Historic Architectural Review Commission
Staff Report for Item 3

To:	Chairman Bryan Green and Historic Architectural Review Commission Members
From:	Enid Torregrosa, MSHP Historic Preservation Planner
Meeting Date:	June 23, 2015
Applicant:	City of Key West/ Hayes Cumming, Architects
Application Number:	H15-01-0848
Address:	#111 Olivia Street- Frederick Douglass Gym

Description of Work:

Major Development Plan- New addition and renovations to contributing structure.

Site Facts:

The Frederik Douglass Gym, listed as a contributing resource in the surveys, was built circa 1957. The reinforce concrete structure was built as part of the Douglass Public School complex. The building is located on the north-west corner of Olivia and Emma Streets. In October 2012, the Chief Building Officer (CBO) condemned the west portion of the building due to structural problems. On March 19, 2015, the Planning Board approved Resolution 2015- 13 for a Major Development Plan. HARC does not have jurisdiction on the demolition process since the CBO declared portion of the structure unsafe.

Guidelines Cited in Review:

- Additions and alterations/ New construction (pages 36-38a); specifically guidelines for additions, 1 through 8 of page 37.

- Windows (page 29); specifically guidelines 3 and 7.

Staff Analysis

The Certificate of Appropriateness in review proposes a new structure that will replace the west side portion of the building condemned by the CBO. The new structure will contain a metal curved roof that will serve as the gym's main entrance. This structure will be of contemporary lines and will be lower in height than the existing main building. Towards the north of the entry-curved roof, a one-story cbs structure is proposed. This new building will have stucco finish on its exterior walls and a flat roof. All windows and doors will be metal.

The plan also includes renovations to the main space of the gym that includes structural deficiencies corrections, and the removal of all existing non-historic Bahama shutters and non-historic fixed/ awning windows. New fixed translucent panels with aluminum frames will replace the non-historic windows. Due to the institutional character and use, and the size and location of the fenestrations, a system consisting of glass will not be an appropriate solution for safety reasons. Staff has requested that the new panels have three-dimensional muntings exposed to the exterior in order to lower the scale of the panels and to be in keeping with the original awning window pattern. The 1960's photos depict awning windows that were operable only in the center portion of the panel and many glass panels were changed to translucent/ textured glass, probably due to the intensity of the sun coming inside of the court. The new windows will not have any permanent coverings such as Bahama shutters.

Consistency with Cited Guidelines

The current proposal includes the construction of a new attached addition that will be small in scale and mass in relation to the main portion of the building. The structure has a contemporary appearance that is sympathetic to the the original building and surrounding structures. Although the replacement windows for the gym are not identical to the original awning ones, they will bring considerably amount of natural light to the interior while been in compliance with safety matters.

It is staff's opinion that the proposed design for the addition and renovations to the contributing and historic Douglass Gym are consistent with the guidelines. Even though the building is a contributing resource, it is staff's opinion that the structure does not has architectural attributes, but rather cultural value to the community.

APPLICATION

THE CITY OF KEY WEST
P.O. BOX 1409
KEY WEST, FLORIDA 33041-1409
www.keywestcity.com

Director of Engineering
(305) 809-3962

June 18, 2015

City of Key West
Historic Architectural Review Commission
3140 Flagler Avenue
Key West, Florida 33040

RE: H15-01-0848
Renovations of Frederick Douglass Recreation Center

Dear Commission Members:

As a component of Historic Architectural Review Commission (HARC) review and approval process for the Renovations of Frederick Douglass Recreation Center (Frederick Douglass Gym) project, the City of Key West Engineering Services Department and Hayes Cumming Architects (Hayes Cumming) are requesting your consideration of a window system that we believe will balance and respect historical precedence, increase building usability and decrease future operational costs and maintenance.

We believe the true significance of the Frederick Douglass Gym to the Bahama Village community is not architectural but cultural, specifically as the gymnasium of the former Frederick Douglass High School. The design plans before you have been developed to honor those activities and restore structural integrity and usability to the gym.

The original windows installed in the building were steel or aluminum operable frames with clear glass. The building had no air conditioning. It soon became apparent that, at certain times of the day, direct sunlight struck gym users in the face. As a result, most of the clear glass window panels were removed and replaced with frosted glass or plastic panels to filter the direct sunlight, allowing use of the gymnasium throughout the day.

Eventually the building was air conditioned and the operable windows permanently fastened shut. However, due to lack of insulation, the temperature became almost unbearable at certain times of the day. The windows were subsequently covered with metal awnings to block sunlight into the gymnasium. Blocking of light resulted in a decrease in heat load, allowing air conditioning to cool the space. These metal awnings are currently rusted, with many not closeable due to wind damage.

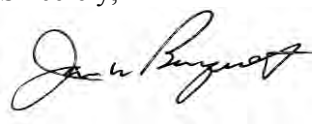
The Hayes Cumming design addresses the necessary structural deterioration and water infiltration repairs to the gym including evaluating the overall operation of the building. Repairs necessary to the building envelope were determined to require removal and replacement of the roof, roof deck, metal awnings and windows. The heating, ventilating and air conditioning (HVAC) system is relatively new and recommended to be retained.

As discussed above, the original clear glass windows were not appropriate for the location and end use of gymnasium, as validated by the subsequent removal of the clear glass in lieu of a product that filtered direct sunlight. The proposed window system honors that historical precedent by providing a product that does the same thing; filter the sunlight. Additionally, the proposed glazing system will:

- allow an appropriate amount of high quality natural sunlight to enter the space.
- create significant improvement to the air quality within the building, eliminating the multiple vapor leaks currently occurring through the existing metal frames.
- improve the energy efficiency of the building when combined with the robust roof insulation to be installed.
- provide a glazing system that will stand up to the future hurricane force winds.
- not readily break when struck by balls and other sports related objects that are commonly used during daily recreational use activities.
- be easier to maintain and clean than glass.

We respect the mission of HARC and understand this is not an easy decision. We believe the proposed solution strikes the appropriate balance between historical precedence, increase of usability, decrease of operational costs and reduction of maintenance requirements. A Certificate of Appropriateness will facilitate restoration of this culturally significant facility, providing a safe and quality environment for cultural, recreational and athletic activities for the Bahama Village community.

Sincerely,



James Bouquet, P.E.
Director of Engineering Services

COMBINATION APPLICATION: FLOODPLAIN, CONSTRUCTION AND HARC

$50.00 APPLICATION FEE NON-REFUNDABLE

RECEIVED JUN 02 2015 BY

City of Key West

3140 FLAGLER AVENUE
KEY WEST, FLORIDA 33040
Phone: 305.809.3956
www.cityofkeywest-fl.gov

HARC PERMIT NUMBER	BUILDING PERMIT NUMBER	INITIAL & DATE
15-01-848		6/2/15
FLOODPLAIN PERMIT		REVISION #

FLOOD ZONE	PANEL #	ELEV. L. FL.	SUBSTANTIAL IMPROVEMENT
			___ YES ___ NO ___%

ADDRESS OF PROPOSED PROJECT:	111 Olivia Street	# OF UNITS 0
RE # OR ALTERNATE KEY:	RE # 00014720-0000000	
NAME ON DEED:	City of Key West	PHONE NUMBER 305.809.3964
OWNER'S MAILING ADDRESS:	3140 Flagler Ave.	EMAIL jbouquet@cityofkeywest-fl.gov
	Key West, FL 33040	
CONTRACTOR COMPANY NAME:	TBD by Competitive Bidding	PHONE NUMBER
CONTRACTOR'S CONTACT PERSON:	TBD by Competitive Bidding	EMAIL
ARCHITECT / ENGINEER'S NAME:	Hayes Cumming Arch. (Andrew Hayes)	PHONE NUMBER 727.321.0900
ARCHITECT / ENGINEER'S ADDRESS:	2210 Central Ave., Ste 100	EMAIL ahayes@hc-arc.com
	St Petersburg, FL 33712	

HARC: PROJECT LOCATED IN HISTORIC DISTRICT OR IS CONTRIBUTING: X YES ___NO (SEE PART C FOR HARC APPLICATION.)

