



**3200 DUCK AVENUE  
MAJOR DEVELOPMENT PLAN  
DRC  
MAY 26<sup>th</sup>, 2022**

# APPLICATION

# Application - Development Plan & Conditional Use

City of Key West, Florida • Planning Department

1300 White Street • Key West, Florida 33040 • 305-809-3764

www.cityofkeywest-fl.gov

## Development Plan & Conditional Use Application Fee schedule

(Fees listed include the \$310.00 advertising/noticing fee and the \$110.25 fire review fee)

Any Major or Minor Development Plan returned to the Planning Board after initial approval will require a new application fee equivalent to one-half of the current fee schedule

Development Plan	
Minor:	
Within Historic District	\$ 3,397.00
Outside Historic District	\$ 2,735.50
Conditional Use	\$ 1,212.75
Extension	\$ 971.50
Major:	\$ 4,499.50
Conditional Use	\$ 1,212.75
Extension	\$ 971.50
Administrative Modification	\$ 800.00
Minor Modification	\$ 1,525.00
Major Modification	\$ 2,155.00
Conditional Use (not part of a development plan)	\$ 3,176.50
Extension (not part of a development plan)	\$ 971.50
Revision or Addition (not part of a development plan)	\$ 2,000.00

### **Applications will not be accepted unless complete**

Development Plan

Major X

Minor \_\_\_\_\_

Conditional Use

\_\_\_\_\_

Historic District

Yes \_\_\_\_\_

No \_\_\_\_\_

Please print or type:

- 1) Site Address: 1615, 1616, 1617, & 1618 Truesdale (AKA 3200 Duck Ave. Key West, FL 33040)
- 2) Name of Applicant: Trepanier and Associates, Inc. on behalf of AH of Monroe County
- 3) Applicant is: & Florida Keys Outreach Coalition  
Property Owner: \_\_\_\_\_  
Authorized Representative: X  
(attached Authorization and Verification Forms must be completed)
- 4) Address of Applicant: 1421 First St. Key West, FL 33040
- 5) Applicant's Phone #: 305-293-8983 Email: Thomas@OwenTrepanier.com
- 6) **Email Address:** Thomas@OwenTrepanier.com
- 7) Name of Owner, if different than above: City of Key West, c/o City Manager
- 8) Address of Owner: 1300 White Street, Key West, FL 33040

# Application - Development Plan & Conditional Use

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9) Owner Phone #: c/o 305-293-8983 Email: c/o Thomas@OwenTrepanier.com

10) Zoning District of Parcel: MDR-1 RE# 00064740-000000

11) Is Subject Property located within the Historic District? Yes \_\_\_\_\_ No X

If Yes: Date of approval \_\_\_\_\_

HARC approval # \_\_\_\_\_

OR: Date of meeting \_\_\_\_\_

12) Description of Proposed Development and Use. Please be specific, list existing and proposed buildings and uses, number of dwelling units, parking, restaurant seats, vehicles proposed, etc. If there is more than one use, describe in detail the nature of each use (Give concise description here and use a separate sheet if necessary).

AH of Monroe County & Florida Keys Outreach Coalition ("AH-FKOC") partnered to propose the redevelopment of their operational structures at Poinciana. The property is owned by the City of Key West and leased through the KW Housing Authority. The purpose is to redevelop the above portion of the property to be specific purpose-designed special needs social service sheltered and supportive housing.

13) Has subject Property received any variance(s)? Yes \_\_\_\_\_ No X-Unknown

If Yes: Date of approval \_\_\_\_\_ Resolution # \_\_\_\_\_

Attach resolution(s).

14) Are there any easements, deed restrictions or other encumbrances on the subject property?

Yes X No \_\_\_\_\_

If Yes, describe and attach relevant documents.

Access and utility easement. See attached.

A. For both *Conditional Uses* and *Development Plans*, provide the information requested from the attached **Conditional Use and Development Plan** sheet.

B. For *Conditional Uses* only, also include the **Conditional Use Criteria** required under Chapter 122, Article III, Sections 122-61 and 122-62 of the Land Development Regulations (see attached copy of criteria).

C. For *Major Development Plans* only, also provide the **Development Plan Submission Materials** required under Chapter 108, Article II, Division 7, Sections 108-226 through 108-248 of the Land Development Regulations (see attached copy of criteria) and any additional information as determined by the Planning Staff.

D. For both *Conditional Uses* and *Development Plans*, one set of plans **MUST** be signed & sealed by an Engineer or Architect.



# AH of Monroe County & Florida Keys Outreach Coalition

## Major Development Plan

1615, 1616, 1617, & 1618 Truesdale Court (AKA 3200 Duck Ave)  
(RE# 00064740-000000)



## Solutions Statement:

AH of Monroe County & Florida Keys Outreach Coalition ("AH-FKOC") partnered to propose the redevelopment of their operational structures at Poinciana. The property is owned by the City of Key West and leased through the KW Housing Authority. The purpose is to redevelop the above portion of the property to be specific purpose-designed special needs social service sheltered and supportive housing.

## Background:

The structures subject to redevelopment have exceeded their effective life and are not specific use designed. The proposed facility will be a state-of-the-art Category 5 special needs social service sheltered and supportive housing needs.

## Analysis:

The following is an analysis of the proposed project pursuant to major development plan approval criteria.

Existing development is depicted in attached surveys and plans, including:

- Name of Development
- Name of Owner/ Developer
- Scale
- North arrow
- Preparation and revision dates
- Location/ street address
- Size of site
- Buildings
- Structures
- Parking
- FEMA flood zones
- Topography
- Easements
- Utility locations
- Existing vegetation
- Existing storm water
- Adjacent land uses
- Adjacent buildings
- Adjacent driveways

Proposed development is depicted in attached plans prepared by licensed engineers, including:

- Buildings
- Setbacks
- Parking
- Driveway dimensions and material

- Utility locations
- Garbage and recycling
- Signs
- Lighting
- Project Statistics
- Building Elevations
- Height of buildings
- Finished floor elevations
- Height of existing and proposed grades
- Drainage plan
- Landscape Plan

### **Title block (Sec. 108-227)**

Name of development: AH-FKOC Poinciana  
 Property Owner: City of Key West  
 Developer: AH-FKOC  
 Scale: Architectural: As noted on plans  
 Preparation and revision dates: As noted on plans  
 Location: 3200 Duck Avenue  
 (1615, 1616, 1617, & 1618 Truesdale Court)

### **Key persons and entities (Sec. 108-228) involved in this project are as follows:**

Owner: City of Key West  
 Authorized Agent: Trepanier & Associates, Inc.  
 Architect: MHK Architecture & Planning  
 Engineer: Alan Perez, Perez Engineering  
 Land Planner: Trepanier & Associates, Inc.  
 Surveyor: Florida Keys Land Surveying  
 Landscape Architect: GAI Consultants

### **Project Description (Sec. 108-229):**

The project is proposed to be developed in one (1) phase.

### **Other Project Information (Sec. 108-230):**

1. This is a single-phased proposal.
2. The target date for commencement is intended to immediately follow entitlement approvals.
3. Expected date of completion is within 2 years of commencement.
4. The proposed development plan is contained herewith.
5. Proposed Development Plan: One Phase
6. Project is not a planned unit development.
7. The project will comply with federal flood insurance regulations.
8. This project is not located adjacent to environmentally sensitive areas.

### **Residential Developments (Sec. 108-231):**

This development is a special needs social service sheltered and supportive housing project with 151 beds in the following configuration:

Living Unit Type	No. of Living Units	No. Beds
1 bdrm	17	17
2 bdrm	39	156
4 bdrm	15	60
Total		233

### **Intergovernmental Coordination (Sec. 108-232):**

Coordination will occur through the Development Review Process of the City of Key West.

### **Schedule of Approval Process:**

The following development approval schedule and process is anticipated:

Step	Date
1. Submit Major Development Plan Application	04/15/22
2. Tree Commission Submission	04/20/22
3. Tree Commission Hearing (Conceptual Plan)	05/10/22
4. Development Review Committee ("DRC") Meeting	05/26/22
5. Tree Commission (Final approval) submission	06/22/22
6. Tree Commission (Final approval)	07/12/22
7. Planning Board Meeting	07/21/22
8. City Commission	TBD
9. City Appeal Period (30 days)	+30 days
10. Florida Department of Economic Opportunity Appeal Period (45 days)	+45 days

### **Concurrency Facilities and Other Utilities or Services (Sec. 108-233):**

Levels of Service – The impacts of the proposed project are generally summarized as follows:

- The proposed development is expected to **maintain existing** trip generation LOS for the site.
- Code requires parking for multi-family housing but does not require parking for special needs social services and their accessory supportive services. However, the project proposes to add 31 parking spaces and 24 bicycle-scooter spaces onsite.

- The proposed development is expected to **maintain existing** potable water flow LOS for the site.
- The proposed development is expected to **maintain existing** wastewater flow LOS for the site.
- The proposed development is expected to **maintain existing** recyclable waste LOS.
- The proposed development is expected to **maintain existing** solid waste LOS.
- The expected impacts to Storm water LOS is as depicted on the stormwater management plans.
- The impacts to the Recreation LOS is expected to comply with Comp Plan Policy 7-1.1.9, inclusive of all three (3) types of parks identified; urban open spaces, neighborhood, and community.
- The team will coordinate with FKAA to ensure the water pressure and flow will be adequate for fire protection for the type of construction proposed.
- No adverse impacts to the quality of receiving waters are anticipated before, during or after construction.
- Changes to the existing storm water management system is depicted on the attached plans.

#### **Appearance, design, and compatibility (Section 108-234):**

This development plan satisfies criteria established in Chapter 102; Articles III, IV and V of Chapter 108; Section 108-956; and Article II of Chapter 110 of the Key West City Code in the following manner:

- Chapter 102 – This property is located outside the Historic District and does not impact the district.
  - Articles III, IV and V of Chapter 108 – As demonstrated by the site plan, trip generation analysis, and the site data calculations, the project complies with the requirements of the Articles.
  - Chapter 110 – As demonstrated in this application, the proposed development complies with the resource protection requirements of Chapter 110.
- (a) Compliance. This development plan complies with the requirements set forth in the Key West City Code as they pertain to Concurrency Management, Outdoor Displays and Nuisances, Resource Protection, Signs, and Articles I and III to IX of Chapter 108 of the Key West City Code.

(b) Vicinity Map.

(c) Land Use Compatibility. The project site is located in the MEDIUM DENSITY RESIDENTIAL DISTRICT-1 (MDR-1) zoning district. The purpose and intent of the MDR-1 district is to implement comprehensive plan policies for areas designated "MDR-1" on the comprehensive plan future land use map. The MDR-1 district shall provide the Poinciana Housing Parcel with a designation appropriate to the existing medium density multiple-family development on the site and compatible with the existing and future land uses. The MDR-1 district shall accommodate a mixture of multiple-family structure types, supportive community facilities, and accessory land uses. In addition to AH – FKOC, the subject property also currently contains services and facilities operated by the Housing Authority, Samuel's House, Monroe Association for ReMARCable Citizens (MARC), Volunteers of America (VOA), Catholic Charities, Florida Keys Children's Shelter (FKCS), Domestic Abuse Shelter (DAS), and the Wesley House.

(d) Historic and archeological resource protection. The site is not affected by the Historic District. Any archeological resources will be protected as required.

(e) Subdivision of Land. No subdivisions are anticipated.

### **Legal Description:**

Please see attached survey

### **Flood Zone:**

Current flood zone for the site is A-7. Preliminary FEMA flood maps changes the flood zone of the site to AE-9.

### **Future Land Use Map Designation ("FLUM"):**

The property's FLUM designation is Medium Density Residential (MDR).

### **Zoning ("MDR-1")**

According to the City of Key West Zoning Map, the property is zoned Medium Density Residential-1 (MDR-1).



**Appearance of Site and Structures (Sec. 108-236):**

Attached site plan complies with Sections 108-278 through 108-288 of the Key West City Code.

**Site Plan (Sec. 108-237):**

Site plan of proposed development drawn consistently with Sec. 108-237 is attached.

**Architectural Drawings (Sec. 108-238):**

All architecture or engineering designs were prepared and sealed by a professional architect or engineer registered in the state pursuant to F.S. Ch. 471 and 481, respectively, consistent with the provisions of this Section.

**Site Amenities (Sec 108-239):**

The attached site plan includes existing and proposed amenities which are required to comply with appearance, design and compatibility regulations outlined in chapter 102; articles III, IV and V of this chapter; section 108-956; and article II of chapter 110.

**Site Survey (Sec 108-240):**

Survey of the site is attached.

**Soil Survey (Sec 108-241):**

Soil surveys are not anticipated as part of this project.

**Environmentally Sensitive Areas (Sec. 108-242):**

This project is not located adjacent to environmentally sensitive areas.

**Land clearing, excavation and fill, tree protection, landscaping and irrigation plan (Sec. 108-243):**

All proposed clearing, excavation and landscaping is depicted on attached plans. A Landscape Waiver request is being submitted concurrently with this Major Development Plan application. The existing and proposed landscaping is greater than 35%.

**On-site and off-site parking and vehicular, bicycle, and pedestrian circulation (Sec. 108-244):**

The project plans demonstrate compliance with on- and off-site vehicular and bicycle circulation, and parking requirements of articles IV and VII of this chapter 108.

**Housing (Sec 108-245):**

The existing and proposed uses include special needs social services and multi-family housing.

**Economic Resources (Sec 108-246):**

(a) Ad Valorem Estimates – NA all structures owned and operated by nonprofits

(b) Construction expenditure: TBD

**Special Considerations (Sec 108-247):**

The proposal complies with the goals, objectives and policies of the comprehensive plan as demonstrated by:

- Table 1-1.1.5
- Objection 3-1.4
- Policy 3-1.4.3

**Construction Management Plan and Inspection Schedule (Sec 108-248):**

The proposed development is a single-phase project. Construction is proposed to progress steadily based on Key West LDRs, and Florida Building Code. Construction is expected to commence as soon as possible.

**Truman Waterfront Port Facilities (Sec 108-249):**

This project is not located at the Truman Waterfront Port

**SITE PLAN**

**Scope (Sec 108-276):**

This site plan conforms to all necessary and applicable sections of land development regulations.

**Site Location and Character of Use (Sec. 108-277):**

As depicted, the site has sufficient size, adequate specifications, and infrastructure to accommodate the proposed uses in the manner proposed. As described in detail above,

this site is designed as a multi-modal development, placing equal importance on the bicycle and pedestrian as on the automobile. This development furthers the goals of the City's plans as detailed in this report.

**Appearance of Site and Structures (Sec. 108-278):**

This application's development plan exhibits harmonious overall design characteristics in compliance with the performance standards stipulated in sections 108-278 through 108-288.

**Location and screening of mechanical equipment, utility hardware and waste storage areas (Section 108-279):**

All mechanical equipment and utility hardware will be appropriately screened. All waste storage areas will be screened from adjacent properties.

**Front-end loaded refuse container requirements (Sec. 108-280):**

The refuse container will be located in such a manner to facilitate convenient access.

**Roll-off Compactor Container location requirements (Sec. 108-281):**

A roll-off container shall meet the requirements of 108-281, as depicted on the site plant.

**Utility lines (Section 108-282):**

The proposed project will require installation of new utility services. Installation will be coordinated with appropriate utility agency and in accordance with Section 108-282.

**Commercial and manufacturing activities conducted in enclosed buildings (Section 108-283):**

No new commercial activities are proposed for this development.

**Exterior Lighting (Section 108-284):**

All proposed lighting shall be shielded and lighting sources shall be arranged to eliminate glare from roadways and streets and shall direct light away from properties lying outside the district. Shielding of lighting elements shall be accomplished by using directional fixtures or opaque shades.

**Signs (Section 108-285):**

All new signage proposed will adhere to Section 108-285.



**Pedestrian sidewalks (Section 108-286):**

The project, as proposed, complies with this section of the LDC. Refer to plans for precise placement of sidewalks and concrete paths that align with existing sidewalks on adjacent sites.

**Loading docks (Section 108-287):**

No loading docks are required or proposed.

**Storage Areas (Section 108-288):**

Storage areas if developed for use of tenants in each unit and will be located at the rear of the principal structure per code section 108-288.

**Land Clearing, Excavation, and Fill (Sec 108-289):**

Land clearing is for demolition of existing structures as well as some canopy and understory trees. Any protected trees and/or landscaping and subsequent landscape infill will be reviewed and approved by the City's Urban Forester and the Tree Commission.

**Open Space, Screening, Buffers and Landscaping (Article V and VI) of Chapter 108:**

Open space and landscaping will be enhanced as depicted on the plans.

**Sec. 108-517. - Waivers or modifications.**

No waivers or modifications to open space and landscaping are proposed.

**Off-street parking and loading (Article VII):**

Please see "On-site and off-site parking and vehicular, bicycle, and pedestrian circulation (Sec. 108-244)" above for a complete discussion regarding parking

**Storm water and Surface Water Management (Article VIII):**

The site, as part of the redevelopment process, will come into full compliance with the requirements of storm water and surface water management article of the LDC. Therefore, the redevelopment will improve nearshore water quality.

## **Flood Hazard Areas (Division 4 - Sections 108-821 through 108-927):**

Per LOMR Case No. 21-04-3573P, the flood zone for the site is AE +10'.

## **Utilities (Article IX):**

### **Concurrency Analysis:**

### **Concurrency Facilities and Other Utilities or Services (Sec. 108-233):**

The City's Comprehensive Plan directs the City to ensure that facilities and services needed to support development are available concurrent with the impacts of new development.

The following specific issues are outlined:

- Roads/Trip Generation
- Sanitary Sewer
- Recyclables
- Potable Water
- Solid Waste
- Drainage

### **Policy 2-1.1.1- Transportation**

There is no anticipated change in overall trip generation as part of this project. The existing and proposed uses remain unchanged.

Notwithstanding the proposed trip generation, Policy 2-1.1.3: Dense Urban Land Area effectively eliminates the transportation concurrency requirement in favor of a prioritization of safety and function of existing roads and multi-modal transportation improvements (i.e. transit, air, boat, bicycles, pedestrianism, mixed-use development)

Policy 2-1.1.3: Dense Urban Land Area. The City of Key West is a substantially developed dense urban land area and is thereby exempted from transportation concurrency requirements for roadways. The City recognizes that its development characteristics make substantive expansion of capacity of the roadway system prohibitive. The City will therefore prioritize improving the safety and function of existing roads and multi-modal transportation improvements (i.e. transit, air, boat, bicycles, pedestrianism, mixed-use development) as its primary strategies for addressing current and projected transportation needs.

### **Policy 4-1.1.2.C – Potable Water**

Pursuant to Comp Plan Table 1-1.1.5, special needs social services shall be measured in FAR, not units per acre. However, the multi-family units are evaluated as having residential densities. Pursuant to Policy 4-1.1.2.C, the potable water LOS for residential and nonresidential is 100 gal/capita/day. Based on the City of Key West adopted level of

service the potable water demand is not anticipated to change as the site is proposing to maintain existing residential and nonresidential uses.

Water demand is expected to be **not change**.

Potable water to the City of Key West is provided by the Florida Keys Aqueduct Authority (FKAA). The FKAA has the capacity to provide 23 million gallons per day to Monroe County as a result of: The South Florida Water Management District's issuance of Water Use Permit #13-0005, which allocates 17 million gallons per day in the dry season; 17.79 million gallons per day which can be withdrawn from the Biscayne Aquifer; and six million gallons per day provided by a reverse osmosis treatment plant in Florida City. As documented above, the City is meeting its Level of Service Standard for Potable Water. The City projects a slight permanent population decrease, and only a slight increase in its functional population and non-residential development during short and long-range planning periods, so the current capacity should remain adequate. Ongoing capital improvements will be necessary to maintain and improve standards and service delivery.

#### **Policy 4-1.1.2.A - Sanitary Sewage**

Pursuant to Comp Plan Table 1-1.1.5, special needs social services shall be measured in FAR, not units per acre. However, the multi-family units are evaluated as having residential densities. Pursuant to Policy 4-1.1.2.A, the sanitary sewer LOS for nonresidential is 660 gal/acre/day and residential is 100 gal/capita/day. Based on the City of Key West adopted level of service the sanitary sewer demand is not anticipated to change as the site is proposing to maintain existing residential and nonresidential uses.

Sanitary sewer demand is expected to be **not change**.

The City contracts out the operation of the Richard A. Heyman Environmental Pollution Control Facility, its wastewater treatment plant (Plant), and the associated collection system to Operations Management International, Inc. (OMI). The Plant currently has the capacity to treat 10 million gallons per day, exceeding the capacity required to achieve the existing Level of Service Standard by approximately seven million gallons per day. Actual daily flow is 4.5 million gallons per day. This is a reduction from eight (8) million gallons per day due to a 67 million dollars capital improvement to the City's wastewater treatment during the past short-term planning period, including \$56 million for collection system rehabilitation.

As documented above, the City is exceeding its Level of Service Standard for Wastewater. The City projects a slight permanent population decrease, and only a slight increase in its functional population and non-residential development, during the short and long-range planning periods, so the current capacity should remain adequate. Ongoing capital improvements and continuing conservation efforts will continue to maintain and improve service delivery.

#### **Policy 4-1.1.2.D - Solid Waste**

Pursuant to Comp Plan Table 1-1.1.5, special needs social services shall be measured in FAR, not units per acre. However, the multi-family units are evaluated as having residential densities. Pursuant to Policy 4-1.1.2.D, the solid waste LOS for nonresidential is 6.37 lbs/capita/day and residential is 2.66 lbs/capita/day. Based on the City of Key West adopted level of service the solid waste demand is not anticipated to change as the site is proposing to maintain existing residential and nonresidential uses.

Solid Waste demand is expected to be **not change**.

The City currently contracts with Waste Management of Florida, Inc. to collect, transfer and dispose of solid waste and residential recyclables. Commercial recyclables and other non-franchised collection services such as construction and demolition debris and yard waste are available on the open market to all licensed haulers. The City owns and operates a solid waste transfer station on Rockland Key that received 45,402.10 tons of solid waste for disposal and 3,607 tons of recyclables in 2009/10. Waste Management disposes of the solid waste collected in Monroe County, including the City of Key West, at its Central Sanitary Landfill in Broward County. In 2009 Waste Management Inc. reported a reserve capacity of 17 years at this facility. There is therefore an estimated reserve capacity of 15 years as of the date of this report.

As documented above, the City is meeting its Level of Service Standard for solid waste. The City projects a slight permanent population decrease, and only a slight increase in its functional population and non-residential development, during the short and long-range planning periods, and the current capacity should remain adequate. Ongoing capital improvements will be necessary to improve standards and service delivery.

#### **Policy 4-1.1.2. D - Recyclable Waste Generation Level of Service**

Pursuant to Comp Plan Table 1-1.1.5, special needs social services shall be measured in FAR, not units per acre. However, the multi-family units are evaluated as having residential densities. Pursuant to Policy 4-1.1.2.D, the recyclable waste LOS for nonresidential is 0.25 lbs/capita/day and residential is 0.5 lbs/capita/day. Based on the City of Key West adopted level of service the recyclable waste demand is not anticipated to change as the site is proposing to maintain existing residential and nonresidential uses.

Solid Waste demand is expected to be **not change**.

#### **Policy 4-1.1.2. E- Drainage Facilities Level of Service**

Please refer to the attached Drainage plans for pre and post-development analysis. The redevelopment will comply with all applicable Federal, state and local standards.

#### Existing Level of Service Standard

1. Post development runoff shall not exceed the pre-development runoff rate for a 25-year storm event, up to and including an event with a 24-hour duration.
2. Storm water treatment and disposal facilities shall be designed to meet the design and performance standards established in Chapter 62-25 Section 25.025, Florida Administrative Code, with treatment of the runoff from the first one inch of rainfall on-site to meet the water quality standards required by Chapter 62-302, Florida Administrative Code. Storm water facilities which directly discharge into "Outstanding Florida Waters" (OFW) shall provide an additional treatment pursuant to Section 62-25.025 (9), Florida Administrative Code.
3. Storm water facilities must be designed so as to not degrade the receiving water body below the minimum conditions necessary to assure the suitability of water for the designated use of its classification as established in Chapter 62-302 Florida Administrative Code.

# **AUTHORIZATOIN & VERIFICATION FORM**



AH-FKOC Poinciana  
RE # 0064740-000000  
(3200 Duck Ave)

**City of Key West  
Planning Department**

**Authorization Form**  
(Where Owner is a Business Entity)

Please complete this form if someone other than the owner is representing the property owner in this matter.

I, Patti McLauchlin as  
*Please Print Name of person with authority to execute documents on behalf of entity*

City Manager of The City of Key West  
*Name of office (President, Managing Member)* *Name of owner from deed*  
authorize Owen Trepanier and Thomas Francis-Siburg of Owen Trepanier and Associates, Inc.  
*Please Print Name of Representative*

to be the representative for this application and act on my/our behalf before the City of Key West.

*Patti McLauchlin*  
*Signature of person with authority to execute documents on behalf of entity owner*

Subscribed and sworn to (or affirmed) before me on this 11<sup>th</sup> day of April 2022  
*Date*

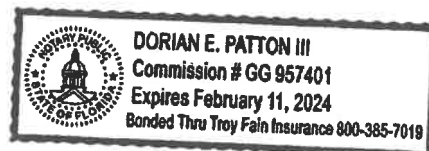
by *Patti McLauchlin*  
*Name of person with authority to execute documents on behalf of entity owner*

He/She is personally known to me or has presented as identification.

*Dorian E. Patton III*  
*Notary's Signature and Seal*

*Dorian E. Patton III*  
*Name of Acknowledger typed, printed or stamped*

*GG 957401*  
*Commission Number, if any*







**City of Key West**  
**Planning Department**  
**Verification Form**  
*(Where Applicant is an entity)*

I, Owen Trepanier, in my capacity as President  
*(print name)* *(print position; president, managing member)*  
of Trepanier and Associates, Inc.  
*(print name of entity)*

being duly sworn, depose and say that I am the Authorized Representative of the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

3200 Duck Ave, Key West, FL 33040

*Street address of subject property*

I, the undersigned, declare under penalty of perjury under the laws of the State of Florida that I am the Authorized Representative of the property involved in this application; that the information on all plans, drawings and sketches attached hereto and all the statements and answers contained herein are in all respects true and correct.

In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.

*Signature of Applicant*

Subscribed and sworn to (or affirmed) before me on this April 12, 2022 by  
*date*

Owen Trepanier  
*Name of Applicant*

He/She is personally known to me or has presented \_\_\_\_\_ as identification.

Nikita L. Stange  
*Notary's Signature and Seal*

Nikita L. Stange  
*Name of Acknowledger typed, printed or stamped*

HH 149093  
*Commission Number, if any*



**Nikita L. Stange**  
Notary Public  
State of Florida  
Comm# HH149093  
Expires 7/5/2025



# WARRANTY DEED

MONROE COUNTY  
OFFICIAL RECORDS

STATE OF FLORIDA )  
 )  
COUNTY OF MONROE )

FILE #1201395  
BK#1655 PG#1771

RCD Sep 29 2000 02:15PM  
DANNY L KOLHAGE, CLERK

QUITCLAIM DEED

DEED DOC STAMPS 0.70  
09/29/2000 JP DEP CLK

KNOW ALL MEN BY THESE PRESENTS, that the United States of America, acting by and through the Department of the Navy, (hereinafter called "**GRANTOR**") whose mailing address is Southern Division, Naval Facilities Engineering Command, P.O. Box 190010, 2155 Eagle Drive, North Charleston, SC 29419-9010, for and in consideration of Ten Dollars (\$10.00), the performance by the City of Key West (hereinafter called "**GRANTEE**") of the covenants, conditions and restrictions hereinafter contained and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged does hereby release and quitclaim unto the **GRANTEE** the following described real property, including all rights in abutting streets, in and to the property, and related personal property in County of Monroe, Florida (herein called the "Property") to wit:

7.66 acres of land, more or less, located in Poinciana Housing Complex, Key West, Florida, described in **EXHIBIT "A"**, attached hereto and made a part hereof.

The Property contains Buildings # P-1614, #1615, #1616, #1617, #1618, #1619, #1620, #1621, #1622, #1623, #1624, #1625, and #1626.

TO HAVE AND TO HOLD the above described premises, together with all and singular the rights and appurtenances thereto in anywise belonging, unto the said **GRANTEE**, its successors and assigns forever.

Subject, however, to any easements and rights-of-way for roads, highways, pipeline, and public utilities of record, and subject to the following covenants, conditions and restrictions.

The property hereby conveyed has heretofore been declared surplus to the need of the United States of America and is presently under the jurisdiction of the Department of the Navy, is available for disposal pursuant to Section 2905(b)(7) of Public Law 101-510, as amended by Public Law 103-421, Base Closure Community Redevelopment and Homeless Assistance Act of 1994, ("the Act").

A Finding of Suitability to Transfer (FOST) is attached as **EXHIBIT "B"** and an Addendum for Transfer to the Environmental Baseline Survey for Lease (AFTEBSL) is attached as **EXHIBIT "C"** to the Deed; an Environmental Baseline Survey (EBS) report is referenced in the FOST; the FOST, AFTEBSL, and EBS reference environmental conditions on the Property and on other property not subject to this Deed. Those restrictions and environmental conditions described in the FOST, AFTEBSL, and EBS which are applicable to the Property are contained in this Deed. The FOST sets forth the

basis for the **GRANTOR's** determination that the Property is suitable for transfer. The **GRANTEE** is hereby made aware of the notifications contained in the EBS, AFTEBSL, and the FOST.

NOTICE OF HAZARDOUS SUBSTANCE OR PETROLEUM PRODUCTS  
STORED FOR ONE YEAR OR MORE, KNOWN TO HAVE BEEN RELEASED OR  
DISPOSED OF.

The information contained in this notice is required under the authority of Section 120(h)(3) of the Comprehensive Environmental Response, Liability, and Compensation Act 9CERCLA or "Superfund") 42 U.S.C. Section 9620(h)(3) and (h) (4).

Petroleum fuel products, paints, and janitorial supplies consistent with home use were stored in quantities below that required for reporting under 40 CFR 373 (EPA Hazardous Substances Reporting Requirements for Selling or Transferring Federal Real Property).

**GRANTEE** hereby acknowledges that Lead-Based Paint has been identified in the Buildings. A Lead Based Paint Disclosure Statement is provided as **EXHIBIT "D"** to this Deed. **GRANTEE** covenants that all lead-based paint hazards will be controlled or abated prior to re-occupancy of the housing units.

**GRANTEE** hereby acknowledges that non-friable asbestos containing material (ACM) has been found on the property. The ACM on the property does not currently pose a threat to human health or the environment. **GRANTEE** shall manage the ACM in accordance with applicable laws and regulations.

**GRANTEE** hereby acknowledges that residual arsenic was detected at two subsurface soil areas and in one groundwater location in excess of the applicable action level. A groundwater monitoring well (MW-01) is installed between P-1618 and P-1619 Truesdale Court. **GRANTEE**, shall provide notification that anyone who disturbs subsurface soils in the area of MW-01 comply with all applicable environmental, health, and safety laws and regulations. No groundwater wells for either irrigation or potable water purposes will be allowed within 75 feet of MW-01 until such time as Florida Department of Environmental Protection (FDEP) approved site closure has occurred. **GRANTOR** will continue to monitor the groundwater at MW-01 quarterly for one year and annually thereafter until such time as three consecutive sampling events yielding less than or equal to 50 ug/l of arsenic has occurred.

The above use restrictions (hereinafter referred to as the "Restrictive Covenant") shall run with the land until removed from the property or applicable portions thereof with both **GRANTOR** and FDEP concurrence. **GRANTEE** and its successors and assigns hereby grant a conservation easement pursuant to and in accordance with the provisions of Section 704.06, Florida Statutes, on the restricted property to FDEP and their respective successors and assigns for the purpose of determining compliance with the Restrictive Covenant. This Restrictive Covenant may be enforced by FDEP by

injunctive relief and other appropriate available remedies in a court of competent jurisdiction.

**GRANTOR** covenants that all remedial action necessary to protect human health and the environment with respect to any known hazardous substance or petroleum product remaining on the property has been taken before the date of transfer.

**GRANTOR** covenants that any additional remedial action found to be necessary after such date of transfer shall be performed by the United States.

**GRANTEE** covenants that the **GRANTOR**, its officers, agents, employees, contractors and subcontractors, in accordance with Section 120(h) of Comprehensive Environmental Response, Compensation and Liability Act, shall have access to the Property in any case in which remedial action or corrective action is found to be necessary after the date of the conveyance of the Property. **GRANTEE** agrees to comply with activities of the **GRANTOR** in furtherance of these covenants and will take no action to interfere with future necessary remedial and investigative actions of the **GRANTOR**. The **GRANTOR** and the **GRANTEE** agree to cooperate in good faith to minimize any conflict between necessary environmental investigation and remediation activities and operations of **GRANTEE**, its successors and assigns, and of any Lessee or any Sublessee of the Property. Any inspection, survey, investigation, or other response or remedial action will to the extent practicable, be coordinated with representatives designated by **GRANTEE** or its successors and assigns.

**GRANTEE** agrees to comply with the provisions of any health or safety plan in effect during the course of any of the above described response or remedial actions. Any inspection, survey, investigation, or other response or remedial action will, to the extent practicable, be coordinated with representatives designated by **GRANTEE** and any lessee. **GRANTEE**, any lessees, or licenses shall have no claim on account of such entries against the United States or any officer, agent, employee, contractor, or subcontractor thereof. In addition, **GRANTEE** shall comply with all applicable Federal, State, and local occupational safety and health regulations.

The **GRANTOR** recognizes its obligations under Section 330 of the National Defense Authorization Act of 1993, as amended (Pub.L. No. 102-484).

**GRANTEE** covenants that in the event that undiscovered buried cultural materials are encountered during construction or disturbance activities, work shall cease in the immediate area until professional archeological evaluation(s) is made in accordance with 36 CFR 800.11(b)(2) and the State of Florida Historic Preservation Officer (SHPO) is consulted. Should the professional evaluation indicate that the finding is significant, **GRANTEE** will seek professional determination of eligibility for inclusion in the National Register of Historic Places (Register) in accordance with 36 CFR 800.4 (c).

