

# PEARY COURT

Key West Florida 33040  
MAJOR DEVELOPMENT SUBMITTAL

<p><b>SITE MAP - KEY WEST</b></p> <p><b>SITE LOCATION:</b> PEARY COURT APARTMENTS KEY WEST, FL 33040</p> <p>Not to Scale</p>	<p><b>PROJECT DIRECTORY</b></p> <p><b>GENERAL NOTES</b></p> <p>1. All work shall comply with the Florida Building Code, latest edition, and all applicable laws, codes and ordinances of the City, County, and the State of Florida. In the City of Key West, applicable Codes forming the basis of this design and compliance requirements for the Contractor include:</p> <ul style="list-style-type: none"> <li>FLORIDA BUILDING CODE - Building 2020 EDITION</li> <li>FLORIDA BUILDING CODE - Existing 2020 EDITION</li> <li>FLORIDA BUILDING CODE - Residential 2020 EDITION</li> <li>FLORIDA BUILDING CODE - Plumbing 2020 EDITION</li> <li>FLORIDA BUILDING CODE - Fuel Gas 2020 EDITION</li> <li>FLORIDA BUILDING CODE - Electrical 2020 EDITION</li> <li>FLORIDA BUILDING CODE - Energy Conservation 2020 EDITION</li> <li>NATIONAL ELECTRICAL CODE 2020 EDITION</li> <li>NFPA 101 LIFE SAFETY CODE w/ Florida Modifications</li> <li>FLORIDA FIRE PREVENTION CODE 2020 EDITION</li> </ul> <p>This project is designed in accordance with A.S.C.E. 7-10 to resist wind loads of 180 mph (3 second gusts) and in accordance with ASCE 24-14 Flood Resistant Design and Construction.</p> <p>2. Prior to submitting a bid, verify all existing conditions and dimensions on the jobsite, and also after award, but prior to the start of construction.</p> <p>3. Contours and/or existing grades shown are approximate. Verify with field conditions. Final grading shall provide gradual slopes and grades. Slope all grades away from the building. Planting areas shall be graded with soil suitable for planting. Rock and debris will not be allowed.</p> <p>4. Where discrepancies between drawings, specifications, and code requirements occur, adhere to the most stringent requirement.</p> <p>5. Dimensions shall take precedence over scale.</p> <p>6. All new utilities shall be underground.</p> <p>7. Drawings and specifications are complementary. Refer to all sheets of drawings and applicable sections of the specifications for interfaces of work with related trades.</p> <p>8. After completion of construction remove all debris and construction equipment. Restore site to original condition.</p> <p>9. Notify owner of any possible artifacts uncovered during site grading and throughout the course of construction.</p> <p>10. Furnish a receptacle on site to contain construction debris and maintain the site in an orderly manner to ensure public safety and prevent blowing debris.</p> <p>11. Comply with all requirements for selective demolition as specified, shown on the Demolition Plan, or called for in the selective Demolition Notes.</p> <p><b>FLORIDA ADMINISTRATIVE CODE</b></p> <p>61G1-16.003 Use of Seal. The personal seal, signature and date of the architect or interior designer shall appear on all architectural or interior design documents to be filed for public record and shall be construed to obligate his partners or his corporation. A corporate seal alone is insufficient. Documents shall be signed personally and sealed by the responsible architect or interior designer. Final official record documents (not tracings, etc.) shall be so signed. The signing and sealing of the specification index sheets shall be considered adequate. All drawing sheets and pages shall be so signed and sealed. An architect or interior designer shall not affix or permit to be affixed, his seal or name to any plan, specification, drawing, or other document which is not prepared by him or under his exclusive supervising control as is provided in Rule Chapter 61G1-23, F.A.C. An architect or interior designer shall not use his seal or do any act as an architect or interior designer unless holding at the time a certificate of registration and all required renewals thereof.</p> <p>Specific Authority 481.2055, 481.221 FS. Law Implemented 481.221, 481.225(1)(e), (g), (j), 481.225(1)(g), (h), (i) FS. History-New 12-23-79, Formerly 21B-16.03, Amended 7-27-89, Formerly 21B-16.03, Amended 11-21-94, 4-16-00.</p>																																																																																																																																																				
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L5 PEARY COURT LIFE SAFETY PLAN																																																																																																																																																					

PEARY COURT  
MAJOR DEVELOPMENT SUBMITTAL  
KEY WEST, FLORIDA, 33040

410 Angela Street  
Key West, Florida 33040  
Telephone (305) 296-1347  
Facsimile (305) 296-2727  
Florida License AAC0022

Bender & Associates  
ARCHITECTS  
p.a.

Project No.: 162-A  
SITE MAP KEY WEST  
PROJECT DIRECTORY  
GENERAL NOTES  
SYMBOLS LEGEND  
SHEET INDEX  
Date: 06/05/2021

C



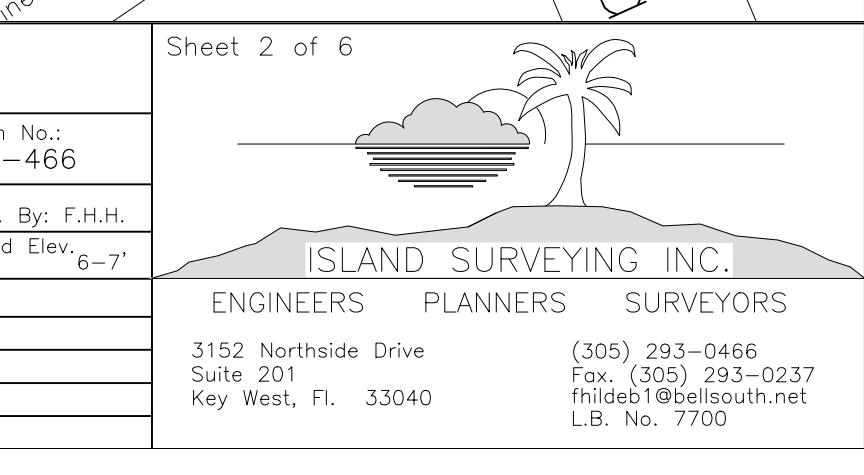
City of Key West Overhead Electrical Easement  
Approx. 16' feet wide  
For a period of 50 years from 9/3/63  
NOy(R) 66502

Easement granted to the City of Key West, for Electrical Distribution System undefined width easement is bounded by the actual location of the utility system (25) NOy(R)-60380

Easement granted the City of Key West recorded in Deed Book G-56, Page 449 (And Shown on NAS Key West, Florida, ALTA/ACSM Land Title Survey, No. Southeast, Military Housing, prepared by David M. Bruno, PSM for Woolpert, Inc., under Job No. 66060.05, dated September 11, 2007, and last revised November 16, 2007.

10/22/15: Updated

Peary Court Palm Avenue, Key West, FL 33040			
ALTA/ACSM/NSPS Survey			
Scale: 1"=30'	Ref. 205-31	Flood panel No. 1516 K	Dw
Date: 1/31/12		Flood Zone: AE	Fl
REVISIONS AND/OR ADDITIONS			
2/1/12: revise legal Description			
7/18/13: ALTA			
8/1/13: Revise L.D., Boundary information			
<a href="http://datafred.dwg.usn/boundaryinformation/bbpearycourt">datafred.dwg.usn/boundaryinformation/bbpearycourt</a>			



Easement granted the City of Key West recorded in Deed Book G-56, Page 449 (And Shown on NAS Key West, Florida, ALTA/ACSM Land Title Survey, Navy Southeast, Military Housing, prepared by David M. Bruno, PSM for Woolpert, Inc. under Job No. 66000.05, dated September 11, 2007, and last revised November 16, 2007.)



10/22/15: Updated

Peary Court  
Palm Avenue, Key West, Fl. 33040

Dwn. No.: 15-466

ALTA/ACSM/NSPS Survey

Ref.: Flood Panel No.: 205-31

Date: 1/31/12 Flood Zone: AE

Flood Elev.: 6'-7"

REVISIONS AND/OR ADDITIONS

2/1/12: revise legal Description

7/18/13: ALTA

8/1/13: Revise L.D., Boundary information

datafile.dwg.us/boundaryInformation/bpearycourt



10/22/15: Updated

Peary Court Palm Avenue, Key West, Fl. 33040		Dwn. No.: 15-466
ALTA/ACSM/NSPS Survey	Ref.:	Flood Panel No.: 205-31
Scale: 1"=30'		Dwn. By: F.H.H.
Date: 1/31/12 Flood Zone: AE Flood Elev. 6'-7"		
REVISIONS AND/OR ADDITIONS		
2/1/12: revise legal Description		
7/18/13: ALTA		
8/1/13: Revise L.D., Boundary information		
datafed.dwg.usn/boundaryinformation/bpearycourt		



**SURVEYOR'S CERTIFICATE**

This Certificate and the attached survey are made for the benefit of:  
BankUnited, N.A., its successors and assigns, as their interests may appear, Commonwealth  
Land Title Insurance Company and Peary Court Holdings, L.P., a Delaware limited partnership

I hereby certify

- That the survey was made on the ground and is correct.
- That the survey shows a complete legal description of the land and any easements appurtenant to the land necessary for access or utilities and an indication of the total acreage or square foot area of the land.
- That the survey shows the location of the perimeter of the subject property by courses and distances and all lines described by reference to the line of another piece of property.

4. That all field measurements on the survey are balanced, both as to angles and distances, so as to provide a mathematical closure. That the survey shows the point of beginning, if applicable, basis of bearings, assumed or otherwise, the scale and a north arrow. That the survey shows the following information for any curve: length of arc, radius, central angle and bearing to the radius point from the beginning and end points of the curve.

5. That the survey shows the location of all easements and rights-of-way, including all easements and rights-of-way shown as exceptions on Commonwealth Land Title Insurance Company commitment for title insurance No. FL-6752-81-411300230TS dated August 31, 2015 at 11:00 p.m. That the survey shows the location of all easements referred to in the title binder, showing the book and page of recording of all easements on the survey, and stating that all easements are located pursuant to the book and page of the recorded easements.

6. That the survey shows established building lines and setback, height and bulk restrictions of record or disclosed by applicable zoning or building codes (in addition to those recorded in subdivision maps).

7. That the survey shows all dedicated public streets, easements or rights-of-way providing access to the land, and whether such access is paved to the property line of the land and that the width of all of the foregoing are indicated.

8. That the survey shows lines of streets abutting the subject property and the width thereof, and that ingress and egress to the subject property is provided by Palm Avenue and White Street, the same being a dedicated public right-of-way maintained by the City of Key West, and Monroe County.

9. That the survey shows encroachments and the extent thereof in feet and inches (if practicable) upon the subject property, including, but without limitation, over, under or across buildings, easements and encroachments either way across the boundary lines of the subject property (or if any improvements located upon the land encroach upon other lands).

10. That the survey shows the exterior dimensions of all buildings at ground level and the square footage of the exterior footprint of all buildings, or gross floor area of all buildings at ground level and the height of all buildings above grade at a defined location, if applicable.

11. That the survey shows all substantial, visible improvements (in addition to buildings) such as signs, parking areas or structures, swimming pools, tennis courts, etc.

12. That the survey shows the relation of the improvements by distances to the perimeter of the subject property, the established building lines and the street lines.

13. That the survey shows all parking areas and, if striped, the striping and the type (e.g. handicapped, motorcycle, regular, etc.) and number of parking spaces, if applicable.

14. That the survey shows the location of all easements necessary to bring utilities to the Property, together with the location of all utility (i.e., sewer, water, electric, telephone and gas service) serving or existing on the property as evidenced by on-site observation or as determined by records provided by client, utility companies and other appropriate sources (with reference as to the source of information) (for example): (a) railroad tracks and sidings; (b) manholes, catch basins, valve vaults or other surface indications of subterranean uses; (c) wires and cables (including their function) crossing the surveyed premises, all poles on or within ten feet of the surveyed premises, and the dimensions of all crosswires or overhangs affecting the surveyed premises; and (d) utility company installations on the surveyed premises.

15. That the survey shows the location of all matters affecting the land, including fences, pipelines and streams.

16. That the survey shows all observable evidence of earth moving work, building construction or building additions within recent months.

17. That the survey shows all observable evidence of site use as a solid waste dump, sump or sanitary landfill.

18. That if the subject property is described as being on a field map or plot, a legend relating the survey to said map or plot is on the survey.

19. That the survey shows any coastal body of water or navigable waterway within 150 feet of the subject property, if applicable.

20. That the survey shows all applicable coastal construction lines, bulkhead lines, mean high water marks and erosion control lines must be shown on the survey or a statement contained therein that same do not lie within the boundary of the subject property.

21. That the subject property does not serve any adjoining property for drainage, ingress or egress or any other purpose, except as shown on the survey.

22. That the subject property is within special flood hazard area 120168, Panel 1516 K, AE, Elevation 6'-7", dated 2/18/05 as shown in the most recent Flood Hazard Boundary Maps prepared by the Department of Housing and Urban Development.

23. That the Subject Property is zoned Historic Special Medium Density Residential District under zoning codes of the Island of Key West.

24. That the survey shows any significant observations not otherwise disclosed.

25. That the survey represented hereon meets the "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys" jointly established and adopted by ALTA, ACSM and NSPS in 2011 and pursuant to the Accuracy Standards (as adopted by ALTA and ACSM and in effect on the date of this certification) of an Urban Survey, and includes items 1, 2, 3, 4, 6a, 6b, 7a,b,c, 8, 9, 10, 11a, 13, 14, 15, 17, 18, and 19, of Table A thereof. The fieldwork was completed on October 21, 2015.

This instrument is not valid unless it bears an original signature and an embossed surveyor's seal.

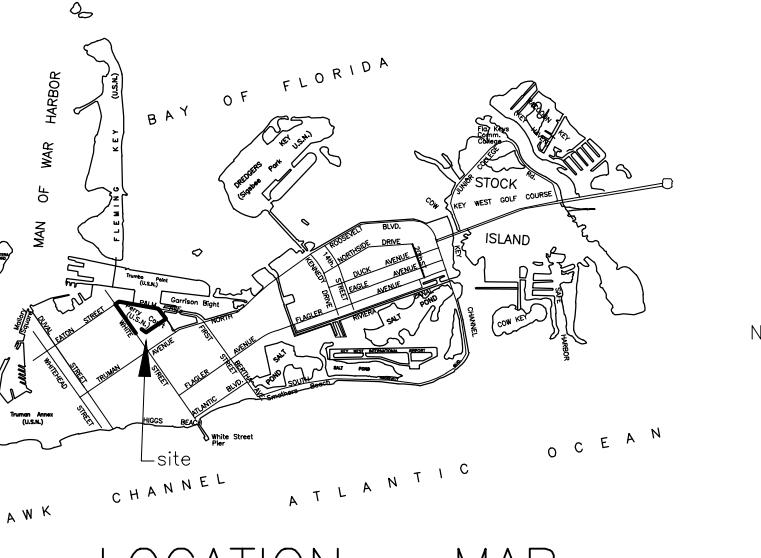
DATED: \_\_\_\_\_

FREDERICK H. HILDEBRANDT  
Professional Land Surveyor & Mapper No. 2749  
Professional Engineer No. 36810  
State of Florida

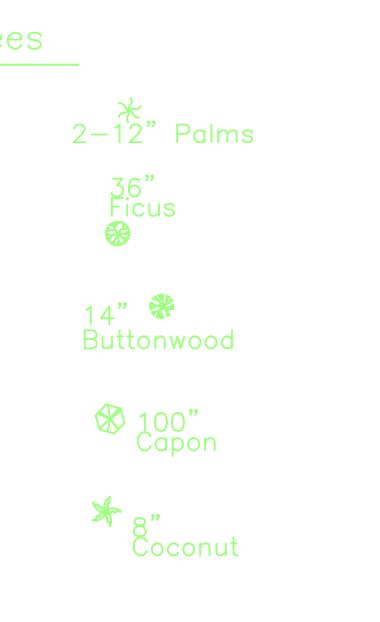
Legal Description: Peary Court:

Prepared by undersigner:

Note: Legal based on Physical properties:  
A parcel of land situated in the City of Key West, Monroe County, Florida and being more particularly described as follows: COMMENCING at the intersection of the Northwestern Right-of-Way Line of Newton Street and the Northeastern Right-of-Way Line of White Street (Florida State Plane Coordinates East Zone NAD 83/90, Northing = 82591.01, Easting = 392639.41); thence N 34°08'30" W along the said Northeastern Right-of-Way Line of White Street for 310.39 feet; thence N 55°51'30" W for a distance of 0.05 feet to the back edge (Northeast side) of a concrete sidewalk and the Point of Beginning; thence N 34°08'00" W, and along the Northeast edge of a concrete sidewalk a distance of 289.66 feet; thence S 55°51'30" W for a distance of 0.10 feet to the Northeastern Right-of-Way Line of White Street; thence N 34°08'30" W along the said Northeastern Right-of-Way Line of White Street for a distance of 31.83 feet; thence N 55°51'30" E for a distance of 0.10 feet to the said back of the sidewalk of White Street; thence N 34°08'00" W along the said Northeastern edge of a sidewalk for a distance of 853.03 feet to an existing fence; thence N 55°36'56"E, and along the said fence, which lies on Eaton Street a distance of 194.19 feet to a point lying 0.5 feet (6 inches) Northeast of a fence corner; thence S 79°06'43"E, and along a line lying 0.5 feet (6 inches) Northeast of the existing fence and wall a distance of 1206.74 feet; thence N 10°44'48"E for a distance of 8.75 feet to the Southeasterly Right-of-Way Line of Palm Avenue; thence S 79°15'12"E along the said Southeasterly Right-of-Way Line of Palm Avenue for a distance of 55.00 feet; thence S 10°44'48"W for a distance of 8.88 feet to the extension of a line lying 0.5 feet (6 inches) Northeast of the existing fence and wall; thence S 79°06'43"E and along a line lying 0.5 feet (6 inches) Northeast of the existing fence and wall for a distance of 325.66 feet to a point lying 0.5 feet (6") from the corner of the fence on Eisenhower Drive; thence S 40°23'08"E along the fence on Eisenhower for a distance of 20.90 feet; thence S 14°07'44"E and being partially along a fence line for 167.37 feet to Angela Street; thence S 56°24'46"W, and along a line lying 0.5 feet (6 inches) Southeasterly of the fence line of Angela Street a distance of 1080.22 feet; thence N 19°36'43"W, and along the edge of an existing fence a distance of 72.01 feet; thence S 56°44'44"W, and along the edge of an existing fence a distance of 204.28 feet to the Northeast side of a concrete sidewalk and the Point of Beginning.  
Parcel contains 1053433.77 square feet or 24.1835 acres, more or less.