CONTRACT PRICE FOR PROJECT OR ESTIMATED TOTAL FOR MAT'L., LABOR & PROFIT: $1,280,000.00

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083.

PROJECT TYPE: ___ ONE OR TWO FAMILY ___ MULTI-FAMILY ___COMMERCIAL ___ NEW X REMODEL
___ CHANGE OF USE / OCCUPANCY X ADDITION ___ SIGNAGE ___ WITHIN FLOOD ZONE _____
___ DEMOLITION ___ SITE WORK ___INTERIOR ___ EXTERIOR ___ AFTER-THE-FACT

DETAILED PROJECT DESCRIPTION INCLUDING QUANTITIES, SQUARE FOOTAGE ETC., **Renovation of culturally significant Fredereick Douglass gym supporting sturcture within the Historic Distirct. The roof, exterior windows and doors will be replaced along with a new exterior paint scheme. Preimeter landscaping will be improved.**

I'VE OBTAINED ALL NECESSARY APPROVALS FROM ASSOCIATIONS, GOV'T AGENCIES AND OTHER PARTIES AS APPLICABLE TO COMPLETE THE DESCRIBED PROJECT:

OWNER PRINT NAME: J. K. Scholl	QUALIFIER PRINT NAME:
OWNER SIGNATURE:	QUALIFIER SIGNATURE:
Notary Signature as to owner:	Notary Signature as to qualif
STATE OF FLORIDA; COUNTY OF MONROE, SWORN TO AND SCRIBED BEFORE M THIS 2ND DAY OF June, 20 15.	STATE OF FLORIDA; COUNTY OF MONROE, SWORN TO AND SCRIBED BEFORE ME THIS _____ DAY OF _____, 20____
Personally known or produced _____ as identification.	Personally known or produced _____ as ident

NOTARY PUBLIC STATE OF FLORIDA PORTIA Y. NAVARRO MY COMMISSION EXPIRES May 13, 2018 #FF 101246 Bonded thru Troy Fain - Insurance

PART B: SUPPLEMENTARY PROJECT DETAILS TO AVOID DELAYS / CALL-BACKS

PROPERTY STRUCTURES AFFECTED BY PROJECT: _X_ MAIN STRUCTURE _X_ ACCESSORY STRUCTURE _X_ SITE

ACCESSORY STRUCTURES: ___ GARAGE / CARPORT ___ DECK ___FENCE ___ OUTBUILDING / SHED

FENCE STRUCTURES: ___ 4 FT. ___ 6 FT. SOLID ___ 6 FT. / TOP 2 FT. 50% OPEN

X POOLS: ___ INGROUND ___ ABOVE GROUND ___ SPA / HOT TUB ___ PRIVATE ___ PUBLIC

PUBLIC POOLS REQUIRE BD. OF HEALTH LICENSE APPLICATION AT TIME OF CITY APPLICATION.

PUBLIC POOLS REQUIRE BD. OF HEALTH LICENSE PRIOR TO RECEIVING THE CITY CERTIFICATE OF OCCUPANCY.

ROOFING: _X_ NEW ___ ROOF-OVER ___ TEAR-OFF ___ REPAIR ___ AWNING

____ 5 V METAL ___ ASPLT. SHGLS. _X_ METAL SHGLS. ___ BLT. UP _X_ TPO ___ OTHER

FLORIDA ACCESSIBILITY CODE: _X_ 20% OF PROJECT FUNDS INVESTED IN ACCESSIBILITY FEATURES.

SIGNAGE: ____ # OF SINGLE FACE ____ # OF DOUBLE FACE ____ REPLACE SKIN ONLY ___ BOULEVARD ZONE

____ POLE _X_ WALL ___ PROJECTING ___ AWNING ___ HANGING ___ WINDOW

SQ. FT. OF EACH SIGN FACE:

SUBCONTRACTORS / SPECIALTY CONTRACTORS SUPPLEMENTARY INFORMATION:

_X_ MECHANICAL: _X_ DUCTWORK ___COMMERCIAL EXH. HOOD _X_ INTAKE / EXH. FANS ___ LPG TANKS

A / C: ___ COMPLETE SYSTEM ___ AIR HANDLER ___ CONDENSER ___ MINI-SPLIT

_X_ ELECTRICAL: _X_ LIGHTING _X_ RECEPTACLES ___ HOOK-UP EQUIPMENT ___ LOW VOLTAGE

SERVICE: ___ OVERHEAD ___ UNDERGROUND ___ 1 PHASE _X_ 3 PHASE _400_ AMPS

_X_ PLUMBING: ___ ONE SEWER LATERAL PER BLDG. ___ INGROUND GREASE INTCPTRS. ___ LPG TANKS

RESTROOMS: _X_ MEN'S _X_ WOMEN'S _X_ UNISEX _X_ ACCESSIBLE

PART C: HARC APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS

APPLICATION FEES: PAINTING SINGLE FAMILY: $10 STAFF APPROVAL: $50 COMMISSION REVIEW $100

PLEASE ATTACH APPROPRIATE VARIANCES / RESOLUTIONS FROM HARC, PLANNING BOARD OR TREE COMMISSION.

ATTENTION: NO BUILDING PERMITS WILL BE ISSUED PRIOR TO HARC APPROVAL.

PLEASE SEND ELECTRONIC SUBMISSIONS TO: harc@cityofkeywest-fl.gov

INDICATE TYPE OF CERTIFICATE. OF APPROPRIATENESS: _X_GENERAL ___DEMOLITION ___SIGN ___PAINTING ___OTHER

ADDITIONAL INFORMATION:_____

PROJECT SPECIFICATIONS: PLEASE PROVIDE PHOTOS OF EXISTING CONDITIONS, PLANS, PRODUCT SAMPLES, TECHNICAL DATA		
ARCHITECTURAL FEATURES TO BE ALTERED: ENTRY CANOPY ROOF	ORIGINAL MATERIAL: HORIZONTAL CONCRETE	PROPOSED MATERIAL: CURVING STANDING SEAM/STEEL
EXTERIOR WALLS	C.M.U./STUCCO/PAINT	C.M.U./STUCCO/PAINT
WINDOW CANOPIES	ALUMINUM	NONE
WINDOWS	STEEL/PAINTED SGL PANE GL.	STEEL/TRANSLUCENT GLASS

DEMOLITION: PLEASE FILL OUT THE HARC APPENDIX FOR PROPOSED DEMOLITION.

DEMOLITION OF HISTORIC STRUCTURES IS NOT ENCOURAGED BY THE HISTORIC ARCHITECTURAL REVIEW COMMISSION.

SIGNAGE: (SEE PART B) ___ BUSINESS SIGN ___ BRAND SIGN ___ OTHER: _____

BUSINESS LICENSE # IF FAÇADE MOUNTED, SQ. FT. OF FAÇADE _____

SIGN SPECIFICATIONS		
SIGN COPY: TO BE DETERMINED	PROPOSED MATERIALS: CAST METAL WITH RAISED	SIGNS WITH ILLUMINATION: N/A
	LETTERS	TYPE OF LTG.:
		LTG. LINEAL FTG.:
MAX. HGT. OF FONTS:		COLOR AND TOTAL LUMENS:
IF USING LIGHT FIXTURES PLEASE INDICATE HOW MANY:	INCLUDE SPEC. SHEET WITH LOCATIONS AND COLORS.	

OFFICIAL USE ONLY: HARC STAFF OR COMMISSION REVIEW

____ APPROVED ____ NOT APPROVED ____DEFERRED FOR FUTURE CONSIDERATION ____ TABLED FOR ADD'L. INFO.

HARC MEETING DATE:	HARC MEETING DATE:	HARC MEETING DATE:

REASONS OR CONDITIONS:

STAFF REVIEW COMMENTS: Building is listed as contributing. Guidelines for windows / additions / alterations

HARC PLANNER SIGNATURE AND DATE:	HARC CHAIRPERSON SIGNATURE AND DATE:

PART D: STATE OF FLORIDA OFFICIAL NOTIFICATIONS AND WARNINGS

FLORIDA STATUTE 713.135: WARNING TO OWNER: YOUR FAILURE TO RECORD A 'NOTICE OF COMMENCEMENT' MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED WITH THE COUNTY RECORDER AND A COPY POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING A NOTICE.