**GRANTEE** covenants for itself, successors, and assigns and every successor in interest to the Property, or any part thereof, that **GRANTEE** and such successors, and assigns

shall not discriminate upon the basis of race, color, religion, disability, or national origin in the use, occupancy, sale, or lease of the Property, or in their employment practices conducted thereon. This covenant shall not apply however, to the lease or rental of a room or rooms within a family dwelling unit, nor shall it apply with respect to Property used primarily for religious purposes. The United States of America shall be deemed a beneficiary of this covenant without regard to whether it remains the owner of any land or interest therein in the locality of the Property hereby conveyed and shall have the sole right to enforce this covenant in any court of competent jurisdiction.

**RECOUPMENT COVENANT:** **GRANTEE** acknowledges that it has read and understands and agrees to the terms and provisions within the recoupment covenant attached as **EXHIBIT "E"** to this deed.

**GRANTOR** reserves the right to enter and inspect the Property for purposes of confirming compliance with the requirements of "the Act".

The failure of **GRANTOR** to insist in any one or more instances upon complete performance of the conditions subsequent, terms, or covenants of this Deed shall not be construed as a waiver of, or a relinquishment of, **GRANTOR's** right to the future performance of any of those conditions subsequent, terms and covenants and the **GRANTEE's** obligations with respect to such future performance shall continue in full force and effect.

All covenants, conditions subsequent and restrictions contained in this Deed shall run with the land and be binding upon **GRANTEE**, its successors and assigns to all of or any part of the Property. All rights and powers reserved to **GRANTOR** by this Deed may be exercised by any successor in function to **GRANTOR**, and all references to **GRANTOR** shall include any successor in function. All covenants and conditions subsequent contained herein are for the sole benefit of **GRANTOR** with the exception of the Restrictive Covenant, which is also for the benefit of FDEP and may be modified or abrogated by **GRANTOR** as provided by the Act.

**LIST OF EXHIBITS:** The following exhibits are attached hereto and made a part of this deed:

EXHIBIT A	PROPERTY Description
EXHIBIT B	Finding of Suitability to Transfer
EXHIBIT C	Addendum for Transfer to the Environmental Baseline Survey for Lease (AFTEBSL)
EXHIBIT D	Lead-Based Paint Hazard Disclosure & Acknowledgement Form
EXHIBIT E	Recoupment Covenant

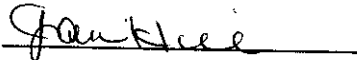
EFFECTIVE the 13<sup>th</sup> day of September 2000.

UNITED STATES OF AMERICA  
Acting by and through

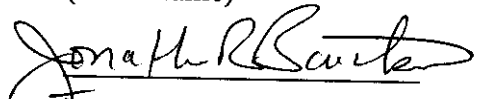
Name: 

Title: Director, Real Estate Division

WITNESSES:



JAN HILL  
(Print Name)

  
JONATHAN BARTKU  
(Print Name)

CONCURRENCE:



Commanding Officer  
Naval Air Station  
Key West, Florida

STATE OF SOUTH CAROLINA )  
COUNTY OF CHARLESTON )

BEFORE me the undersigned, Notary Public in and for the said County and State on this day personally appeared ER Nelson JR, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me, that he executed the foregoing instrument for the purposes therein expressed.

Given under my hand and seal of office this 13<sup>th</sup> day of September 2000.

Gloria L. Smith  
Notary Public – State of South Carolina

My commission expires: \_\_\_\_\_

NOTARY PUBLIC FOR SOUTH CAROLINA  
My commission expires November 29, 2003



DEPARTMENT OF THE NAVY  
THE ASSISTANT SECRETARY OF THE NAVY  
(INSTALLATIONS AND ENVIRONMENT)  
1000 NAVY PENTAGON  
WASHINGTON, D.C. 20350-1000

FILE #1201395  
BK#1655 PG#1777

August 2, 2000

MEMORANDUM FOR COMMANDER, NAVAL FACILITIES ENGINEERING COMMAND

Subj: CONVEYANCE OF APPROXIMATELY 7.66 ACRES OF BASE CLOSURE PROPERTY AND IMPROVEMENTS LOCATED AT THE POINCIANA HOUSING COMPLEX, NAVAL AIR STATION KEY WEST, FLORIDA, TO THE CITY OF KEY WEST, FLORIDA, FOR HOMELESS ASSISTANCE PURPOSES

Ref: (a) COMNAVFACENGCOM memo of June 22, 2000

In accordance with reference (a) and pursuant to the authority vested in the Administrator of General Services by the Federal Property and Administrative Services Act of 1949 (FPASA), as amended, and a delegation of that authority to the Secretary of Defense (SECDEF) in accordance with the Defense Base Closure and Realignment Act of 1990, Public Law 101-510, 10 U.S.C. § 2687 note, as amended, and a subsequent delegation of the authority by SECDEF to the Secretary of the Navy, I hereby approve the conveyance, without reimbursement to the Navy, of 7.66 acres of land, more or less, and improvements, at the Poinciana Housing Complex, Naval Air Station Key West, Florida, to the City of Key West, Florida, for homeless assistance purposes as authorized by and pursuant to § 2905(b)(7).

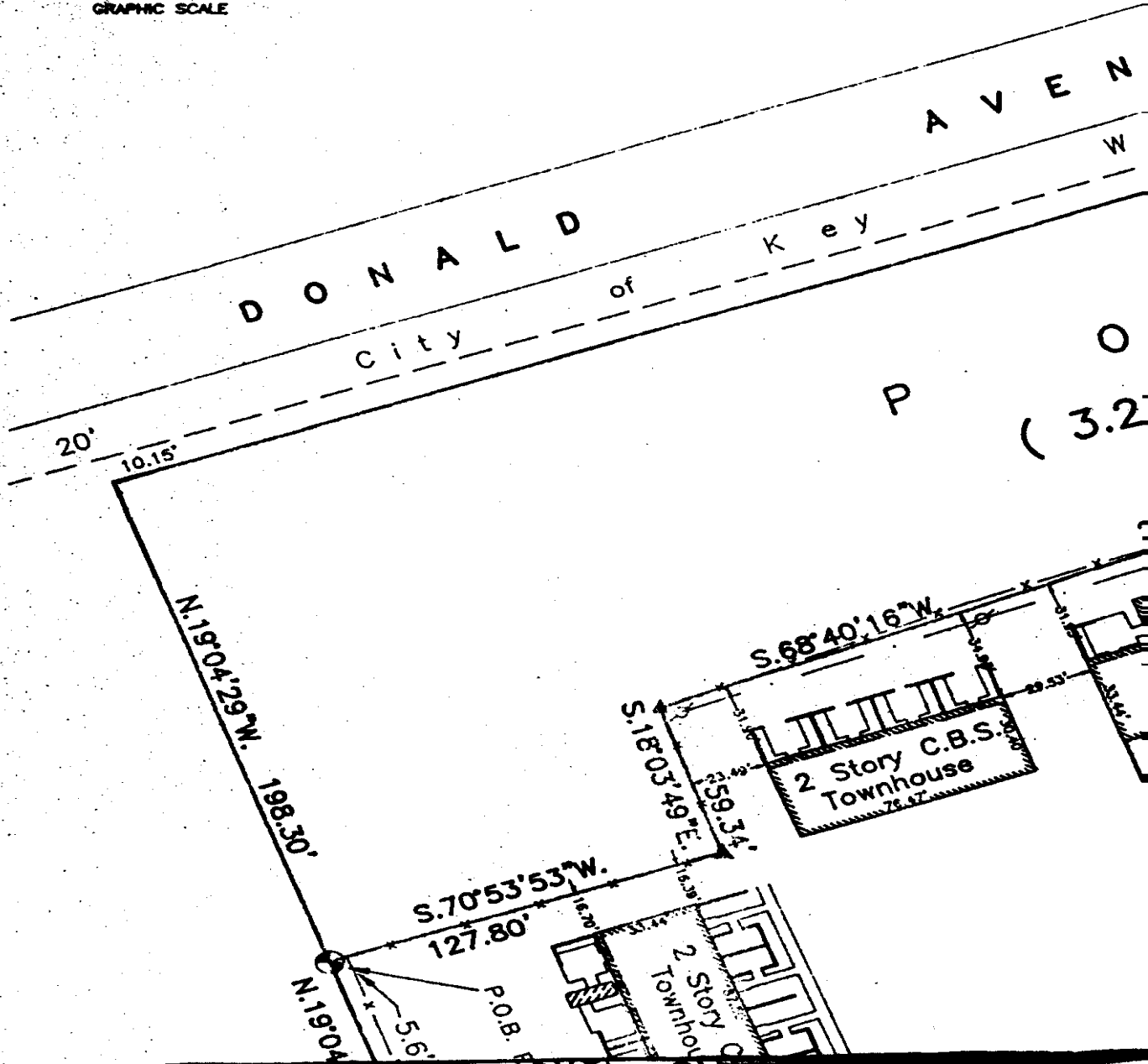
You or your designee are hereby authorized to complete the conveyance of 7.66 acres of land, more or less, and improvements, to the City of Key West, Florida for homeless assistance purposes.

A handwritten signature in black ink, appearing to read "R. B. Pirie".

ROBERT B. PIRIE, JR.



FILE #1201395  
BK#1655 PG#1778



FILE #1201395  
BK#1655 PG#1779

( 40' R/W )

Drainage

Easement

N.70°56'31"E. 994.64'

D

N

acres )

N.87°28'07"W.  
94.51'

S.72°47'35"W.

259.27'

188.81'

Chain link fence,  
on line

S.40°51'10"

Misc. HO

C.B.S.  
house

2 Story house  
C.B.S.

2 Story house  
C.B.

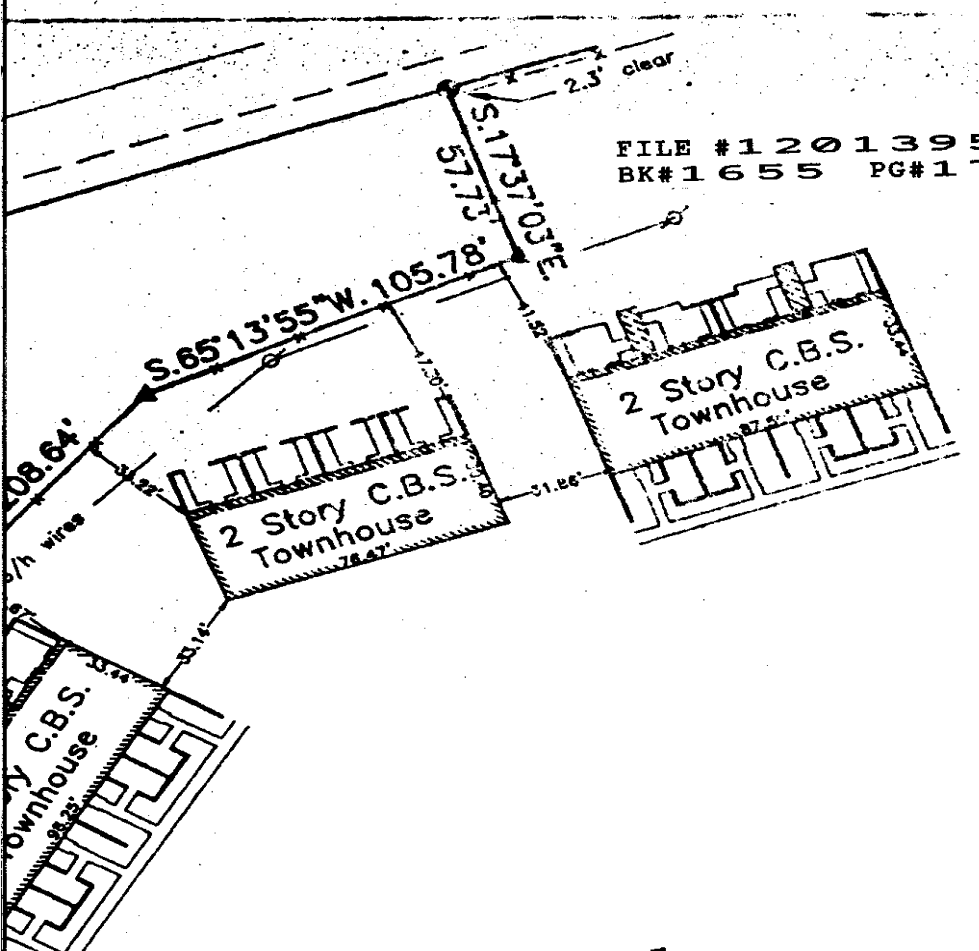
Curve number 1

Radius= 155.85  
Delta= 15°52'21"  
Arc= 43.18  
Tangent= 21.73  
Chord= 43.04  
Chord Brg. N.10°49'

Curve number 2

Radius= 19.85  
Delta= 80°32'18"  
Arc= 27.94  
Tangent= 16.84  
Chord= 25.70  
Chord Brg. N.40°1'

30'



FILE #1201395  
BK#1655 PG#1780

#### SURVEYOR'S NOTES:

North arrow Based on State Plan  
Reference Bearing: Centerline Duc  
3.4 denotes existing elevation  
Elevations based on N.G.V.D. 1922  
Bench Mark No.: 4529 F. Ele  
Monumentation:

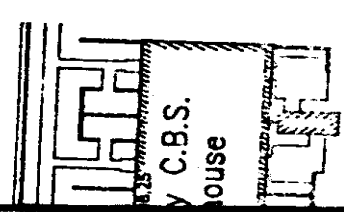
- ⊙ = set 1/2" Iron Pipe, P.L.S.
- ▲ = Set P.K. Nail, P.L.S. No. 2
- △ = Found P.K. Nail

#### Abbreviations:

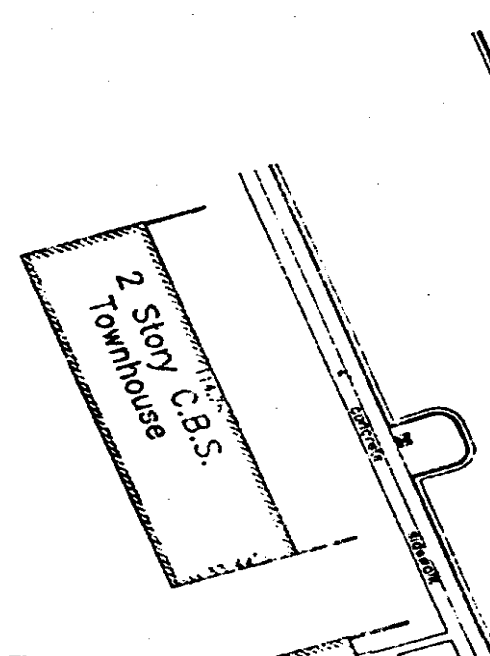
- Sty. = Story
- R/W = Right-of-Way
- fd. = Found
- p. = Plat
- m. = Measured
- d. = Deed
- M.H.W. = Mean High Water
- O.R. = Official Records
- Sec. = Section
- Twp. = Township
- Rgs. = Range
- N.T.S. = Not to Scale
- ℄ = Centerline
- Elev. = Elevation
- B.M. = Bench Mark
- P.C. = Point of Curvature
- P.T. = Point of Tangency
- P.O.C. = Point of Commence
- P.O.B. = Point of Beginning
- P.B. = Plat Book
- pg. = page
- Elec. = Electric
- Tel. = Telephone
- Ench. = Encroachment
- O.L. = On Line
- C.L.F. = Chain Link Fence

Field Work performed on: 2

n g  
A r e a  
( 21.61 ± Acres )



are Police



ordinate System  
per State Plane Coord. System

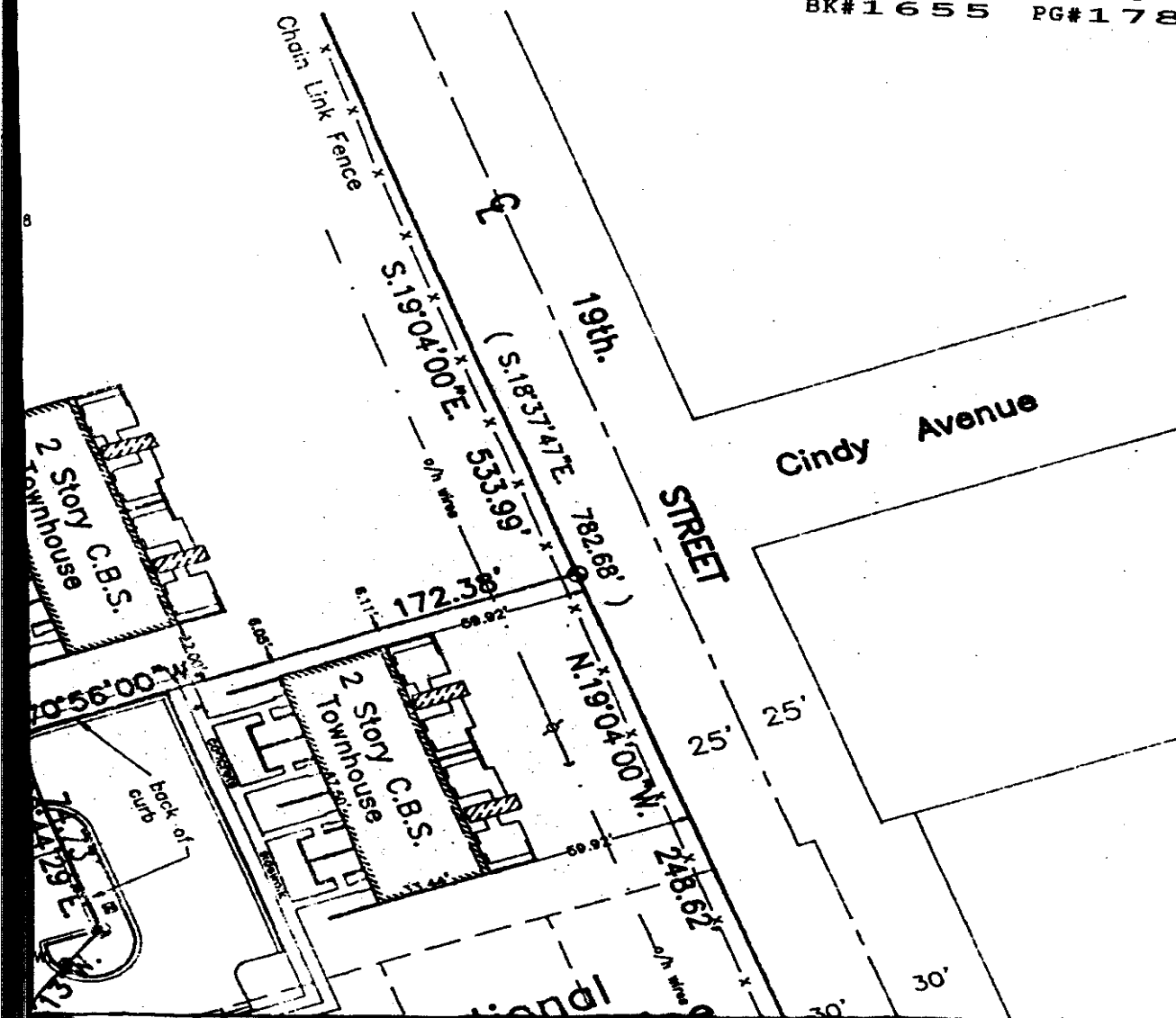
um  
n: 5.14 (Riviera Canal Bridge)

2749

o/h = Overhead  
u/g = Underground  
F.F.L. = Finish Floor Elevation  
L.B. = Low Beam  
Rad. = Radial  
Irr. = Irregular  
conc. = concrete  
I.P. = Iron Pipe  
I.B. = Iron Bar  
B. = Baseline  
C.B. = Concrete Block  
C.B.S. = Concrete Block Stucco  
cov'd. = Covered  
P.I. = Point of Intersection  
wd. = Wood  
R. = Radius  
A. = Arc (Length)  
D. = Delta, (Central angle)  
w.m. = Water Meter  
Bal. = Balcony  
Pl. = Planter  
Hydt. = Fire Hydrant  
F.W. = Fire Well

■ = Concrete Utility Pole  
○ = Wood utility Pole  
○ = Wood Utility Pole  
with Guy wire  
● F.W. = Fire Well  
⊙ M.W. = Monitoring Well  
○ = Water Meter  
○ = Water Valve  
○ E. = Electric Manhole  
□ E. = Electric Utility Vault  
○ M.H. = Man Hole  
San. = Sanitary  
■ C.B. = Storm Water Catch Basin  
Inv. = Invert  
B.P.Z. = Backflow Prevention Valve  
P.V.C. = Polyvinyl Pipe  
R.C.P. = Reinforced Concrete pipe  
+ = Fire Hydrant  
\* = Light  
⊙ = sign  
A/C = Air Conditioner

FILE #1201395  
BK#1655 PG#1781



se  
B.S.

WEST  
VILLAS  
LTD.

clear  $x$   
 $x$   $x$   
782.90' m.  
29" N.

ond Area

N. 19.04.29 W

584.60

Chain Link Fence  
( N. 15.38.55" W. 782.90' b.

782.90' d.

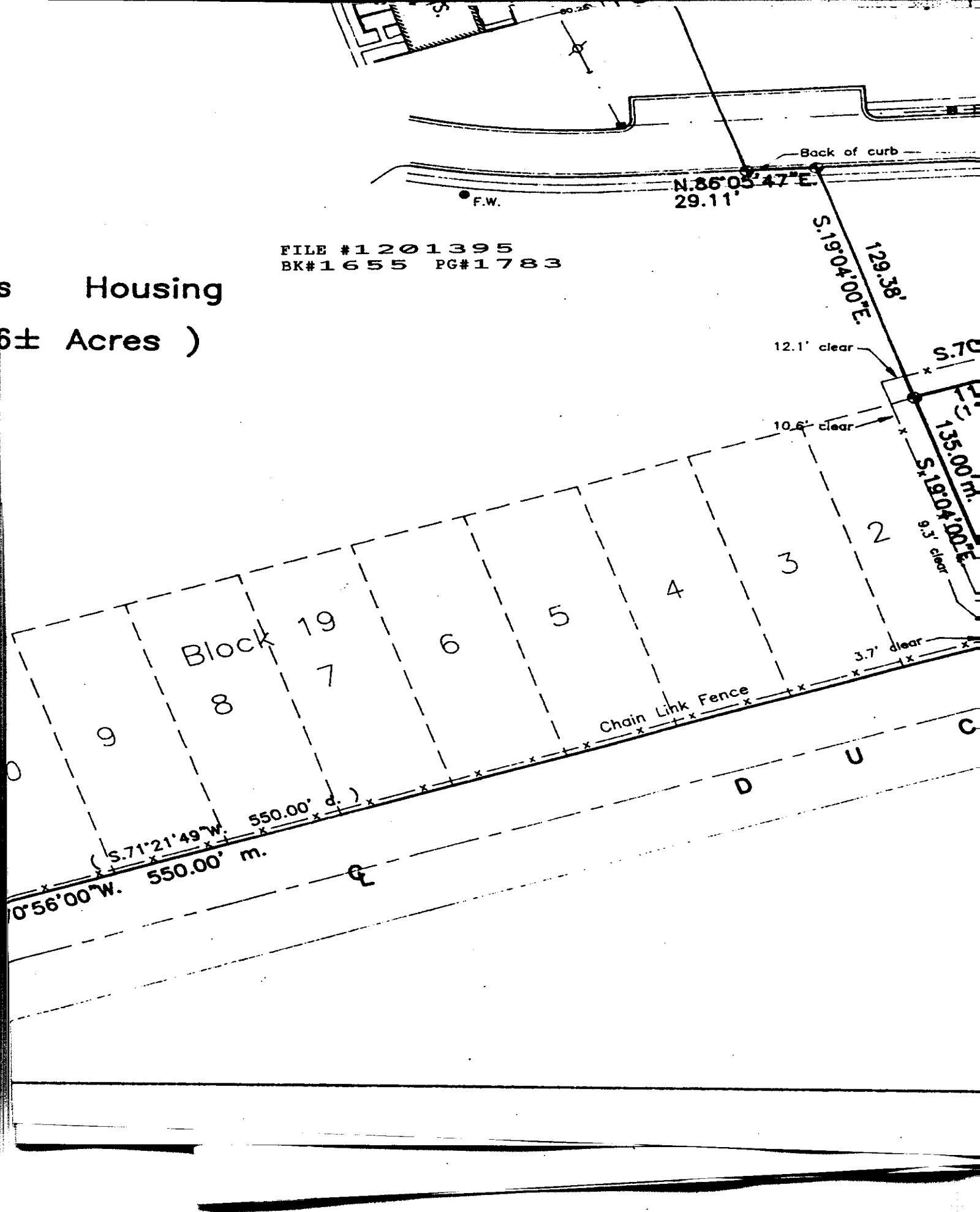
12

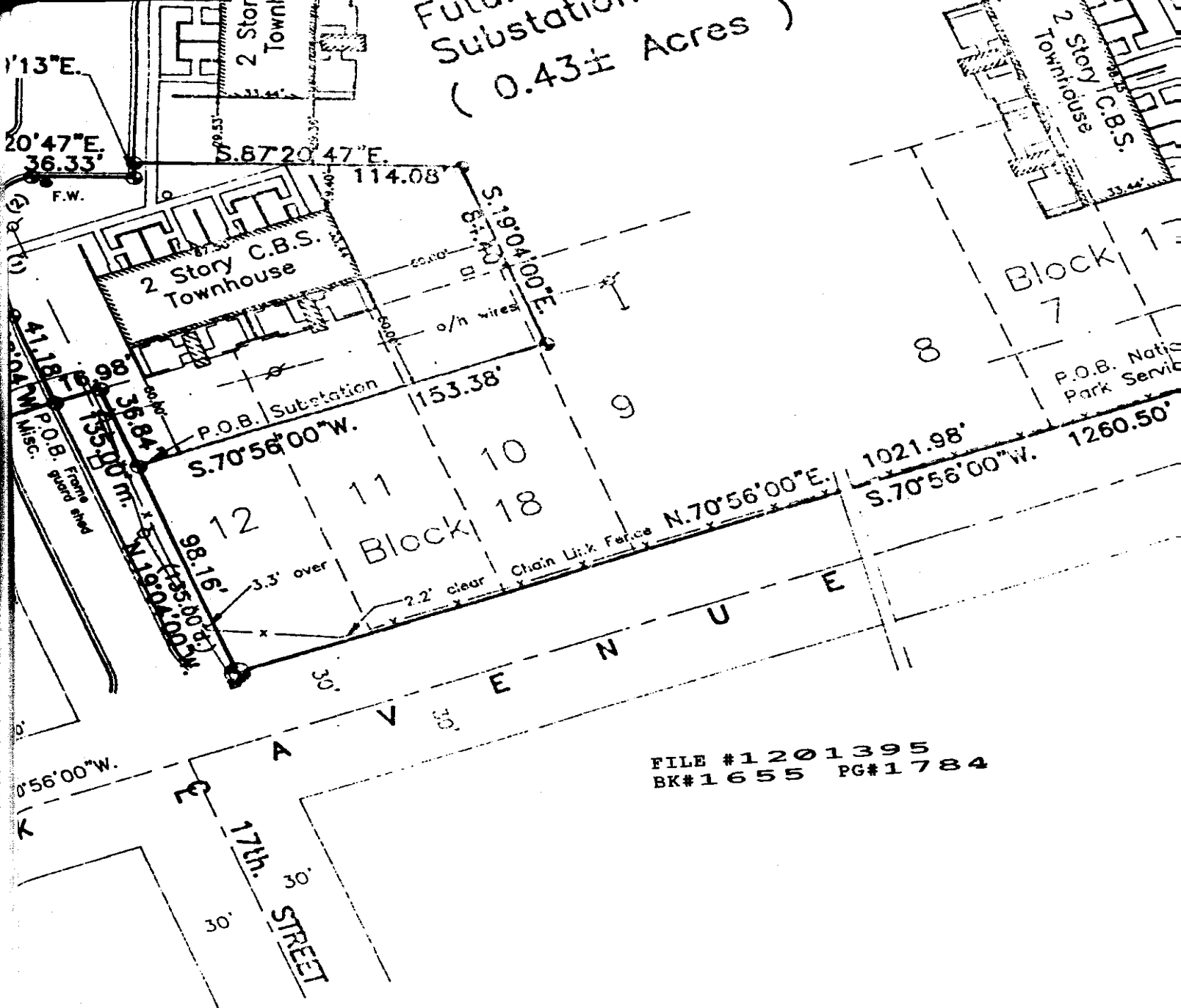
P.O.B. Entire site  
& Homeless Area

16th. ~~STREET~~ 30'

FILE #1201395  
BK#1655 PG#1783

s Housing  
(6± Acres)



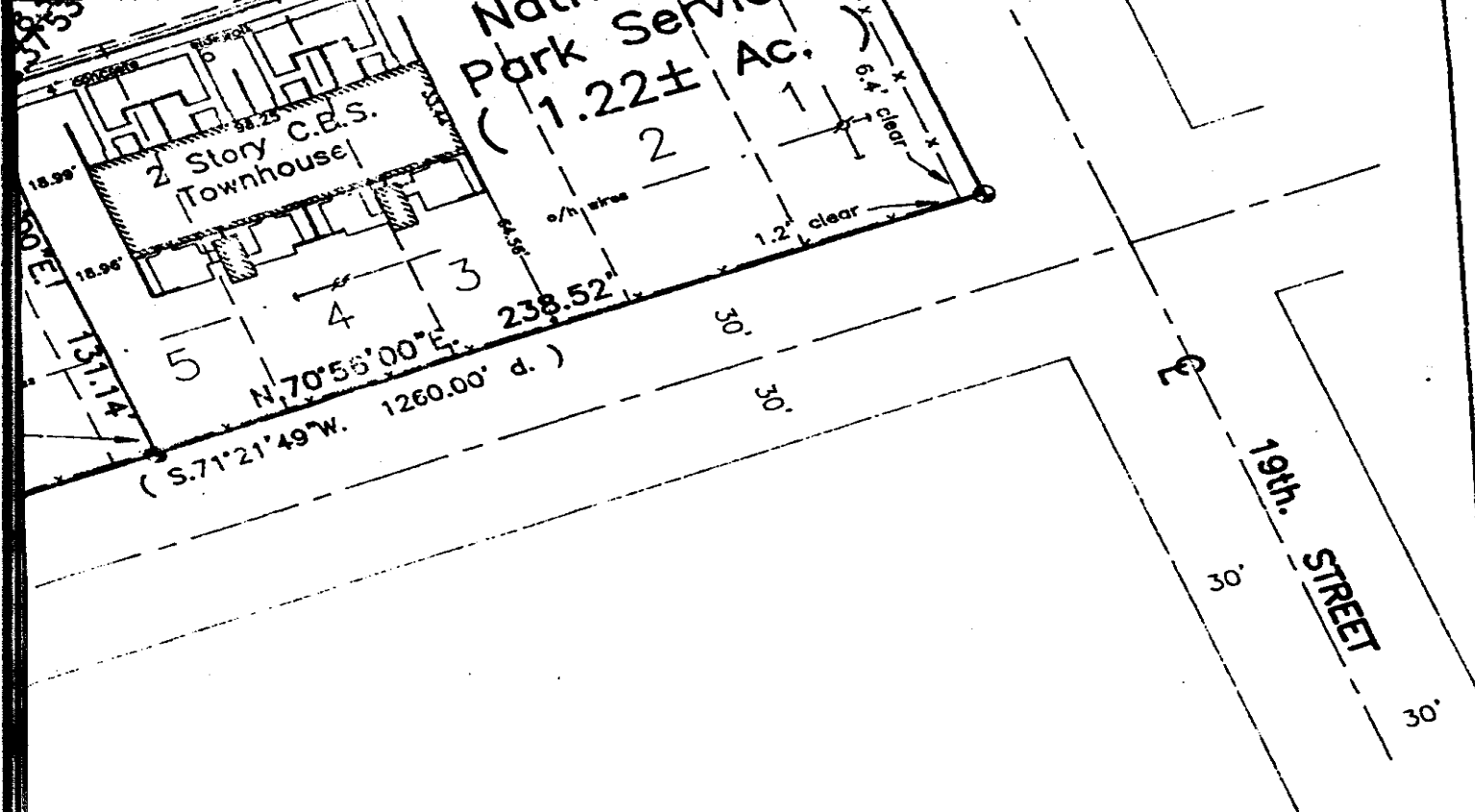


FILE #1201395  
BK#1655 PG#1784

**NOTATION:**  
I HEREBY CERTIFY that the attached BOUNDARY SURVEY is true and correct to the best of my knowledge and belief; that it meets the minimum standards adopted by the Florida Board of Land Surveyors, Chapter 61G17-6, Statute Section 472.01, and the American Land Title Association, and that there are no visible encroachments unless shown hereon.

*[Signature]*  
ROCK H. HILDEBRANDT  
Professional Land Surveyor No. 2749  
Professional Engineer No. 36810  
Florida

NOT VALID UNLESS EMBOSSED WITH RAISED SEAL & SIGNATURE



FILE #1201395  
BK#1655 PG#1785

Sheet 2 of 2

Poinciana Housing Duck Avenue, Key West, Fl. 33040			
Boundary Survey			Dwn No.: 98-116
Scale: 1"=50'	Ref. 133-25	Flood panel No. 1709 F	Dwn. By: F.H.H.
Date: 2/9/98		Flood Zone: AE	Flood Elev. 7'
REVISIONS AND/OR ADDITIONS			
3/18/98: Typos			
Customer, City of Key West, Fla.			