**LOCATION MAP**  
City of Key West &  
Stock Island



**Monumentation:**  
 ▲ = fd. P.K. & Disc. L.B. 6929  
 ♦ = fd. Brass Disc. L.B. 6929  
 Δ = set or fd. P.K. Disc. L.B. 7700  
 FIRM: 120168, Panel 1516 K  
 Zone: AE, Elevation 6' & 7'  
 2/18/05

**ZONING:** HSMDR (Historic Special Medium Density Residential District)  
 Note: This is a new zoning made just for Peary Court

**Dimensional requirements:**  
 1. Max. density 8.6 dwelling units per acre  
 2. Max. floor ratio, 1.0  
 3. Max. Height 30 feet  
 4. Max. Lot coverage:  
     a. Max. Building coverage: 40%  
     b. Max. impervious surface ratio: 60%  
 5. Min. lot size: 5000 square feet  
     a. Min. lot width 50 feet  
     b. Min. lot depth 100 feet  
 6. Min. setbacks:  
     a. Front: 10 feet  
     b. Side: 5 feet  
     c. Rear 15 feet  
     d. Street side: 7.5 feet

Building heights are 28'

+ 5.08 = Existing Elevation

Abbreviations:	
M.H.	Man Hole
C.B.	Catch Basin
St. M.H.	Storm Man Hole
Sty.	Story
R/W	Right-of-Way
fd.	Found
p.	Plat
m.	Measured
d.	Deed
N.T.S.	Not to Scale
concrete	Concrete
con'd.	Covered
Elev.	Elevation
B.M.	Bench Mark
fire	Fire Hydt.
balcony	Balcony
plot	Plotter
A/C	Air Conditioner
water	Water Valve
light	Light Pole

P.O.C.= Point of Commerce  
 P.O.B.= Point of Beginning  
 P.B.= Plot Book  
 pg. = page  
 wd. = Wood  
 Bal. = Balcony  
 Pl. = Plotter  
 A/C = Air Conditioner  
 water = Water Valve  
 light = Light Pole

Field Work performed on 10/21/15

Updated 10/22/15: major change, removal of old credit union bldg.

# PEARY COURT MAJOR DEVELOPMENT SUBMITTAL

KEY WEST, FLORIDA, 33040

## Project Statistics: Peary Court Key West, FL 33040

**Abbreviations:**

St. M.H.	= Storm Man Hole
C.B.	= Catch Basin
Sy.	= Survey
R/W	= Right-of-Way
fd.	= Foundation
p.	= Pipe
m.	= Measured
G.	= Grade
N.T.S.	= Not to Scale
Elev.	= Elevation
B.M.	= Bench Mark

**Grades are 1929 N.G.V.D.**

fw	= Firewall
oh	= Overhead
up	= Underground
F.F.L.	= Finish Floor Elevation
conc.	= concrete
L.P.	= Light Pole
I.B.	= Iron Bar
C.B.S.	= Concrete Block Stucco
cov'd.	= Covered
utl. pole	= Utility Pole
water valve	= Water Valve
light pole	= Light Pole

### GENERAL INFORMATION:

DISTRICT: HSMDR - Historic Special Medium Density Residential  
GROSS AREA: 24.1835 ACRES OR 1,053,433.77 SF

### SETBACKS REQUIRED:

FRONT: (White Street) 10' PROVIDED: 10'  
SIDE YARD (Palm, Angela, Eaton): 7.5' PROVIDED: 7.5'  
REAR (Eisenhower): 15' PROVIDED: 15'

BUILDING HEIGHT: 30'-0" FROM CROWN OF ROAD AT WHITE STREET (6.09 NGVD29)

PROPOSED MAXIMUM BUILDING HEIGHT: 28'-0"

MAX BUILDING COVERAGE ALLOWED: 40% or 421,374 s.f.

EXISTING BUILDING COVERAGE: 15.8% or 166,382 s.f.

PROPOSED BUILDING COVERAGE: 188,320 s.f. or 17.8%

EXISTING UNITS: 160

ENTITLEMENTS: 48 DU APPROVED DEVELOPMENT PLAN  
(33 TWO BEDROOM UNITS, 15 CONVERSIONS)  
208 UNITS TOTAL ENTITLEMENTS

### PARKING REQUIREMENT:

33 PARKING SPACES REQUIRED FOR NEW UNITS  
15 PARKING SPACES REQUIRED FOR CONVERSIONS

10% BICYCLE PARKING REQ.  
PROVIDED: 33 NEW PARKING SPACES

PROVIDED: 15 EXISTING PARKING SPACES

PROVIDED: 24 NEW BICYCLE SPACES

MAXIMUM ALLOWED IMPERVIOUS AREA: 60% or 632,060 s.f.

TOTAL EXISTING IMPERVIOUS AREA:

Existing Unit Coverage: 166,382 s.f.  
Existing Roadways & Sidewalks: 321,638 s.f.  
488,020 s.f. or 46.33%

TOTAL PROPOSED IMPERVIOUS AREA:

Proposed Unit Coverage: 188,320 s.f.  
New Roadways & Sidewalks: 339,615 s.f.  
527,935 s.f. or 50.11%

REQUIRED OPEN SPACE: 35% or 368,702 s.f.

EXISTING OPEN SPACE: 54% or 565,413 s.f.

PROPOSED OPEN SPACE: 50% or 525,498 s.f.

### FEMA FLOOD ZONE:

FLOOD ZONES: AE 6, & AE 7  
PROPOSED FINISHED FLOOR HEIGHTS: 11.0' NGVD1929  
(anticipating flood map change to NAVD88 datum and flood zone to AE9)

**NOTE: PROJECT STATISTICS HAVE BEEN  
REVISED TO SHOW EXISTING OPEN  
SPACE CALCULATION AND ALTERED  
FINISH FLOOR HEIGHT IN ANTICIPATION  
OF FEMA FLOOD MAP CHANGE.**

THIS SITEPLAN INDICATES  
THE LOCATION OF ALL NEW  
CONSTRUCTION WHICH  
INCLUDES THE FOLLOWING:

- 9 BUILDING SITES
- 33 UNITS
- 33 PARKING SPACES

410 Angela Street  
Key West, Florida 33040  
Telephone (305) 296-1347  
Facsimile (305) 272-2727  
Florida License AAC002022

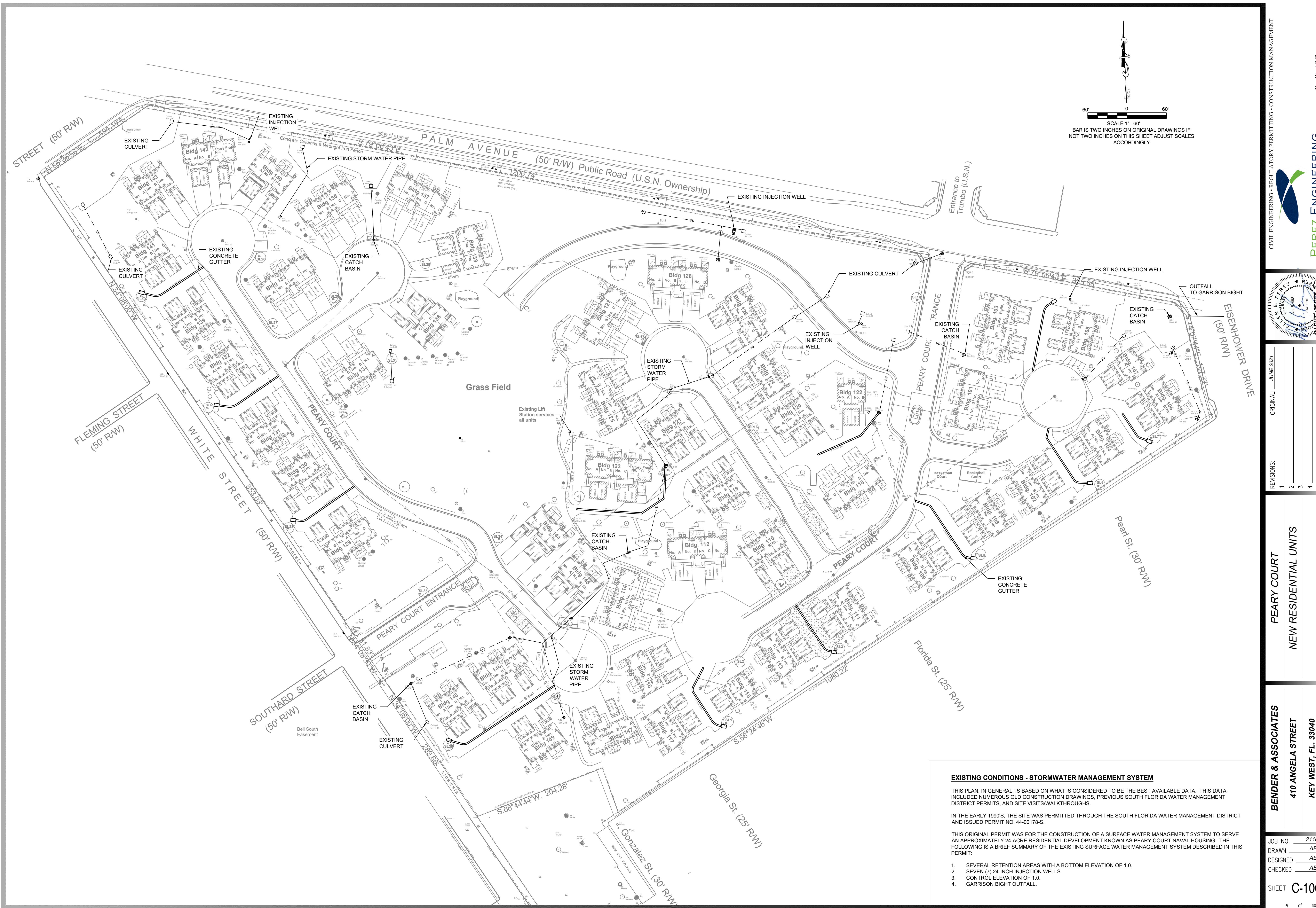
Bender & Associates  
ARCHITECTS  
p.a

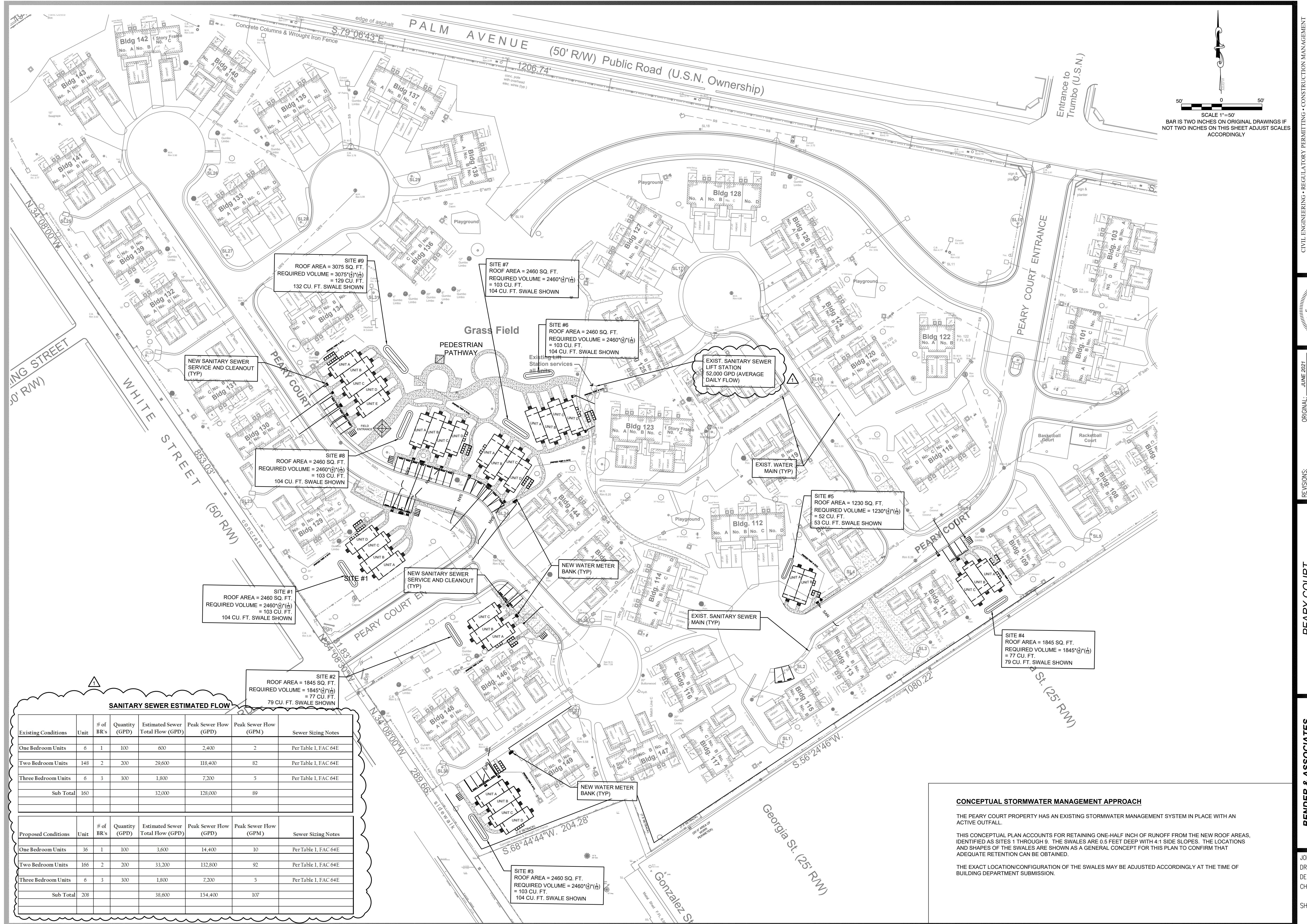
Project No.: 1622-A

Date: 7/01/2021

A1

PROJECT  
NORTH





REVISIONS:	ORIGINAL:
1 Estimated Sanitary Sewer Flow	JUNE 2021 1/4/2021
2	
3	
4	
5	
6	

PEARY COURT	NEW RESIDENTIAL UNITS

BENDER & ASSOCIATES	KEY WEST, FL. 33040

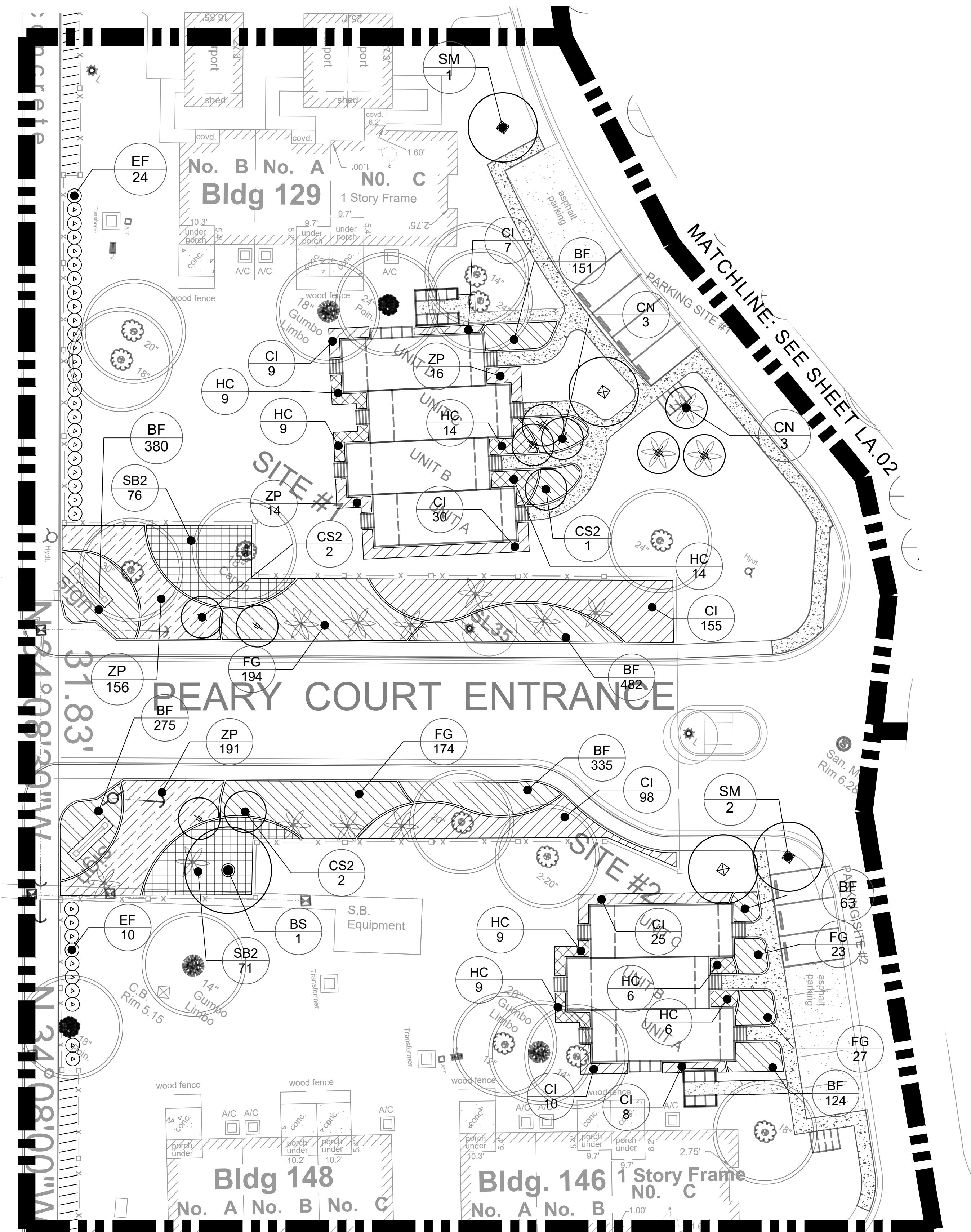
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DRAWN	AEP
DESIGNED	AEP
CHECKED	AEP