FLORIDA STATUTE 469: ABESTOS ABATEMENT. AS OWNER / CONTRACTOR / AGENT OF RECORD FOR THE CONSTRUCTION APPLIED FOR IN THIS APPLICATION, I AGREE THAT I WILL COMPLY WITH THE PROVISIONS F. S. 469.003 AND TO NOTIFY THE FLORIDA D. E. P. OF MY INTENT TO DEMOLISH / REMOVE ASBESTOS.

IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT APPLICATION, THERE MAY BE DEED RESTRICTIONS AND / OR ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF MONROE COUNTY AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENT ENTITIES SUCH AS AQUADUCT ATHORITY, FLORIDA DEP OR OTHER STATE AGENCIES; ARMY CORPS OF ENGINEERS OR OTHER FEDERAL AGENCIES.

FEDERAL LAW REQUIRES LEAD PAINT ABATEMENT PER THE STANDARDS OF THE USDEP ON STRUCTURES BUILT PRIOR TO 1978.

OFFICIAL USE ONLY BY PLANS EXAMINER OR CHIEF BUILDING OFFICIAL:				CBO OR PL. EXAM. APPROVAL:
HARC FEES:	BLDG. FEES:	FIRE MARSHAL FEE:	IMPACT FEES:	DATE:

THE CITY OF KEY WEST
Building Department
P.O. Box 1409, Key West, FL 33041 phone: 305-809-3955 KeyWestCity.com

PUBLIC NOTICE

UNSAFE

Pursuant to Article III, Section 14-71, 14-72, and 14-73 of the Key West Code of Ordinances, the Building Official of the City of Key West hereby declares this structure dangerous and possessing conditions rendering dwelling unfit for human habitation.

Douglass Gym @ 111 Olivia Street

KEY WEST, FLORIDA

West Wing of Gym Bldg.

THIS BUILDING IS DANGEROUS. IT IS HEREBY CLOSED AND ITS USE PROHIBITED.

Section 14-115. Unauthorized Removal of Complaints, Notices, or Orders.

No person without consent of the Building Official shall remove or allow the removal of this notice in accordance with Sections 14-108 and 14-109.

POSTED AND ORDERED THIS 10th **DAY OF** Sept. 2014

per original posting on Oct. 11, 2012

BUILDING OFFICIAL SIGNATURE: RW Wampl

August 9, 2012

Mr. Douglas Bradshaw
Senior Project Manager
City of Key West
Engineering Department
P.O. Box 4109
Key West, FL 33041-1409

Re: Fredrick Douglas Recreation Center
Preliminary Report

Doug:

After visiting the building and visually observing the existing conditions throughout the Gymnasium and adjacent support spaces we must report that an unsafe condition exists at this facility.

We recommend immediate closure of the offices, restrooms, kitchen and other miscellaneous spaces in the one story bay of the building immediately southwest of the gymnasium. There has been significant demolition and deterioration that has compromised the structural integrity of that portion of the building. See the photographs on the following pages.

This situation requires immediate action! Provide structural shoring for the roof structure in all of these areas.

We will follow up with you on further actions that are required.

Very truly yours,
hayes|cumming architects, p.a.

Andrew M. Hayes, AIA, LEED BD+C
Managing Principal

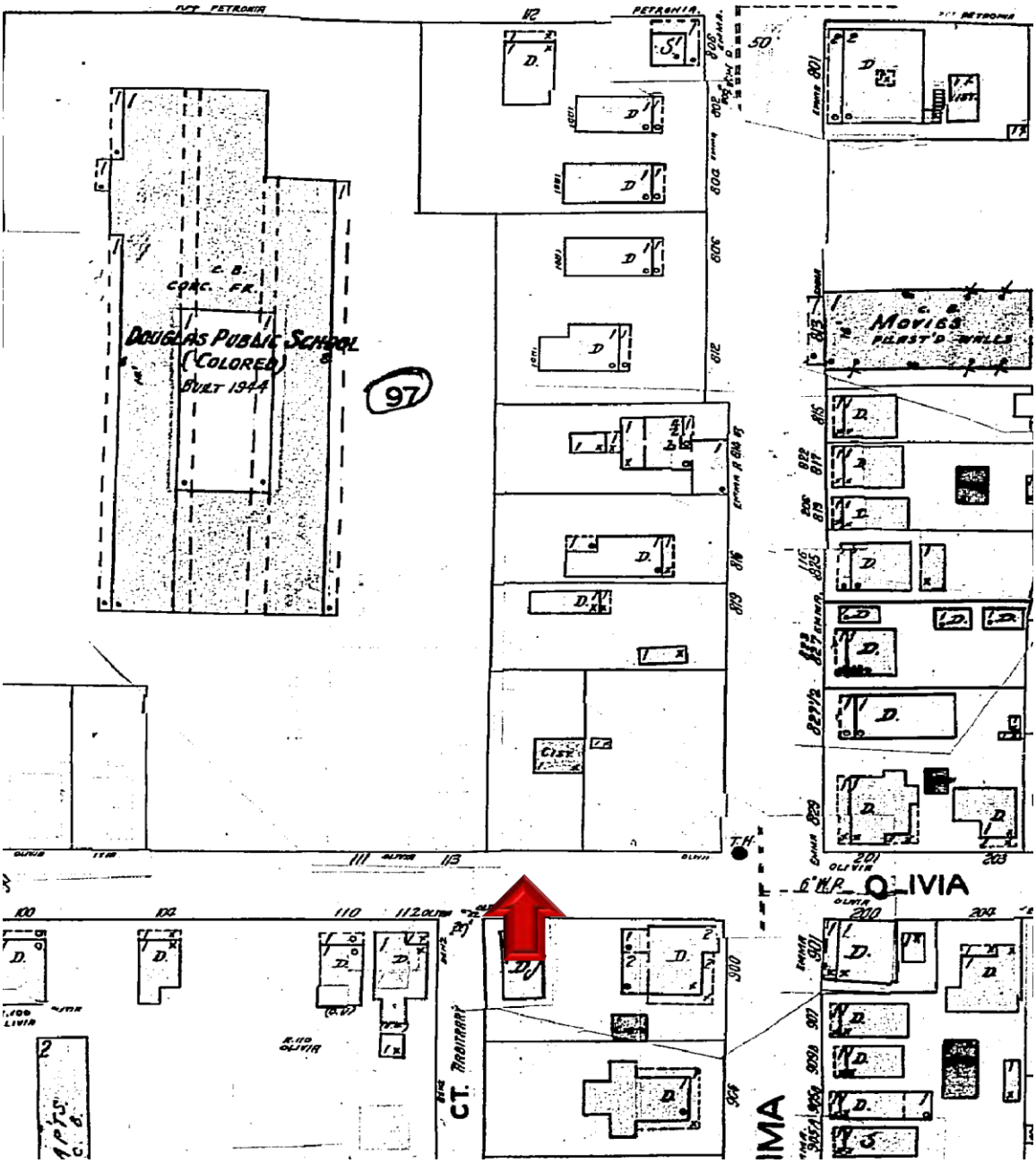
Note bottom of concrete beam has been chipped away

