES 4" AND 12" AND INSTALLED OUT OF SIGHT.

TREE BRACING NOTES

#### 2" AND LARGER CALIPER TREES BRACED BY GUYING:

- WITHIN 48 HOURS OF PLANTING THE TREE 2. CUT LENGTHS OF STAKING HOSE TO EXTEND 2 INCHES PAST TREE TRUNK WHEN WRAPPING AROUND. showing.
- 4. PLACE THE HOSE AROUND THE TRUNK JUST ABOVE THE LOWEST BRANCH.
- TWO ENDS BEYOND THE STAKE BEFORE CUTTING THE WIRE. 6. TWIST WIRE AT RUBBER HOSE TO KEEP IT IN PLACE CUTTING OFF THE EXCESS.
- 9. FLAG THE GUY WIRES WITH SURVEYORS FLAGGING OR APPROVED EQUAL FOR SAFETY. 10. GUYS ARE NOT TO BE REMOVED UNTIL APPROVED BY LANDSCAPE CONTRACTOR.

## SPECIMEN TREES AND TALL PALMS BRACED WITH PROPS:

- OF THE TREE OR PALM, BUT NOT LESS THAN 4 FEET, WHICHEVER IS GREATER.
- 13. SELECT THE PROPER LENGTH AND SIZE OF BATTENS (PT 2"X4"X12"-16") 14. USE THE SAME NUMBER OF BATTENS AS PROPS BEING USED.
- 15. PLACE THE BATTENS VERTICALLY AND EVENLY SPACED AGAINST THE BURLAP. 16. PLACE THE BATTENS IN PLACE WITH METAL OR PLASTIC BANDING STRAPS. DO NOT NAIL INTO TREE.
- PROPS AGAINST THE FRONT OF THE CURVE OF THE PALM OR TREE. PALM WITH NAILS.

END

- GPM 11. WATER CONNECTION TO THE HOUSE, INCLUDING SHUT-OFF VALVES, SHALL NOT BE ALTERED BY PRESSURIZED
- BACKFLOW. INSTALLED WITH WATER PROOF CONNECTIONS.
- 13. 2 SPARE WIRES TO BE RUN TO THE LAST VALVE IN EACH DIRECTION.
- 15. SYSTEM TO PROVIDE 100% CONTROLLED COVERAGE ON COMPLETION. ADDITIONS/MODIFICATIONS FROM
- IRRIGATION PLAN MAY BE NECESSARY.

- END

1. CHOOSE THE CORRECT SIZE AND NUMBER OF STAKES AND SIZE OF HOSE AND WIRE. GUYING SHALL BE COMPLETED

3. SPACE STAKES EVENLY ON OUTSIDE OF WATER RING AND DRIVE EACH FIRMLY INTO GROUND. STAKES SHOULD BE DRIVEN AT A 30 DEGREE ANGLE WITH THE POINT OF THE STAKE TOWARD THE TREE UNTIL 4 TO 5 INCHES ARE LEFT

5. THREAD THE WIRE THROUGH THE HOSE AND PAST THE STAKE, ALLOWING APPROXIMATELY 2 FEET OF EACH OF THE

7. PULL WIRE DOWN AND WIND BOTH ENDS AROUND STAKE TWICE. TWIST WIRE BACK ONTO ITSELF TO SECURE IT BEFORE

8. THE ABOVE PROCEDURES ARE TO BE FOLLOWED FOR EACH STAKE, KEEPING THE TREE STRAIGHT AT ALL TIMES. THERE SHOULD BE A 1 TO 3 INCH SWAY IN THE TREE (THE WIRES SHOULD NOT BE PULLED TIGHT) FOR BEST ESTABLISHMENT.

11. CHOOSE THE CORRECT SIZE, LENGTH, AND NUMBER OF PROPS TO BE USED (PRESSURE TREATED (PT) 2"X4", 4"X4"). 12. WRAP AT LEAST 5 LAYERS OF BURLAP AROUND TRUNK OF THE PALM AT LEAST 4 INCHES WIDER THAN THE BATTENS BEING USED. BATTENS SHOULD BE MOUNTED AT A POINT  $\frac{1}{3}$  of the distance from ground to the clear trunk

17. WEDGE LOWER END OF PROP INTO SOIL AND SECURE WITH A 2"X4"X30" STAKES. PROPS SHOULD BE INSTALLED AT A 30 TO 40 DEGREE ANGLE FROM THE BATTENS AND OF SUFFICIENT LENGTH TO REACH THE GROUND. NOTE: ON STRAIGHT TREES OR PALMS, SPACE PROPS EQUAL DISTANCE AROUND TREE OR PALM. ON CURVED PALMS OR TREES, SPACE

18. CUT A SMOOTH ANGLE AT THE END OF THE PROPS. ALIGN WITH AND NAIL INTO BATTENS. DO NOT PENETRATE TREE OR

19. IF IT APPEARS THAT ADDITIONAL CONSTRUCTION WORK WILL TAKE PLACE NEAR TO OR IN VICINITY OF THE NEWLY BRACED TREES OR PALMS, THEN PROPS ARE TO BE CLEARED LABELED WITH THE STATEMENT "DO NOT REMOVE". 20. PROPS ARE NOT TO BE REMOVED UNTIL APPROVED BY THE LANDSCAPE CONTRACTOR.

10. IRRIGATION CONTRACTOR TO MEASURE WATER AVAILABLE ON-SITE AND USE NO MORE THAN 75% OF AVAILABLE

2. IRRIGATION CONTRACTOR TO COORDINATE LOCATION OF MAIN LINES WITH LANDSCAPE CONTRACTOR PRIOR TO 12. ALL WIRE SPLICES TO BE IN VALVE BOXES AND CLEARLY LABELED AT BACK OF TIME CLOCK. ALL WIRE SPLICES TO BE

14. CONTROLLER TO BE HARD-WIRED AT TIME OF COMPLETION AND INCLUDED IN IRRIGATION CONTRACTORS BID.

WORKMANS COMP INSURANCE IS REQUIRED FOR EACH AND EVERY EMPLOYEE TO BE ON-SITE AND AT ANY TIME DURING IMPLEMENTATION. PAPERWORK TO THIS EFFECT TO BE PROVIDED ON REQUEST WITHIN 2 BUSINESS DAYS.

# SHRUB PLANTING DETAIL

4" MULCH —

6" MIN. PREPARED TOPSOIL AND/OR SUITABLE EXISTING SOI

> ALL SHRUBS ARE TO BE POSITIONED VERTICALLY REGARDLESS OF THE SLOPE OF THE GROUND IN WHICH THEY ARE PLANTED. WATER RINGS ARE TO BE CONSTRUCTED AT RIGHT ANGLES TO THE TREE OR SHRUB OR IN A MANNER IN WHICH THEY WILL MOST EFFECTIVELY SERVE THE PURPOSE OF RETAINING WATER AT THE BASE OF THE PLANT.

O.C. SPACING

ARBORGUY PRO 40 (UP TO 4" CAL.) AND ARBORGUY PRO 60 (UP TO 6" CAL. NSTALLED PER MANUFACTURER'S SPECS (OR EQUAL 3" DISH AROUND TREE

![](_page_14_Picture_86.jpeg)

ALL TREES ARE TO BE POSITIONED VERTICALLY REGARDLESS OF THE SLOPE OF THE GROUND IN WHICH THEY ARE PLANTED. WATER RINGS ARE TO BE CONSTRUCTED AT RIGHT ANGLES TO THE TREE OR SHRUB OR IN A MANNER IN WHICH THEY WILL MOST EFFECTIVELY SERVE THE PURPOSE OF RETAINING WATER AT THE BASE OF THE PLANT

THE ROOTBALL OF THE TREE SHOULD BE POSITIONED IN THE HOLE SO THAT THE FINISH GRADE OF THE BACKFILL SOIL AND LANDSCAPE SOIL IS 2" LOWER THAN THE TOP OF THE ROOTBALL. MULCH SHOULD COVER THE EDGE OF THE ROOTBALL, DO NOT MULCH ON TOP OF ROOTBALL.

## GENERAL NOTES:

100% OF THE PLANT MATERIAL USED TO SATISFY LANDSCAPING REQUIREMENTS SHALL BE NATIVE and IN ACCORDANCE WITH SECTION 114-105.

**100% IRRIGATION COVERAGE SHALL BE PROVIDED TO ALL PROPOSED PLANTING AREAS. SAID SYSTEM SHALL BE** DESIGNED IN COMPLIANCE WITH CoKW CODE.

ALL PLANT MATERIAL SHALL BE PLANTED WITH A MINIMUM OF 6" OF PLANTING SOIL AND MULCHED TO A DEPTH OF 4". ALL TREES SHALL BE PROPERLY GUYED OR STAKED AT TIME OF PLANTING.

PLANT SCHED	ULE - KOTS - Keys Overnight	Temporary Shelter					
QTY.	COMMON NAME	BOTANICAL NAME	SIZE	NOTE	NATIVE	MIT. RATIO	MIT. CREDIT
TREES				or Better			
Canopy							
1	PIGEON PLUM	Coccoloba diversifolia	3" cal., 12'-14' ph	FL #1	NATIVE	1:1	3
4	GREEN BUTTONWOOD	Conocarpus erectus	3" CAL., 10'-12' ph	FL #1	NATIVE	1:1	12
Understory							
11	SEAGRAPE	Coccoloba uvifera	3" cal., 25g, multi, min. 6'-8' ph, 4'-5' sprd., full to grnd.	FL #1	NATIVE	1:1	33
5	DWF. WHITE TABEBUIA	Tabebuia bahamensis	2"-3" cal.,10'-12' ph, 4'-6' sprd.,	FL #1	NATIVE	1:1	10
12	CRABWOOD	Gymnanthes lucida	2" cal., 6"-8' ph, 4' o.c.	FL #1	NATIVE	1:1	24
						Total Tree Inches	67
PALMS							
16	SABAL PALM	Sabal palmetto	(6) 10' ct, (9) 12' ct, regens, slick-skinny	FL #1	NATIVE		
4	GREEN THATCH PALM	Thrinax radiatta	6' c.t., full Canopy	FL #1	NATIVE		
SHRUBS and GROU	JNDCOVERS						
18	LOCUSTBERRY	Brysonima lucida	3 gal., full	FL #1	NATIVE		
2	RADERMACHERA	radermachera kunming	7 gal., full	FL #1			
33	HORIZONTAL COCOPLUM	Chrysobalanus icaco 'Horizontal'	3 gal., full	FL #1	NATIVE		
38	SIMPSON STOPPER	Myrcianthes fragrans	7 gal., 36" hgt, 18-24" sprd	FL #1	NATIVE	1:1	76
180	COONTIE	Zamia pumilia	7 gal., 24"-30" sprd./hgt.	FL #1	NATIVE		
188	CORDGRASS	Spartina bakerii	3 gal., full	FL #1	NATIVE		
			-				
SOD & SUNDRY IT	EMS						
0 SF	n/a	CONTRACTOR TO VERIFY QUANITY		FL#1			
0 LF	SMALL CORAL ROCKS FOR EDGING						
5,900 SF	CYPRESS MULCH	COLOR: NATURAL CYPRESS MULCH.					
0 SF	BLACK MEXICAN RIVER PEBBLES						
0 LF	BLACK ALUMINUM EDGING						