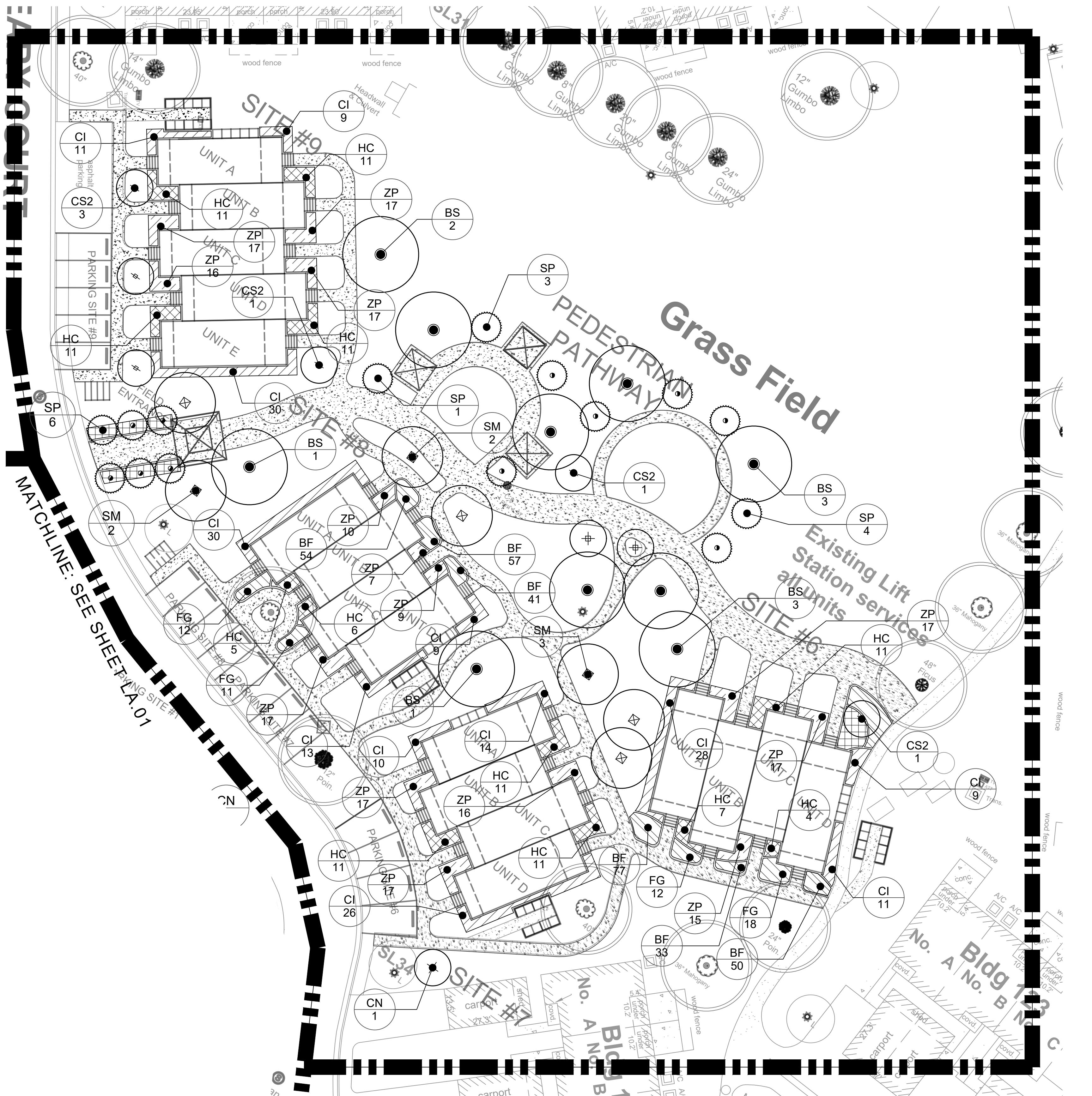
SHEET C-200



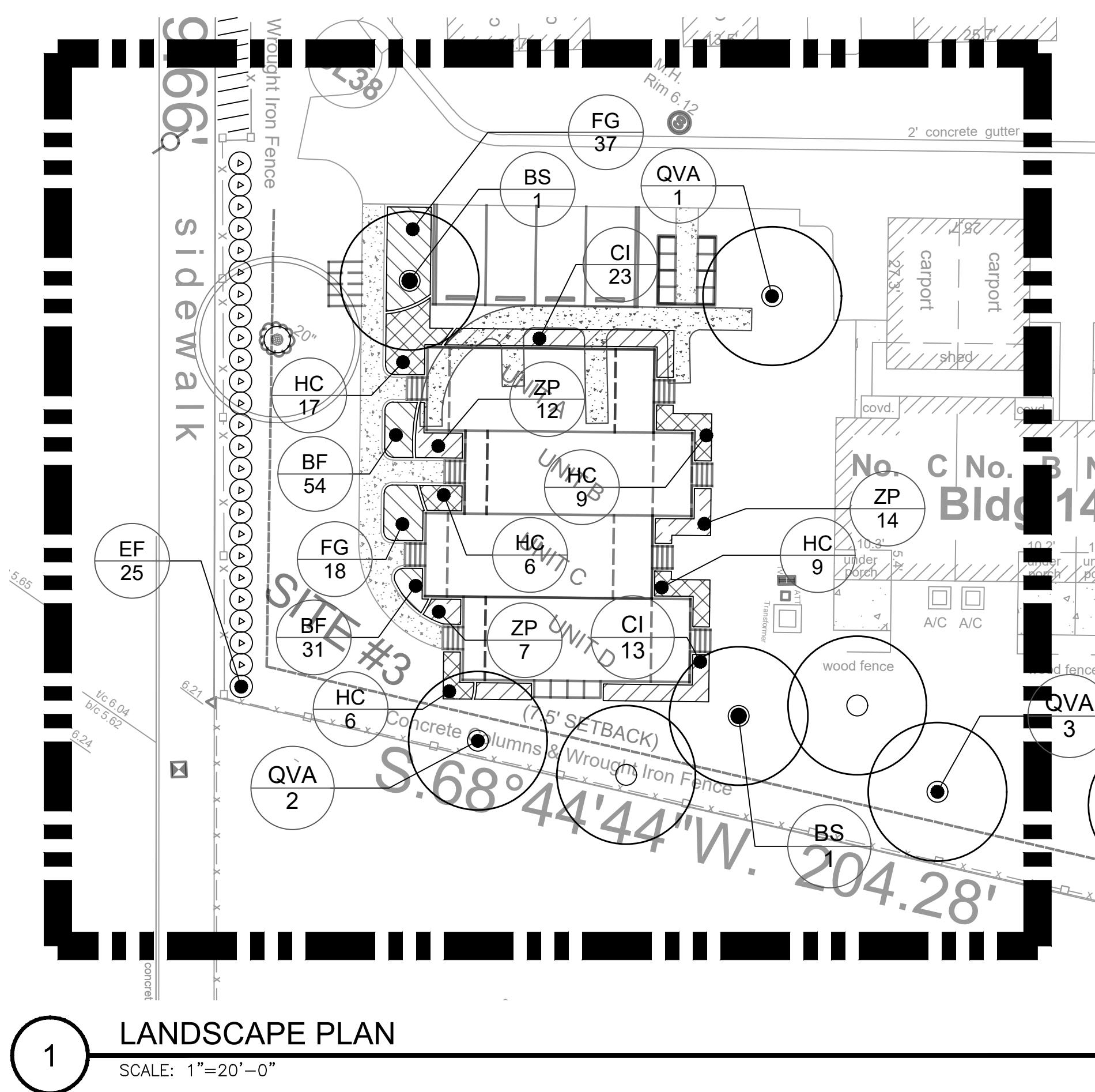


NOT FOR  
CONSTRUCTION



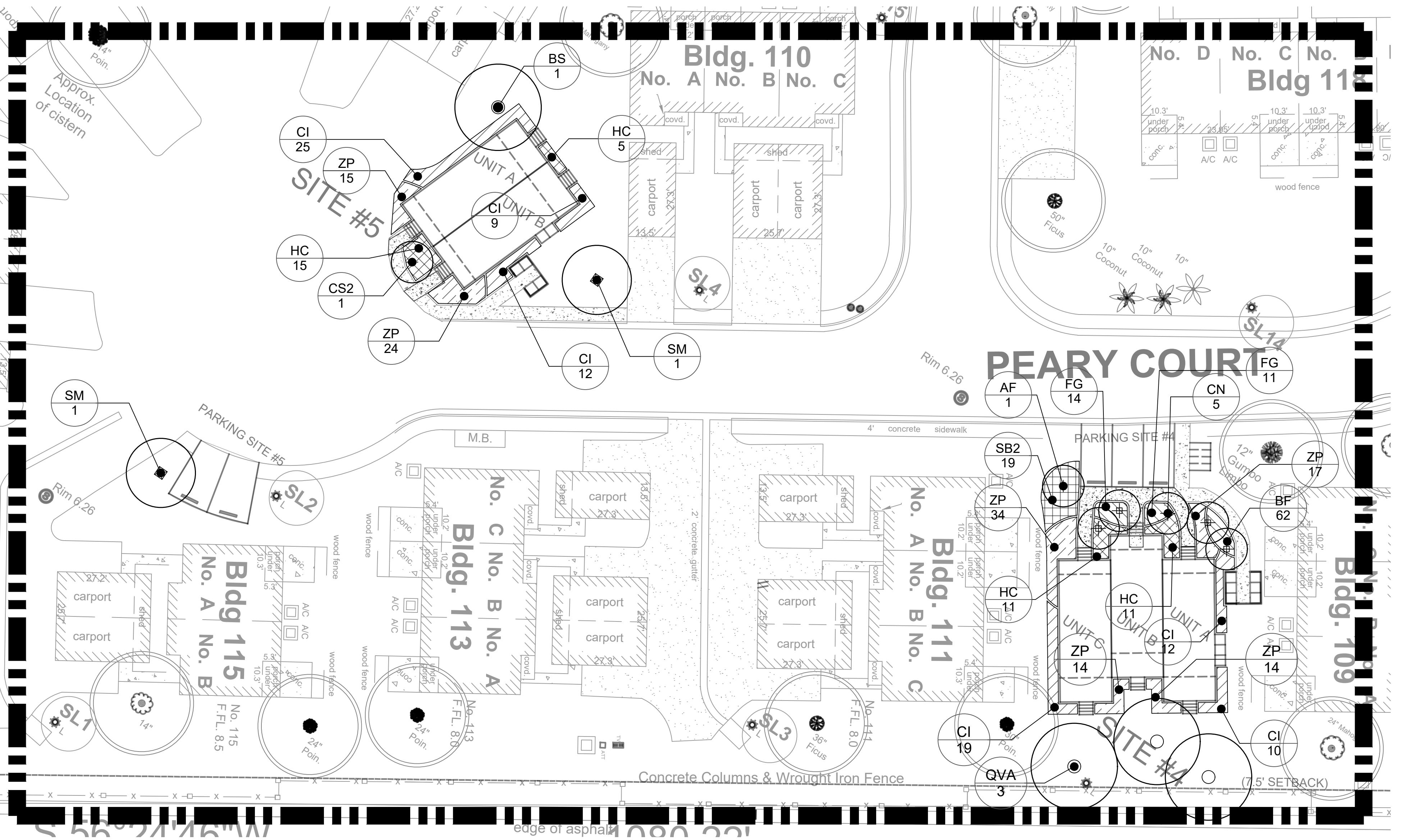


NOT FOR  
CONSTRUCTION



# LANDSCAPE PLAN

1 SCALE: 1"=20'-0"



## LANDSCAPE PLAN

2 SCALE: 1"=20'-0"

**NOT FOR  
CONSTRUCTION**





## LEGEND

-  EXISTING BIKE / PEDESTRIAN ROUTE
  -  BIKE/CAR ROADSHARE
  -  PROPOSED BIKE / PEDESTRIAN ROUTE



---

NATIONAL HIGHWAY TRAFFIC  
SAFETY ADMINISTRATION

**LEGEND**

- EXISTING BIKE / PEDESTRIAN PATH (Pink Dashed Line)
- BIKE/CAR ROADSHARING PATH (Green Dashed Line)
- PROPOSED BIKE / PEDESTRIAN PATH (Blue Dashed Line)