Note wall below beam has been removed and rebar cut

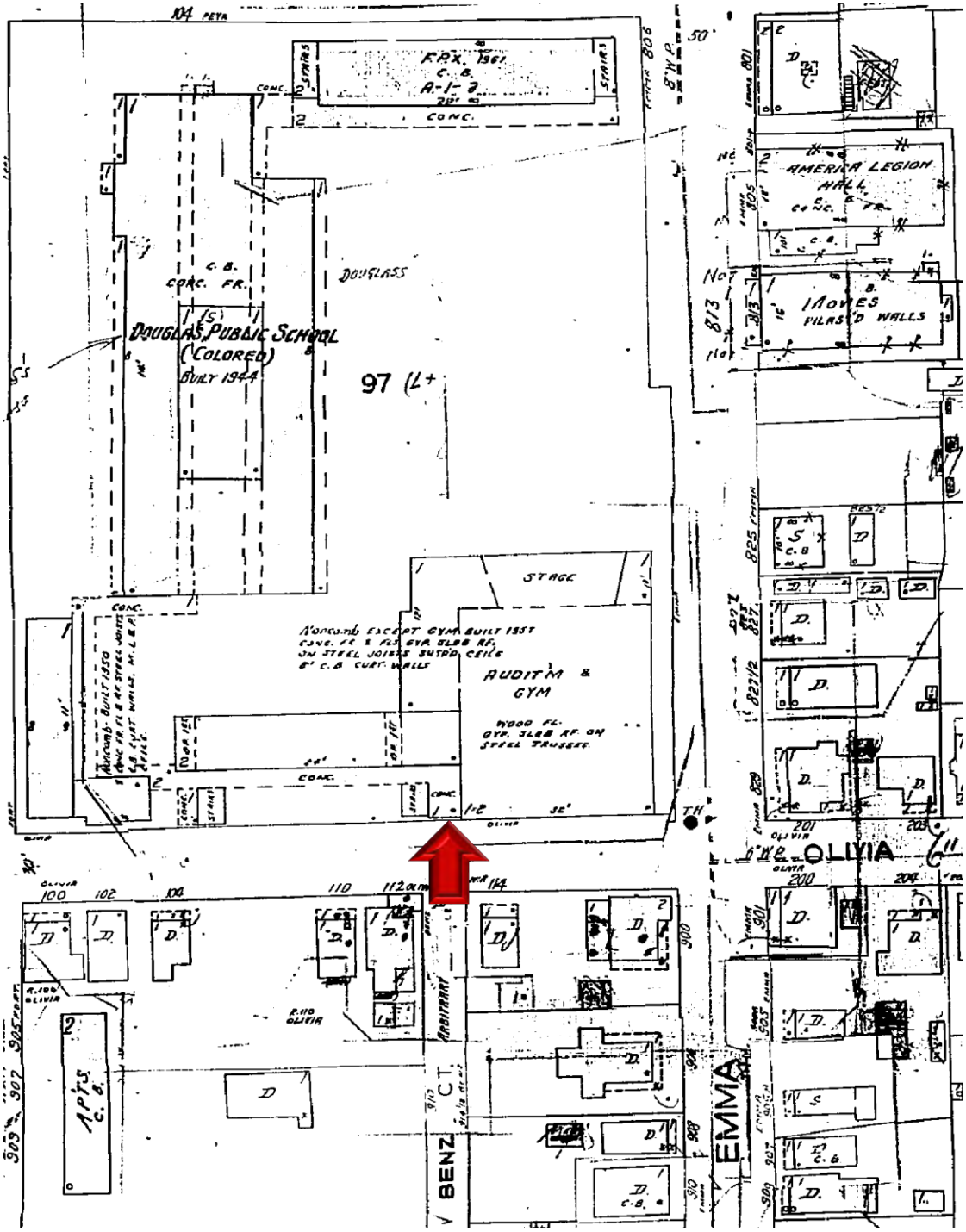
Note cracking along steel reinforcing

Note missing 6” plus of concrete with exposed severely rusted rebar

SANBORN MAPS



#111 Olivia Street Sanborn map 1948



#111 Olivia Street Sanborn map 1962

PROJECT PHOTOS

Douglass School Gym circa 1965. View from Emma Street Monroe County Library

Douglass School Gym circa 1963, partial interior view. Monroe County Library

Douglass School Gym circa 1964, partial interior view. Monroe County Library

Douglass School Gym circa 1964, partial interior view. Monroe County Library

FREDERICK DOUGLASS COMMUNITY CENTER
OLIVIA ST
EMMA ST

OLIVIA ST
EMMA ST

SLOW
CHILDREN AT PLAY
NO
LOITERING
AFTER
11 PM

CITY COMMISSIONER
DISTRICT VI
CLAYTON L. LOPEZ

CITY COMMISSIONER

SEAL OF THE CITY OF KEY WEST, FLORIDA

DISTRICT VI

CLAYTON L. LOPEZ

EMMA ST
ST

Guaco
WELLS CARGO

KEY WEST POLICE
ATHLETIC LEAGUE
BASKETBALL
GYM FOR KIDS

ANY CHILD
5 OR UNDER
NEEDS
ADULT
SUPERVISION

2012 SCHEDULE
2012 SCHEDULE

SURVEY

FOR INFORMATION ONLY

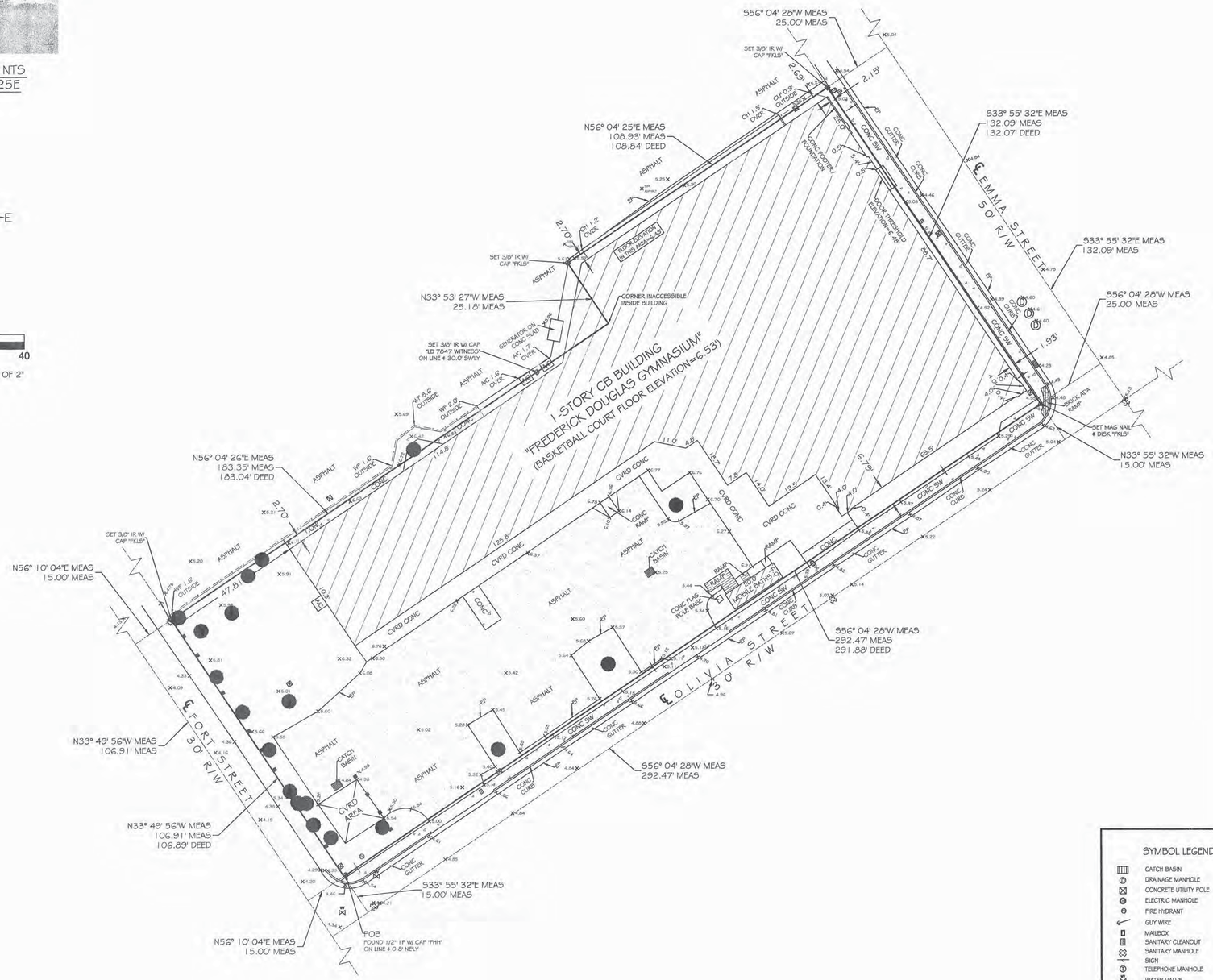
BOUNDARY & TOPOGRAPHIC SURVEY MAP OF FREDERICK DOUGLAS GYMNASIUM

111 OLIVIA STREET, KEY WEST, MONROE COUNTY, STATE OF FLORIDA

LOCATION MAP - NTS
SEC. 6-T68S-R25E

N
W E
S

1"=20'
0 10 20 40
*VERIFY ORIGINAL SCALE OF 2"