![](_page_14_Picture_94.jpeg)

STOCK ISLAND, FL 33040 SCALE: 1" = 20' ш  $\mathbf{O}$ 

**KEYS** 

**OVERNIGHT** 

TEMPORARY

HOUSING

5537 COLLEGE ROAD

			 F: 4 44 00
5	RE		E. 1.14.22
í		-	
	No.	Date	Notes
	1.		
	2.		
	3.		
5	4.		
	5.		
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	7.		
	JC	SHE DB #: 20005	ET NUMBER: <b>L-3</b> 5 DRAWN BY: LBR
	00 1	THIS DRAWING IS TH UNLESS OTHERWISH INTENTS OF THIS DF NOT BE TRANSMITTH AGREED TO	HE PROPERTY OF LANDWISE DESIGN, E PROVIDED FOR BY CONTRACT, THE RAWING ARE CONFIDENTIAL AND SHALL ED TO ANY OTHER PARTY EXCEPT AS D BY LANDWISE DESIGN, INC. Copvright 2022
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DESIGN 36 SAN MARCO BLVD, SUITE 101 - JACKSONVILLE, EL 32207 904 343 4194

## SECTION 02950

#### TREES, PLANTS AND GROUND COVERS

#### PART 1 GENERAL 1.01 SECTION INCLUDES

A. Extent of landscape development work is shown on drawings and in schedules.

- B. Sodding of areas disturbed during construction exclusive of paved areas.
- C. Transplanting of existing trees, palms and plant material. (thatch palms are currently proposed for this project)
- D. Prior to construction activities, all trees, palms and plant material to be relocated.

E. Watering of planted materials

1.02 RELATED SECTIONS

A. Section 02810-Underground Irrigation Specifications

#### B. Section 02935 Soddina

#### 1.03 SUBMITTALS

#### A. Comply with provisions of General Conditions

- B. Certificates of inspection as required by governmental authorities and manufacturer's or vendor's certified analysis for soil amendments and fertilizer materials. Submit other data substantiating that materials comply with specified requirements.
- C. Vendor's certified statement for each grass seed mixture required, stating botanical and common name, percentage by weight, and percentages of purity, germination, and weed seed for each grass seed species.

#### D. Soil test reports.

E. Maintenance Instructions: Typewritten instructions recommending procedures to be established by Owner for maintenance of landscape work for one full year. Submit prior to expiration of required maintenance periods.

F. Provide reproducible <u>As-Built</u> drawing after final acceptance by owner.

1.04 QUALITY ASSURANCE A. Landscape work shall be performed by a single firm specializing in landscape work.

- B. Obtain agronomic soils tests for all planting areas. Tests shall be performed by an approved acronomic soils testing laboratory and shall include fertility and suitability analysis with written recommendations for soil amendments, fertilizer, and chemical conditioner application rates for soil preparation, planting backfill mix, and post maintenance fertilization program. Submit a copy of soils test to Architect.
- C. Obtain soil test from existing stockpiled topsoil, if any, to determine type and amount of amendments needed for areas that are to receive stockpiled topsoil.
- D. Ship landscape materials with certificates of inspection as required by governmental authorities. Comply with governing regulations applicable to landscape materials.
- E. Substitutions: Do not make substitutions. If specified landscape material is not obtainable, submit proof of non-availability and proposal for use of equivalent material to Architect. When authorized, adjustment of contract amount will be made.
- F. Analysis and Standards: Package standard products with manufacturer's certified analysis. For other materials, provide analysis by recognized laboratory made in accordance with methods established by the Association of Official Agricultural Chemists, wherever applicable or as further specified.
- G. Topsoil: Fine sand or loamy fine sand indigenous to the area suitable for plant growth that is free of weeds, roots, stumps, rocks larger than ½inch diameter, organic muck, hard pan, toxic substances detrimental to plant growth, and construction debris such as limerock, concrete, and asphalt pieces. Deliver in normally moist condition, neither muddy nor wet.
- H. Trees and Shrubs: Plant names indicated are to comply with "Standard Plant Names" as adopted by latest edition of American Joint Committee of Horticultural Nomenclature. Names of varieties not listed conform generally with names accepted by the nursery trade. Provide stock true to botanical name and legibly tagged. Provide healthy, vigorous stock grown under climactic conditions similar to conditions in locality of project; free of disease, insects, eggs, larvae and defects such as knots, sun-scald, injuries, abrasions or disfigurement. ALL PLANTS TO BE FLORIDA #1 OR BETTER.
- I. Sizes: Comply with sizing and grading standards of latest edition of American Standard for Nursery Stock. A plant shall be dimensional as it stands in its natural position. Stock furnished shall be at least minimum size indicated. Larger stock is acceptable at no additional cost unless a written change order is issued.
- J. Inspection: Landscape Architect reserves the right to inspect trees and shrubs either at place of growth or at site before planting for compliance with requirements for name, variety, size and quality. 1. Such approval shall not impair the right of inspection and rejection upon delivery at the site
- during the progress of work.

#### 1.05 DELIVERY, STORAGE AND HANDLING

- A. Packaged Materials: Deliver packaged materials in containers showing weight, analysis and name of manufacturer. Protect materials from deterioration during delivery and while stored at
- B. Trees and Shrubs: Provide container grown or balled and burlapped trees and shrubs. Do not use trees or shrubs which have been in cold storage or heeled-in. Do not prune prior to delivery. Do not bend or bind-tie trees or shrubs in such manner as to damage bark, break branches or destroy natural shape. Provide protective covering during delivery.
- C. Deliver trees and shrubs after preparations for planting have been completed and plant immediately. Cover plants transported on open vehicles with a protective covering to prevent wind burn. If planting is delayed more than six hours after delivery, set trees and shrubs in shade, protect from weather and mechanical damage, and keep roots moist.
- D. Do not remove container grown stock from containers until planting time.
- E. Label at least one tree and one shrub of each variety with a securely attached waterproof tag bearing legible designation of botanical and common name.

#### 1.06 PROJECT REQUIREMENTS

- A. Proceed with and complete landscape work as rapidly as portions of site become available, working within seasonal limitations for each kind of landscape work required.
- B. Utilities: Determine location of underground and above ground utilities and perform work in manner which will avoid possible damage. Hand excavate, as required, to minimize possibility of damage to underground utilities. Maintain grade stakes set by others until removal is mutually agreed upon by all parties concerned.
- C. Excavation: When conditions detrimental to plant growth are encountered, such as rubble fill, adverse drainage conditions or obstructions, notify Architect before planting.
- D. Planting Schedule: Prepare a proposed planting schedule. Schedule dates for each type of landscape work during normal seasons for such work in area of site. Correlate with specified maintenance periods to provide maintenance until final completion of work under contract.
- E. Coordination with Lawns: Plant trees and shrubs after final grades are established and prior to planting of lawns, unless otherwise acceptable to Landscape Architect. If planting of trees and shrubs occurs after lawn work, protect lawn areas and promptly repair damage to lawns resulting from planting operations.

- 1.07 WARRANTY Contractor's control.
- requirements.

#### PART 2 PRODUCTS

### 2.08 TOPSOIL

- found at project site.
- 2.09 SOIL AMENDMENTS 100 mesh sieve

# 20 percent phosphoric acid.

- percent total nitrogen, and from 3 percent to 5 percent soluble potash
- initial period of growth. 3. Palm Fertilizer - Slow release "Palm Special" granular fertilizer which includes trace elements of iron, magnesium and manganese.

2.10 PLANT MATERIALS - GENERAL

diameter.

# Cracked or loose balls are not acceptable.

- G. Plants larger than those specified in the plant list may be used and are acceptable in most

### I. Coniferous trees shall be branched to the ground.

## 2.11 CONTAINER GROWN STOCK developed to hold its soil together, firm and whole.

B. No plants shall be loose in the container.

# 2.12 SHRUBS AND SMALL PLANTS

- plant and not the longest branch.
- E. Plants shall be in moist, vigorous condition, free from dead wood, bruises or other root or

branch iniuries.

shown or listed.

# 2.13 FERTILIZER as to provide a continuous time released character shrubs and trees on an individual basis. cover beds.

2.14 MULCH inch in width

#### A. Warranty trees and shrubs, for a period of one year after date of acceptance, against defects including death and unsatisfactory growth except for defects resulting from neglect by Owner, abuse or damage by others, or unusual phenomena or incidents which are beyond

B. Warranty shall not include damage or loss of trees, plants or ground covers caused by fires, floods, severe freezes not typical to the region, winds over 75 mph or acts of vandalism.

C. Remove and replace trees, shrubs, or other plants found to be dead or in unhealthy condition during warranty period. Plant missing trees, shrubs and ground covers. Make replacements during growth season following end of warranty period. Furnish and plant replacements which comply with requirements shown and specified. Also, replace trees and shrubs which are in doubtful condition at end of warranty period. Only one replacement shall be required at end of warranty period, except for losses or replacements due to failure to comply with specified

A. Topsoil for landscape work is not available at site and shall be furnished as specified.

B. Provide new topsoil which is fertile, friable, natural loam, surface soil, reasonably free of subsoil, clay lumps, brush, weeds and other litter and free of roots, stumps, stones larger than 1/2 inches in any dimension, and other extraneous or toxic matter harmful to plant growth. 1. Obtain topsoil from local sources or from areas having similar soil characteristics to that

2. Obtain topsoil only from naturally well-drained sites where topsoil occurs in a depth of not less than four inches; do not obtain from bogs or marshes.