**FREDERICK H. HILDEBRANDT**  
ENGINEER PLANNER SURVEYOR

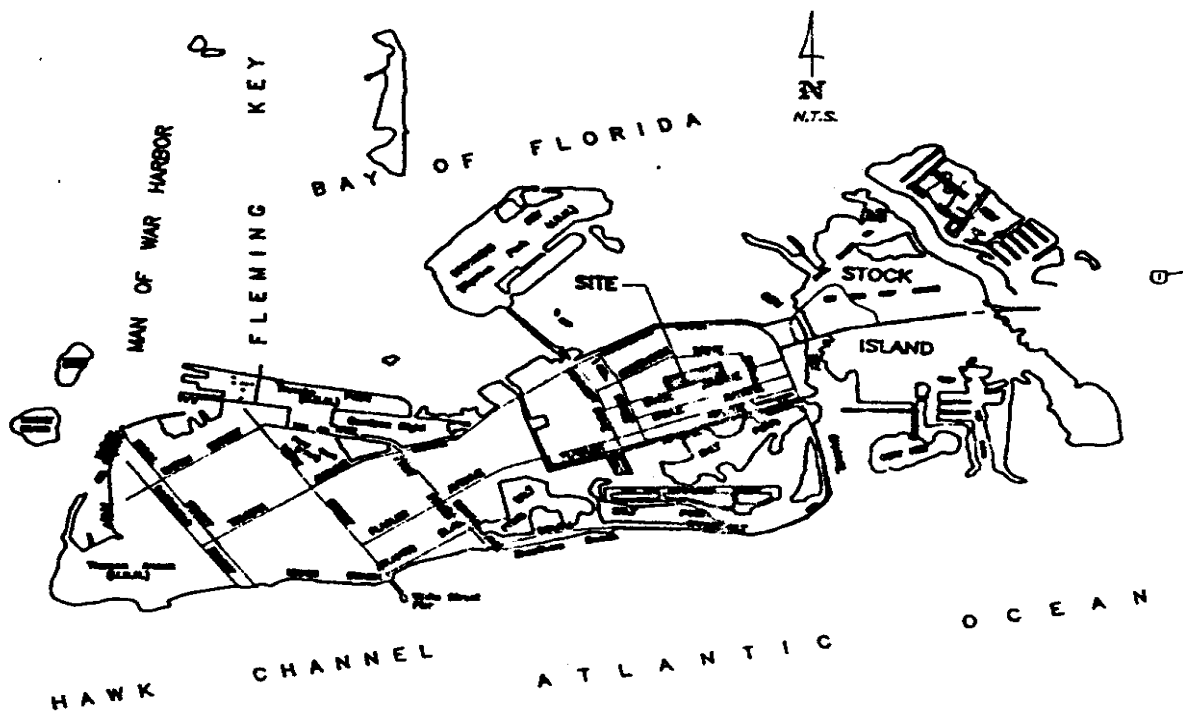
3150 Northside Drive  
Suite 101  
Key West, Fl. 33040  
(305) 293-0466  
Fax. (305) 293-0237



FILE #1201395  
BK#1655 PG#1786

**LEGAL DESCRIPTION**  
A Tract of land lying  
being known as a  
FOUNDATION COMP.  
of the Public Records  
17, of said Plat and  
COMMENCE at the  
and the extension  
point also being the  
FOUNDATION COMP.  
Northerly Right-of-  
to the Southwest corner  
along the Westerly  
to the Point of Beginning  
thence S.70°56'00"W.  
distance of 41.18  
of 155.85 feet, a  
N.10°43'00"W. and  
said curve, an arc  
having a radius of  
bearing of N.40°14'  
arc of said curve,  
thence S.87°20'47"W.  
distance of 6.82 feet  
thence S.19°04'00"W.  
distance of 150.38

Parcel contains 18



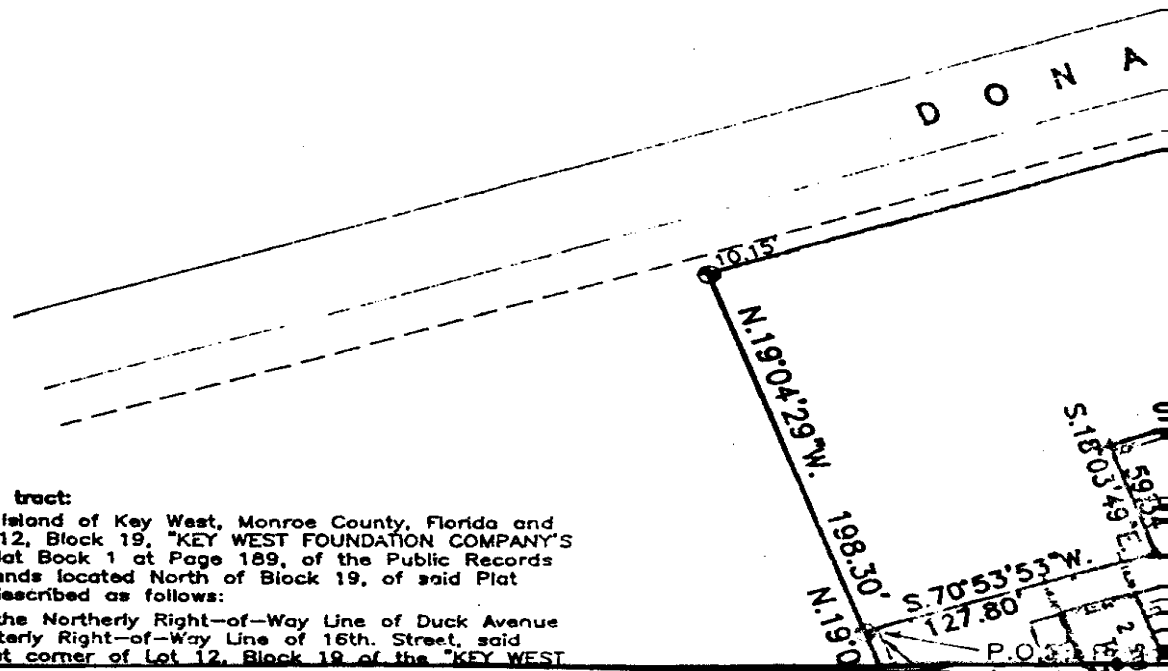
### LOCATION MAP

City of Key West &  
Stock Island

### LEGAL DESCRIPTION, Homeless tract:

A Tract of land lying on the Island of Key West, Monroe County, Florida and being known as Lots 2 thru 12, Block 19, "KEY WEST FOUNDATION COMPANY'S Plat No. 2, as recorded in Plat Book 1 at Page 189, of the Public Records Monroe County, Florida and lands located North of Block 19, of said Plat and being more particularly described as follows:

BEGIN at the intersection of the Northerly Right-of-Way Line of Duck Avenue and the extension of the Easterly Right-of-Way Line of 16th. Street, said point also being the Southwest corner of Lot 12, Block 19 of the "KEY WEST



# Substation:

of Key West, Monroe County, Florida and  
9 thru 12, Block 18, "KEY WEST"  
as recorded in Plat Book 1 at Page 189,  
y, Florida and lands located North of Block  
particularly described as follows:

a Northerly Right-of-Way Line of Duck Avenue  
Right-of-Way Line of 18th Street, said  
er of Lot 12, Block 19 of the "KEY WEST"  
thence N.70°56'00"E., and along the said  
Avenue a distance of 660.00 feet  
12, Block 18; thence N.19°04'00"W., and  
12, Block 18 a distance of 98.16 feet  
19°04'00"W., a distance of 36.84 feet;  
16.98 feet; thence N.19°18'04"W., a  
a curve to the right, having: a radius  
5°52'21", a chord bearing of  
43.04 feet; thence along the arc of  
feet to a point on a curve to the right,  
entral angle of 80°32'18", a chord  
d length of 25.70 feet; thence along the  
27.94 feet to the end of said curve;  
31.33 feet; thence N.02°39'13"E., a  
0°47'E., a distance of 114.08 feet;  
34.40 feet; thence S.70°56'00"W., a  
of Beginning.

0.43 acres, more or less.

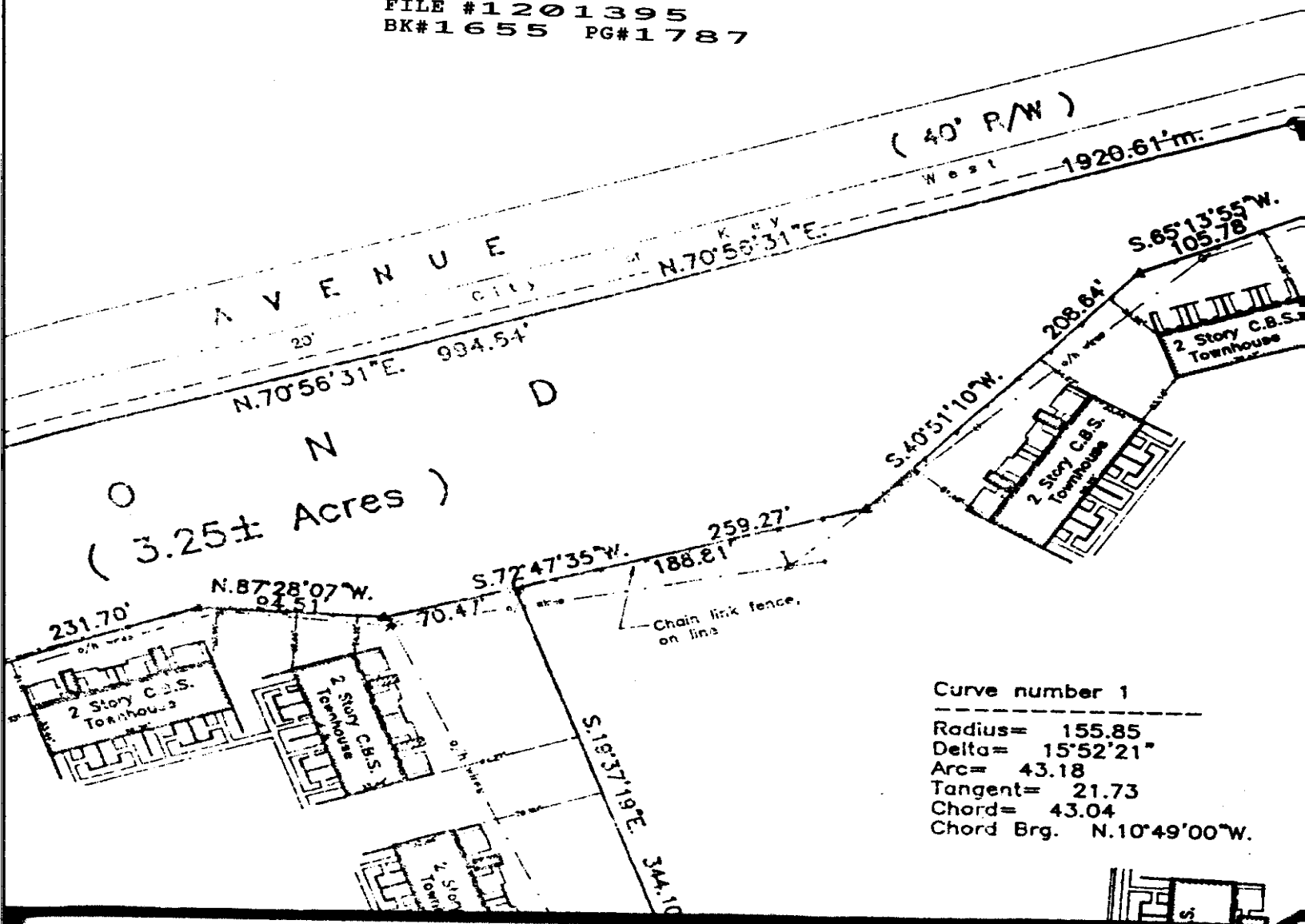
## LEGAL DESCRIPTION, National Park Service:

A Tract of land lying on the Island of Key West, Monroe County, Florida and  
being known as Lots 1 thru 4, and a portion of Lot 5 Block 17, "KEY WEST"  
FOUNDATION COMPANY'S Plat No. 2, as recorded in Plat Book 1 at Page 189,  
of the Public Records Monroe County, Florida and lands located North of Block  
17, of said Plat and being more particularly described as follows:

COMMENCE at the intersection of the Northerly Right-of-Way Line of Duck Avenue  
and the extension of the Easterly Right-of-Way Line of 16th Street, said  
point also being the Southwest corner of Lot 12, Block 19 of the "KEY WEST"  
FOUNDATION COMPANY'S Plat No. 2, thence N.70°56'00"E., and along the said  
Northerly Right-of-Way Line of Duck Avenue a distance of 1681.98 feet to  
the Point of Beginning; thence N.70°56'00"E., and continuing along the said  
Northerly Right-of-Way Line of Duck Avenue a distance of 238.52 feet to the  
Westerly Right-of-Way Line of 19th Street; thence N.19°04'00"W., and along  
the said Westerly Right-of-Way Line of 19th Street a distance of 248.82  
feet; thence S.70°56'00"W., a distance of 172.38 feet; thence  
S.18°44'29"E., a distance of 74.73 feet; thence S.37°53'13"W., a distance  
of 78.10 feet; thence S.19°04'00"E., a distance of 131.14 feet to the said  
Northerly Right-of-Way Line of Duck Avenue and the Point of Beginning.

Parcel contains 52969 square feet or 1.22 acres, more or less.

FILE #1201395  
BK#1655 PG#1787

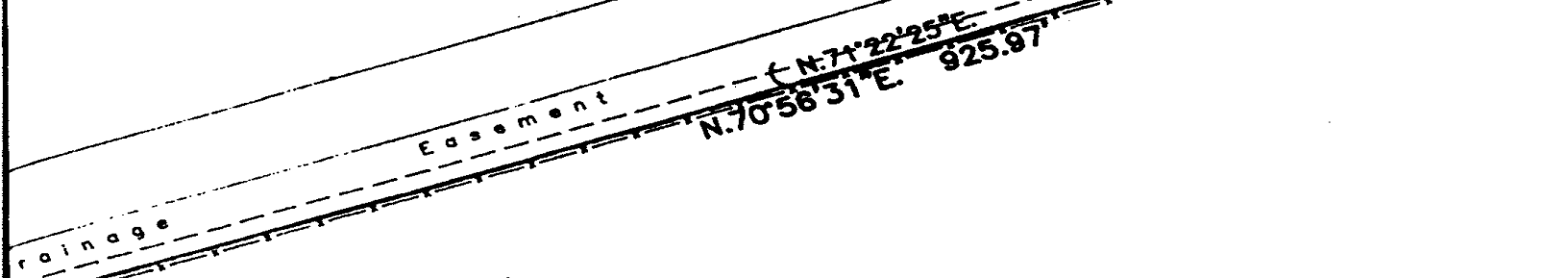


DESCRIPTION, Pond:

of land lying on the Island of Key West, Monroe County, Florida  
more particularly described as follows:

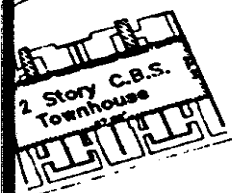
E at the intersection of the Northerly Right-of-Way Line of Duck Avenue  
extension of the Easterly Right-of-Way Line of 16th Street, said  
being the Southwest corner of Lot 12, Block 19 of the KEY WEST  
DNS COMPANY'S Plat No. 2; thence N.19°04'29"W., a distance of  
to the Point of Beginning; thence N.19°04'29"W., a distance of  
feet; thence N.70°58'31"E., a distance of 994.64 feet; thence  
S.1°E., a distance of 57.73 feet; thence S.65°13'55"W., a distance  
feet; thence S.40°51'10"W., a distance of 208.64 feet; thence  
S°W., a distance of 259.27 feet; thence N.87°28'07"W., a distance  
feet; thence S.65°40'16"W., a distance of 231.70 feet; thence  
S°E., a distance of 59.34 feet; thence S.70°53'53"W., a distance  
0 feet to the Point of Beginning.

contains 141660 square feet or 3.25 acres, more or less.



FILE #1201395  
BK#1655 PG#1788

5' clear  
S.7°03'E.  
17.73



Misc. Housing  
( 21.61± Acres )  
Area

Curve number 2

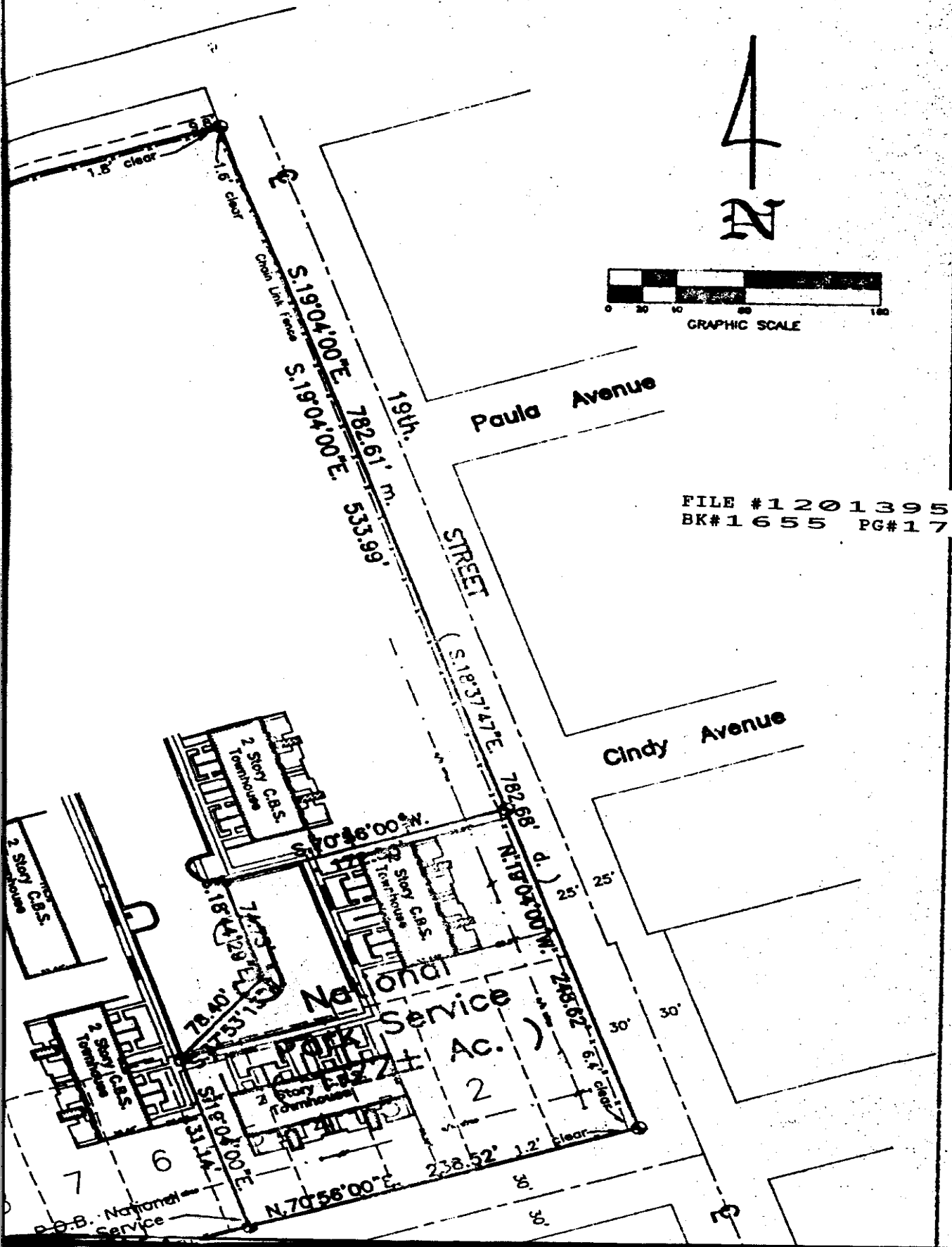
Radius= 19.88  
Delta= 80°32'18"  
C= 27.94  
Tangent= 16.84  
Sord= 25.70  
Sord Brg. N.40°14'27"E.

Block



GRAPHIC SCALE

FILE #1201395  
BK#1655 PG#1789



FOUNDATIONS COMPANY'S Plat No. 2; thence N.19°04'29"W., a distance of 584.60 feet; thence N.70°53'53"E., a distance of 127.80 feet; thence N.18°03'49"W., a distance of 59.34 feet; thence N.68°40'16"E., a distance of 231.70 feet; thence S.87°28'07"E., a distance of 94.51 feet; thence N.72°47'35"E., a distance of 70.47 feet; thence S.19°37'19"E., a distance of 344.10 feet; thence N.86°05'47"E., a distance of 29.11 feet; thence S.19°04'00"E., a distance of 129.38 feet to the Northeast corner of Lot 2, Block 19, of "KEY WEST FOUNDATION COMPANY'S Plat No. 2"; thence S.19°04'00"E., a distance of 135.00 feet to the said Northerly Right-of-Way Line of Duck Avenue; thence S.70°56'00"W., and along the said Northerly Right-of-Way Line of Duck Avenue a distance of 550.00 feet to the Point of Beginning.

Parcel contains 333839 square feet or 7.66 acres, more or less.

#### LEGAL DESCRIPTION, Misc. Housing Area:

A Tract of land lying on the Island of Key West, Monroe County, Florida and being known as a portion of Lots 1 thru 5, Lots 6 thru 12, Block 17, and Lots 1 thru 8, a portion of Lots 9 thru 12, Block 18 and land lying North of said Blocks and being more particularly described as follows:

COMMENCE at the intersection of the Northerly Right-of-Way Line of Duck Avenue and the extension of the Easterly Right-of-Way Line of 16th. Street, said point also being the Southwest corner of Lot 12, Block 19 of the "KEY WEST FOUNDATION COMPANY'S Plat No. 2; thence N.70°56'00"E., and along the said Northerly Right-of-Way Line of Duck Avenue a distance of 660.00 feet to the Southwest corner of said Lot 12, Block 18; thence N.19°04'00"W., and along the Westerly line of said Lot 12, Block 18 a distance of 135.00 feet; thence S.70°56'00"W., a distance of 16.98 feet to the Point of Beginning; thence S.70°56'00"W., a distance of 93.02 feet; thence N.19°04'00"W., a distance of 129.38 feet; thence S.86°05'47"W., a distance of 29.11 feet; thence N.19°37'19"W., a distance of 344.10 feet; thence N.72°47'35"E., a distance of 188.81 feet; thence N.40°51'10"E., a distance of 208.84 feet; thence N.65°13'55"E., a distance of 105.78 feet; thence N.17°37'03"W., a distance of 57.73 feet; thence N.70°56'31"E., and along the Northerly Boundary of Poinciana Housing a distance of 925.97 feet to the Westerly Right-of-Way Line of 19th. Street; thence S.19°04'00"E., and along the said Westerly Right-of-Way Line of 19th. Street a distance of 533.99 feet; thence S.70°56'00"W., a distance of 172.38 feet; thence S.18°44'29"E., a distance of 74.73 feet; thence S.37°53'13"W., a distance of 78.40 feet; thence S.19°04'00"E., a distance of 131.14 feet to the Northerly Right-of-Way Line of Duck Avenue; thence S.70°56'00"W., and along the said Northerly Right-of-Way Line of Duck Avenue a distance of 1021.99 feet; thence N.19°04'00"W., and along the said Westerly line of Lot 12, Block 18 a distance of 98.16 feet; thence N.70°56'00"E., a distance of 153.38 feet; thence N.19°04'00"W., a distance of 84.40 feet; thence N.87°20'47"W., a distance of 114.08 feet; thence S.02°39'13"W., a distance of 6.82 feet; thence N.87°20'47"W., a distance of 36.33 feet to a point on a curve to the left, having: a radius of 19.88 feet, a central angle of 80°32'18", a chord bearing of S.40°14'27"W. and a chord length of 25.70 feet; thence along the arc of said curve, an arc length of 27.94 feet to a point on a curve to the left, having: a radius of 155.85 feet, a central angle of 15°52'21", a chord bearing of S.10°49'00"E. and a chord length of 43.04 feet; thence along the arc of said curve, an arc length of 43.18 feet to the end of said curve; thence S.19°18'04"E., a distance of 41.18 feet to the Point of Beginning.

Parcel contains 941316 square feet or 21.61 acres, more or less.

FILE #1201395  
BK#1655 PG#1790

#### CERTIFICATION:

I HEREBY CERTIFY that the attached BOUNDARY SURVEY is true and correct to the best of my knowledge and belief; that it meets the minimum technical standards adopted by the Florida Board of Land Surveyors, Chapter 61G17-6, Florida Statute Section 472.227, and the American Land Title Association, and that there are no visible encroachments unless shown hereon.

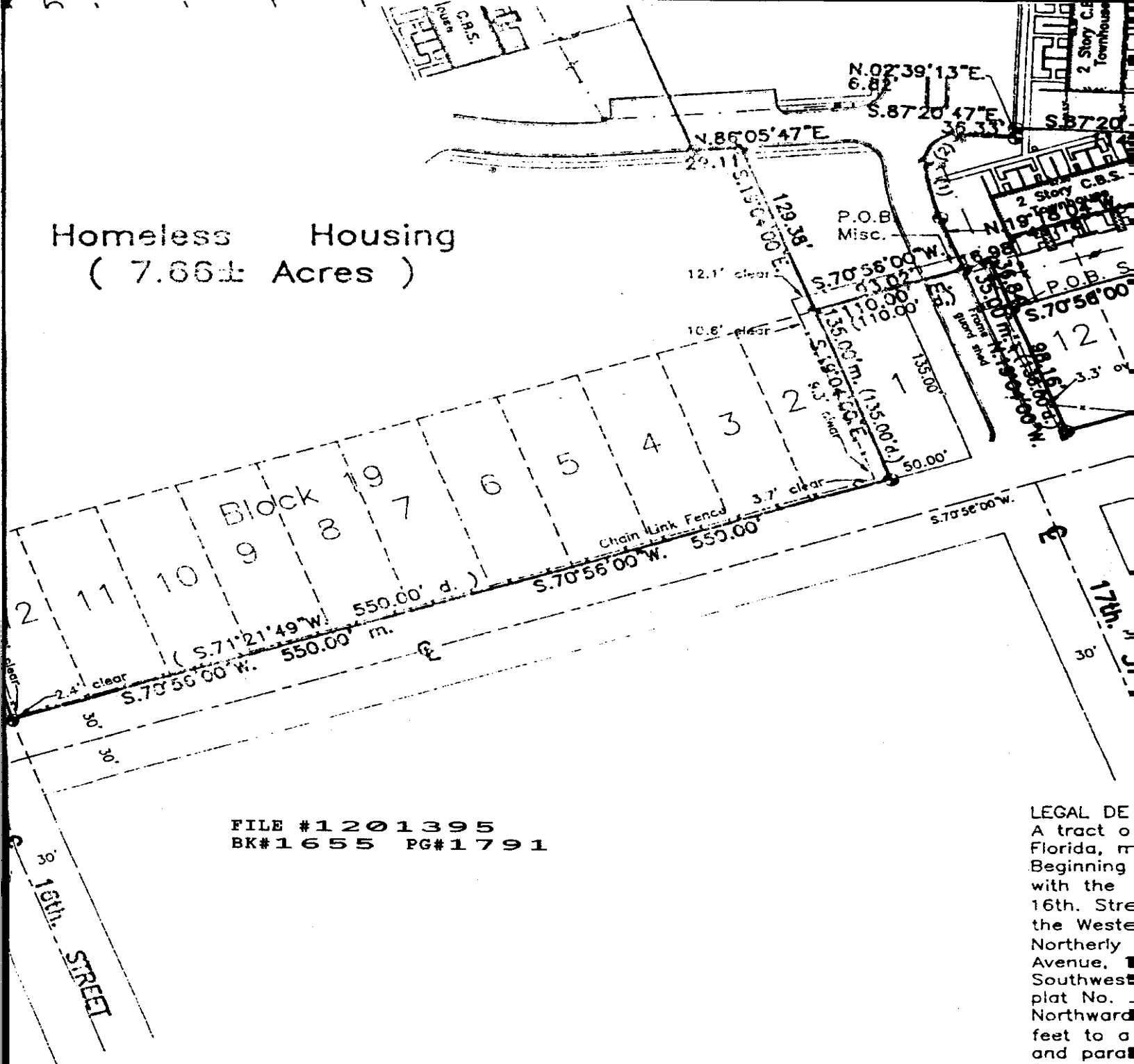
FREDERICK H. HILDEBRANDT  
Professional Land Surveyor No. 2749  
Professional Engineer No. 36810  
State of Florida

NOT VALID UNLESS EMBOSSED WITH RAISED SEAL & SIGNATURE

KEY  
WEST VILLAS LTD.  
N.19°04'23"W.  
128.33' m.  
584.60'  
(N.18°38'30")  
5'6" clear

P.O.B. Entire  
& Homeless

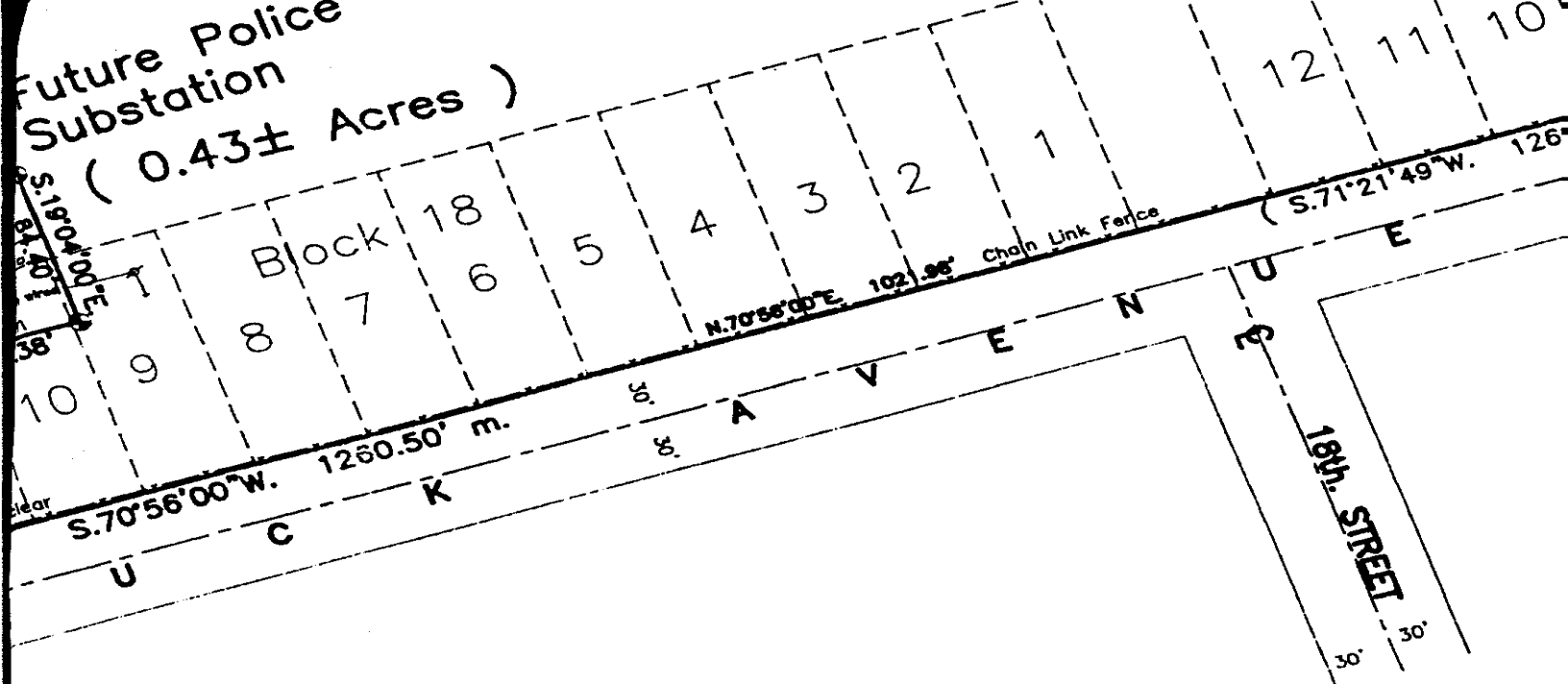
# Homeless Housing ( 7.66± Acres )



FILE #1201395  
BK#1655 PG#1791

LEGAL DE  
A tract o  
Florida, m  
Beginning  
with the  
16th. Stre  
the Weste  
Northerly  
Avenue, 1  
Southwest  
plat No.  
Northward  
feet to a  
and para  
2 of Bloc  
Southward  
the Weste  
Avenue; t  
the Point

# Future Police Substation ( 0.43± Acres )



FILE #1201395  
BK#1655 PG#1792

o/h = Overhead  
u/g = Underground  
F.F.L. = Finish Floor  
L.B. = Low Beam  
Rad. = Radial  
Irr. = Irregular  
conc. = concrete  
I.P. = Iron Pipe  
I.B. = Iron Bar  
@ = Baseline  
C.B. = Concrete  
C.B.S. = Concrete  
cov'd. = Covered  
P.I. = Point of Intersection  
wd. = Wood  
R = Radius  
A = Arc (Length)  
D = Delta, (Center)  
w.m. = Water Meter  
Bal. = Balcony  
Pl. = Planter  
Hydt. = Fire Hydrant  
F.W. = Fire Well

ON:(as supplied by client):

lying and being in the City of Key West, County of Monroe, State of Florida, and being particularly described as follows:

Point formed by the intersection of the Northerly Line of Duck Avenue and the Easterly Line of 16th. Street; thence N 18°38'35" W along the Easterly Line of 16th. Street 110 feet to a point; thence N 71°22'25" E 1920.33 feet to a point in the Easterly Line of 19th. Street; thence S 18°37'47" E, 782.68 feet to a point in the Easterly Line of Duck Avenue; thence S 71°21'49" W along the Northerly Line of Duck Avenue 110 feet to a point being the Northeasterly corner of Lot 12, Block 18, as shown on Key West Foundation Company Plat No. 2, recorded in Plat Book 1, page 189, Monroe County, Florida; thence S 71°21'49" W along the Easterly line of 17th. Street and the Westerly Line of Lot 12, 135 feet to the Northwest corner of said Lot 12; thence S 71°21'49" W along the Easterly line of said Lot 2, parallel with and distant 50 feet from the Easterly line of said Lot 2, 135 feet to a point in the Northerly line of Duck Avenue; thence S 71°21'49" W along the Northerly Line of Duck Avenue, 550 feet to the point of beginning. Containing 35.410 Acres.

Point of Beginning
Duck Avenue
Bounded by
Scale:
Date: 2/18/50
D\custo

# **SURVEYOR'S NOTES:**

North arrow based on State Plane Coordinate System  
 Reference Bearing: Centerline Duck Ave. per State Plane Coord. System  
 3.4 denotes existing elevation  
 Elevations based on N.G.V.D. 1929 Datum  
 Bench Mark No.: 4529 F Elevation: 5.14 (Riviera Canal Bridge)

Monumentation: Iron Pipe, P.L.S. No. 2749

▲ = Set P.K. Nail, P.L.S. No. 2749

△ = Found P.K. Nail

SEE SHEET 2 FOR DETAIL INFORMATION  
 AREA OF SITE IS 34.1707± ACRES

FILE #1201395  
 BK#1655 PG#1793

## **Abbreviations:**

Sty. = Story  
 R/W = Right-of-Way  
 fd. = Found  
 p. = Plat  
 m. = Measured  
 d. = Deed  
 M.H.W. = Mean High Water  
 O.R. = Official Records  
 Sec. = Section  
 Twp. = Township  
 Rge. = Range  
 N.T.S. = Not to Scale  
 C. = Centerline  
 Elev. = Elevation  
 B.M. = Bench Mark  
 P.C. = Point of Curvature  
 P.T. = Point of Tangency  
 P.O.C. = Point of Commence  
 P.O.B. = Point of Beginning  
 P.B. = Plat Book  
 pg. = page  
 Elec. = Electric  
 Tel. = Telephone  
 Ench. = Encroachment  
 O.L. = On Line  
 C.L.F. = Chain Link Fence

□ = Concrete Utility Pole  
 ○ = Wood utility Pole  
 ⊗ = Wood Utility Pole with Guy wire  
 ⊙ F.W. = Fire Well  
 ⊕ M.W. = Monitoring Well  
 ○ = Water Meter  
 ⊗ = Water Valve  
 ○ E. = Electric Manhole  
 □ E. = Electric Utility Vault  
 ○ M.H. = Man Hole  
 San. = Sanitary  
 ⊗ C.B. = Storm Water Catch Basin  
 Inv. = Invert  
 B.P.Z. = Backflow Prevention Valve  
 P.V.C. = Polyvinyl Pipe  
 R.C.P. = Reinforced Concrete pipe  
 + = Fire Hydrant  
 \* = Light  
 ⊙ = sign  
 A/C = Air Conditioner

Field Work performed on: 2/4/98

Sheet 1 of 2

ing ey West, Fl. 33040	
Ref. 133-25	Flood panel No. 1709 F
Flood Zone: AF	Flood Elev. 7'
ONS AND/OR ADDITIONS	
ey West\poin.	