TOTAL AREA = 34,001.17 SQFT±
(0.78 ACRES±)

LEGAL DESCRIPTION -

In the City of Key West, Monroe County, Florida, and being known as part of Lots Six (6), and Ten (10), Tract Three (3), according to Charles W. Tift's map, and being more particularly described as follows:

Begin at the intersection of the Northeasterly right-of-way line of Fort Street and the Northwesterly right-of-way line of Olivia Street; thence in a Northwesterly direction along the said Northeasterly right-of-way line of Fort Street for One Hundred Six and 89/100 (106.89) feet; thence at a right angle and in a Northeasterly direction for One Hundred Eighty-three and 04/100 (183.04) feet; thence at a right angle and in a Northwesterly direction for Twenty-five and 18/100 (25.18) feet; thence at a right angle and in a Northeasterly for One Hundred Eight and 84/100 (108.84) feet to the Southwesterly right-of-way line of Emma Street; thence at a right angle and in a Southeasterly direction along the said Southwesterly right-of-way line of Emma Street for One Hundred Thirty-two and 07/100 (132.07) feet to the said Northwesterly right-of-way line of Olivia Street; thence at a right angle and in a Southwesterly direction along the said Northwesterly right-of-way line of Olivia Street for Two Hundred Ninety-one and 88/100 (291.88) feet to the Point of Beginning.

SURVEYOR NOTES -

BEARINGS AND COORDINATES SHOWN HEREON ARE REFERENCED TO GRID NORTH, BASED ON THE 1990 ADJUSTMENT OF THE NORTH AMERICAN DATUM OF 1983 (NAD 83/90), OF THE FLORIDA STATE PLANE COORDINATE SYSTEM (TRANSVERSE MERCATOR PROJECTION), EAST ZONE.

COORDINATES WERE ESTABLISHED BY A REAL-TIME KINEMATIC (RTK) GPS CONTROL SURVEY WHICH IS CERTIFIED TO A 2 CENTIMETER LOCAL ACCURACY, RELATIVE TO THE NEAREST CONTROL POINT WITHIN THE NATIONAL GEODETIC SURVEY (NGS) GEODETIC CONTROL NETWORK.

A) METHOD: WIDE AREA CONTINUOUSLY OPERATING GPS REFERENCE STATION NETWORK.
B) EQUIPMENT USED: TRIMBLE R10 GNSS, SERIAL NUMBER 5249419679 (DUAL FREQUENCY RECEIVER).
C) PROCESSING SOFTWARE: TRIMBLE GEOMATICS OFFICE, VERSION 1.63.
D) HORIZONTAL TIES WERE MADE TO THE NATIONAL GEODETIC SURVEY CONTROL POINT "WEST MARTELLO TOWER 2" (P.I.D. AA1146), HAVING A HAVING A DIFFERENTIAL OF N 0.02', E 0.12', FROM THE PUBLISHED VALUE OF: WEST MARTELLO TOWER 2 (P.I.D. AA1146)= N 78,401.68 E 394,906.10

ELEVATIONS SHOWN HEREON ARE IN FEET AND BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD 1929).

BENCHMARK DESCRIPTION: NATIONAL GEODETIC SURVEY BENCHMARK "872 4580 TIDAL BASIC" (P.I.D. AA0008), ELEVATION= 14.32' (NGVD 1929).

ALL ANGLES DEPICTED ARE 90 DEGREES UNLESS OTHERWISE INDICATED.

ALL UNITS ARE SHOWN IN U.S. SURVEY FEET.

ALL FIELD DATA WAS ACQUIRED BETWEEN 10/22/2014-11/06/2014

ADDRESS: 111 OLIVIA STREET, KEY WEST, FLORIDA 33040

NOTE: FOUNDATIONS BENEATH THE SURFACE ARE NOT SHOWN. MEASURED DIMENSIONS EQUAL PLATTED OR DESCRIBED DIMENSIONS UNLESS INDICATED OTHERWISE.
THE FOLLOWING IS A LIST OF ABBREVIATIONS THAT MAY BE FOUND ON THIS SHEET.

BFP = BACK-FLOW PREVENTER
BO = BLOW OUT
C & G = 2' CONCRETE CURB & GUTTER
CB = CONCRETE BLOCK
CBW = CONCRETE BLOCK WALL
CO = CLEANOUT
CLF = CHAINLINK FENCE
CM = CONCRETE MONUMENT
CONC = CONCRETE
CPP = CONCRETE POWER POLE
CVRD = COVERED
DELTA = CENTRAL ANGLE
DE = DRAINAGE EASEMENT
EL = ELEVATION
ENCL = ENCLOSURE
EP = EDGE OF PAVEMENT
FF = FINISHED FLOOR ELEVATION
FH = FIRE HYDRANT
FI = FENCE INSIDE
FO = FENCE OVER
FOO = FENCE OUTSIDE
FOL = FENCE ON LINE
GUY = GUY WIRE
HB = HOSE BIB
IF = IRON PIPE
IR = IRON ROD
AC = A/C UNIT(S)
LS = LANDSCAPING
MB = MAILBOX
MEAS = MEASURED
MF = METAL FENCE
MHWL = MEAN HIGH WATER LINE
NGVD = NATIONAL GEODETIC VERTICAL DATUM (1929)
NTS = NOT TO SCALE
OH = ROOF OVERHANG
OHW = OVERHEAD WIRES
PC = POINT OF CURVE
PM = PARKING METER
PCC = POINT OF COMPOUND CURVE
PCP = PERMANENT CONTROL POINT
PK = PARKER KALON NAIL
POB = POINT OF BEGINNING
PI = POINT OF INTERSECTION
POC = POINT OF COMMENCEMENT
PRC = POINT OF REVERSE CURVE
PRM = PERMANENT REFERENCE MONUMENT
PT = POINT OF TANGENT
R = RADIUS
R/W = RIGHT OF WAY LINE
SSCO = SANITARY SEWER CLEAN-OUT
SW = SIDE WALK
TBM = TEMPORARY BENCHMARK
TOB = TOP OF BANK
TOS = TOE OF SLOPE
TS = TRAFFIC SIGN
TYP = TYPICAL
UR = UNREADABLE
UE = UTILITY EASEMENT
WD = WOOD DECK
WF = WOOD FENCE
WL = WOOD LANDING
WM = WATER METER
WPP = WOOD POWER POLE
WRACK LINE = LINE OF DEBRIS ON SHORE
WV = WATER VALVE

NOTE: LEGAL DESCRIPTIONS HAVE BEEN FURNISHED BY THE CLIENT OR HIS/HER REPRESENTATIVE.PUBLIC RECORDS HAVE NOT BEEN RESEARCHED BY THE SURVEYOR TO DETERMINE THE ACCURACY OF THESE DESCRIPTIONS NOR HAVE ADJOINING PROPERTIES BEEN RESEARCHED TO DETERMINE OVERLAPS OR GAPS. ADDITIONS OR DELETIONS TO SURVEY MAP OR REPORT BY OTHER THAN THE SIGNING PARTY IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY. THE BOLD LINE SHOWN HEREON REPRESENTS THE SURVEYORS OPINION OF THE DEED LINES. THE MEAN HIGH WATER LINE WAS NOT DETERMINED FOR THIS SURVEY, THE APPARENT MEAN HIGH WATER LINE IS SHOWN FOR REFERENCE ONLY.