A. Lime: Natural limestone containing not less than 85 percent of total carbonates, ground so that not less than 90 percent passes a 10 mesh sieve and not less than 50 percent passes a

B. Peat Humus: FS Q-P-166 and with texture and pH range suitable for intended use, or Florida

C. Bone Meal: Commercial, raw, finely ground; 4 percent nitrogen and

D. Superphosphate: Soluble mixture of treated minerals; 20 percent available phosphoric acid. E. Commercial Fertilizer: Complete fertilizer of neutral character with some elements derived from

organic sources and containing following percentages of available plant nutrients: 1. Trees and Shrubs: Minimum 10 percent available phosphoric acid, from 3 percent to 5

2. Lawns: Minimum 4 percent phosphoric acid, minimum 2 percent potassium, and percentage of nitrogen required to provide not less than one pound of actual nitrogen per 1,000 sq.ft. of lawn area. Provide nitrogen in a form that will be available to lawn during

F. Sand: Clean, washed builders sand free of salt, weeds, sticks and other debris.

G. Organic Soil Amendment: Pinebark chunks smaller in size but not greater than 3/4 inches in

A. Name and Variety: Provide plant materials true to name and variety established by American Joint Committee on Horticultural Nomenclature "Standardized Plant Names".

B. Quality: Provide trees, shrubs and other plants complying with recommendations and requirements of ANSI Z60.1 "Standard for Nursery Stock" and as further specified.

C. Provide plants typical of their species or variety with normal, densely developed branches and bus, fibrous root systems. Provide only sound, nealthy, vigorous plants free from defects, disfiguring knots, sunscald injuries, frost cracks, abrasions of the bark, plant diseases, insect eggs, borers and all other forms of infestation. Plants shall have a fully developed form without voids and open spaces.

D. Dig balled and burlapped plants with firm, natural balls of earth sufficient in diameter and depth to encompass the fibrous and feeding root system necessary for full recovery of plant. Provide ball sizes complying with latest edition of American Standard for Nursery Stock.

E. Provide tree species true to normal species, character and habit. Single trunk trees will not be acceptable with "Y" shape trunk in the main leader. Culls will not be acceptable.

F. Plants planted in rows shall be matched in form.

instances, but should be verified by Owner.

H. The height of trees, measured from the crown of the ball to the top of the top branch, shall not be less than the minimum size designated in the plant list prior to topping and pruning.

A. Stock shall be grown in container for sufficient length of time for root system to have

C. Container stock shall not be pot bound.

A. Requirements for spread and height are indicated in plant list.

B. Measurements for height shall be taken from ground level to the average height of top of

C. Single stemmed or thin plants will not be acceptable.

D. Side branches shall be generous, well-twigged and, the plant as a whole, well-bushed to ground.

F. Provide plants established and well-rooted in removable containers or integral peat pots and with less than minimum number and length of runners required by ANSI Z60.1 for post size

A. Plant fertilizer Type A, commercial type, containing at least 12 percent nitrogen, 12 percent phosphoric acid, and 12 percent potash and whose composition is at least 50 percent organic so 1. Preferred Type: Pelletized or briquette form, such as Agriform tablets for use in planting

2. Granular Type A to be incorporated into topsoil of planting beds, annual beds and ground

A. For Use in Backfill Mixtures: Well-shredded pine bark or native hardwood not larger than 1/2

B. Bed and Tree Dressing Mulch: 1. Premium pine straw; furnish in bales free of sticks and rubbish.

2.15 ACCESSORIES

- A. Topsoil: Fertile, friable, natural, of loamy character, without a mixture of subsoil material, shall be obtained from a well-drained arable site, or from on-site stockpile, being reasonably free from clay, lumps, coarse sands, stones, roots, sticks and other foreign materials, with a acidity range of between Ph 6.0 and 6.8.
- B. Peat Moss: Brown to black in color, weed and seed free, granulated, raw peat or baled peat, containing not more than 9 percent mineral on a dry basis.
- C. Water: Free of substances harmful to plant growth.
- D. Stakes for Tree Staking: Common and acceptable in region of project.
- E. Guying Wire: 10 or 12 gage galvanized wire.
- F. Turnbuckles: Galvanized steel or aluminum of size and gage required to provide tensile strength equal to that of guying wire. Turnbuckles opening shall be at least 3 inches to allow for periodic adjustments.
- G. Staking and Guying Hose: Two-ply reinforced garden hose not less than 1/2 inch inside
- H. Erosion Control Fabric: Supergro or equal.
- I. Twine: Two-ply jute material.
- J. Soil Separator: Heat resistant filter fabric, water permeable and unaffected by freezing and thawing
- K. Drainage Fill: AASHTO M43#6; 3/8 inch to 3/4 inch clean, uniformly graded stone.
- L. Erosion Control Fabric: Dewit Weed Barrier or equal.

2.16 ANTI-DESICCANT

- A. Emulsion type, film-forming agent designed to permit transpiration but retard excessive loss of moisture from plants.
- B. Deliver in manufacturer's fully identified containers and mix in accordance with manufacturer's instructions.
- C. Acceptable Manufacturers:
- 1. Dow Chemical Company; Dowax. 2. Nursery Specialty Products, Inc.; Wilt-Proof.

2.17 PLANTING SOIL MIXTURE

- A. Mix: 1/3 parts organic soil amendment to 1/3 parts "Florida Muck" or equivalent to 1/3 parts clean, washed builders sand.
- B. Add soil amendments as recommended by soil test in quantities necessary to bring soil mixture to pH rating of between 5.5 and 6.0. Minerals used for pH correction shall be commercially produced for this purpose.
- C. For pit and trench type backfill, mix planting soil prior to backfilling and stockpile at site.
- D. For ground cover and other planting beds, mix planting soil mixture either prior to planting or apply on surface of topsoil and mix thoroughly before planting. 1. Mix lime with dry soil prior to mixing of fertilizer.
- 2. Prevent lime from contacting roots of acid-loving plants.
- 3. Apply phosphoric acid fertilizer, other than that constituting a portion of complete fertilizers, directly to subgrade before applying planting soil and tilling.
- E. For palms, plant in existing suitable soil or a mixture of 75% sand and 25% perlite.

PART 3 EXECUTION

3.18 EXAMINATION

fy elevations, observe conditions under which work is to be performed. A. Examine sub and correct unsatisfactory conditions before proceeding with the work or notify Landscape Architect if adverse conditions are discovered which will inhibit plant growth.

3.19 PREPARATION

- A. Lay out individual tree and shrub locations and areas for multiple plantings. Stake locations and outline areas and secure Landscape Architect's acceptance before start of planting work. Make minor adjustments as may be requested.
- B. In planting beds, where plants are spaced 3 feet on center or less, work soil amendments as required by soils test. Remove stones over 1-1/2 inches in any dimension, stick, rubbish and other extraneous matter. Use a cutimulcher or other similar equipment to work amendments into soil.

3.20 PLANTERS A. Place minimum 4 inch layer of gravel in bottom of planters and fill with planting soil mixture. Place soil in lightly compacted layers to an elevation 1-1/2 inches below top of planter allowing for natural settlement. For interior planters, soil mixture shall be a sterile mixture used for

3.21 EXCAVATION - TREES AND SHRUBS

interior plantings such as Metromix or equal.

- A. Excavate pits, beds, and trenches with vertical sides and with bottom of excavation slightly raised at center to provide proper drainage. Loosen hard subsoil in bottom of excavation.
- B. Bare Root Trees and Shrubs: Make excavations minimum 1'-0" wider than root spread and deep enough to allow for setting of roots on a layer of compacted planting soil mixture and with collar set at same grade as in nursery but 2 inches below finished grade at site. Allow for 9 inch setting layer of planting soil mixture.
- C. Balled and Burlapped (B&B) Trees and Shrubs: Make excavations minimum twice as wide as ball diameter and equal to ball depth.
- D. Container Grown Stock: Excavate as specified for balled and burlapped stock, adjusted to size of container width and depth.
- E. Ground Cover Beds: Provide a minimum 10 inches depth, 2 inches of which will be higher than surrounding grade.
- F. Annual Beds: Provide minimum of 8 inches in depth, 2 to 5 inches of which shall be higher than surrounding grade.
- G. Dispose of subsoil removed from landscape excavations. Do not mix with planting soil or use as backfill
- H. Fill excavations for trees and shrubs with water and allow to percolate out before planting.
- 3.22 PLANTING TREES AND SHRUBS A. Set balled and burlapped (B&B) stock on layer of compacted planting soil mixture, plumb and in center of pit or trench with top of ball at same elevation as adjacent finished landscape grades. When set, place additional planting soil mixture around sides and base and eliminate voids and air pockets. Lay back burlap to expose top of root ball to soil mixture. When excavation is approximately 2/3 full, water thoroughly before placing remainder of backfill. Repeat watering until no more is absorbed. Water again after placing final layer of backfill. Remove burlap from sides of balls; retain on bottoms.
- B. Set bare root stock on cushion of planting soil mixture. Spread roots, carefully work backfill around roots by hand, and puddle with water until backfill layers are completely saturated. Plumb before backfilling and maintain plumb while working backfill around roots and placing layers above roots. Set collar one inch to two inches below adjacent finish landscape grades. Spread cut roots without tangling or turning up to surface. Cut injured roots clean, do not

- as not to damage root balls.
- shallow saucer to collect water.
- stems, twigs and foliage

- 24" stakes.

- cover crowns of plants with wet soil.