**NHTS**  
NATIONAL HIGHWAY TRAFFIC SAFETY ADMINISTRATION

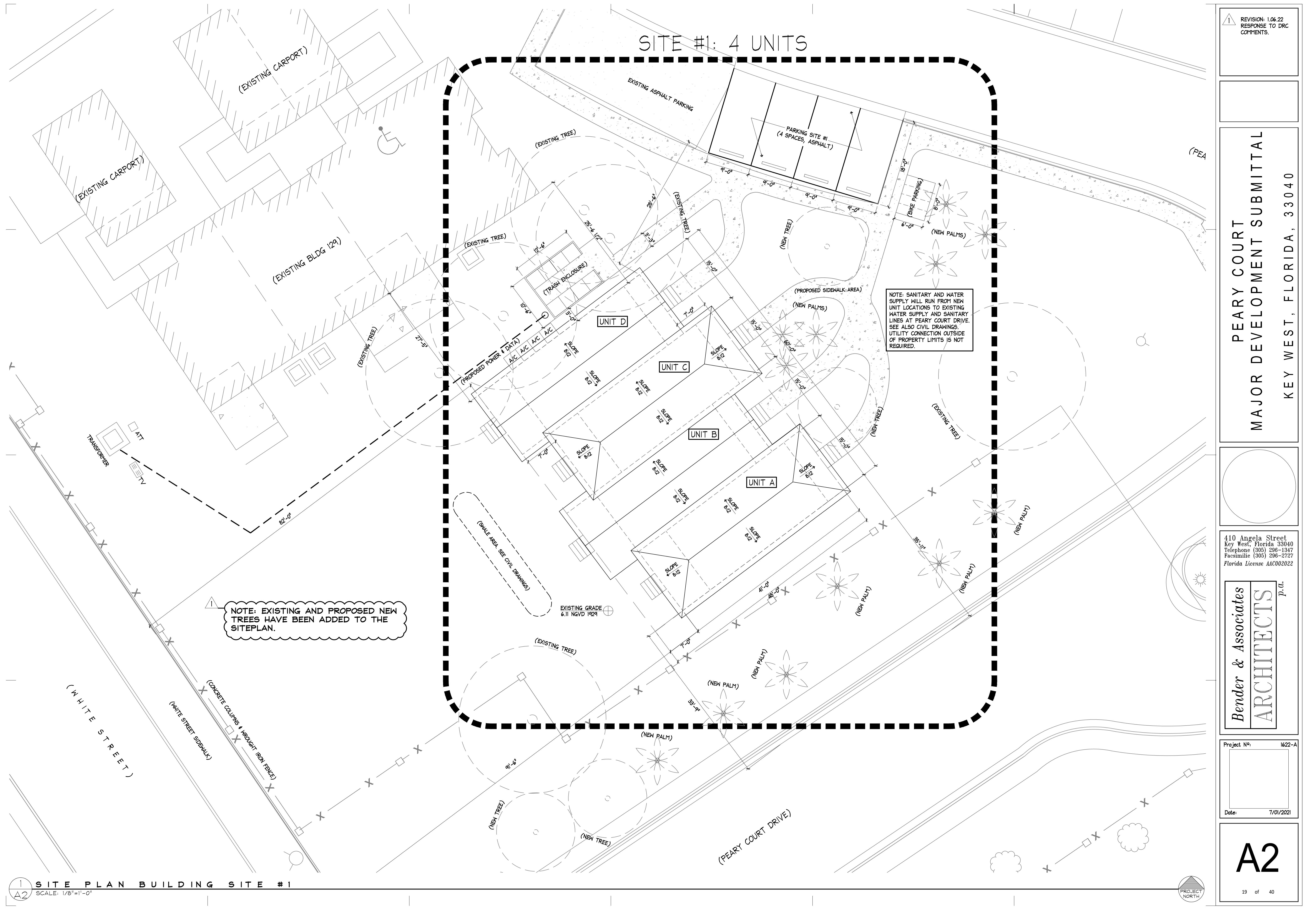
**SHARE THE ROAD**

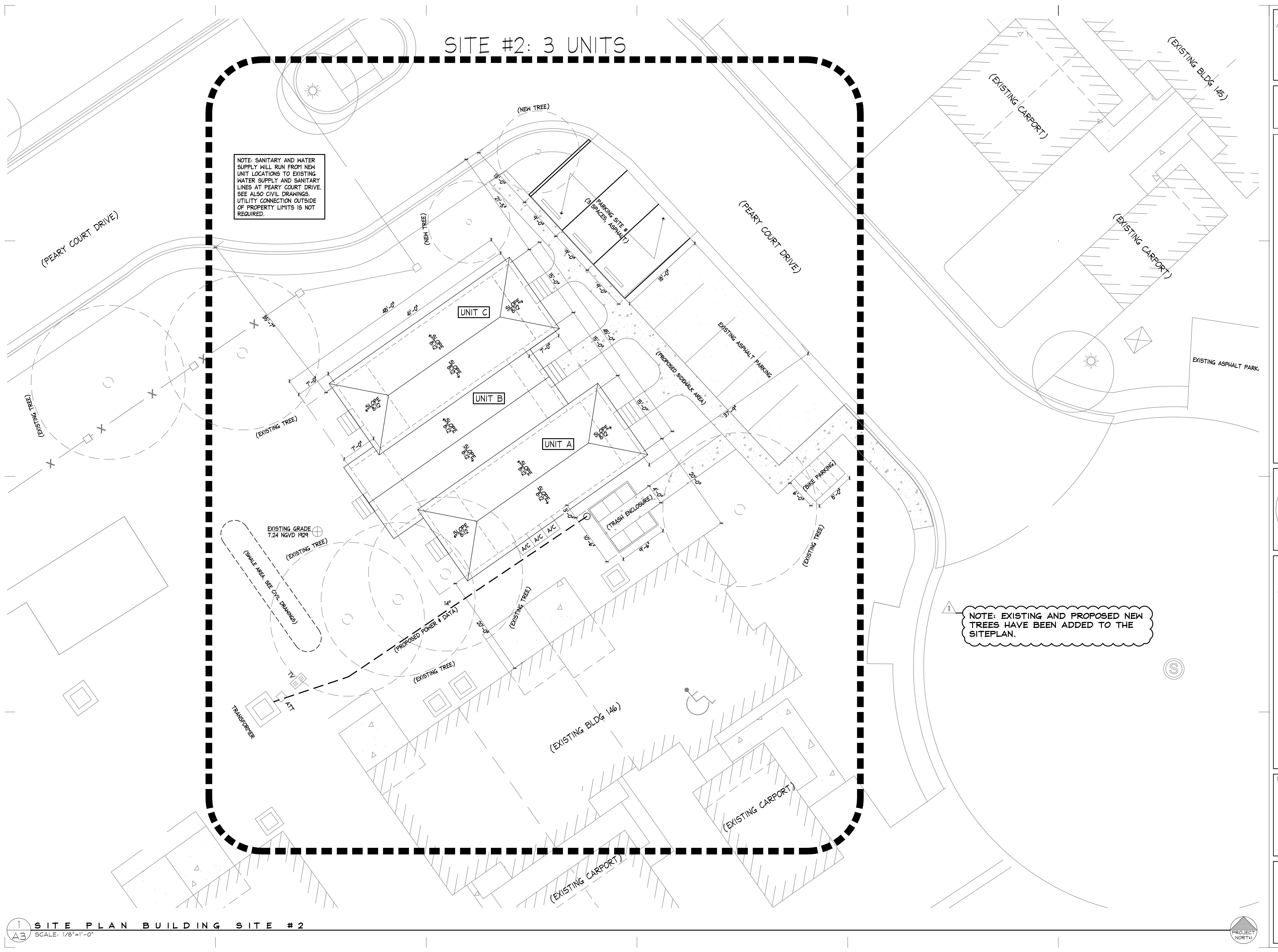
**PEARY COURT SITE PLAN**

**Key Features and Labels:**

- Roads:** PALM AVENUE, WHITE STREET (50' R/W), DRIVE.
- Buildings:** Bldg 143, Bldg 142, Bldg 140, Bldg 135, Bldg 137, Bldg 138, Bldg 136, Bldg 134, Bldg 131, Bldg 130, Bldg 129, Bldg 128, Bldg 127, Bldg 126, Bldg 125, Bldg 123, Bldg 121, Bldg 144, Bldg 145, Bldg 119, Bldg 118, Bldg 117, Bldg 116, Bldg 115, Bldg 113, Bldg 111, Bldg 103, Bldg 102, Bldg 101, Bldg 105, Bldg 104, Bldg 106.
- Common Areas:** Grass Field, PEDESTRIAN PATHWAY, Playground, Basketball Court, Racketball Courts.
- Entrances:** PEARY COURT ENTRANCE, PEARY COURT ENTRANCE (opposite side).
- Other:** Existing Lift Station services, Existing Lift Station services all units, Existing Lift Station services all units, Existing Lift Station services all units.

**NOT FOR  
CONSTRUCTION**





## EVISION: 1.06.22 RESPONSE TO DRC COMMENTS.

# MAJOR DEVELOPMENT SUBMITTAL

KEY WEST, FLORIDA, 33040

ngela Street  
st, Florida 33040  
ne (305) 296-1347  
lie (305) 296-2727  
*License AAC002022*

# ARCHITECTS

Nº: 1622-A

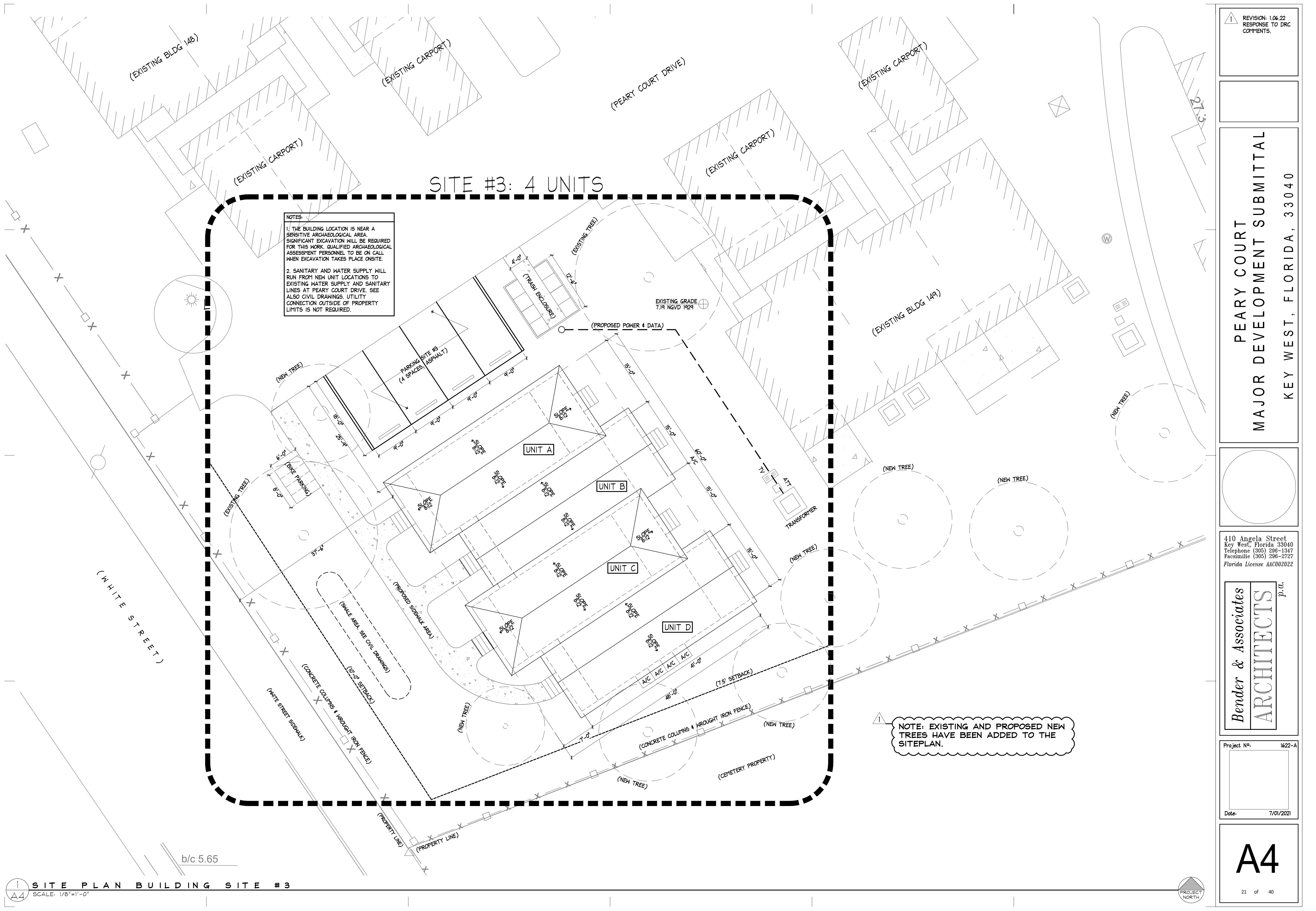
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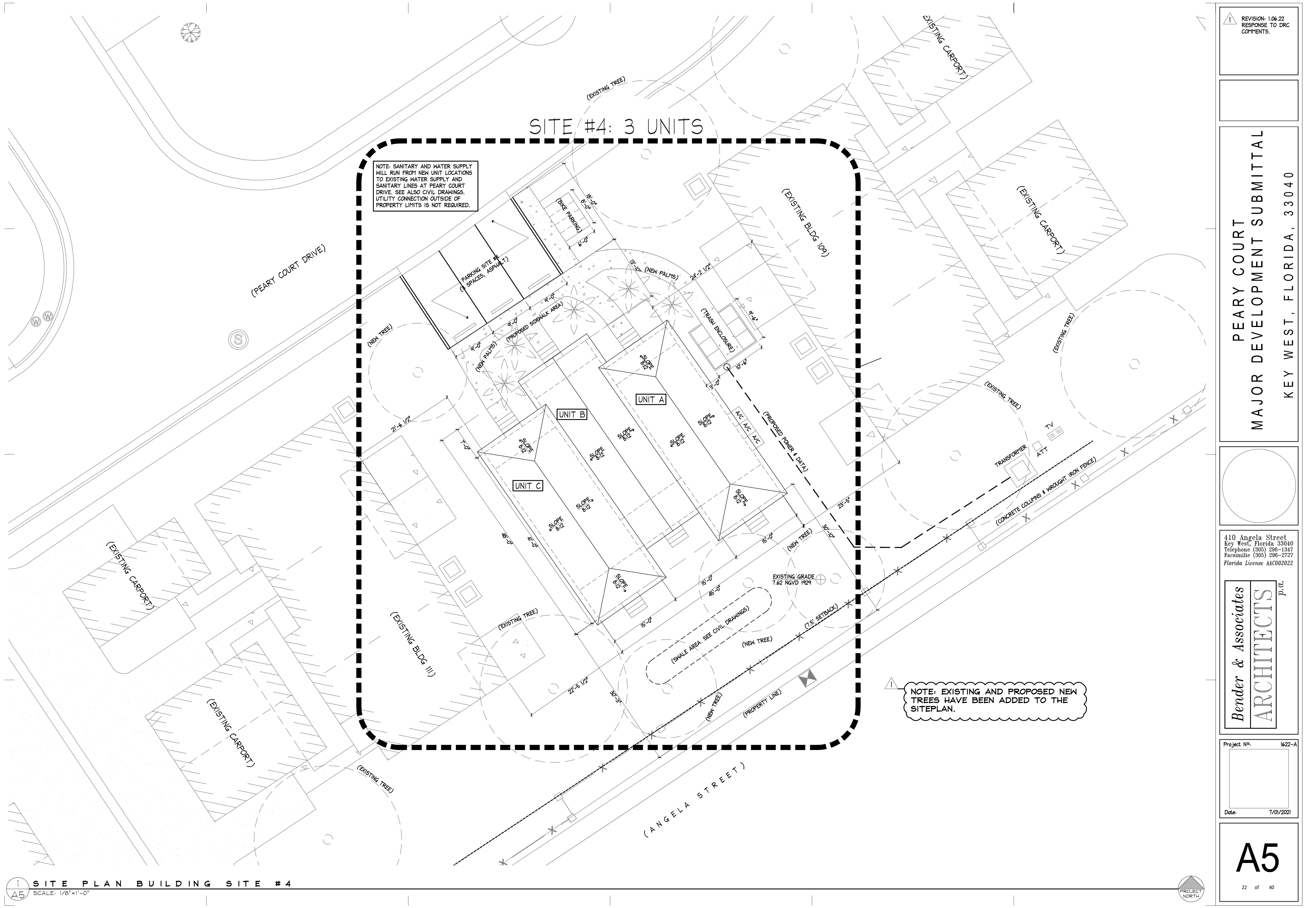
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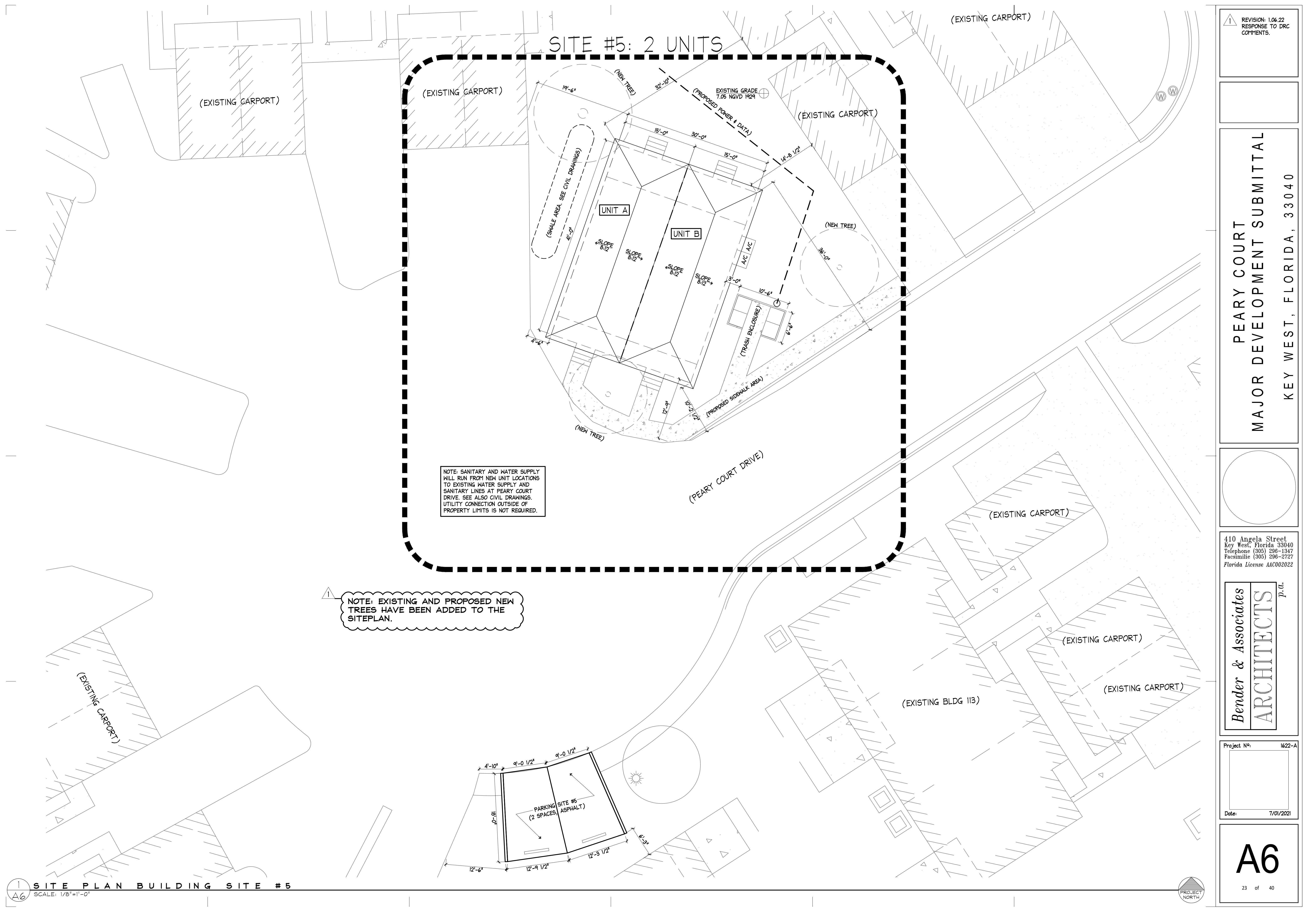
ANSWER

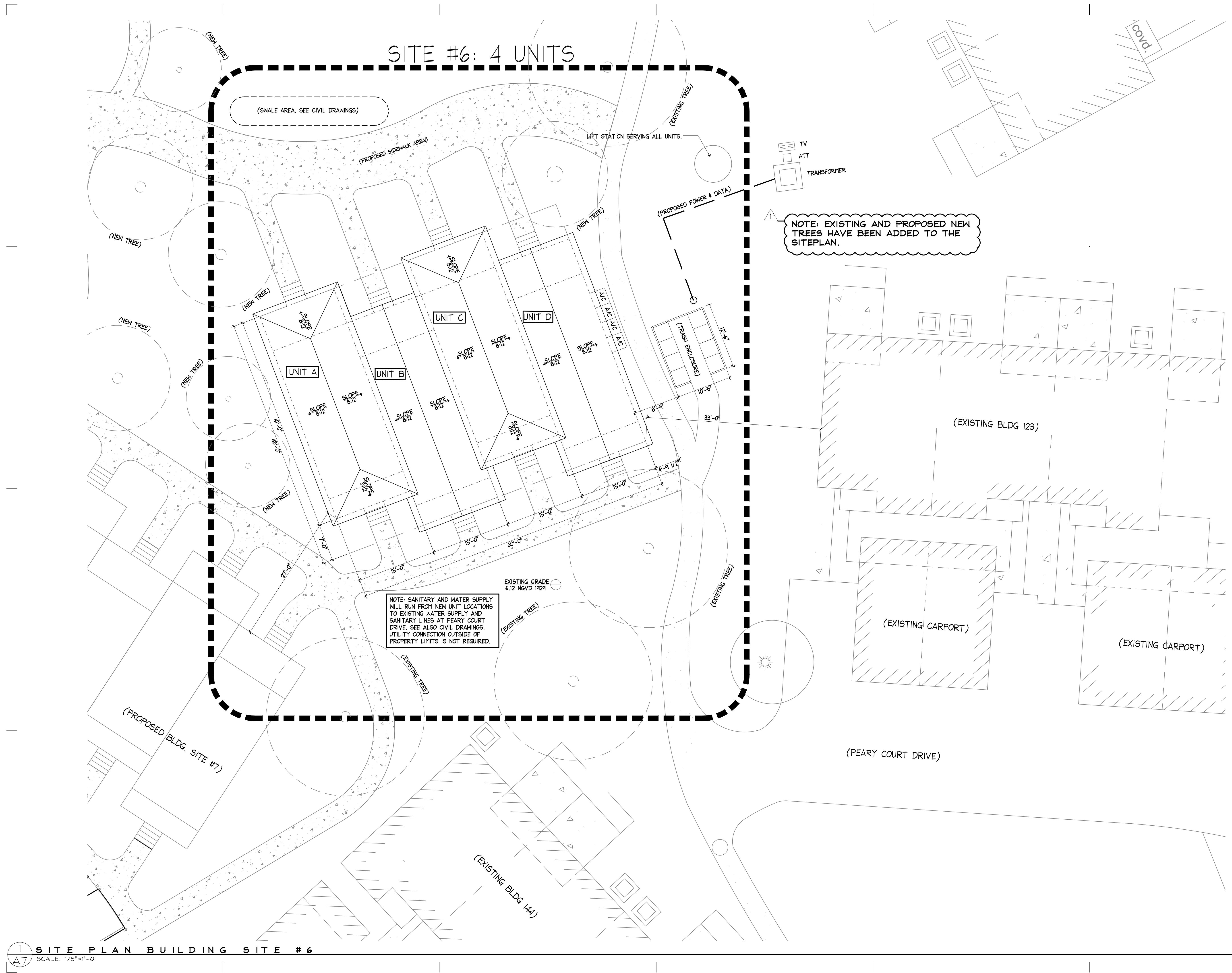
ANSWER

# A3









REVISION: 1.06.22  
RESPONSE TO DRC  
COMMENTS.