SYMBOL LEGEND:

- CATCH BASIN
- DRAINAGE MANHOLE
- CONCRETE UTILITY POLE
- ELECTRIC MANHOLE
- FIRE HYDRANT
- GUY WIRE
- MAILBOX
- SANITARY CLEANOUT
- SANITARY MANHOLE
- SIGN
- TELEPHONE MANHOLE
- WATER VALVE
- WATER METER
- WELL TEST STATION
- WOOD UTILITY POLE
- WOOD 4"X4" POST
- TREE (TYPICAL)
- x4.65 SPOT ELEVATION (TYPICAL)

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTERS 61G-17 & 5J-17.05, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES AND COMPLIES WITH CHAPTER 177, PART II FLORIDA STATUTES.

SIGNED

NOT VALID WITHOUT THE SIGNATURE AND THE RAISED SEAL OF A FLORIDA SURVEYOR AND MAPPER.

ERIC A. ISAACS, PSM #6763, PROFESSIONAL SURVEYOR AND MAPPER, LB# 7847

FLORIDA KEYS LAND SURVEYING
19960 OVERSEAS HIGHWAY
SUGARLOAF KEY, FL 33042
PHONE: (305) 394-3690
FAX: (305) 509-7373
EMAIL: FKLSemail@Gmail.com

BOUNDARY & TOPOGRAPHIC SURVEY MAP
FREDERICK DOUGLAS GYMNASIUM
KEY WEST, MONROE COUNTY, STATE OF FLORIDA

DATE: 11/07/2014	SURVEY BY: EAI	PROJECT: CKW PO#93085	
ORDER:	DRAWN BY: MPB	H. SCALE: 1"=20'	
BOOK:	CHECKED BY:	SHEET 1 OF 1	

PLANNING BOARD RESOLUTION

PLANNING BOARD
RESOLUTION NO. 2015-13

A RESOLUTION OF THE KEY WEST PLANNING BOARD GRANTING MAJOR DEVELOPMENT PLAN AND LANDSCAPE MODIFICATION / WAIVER APPROVALS PURSUANT TO SECTIONS 108-91.A.2.(B) AND 108-517 OF THE LAND DEVELOPMENT REGULATIONS OF THE CODE OF ORDINANCES OF THE CITY OF KEY WEST, FLORIDA FOR THE RECONSTRUCTION OF 12,153 SQUARE FEET OF NONRESIDENTIAL FLOOR AREA AS PART OF THE RENOVATION AND REPAIR OF THE FREDERICK DOUGLASS COMMUNITY CENTER AND FOR THE REDUCTION AND/OR WAIVER OF REQUIRED LANDSCAPING ON PROPERTY LOCATED AT 111 OLIVIA STREET (RE # 00014720-000000, AK #1015091) WITHIN THE HISTORIC NEIGHBORHOOD COMMERCIAL – BAHAMA VILLAGE (HNC-3) AND HISTORIC MEDIUM DENSITY RESIDENTIAL (HMDR) ZONING DISTRICTS; PROVIDING FOR AN EFFECTIVE DATE

WHEREAS, Section 108-91 of the Code of Ordinances (the "Code") of the City of Key West, Florida (the "City") provides that within the Historic District, a Major Development Plan is required for the reconstruction of greater than 2,500 square feet of nonresidential floor area; and

WHEREAS, modifications and waivers to reduce the City's landscaping requirements are requested or required pursuant to City Code Section 108-517; and

WHEREAS, Code Sections 108-196(a) and 122-62(a) require the Planning Board to review and approve, approve with conditions or deny the proposed Major Development Plan in an advisory capacity to the City Commission; and

WHEREAS, Code Section 108-517(a) requires the Planning Board to consider the landscape modification / waiver request and render the final action; and

_____ Vice Chairman

_____ Planning Director

WHEREAS, this matter came before the Planning Board at a duly noticed public hearing on March 19, 2015; and

WHEREAS, the granting of a Major Development Plan and Landscape Modification / Waiver application is consistent with the criteria of the Code of Ordinances; and

WHEREAS, the Planning Board finds that the granting of a Major Development Plan and Landscape Modification / Waiver application is in harmony with the general purpose and intent of the Land Development Regulations, and will not be injurious to the neighborhood, or otherwise detrimental to the public welfare.

NOW, THEREFORE, BE IT RESOLVED by the Planning Board of the City of Key West, Florida:

Section 1. That the above recitals are incorporated by reference as if fully set forth herein.

Section 2. The Major Development Plan and Landscape Modification / Waiver for the reconstruction of greater than 2,500 square feet of nonresidential floor area as part of the renovation and repair of the Frederick Douglass Community Center on property located within the Historic Neighborhood Commercial (HNC-3) and Historic Medium Density Residential (HMDR) Zoning Districts pursuant to Section 108-91.A.2.(b) and 108-517 of the Land Development Regulations of the Code of Ordinances of the City of Key West, Florida, as shown in the attached plans, is hereby approved with the following conditions:

General conditions:

_____ Vice Chairman

_____ Planning Director

1. The proposed development shall be consistent with the site plan and architectural plans dated February 27, 2015 by architect Andrew M. Hayes. Notwithstanding the revisions requested and recommended by staff.

2. During all phases of demolition and construction, temporary fencing and erosion barriers shall be installed and maintained. All adjacent City streets and sidewalks shall be kept clean and clear of construction debris.

Conditions prior to the City Commission hearing:

3. The applicant shall submit a drainage plan pursuant to City Code Section 108-240 (1) (c).

4. The applicant shall submit a stormwater management plan pursuant to City Code Section 108-240 (2)

5. The applicant shall submit an irrigation plan pursuant to City Code Section 108-243(d)

6. The applicant shall submit an outdoor lighting plan pursuant to City Code Section 108-284.

Conditions prior to issuance of a building permit:

7. Approval of a Public Art Plan shall be obtained from the AIPP Board, pursuant to City Code Section 2-487, and may include payment of an in-lieu fee.

Conditions prior to issuance of a Certificate of Occupancy:

8. On-site artwork shall be installed and inspected by the City pursuant to Code

9. The property owner shall obtain and maintain a Conditional Approval Permit,

_____ Vice Chairman

_____ Planning Director

pursuant to City Code Chapter 18, Article XII, Division 1. The City Code Compliance shall inspect the property on an annual basis upon reasonable notice to determine compliance with the above conditions.

Section 3. Full, complete and final application for all permits required for which this resolution is wholly or partly necessary, shall be submitted in its entirety within 12 months after the date hereof.

Section 4. This Major Development Plan and Landscape Modification / Waiver application approval by the Planning Board does not constitute a finding as to ownership or right to possession of the property, and assumes, without finding, the correctness of the applicant's assertion of legal authority respecting the property.

Section 5. This resolution shall go into effect immediately upon its passage and adoption and authentication by the signatures of the presiding officer and the Clerk of the Board.

Section 6. This resolution is subject to appeal periods as provided by the City of Key West Code of Ordinances (including the Land Development Regulations). After the City appeal period has expired, this permit or development order shall be rendered to the Florida Department of Economic Opportunity. Pursuant to Chapter 73C-44, F.A.C., this permit or development order is not effective for 45 days after it has been properly rendered to the DEO with all exhibits and applications attached to or incorporated by reference in this approval; that within the 45-day review period, the DEO can appeal the permit or development order to the Florida Land and Water Adjudicatory Commission; and that such an appeal stays the effectiveness of the permit until the appeal is resolved by agreement or order.

_____ Vice Chairman

_____ Planning Director

Read and passed on first reading at a regularly scheduled meeting held this 19 day of March, 2015.