**OVERNIGHT** TEMPORARY HOUSING C. Set container grown stock as specified for balled and burlapped stock, except cut cans on two sides with an approved can cutter. Remove sides of wooden boxes after partial backfilling so 5537 COLLEGE ROAD STOCK ISLAND, FL 33040 D. Dish top of planting soil mixture to allow for mulching. 1. For spring planting, provide additional backfill berm around edge of excavations to form E. Mulch pits, trenches and planted areas. Provide not less than the following thickness of mulch and work into top of planting soil mixture and finish level with adjacent. 1. Provide 3 inch thickness of mulch. F. Apply anti-desiccant using power spray to provide an adequate film overtrunks, branches, 1. If deciduous trees or shrubs are moved in full-leaf, spray with anti-desiccant at nursery before moving and again two weeks after planting. G. Do not prune except to remove damaged branches or as directed by landscape architect. H. Remove and replace excessively pruned or misformed stock resulting from improper pruning. I. Paint cuts over 1/2 inch in size with standard tree paint or compound covering exposed, living tissue. Use paint which is waterproof, antiseptic, adhesive, elastic and free of kerosene, coal tar. creosote, and other substances harmful to plants. Do not use shellac. J. Guy and stake trees immediately after planting, as indicated. A. Set stock as indicated in bed. Stake palms as necessary to maintain plumb or at angle shown. Brace with three 2" x 4" wood braces toenailed to three 2" x 4" x 24" battens which are securely banded at two points to palm at a point 2/3 trunk height. Pad trunk with 20 layers of burlap under battens. Place braces 120 degrees apart and secure underground by 2" x 4" x B. Water palm thoroughly immediately after planting. C. Set Date palms a minimum of 4' in the ground. Aerial roots may not extend more than 6 inches above the final finished grade of the palm. A. Space plants as shown or scheduled. B. Work planting soil mixture around roots to eliminate air pockets and leave a slight saucer indentation around plants to hold water. Water thoroughly after planting, taking care not to C. Mulch areas between ground cover plants; place not less than 2 inches thick. A. Refer to Article entitled, Planting Trees and Shrubs. B. Pruning: Prior to transplanting operations, prune existing branches back 1/3 on trees and shrubs. On existing palms, prune back existing fronds and tie a minimum of four fronds around central growth heart area. C. Handle plants so that roots are adequately protected at all times. D. Plant shall not be bound with rope or wire, at any time, that would damage bark, break 0 branches, or destroy its natural shape. E. Plant transplanted plants immediately after digging. F. Plants shall be moved with firm, natural balls of soil with minimum ball size conforming to requirements of ANSI Z60.1 Standard for Nursery Stock. G. Underground Obstruction: If underground construction, utilities or obstructions are encountered in excavation of planting areas or pits, other locations for plant material will be selected by Architect. Changes in locations shall be made without additional cost to Owner. A. Begin maintenance immediately after planting. Maintain trees, shrubs and other plants until U final acceptance but in no case less than 30 days after planting. Ш B. Maintain trees, shrubs and other plants by pruning, cultivating and weeding as required for healthy growth. Restore planting saucers. Tighten and repair stake and guy supports and reset trees and shrubs to proper grades or vertical position as required. Restore or replace damaged wrappings. Spray as required to keep trees and shrubs free of insects and disease. 5 C. Verify watering of trees, plants and ground cover beds within the first 24 hours of initial planting and not less than twice per week until final acceptance. ш D. For Date Palms, drench the root zone 2-4 times for the first 4 months after planting with a fungicide labeled for landscape use on soil borne root fungal pathogens. Apply a light surface application of a slow-release "palm special" granular fertilizer at the margins of the root ball 3 months after planting. Apply a foliar spray of soluble micronutrients. When new leaves are evident from the crown, begin a maintenance program for fertilization 3 times a year. U A. During landscape work, store materials and equipment where directed. B. Keep pavements clean and work area in an orderly condition. C. Protect landscape work and materials from damage due to landscape operations, operations by other contractors, trades and trespassers. Maintain protection during installation and maintenance periods. Treat, repair or replace damaged landscape work. A. When landscape work is completed, including maintenance, upon request Architect will make an inspection to determine acceptability. B. Landscape work may be inspected for acceptance in parts agreeable to Architect, provided work offered for inspection is complete including maintenance and area comprises one complete unit or area of substantial size. DATE: 1.14.22 C. Where inspected landscape work does not comply with requirements, replace rejected work and continue specified maintenance until reinspected by Architect and found to be acceptable. REVISIONS Remove rejected plants and materials promptly from project site. Date Notes SHEET NUMBER: -4 JOB #: 20005 DRAWN BY: LBR

3.23 PLANTING PALMS 3.24 PLANTING GROUND COVER 3.25 TRANSPLANTING EXISTING TREES, PALMS AND SHRUBS 3.26 MAINTENANCE 3.27 CLEANING AND PROTECTION 3.28 INSPECTION AND ACCEPTANCE END OF SECTION

THIS DRAWING IS THE PROPERTY OF LANDWISE DESIGN UNLESS OTHERWISE PROVIDED FOR BY CONTRACT, THE CONTENTS OF THIS DRAWING ARE CONFIDENTIAL AND SHALL NOT BE TRANSMITTED TO ANY OTHER PARTY EXCEPT AS AGREED TO BY LANDWISE DESIGN, INC. (**C**) Copyright 2022

**KEYS** 

![](_page_15_Picture_175.jpeg)

## UNDERGROUND IRRIGATION SPECIFICATIONS

## <u>1.0 GENERAL</u>

- 1.1 SUMMARY: Includes but not limited to:
- A. Furnishing and installing sprinkler system as described in Contract Documents complete with accessories necessary for proper functioning.

## 1.2 SYSTEM DESCRIPTION:

- A. Desian Reauirements: 1. Lavout of Irrigation Heads:
  - a. Location of heads shown on Drawings is approximate. Actual placement may vary slightly as
  - is required to achieve full, even coverage without spraying onto buildings, sidewalks, tences, etc.
  - b. During layout, consult with Landscape Architect to verify proper placement and make recommendations, where revisions are advisable.
- 1.3 QUALITY ASSURANCE:
- A. Regulatory Requirements: 1. Work and materials shall be in accordance with latest rules and regulations, and other applicable state or local laws. Nothing in Contract Documents is to be construed to permit work not conforming to these codes.
- B. Pre-Installation Conference:
- 1. Meet with Owner and Landscape Architect to discuss and clarify all aspects of job requirements prior to commencing work of this Section. C. System Adjustments:
- 1. Minor adjustments in system will be permitted to avoid existing fixed obstructions.
- 2. Mainline, laterals, and valves are shown for clarity purposes only. All irrigation equipment to be with landscape area. Mainline, laterals and valves to be installed as far away from existing and
- new specimen trees as possible. D. 1. Documentation and submittal of actual water supply performance prior to commencing installation.
- 1.4 SUBMITTALS: A. Record Drawings:
  - 1. Prepare an accurate as-built drawing as installation proceeds to be submitted prior to final inspection. Drawing shall include:
  - a. Detail and dimension changes made during construction. b. Significant details and dimensions not shown in original Bidding Documents.
  - 2. Maintain, at job site, one copy of Contract Documents (as defined in General Conditions) and
  - relevant shop drawings. 3. Clearly mark each document "PROJECT RECORD COPY" and maintain in good condition for use of
  - the Landscape Architect and Owner.
  - 4. As-built drawing shall be provided in pdf format. 5. Submit product literature for all sprinklers, valves, pipe, wire, wire connectors and controller.
  - 6. Final payment for system will not be authorized until accurate and complete submittals are
  - delivered to the Landscape Architect.
  - B. Instruction Manual: 1. Provide instruction manual which lists complete instructions for system operation and maintenance
- 1.5 PRODUCT STORAGE: A. During construction and storage, protect materials from damage and prolonged exposure to sunlight.

#### 1.6 WARRANTY:

- A. Standard one (1) year warranty stipulated in General Conditions shall include:
- 1. Completed system including parts and labor.
- 2. Filling and repairing depressions and replacing plantings due to settlement of irrigation trenches for one (1) year following final acceptance. 3. System adjustment to supply proper coverage to areas to receive water.
- 1.7 MAINTENANCE: A. Extra Materials:
  - 1. In addition to installed system, furnish Owner with the following items at close-out: a. Two sprinkler head bodies of each size and type. b. Two nozzles for each size and type.
  - c. Two adjusting keys for each sprinkler head cover type.

#### 2.0 PRODUCTS:

- 2.1 PIPE, PIPE FITTINGS, AND CONNECTIONS:
- A. Pipe shall be continuously and permanently marked with Manufacturer's name, size, schedule, type, and working pressure.
- B. Pipe: 1. Pressure Lines: as indicated on plans.
- 2. Lateral Lines: as indicated on plans.
- 3. Risers: sch. 80 PVC, gray C. Fittings:
- 1. Schedule 40 PVC.
- D. Sleeving:
- 1. Schedule 40 PVC.

#### 2.2 SPRINKLER HEADS:

- A. Conform to requirements shown on Drawings as to type, radius of throw, pressure, and discharge.
- 2.3 AUTOMATIC SPRINKLER SYSTEM:
- A. Control valves shall be of size and type indicated on Drawings.
- B. Control wire shall be UL listed, color coded copper conductor direct burial size 14.
- Use 3M-DBY waterproof wire connectors at splices and locate all splices within valve boxes. Use white or gray color for common wire and other colors for all other wire. Each common
- wire may serve only one controller. C. Add two extra control wires from panel to valves for use if a wire fails and mark it in the control box as
- extra wires. These wires shall be of a different color than the others.
- 2.4 VALVES:
- A. Electric Valves: 1. Make and model shown on Drawings.
- B. Gate valves: 1. Bronze construction, angle type, 150 pound class, threaded connections, with cross-type
- operating handle designed to receive operating key. C. Automatic Controller:
- 1. Make and model shown on Drawings.
- D. Backflow Preventor:
- 1. Make and model shown on Drawings.
- 2.5 VALVE ACCESSORIES:
- A. Valve Boxes:
- 1. Ametek or Brooks rectangular heavy duty valve box with locking lid or Landscape Architect approved equal.
- 2. Do not install more than one (1) valve in a single box. 3. Valve boxes shall be large enough for easy removal or maintenance of valves.
- 3.0 EXECUTION:
- 3.1 PREPARATION:
- A. Protection:
- 1. Work of others damaged by this Section during course of its work shall be replaced or repaired by original installer at this Section's expense.
- 3.2 INSTALLATION:
- A. Trenching and Backfilling: 1. Over-excavate trenches by two (2") inches and bring back to indicated depth by filling with fine,
  - rock-free soil or sand.
- 2. Cover pipe both top and sides with two (2") inches of material specified in paragraph above. In no case shall there be less than two (2") inches of rock-free soil or sand surrounding pipe.

- and approved system B. Installation of Plastic Pipe:
- Manufacturer. 2. Unless otherwise indicated on Drawings, install main lines with a minimum cover of eighteen (18")
- based on finish grade. 3. Install pipe and wires under driveways or parking areas in specified sleeves a minimum of
- eighteen (18") inches below finish grade or as shown on Drawings.
- mowing strip, walk or curb.
- approval of Landscape Architect prior to proceeding with work.
- result 7. Make solvent weld joints in the following manner:
- each. b. Apply uniform coat of 711 solvent to outside of pipe.
- c. Apply solvent to fitting in similar manner.
- d. Reapply a light coat of solvent to pipe and quickly insert into fitting.
- is inserted to full depth of fitting socket.
- g. Wipe off solvent appearing on outer shoulder of fitting.
- inside of pipe.
- 8. Tape threaded connection with teflon tape.
- unless otherwise detailed on Drawings. C. Control Valves and Controller:
- and according to applicable electrical code. 2. Install valves in plastic boxes with reinforced heavy duty plastic covers. Locate valve box tops at
- finish grade.
- 4. Install all valve boxes over nine (9") inches of gravel for drainage. D. Sprinkler Heads:
- out svstem.
- 2. Set sprinkler heads perpendicular to finish grade.
- 3.3 FIELD QUALITY CONTROL:

3.5 DEMONSTRATION:

maintenance.