**FREDERICK H. HILDEBRANDT**  
**ENGINEER PLANNER SURVEYOR**

3150 Northside Drive  
 Suite 101  
 Key West, Fl. 33040  
 (305) 293-0466  
 Fax. (305) 293-0237

EXHIBIT "A"



Prepared by and return to:  
Erica N. Hughes-Sterling, Esq.  
Spottswood, Spottswood and Spottswood  
500 Fleming Street  
Key West, FL 33040

Doc# 1739717 04/27/2009 3:02PM  
Filed & Recorded in Official Records of  
MONROE COUNTY DANNY L. KOLHAGE

Doc# 1739717  
Bk# 2410 Pg# 272

### **EASEMENT AGREEMENT**

This Easement Agreement is entered into on this 13th day of April, 2009, by **THE CITY OF KEY WEST**, a municipal corporation organized and operating under the laws of the State of Florida, whose address is 525 Angela Street, Key West, Florida 33040 (hereinafter "City"), and **THE HOUSING AUTHORITY OF THE CITY OF KEY WEST, FLORIDA**, a public body corporate and politic, whose address is 1400 Kennedy Drive, Key West, Florida 33040 (hereinafter "Housing Authority").

#### **RECITALS:**

**WHEREAS**, City is the current owner of that certain real property located in Monroe County, Florida, more particularly described in Exhibit "A" attached hereto and made a part hereof (hereinafter the "City Property"); and

**WHEREAS**, simultaneously with the execution of this Easement, City is conveying a certain portion of the City Property to the Housing Authority which is more particularly described on Exhibit "B" attached hereto and made a part hereof (hereinafter the "HA Property"); and,

**WHEREAS**, Housing Authority intends to lease the HA Property to an affiliated entity of A.H. of Monroe County, Inc., formerly known as AIDS Help, Inc., a Florida non-profit corporation (hereinafter "AHI") for a term of sixty (60) years in order to further affordable housing in The City of Key West; and,

**WHEREAS**, AHI's affiliated entity intends to construct fifty (50) affordable residential units on the HA Property; and,

**WHEREAS**, City is willing to grant Housing Authority, its successors, assigns and tenants easements for access and utilities for the benefit of the HA Property pursuant to the terms set forth herein.

**NOW, THEREFORE**, in consideration of the mutual covenants and obligations contained herein, and for other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the parties agree as follows:

#### **ARTICLE I. RECITALS AND CONSIDERATION**

1.1 The above Recitals are true and correct and are hereby incorporated herein by reference.

**Doc# 1739717**  
**Bk# 2410 Pg# 273**

1.2 The parties hereto warrant that this Easement Agreement, and all terms and conditions contained herein, are supported by adequate consideration.

## **ARTICLE II. GRANT OF EASEMENT**

2.1 City does hereby grant, convey, declare and create for the benefit of the Housing Authority, its tenants, guests, invitees, successors and assigns a perpetual easement in, upon, over and across the City Property for the purposes of ingress, egress, installation and maintenance of utilities for the benefit of the HA Property. Notwithstanding the foregoing, Housing Authority (or its successors, assigns or tenants) shall not construct or place any structures on or make any changes, alterations or improvements to the City Property or do anything which is inconsistent with the terms of this Easement or any other existing easement, or inconsistent with the current use of the City Property.

2.2 City grants and conveys unto Housing Authority, their tenants and invitees and successor assigns the perpetual non-exclusive right to ingress and egress over the existing roadways located within the City Property for ingress and egress to the HA Property, if necessary.

2.3 City hereby grants, gives, conveys and declares unto Housing Authority, its tenants, successors and assigns a perpetual easement over, across and under the City Property, as may be reasonably necessary for the installation, operation, maintenance, inspection, reconstruction, replacement, repair and removal of underground water and electric pipelines and other related facilities; provided, however, in the event Housing Authority (or its tenants, successors and assigns) requires the use of the Easement Property for installation, repair or maintenance of the above-described water and electric pipelines, Housing Authority (or its tenants, successors and assigns) shall provide City with fifteen (15) days prior written notice with said notice providing a description of the work to be done and a timeframe within which it will be completed. The foregoing notice requirement shall not apply in the event Housing Authority's (or its tenants, successors and assigns) use of the City Property for the purposes described herein is required as a result of an emergency situation. Housing Authority (or its successors and assigns) shall repair any damage caused by Housing Authority's (or its successors and assigns) use of the City Property for the purposes described herein.

2.4 City hereby reserves the right, for the benefit of itself and its successors and assigns, the right to use the City Property for any and all reasons.

## **ARTICLE II. MISCELLANEOUS**

3.1 Nothing contained in this Easement Agreement shall create or shall be deemed to create any easements or use rights in the general public or constitute a public dedication for any public use whatsoever.

3.2 This Easement Agreement and the covenants and restrictions contained herein shall run with the land forever and be binding upon and inure to the benefit of and be enforceable by the heirs, legal representatives, tenants, successors and assigns of the parties.

**Doc# 1739717**  
**Bk# 2410 Pg# 274**

3.3 Any costs incurred in enforcing, judicially or otherwise, the terms, provisions and restrictions of this Easement Agreement shall be borne by and recoverable against the non-prevailing partying such proceeding.

3.4 If any provision of this Easement Agreement or the application thereof to any person or circumstances is found to be invalid, the remainder of the provisions of this Agreement shall not be affected thereby, as long as the purpose of the Easement Agreement is preserved.

3.5 All notices, consents, approvals or other communications hereunder shall be in writing and shall be deemed properly given if sent by United States certified mail, return receipt requested, addressed to the appropriate party or successor-in-interest.

3.6 This Easement Agreement may be amended, altered, released or revoked only by written agreement between the parties hereto or their heirs, assigns or successors-in-interest, which shall be filed in the Public Records of Monroe County.

3.7 This Easement Agreement shall be construed in accordance with the laws of the State of Florida. All parties acknowledge and agree that in the event of any dispute arising under this Agreement, the sole jurisdiction for such dispute shall be in Monroe County, Florida.

3.8 For the purposes of interpreting any ambiguity arising under this Agreement, no party shall be considered the "drafter" of same.

3.9 Each party agrees and acknowledges that time is of the essence in performing the obligations outlined herein.

3.10 Each party to this Easement Agreement agrees to waive a jury trial on any dispute arising under this Easement Agreement and each party agrees to have any dispute heard by the court without a jury.

3.11 This Easement Agreement may be executed in counterparts, each of which shall constitute an original, but taken together shall constitute one and the same Easement Agreement.

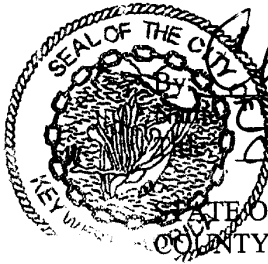
3.12 The undersigned hereby represent and warrant that all action, approvals and consents necessary for the execution of this Easement Agreement have been taken or obtained, and the persons executing this Easement Agreement are authorized and directed to execute this Agreement on behalf of THE CITY OF KEY WEST, FLORIDA and THE HOUSING AUTHORITY OF THE CITY OF KEY WEST.

3.13 No breach of the provisions of this Agreement shall entitle any party to cancel, rescind or terminate this Agreement, but such limitation shall not affect, in any manner, any other rights or remedies which any party may have by reason of any breach of the provisions of this Agreement.

Doc# 1739717  
Bk# 2410 Pg# 275

IN WITNESS WHEREOF, the parties have caused Easement Agreement to be executed and sealed as of the date set forth above.

ATTEST:



*Cheryl Smith*  
Cheryl Smith  
City Clerk  
STATE OF FLORIDA  
COUNTY OF MONROE

THE CITY OF KEY WEST  
a municipal corporation organized and operating  
under the laws of the State of Florida

*Morgan McPherson*  
Morgan McPherson, Mayor

On this 13<sup>th</sup> day of April, 2009, before me personally appeared Morgan McPherson, as Mayor, of THE CITY OF KEY WEST, a municipal corporation organized and operating under the laws of the State of Florida, who is personally known to me and who acknowledged execution of the foregoing instrument.



[Seal]

SUSAN P. HARRISON  
Commission DD 652993  
Expires April 8, 2011  
Bonded Thru Troy Fain Insurance 800-385-7019

*Susan P. Harrison*  
Notary Public, State of Florida

ATTEST:

By: *[Signature]*  
Name: \_\_\_\_\_  
Title: Exec. Dir. / Secy

THE HOUSING AUTHORITY OF THE CITY OF  
KEY WEST, FLORIDA, a public body corporate  
body public and politic

By: *Frank P. Toppino*  
Frank P. Toppino, Board Chairman

STATE OF FLORIDA  
COUNTY OF MONROE

On this 13<sup>th</sup> day of April, 2009, before me personally appeared Frank P. Toppino, as Board Chairman of THE HOUSING AUTHORITY OF THE CITY OF KEY WEST, FLORIDA, a public body corporate and politic, who is personally known to me and who acknowledged execution of the foregoing instrument.



[Seal]

SUSAN P. HARRISON  
Commission DD 652993  
Expires April 8, 2011  
Bonded Thru Troy Fain Insurance 800-385-7019

*Susan P. Harrison*  
Notary Public, State of Florida

**EXHIBIT "A"**

Doc# 1739717  
Bk# 2410 Pg# 276

**LEGAL DESCRIPTION, Homeless tract:**

A Tract of land lying on the Island of Key West, Monroe County, Florida and being known as Lots 2 thru 12, Block 19, "KEY WEST FOUNDATION COMPANY'S Plat No. 2, as recorded in Plat Book 1 at Page 189, of the Public Records Monroe County, Florida and lands located North of Block 19, of said Plat and being more particularly described as follows:

BEGIN at the intersection of the Northerly Right-of-Way Line of Duck Avenue and the extension of the Easterly Right-of-Way Line of 16th. Street, said point also being the Southwest corner of Lot 12, Block 19 of the "KEY WEST FOUNDATIONS COMPANY'S Plat No. 2"; thence N.19°04'29"W., a distance of 584.60 feet; thence N.70°53'53"E., a distance of 127.80 feet; thence N.18°03'49"W., a distance of 59.34 feet; thence N.68°40'16"E., a distance of 231.70 feet; thence S.87°28'07"E., a distance of 94.51 feet; thence N.72°47'35"E., a distance of 70.47 feet; thence S.19°37'19"E., a distance of 344.10 feet; thence N.86°05'47"E., a distance of 29.11 feet; thence S.19°04'00"E., a distance of 129.38 feet to the Northeast corner of Lot 2, Block 19, of "KEY WEST FOUNDATION COMPANY'S Plat No. 2"; thence S.19°04'00"E., a distance of 135.00 feet to the said Northerly Right-of-Way Line of Duck Avenue; thence S.70°56'00"W., and along the said Northerly Right-of-Way Line of Duck Avenue a distance of 550.00 feet to the Point of Beginning.

Parcel contains 333839 square feet or 7.66 acres, more or less.

**EXHIBIT "B"****Doc# 1739717  
Bk# 2410 Pg# 277**

A tract of land lying on the Island of Key West, Monroe County, Florida and lying North of "KEY WEST FOUNDATION COMPANY'S Plat No. 2", as recorded in Plat Book 1, at Page 189, of the Public Records of Monroe County, Florida and being more particularly described as follows:

Begin at the intersection of the Northerly Right-of-Way line of Duck Avenue and the extension and the Easterly Right-of-Way line of 16th Street, said point also being the Southwest corner of lot 12, Block 19, of the "KEY WEST FOUNDATION COMPANY'S Plat No. 2; thence N 70 degrees 56'00" E along the said Northerly Right-of-Way Line of Duck Avenue for 69.43 feet; thence N 19 degrees 04'29" W for 153.98 feet; thence N 70 degrees 56'00" E for 0.57 feet; thence N 19 degrees 04'29" W for 61.03 feet; thence N 25 degrees 59'29" E for 190.72 feet; thence N 19 degrees 06'07" W for 25.00 feet; thence S 70 degrees 53'53" W for 135.00 feet; thence N 19 degrees 04'29" W for 105.67 feet; thence S 70 degrees 56'00" W for 6.31 feet; thence N 19 degrees 04'29" W for 104.33 feet; thence S 70 degrees 53'53" W for 63.69 feet; thence S 19 degrees 04'29" E for 584.60 feet back to the Point of Beginning.

**MONROE COUNTY  
OFFICIAL RECORDS**

# SITE PLAN





# Florida Keys Outreach Coalition for the Homeless

FRI 15 APR 2022 11:24:28AM EST \\USERS\TANNYR DAVIS\DROPBOX (MHK AMP)\2197\_JC\_FLOC\_TRIESDALE COURT\_KEY WEST\_PRIDEN ARCHITECTURE DRAWINGS\CAPILES BASEFILES\SCHEMATICS\2022-4-5\_FLOC\_3D\_PACKAGE.DWG

3200 Duck Ave  
Key West, FL

2059 TAMAMI TRAIL E.  
NAPLES FLORIDA 34112  
PHONE: (239) 331-7092  
WWW.MHKAP.COM  
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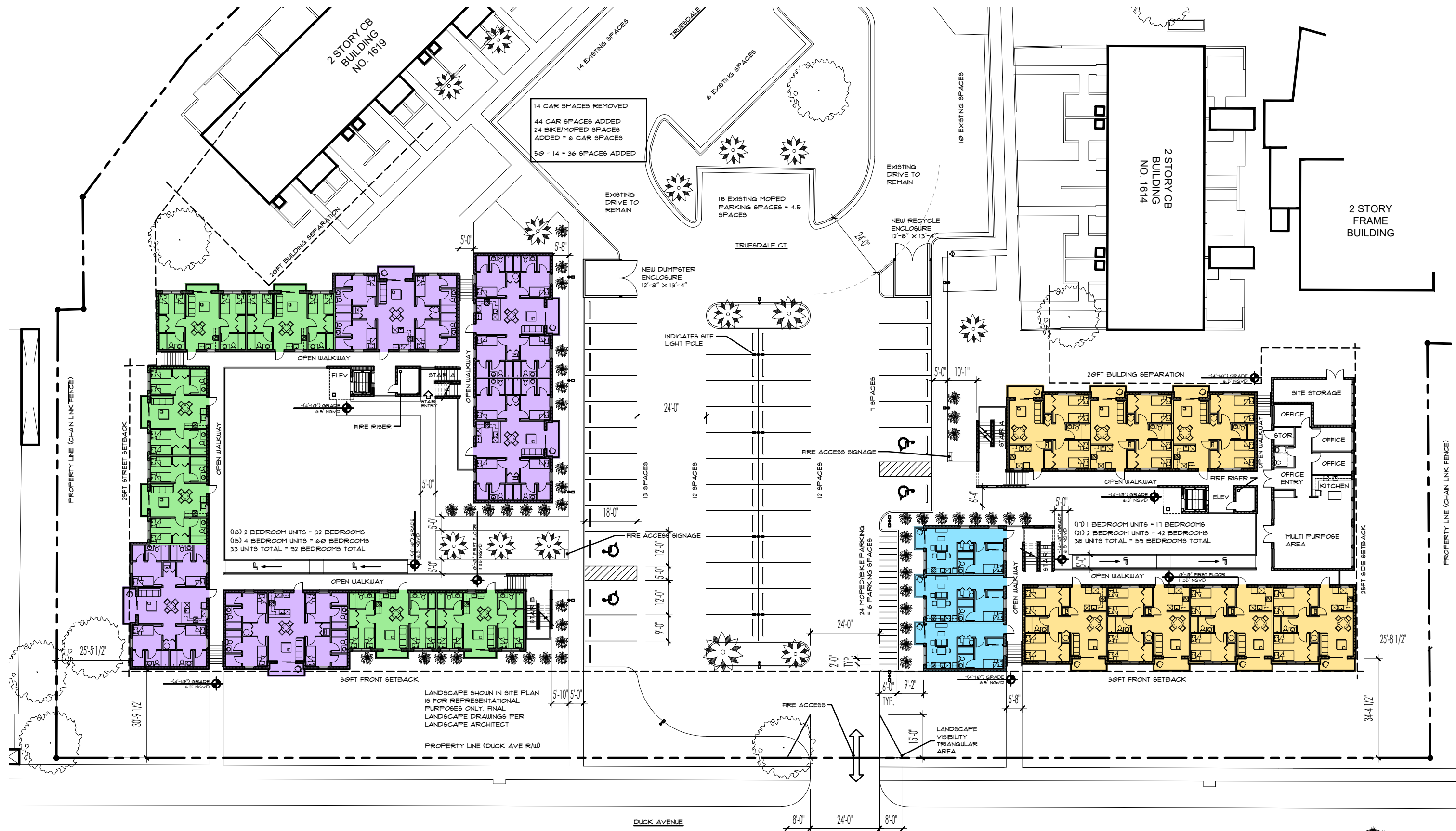
**MHK** ARCHITECTURE & PLANNING

**CO**  
4/14/22









**PROPOSED SITE PLAN**  
SCALE: 1/32" = 1'-0"

FRI 15 APR 2022 11:24:38AM EST: \\USERS\TANNYR\_DAVIS\WORKBOX (MHK AAP)\2197\_JC\_FKOC\_WEST\PROJEN\ARCHITECTURE\DRAWINGS\CAPILES\BASEFILES\SCHEMATICS\2022-4-5\_FKOC\_3D\_PACKAGE.DWG



3200 Duck Ave  
Key West, FL

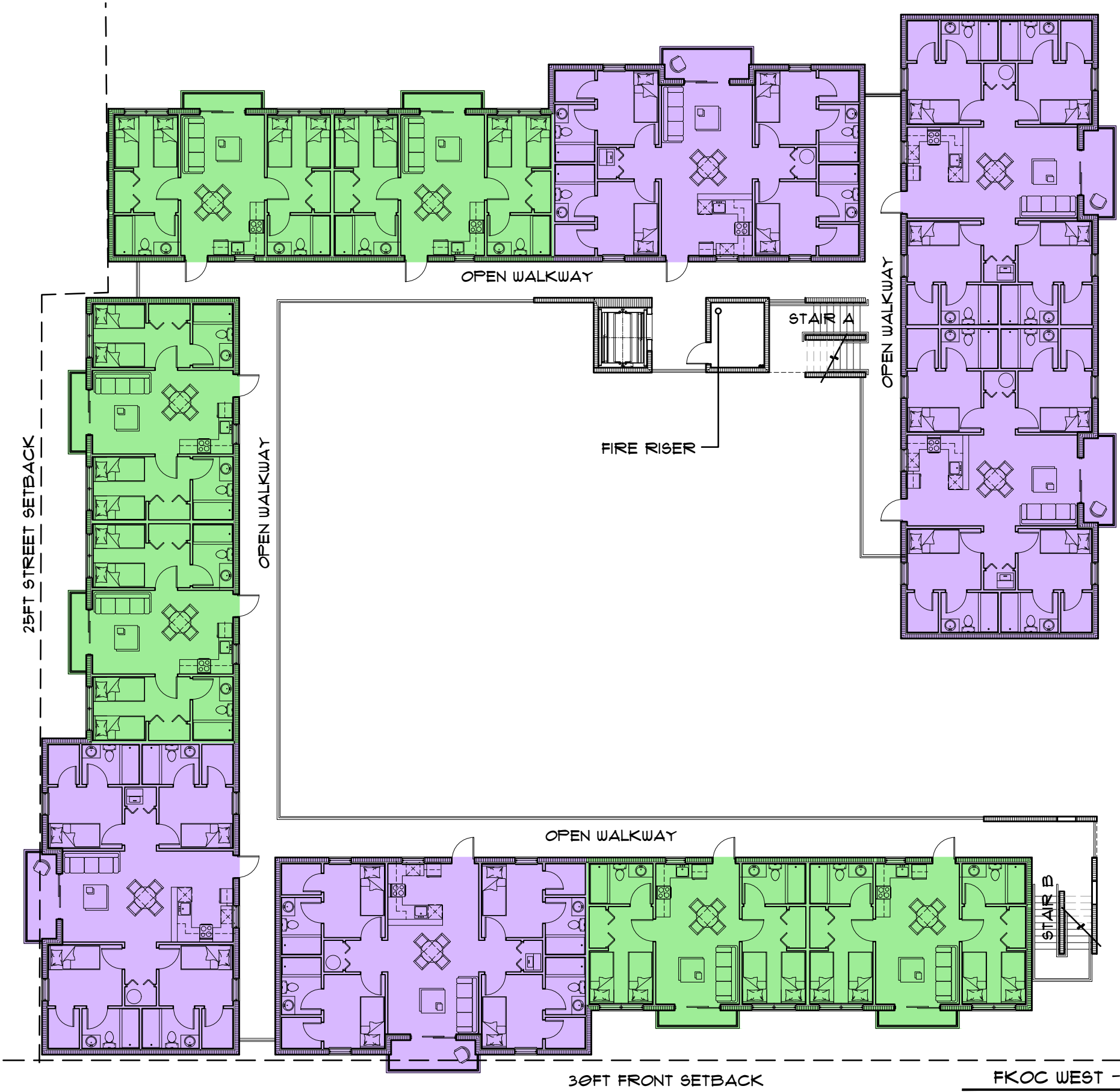
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NAPLES FLORIDA 34112  
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**MHK** ARCHITECTURE & PLANNING

**SK2**  
4/14/22

FRI 15 APR 2022 11:24:41AM EST: \\USERS\\TANNYR DAVIS\\DROPOBOX (MHK AAP)\\2197\_JC\_FKOC\_TRUE\\SNALE COURT\_KEY\_WEST\_PRODGEN\\ARCHITECTURE DRAWINGS\\CAPTILES\\BASEFILES\\SCHEMATICS\\2022-4-5\_FKOC\_SD\_PACKAGE.DWG

3200 Duck Ave  
Key West, FL



FKOC WEST - PROPOSED 2ND AND 3RD FLOOR

SCALE: 1/16" = 1'-0"



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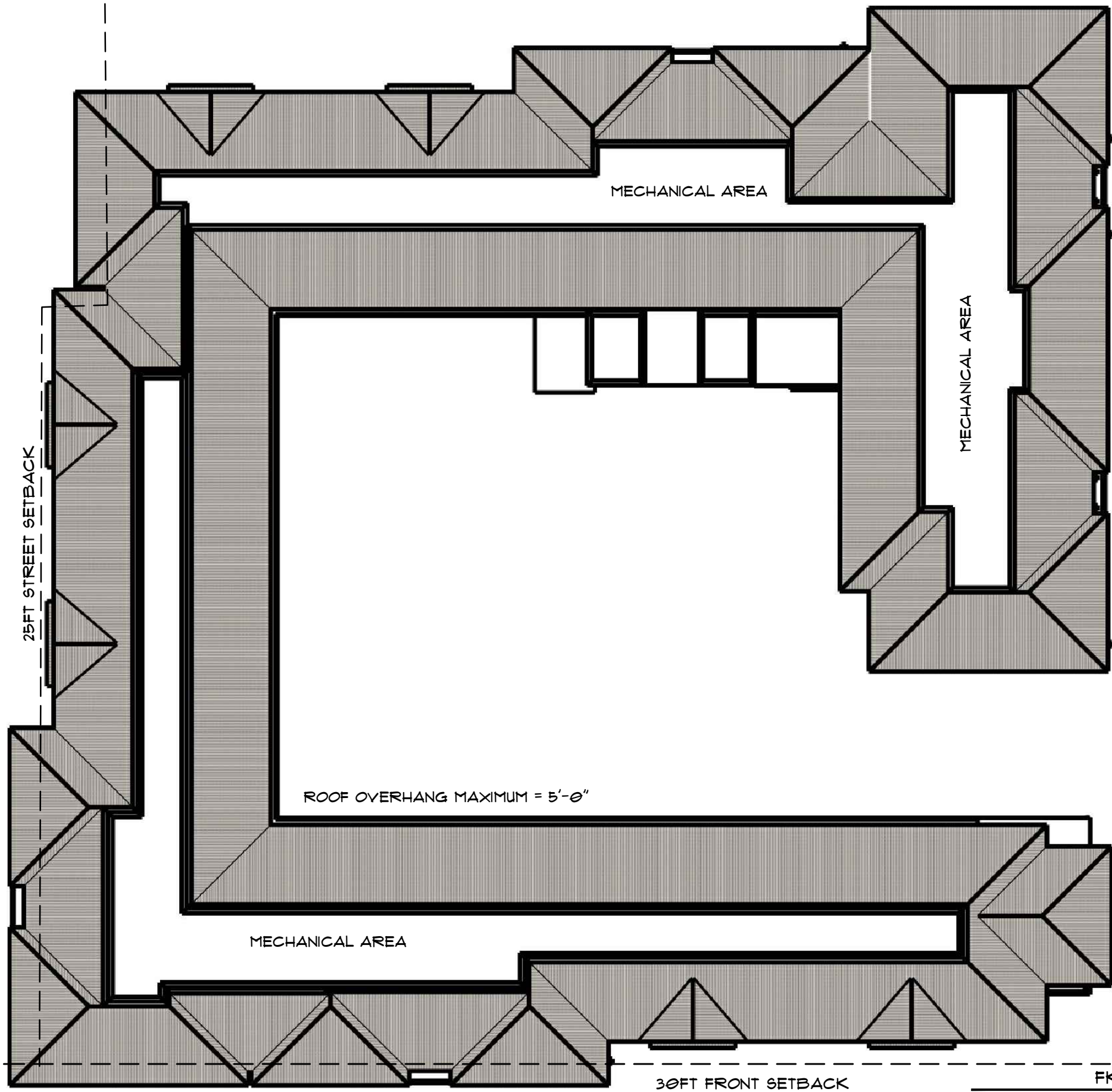
**MHK** ARCHITECTURE & PLANNING

**SK3**  
4/14/22



FRI 15 APR 2022 11:24:44AM EST: \\USERS\TANNYR DAVIS\DROPBOX (MHK MAP)\2197\_JC\_FKOC\_TUESDAYE COURT\_KEY\_MEET\_PRODEN\ARCHITECTURE\DRAWINGS\CADFILES\BASEFILES\SCHEMATICS\2022-4-5\_FKOC\_3D\_PACKAGE.DWG

3200 Duck Ave  
Key West, FL



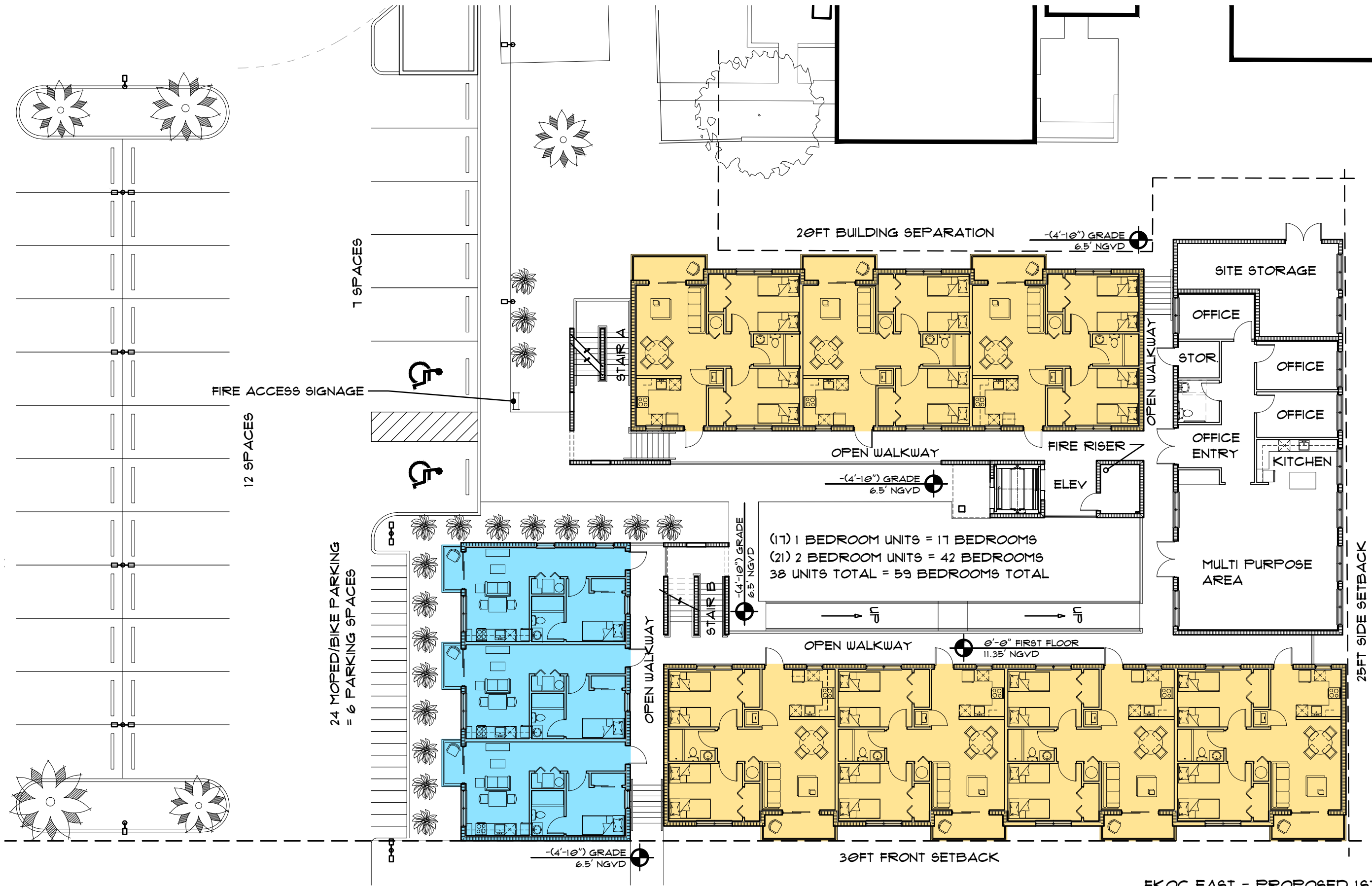
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**MHK** ARCHITECTURE & PLANNING

**SK 4**  
4/14/22

FRI 15 APR 2022 11:24:48AM EST> \\USERS\\TAMMY DAVIS\\DROPOFF (MHK A&P)\\2197\_JC\_FKOC\_TRUESCALE\_COURT\_KEY\_WEST\_PROJEN\\ARCHITECTURE\\DRAWINGS\\CADFILES\\BASEFILES\\SCHEMATICS\\2022-4-5\_FKOC\_3D\_PACKAGE.DWG

3200 Duck Ave  
Key West, FL



FKOC EAST - PROPOSED 1ST FLOOR  
SCALE: 1/16" = 1'-0"

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NAPLES FLORIDA 34112  
PHONE: (239) 331-7092  
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**MHK** ARCHITECTURE & PLANNING

**SK5**  
4/14/22

FRI 15 APR 2022 11:24:51AM EST: \\USERS\TANNYR DAVIS\PROPOSED\DRAWINGS\CADFILES\BASEFILES\SCHEMATICS\2022-4-5\_FKOC\_3D\_PACKAGE.DWG

3200 Duck Ave  
Key West, FL



FKOC EAST - PROPOSED 2ND AND 3RD FLOOR

SCALE: 1/16" = 1'-0"



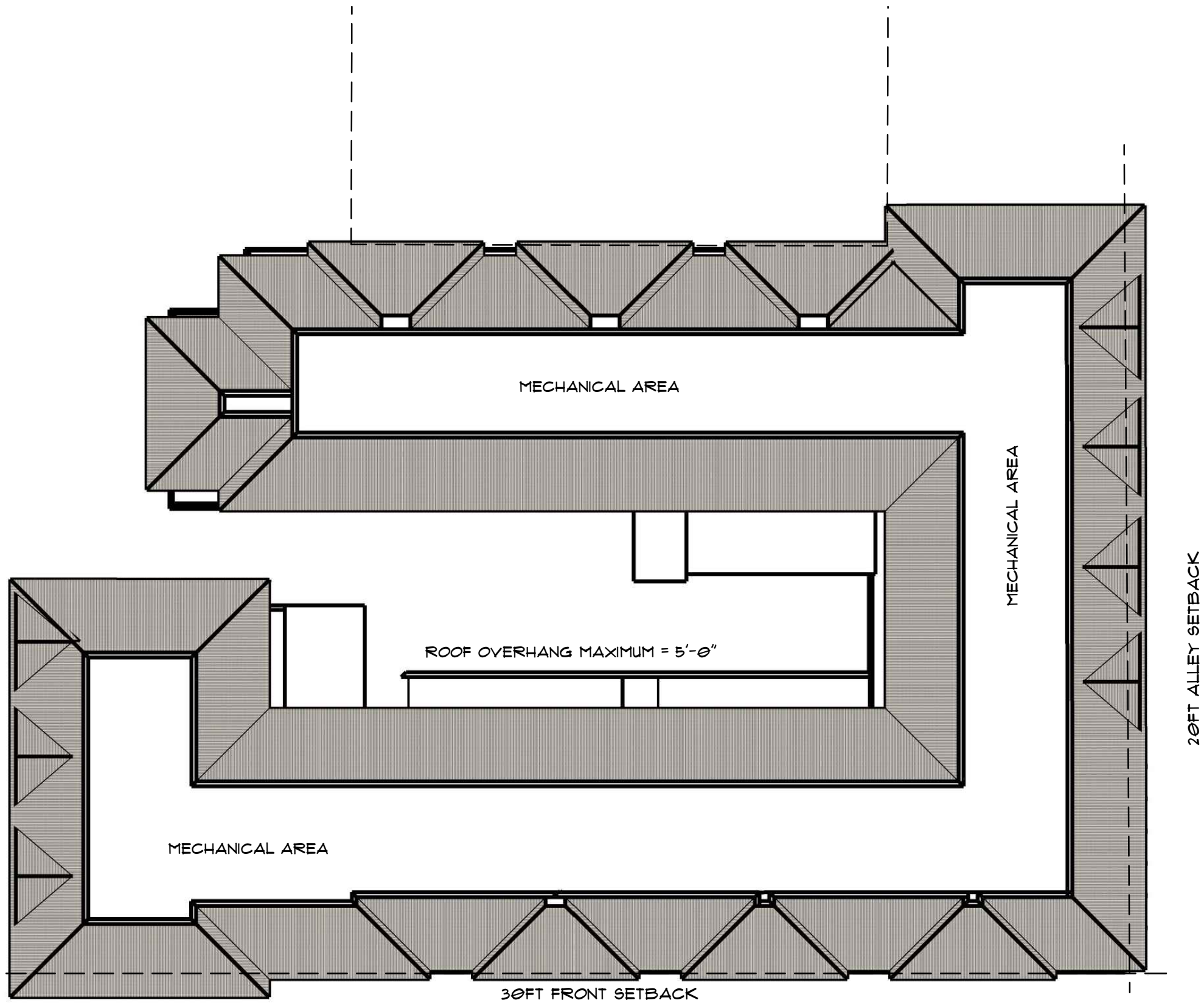
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FKOC EAST - PROPOSED 2ND AND 3RD FLOOR