Authenticated by the Vice Chairman of the Planning Board and the Planning Director.

Sam Holland, Planning Board Vice Chairman — Date: 4/16/15

Attest:

Kevin Bond, AICP, Acting Planning Director — Date: 3/20/2015

Filed with the Clerk:

Cheryl Smith, City Clerk — Date: 4-16-2015

WSH Vice Chairman

KJB Planning Director

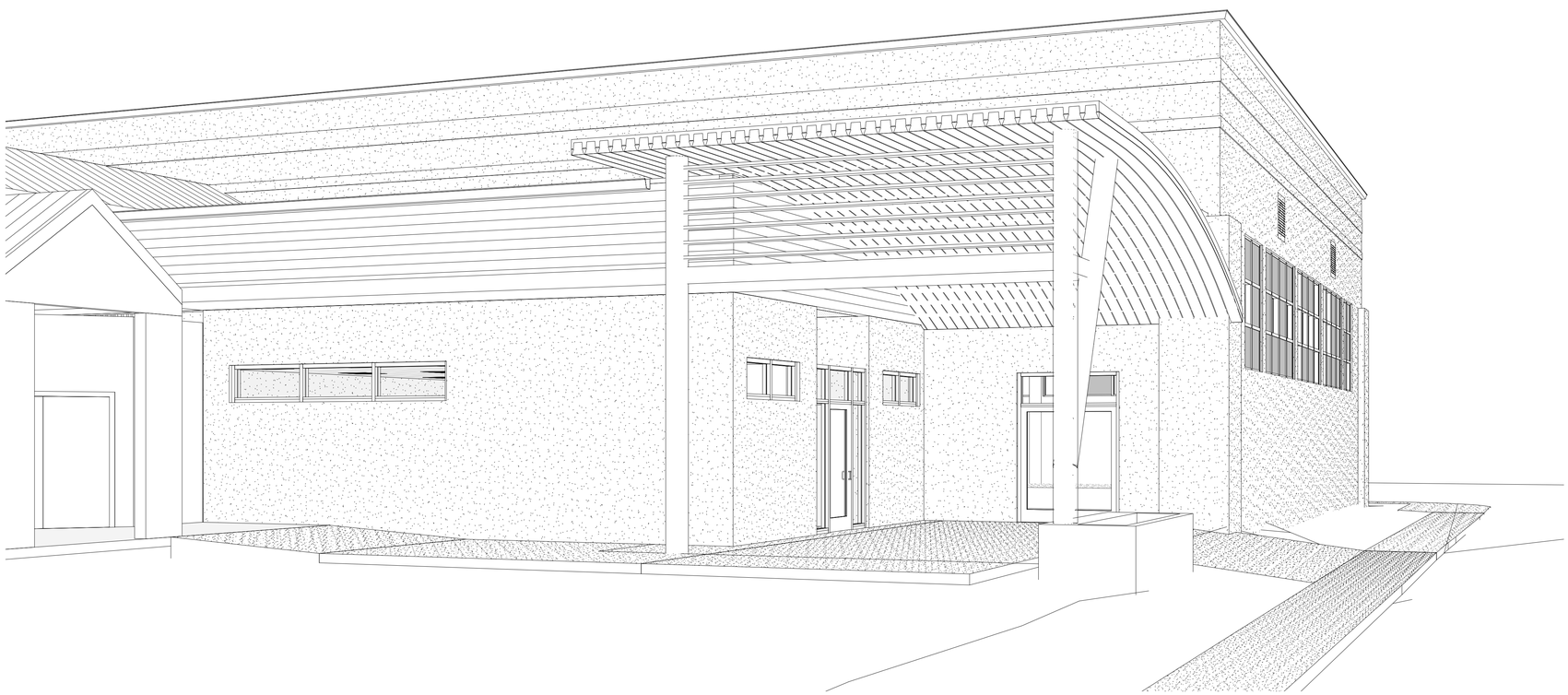
PROPOSED DESIGN

RENOVATION OF

FREDERICK DOUGLASS RECREATION CENTER

111 OLIVIA ST
KEY WEST, FLORIDA 33040

50% CONSTRUCTION DOCUMENT SET - OWNER REVIEW



3/2/2015 12:58:27 PM

DEVELOPMENT TEAM

OWNER

CITY OF KEY WEST
3140 Flagler Avenue
Key West, Florida 33040
P:305.809.2964

J. Michael Vieux, AIA, LEED AP BD+C
Senior Construction Manager

ARCHITECT

ARCHITECT
hayes | cumming architects pa
2210 central ave, suite 100
st. petersburg, florida 33712
p: 727.321.0900
f: 727.321.0903

Andrew M. Hayes, AIA, LEED AP BD+C

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Tampa, FL, 33611
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f: 813.831.5485

STRUCTURAL ENGINEER
McCarthy and Associates, Inc.
2555 Nursery Road, Suite 101
Clearwater, Florida 33764
p: 727.536.8772
f: 727.538.9125

MECHANICAL, ELECTRICAL & PLUMBING ENGINEER
Diamondback Engineering
1801 North Himes Avenue
Tampa, FL. 33607
p: 813.350.0080
f: 813.350.0083

FIRE PROTECTION ENGINEER

NORTH
AREA MAP
NTS

NORTH
SITE MAP
NTS

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CONSULTANT:

CLIENT / PROJECT NAME:

CITY OF KEY WEST

ALTERATIONS TO

FREDERICK DOUGLASS RECREATION CENTER

111 OLIVIA STREET
KEY WEST, FL 33040

Original drawing is 24"x36". Scale accordingly if reduced.

SHEET TITLE:

COVER SHEET

REVISIONS:

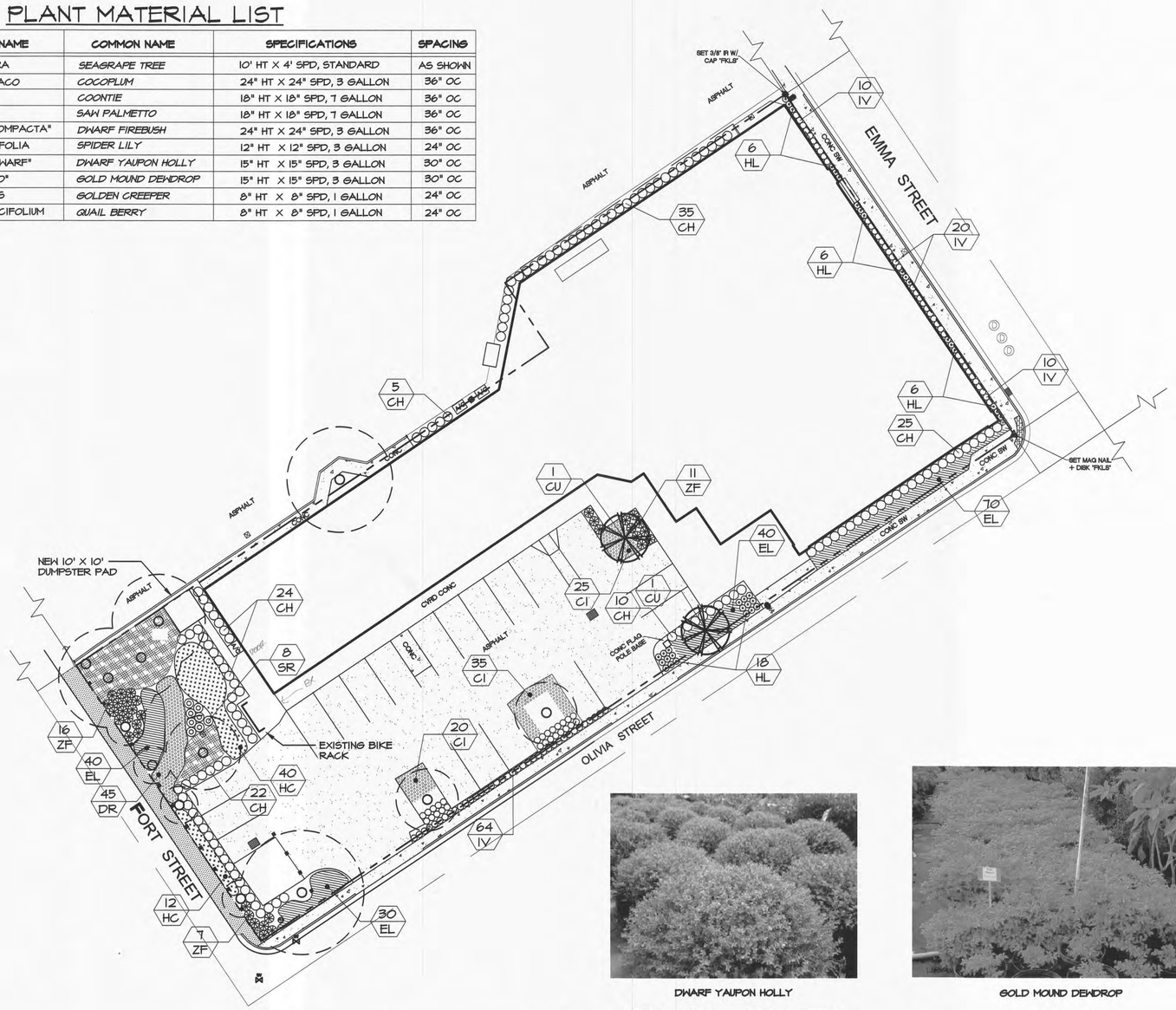
DATE ISSUED: 2/27/2015
PROJECT NO.: 12.0D01