- A. Flushing and Testing:
- backfill lines until approved by Landscape Architect.
- 3.4 ADJUSTMENT AND CLEANING:
- additional charge to the Owner.

3. Do not cover pressure main, sprinkler pipe, or fittings until the Landscape Architect has inspected

1. Install plastic pipe in a manner to provide for expansion and contraction as recommended by

inches based on finish grade. Install lateral lines with a minimum cover of twelve (12") inches

4. Locate no sprinkler head closer than twelve (12") inches from building foundation. Heads immediately adjacent to mowing strips, walks or curbs shall be one (1") inch below top of mowing strip, walk or curb and have a minimum of one (1") inch clearance between head and

5. Drawings show arrangement of piping. Should local conditions necessitate rearrangement, obtain 6. Cut plastic pipe square. Remove burrs at cut ends prior to installation so unobstructed flow will

a. Clean mating pipe and fitting with clean, dry cloth and apply one (1) coat of P-70 primer to

e. Give pipe or fitting a guarter turn to insure even distribution of solvent and make sure pipe f. Hold in position for fifteen (15) seconds minimum or long enough to secure joint.

h. Do not use an excessive amount of solvent thereby causing an obstruction to form on the

i. Allow joints to set at least 24 hours before applying pressure to PVC pipe. 9. Install concrete thrust blocks wherever change of direction occurs a PVC main pressure lines

1. Install controller, control wires, and valves in accordance with Manufacturer's recommendations

3. Install remote control valves in valve boxes positioned over valve so all parts of valve can be reached for service. Set cover of valve box even with finish grade.

1. Prior to the installation of sprinkler heads, open control valves and use full head of water to flush

3. Set lawn sprinkler heads adjacent to existing walks, curbs, and other paved areas to grade

1. Test pressure lines at a minimum sustained pressure of 100 psi for two (2) hours. Pressure shall not drop below 95 psi during the two hour test. Notify Landscape Architect 24 hours prior to test. Do not

A. Adjust heads to proper grade when turf is sufficiently established to allow walking on it without appreciable harm. Such lowering or raising of of heads shall be part of the original contract with no B. Adjust sprinkler heads for proper distribution and trim to ensure sprav does not fall on building. C. Adjust watering time of valves to provide proper amounts of water to all plants.

A. After system is installed and approved, instruct Owners Representative in complete operation and

END OF SECTION

![](_page_16_Figure_120.jpeg)

HARD WIRED BY A LICENSED ELECTRICIAN.

## CONTROLLER INSTALLATION DETAIL

![](_page_16_Figure_123.jpeg)

## SPRAY HEAD INSTALLATION DETAIL

![](_page_17_Figure_0.jpeg)

KEY SOVERNIGHT TEMPORARY SHELTER (KOTS) 5537 COLLEGE ROAD KEY WEST, FLORIDA

°	•		WILLIAM P. HORN ARCHITECT , P.A.
			915 EATON ST. KEY WEST, FLORIDA 33040
		o	TEL. (305) 296-8302 FAX (305) 296-1033
			LICENSE NO. AA 0003040
			KEYS OVERNIGHT TEMPORARY
** CASING C.B.S. COMMERCIAL C.S. COMMERCIAL C.S. COMMERCIAL C.S. COMMERCIAL C.S. COM		00	SHELTER 5537 COLLEGE RD. key west, florida.
R R R R R R R R R R R R R R R R R R R			
22° 1 2 PROPERTY INC			<u>SEAL</u>
			DATE 11-04-2021 D.R.C. 11-30-2021 REV ▲ 12-09-2021 D.R.C. 02-11-2022 PL. BD. REVISIONS
			DRAWN BY EMA JFS CAB PROJECT NUMBER 2023
		E	

![](_page_18_Figure_0.jpeg)

## **EROSION CONTROL NOTES**

- 1. EROSION, SEDIMENT, AND TURBIDITY CONTROL MEASURES SHALL BE PROVIDED THROUGHOUT CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING AND REPAIRING ALL SLOPES AND SURFACES THROUGHOUT CONSTRUCTION AND UNTIL A STABLE SURFACE CONDITION EXISTS. THE CONTRACTOR SHALL MINIMIZE THE EXPOSED AREA AT ANY POINT DURING CONSTRUCTION AS MUCH AS PRACTICAL
- 2. FILTER FABRIC SILT FENCE SHALL BE IN CONFORMANCE WITH SECTION 985, FDOT SPECIFICATION.
- 3. CONTRACTOR SHALL INSTALL EROSION CONTROLS NOTED ON DRAWINGS AND APPLICABLE PERMITS, EROSION CONTROLS SHALL BE MAINTAINED UNTIL A PERMANENT STAND OF GRASS IS PLANTED ONSITE
- 4. BALED HAY OR STRAW BARRIERS SHALL BE CONSTRUCTED AND MAINTAINED IN CONFORMANCE WITH FDOT INDEX NO. 103.
- 5. SILT FENCE LOCATIONS SHOWN HEREON ARE FOR CLARITY ONLY AND SHOULD BE CONSTRUCTED WITHIN PROPERTY LINES.
- 6. PROVIDE EROSION CONTROL MEASURES CONSISTING OF STAKED SILT FENCES AND FILTER SOCK ALONG THE PROPOSED LIMITS OF CONSTRUCTION AS INDICATED ON THE DRAWINGS. PROVIDE ADDITIONAL MEASURES AS NECESSARY TO AVOID ADVERSE IMPACTS TO JURISDICTIONAL AREAS (WETLANDS OR WATER BODIES) AND OFF-SITE LANDS AND WATERBODIES. MAINTAIN THESE MEASURED DAILY UNTIL CONSTRUCTION ACCEPTANCE BY THE OWNER AND THEN REMOVE AND LEGALLY DISPOSE OF SAID MEASURES.
- 7. EROSION CONTROL SHALL MAINTAINED WITHIN CONSTRUCTION AREA BY QUICKLY STABILIZING DISTURBED AREA TO PREVENT THE RELEASE OF SEDIMENT. THIS SHALL BE ACCOMPLISHED USING GRASS COVER, FILTER SOCK AND OTHER MEANS ACCEPTABLE TO OWNER, ENGINEER AND REGULATORY AGENCIES.
- 8. DURING CONSTRUCTION, THE CONTRACTOR SHALL, AT THE REQUEST OF THE OWNER OR AS NECESSARY MODIFY, RELOCATE THE ENVIRO-FENCE AND/OR SILT FENCE TO ALLOW FOR ACCESS AND TO COMPLETE CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN ADEQUATE EROSION CONTROL AT ALL TIMES.
- 9. DURING CONSTRUCTION, THE CONTRACTOR WILL PROVIDE TEMPORARY SEEDING AND MULCHING FOR AREA THAT HAVE BEEN CLEARED (INCLUDING AREAS OF CONCRETE AND PAVEMENT REMOVAL) AND NOT REWORKED WITHIN 7 CALENDAR DAYS DURING THE WET SEASON (APRIL THROUGH SEPTEMBER AND 14 CALENDAR DAYS DURING THE DRY SEASON (OCTOBER THROUGH MARCH). ALSO, ALL SIDE SLOPES SHALL BE SODDED OR SEEDED AND MULCHED WITHIN 7 DAYS DURING WET SEASON AND 14 DAYS DURING THE DRY SEASON.
- 10. ALL SURFACE WATER DISCHARGE FROM SITE, INCLUDING DEWATERING DISCHARGE SHALL MEET STATE WATER QUALITY STANDARDS (LESS THAN 29 NTU ABOVE BACKGROUND) PRIOR TO REACHING ANY WATERS OF THE STATE INCLUDING WETLAND.
- 11. IN THE EVENT THAT THE EROSION PREVENTION AND CONTROL DEVICES SHOWN IN THESE PLANS PROVE NOT TO BE EFFECTIVE. ALTERNATE METHODS FOR MAINTAINING STATE WATER QUALITY STANDARDS FOR DISCHARGE FROM THE CONSTRUCTION SITE WILL BE REQUIRED. ANY ALTERNATE EROSION PREVENTION AND CONTROL DEVICES MUST BE APPROVED BY THE CITY AND SFWMD COMPLIANCE PERSONNEL PRIOR TO PLACEMENT.

![](_page_18_Figure_24.jpeg)

Staked Silt Barrier Detail NTS

![](_page_18_Figure_26.jpeg)

SEDIMENT CONTROL PLAN FOR APPROVAL PRIOR TO STARTING CONSTRUCTION.

![](_page_18_Figure_28.jpeg)

![](_page_18_Figure_29.jpeg)

## NOTES

2

NTS

- 1. STONE SIZE- 3 TO 5 INCH OPEN GRADED ROCK.
- 2. LENGTH- AS EFFECTIVE, BUT NOT LESS THAN 50 FEET. 3. THICKNESS- NOT LESS THAN 8 INCHES.
- 4. WIDTH- NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS. 5. WASHING OF ALL VEHICLE UNDERCARRIAGE, WHEEL WELLS AND WHEELS IS MANDATORY TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED STRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE USING APPROVED METHODS.
- 6. MAINTENANCE- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADWAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED
- ONTO PUBLIC ROADWAY MUST BE REMOVED IMMEDIATELY. 7. DRAINAGE- ENTRANCE MUST BE PROPERLY GRADED OR INCORPORATE A DRAINAGE SWALE TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.
- 8. PROVIDE WATER SUPPLY AND MINIMUM 100 FT. LONG HOSE AND SPIGOT AT
- EACH DESIGNATED CONSTRUCTION EXIT. 9. PROVIDE SIGNAGE AT EACH DESIGNATED EXIT REQUIRING WASHING OF ALL VEHICLES
- LEAVING SITE. 10. ENTRANCE LOCATIONS FOR SCHEMATIC PURPOSES ONLY AND ARE APPROXIMATE.
- CONTRACTOR TO COORDINATE ACTUAL LOCATIONS ACCORDING TO PHASING PLANS.