SCALE: 1/16" = 1'-0"



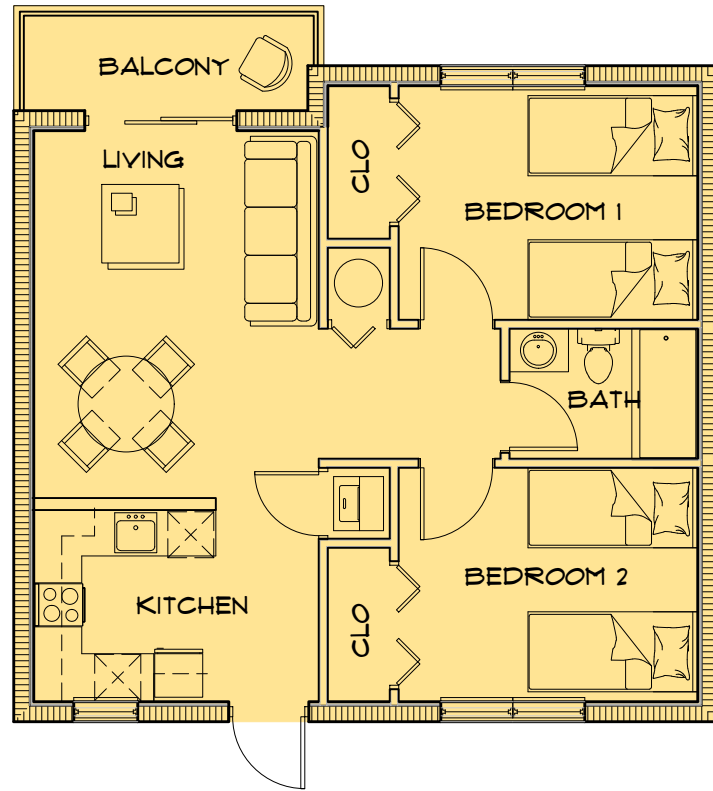
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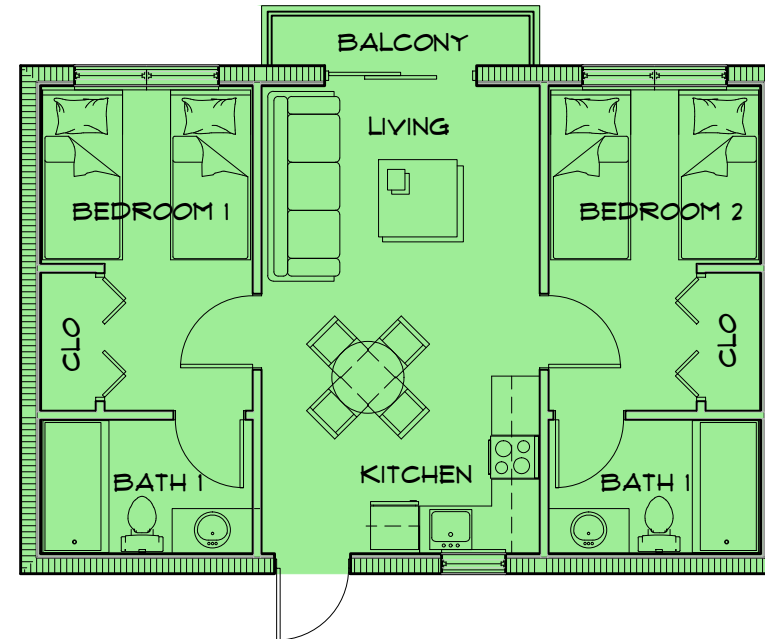
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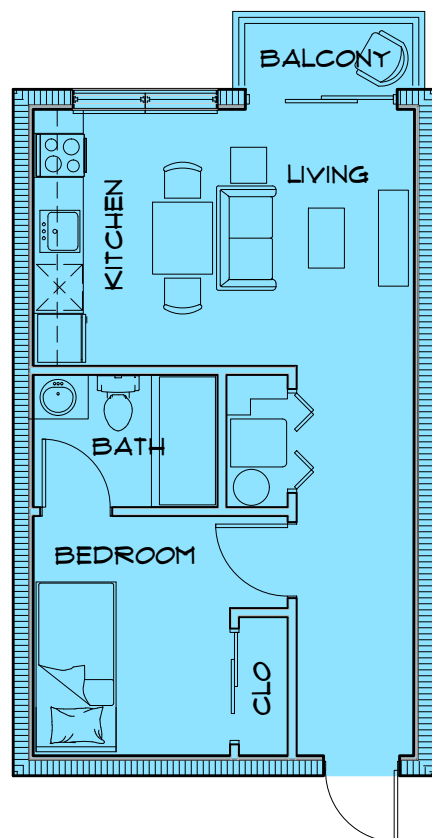




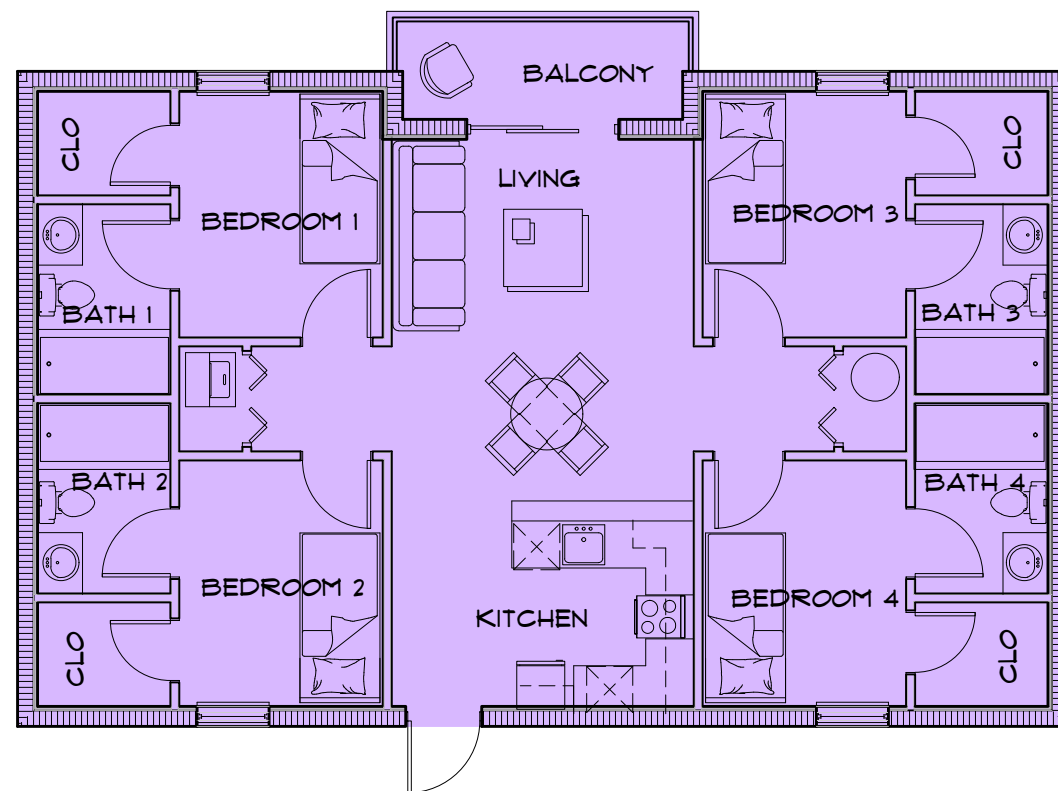
2 BEDROOM  
718.8 SQ. FT.



2 SUITE SHARED LIVING &  
KITCH  
670.3 SQ. FT.



1 BEDROOM  
501.0 SQ. FT.



4 SUITE SHARED LIVING &  
KITCH  
1171.2 SQ. FT.

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FKOC WEST - NORTH ELEVATION

SCALE: 1/16" = 1'-0"



FKOC WEST - EAST ELEVATION

SCALE: 1/16" = 1'-0"

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FKOC EAST - WEST ELEVATION  
SCALE: 1/16" = 1'-0"



FKOC EAST - SOUTH ELEVATION  
SCALE: 1/16" = 1'-0"



FKOC WEST - NORTH ELEVATION

SCALE: 1/16" = 1'-0"



FKOC EAST - EAST ELEVATION

SCALE: 1/16" = 1'-0"

FRI 15 APR 2022 11:25:06AM EST \\USERS\TANNYR DAVIS\PROJECTS\2022-4-5\_FKOC\_3D\_PACKAGE.DWG (MHK A&P) 2197\_JC\_FKOC\_1THESDALE COURT\_KEY WEST\_FKOC\_ARCHITECTURE DRAWINGS (BASEFILES) (SCHEMATICS) 2022-4-5\_FKOC\_3D\_PACKAGE.DWG

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FKOC WEST - WEST ELEVATION

SCALE: 1/16" = 1'-0"



FKOC EAST - SOUTH ELEVATION

SCALE: 1/16" = 1'-0"

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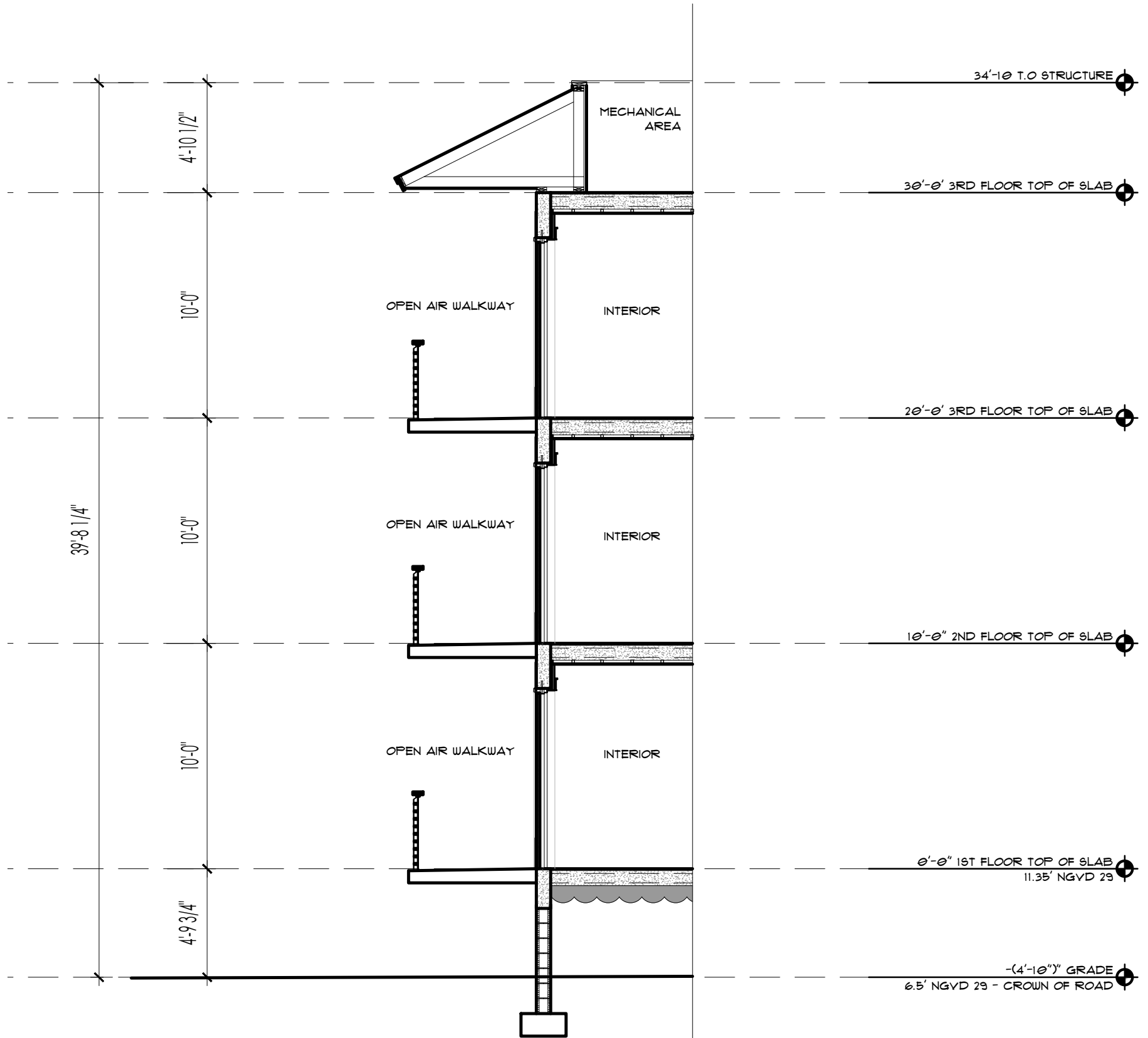
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TYPICAL WALL SECTION  
SCALE: 3/16" = 1'-0"

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FKOC WEST BUILDING - NORTH EAST PERSPECTIVE



FKOC WEST BUILDING - NORTH WEST PERSPECTIVE



FKOC WEST BUILDING - SOUTH EAST PERSPECTIVE



FKOC WEST BUILDING - SOUTH WEST PERSPECTIVE

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FKOC EAST BUILDING - NORTH EAST PERSPECTIVE



FKOC EAST BUILDING - NORTH WEST PERSPECTIVE



FKOC EAST BUILDING - SOUTH EAST PERSPECTIVE



FKOC EAST BUILDING - SOUTH WEST PERSPECTIVE

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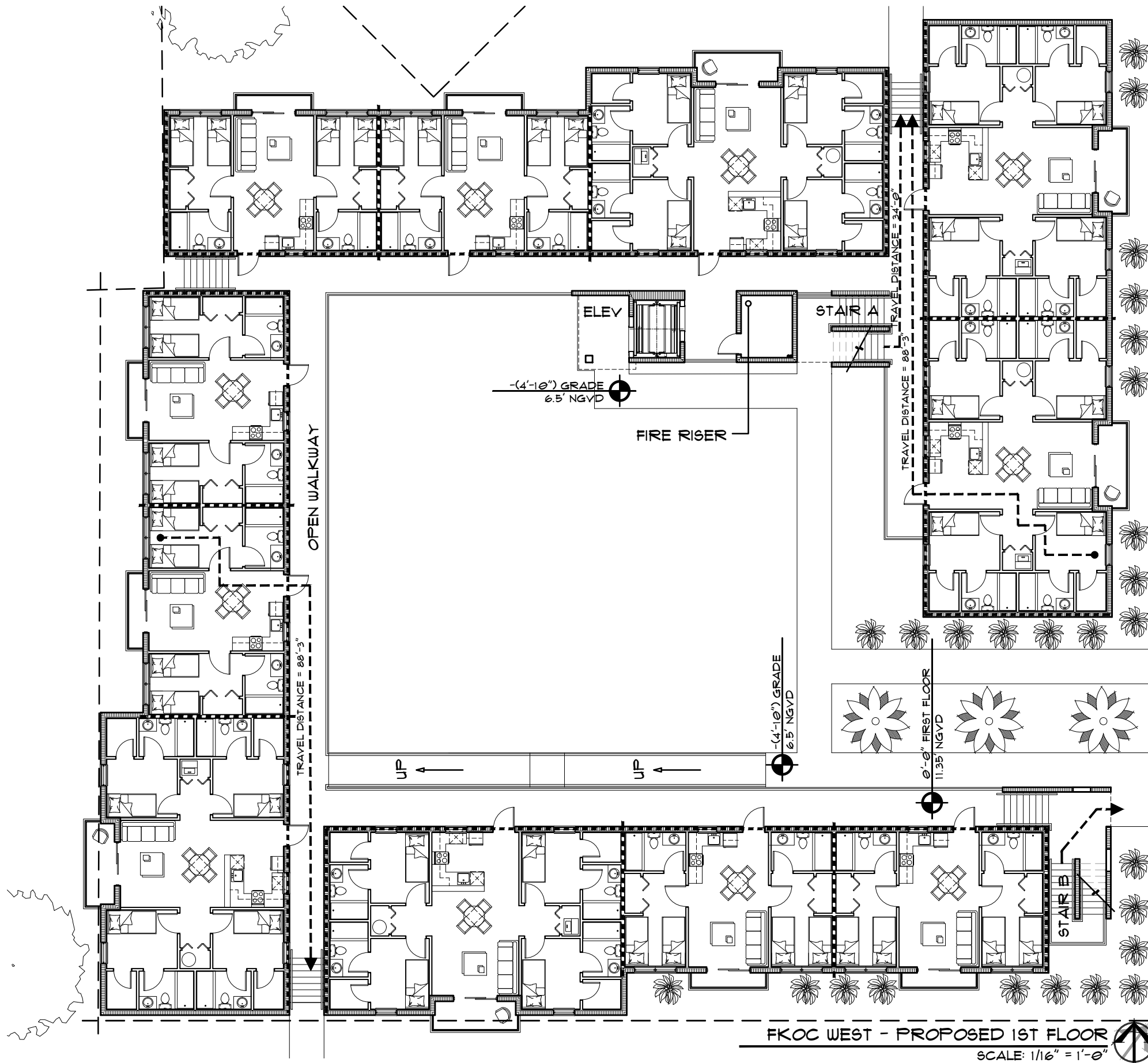
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## FKOC WEST

### EGRESS DISTANCE CALCULATIONS

	DISTANCE TO EGRESS STAIR TOWERS	VERTICAL DISTANCE TO GROUND FLR	DISTANCE TO 1ST FLR EGRESS STAIR	VERTICAL DISTANCE TO CLEAR	MAX TRAVEL DISTANCE
3RD FLOOR MAX	172'-9"	64'-11"	N/A	11'-9"	249'-5"
2ND FLOOR MAX	172'-9"	27'-10"	N/A	11'-9"	207'-1"
1ST FLOOR MAX	N/A	9'-4"	88'-3"	N/A	97'-1"

MAX TRAVEL DIST. ALLOWED: 150' W/SPRINKLER: 250' MAX TRAVEL DISTANCE PROVIDED (INCLUDING VERTICAL PATH): 249'-5"

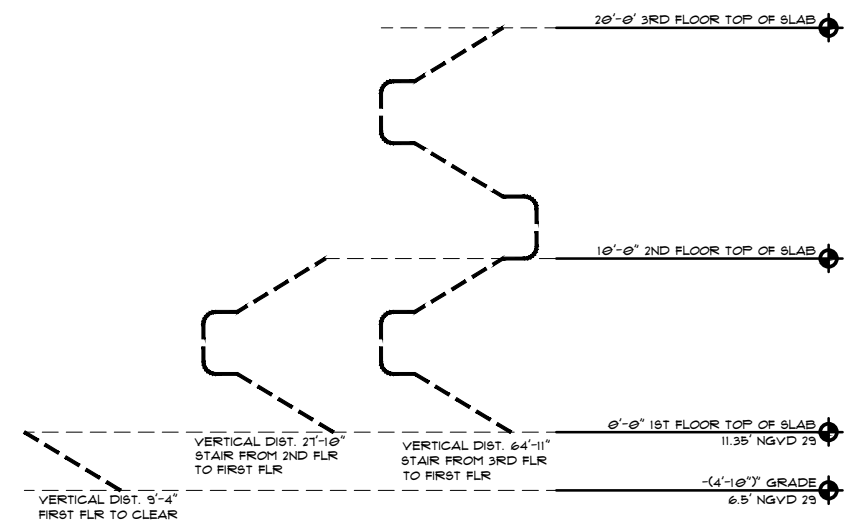
### LIFE SAFETY LEGEND

- 1-HOUR RATED WALL
- NON-RATED WALL
- 5 FE SURFACE MOUNTED FIRE EXTINGUISHER, 2A-10BC W/ WALL BRACKET
- EXIT SIGNAGE / DIRECTION
- TRVL DIST 00'-X' TRAVEL DISTANCE
- SMOKE/CO2 DETECTOR

### LIFE SAFETY NOTES

- FIRE PROTECTION SYSTEM IS NFPA 13 FULL SPRINKLER SYSTEM
- PROVIDE AT EACH STAIR TOWER SIGNAGE ON EACH FLOOR LEVEL STATING THE FOLLOWING: (STAIR LOCATION, YOUR CURRENT LEVEL YOU ARE ON, # OF LEVELS TO EXIT W/ DIRECTIONAL ARROW, INDICATE IF STAIR EXTENDS TO THE ROOF, INDICATE LEVEL THE STAIR TOWER TERMINATES AT.)

EXAMPLE: STAIR #1  
YOU ARE ON LEVEL #4  
EXIT (W/ DIRECTIONAL ARROW# OF FLOORS TO EXIT)  
THIS STAIR EXTENDS FROM GROUND FLOOR TO FOURTH FLOOR  
BRAILLE MARKING



FKOC WEST - PROPOSED 1ST FLOOR

SCALE: 1/16" = 1'-0"

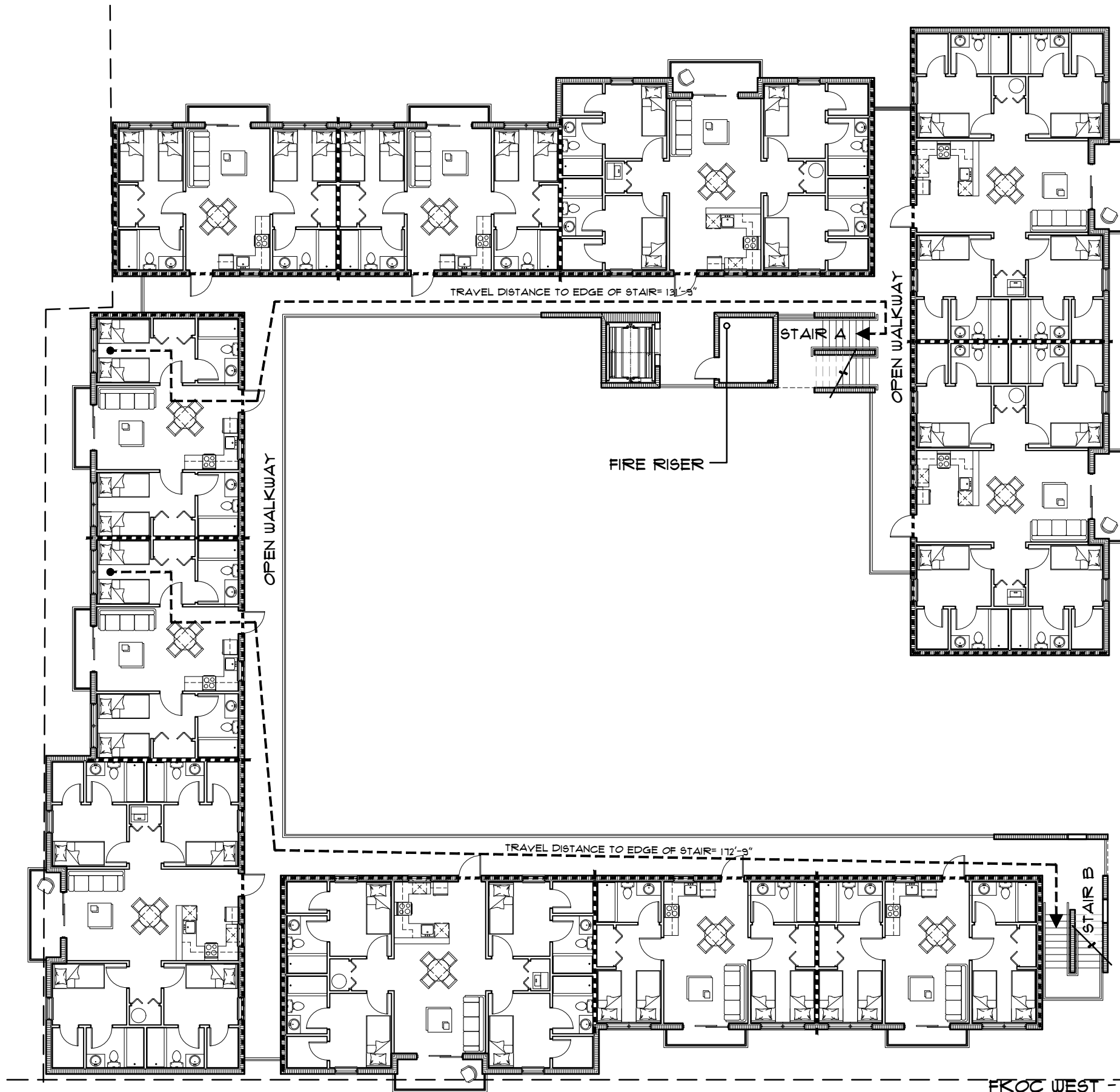
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FKOC WEST - PROPOSED 2ND AND 3RD FLOOR

SCALE: 1/16" = 1'-0"

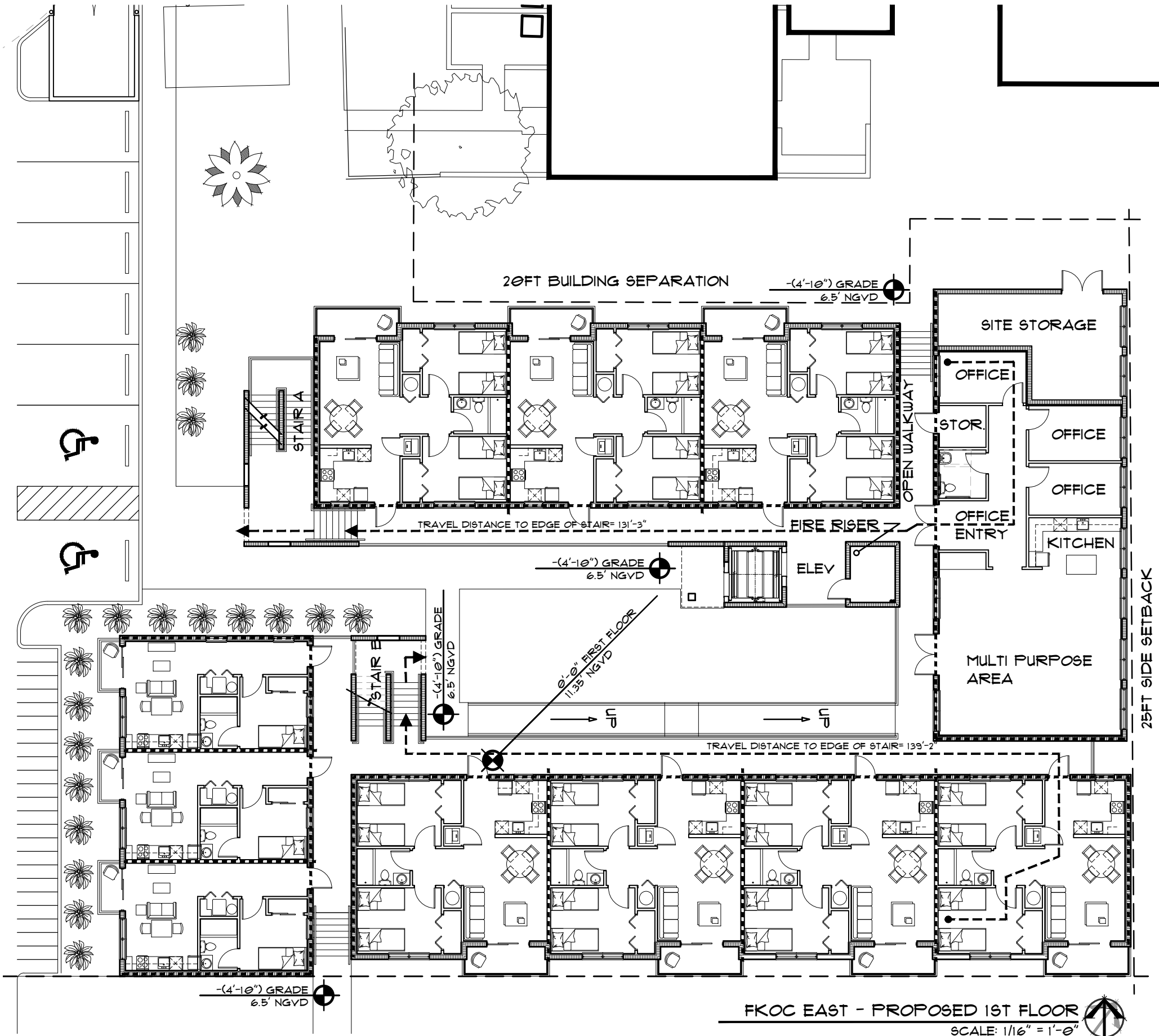


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FKOC EAST

EGRESS DISTANCE CALCULATIONS

	DISTANCE TO EGRESS STAIR TOWERS	VERTICAL DISTANCE + TO GROUND FLR	DISTANCE TO 1ST FLR EGRESS STAIR	VERTICAL DISTANCE TO CLEAR	MAX TRAVEL DISTANCE
3RD FLOOR MAX	162'-6"	64'-11"	N/A	11'-9"	239'-2"
2ND FLOOR MAX	162'-6"	21'-10"	N/A	11'-9"	202'-1"
1ST FLOOR MAX	N/A	9'-4"	131'-3"	9'-8"	152'-1"

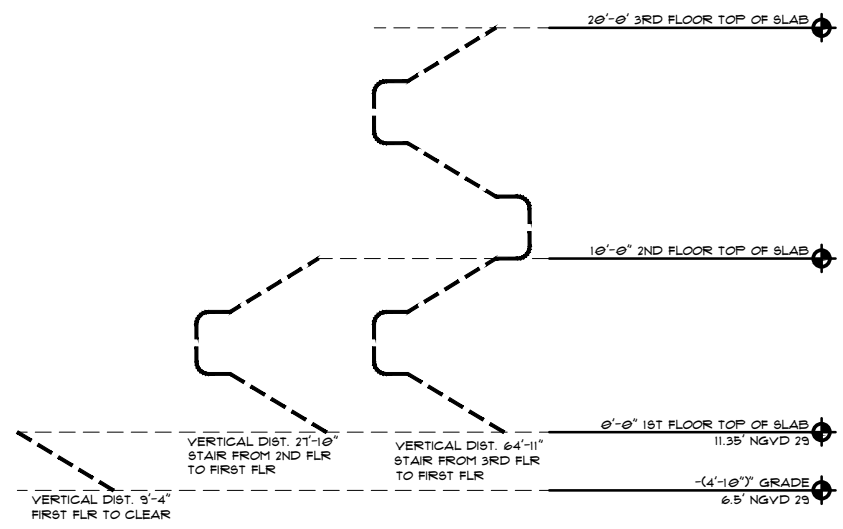
MAX TRAVEL DIST. ALLOWED: 150' W/SPRINKLER: 250' MAX TRAVEL DISTANCE PROVIDED (INCLUDING VERTICAL PATH): 249'-5"

LIFE SAFETY LEGEND

- 1-HOUR RATED WALL
- NON-RATED WALL
- 5 FE SURFACE MOUNTED FIRE EXTINGUISHER, 2A-10BC W/ WALL BRACKET
- EXIT SIGNAGE / DIRECTION
- TRVL DIST=XX'-X" TRAVEL DISTANCE
- SMOKE/CO2 DETECTOR

LIFE SAFETY NOTES

- FIRE PROTECTION SYSTEM IS NFPA 13 FULL SPRINKLER SYSTEM
  - PROVIDE AT EACH STAIR TOWER SIGNAGE ON EACH FLOOR LEVEL STATING THE FOLLOWING: (STAIR LOCATION, YOUR CURRENT LEVEL YOU ARE ON, # OF LEVELS TO EXIT W/ DIRECTIONAL ARROW, INDICATE IF STAIR EXTENDS TO THE ROOF, INDICATE LEVEL THE STAIR TOWER TERMINATES AT.)
- EXAMPLE: STAIR #1  
YOU ARE ON LEVEL #4  
EXIT (W/ DIRECTIONAL ARROW# OF FLOORS TO EXIT)  
THIS STAIR EXTENDS FROM GROUND FLOOR TO FOURTH FLOOR  
BRAILLE MARKING



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FKOC EAST - PROPOSED 2ND AND 3RD FLOOR

SCALE: 1/16" = 1'-0"