**PEARY COURT  
MAJOR DEVELOPMENT SUBMITTAL**

KEY WEST, FLORIDA, 33040

410 Angela Street  
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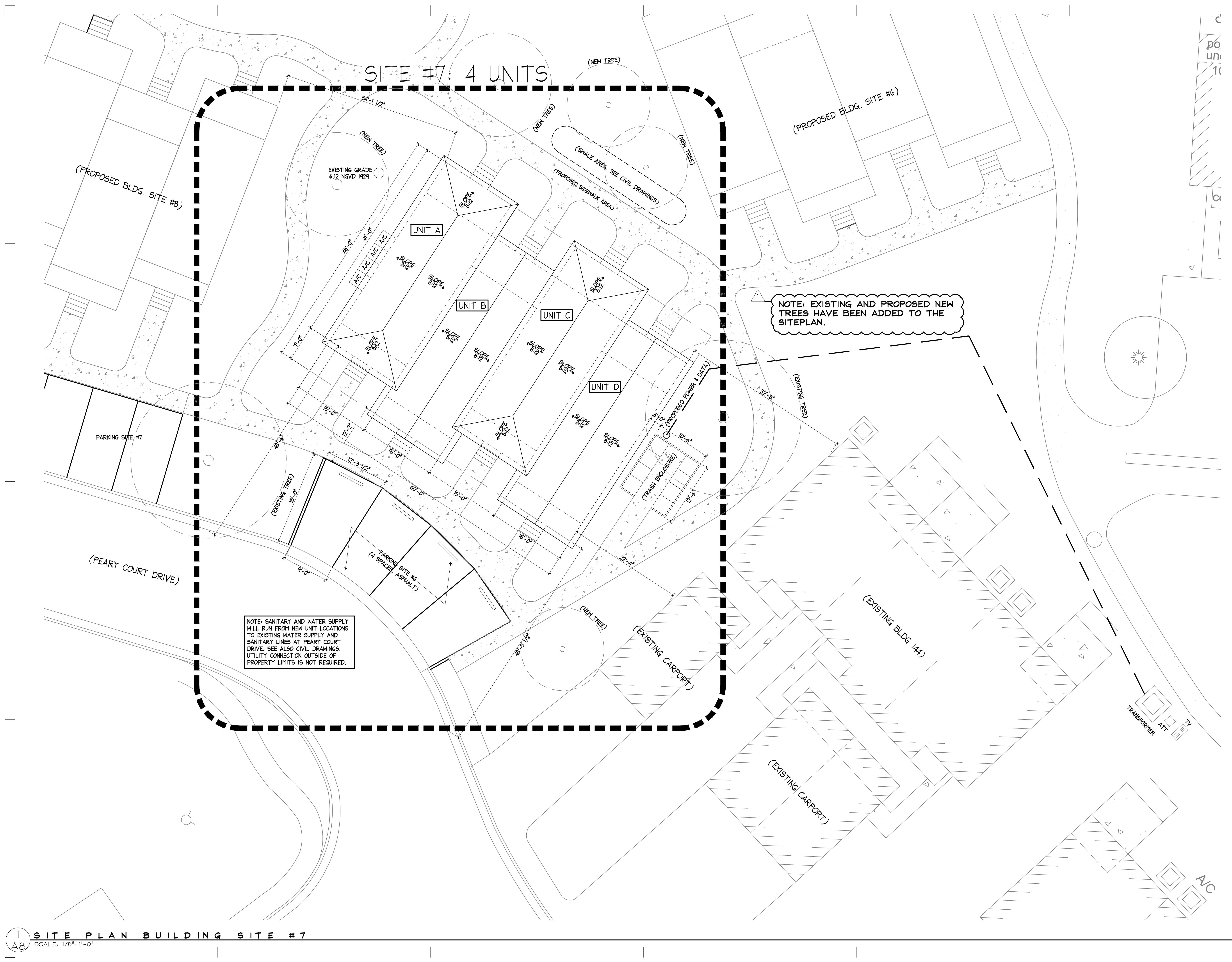
Bender & Associates  
**ARCHITECTS**  
p.a.

Project No: 1622-A  
Date: 7/01/2021

**A7**

24 of 40





REVISION: 1.06.22  
RESPONSE TO DRC  
COMMENTS.

**PEARY COURT  
MAJOR DEVELOPMENT SUBMITTAL**

KEY WEST, FLORIDA, 33040

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**Bender & Associates  
ARCHITECTS**  
p.a.

Project No.: 1622-A  
Date: 7/01/2021

**A8**  
25 of 40

PEARY COURT  
MAJOR DEVELOPMENT SUBMITTAL

KEY WEST, FLORIDA, 33040

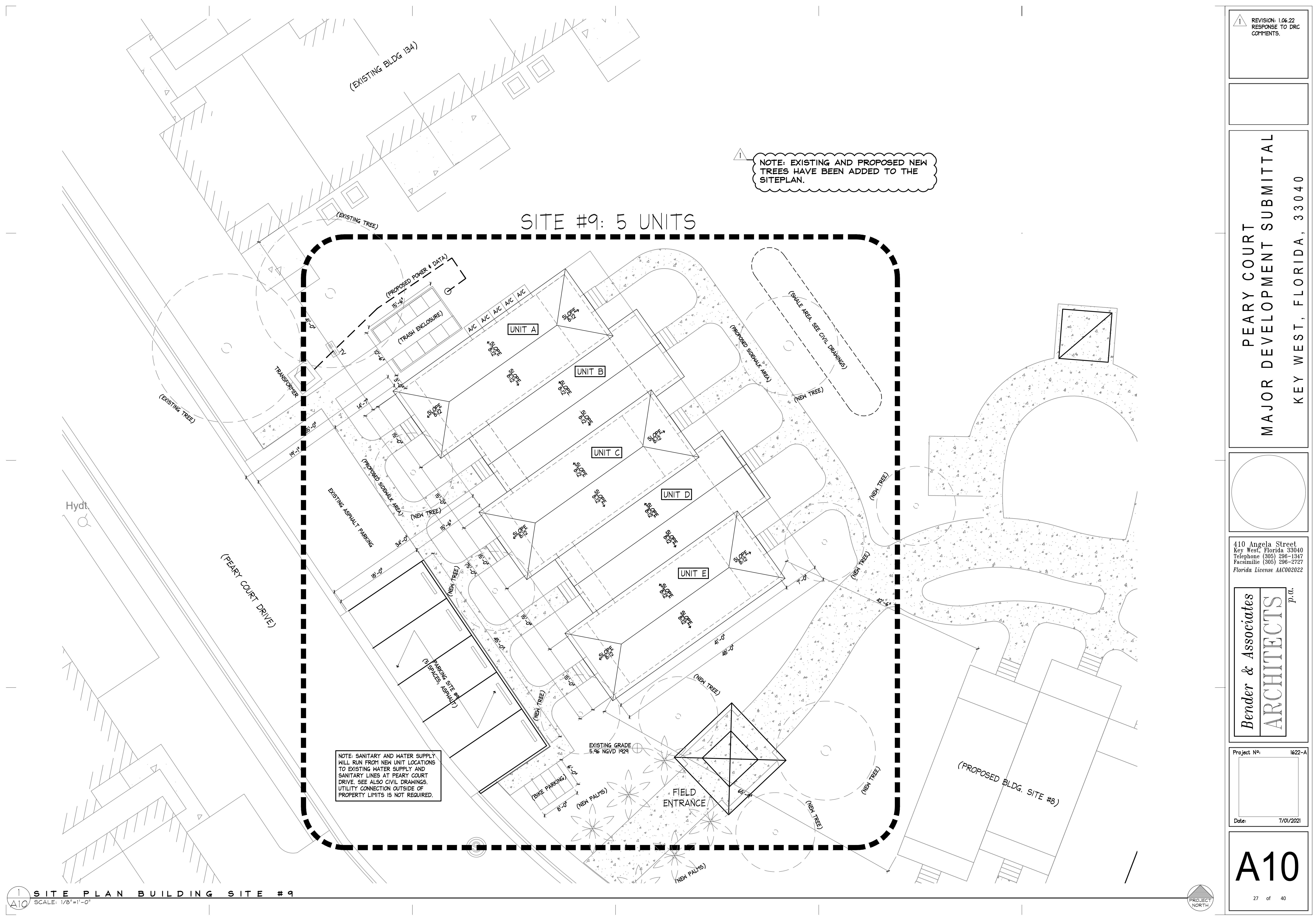
410 Angela Street  
Key West, Florida 33040  
Telephone (305) 296-1347  
Facsimile (305) 296-2727  
Florida License AAC002022

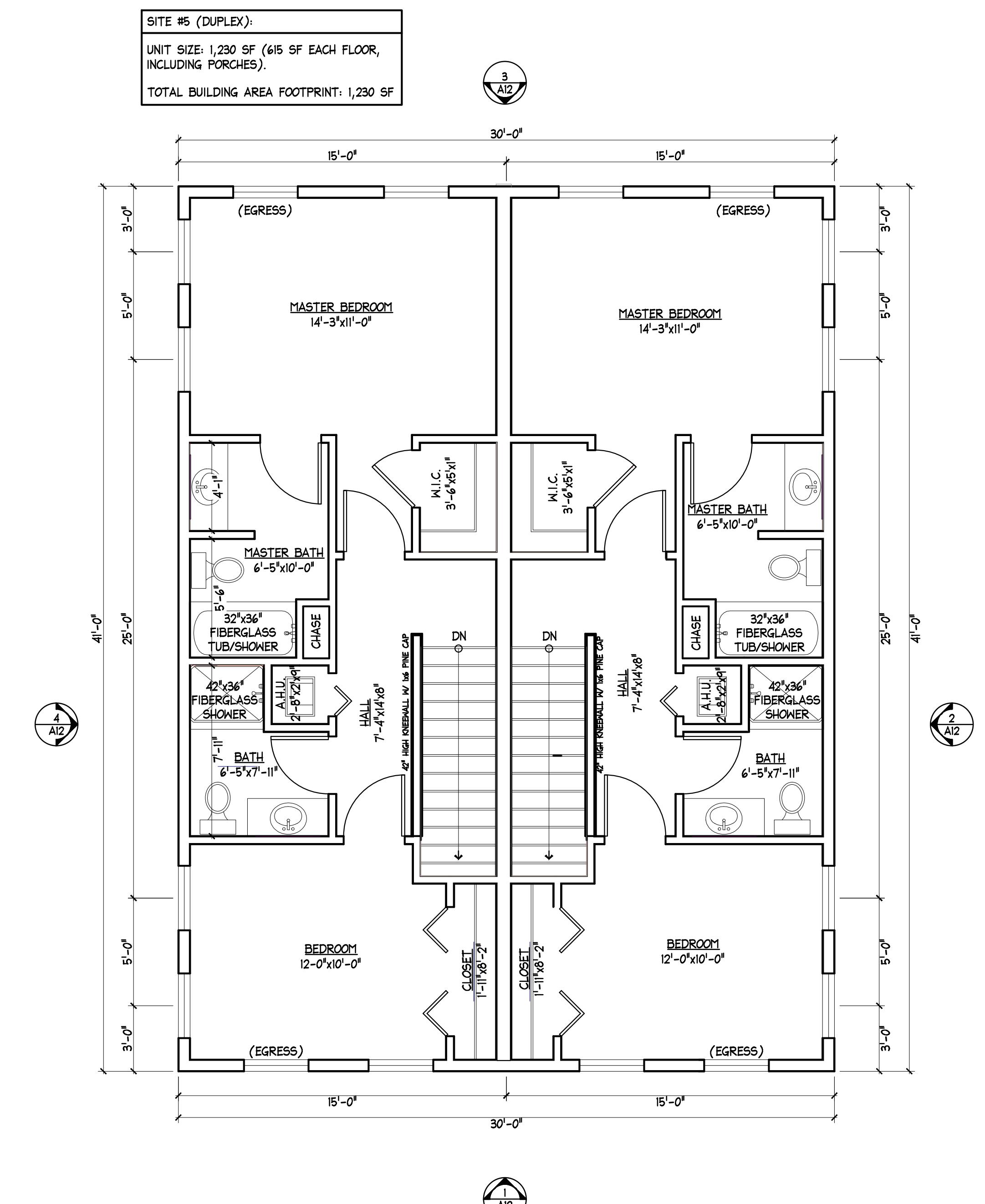
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p.a