GRAVEL CONSTRUCTION ENTRANCE

DRAWI DESIGI CHECK	WILLIAM HORN ARCHITECT	KOTS	REVISIONS: ORIGINAL: <u>DECEMBER 2021</u>		CIVIL ENGINEERING • REGULATORY PERMITTIN	NG • CONSTRUCTION MANAGEMENT
NED KED T <b>C-</b>	<b>915 EATON STREET</b>	5537 COLLEGE ROAD	2			
AEP AEP AEP	KEY WEST, FL. 33040	KEY WEST, FL. 33040		ALLEN E. PEREZ, P.E.	PEREZ ENGINEERING	Key West Office
, ,		EROSION CONTROL PLAN		Florida P.E. NO. 51468 February 12, 2022	& DEVELOPMENT, INC CERTIFICATE OF AUTHORIZATION No. 8579	1010 East Kennedy Drive, Suite 202 Key West, Florida 33040 Tel: (305) 293-9440
-				reulualy 12, 2022	CERTIFICATE OF AUTHORIZATION No. 8579	. *

PRELIMINARY - NOT FOR CONSTRUCTION

![](_page_19_Figure_0.jpeg)

![](_page_19_Figure_2.jpeg)

NOTE: EXF CALCULATI ASSUMED VALUE NOTE: CON CONVEYAN

![](_page_20_Picture_0.jpeg)

![](_page_21_Picture_0.jpeg)

ey map or report by other than the signing party is prohibited without written consent of the signing the subject property has been provided. It is possible that there are Deeds, Easements, or other ed) which may affect the subject property. No search of the Public Records has been made by the

not valid without the signature and the original seal of a Florida licensed surveyor and mapper.

neasured bearings and distances correspond with the record bearing and distances and the differences,

### ocated.

within Flood Zones AE (El 10 Feet) as shown on the Federal Emergency Management Agency (FEMA) MAR Number 15-04-0697P, Community Number 125129, dated 08/20/2015. renced to Grid North, based on the 2011 Adjustment of the North American Datum of 1983, NAD 83 state Plane Coordinate System (Transverse Mercator Projection), East Zone.

n are based on the North American Datum of 1983, adjustment of 2011 (NAD 83/2011) Epoch 2010.00, ate System (Transverse Mercator Projection), East Zone established by a Real—time Network (RTN) d to a 2 centimeter local accuracy.

letic Control Point "872 4572 F TIDAL" (PID AA1629).

Operating GPS Reference Station Network

& UHF Performance Smart Antenna, Serial Numbers 3602394(Dual Frequency Receivers)

on the North Geodetic Vertical Datum of 1929. To convert elevations from NGVD 29 to NAVD 88, add elevation. Conversion factor was derived from the National Geodetic Survey (NGS) Data Recovery Sheet D AA1629).

odetic Survey Station Designation "872 4572 F TIDAL" (PID AA1629). Elevation=10.05 feet (NGVD 1929).

ed hereon complies with Chapter 177, Part II Florida Statutes and is recorded in the public repository nmental Protection, Bureau of Surveying and Mapping as Mean High Water Survey File \_\_\_\_\_. -) 0.37 feet, NAVD 1988, as located on February 15, 2021.

as shown hereon was established by the extension of tidal data from Tidal Station 3263, which was nt of Environmental Protection Bureau of Survey and Mapping.

Survey Feet and decimal parts thereof. Well identified features in this survey were field measured to a 0'. The elevations on impervious surfaces were field measured to 0.03' and on ground surfaces to 0.1'. ject property is non—tidal in nature with the flow of water restricted by a control structure located ent Tract.

nditioner; ASPH. = Asphalt; B.M. = Benchmark; BLDG = Building; CONC. = Concrete; EL. = Elevation; oor; I.R. = Iron Rod; L.B. = Licensed Business; NAVD = North American Vertical Datum of 1988; NGVD of 1929; P = Per Record Plat; P.B. = Plat Book; P.O.B. = Point of Beginning; P.O.C. = Point of = Right-Of-Way; TEMP. = Temporary; W/CAP = With Surveyors Cap.

## LAND DESCRIPTION:

A parcel of land, formerly submerged in the Bay of Florida. and being a part of Trustees of the Internal Improvement Trust Fund of the State of Florida (TIIF) Deed Number 19725, and said parcel being in Section 27, Township 67 South, Range 25 East and in Monroe County, Florida; and said parcel being more particularly described by metes and bounds as follows:

**COMMENCE** at the intersection of the center line of the right of way of U.S. Highway No. 1, also known as the center line of the Florida East Coast Railroad; and the center line of the right of way of "Old Country Club Road" (OCCR), also known as Junior College Road (JCR) as these two center lines exist as of May 16, 1990, said intersection being known as Point #1 and having coordinates of N=86989.70" & E=251292.83' based in the Mercator Projection for the East Zone of Florida; and run thence North 20°11'57" West (all bearings in this legal description are also based on the said Mercator Projection) along the center line of the OCCR for a distance of 230.44 feet to Point #2 (N=87205.96' & E=251213.26'); thence North 52°51'57" West along the center line of the OCCR for a distance of 330.00 feet to Point #3 (N=87405.18' & E=250950.18'); thence North 39°38'57" West along the center line of the OCCR for a distance of 300.00 feet to Point #4 (N=87636.17' & E=250758.75'); thence North 30°49'57" West along the center line of the OCCR for a distance of 265.00 feet to Point #5 (N=87863.72' & E=250622.93'); thence North 03°33'57" West along the center line of the OCCR for a distance of 152.00 feet to Point #6 (N=88015.42' & E=250613.48'); thence North 19°47'03" East along the center line of the OCCR for a distance of 122.56' to Point #7 (N=88130.75' & E=250654.96'); thence North 60°20'57" West for a distance of 200.00 feet to Point (N=88229.69'& E=250481.15') and the Southeasterly corner of the lands described in the said TIIF Deed No. 19725; thence North 29°39'03" East along the Southeasterly boundary line of the lands described in the said TIIF Deed No. 19725 for a distance of 962.72 feet to Point #9 (N=89066.35' & E=250957.42') and the Point of Beginning of the parcel of land being described herein said Point of Beginning being marked by an iron pipe; thence North 63°32'06" West for a distance of 206.48 feet to Point #10 (N=89158.37' & E=250772.57'); thence South 40°23' 19.5" West for a distance of 108.08 feet to Point #11 (N=89076.04' & E=250702.54'); thence South 56°13'32" West for a distance of 241.24 feet to Point #12 (N=88941.93' & E=250502.01') and the approximate Mean High Tide Lien of Florida Bay (MHTL); thence South 27°02'03" West and along the said MHTL for a distance of 179.70 feet to Point #13 (N=88781.87' & E=250420.33'): thence South 31°02'03" West and along the said MHTL for a distance of 137.17 feet to Point #14 (N-88664.33' & E=250349.62'); thence South 41°02'02" West and along the said MHTL for a distance of 103.25 feet to Point #15 (N=88586.44' & E- 250281.83'); thence South 51°32'03" West and along the said MHTL for a distance of 146.23 feet to Point #16 (N=88495.48' & E=250167.33'); thence North 52°27'57" West and along the said MHTL for a distance of 193.38 feet to Point #17 (N=88613.29' & E=250013.99'); thence North 30°27'57" West and along the said MHTL for a distance of 315.40 feet to Point #18 (N=88885.14' & E-249854.07'); thence North 20°27'57" West and along the said MHTL for a distance of 280.40 feet to Point #19 (N=8914.84' & E=249756.03'); thence North 01°32'03" E along the said MHTL for a distance of 165.00 feet to Point #20 (N=89312.78' & E-249760.45'); thence North 16'27'56" East and along the said MHTL for a distance of 77.62 feet to Point #21 (N=89387.22' & E=249782.45'); thence North 18°45'51" West and along the said MHTL for a distance of 57.65 feet to Point #22 (N=89441.81' & E-249763.91'); thence North 14°57'57.5" West and along the said MHTL for a distance of 128.46 feet to Point #23 (N=89565.90' & E=249730.73'); thence North 38°26'33" East and along the said MHTL for a distance of 165.00 feet to Point #24 (N=89695.14' & E=249833.32'); thence South 52°04'36" East for a distance of 195.00 feet to Point #25 (N=89575.29' & E=2-499987.14') and a concrete monument; thence South 13°16'39" West for a distance of 22.30 feet to Point #26 (N=89553.59' & E=249982.02') and a concrete monument; thence South 44°52'02" East for a distance of 269.09 feet to Point #27 (N=89362.88' & E=250171.86') and a concrete monument; thence North 74°46'08" East for a distance of 80.26 feet to Point #28 (N=89383.96' & E=250249.30') and a concrete monument; thence South 56'50'29" East for a distance of 483.59 feet to Point #29 (N=89119.46' & E=250654.14') and a concrete monument; thence North 40°23'19" East for a distance of 157.23 feet to Point #30 (N=899239.22' & E=250756.02') and a concrete monument; thence South 63°32'06" East for a distance of 316.58 feet to Point #31 (N=89098.13' & E=251039.42') to the Westerly and curved right of way line of the said Junior College Road and a concrete monument, said curve being concave to the Southeast and having a radius of 984.84 feet; thence Southwesterly along the said curve right of way line for an arc distance of 66.04 feet to Point #32 (N=89045.11' & E=251000.08') and a concrete monument; thence North 63°32'06" West for a distance of 47.66 feet back to Point #9 and the Point of Beginning.

Said lands lying and being in Section 27, Township 67 South, Range 25 East on Stock Island, Monroe County, Florida containing 564,747 square feet (12.9648 acre) more or less.

I HEREBY CERTIFY that the attached Boundary and Tidal Water Survey of the hereon described property is true and correct to the best of my knowledge and belief as surveyed in the field under my direction. I FURTHER CERTIFY that this Boundary and Tidal Water Survey meets the Standards of Practice set forth in Chapter 5J—17, Florida Administrative Code, pursuant to Chapter 472, Florida Statutes, and it complies with Chapter 177, Part II Florida Statutes and is recorded in the public repository of the Florida Department Of Environmental Protection, Bureau of Surveying and Mapping as Mean High Water Survey File \_\_\_\_\_.