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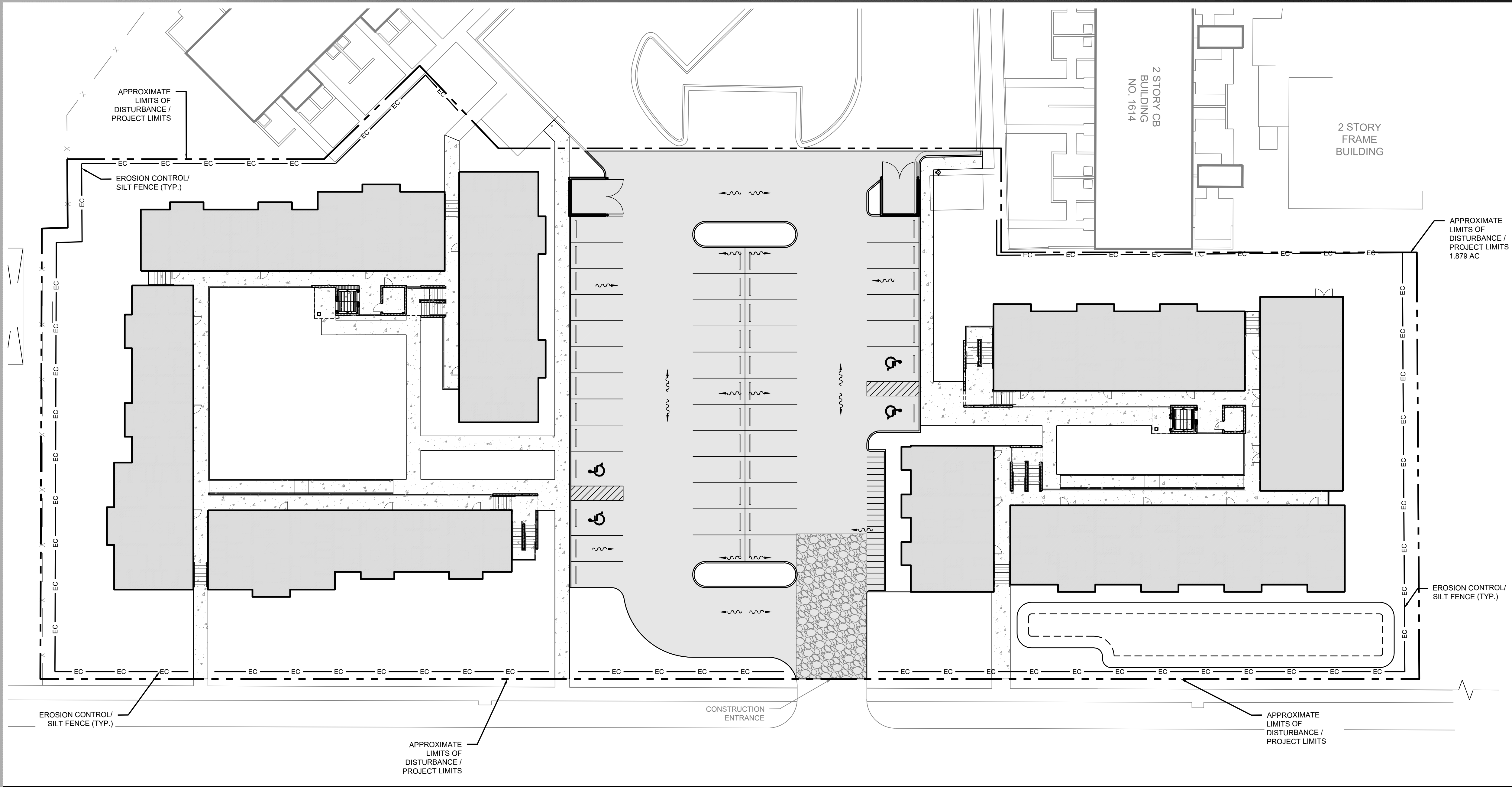
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Last Modified by: IVAN MARANAN  
Last Plotted date: 4/14/2022 2:09 PM



C:\Users\Allen Perez\Perez\Projects\2022\1016.dwg(Preliminary)SITE.dwg (C:\00 E.C.) Plotted on: Apr 14, 2022 - 2:07pm by Allen Perez

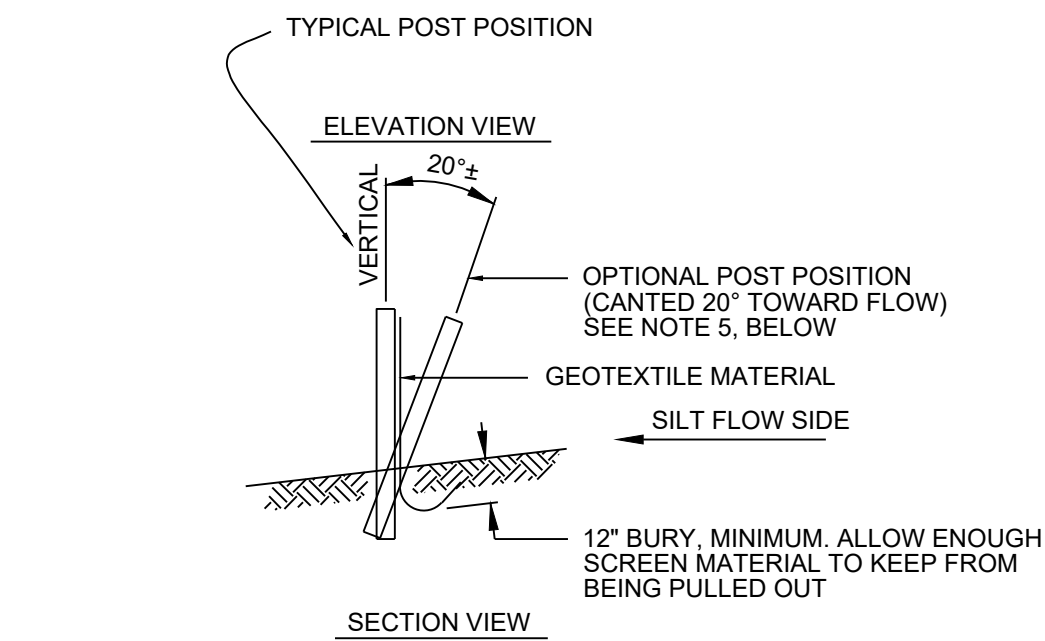
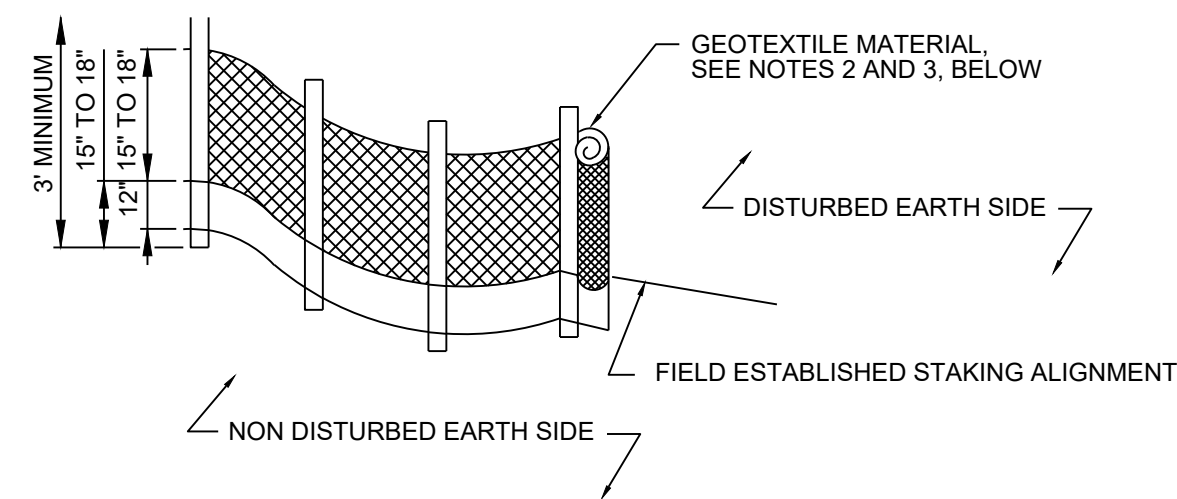


#### SWPPP GENERAL NOTES

- ALL AREAS WITHIN THE PROJECT LIMITS WILL BE SUBJECTED TO SOIL DISTURBANCE.
- THE ATTACHED BEST MANAGEMENT PRACTICES (BMPs) DETAILS AND SPECIFICATIONS ARE ONLY A SUGGESTED APPROACH DEVELOPED FOR USE BY THE OWNER/CONTRACTOR TO ASSIST THEM IN IMPLEMENTING APPROPRIATE POLLUTION PREVENTION TECHNIQUES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING THE SWPPP.
- THE CONTRACTOR SHALL SUBMIT A "NOTICE OF INTENT TO USE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES, DEP FORM 62-621.300(4)(B)," ALSO KNOWN AS NOTICE OF INTENT OR NOI, TO THE DEPARTMENT; AND SUBMIT THE PERMIT FEE.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO IMPLEMENT THE BEST MANAGEMENT PRACTICES AS OUTLINED IN THE CIVIL DOCUMENTS, THE STORMWATER POLLUTION PREVENTION PLAN, AND SPECIFICATION.
- THE CONTRACTOR SHALL SUBMIT AN EROSION AND SEDIMENT CONTROL PLAN FOR APPROVAL PRIOR TO STARTING CONSTRUCTION.

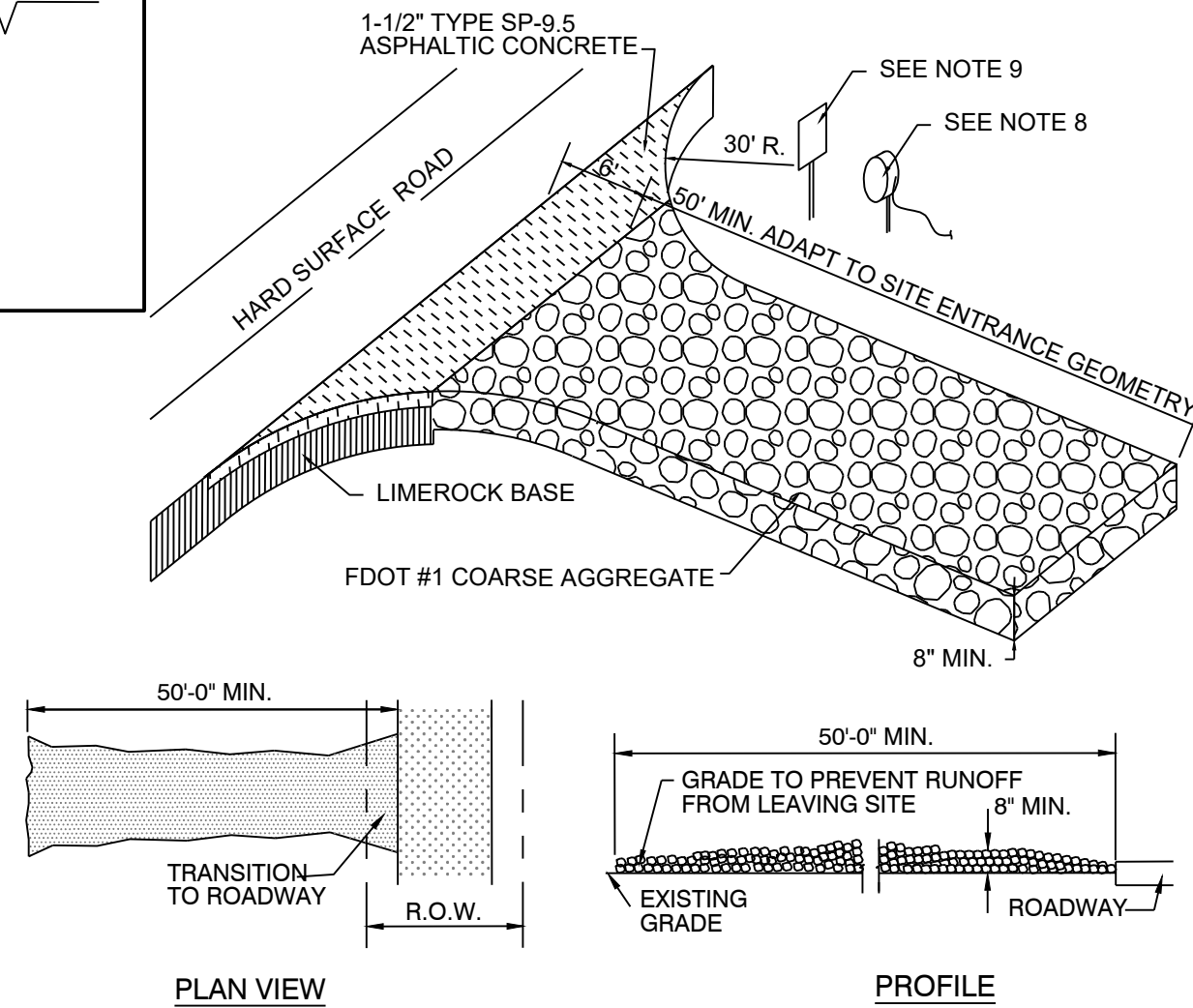
#### EROSION CONTROL NOTES

- EROSION, SEDIMENT, AND TURBIDITY CONTROL MEASURES SHALL BE PROVIDED THROUGHOUT CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING AND REPAIRING ALL SLOPES AND SURFACES THROUGHOUT CONSTRUCTION AND UNTIL A STABLE SURFACE CONDITION EXISTS. THE CONTRACTOR SHALL MINIMIZE THE EXPOSED AREA AT ANY POINT DURING CONSTRUCTION AS MUCH AS PRACTICAL.
- FILTER FABRIC SILT FENCE SHALL BE IN CONFORMANCE WITH SECTION 985, FDOT SPECIFICATION.
- CONTRACTOR SHALL INSTALL EROSION CONTROLS NOTED ON DRAWINGS AND APPLICABLE PERMITS. EROSION CONTROLS SHALL BE MAINTAINED UNTIL A PERMANENT STAND OF GRASS IS PLANTED ONSITE.
- BALED HAY OR STRAW BARRIERS SHALL BE CONSTRUCTED AND MAINTAINED IN CONFORMANCE WITH FDOT INDEX NO. 103.
- SILT FENCE LOCATIONS SHOWN HEREON ARE FOR CLARITY ONLY AND SHOULD BE CONSTRUCTED WITHIN PROPERTY LINES.
- PROVIDE EROSION CONTROL MEASURES CONSISTING OF STAKED SILT FENCES AND FILTER SOCK ALONG THE PROPOSED LIMITS OF CONSTRUCTION AS INDICATED ON THE DRAWINGS. PROVIDE ADDITIONAL MEASURES AS NECESSARY TO AVOID ADVERSE IMPACTS TO JURISDICTIONAL AREAS (WETLANDS OR WATER BODIES) AND OFF-SITE LANDS AND WATERBODIES. MAINTAIN THESE MEASURED DAILY UNTIL CONSTRUCTION ACCEPTANCE BY THE OWNER AND THEN REMOVE AND LEGALLY DISPOSE OF SAID MEASURES.
- EROSION CONTROL SHALL MAINTAINED WITHIN CONSTRUCTION AREA BY QUICKLY STABILIZING DISTURBED AREA TO PREVENT THE RELEASE OF SEDIMENT. THIS SHALL BE ACCOMPLISHED USING GRASS COVER, FILTER SOCK AND OTHER MEANS ACCEPTABLE TO OWNER, ENGINEER AND REGULATORY AGENCIES.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL, AT THE REQUEST OF THE OWNER OR AS NECESSARY MODIFY, RELOCATE THE ENVIRO-FENCE AND/OR SILT FENCE TO ALLOW FOR ACCESS AND TO COMPLETE CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN ADEQUATE EROSION CONTROL AT ALL TIMES.
- DURING CONSTRUCTION, THE CONTRACTOR WILL PROVIDE TEMPORARY SEEDING AND MULCHING FOR AREA THAT HAVE BEEN CLEARED (INCLUDING AREAS OF CONCRETE AND PAVEMENT REMOVAL) AND NOT REWORKED WITHIN 7 CALENDAR DAYS DURING THE WET SEASON (APRIL THROUGH SEPTEMBER AND 14 CALENDAR DAYS DURING THE DRY SEASON (OCTOBER THROUGH MARCH). ALSO, ALL SIDE SLOPES SHALL BE SODDED OR SEEDED AND MULCHED WITHIN 7 DAYS DURING WET SEASON AND 14 DAYS DURING THE DRY SEASON.
- ALL SURFACE WATER DISCHARGE FROM SITE, INCLUDING DEWATERING DISCHARGE SHALL MEET STATE WATER QUALITY STANDARDS (LESS THAN 29 NTU ABOVE BACKGROUND) PRIOR TO REACHING ANY WATERS OF THE STATE INCLUDING WETLAND.
- IN THE EVENT THAT THE EROSION PREVENTION AND CONTROL DEVICES SHOWN IN THESE PLANS PROVE NOT TO BE EFFECTIVE. ALTERNATE METHODS FOR MAINTAINING STATE WATER QUALITY STANDARDS FOR DISCHARGE FROM THE CONSTRUCTION SITE WILL BE REQUIRED. ANY ALTERNATE EROSION PREVENTION AND CONTROL DEVICES MUST BE APPROVED BY THE CITY AND SFWMD COMPLIANCE PERSONNEL PRIOR TO PLACEMENT.



- NOTES:
- POST: 2"x2" WOOD, P.T. OR 2-1/2" Ø STEEL AT 6' CENTERS, MAXIMUM.
  - GEOTEXTILE: GRAB TENSILE AT 90 LBS. TRAPEZOIDAL TEAR AT 35 LBS. MULLEN BURST AT 180 PSI.
  - GEOTEXTILE MATERIAL SHALL BE BURIED IN THE GROUND A MINIMUM OF 12" AND BACK FILLED.
  - ALSO SEE FDOT INDEX 199 "GEOTEXTILE CRITERIA", EROSION CLASS.
  - OPTIONAL POST POSITION REQUIRED WHEN SLOPE IS GREATER THAN 1:2.

1 Staked Silt Barrier Detail  
NTS



- NOTES:
- STONE SIZE- 3 TO 5 INCH OPEN GRADED ROCK.
  - LENGTH- AS EFFECTIVE, BUT NOT LESS THAN 50 FEET.
  - THICKNESS- NOT LESS THAN 8 INCHES.
  - WIDTH- NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
  - WASHING OF ALL VEHICLE UNDERCARRIAGE, WHEEL WELLS AND WHEELS IS MANDATORY TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED STRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE USING APPROVED METHODS.
  - MAINTENANCE- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADWAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC ROADWAY MUST BE REMOVED IMMEDIATELY.
  - DRAINAGE- ENTRANCE MUST BE PROPERLY GRADED OR INCORPORATE A DRAINAGE SWALE TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.
  - PROVIDE WATER SUPPLY AND MINIMUM 100 FT. LONG HOSE AND SPIGOT AT EACH DESIGNATED CONSTRUCTION EXIT.
  - PROVIDE SIGNAGE AT EACH DESIGNATED EXIT REQUIRING WASHING OF ALL VEHICLES LEAVING SITE.
  - ENTRANCE LOCATIONS FOR SCHEMATIC PURPOSES ONLY AND ARE APPROXIMATE. CONTRACTOR TO COORDINATE ACTUAL LOCATIONS ACCORDING TO PHASING PLANS.

2 GRAVEL CONSTRUCTION ENTRANCE  
NTS

PRELIMINARY PLAN - NOT FOR CONSTRUCTION

CIVIL ENGINEERING • REGULATORY PERMITTING • CONSTRUCTION MANAGEMENT



**PEREZ ENGINEERING  
& DEVELOPMENT, INC**  
CERTIFICATE OF AUTHORIZATION No. 8579

ALLEN E. PEREZ P.E.  
Florida P.E. NO. 51468  
April 14, 2022

ORIGINAL: APRIL 2022

REVISIONS:

1	
2	
3	
4	
5	
6	

FL KEYS OUTREACH COALITION

3200 DUCK AVENUE

KEY WEST, FL, 33040

EROSION CONTROL PLAN

FKOC, INC.

PO BOX 4767

KEY WEST, FL, 33041

JOB NO.	221016
DRAWN	AEP
DESIGNED	AEP
CHECKED	AEP

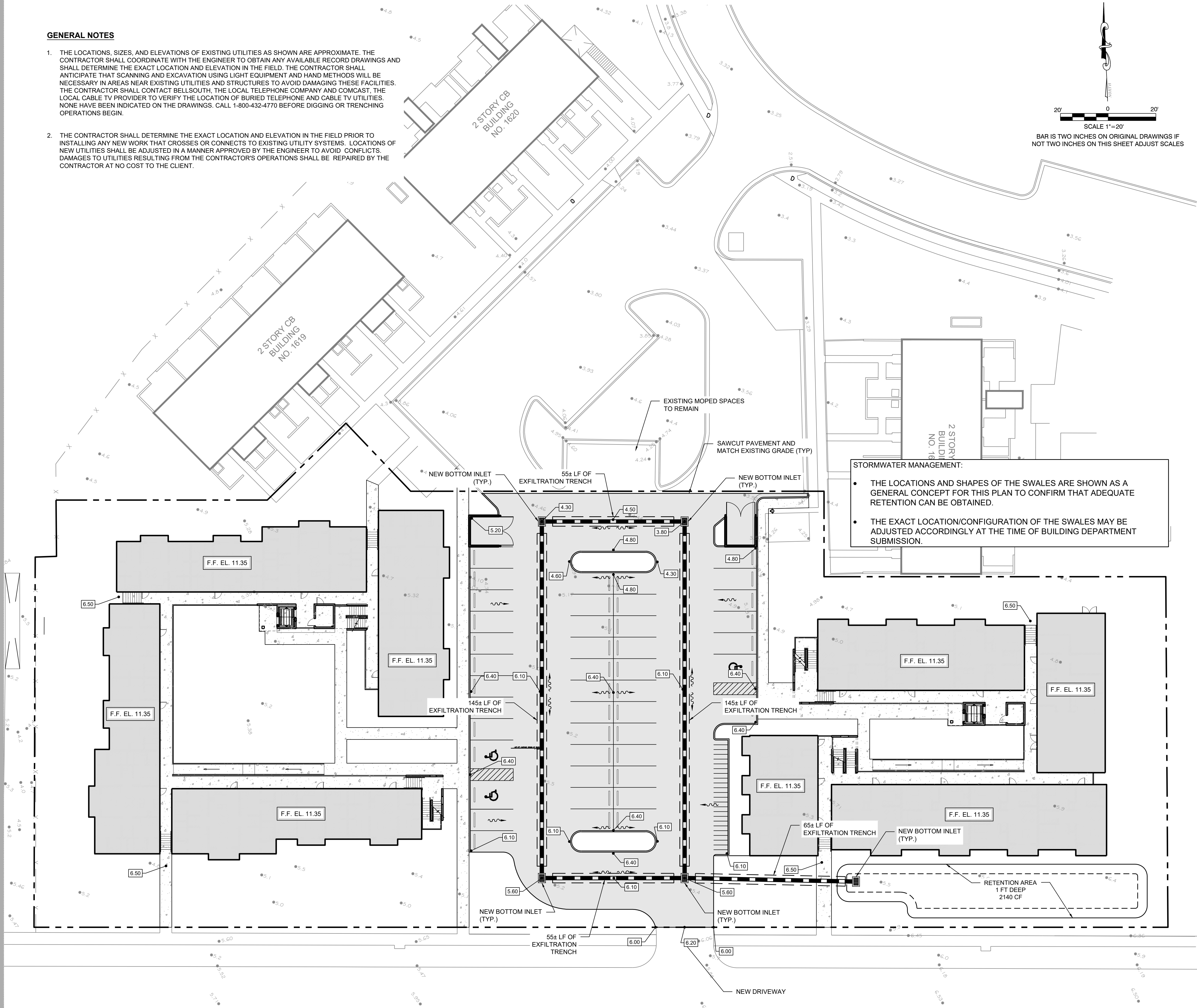
SHEET C-100



C:\Users\Allen Perez\Engineering\Dropbox\Projects\2022\21016\dwg\Preliminary\SITE.dwg (C200 DRAINAGE) Plotted on: Apr. 14, 2022 - 4:22pm by Allen Perez

GENERAL NOTES

1. THE LOCATIONS, SIZES, AND ELEVATIONS OF EXISTING UTILITIES AS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER TO OBTAIN ANY AVAILABLE RECORD DRAWINGS AND SHALL DETERMINE THE EXACT LOCATION AND ELEVATION IN THE FIELD. THE CONTRACTOR SHALL ANTICIPATE THAT SCANNING AND EXCAVATION USING LIGHT EQUIPMENT AND HAND METHODS WILL BE NECESSARY IN AREAS NEAR EXISTING UTILITIES AND STRUCTURES TO AVOID DAMAGING THESE FACILITIES. THE CONTRACTOR SHALL CONTACT BELL SOUTH, THE LOCAL TELEPHONE COMPANY AND COMCAST, THE LOCAL CABLE TV PROVIDER TO VERIFY THE LOCATION OF BURIED TELEPHONE AND CABLE TV UTILITIES. NONE HAVE BEEN INDICATED ON THE DRAWINGS. CALL 1-800-432-4770 BEFORE DIGGING OR TRENCHING OPERATIONS BEGIN.
2. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION AND ELEVATION IN THE FIELD PRIOR TO INSTALLING ANY NEW WORK THAT CROSSES OR CONNECTS TO EXISTING UTILITY SYSTEMS. LOCATIONS OF NEW UTILITIES SHALL BE ADJUSTED IN A MANNER APPROVED BY THE ENGINEER TO AVOID CONFLICTS. DAMAGES TO UTILITIES RESULTING FROM THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE CLIENT.



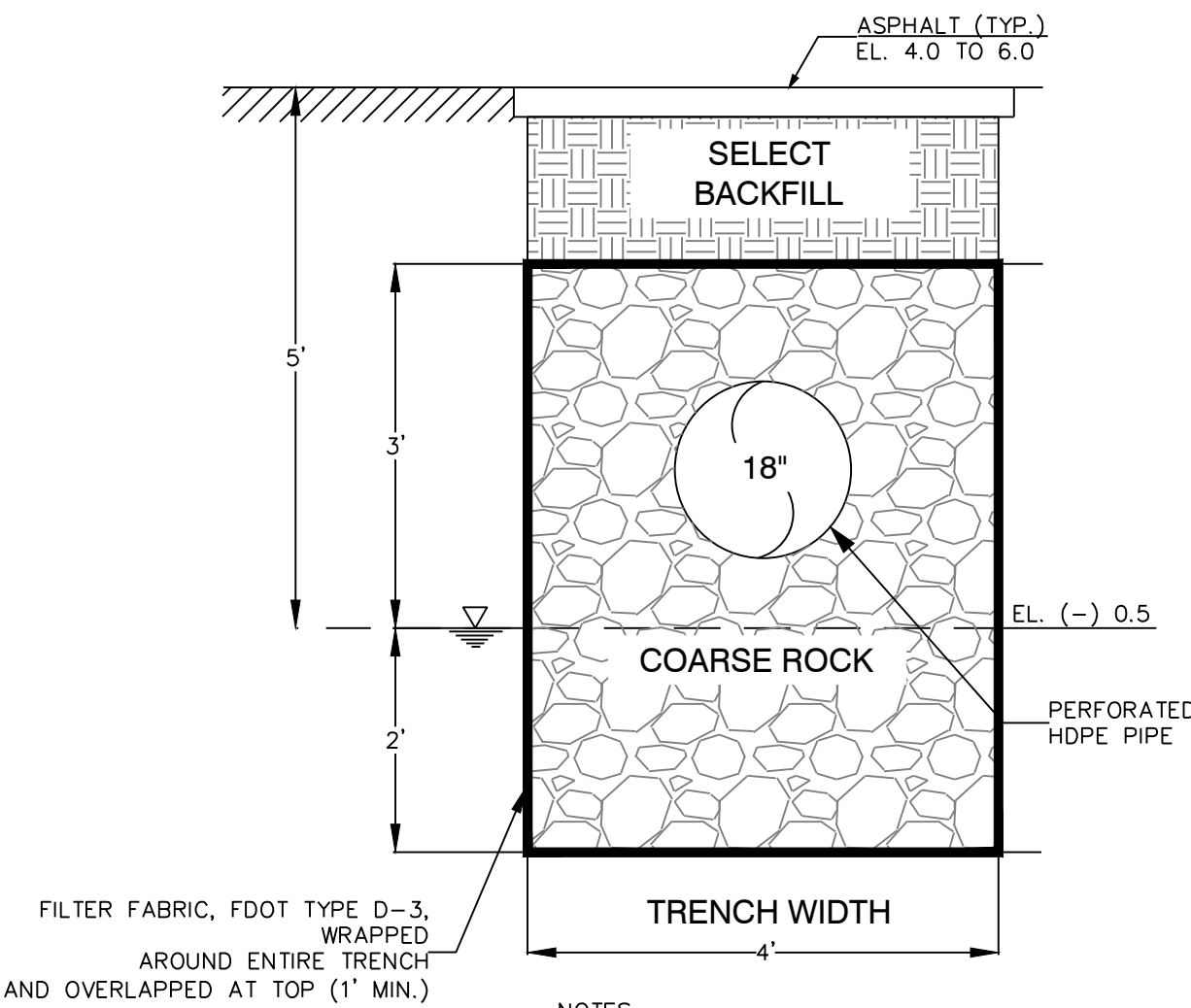
ELEVATIONS BASED ON NGVD 29

PRELIMINARY PLAN - NOT FOR CONSTRUCTION

Water Quantity Calculations - 25yr/72hr Design Storm				
<i>Water Quantity - Predevelopment</i>				
Total basin Area	1.879	ac	81,839	sf
Pervious Area	1.122	ac	48,883	sf
Impervious Area	0.757	ac	32,956	sf
% Impervious	40.27%			
Rainfall for 25yr/24hr event	$P_{24} = 9$	in		
Rainfall for 25yr/3day event	$P_{72} = 12.23$	in		
Depth to Water Table	2.5	ft		
Predeveloped Available Storage	4.55	in		
Soil Storage	$S = 2.72$	in		
$Q_{pre} = \frac{(P_{72} - 0.2S)^2}{(P_{72} + 0.8S)}$	$Q_{pre} = 9.48$	in		
Runoff Volume from 25 year/ 3 day storm	$V_{25yr/72hr} = 17.82$	ac-in		
<i>Water Quantity - Postdevelopment</i>				
Project Area	$A = 1.879$	ac	81,839	sf
Pervious Area	0.787	ac	34,302	sf
Impervious Area	1.091	ac	47,537	sf
% Impervious	58.1%			
Rainfall for 25yr/24hr event	$P_{24} = 9$	in		
Rainfall for 25yr/3day event	$P_{72} = 12.23$	in		
Depth to Water Table	2.5	ft		
Developed Available Storage	3.4	in		
Soil Storage	$S = 1.43$	in		
$Q_{post} = \frac{(P_{72} - 0.2S)^2}{(P_{72} + 0.8S)}$	$Q_{post} = 10.67$	in		
Runoff Volume from 25 year/ 3 day storm	$V_{25yr/72hr} = 20.05$	ac-in		
<i>Postdevelopment - Predevelopment</i>				
$Q_{pre-post} = Q_{post} - Q_{pre}$	$Q_{pre-post} = 1.19$	in		
Pre/Post Volume = $Q_{pre-post} \times A$	$V_{pre-post} = 2.24$	ac-in		

Water Quality Calculations				
<i>Water Quality</i>				
Project Area	1.879	ac	81,839	sf
Surface Water	0.000	ac	0	sf
Roof Area	0.444	ac	19,327	sf
Pavement/Walkways	0.648	ac	28,210	sf
Pervious area	0.787	ac	34,302	sf
Impervious area for water Quality (Site area for Water Quality - Pervious area)	0.648	ac	28,210	sf
% Impervious for Water Quality	34%			
A) One inch of runoff from project area	1.879	ac-in		
B) 2.5 inches times percent impervious (2.5 x percent impervious x (site area - surface water))	1.619	ac-in		
Total Treatment Volume Required	2.236	ac-in	8,118	cf
Pond Volume Provided	0.590	ac-in	2,140	cf
Exfiltration Volume Provided	1.982	ac-in	7,196	cf
Total Volume Provided	2.572	ac-in	9,336	cf

Exfiltration Trench Design		
Required trench length (L) =		
$\frac{V}{K(2H_2Du - Du^2 + 2H_2Ds) + 1.39 \times 10^{-4}(W)(Du)}$		
Assumed Hydraulic Conductivity, K=	0.0000633	
H =	5	ft
W =	4	ft
Du =	3	ft
Ds =	2	ft
Volume of Trench, V =	1.982	ac-in
Trench Length Provided =	465	FT



1 EXFILTRATION TRENCH DETAIL  
Not to Scale

CIVIL ENGINEERING • REGULATORY PERMITTING • CONSTRUCTION MANAGEMENT



PEREZ ENGINEERING  
& DEVELOPMENT, INC.  
CERTIFICATE OF AUTHORIZATION No. 8579

ALLEN E. PEREZ P.E.  
Florida P.E. NO. 51468  
April 14, 2022

REVISIONS:	ORIGINAL: APRIL 2022	
	1	2
	3	4
	5	6

FL KEYS OUTREACH COALITION  
3200 DUCK AVENUE  
KEY WEST, FL, 33040  
CONCEPTUAL GRADING AND DRAINAGE PLAN

FKOC, INC.  
PO BOX 4767  
KEY WEST, FL, 33041

JOB NO. 221016  
DRAWN AEP  
DESIGNED AEP  
CHECKED AEP

SHEET C-200







# PROPERTY RECORD CARD



# Monroe County, FL

## Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

## Summary

**Parcel ID** 00064740-000000  
**Account#** 1065242  
**Property ID** 1065242  
**Millage Group** 10KW  
**Location** 3200 DUCK Ave, KEY WEST  
**Address**  
**Legal** BK 19 LTS 2 THRU 10 AND PT LT 11 AND PT OF LAND LYING N OF SAID BLK KW KW  
**Description** FWDN SUB PLAT 2 PB1-189 (6.45 AC) (A/K/A POINCIANA HOUSING COMPLEX - HOMELESS HOUSING) G11-147/148 OR1655-1771/1845Q/C OR2410-271 OR2410-272/75ESMT  
(Note: Not to be used on legal documents.)  
**Neighborhood** 31100  
**Property Class** MUNICIPAL (8900)  
**Subdivision** Key West Foundation Co's Plat No 2  
**Sec/Twp/Rng** 34/67/25  
**Affordable** No  
**Housing**



## Owner

[CITY OF KEY WEST](#)  
 PO Box 1409  
 Key West FL 33041

## Valuation

	2021	2020	2019	2018
+ Market Improvement Value	\$11,333,192	\$11,333,192	\$11,333,192	\$11,333,192
+ Market Misc Value	\$0	\$0	\$0	\$0
+ Market Land Value	\$3,141,213	\$3,141,213	\$3,141,213	\$3,141,213
= Just Market Value	\$14,474,405	\$14,474,405	\$14,474,405	\$14,474,405
= Total Assessed Value	\$14,474,405	\$14,474,405	\$14,474,405	\$14,474,405
- School Exempt Value	(\$14,474,405)	(\$14,474,405)	(\$14,474,405)	(\$14,474,405)
= School Taxable Value	\$0	\$0	\$0	\$0