Project No.: 1622-A  
  
Date: 7/01/2021

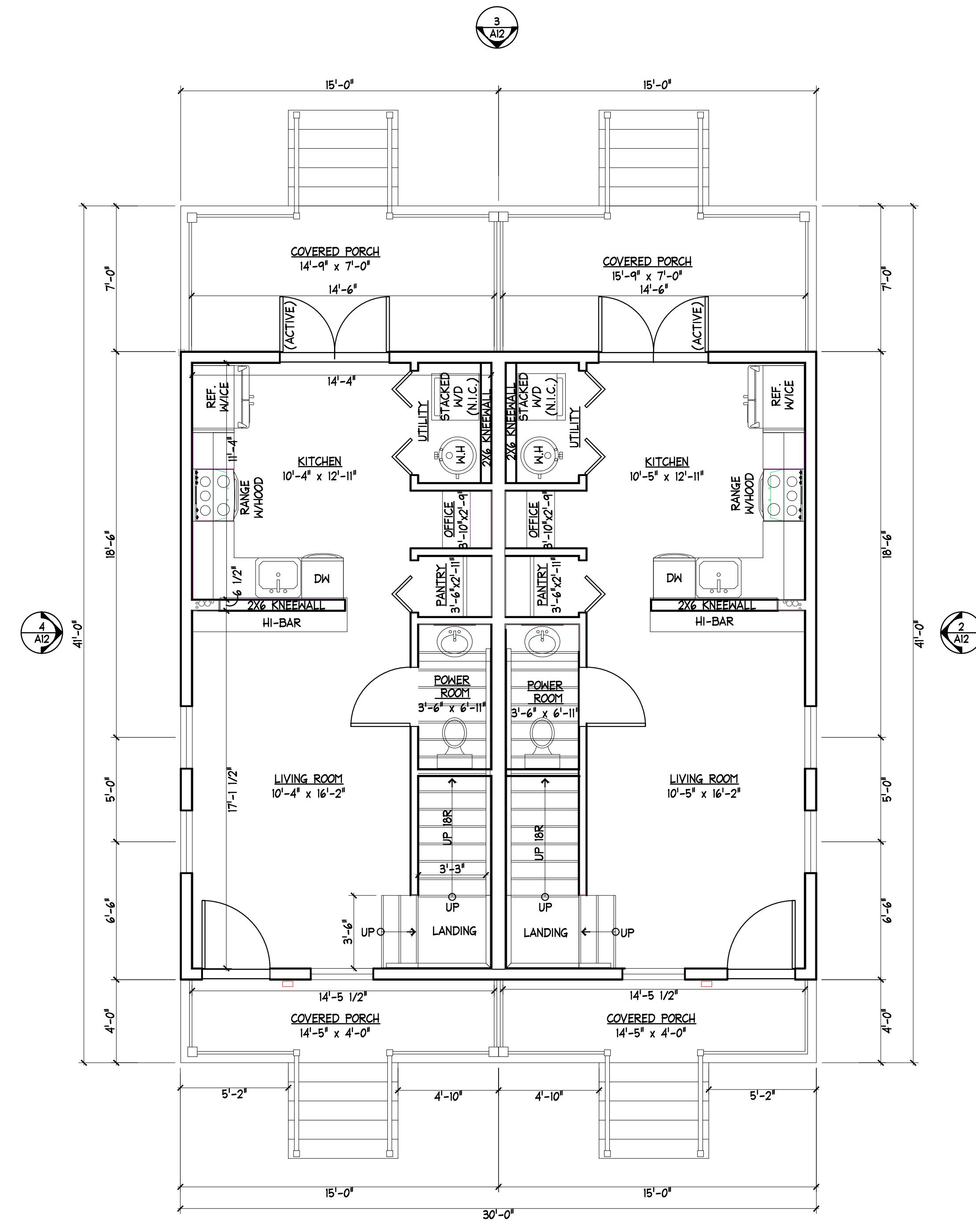
A9







**DUPLEX SECOND FLOOR PLAN (SITE #5)**  
A11 SCALE: 1/4"=1'-0"



**DUPLEX FIRST FLOOR PLAN (SITE #5)**  
A11 SCALE: 1/4"=1'-0"

**PEARLY COURT  
MAJOR DEVELOPMENT SUBMITTAL**  
KEY WEST, FLORIDA, 33040

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Date: 7/01/2021

**A11**

PEARY COURT  
MAJOR DEVELOPMENT SUBMITTAL

KEY WEST, FLORIDA, 33040

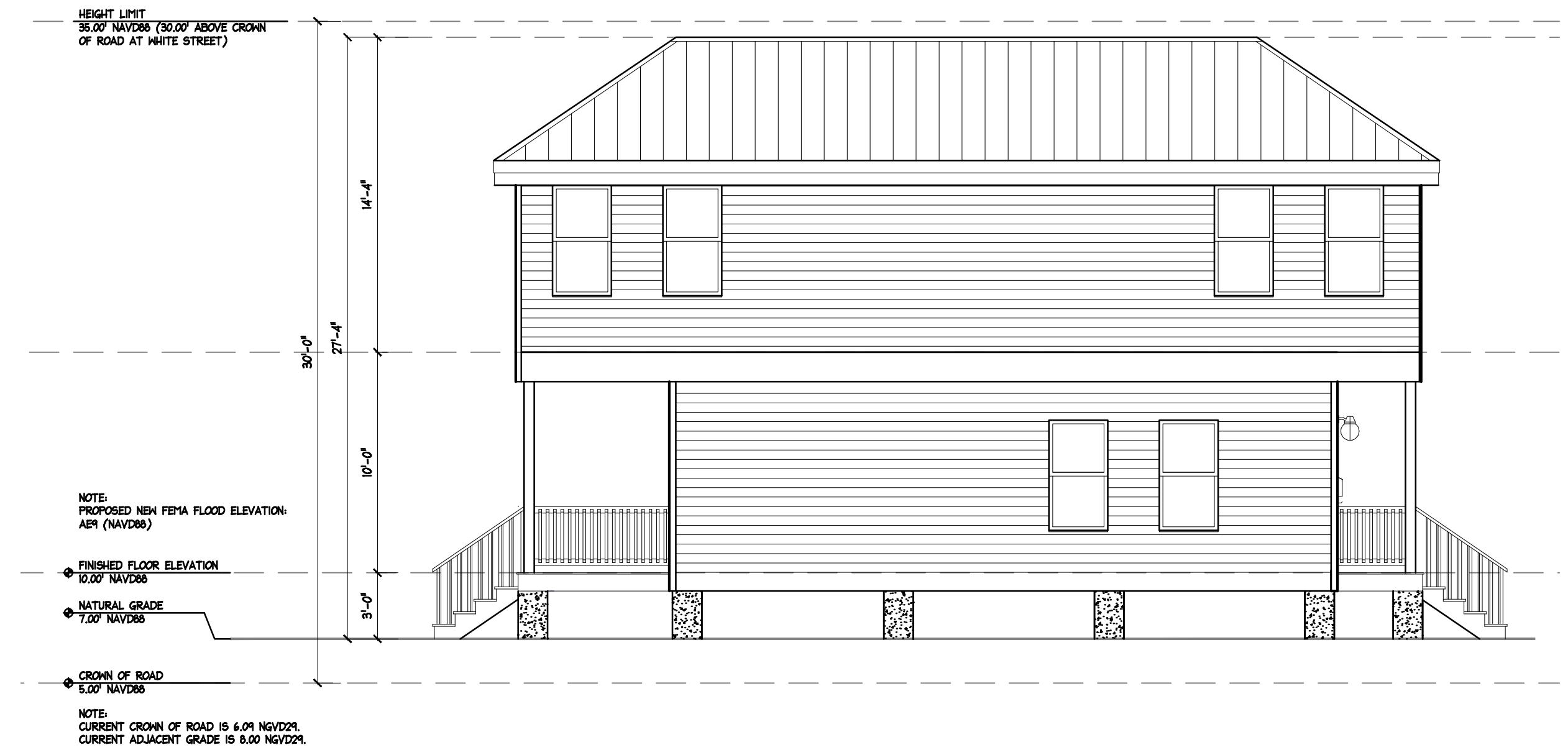
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A12

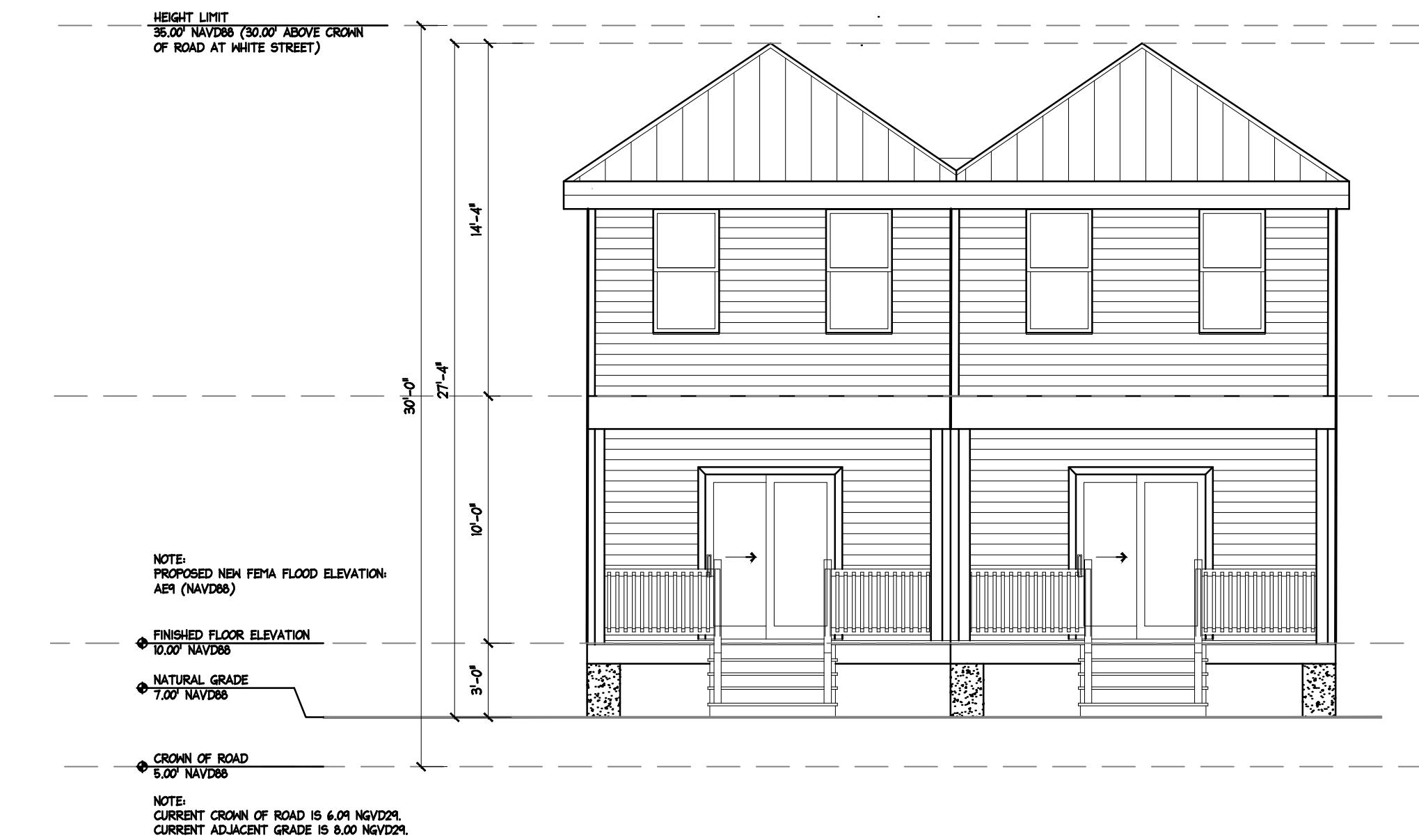
**NOTE:** THESE ELEVATIONS HAVE BEEN REVISED TO INDICATE RELATIVE HEIGHTS ABOVE SEA LEVEL PER THE CURRENT PROPOSED UPDATE OF THE FEMA FLOOD MAPS (AS PROVIDED BY THE CITY OF KEY WEST FLOOD PLAN COORDINATOR ON THE CITY OF KEY WEST WEB SITE). THIS INCLUDES THE ADJUSTMENT FOR DATUM CHANGE TO NAVD88 (-1.0' PER CITY OF KEY WEST FEMA COORDINATOR).



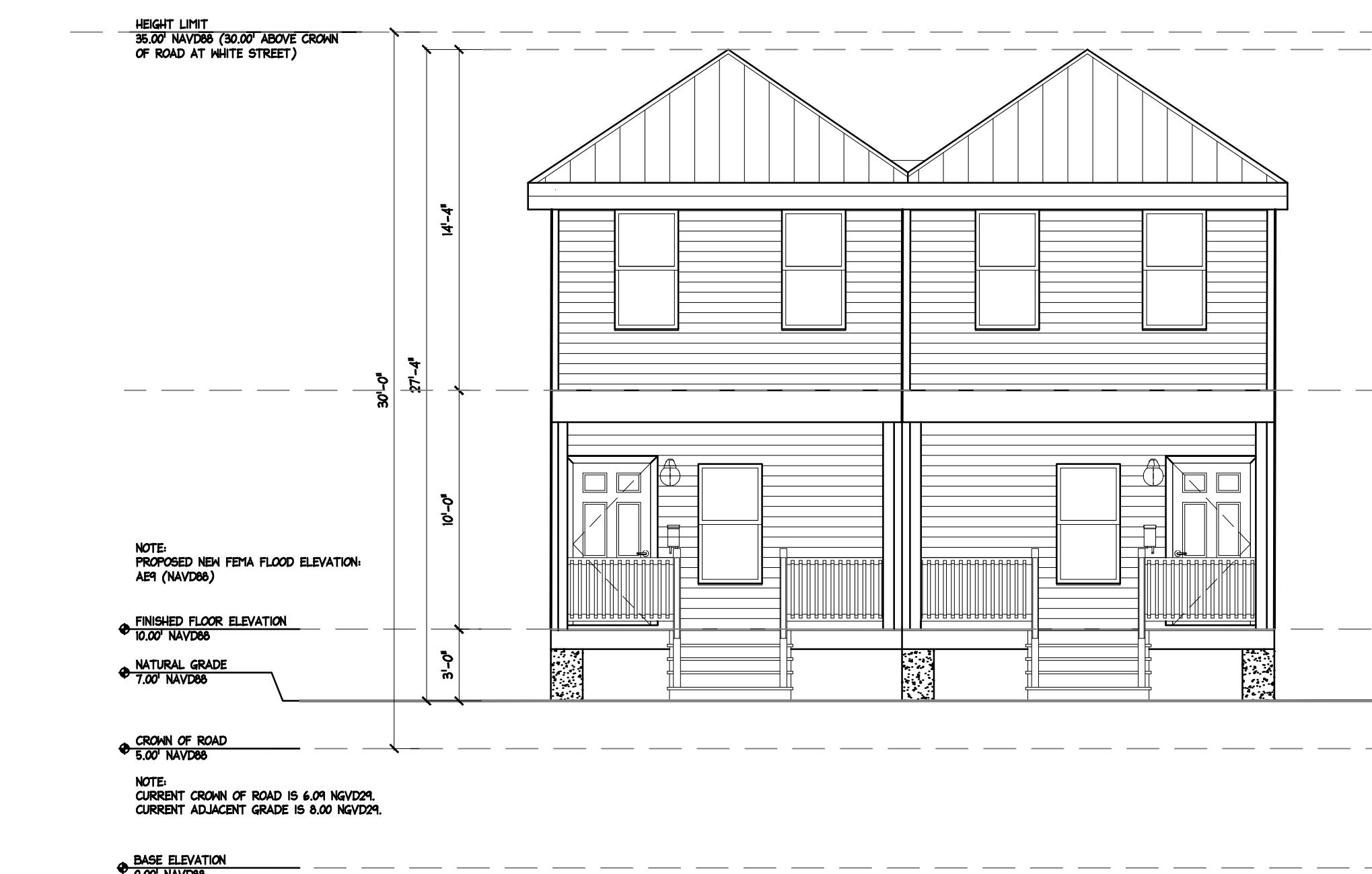
4 DUPLEX SIDE ELEVATION (SITE #5)  
A12 SCALE: 3/16"=1'-0"



2 DUPLEX SIDE ELEVATION (SITE #5)  
A12 SCALE: 3/16"=1'-0"



3 DUPLEX REAR ELEVATION (SITE #5)  
A12 SCALE: 3/16"=1'-0"



1 DUPLEX FRONT ELEVATION (SITE #5)  
A12 SCALE: 3/16"=1'-0"

**PEARY COURT  
MAJOR DEVELOPMENT SUBMITTAL**

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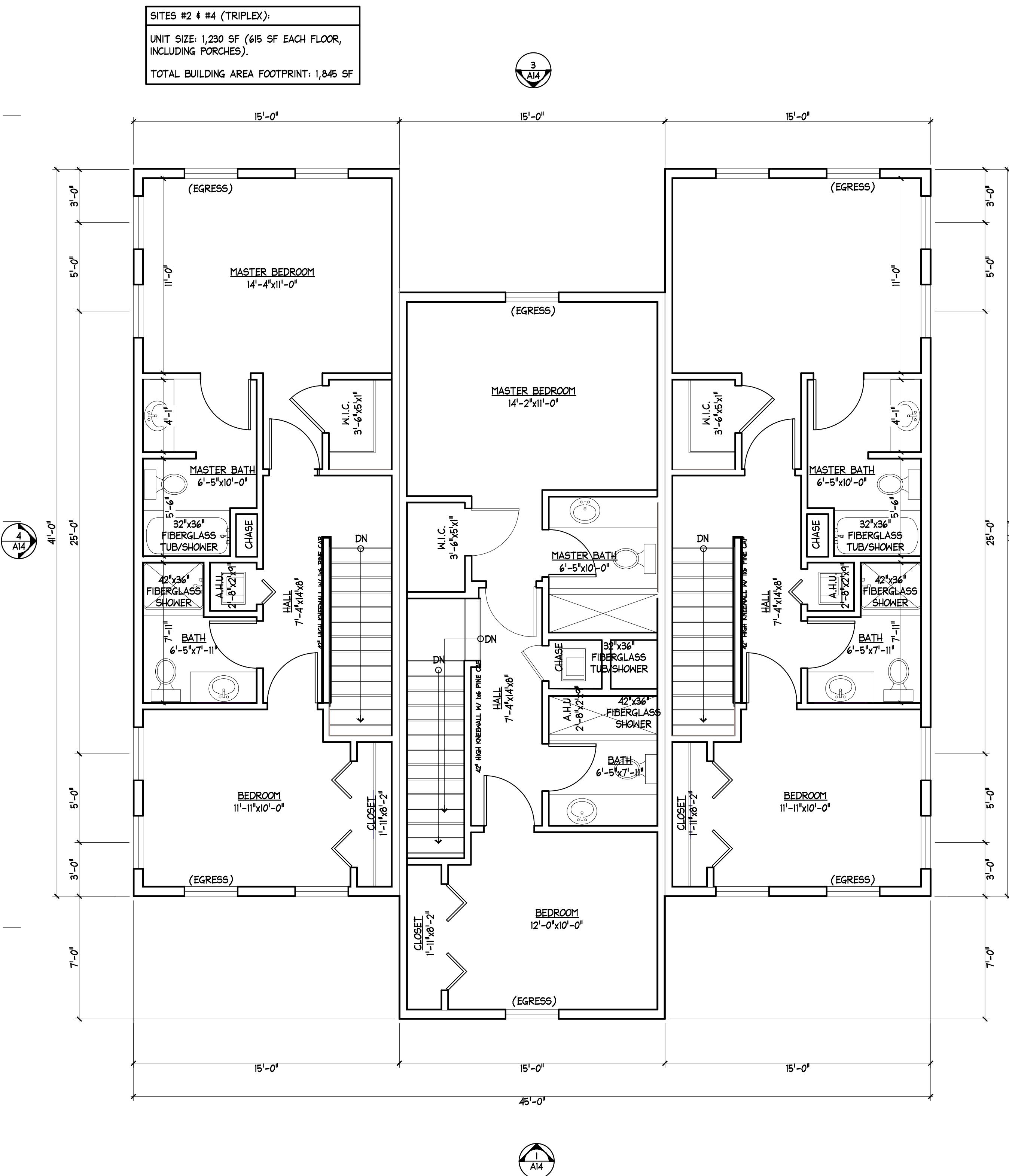
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Project No.: 1622-A