S ex **A** N 8 9 S N S ND RCEL PAP <sup>↑</sup>Ow R.B. 0 

티핑[끈]

11227-5

JOB #:

KEITH M. CHEE-A-TOW, P.L.S. Florida Registration No. 5328 AVIROM & ASSOCIATES, INC. L.B. No. 3300 E-MAIL: keith@aviromsurvey.com

![](_page_22_Figure_0.jpeg)

1. Reproductions of this Sketch are not valid without the signature and the original seal of a Florida licensed surveyor and mapper. Additions or deletions to this survey map or report by other than the signing party is prohibited without written consent of the signing

2. No Title Opinion or Abstract to the subject property has been provided. It is possible that there are Deeds, Easements, or other instruments (recorded or unrecorded) which may affect the subject property. No search of the Public Records has been made by the

3. Unless noted on the drawing, ALL measured bearings and distances correspond with the record bearing and distances and the differences,

5. The property described hereon lies within Flood Zones AE (EI 10 Feet) as shown on the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) LOMAR Number 15-04-0697P, Community Number 125129, dated 08/20/2015. 6. a. Bearings shown hereon are referenced to Grid North, based on the 2011 Adjustment of the North American Datum of 1983, NAD 83 (2011) Epoch 2010.00 of the Florida State Plane Coordinate System (Transverse Mercator Projection), East Zone.

b.The Grid coordinates shown hereon are based on the North American Datum of 1983, adjustment of 2011 (NAD 83/2011) Epoch 2010.00, of the Florida State Plane Coordinate System (Transverse Mercator Projection), East Zone established by a Real-time Network (RTN) GPS Control Survey which is certified to a 2 centimeter local accuracy.

c. Ties were made to National Geodetic Control Point "872 4572 F TIDAL" (PID AA1629).

d. Method: Wide Area Continuously Operating GPS Reference Station Network e. Equipment Used: Leica GS18 LTE & UHF Performance Smart Antenna, Serial Numbers 3602394(Dual Frequency Receivers)

f. Processing Software: Leica Infinity, Version 3.1.0.3188

7. Elevations shown hereon are based on the North Geodetic Vertical Datum of 1929. To convert elevations from NGVD 29 to NAVD 88, add algebraically (-) 1.34 feet to the elevation. Conversion factor was derived from the National Geodetic Survey (NGS) Data Recovery Sheet for Station "872 4572 F TIDAL" (PID AA1629).

8. Benchmark Description: National Geodetic Survey Station Designation "872 4572 F TIDAL" (PID AA1629). Elevation=10.05 feet (NGVD 1929).

9. The Mean High Water Survey depicted hereon complies with Chapter 177, Part II Florida Statutes and is recorded in the public repository of the Florida Department of Environmental Protection, Bureau of Surveying and Mapping as Mean High Water Survey File \_\_\_\_\_. (a) Mean High Water Elevation is (-) 0.37 feet, NAVD 1988, as located on February 15, 2021

(b) The Mean High Water Elevation as shown hereon was established by the extension of tidal data from Tidal Station 3263, which was obtained from the Florida Department of Environmental Protection Bureau of Survey and Mapping.

10. Units of measurement are in U.S. Survey Feet and decimal parts thereof. Well identified features in this survey were field measured to a horizontal positional accuracy of 0.10'. The elevations on impervious surfaces were field measured to 0.03' and on ground surfaces to 0.1'. 11. The Retention Pond within the subject property is non-tidal in nature with the flow of water restricted by a control structure located along the west boundary of the Parent Tract.

12. Abbreviation Legend: A/C = Air Conditioner; ASPH. = Asphalt; B.M. = Benchmark; BLDG = Building; CONC. = Concrete; EL. = Elevation; F.B. = Field Book; FF = Finished Floor; I.R. = Iron Rod; L.B. = Licensed Business; NAVD = North American Vertical Datum of 1988; NGVD = National Geodetic Vertical Datum of 1929; P = Per Record Plat; P.B. = Plat Book; P.O.B. = Point of Beginning; P.O.C. = Point of Commencement; PG. = Page; R/W = Right-Of-Way; TEMP. = Temporary; W/CAP = With Surveyors Cap.

## LAND DESCRIPTION:

A parcel of land, formerly submerged in the Bay of Florida. and being a part of Trustees of the Internal Improvement Trust Fund of the State of Florida (TIIF) Deed Number 19725, and said parcel being in Section 27, Township 67 South, Range 25 East and in Monroe County, Florida; and said parcel being more particularly described by metes and bounds as follows:

![](_page_22_Picture_19.jpeg)

**COMMENCE** at the intersection of the center line of the right of way of U.S. Highway No. 1, also known as the center line of the Florida East Coast Railroad; and the center line of the right of way of "Old Country Club Road" (OCCR), also known as Junior College Road (JCR) as these two center lines exist as of May 16, 1990, said intersection being known as Point #1 and having coordinates of N=86989.70" & E=251292.83' based in the Mercator Projection for the East Zone of Florida; and run thence North 20°11'57" West (all bearings in this legal description are also based on the said Mercator Projection) along the center line of the OCCR for a distance of 230.44 feet to Point #2 (N=87205.96' & E=251213.26'); thence North 52'51'57" West along the center line of the OCCR for a distance of 330.00 feet to Point #3 (N=87405.18' & E=250950.18'); thence North 39'38'57" West along the center line of the OCCR for a distance of 300.00 feet to Point #4 (N=87636.17' & E=250758.75'); thence North 30'49'57" West along the center line of the OCCR for a distance of 265.00 feet to Point #5 (N=87863.72' & E=250622.93'); thence North 03'33'57" West along the center line of the OCCR for a distance of 152.00 feet to Point #6 (N=88015.42' & E=250613.48'); thence North 19'47'03" East along the center line of the OCCR for a distance of 122.56' to Point #7 (N=88130.75' & E=250654.96'); thence North 60'20'57" West for a distance of 200.00 feet to Point #8 (N=88229.69' & E=250481.15') and the Southeasterly corner of the lands described in the said TIIF Deed No. 19725; thence North 29'39'03" East along the Southeasterly boundary line of the lands described in the said TIIF Deed No. 19725 for a distance of 962.72 feet to Point #9 (N=89066.35' & E=250957.42') and the **Point of Beginning** of the parcel of land being described herein said Point of Beginning being marked by an iron pipe; thence North 63'32'06" West for a distance of 206.48 feet to Point #10 (N=89158.37' & E=250772.57'); thence South 40'23' 19.5" West for a distance of 108.08 feet to Point #11 (N=89076.04' & E=250702.54'); thence South 56'13'32" West for a distance of 241.24 feet to Point #12 (N=88941.93' & E=250502.01') and the approximate Mean High Tide Lien of Florida Bay (MHTL); thence South 27'02'03" West and along the said MHTL for a distance of 179.70 feet to Point #13 (N=88781.87' & E=250420.33'); thence South 31.02'03" West and along the said MHTL for a distance of 137.17 feet to Point #14 (N-88664.33' & E=250349.62'); thence South 41.02'02" West and along the said MHTL for a distance of 103.25 feet to Point #15 (N=88586.44' & E- 250281.83'); thence South 51'32'03" West and along the said MHTL for a distance of 146.23 feet to Point #16 (N=88495.48' & E=250167.33'); thence North 52'27'57" West and along the said MHTL for a distance of 193.38 feet to Point #17 (N=88613.29' & E=250013.99'); thence North 30<sup>•</sup>27'57" West and along the said MHTL for a distance of 315.40 feet to Point #18 (N=88885.14' & E-249854.07'); thence North 20'27'57" West and along the said MHTL for a distance of 280.40 feet to Point #19 (N=8914.84' & E=249756.03'); thence North 01'32'03" E along the said MHTL for a distance of 165.00 feet to Point #20 (N=89312.78' & E-249760.45'); thence North 16'27'56" East and along the said MHTL for a distance of 77.62 feet to Point #21 (N=89387.22' & E=249782.45'); thence North 18'45'51" West and along the said MHTL for a distance of 57.65 feet to Point #22 (N=89441.81' & E-249763.91'); thence North 14.57'57.5" West and along the said MHTL for a distance of 128.46 feet to Point #23 (N=89565.90' & E=249730.73'); thence North 38'26'33" East and along the said MHTL for a distance of 165.00 feet to Point #24 (N=89695.14' & E=249833.32'); thence South 52.04'36" East for a distance of 195.00 feet to Point #25 (N=89575.29' & E=2-499987.14') and a concrete monument; thence South 13'16'39" West for a distance of 22.30 feet to Point #26 (N=89553.59' & E=249982.02') and a concrete monument; thence South 44'52'02' East for a distance of 269.09 feet to Point #27 (N=89362.88' & E=250171.86') and a concrete monument; thence North 74'46'08" East for a distance of 80.26 feet to Point #28 (N=89383.96' & E=250249.30') and a concrete monument; thence South 56'50'29" East for a distance of 483.59 feet to Point #29 (N=89119.46' & E=250654.14') and a concrete monument; thence North 40'23'19" East for a distance of 157.23 feet to Point #30 (N=899239.22' & E=250756.02') and a concrete monument; thence South 63'32'06" East for a distance of 316.58 feet to Point #31 (N=89098.13' & E=251039.42') to the Westerly and curved right of way line of the said Junior College Road and a concrete monument, said curve being concave to the Southeast and having a radius of 984.84 feet; thence Southwesterly along the said curve right of way line for an arc distance of 66.04 feet to Point #32 (N=89045.11' & E=251000.08') and a concrete monument; thence North 63'32'06" West for a distance of 47.66 feet back to Point #9 and the Point of Beginning.

Said lands lying and being in Section 27, Township 67 South, Range 25 East on Stock Island, Monroe County, Florida containing 564,747 square feet (12.9648 acre) more or less.

I HEREBY CERTIFY that the attached Boundary and Tidal Water Survey of the hereon described property is true and correct to the best of my knowledge and belief as surveyed in the field under my direction. I FURTHER CERTIFY that this Boundary and Tidal Water Survey meets the Standards of Practice set forth in Chapter 5J-17, Florida Administrative Code, pursuant to Chapter 472, Florida Statutes, and it complies with Chapter 177, Part II Florida Statutes and is recorded in the public repository of the Florida Department Of Environmental Protection, Bureau of Surveying and Mapping as Mean High Water Survey File \_\_\_\_\_

and the constant
A CAR A CAR
K THING -
KEITH M. CHEE A- TOW, PL.S.
Florida Registration No. 5328
AVIROM & ASSOCIATES, INC.
L.B. No. 3300
E-MAIL: keith@aviromsurvey.com

AVIROM & ASSOCIATES INC	SURVEYING & MAPPING	50 S.W. 2nd AVENUE, SUITE 102	BOCA RATON, FLORIDA 33432 (561) 392-2594 / www.AVIROMSURVEY.cor	© 2021 AVROM & ASSOCIATES, INC. all rights reserved.	I his sketch is the property of AVIROM & ASSOCIALES, INC and should not be reproduced or copied without written perm	
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Y CK'D						
F.B. / PG. B						
DATE						
F.B. / PG. BY CK'D REVISIONS						
DATE						
REVISIONS						
BOUNDARY AND TIDAL WATER SURVEY A PARCEL OF LAND IN SECTION 27, TOWNSHIP 67 SOUTH, RANGE 25 EAST DESCRIBED IN (O.R.B. 1490, PAGE 291, M.C.R.) CITY OF KEY WEST MONROE COUNTY COUNTY, FLORIDA						
.0	2021			70-75	F 2	