## Land

Land Use	Number of Units	Unit Type	Frontage	Depth
RESIDENTIAL DRY (010D)	281,030.00	Square Foot	0	0

## Exemptions

Exemption	Amount
20-E MUNICIPAL LANDS 196.199	\$100.00

## Permits

Number	Date Issued	Date Completed	Amount	Permit Type	Notes
BLD2020-1991	7/23/2020		\$500	Residential	REMOVE APPROX 11 LF OF CONCRETE FENCE AND INSTALL APPROX 6 LF 4 FT PICKET FENCE.
BLD2020-1986	7/14/2020		\$8,000	Residential	REMOVE AND REPLACE APPROX. 45 LF OF SPALLING BEAM.
BLD2020-0690	3/3/2020	5/5/2020	\$9,425	Residential	RENOVATION EXTERIOR
BLD2019-4504	12/27/2019	5/13/2020	\$9,425	Residential	REMOVE& REPLACE SINGLE HUNG ALUMINUM WINDOWS WITH NEW. A TOTAL OF SEVEN (7) WINDOWS TO BE REPLACED. RESTORE ADJACENT STUCCO AND TOUCH UP PAINT ON EXTERIOR. RESTORE DRYWALL RETURNS AND TOUCH UP PAINT ON INTERIOR.
BLD2019-1156	3/29/2019	9/25/2019	\$12,000	Residential	Remove side wall office and replace with VCT, Installation of frame SITE ADDRESS 1624 SPAULDING CT 1-4 KEY WEST, FL 33040

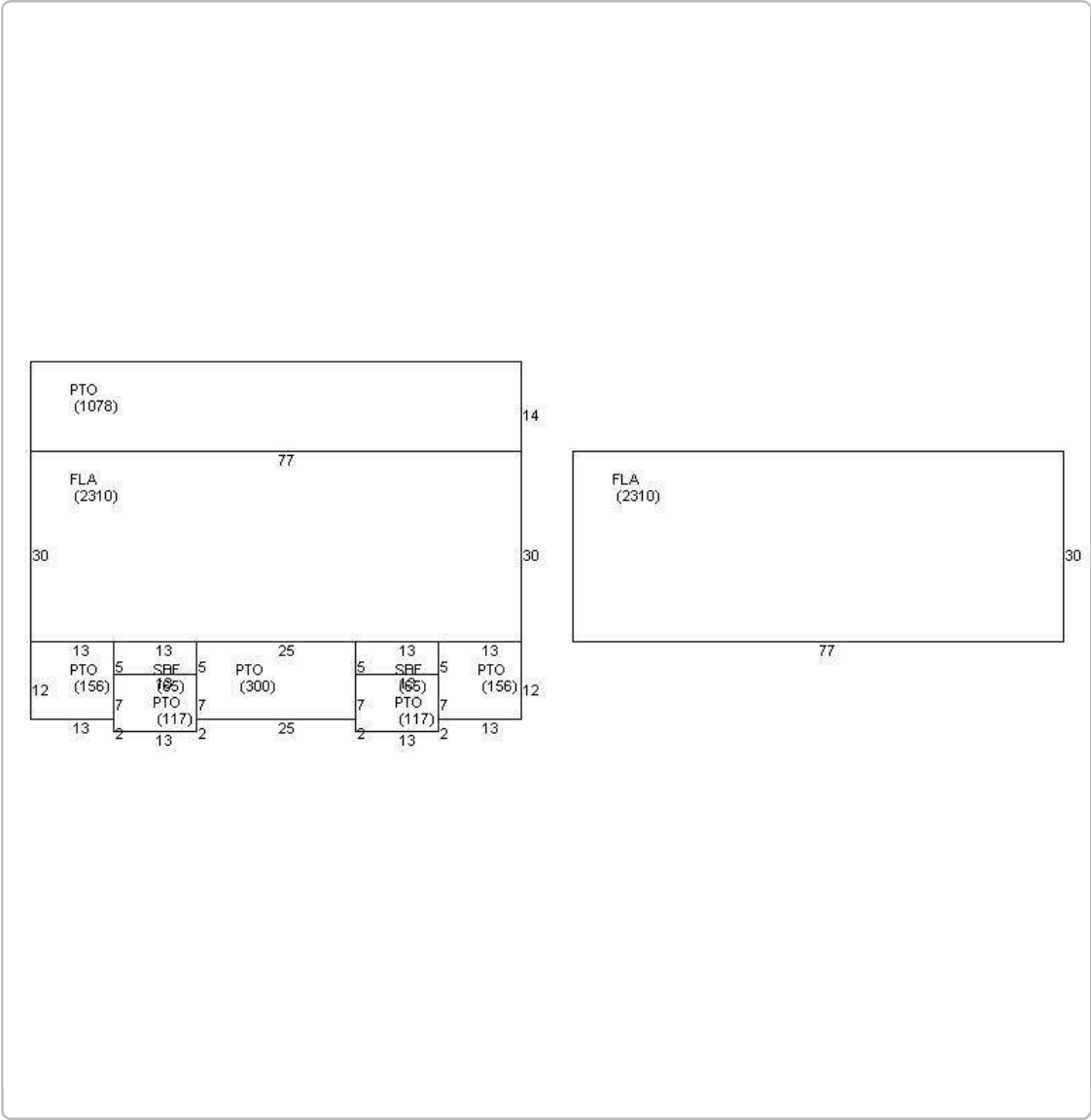
11-1137	4/12/2011	5/12/2011	\$28,000	Residential	INSTALL 675 LN FT ALUMINUM PICKET SITE FENCE, 384 LN FT TO BE DRILLED & SET IN N.S GROUT POCKETS @ SITE RETAINING WALL THE REMAINING 291 LN FT TO BE IN 120" X 38" DEEP CONCRETE POSTS HOLES
11-1134	4/11/2011	5/10/2011	\$4,200	Residential	IRRIGATION SYSTEM, TIMER & RAIN SWITCH BACKFLOW BY OTHERS.
11-0515	3/10/2011	5/11/2011	\$1,500	Residential	INSTALLATION OF 221 SOLAR PV PANELS USING A NON-PENTRATING. ADHESIVE ON THE ROOF OF ABOVE SPECIFIED LOCATION. THE SYSTEM HAS A NAMEPLATE CAPACITY OF 25.6 KW GROSS POWER RATING OF 21.75KW AS PER KEYS ENERGY SERVICES. THE SYSTEM COVERS APPROX. 4000 SQ/FT.
11-0521	3/10/2011	4/18/2011	\$96,500	Residential	INSTALLATION OF 221 SOLAR PV PANELS USING A NON-PENTRATING ADHESIVE ON THE ROOF OF ABOVE SPECIFIED LOCATION. THE SYSTEM HAS A NAMEPLATE CAPACITY OF 25.6 KW & GROSS POWER RATING OF 21.75KW AS PER KEYS ENERGY SERVICES. THE SYSTEM COVERS APPROX. 4000 SQ/FT.
11-0467	2/10/2011	5/12/2011	\$6,300	Residential	INSTALLATION OF SITE POLES LED FIXTURE WITH ASSOCIATED CONDUIT BRANCH CIRCUITRY AND OVER CURRENT PROTECTION.
11-0468	2/10/2011	5/12/2011	\$40,000	Residential	INSTALLATION OF 125KW GENERATOR AUTOMATIC TRANSFER SWITCH WITH ASSOCIATE CONDUIT FEEDERS AND CHARGER BRANCH CIRCUITRY
11-0052	1/7/2011	5/10/2011	\$150,000	Residential	INSTALL 150 SQS SINGLE PLY (80 MIL) FULLY ADHERED TO DECK
10-3674	11/29/2010	10/23/2012	\$68,000	Residential	INSTALL COMPLETE METAL FIRE SPRINKLER SYSTEM.
10-2661	11/16/2010		\$475,000	Residential	CHANGES TO PORCH OVERHANG FRAMING 2X6 RAFTERS 2X8 BEAMS, 5/8 PLYWOOD, SIMPSON ST RAPS
10-2696	11/15/2010	10/9/2012	\$20,000	Residential	INSTALL 4-3 TON A/C SYSTEMS WITH 62 DROPS AND 2-DRYER VENTS.
10-2352	11/2/2010	5/5/2011	\$91,000	Residential	INSTALL 18 TOILETS; 18 LAV SINKS; 18 KITCHEN SINKS; 17 BATHTUBS; 2 WASHING MACHINES; 1 MOP SINK; 18 W/H
10-3368	10/14/2010	5/10/2011	\$250,000	Residential	INSTALL 51 1 1/4 TON 3 2 1/2 TON, 2 1 TON MINI SPLIT, 53 EXHAUST FANS & 6' DRYER VENTS WITH 283 DROPS.
10-3370	10/14/2010	9/17/2012	\$5,800	Residential	INSTALL METAL ROOF ONTO NEWLY CONSTRUCTED PORCH.
10-2920	9/14/2010	8/14/2012	\$12,000	Residential	PROVIDE 2 400 AMP SERVICES TO BLDG. PROVIDE 1 100 AMP FEEDER TO EACH UNIT (TOTAL OF NINE). CONNECT 4 5 TON AIR CONDITIONING UNITS. 2 LAUNDRY ROOMS W/WASHER, DRYER, WATER HEATER AND OUTLETS. 10-OUTLETS FOR EXTERIOR LIGHTING.
10-3038	9/13/2010	8/14/2012	\$300	Residential	INSTALL TEMPORARY FOR CONSTRUCTION
10-2354	9/9/2010	4/18/2011	\$93,000	Residential	INSTALL 18 TOILETS; 18 LAV SINKS; 18 KITCHEN SINKS; 17 BATHTUBS; 2 WASHING MACHINES; 1 MOP SINK; 18 W/H
10-2798	8/19/2010	7/19/2012	\$15,000	Residential	RUN MAIN WATER AND SEWER LINE CONNECT TO BUILDING. ROUGH IN 2 WASHING MACHINE DRAIN AND 2 WATER HEATERS.
10-2639	8/11/2010	5/12/2011	\$19,750	Residential	FIRST FLOOR FIRE ALARM, INSTALL CONDUIT SYSTEM, CONDUCTORS, AND DEVICE I.E. SMOKE DETECTOR, MANUAL PULL STATIONS, HORN STROBE, ELEVATOR RETURN, HEAT DETECTORS.
10-2640	8/11/2010	5/12/2011	\$19,750	Residential	SECOND FLOOR FIRE ALARM, INSTALL CONDUIT SYSTEM, CONDUCTORS, AND DEVICES, I.E. SMOKE DETECTORS, MANUAL PULL STATIONS, HORN STROBES, ELEVATOR RECALL HEAT DETECTORS.
10-2641	8/11/2010	5/12/2011	\$19,750	Residential	THIRD FLOOR FIRE ALARM, INSTALL CONDUIT SYSTEM, CONDUCTORS, AND DEVICES, I.E. SMOKE DETECTORS, MANUAL PULL STATIONS, HORN STROBES, ELEVATOR RECALL HEAT DETECTORS.
10-2642	8/11/2010	4/18/2011	\$1,500	Residential	REMOVE/INSTALL 200 AMP; 120/200V. THREE PHASE FOUR WIRE TEMPORARY CONSTRUCTION SITE POWER WITH THREE QUAD WP GFI RECEP ARRANGEMENT
10-2661	8/10/2010	11/5/2012	\$475,000	Residential	PLACEMENT OF MODULAR UNITS ON EXISTING FOUNDATION, 5060 S.F. PORCH, WALKWAYS, RAMP & STAIRS, UTILITY ROOM 130 S.F. HARDIE PLANK SIDING ON MATELINE AREAS ONLY, 3000 SF. 9 UNITS, 2 BEDROOM EACH.
10-2309	7/28/2010	6/27/2012	\$10,000	Residential	INSTALL FIRE SPRINKLER'S 13R SYSTEM NEW TWO STORY MODULAR BUILDING BEGIN WORK AT SYSTEM SIDE OF THE 2" BACKFLOW VALVE
10-2353	7/19/2010	5/5/2011	\$93,000	Residential	INSTALL 18 TOILETS; 18 LAV SINKS; 18 KITCHEN SINKS; 17 BATHTUBS; 2 WASHING MACHINES; 1 MOP SINK; 18 W/H
10-2088	7/2/2010	5/15/2012	\$40,000	Residential	CONCRETE FOUNDATION ONLY FOR FUTURE MODULAR BUILDING INCLUDING DECKS AND UTILITY ROOM; 3416 S.F. 47 AUGER HOLES AND 38 COLUMNS.
10-1217	5/27/2010		\$2,500,000	Residential	CONSTRUCT 16 UNITS SPECIAL NEEDS HOUSING. FIRST FLOOR UNITS 101-117
10-1218	5/27/2010	5/16/2012	\$2,500,000	Residential	CONSTRUCT 17 UNITS SPECIAL NEEDS HOUSING. SECOND FLOOR UNITS 201-217
10-1219	5/27/2010		\$2,500,000	Residential	CONSTRUCT 17 UNITS SPECIAL NEEDS. THIRD FLOOR UNITS 301-317
10-1490	5/13/2010	5/10/2011	\$800	Residential	INSTALL TEMPORARY SERVICE JOB SITE FOR TEMPORARY OFFICE MODULAR UNIT; INSTALL 200 AMP; 120/240 VAC; 1 PH 3W (200 A)
10-1439	5/10/2010	4/18/2012	\$985	Residential	TEMP WATER & SEWER SUPPLY
10-1216	5/3/2010	5/12/2011	\$20,000	Residential	TEMPORARY CONSTRUCTION TRAILER AND CONSTRUCTION FENCE; 1800 LF X 6'
08-363	2/13/2008	6/14/2008	\$272,429	Residential	REMOVAL AND INSTALLATION 41 KITCHEN CABINETS
07-2422	5/17/2007	6/14/2007	\$2,400	Residential	BUILD A SERENITY FOUNTAIN AT 1613 HOEY DR.
07-1742	4/17/2007	5/3/2007	\$5,000	Residential	MODULAR STRUCTURE 400 AMP 2 GANG SERVICE FOR 1613 HOEY DR
07-0675	2/13/2007	5/3/2007	\$2,488	Residential	INSTALL TWO 4-TON A/C' (HOUSE IS A PRE-FAB)-FOR 1613 HOEY DR.
07-0599	2/9/2007	5/3/2007	\$25,000	Residential	POUR SLAB ON GRADE 814 SQ FT& 12' FOUNTAIN 113 SQ FT
07-0577	2/7/2007	5/3/2007	\$6,075	Residential	ROUGH IN MODULAR DRAINS & WATERTIE IN O WATER AND SEWER
07-0045	1/9/2007	5/3/2007	\$1,800	Residential	INSTALL 2SQS RUBBER ROOFING FOR SAMUELS HOUSE AT 1613 HOEY D
06-5305	11/7/2006	5/3/2007	\$55,000	Residential	INSTALL RAMP,SIDEWALK,STAIRS,DECKS,SWALE AND MODULAR TIE DOWNS 16 UNITS FOR KATHY'S HOPE
06-5237	9/14/2006	11/8/2006	\$100	Residential	DELETE AUGER PILES AT STAIRS
06-5023	8/28/2006	11/8/2006	\$54,000	Residential	FOUNDATION FOR MODULAR BLDG
05-1024	4/1/2005	12/31/2005	\$22,000	Residential	REPLACE SEWER LATERAL FOR #1624 SPALDING CT.
05-1025	4/1/2005	12/31/2005	\$22,000	Residential	REPLACE SEWER LATERAL FOR #1622 SPALDING CT

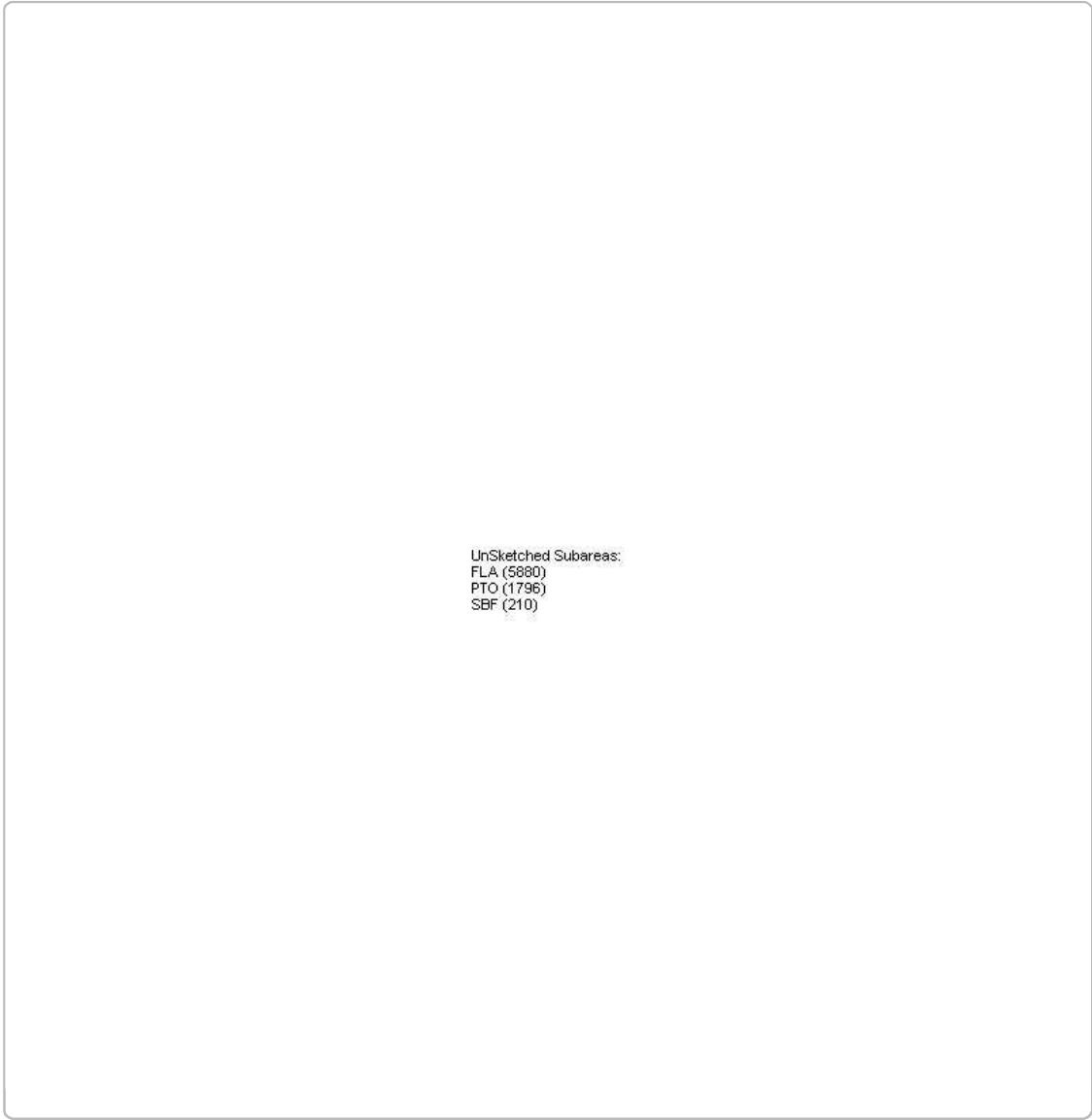
03-1472	4/29/2003	7/28/2003	\$1,900	Residential	REROUTE PIPING
02-2706	4/10/2003	7/28/2003	\$120,000	Residential	CNVRT 4/4 INTO 1/1 & 2/2

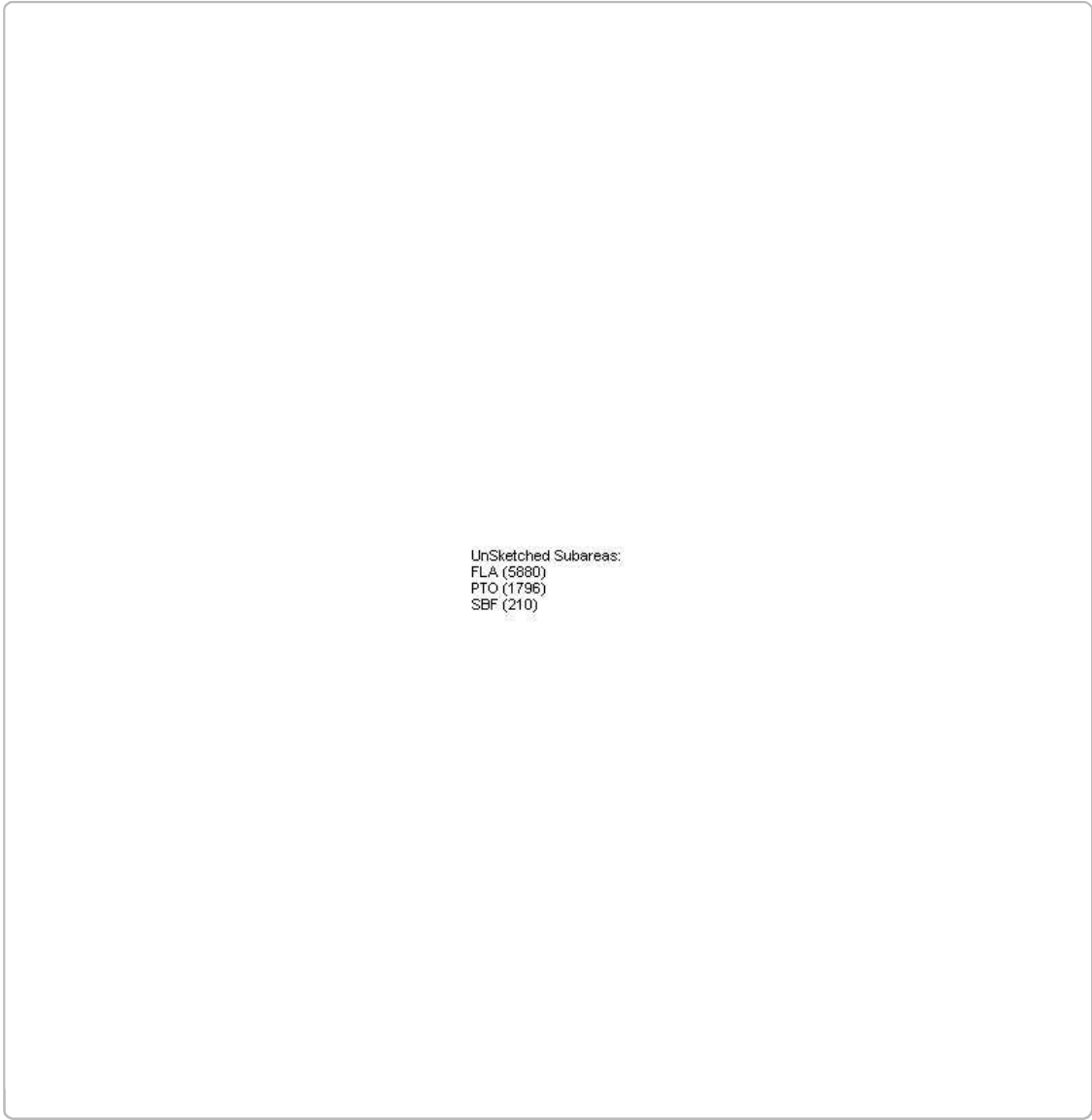
View Tax Info

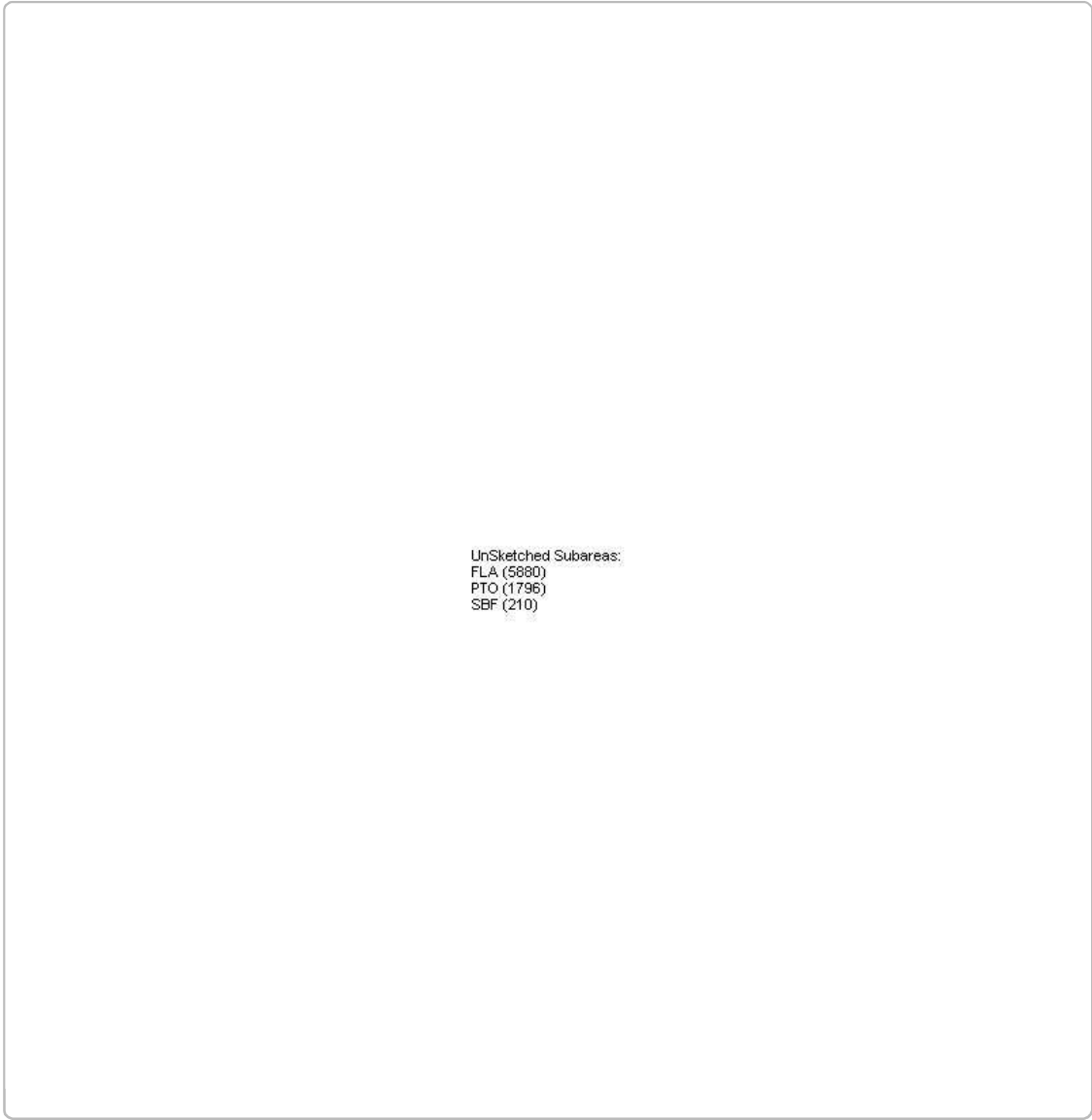
[View Taxes for this Parcel](#)

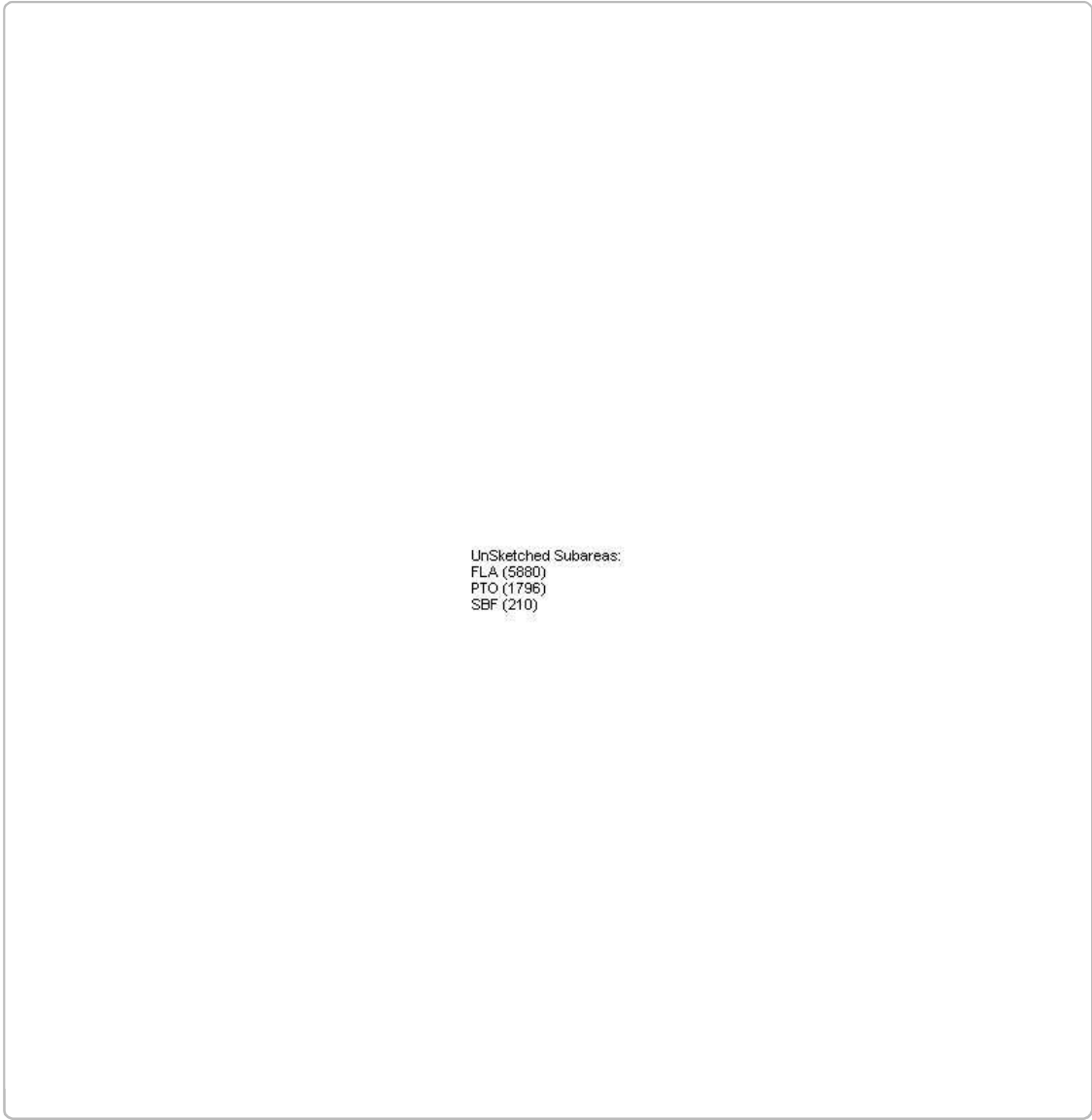
Sketches (click to enlarge)



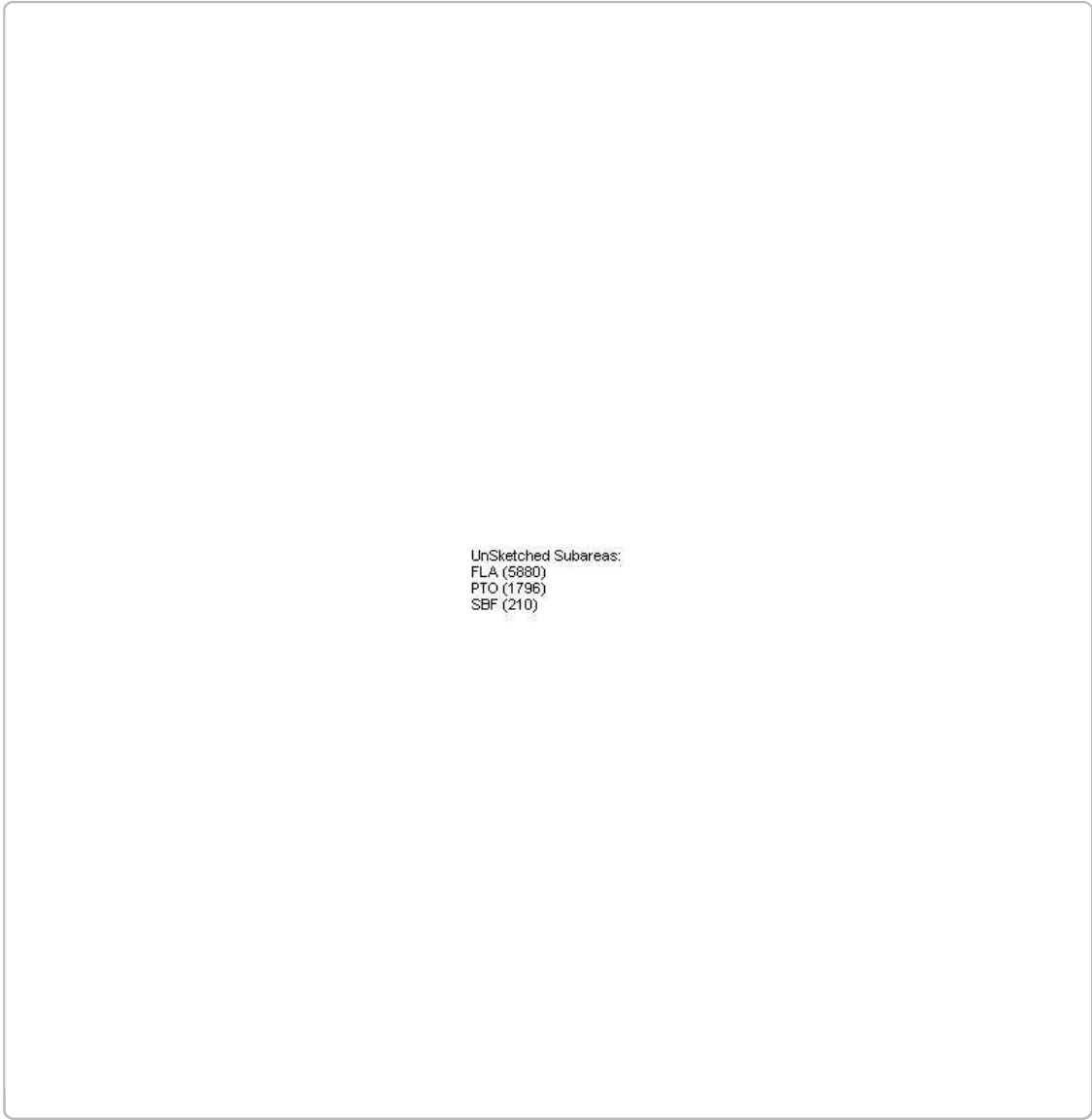
















Unsketched Subareas:  
FLA (5280)  
PTO (1690)  
SBF (150)