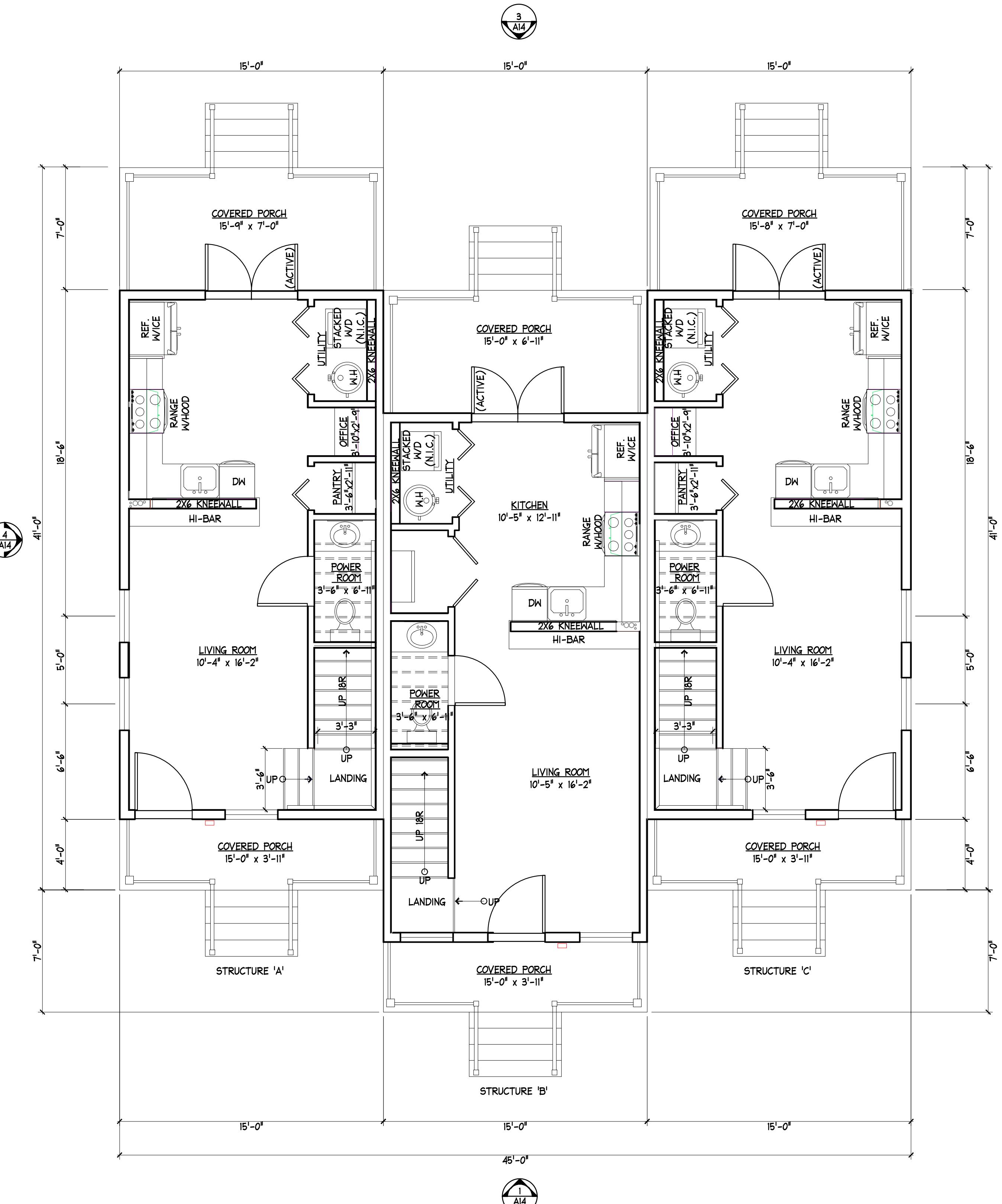
Date: 7/01/2021

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**(2) TRIPLEX SECOND FLOOR PLAN (SITES #2 & #4)**  
 A13 SCALE: 1/4"=1'-0"



**(1) TRIPLEX FIRST FLOOR PLAN (SITES #2 & #4)**  
 A13 SCALE: 1/4"=1'-0"

PEARY COURT  
MAJOR DEVELOPMENT SUBMITTAL  
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Date: 7/01/2021

A14

**NOTE:** THESE ELEVATIONS HAVE BEEN REVISED TO INDICATE RELATIVE HEIGHTS ABOVE SEA LEVEL PER THE CURRENT PROPOSED UPDATE OF THE FEMA FLOOD MAPS (AS PROVIDED BY THE CITY OF KEY WEST FLOOD PLAN COORDINATOR ON THE CITY OF KEY WEST WEB SITE). THIS INCLUDES THE ADJUSTMENT FOR DATUM CHANGE TO NAVD88 (-1.0' PER CITY OF KEY WEST FEMA COORDINATOR). FOR REFERENCE THESE ELEVATIONS SPECIFICALLY INDICATE THE PROPOSED CONDITION FOR SITE #4 AS REQUESTED BY CITY STAFF DURING THE DRC PROCESS.



4 TRIPLEX SIDE ELEVATION (SITES #2 & #4)

A14 SCALE: 3/16"=1'-0"



3 TRIPLEX REAR ELEVATION (SITES #2 & #4)

A14 SCALE: 3/16"=1'-0"



2 TRIPLEX SIDE ELEVATION (SITES #2 & #4)

A14 SCALE: 3/16"=1'-0"



1 TRIPLEX FRONT ELEVATION (SITES #2 & #4)

A14 SCALE: 3/16"=1'-0"

**PEARY COURT  
MAJOR DEVELOPMENT SUBMITTAL**

KEY WEST, FLORIDA, 33040

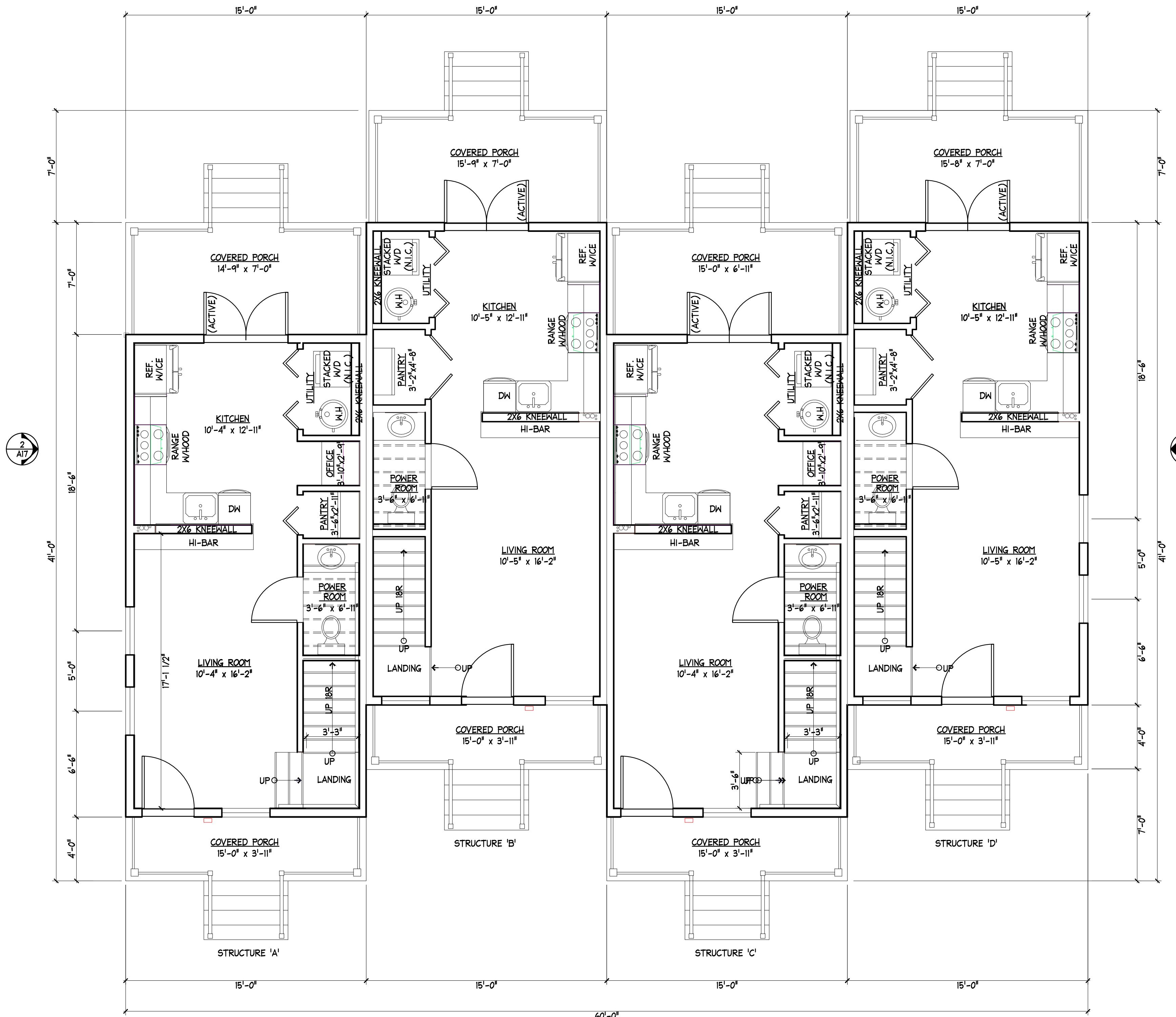
410 Angela Street  
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Project No.: 1622-A  
  
Date: 7/01/2021

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SITES #1, #3, #6, #7, #8 (QUADRUPLEX)  
UNIT SIZE: 1,230 SF (615 SF EACH FLOOR,  
INCLUDING PORCHES).  
TOTAL BUILDING AREA FOOTPRINT: 2,460 SF



1 QUADRUPLEX FIRST FLOOR PLAN (SITES #1, #3, #6, #7, #8)  
A15 SCALE: 1/4"=1'-0"

**PEARY COURT  
MAJOR DEVELOPMENT SUBMITTAL**

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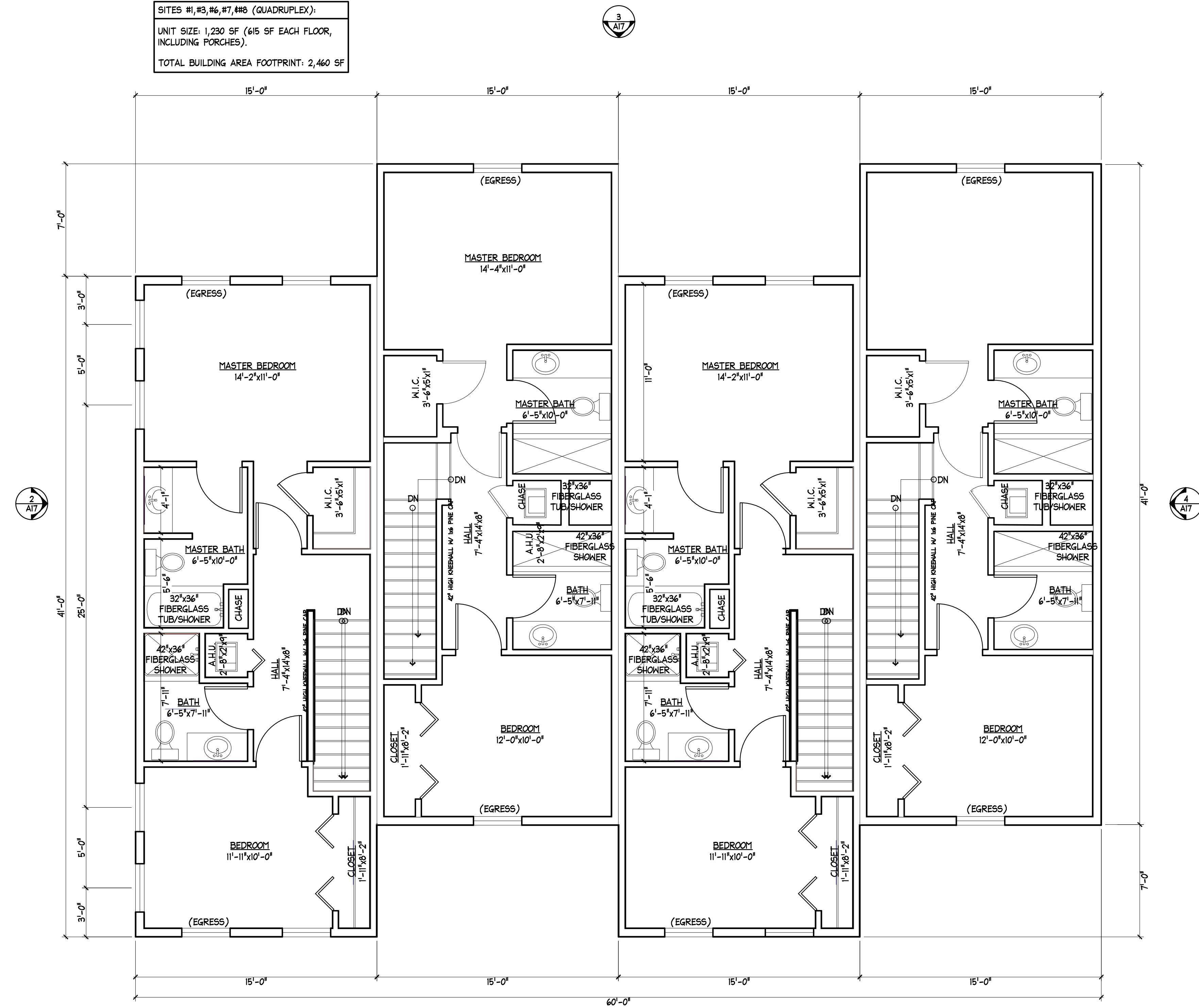
Project No.: 1622-A

Date: 7/01/2021

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SITES #1, #3, #6, #7, #8 (QUADRUPLEX):  
UNIT SIZE: 1,230 SF (615 SF EACH FLOOR,  
INCLUDING PORCHES).  
TOTAL BUILDING AREA FOOTPRINT: 2,460 SF



1 QUADRUPLEX SECOND FLOOR PLAN (SITES #1, #3, #6, #7, #8)  
A16 SCALE: 1/4" = 1'-0"

PEARY COURT  
MAJOR DEVELOPMENT SUBMITTAL

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Project No.: 1622-A  
  
Date: 7/01/2021

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**NOTE:** THESE ELEVATIONS HAVE BEEN REVISED TO INDICATE RELATIVE HEIGHTS ABOVE SEA LEVEL PER THE CURRENT PROPOSED UPDATE OF THE FEMA FLOOD MAPS (AS PROVIDED BY THE CITY OF KEY WEST FLOOD PLAN COORDINATOR ON THE CITY OF KEY WEST WEB SITE). THIS INCLUDES THE ADJUSTMENT FOR DATUM CHANGE TO NAVD88 (-1.0' PER CITY OF KEY WEST FEMA COORDINATOR).



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MAJOR DEVELOPMENT SUBMITTAL

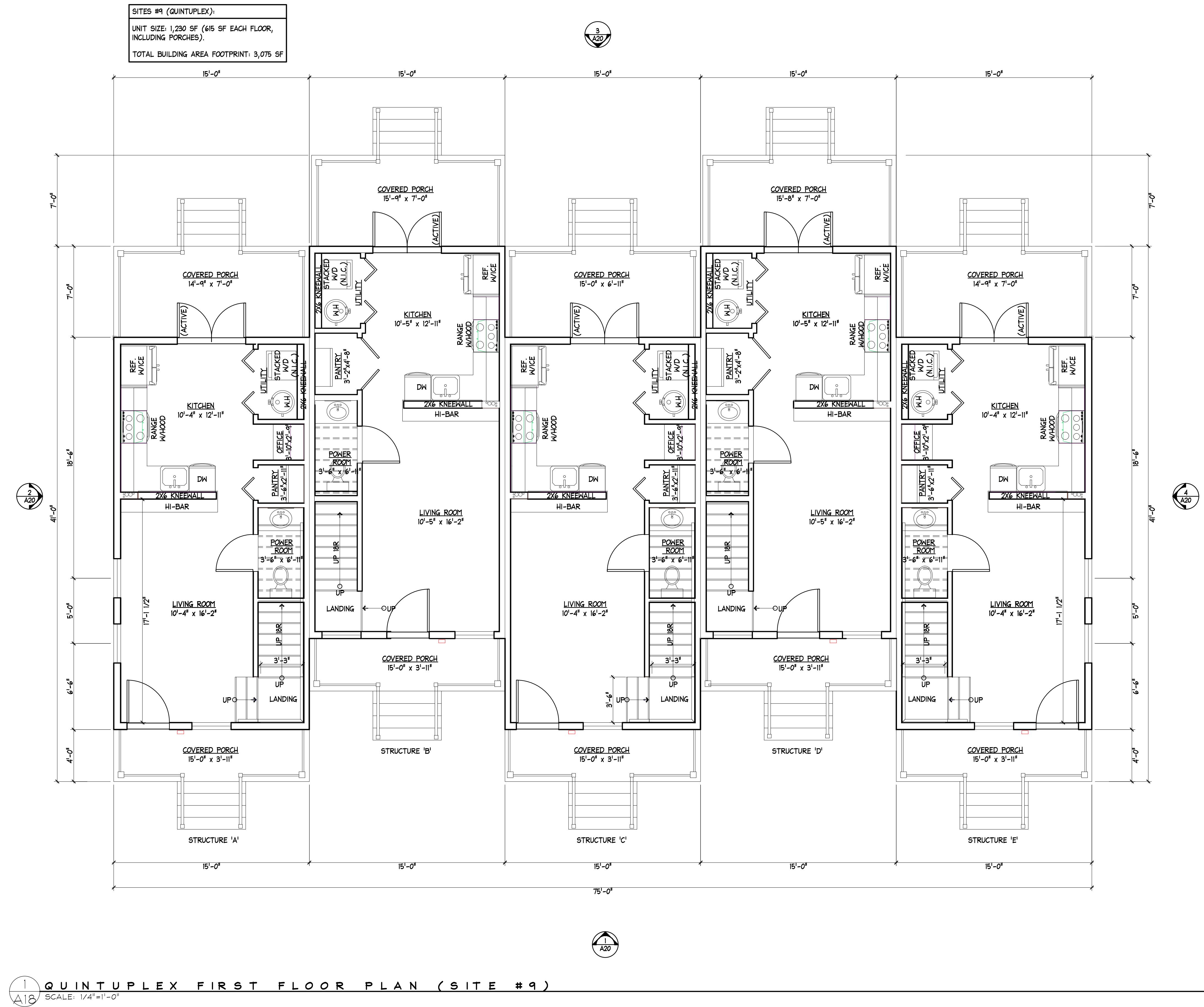
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Project No.: 1622-A  
Date: 7/01/2021