JOB #:

11227-5

![](_page_23_Figure_0.jpeg)

SCALE 1" = 30'

	DISTURBED WETLANDS				
	± 17,548 S.F.				
Point	Northing	Easting	Description		
427	89344.0	406019.5	PL22		
428	89390.1	406008.3	PL23		
429	89423.8	406011.5	PL24		
430	89451.0	406024.6	PL25		
431	89488.3	406037.6	PL26		
432	89526.2	406053.6	PL27		
433	89573.3	406063.2	PL28		
434	89591.4	406058.7	PL29		
435	89632.5	406042.3	PL30		
436	89691.0	406013.4	PL31		
437	89727.3	405996.4	PL32		
438	89747.3	406009.7	PL33		
445	89344.8	405989.6	WETLAND AT DEED LINE		
446	89469.1	405992.9	WETLAND AT DEED LINE		
447	89543.5	406014.9	WETLAND AT DEED LINE		
448	89598.1	405996.3	WETLAND AT DEED LINE		
449	89722.2	405963.1	WETLAND AT DEED LINE		
450	89775.2	406005.2	WETLAND AT DEED LINE		
4387	89759.4	406019.9	DW1 START		
4393	89773.5	406007.3	W10 START		
4410	89761.1	406021.5	WETLAND AT DEED LINE		
4411	89786.7	406044.4	DW2		
4412	89806.9	406058.0	DW3		
4413	89814.4	406063.5	DW4		
4414	89826.1	406054.2	DW5 END		
4415	89775.5	406009.3	WETLAND AT DEED LINE		
4416	89807.4	406040.7	W11		

## SURVEYOR'S REPORT:

- 1. Reproductions of this Sketch are not valid without
- survey map or report by other than the signing par
- 2. No Title Opinion or Abstract to the subject proper unrecorded) which may affect the subject property.
- 3. Unless noted on the drawing, ALL measured bearing de minimis.
- 4. No underground improvement were located.
- the Florida State Plane Coordinate System (Transverse Mercator Projection), East Zone. centimeter local accuracy.
- c. Ties were made to National Geodetic Control Point "872 4572 F TIDAL" (PID AA1629). d. Method: Wide Area Continuously Operating GPS Reference Station Network
- f. Processing Software: Leica Infinity, Version 3.1.0.3188
- AA1629).
- (NAVD 1988).
- (a) Mean High Water Elevation is (-) 0.37 feet, NAVD 1988, as located on February 15, 2021.
- Florida Department of Environmental Protection Bureau of Survey and Mapping.
- Department of Environmental Protection.
- of the Parent Tract.
- Square Feet; TEMP. = Temporary; W/CAP = With Surveyors Cap.

		WETLAND	"A"
		± 25,093 S	5.F.
Point	Northing	Easting	Description
406	89368.7	406151.5	PL1
407	89407.5	406150.9	PL2
408	89454.8	406146.1	PL3
409	89487.1	406136.2	PL4
410	89525.2	406122.8	PL5
411	89561.6	406107.7	PL6
414	89730.1	406013.0	PL9
415	89699.8	406022.7	PL10
416	89669.8	406040.3	PL11
417	89637.5	406055.3	PL12
418	89599.8	406073.1	PL13
419	89563.2	406076.0	PL4
420	89519.0	406065.6	PL15
421	89480.7	406049.3	PL16
422	89446.8	406037.4	PL17
423	89416.3	406030.2	PL18
424	89410.9	406029.4	PL19
425	89397.7	406029.0	PL20
426	89346.9	406033.3	PL21 STOP
4394	89612.3	406091.8	W2
4401	89584.5	406099.4	W1 START
4402	89623.9	406087.1	W @ BNDY
4403	89643.3	406079.3	W3
4404	89670.4	406063.4	W4
4405	89703.8	406053.5	W5
4406	89731.1	406067.2	W6
4407	89752.0	406074.4	W7
4408	89773.7	406053.4	W8
4409	89749.8	406031.0	W9 END

	OFF-SITE	FLAGS LO	CATED
Point	Northing	Easting	Description
4401	89584.5	406099.4	W1 START
4394	89612.3	406091.8	W2
4387	89759.4	406019.9	DW1 START
4393	89773.51	406007.3	W10 START
4392	89857.01	406076.5	W12
4418	89872.09	406090	W13 CORNER
4419	89856.89	406105.1	W 14 CORNER
4420	89839.54	406100.2	W15
4421	89825.43	406113.7	W16
4422	89805.97	406147	W17
4389	89727.53	406220.1	W20
4390	89782.56	406170.6	W18
4391	89759.72	406196.4	W19
4388	89685.24	406250.9	W23 END

WETLAND "B"						
± 587 S.F.						
Point	Point Northing Easting WETLAND AT DEED LINE					
450	89775.23	406005.2	WETLAND AT DEED LINE			
4393	89773.51	406007.3	W10 START			
4396	89851.45	406065.7	WETLAND AT DEED LINE			
4397	89777.91	406007.3	WETLAND AT DEED LINE			
4415	89775.52	406009.3	WETLAND AT DEED LINE			
4416	89807.35	406040.7	W11			
4417	4417 89848.05 406070 WETLAND AT DEED LINE					

WETLAND "C"						
	±85.F.					
Point Northing Easting Description						
4395	89731.6	406219.5	W @ BOUNDARY			
4423	89736.1	406213.8	W @ BOUNDARY			
4424	89729.1	406218.9	W @ BOUNDARY			
			0			
	WE	TLAND "D				
	WE	T <b>LAND "D</b> ± 170 S.F.	"			
Point	WE Horthing	TLAND "D 170 S.F. Easting D	" Pescription			

Point	Northing	Easting	Description
4425	89709.0	406215.3	W @ BOUNDARY
4426	89706.0	406214.6	W21
4427	89681.0	406233.0	W22
4428	89683.0	406241.2	W @ BOUNDARY

the signature and the original seal of a Florida licensed surveyor and mapper. Additions or deletions to	> this
rty is prohibited without written consent of the signing party.	
erty has been provided. It is possible that there are Deeds, Easements, or other instruments (recorde	ed or
No search of the Public Records has been made by the Surveyor.	
gs and distances correspond with the record bearing and distances and the differences, if any, are consi	dered

5. The property described hereon lies within Flood Zones AE (EI 10 Feet) as shown on the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) LOMAR Number 15-04-0697P, Community Number 125129, dated 08/20/2015. 6. a. Bearings shown hereon are referenced to Grid North, based on the 2011 Adjustment of the North American Datum of 1983, NAD 83 (2011) Epoch 2010.00 of b.The Grid coordinates shown hereon are based on the North American Datum of 1983, adjustment of 2011 (NAD 83/2011) Epoch 2010.00, of the Florida State Plane Coordinate System (Transverse Mercator Projection), East Zone established by a Real-time Network (RTN) GPS Control Survey which is certified to a 2

e. Equipment Used: Leica GS18 LTE & UHF Performance Smart Antenna, Serial Numbers 3602394(Dual Frequency Receivers)

7. Elevations shown hereon are based on the North Geodetic Vertical Datum of 1929. To convert elevations from NGVD 29 to NAVD 88, add algebraically (-) 1.34 feet to the elevation. Conversion factor was derived from the National Geodetic Survey (NGS) Data Recovery Sheet for Station "872 4572 F TIDAL" (PID

8. Benchmark Description: National Geodetic Survey Station Designation "872 4572 F TIDAL" (PID AA1629). Elevation=10.05 feet (NGVD 1929). Elevation=8.71 feet

9. The Mean High Water Survey depicted hereon complies with Chapter 177, Part II Florida Statutes and is recorded in the public repository of the Florida Department of Environmental Protection, Bureau of Surveying and Mapping as Mean High Water Survey File 7960.

10. (b) The Mean High Water Elevation as shown hereon was established by the extension of tidal data from Tidal Station 3263, which was obtained from the 11. The Jurisdictional Wetlands as delineated hereon are based on the location of wetlands flags as established by: Terramar Environmental Services, Inc., 1241 Crane Boulevard, Sugarloaf Key, FL 33042. Telephone: (305) 393-4200. The Jurisdictional Wetland lines are subject to review and/or revisions by the Florida

12. Units of measurement are in U.S. Survey Feet and decimal parts thereof. Well identified features in this survey were field measured to a horizontal positional accuracy of 0.10'. The elevations on impervious surfaces were field measured to 0.03' and on ground surfaces to 0.1'. 13. The Retention Pond within the subject property is non-tidal in nature with the flow of water restricted by a control structure located along the west boundary

14. Abbreviation Legend: A/C = Air Conditioner; ASPH. = Asphalt; B.M. = Benchmark; BLDG = Building; CONC. = Concrete; EL. = Elevation; F.B. = Field Book; FF = Finished Floor; I.R. = Iron Rod; L.B. = Licensed Business; NAVD = North American Vertical Datum of 1988; NGVD = National Geodetic Vertical Datum of 1929; P = Per Record Plat; P.B. = Plat Book; P.O.B. = Point of Beginning; P.O.C. = Point of Commencement; PG. = Page; R/W = Right-Of-Way; S.F.=

AVIROM & ASSOCIATES, INC.	SURVEYING & MAPPING	50 S.W. 2nd AVENUE, SUITE 102	BUCA KATON, FLORIDA 33432 (561) 392-2594 / www.AVIROMSURVEY.com	© 2021 AVIROM & ASSOCIATES, INC. all rights reserved.	I his sketch is the property of AVIROM & ASSUCIALES, INC. and should not be reproduced or copied without written permission.	
	ON & HOSOCI			CSTARLICUED 1981		
BY CK'D						
F.B. / PG.						
DATE						
REVISIONS						
CK <sup>D</sup>						
BY						
F.B. / PG.	1792/61					
DATE	02/24/2021					
REVISIONS	JURISDICTIONAL WETLANDS LOCATED					
JURISDICTIONAL WETLANDS SURVEY A PARCEL OF LAND IN SECTION 27, TOWNSHIP 67 SOUTH, RANGE 25 EAST DESCRIBED IN (O.R.B. 1139, PG. 2378, M.C.R.) CITY OF KEY WEST MONROE COUNTY, FLORIDA						
SCALE: 1"=30'	DATE: 04/08/2021	BY: W.R.E.	CHECKED: K.M.C.	F.B. 1792 P.G. 70-75	SHEET: 2 OF 2	

JOB #: **11227-5**