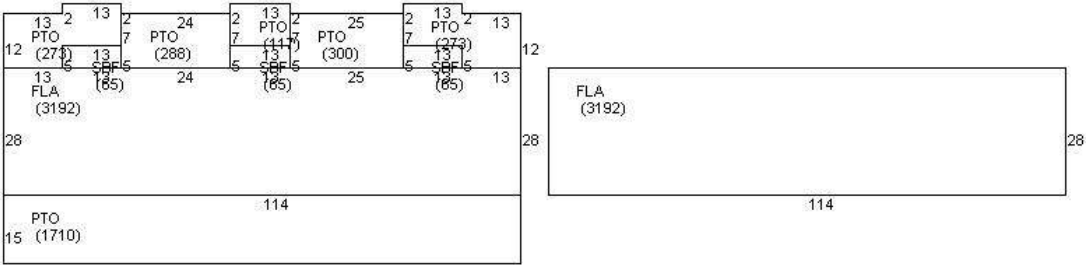


Unsketched Subareas:  
FLA (4620)

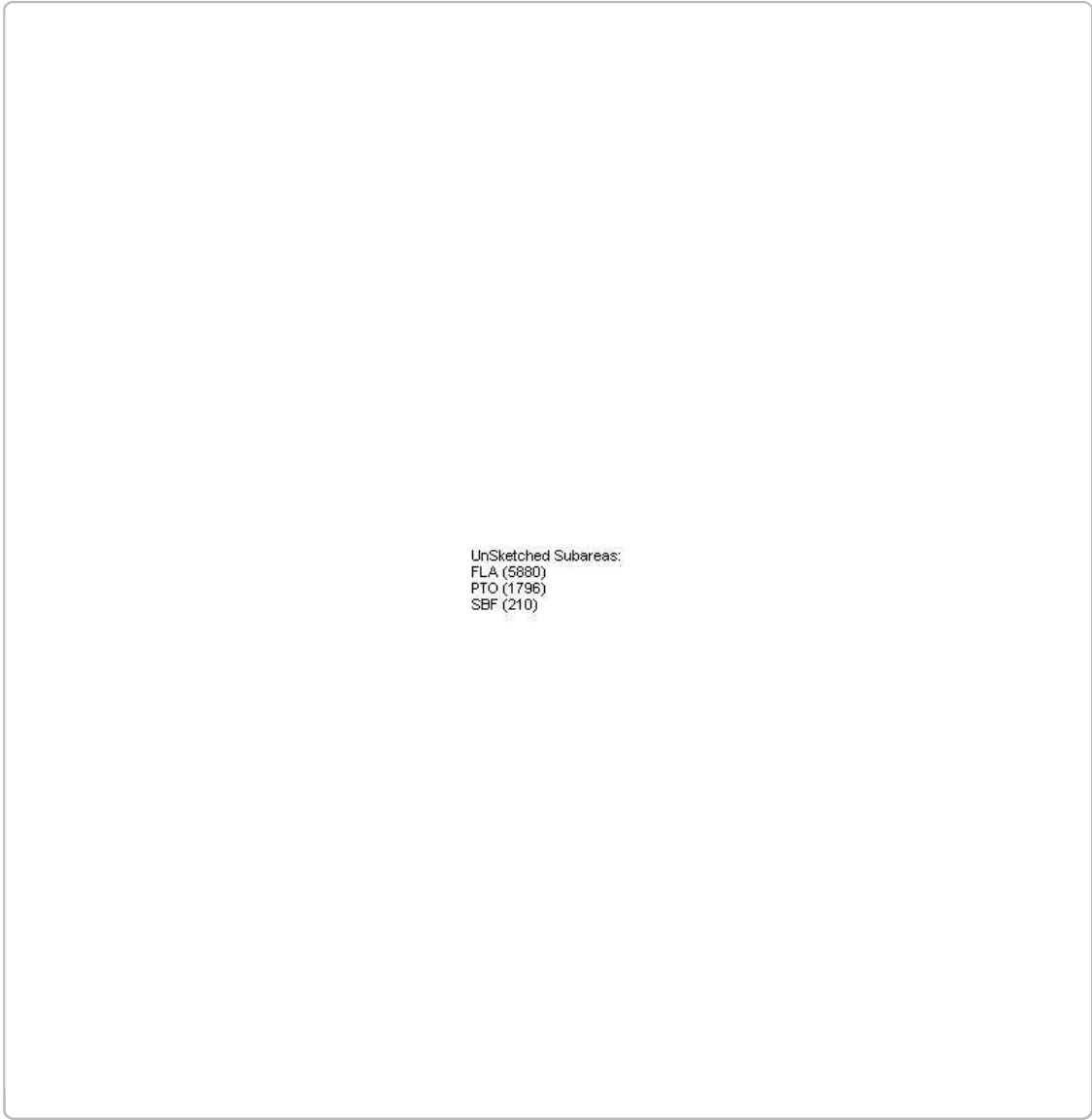




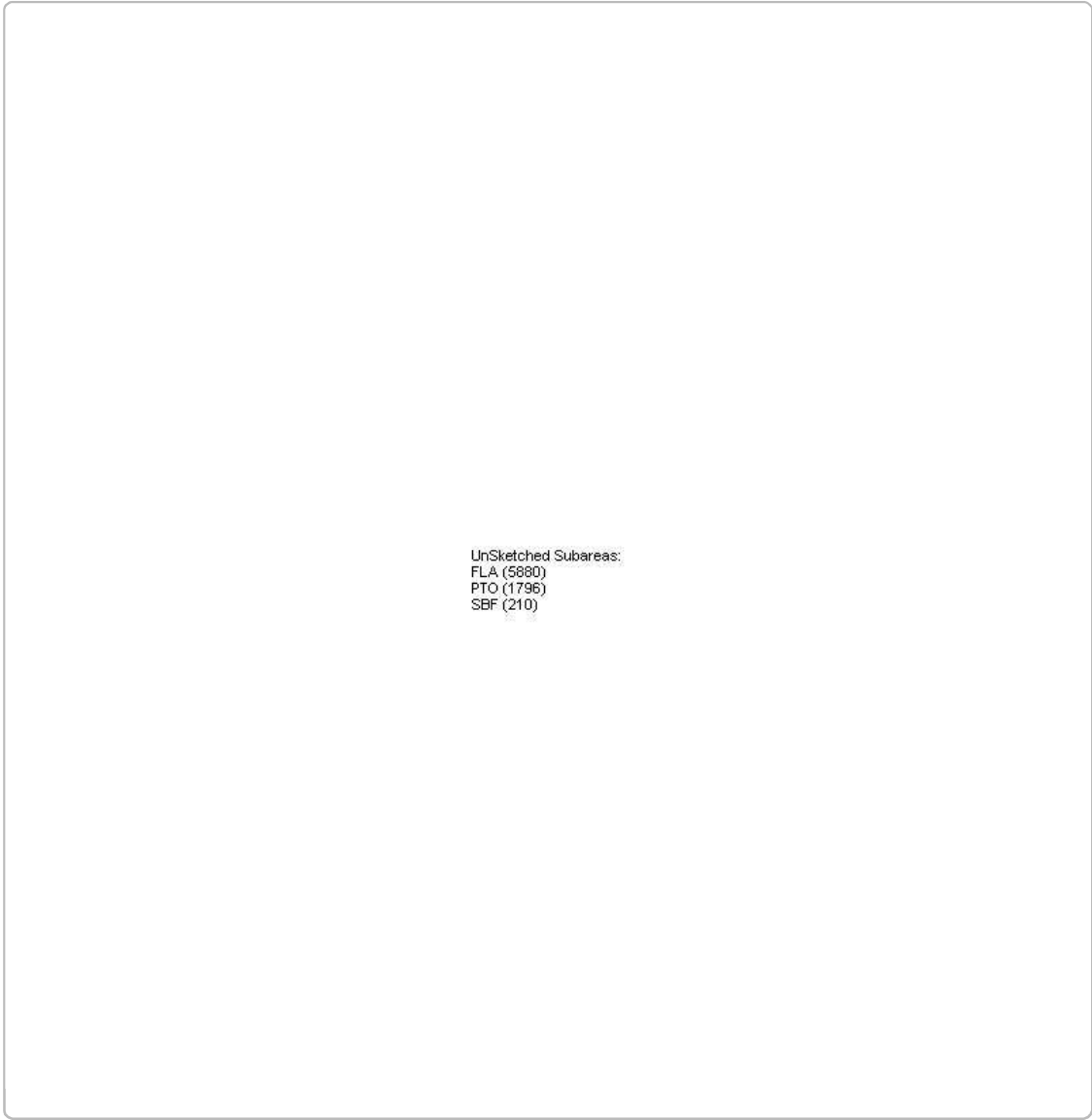
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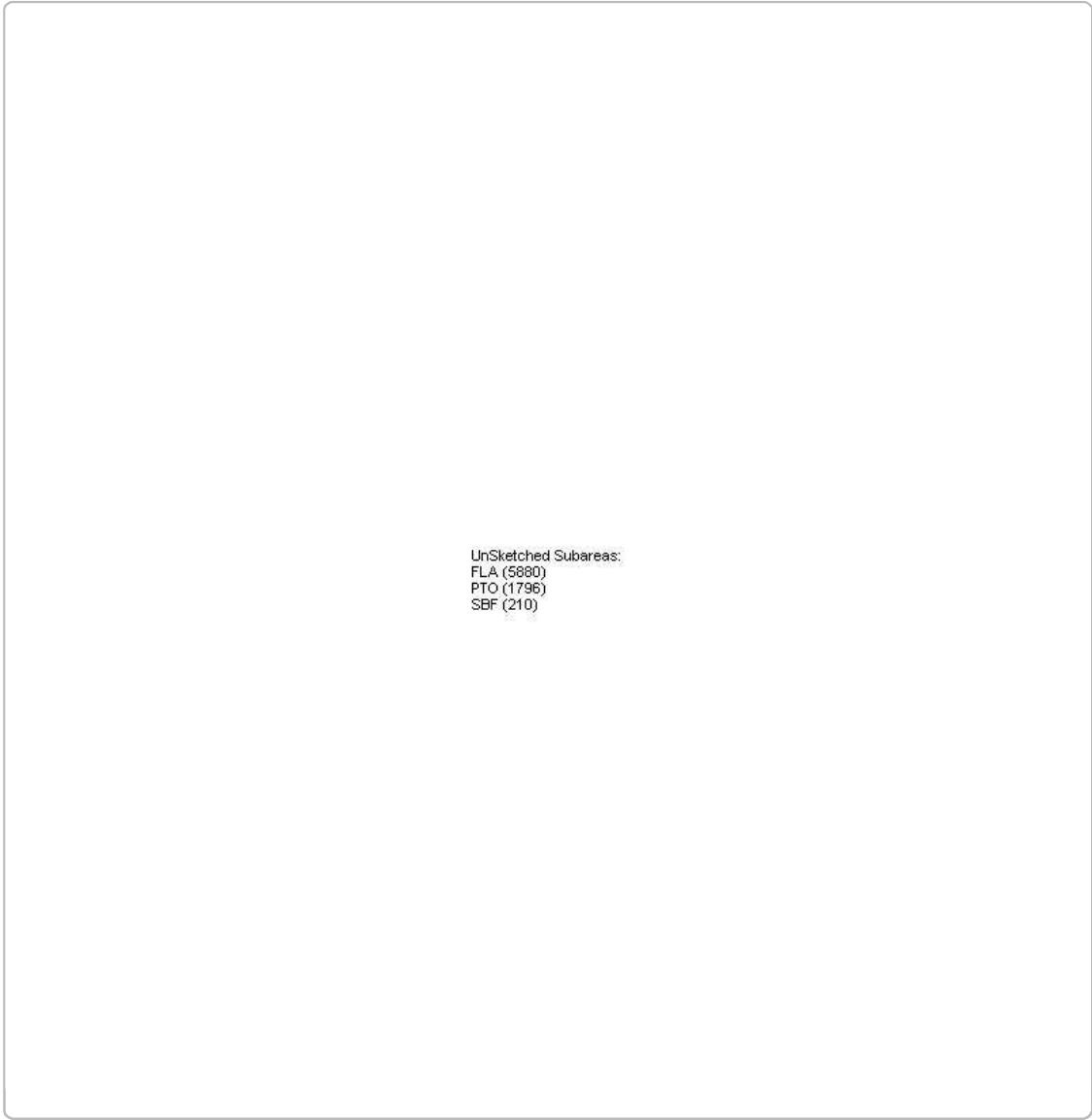


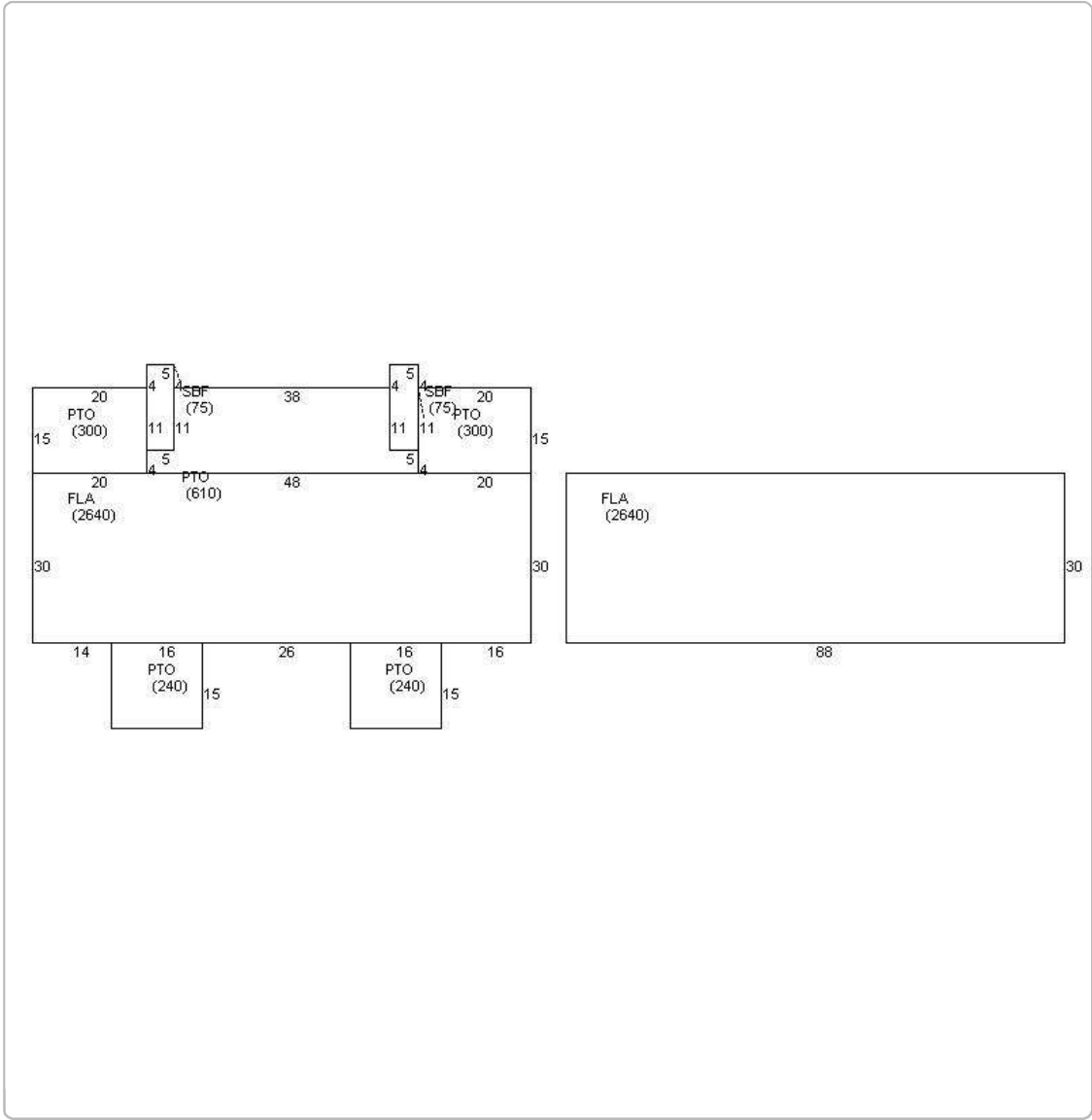


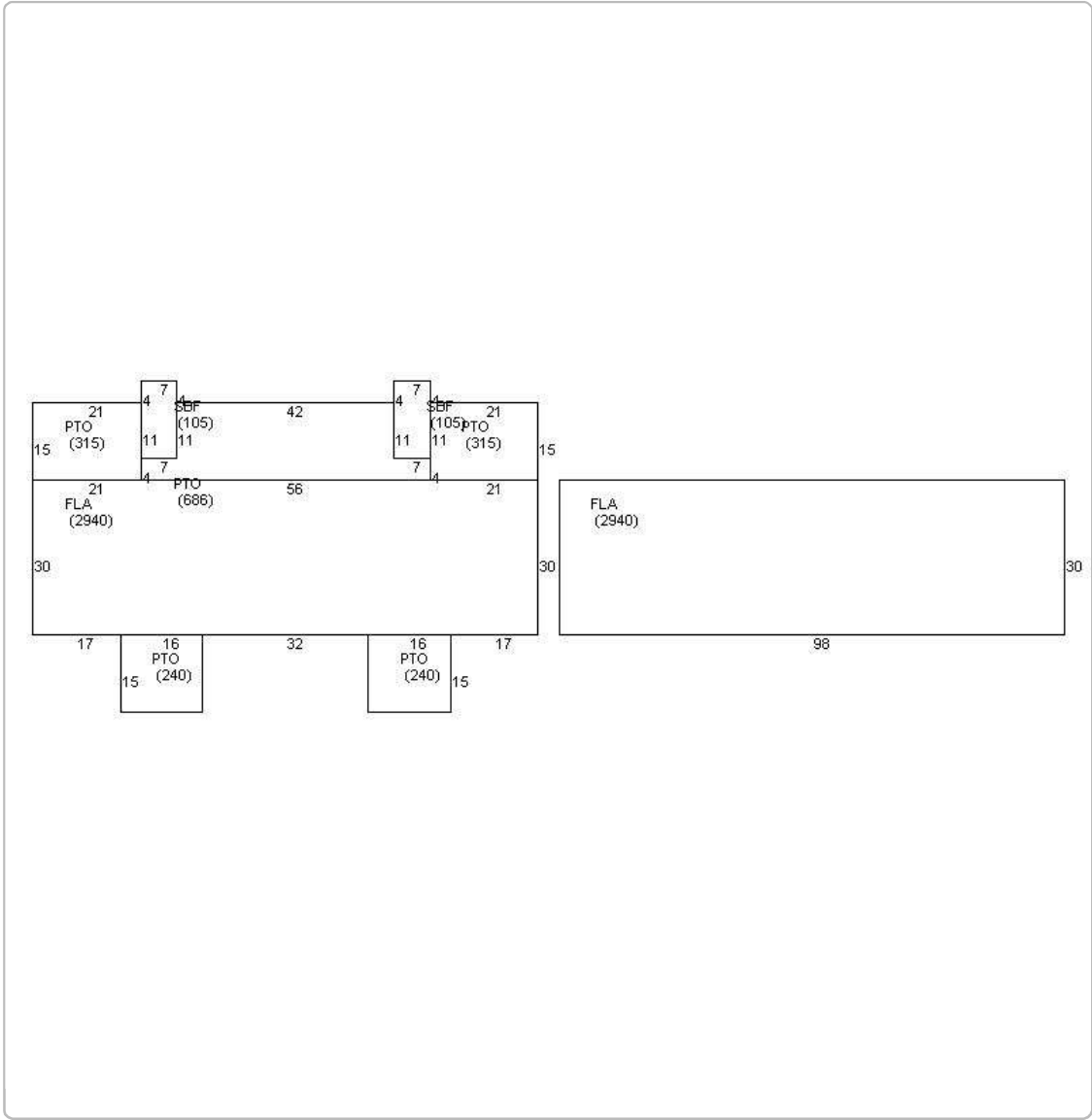


Unsketched Subareas:  
FLA (5880)  
PTO (1796)  
SBF (210)









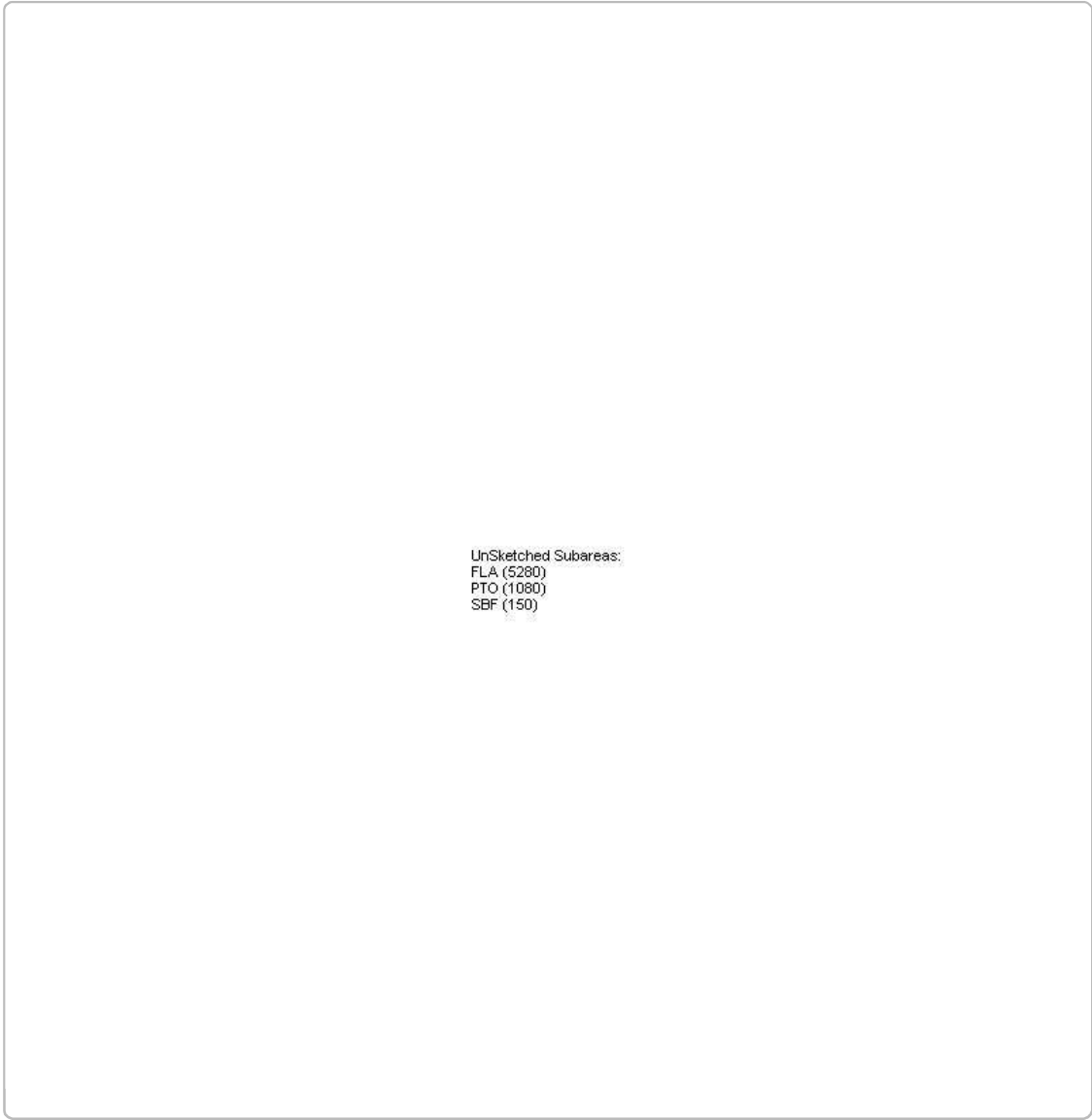


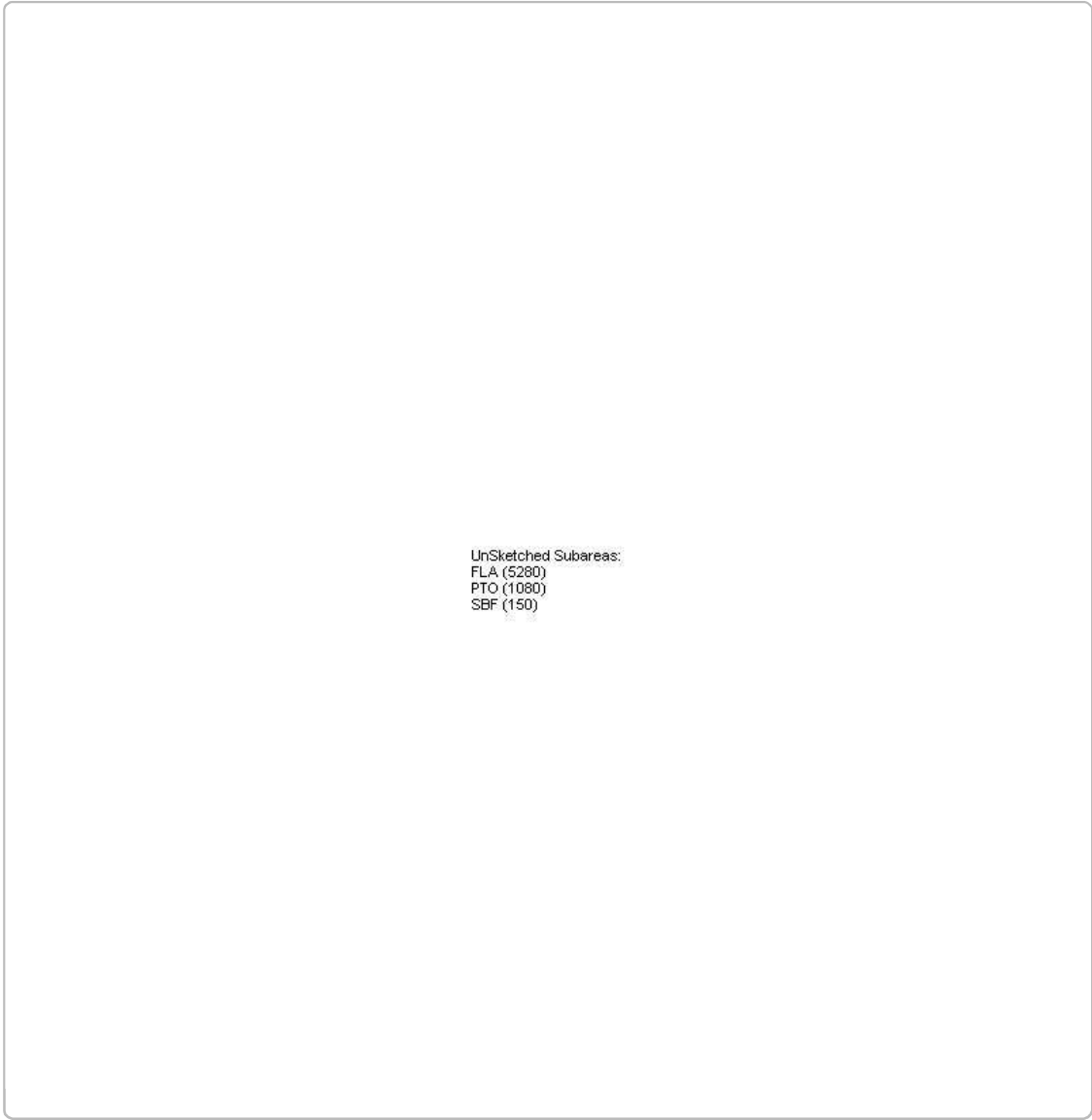


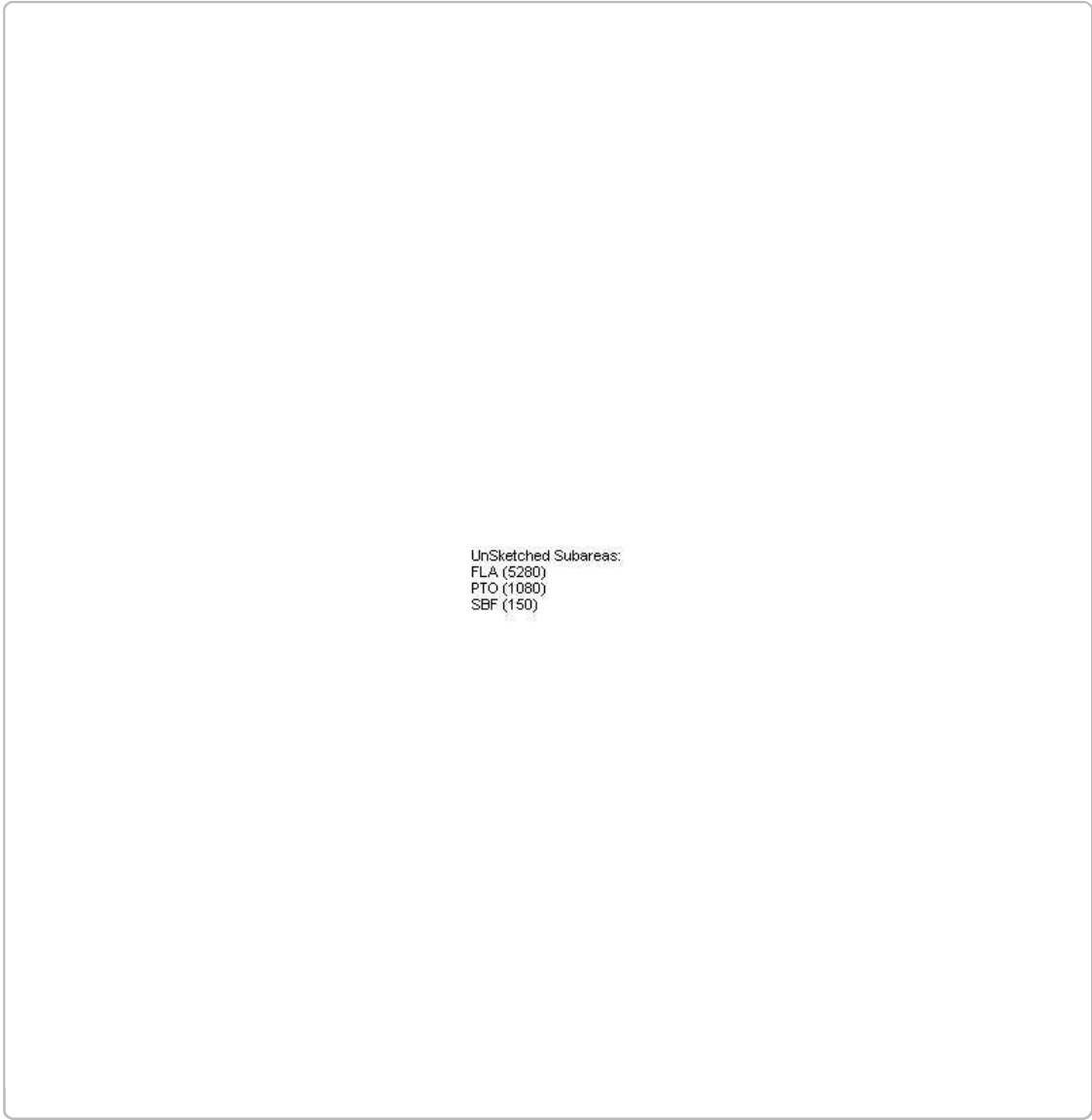
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SBF (195)  
PTO (2961)



Unsketched Subareas:  
FLA (5280)  
PTO (1690)



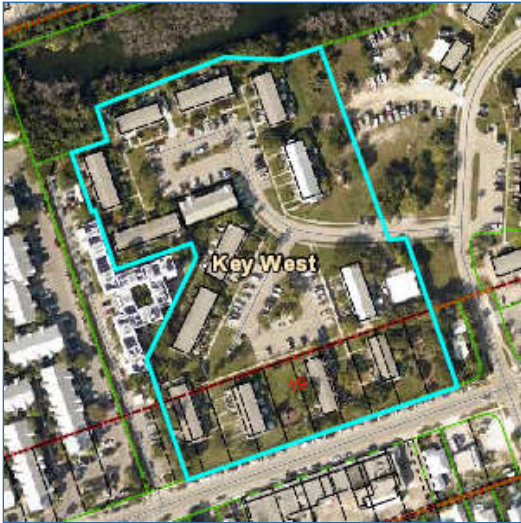




Unsketched Subareas:  
FLA (5280)  
PTO (1080)  
SBF (150)

Photos



**Map**

**No data available for the following modules:** Buildings, Commercial Buildings, Mobile Home Buildings, Yard Items, Sales, TRIM Notice.

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## Detail by Entity Name

Florida Not For Profit Corporation  
THE CITY OF KEY WEST, INC.

### Filing Information

<b>Document Number</b>	N13000007165
<b>FEI/EIN Number</b>	38-3916807
<b>Date Filed</b>	08/07/2013
<b>Effective Date</b>	08/07/2013
<b>State</b>	FL
<b>Status</b>	ACTIVE
<b>Last Event</b>	REINSTATEMENT
<b>Event Date Filed</b>	10/02/2014

### Principal Address

1300 White Street  
KEY WEST, FL 33040

Changed: 02/09/2017

### Mailing Address

1300 White Street  
KEY WEST, FL 33040

Changed: 02/09/2017

### Registered Agent Name & Address

SMITH, SHAWN D, ESQ  
1300 White Street  
KEY WEST, FL 33040

Address Changed: 02/09/2017

### Officer/Director Detail

#### **Name & Address**

Title P

Johnston, Teri  
1300 White Street  
KEY WEST, FL 33040

Title B

LOPEZ, CLAYTON  
1300 White Street  
KEY WEST, FL 33040

Title B

Kaufman, Samuel  
1300 White Street  
KEY WEST, FL 33040

Title B

Davila, Gregory  
1300 White Street  
KEY WEST, FL 33040

Title B

WARDLOW, WILLIAM  
1300 White Street  
KEY WEST, FL 33040

Title B

WEEKLY, JAMES  
1300 White Street  
KEY WEST, FL 33040

Title B

Hoover, Mary Lou  
1300 White Street  
Key West, FL 33040

Annual Reports

Report Year	Filed Date
2020	01/21/2020
2021	01/27/2021
2022	02/07/2022

Document Images

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# BOUNDARY SURVEY







MATCH LINE SHEET 1