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KEY WEST, FLORIDA, 33040

PEARY COURT  
MAJOR DEVELOPMENT SUBMITTAL

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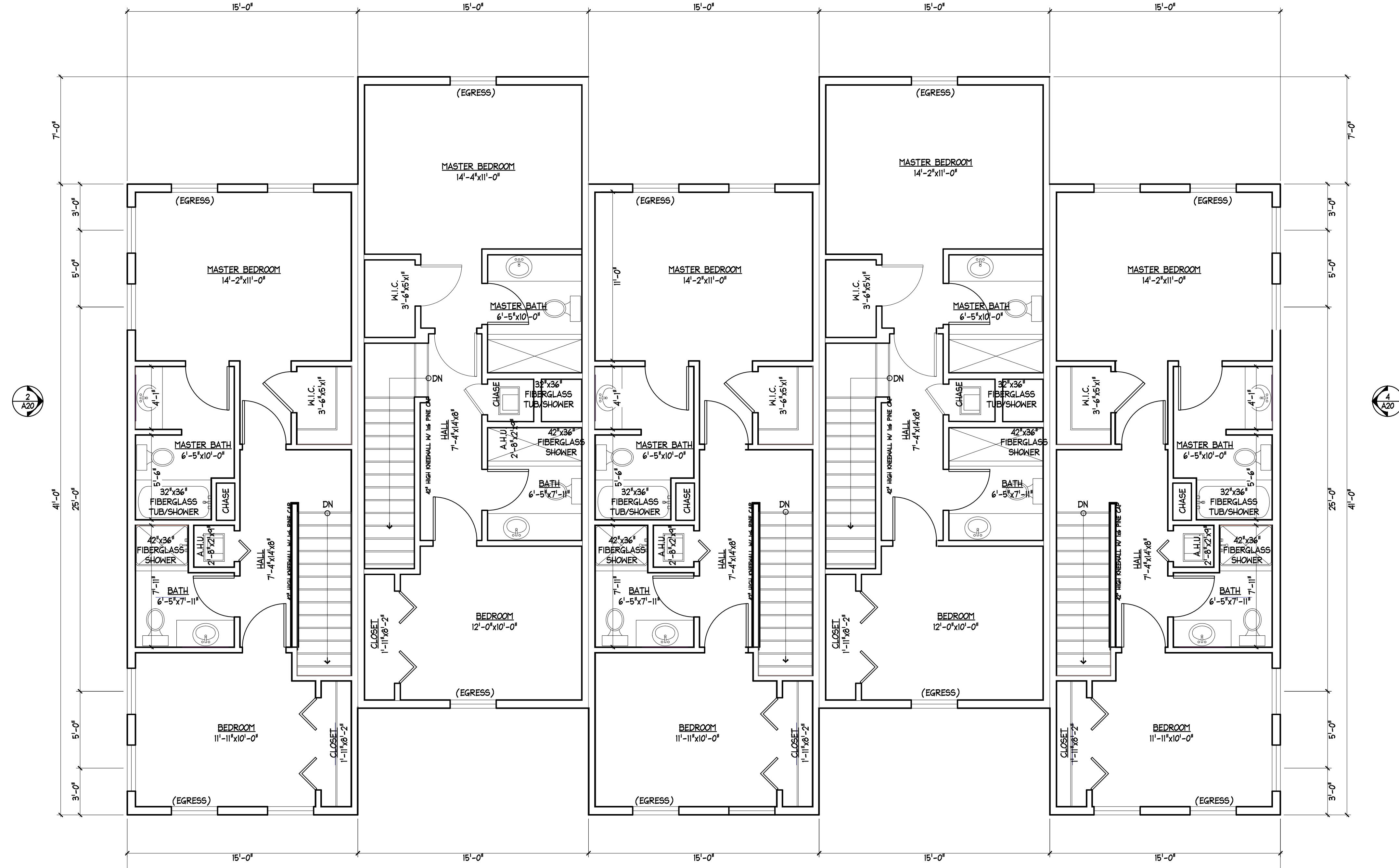
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Date: 7/01/2021

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SITES #9 (QUINTUPLEX):  
UNIT SIZE: 1,230 SF (615 SF EACH FLOOR,  
INCLUDING PORCHES).  
TOTAL BUILDING AREA FOOTPRINT: 3,075 SF



PEARY COURT  
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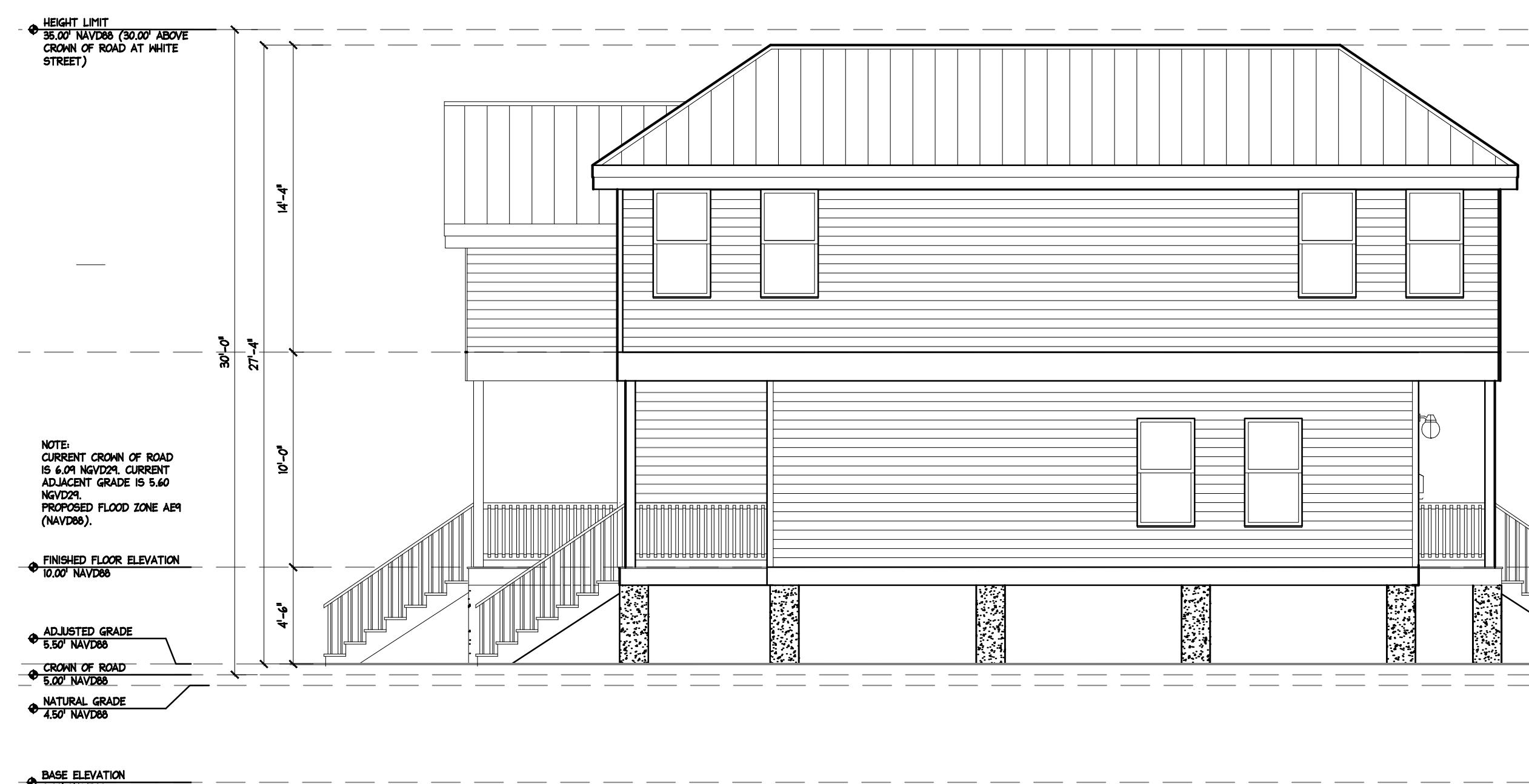
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4 QUINTUPLEX SIDE ELEVATION (SITE #9)  
A20  
SCALE: 3/16"=1'-0"



3 QUINTUPLEX REAR ELEVATION (SITE #9)  
A20  
SCALE: 3/16"=1'-0"

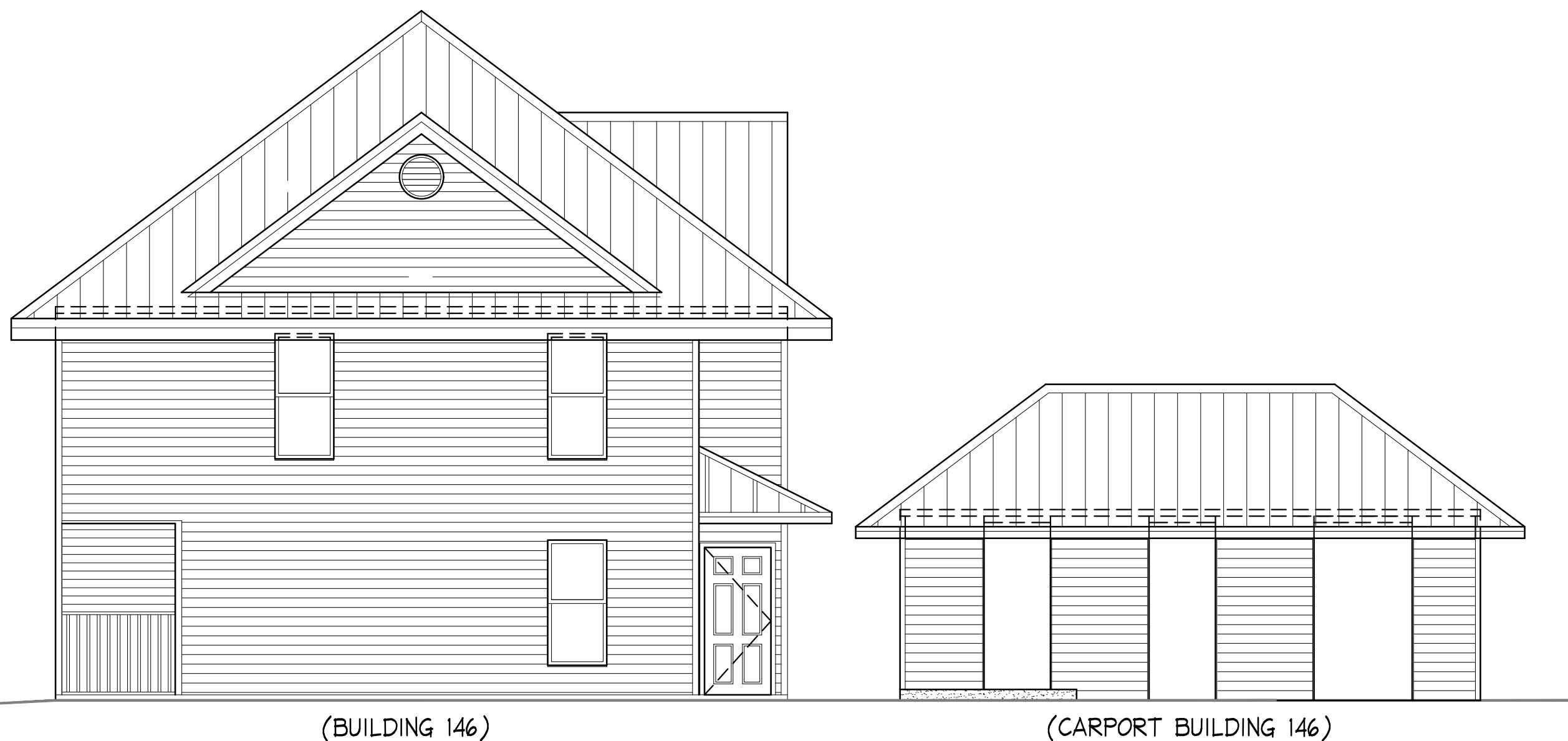


2 QUINTUPLEX SIDE ELEVATION (SITE #9)  
A20  
SCALE: 3/16"=1'-0"



1 QUINTUPLEX FRONT ELEVATION (SITE #9)  
A20  
SCALE: 3/16"=1'-0"

**1**  
NOTE: THESE ELEVATIONS HAVE BEEN REVISED TO INDICATE RELATIVE HEIGHTS ABOVE SEA LEVEL PER THE CURRENT PROPOSED UPDATE OF THE FEMA FLOOD MAPS (AS PROVIDED BY THE CITY OF KEY WEST FLOOD PLAN COORDINATOR ON THE CITY OF KEY WEST WEB SITE). THIS INCLUDES THE ADJUSTMENT FOR DATUM CHANGE TO NAVD88 (-1.0' PER CITY OF KEY WEST FEMA COORDINATOR).



**2** SOUTHWEST ELEVATION SITE #2 (VIEW FROM WHITE STREET)  
A21



**1** SOUTHWEST ELEVATION SITE #1 (VIEW FROM WHITE STREET)  
A21

1 NOTE: THESE ELEVATIONS HAVE BEEN REVISED TO INDICATE RELATIVE HEIGHTS ABOVE SEA LEVEL PER THE CURRENT PROPOSED UPDATE OF THE FEMA FLOOD MAPS (AS PROVIDED BY THE CITY OF KEY WEST FLOOD PLAN COORDINATOR ON THE CITY OF KEY WEST WEB SITE). THIS INCLUDES THE ADJUSTMENT FOR DATUM CHANGE TO NAVD88 (-1.0' PER CITY OF KEY WEST FEMA COORDINATOR).



(BUILDING 148)



2 SOUTHWEST ELEVATION SITE #3 (VIEW FROM WHITE STREET)  
A22 SCALE: 1/8"=1'-0"



(BUILDING 111)



(BUILDING 109)

1 SOUTHEAST ELEVATION SITE #4 (VIEW FROM ANGELA STREET)  
A22 SCALE: 3/16"=1'-0"

## PEARY COURT PROPOSED NEW UNITS

KEY WEST, FLORIDA, 33040

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PEARY COURT MAJOR DEVELOPMENT PLAN LIFE SAFETY CODE CALCULATIONS: FLORIDA BUILDING CODE 2020, BUILDING																
<b>Chapter 3</b>																
Section 310		<u>Occupancy Classification:</u> Residential Group R2														
<b>Chapter 5</b>																
Tables 504.3/504.4/506.2		<u>Proposed Building:</u> Bldg. Height: 30'-0" Stories: 2 Story Bldg. Area: 3,925 s.f. (worst case 5 Unit)  <u>Allowable Building Heights &amp; Areas:</u> Buildings will be equipped with an NFPA 13R automatic fire sprinklers system per FBC Section 903.3.1.2  <table border="1"> <tr> <th>Group</th><th># Stories Allowed:</th><th>Bldg. Area:</th><th>Bldg. Height:</th></tr> <tr> <td>R-2</td><td>3 (Type VB)</td><td>14,000 s.f. (Type VB)</td><td>60' (Type VB)</td></tr> </table>	Group	# Stories Allowed:	Bldg. Area:	Bldg. Height:	R-2	3 (Type VB)	14,000 s.f. (Type VB)	60' (Type VB)						
Group	# Stories Allowed:	Bldg. Area:	Bldg. Height:													
R-2	3 (Type VB)	14,000 s.f. (Type VB)	60' (Type VB)													
<b>Chapter 6</b>																
Table 601		<u>Allowable Construction Type:</u> Type V-B construction, sprinklered NFPA 13R.  <table border="1"> <thead> <tr> <th>Building Element</th><th>Required Rating</th></tr> </thead> <tbody> <tr> <td>Primary structural frame:</td><td>0 hours.</td></tr> <tr> <td>Exterior / Interior Bearing walls:</td><td>0 hours.</td></tr> <tr> <td>Exterior Non-bearing walls:</td><td>0 hours.</td></tr> <tr> <td>Interior Non-bearing walls:</td><td>0 hours.</td></tr> <tr> <td>Floor construction / Secondary members:</td><td>0 hours.</td></tr> <tr> <td>Roof construction / secondary members:</td><td>0 hours.</td></tr> </tbody> </table>	Building Element	Required Rating	Primary structural frame:	0 hours.	Exterior / Interior Bearing walls:	0 hours.	Exterior Non-bearing walls:	0 hours.	Interior Non-bearing walls:	0 hours.	Floor construction / Secondary members:	0 hours.	Roof construction / secondary members:	0 hours.
Building Element	Required Rating															
Primary structural frame:	0 hours.															
Exterior / Interior Bearing walls:	0 hours.															
Exterior Non-bearing walls:	0 hours.															
Interior Non-bearing walls:	0 hours.															
Floor construction / Secondary members:	0 hours.															
Roof construction / secondary members:	0 hours.															
<b>Chapter 7</b>																
Section 708		<u>Fire Partitions:</u> 1/2 Hour Fire Partition Required Between Units Per 708.3 Exception #2.														
<b>Chapter 9</b>																
Section 903		Proposed buildings / individual units are to be designed with an NFPA 13R sprinkler system and smoke alarms as required by the Florida Fire Prevention Code and NFPA														
<b>Chapter 10</b>																
Table 1004.5		<u>Occupancy Loads:</u> Residential (R-2): 1,050 s.f. / 200 gross = 6 persons (per unit)														
Sec. 1006 / Table 1006.2.1 Sec. 1006.3.3 (5)		<u>Number of Exits Required:</u> 1 Exit Required (+ emergency escapes). 2 Exits to be provided at each unit (+ emergency escapes).														
Section 1011																
Interior stairways within individual units are to be designed in compliance with FBC Section 1011.																
Section 1030																
<u>Emergency Escape &amp; Rescue:</u> Each Bedroom is to be provided with an emergency escape window per FBC Section 1030 meeting minimum size requirements per FBC Section 1030.2, complying with location requirements per FBC Section 1030.3, and operational constraints per FBC Section 1030.4.																
All landscaping is to be designed to ensure no conflict with emergency egress locations.																