DRAWING NUMBER:

G-001 SHEET: 1 OF 57

PLANT MATERIAL LIST

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS	SPACING
CU	2	COCCOLOBA UVIFERA	SEAGRAPE TREE	10' HT X 4' SPD, STANDARD	AS SHOWN
CH	121	CHRYSOBALANUS ICACO	COCOPLUM	24" HT X 24" SPD, 3 GALLON	36" OC
ZF	34	ZAMIA FLORIDANA	COONTIE	18" HT X 18" SPD, 7 GALLON	36" OC
SR	8	SERENOA REPENS	SAW PALMETTO	18" HT X 18" SPD, 7 GALLON	36" OC
HC	52	HAMELIA PATENS "COMPACTA"	DWARF FIREBUSH	24" HT X 24" SPD, 3 GALLON	36" OC
HL	36	HYMENOCALLIS LATIFOLIA	SPIDER LILY	12" HT X 12" SPD, 3 GALLON	24" OC
IV	104	ILEX "SCHELLINGS DWARF"	DWARF YAUPON HOLLY	15" HT X 15" SPD, 3 GALLON	30" OC
DR	45	DURANTA "GOLD MOUND"	GOLD MOUND DEWDROP	15" HT X 15" SPD, 3 GALLON	30" OC
EL	180	ERNODEA LITTERALIS	GOLDEN CREEPER	8" HT X 8" SPD, 1 GALLON	24" OC
CI	80	CROSSOPETALUM ILICIFOLIUM	QUAIL BERRY	8" HT X 8" SPD, 1 GALLON	24" OC



SYMBOL LEGEND

LANDSCAPE

10 — QUANTITY

QV — SPECIES

ARGENTINE BAHIA SOD

SEA GRAPE

COCOPLUM

COONTIE

SAW PALMETTO

DWARF FIREBUSH

SPIDER LILY

DWARF YAUPON HOLLY

GOLD MOUND DEWDROP

GOLDEN CREEPER

QUAIL BERRY

12/19/2014 11:00:22 AM

LANDSCAPE PLAN

1" = 20' - 0"

0' 8' 16' 24'

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L. ALYSON UTTER, PLA
LA0000163

andrew m. hayes, aia, leed bd+c

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CONSULTANT:

CLIENT / PROJECT NAME:

CITY OF KEY WEST

ALTERATIONS TO

FREDERICK DOUGLASS RECREATION CENTER

111 OLIVIA STREET
KEY WEST, FL 33040

Original drawing is 24"x36". Scale accordingly if reduced.

SHEET TITLE:

LANDSCAPE PLAN

REVISIONS:

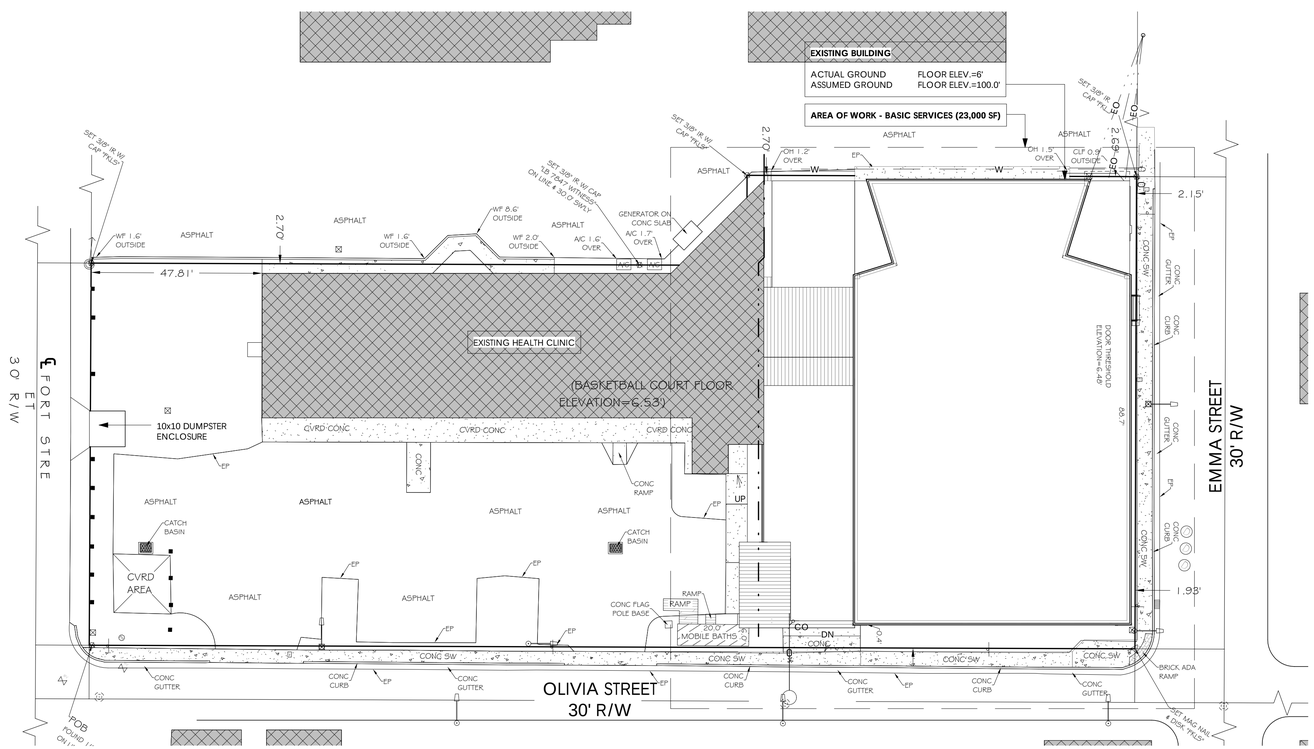
DATE ISSUED: 10/10/2014
PROJECT NO.: 12.0D01

DRAWING NUMBER:

L-002 SHEET: 2 OF 2

SYMBOLS LEGEND

- SERVICE AREA BOUNDARY LINE
- ASSUMED PROPERTY LINE BETWEEN BUILDINGS ON THE SAME LOT
- SITE LIGHTING
- STORM DRAIN
- —W— WATER (UNDERGROUND)
- —EO— ELECTRICAL (OVERHEAD)
- SANITARY SEWER



ARCHITECTURAL SITE PLAN

1" = 20'-0"

0' 10' 20' 40'

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KEY WEST, FL 33040

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SHEET TITLE:

ARCHITECTURAL SITE PLAN

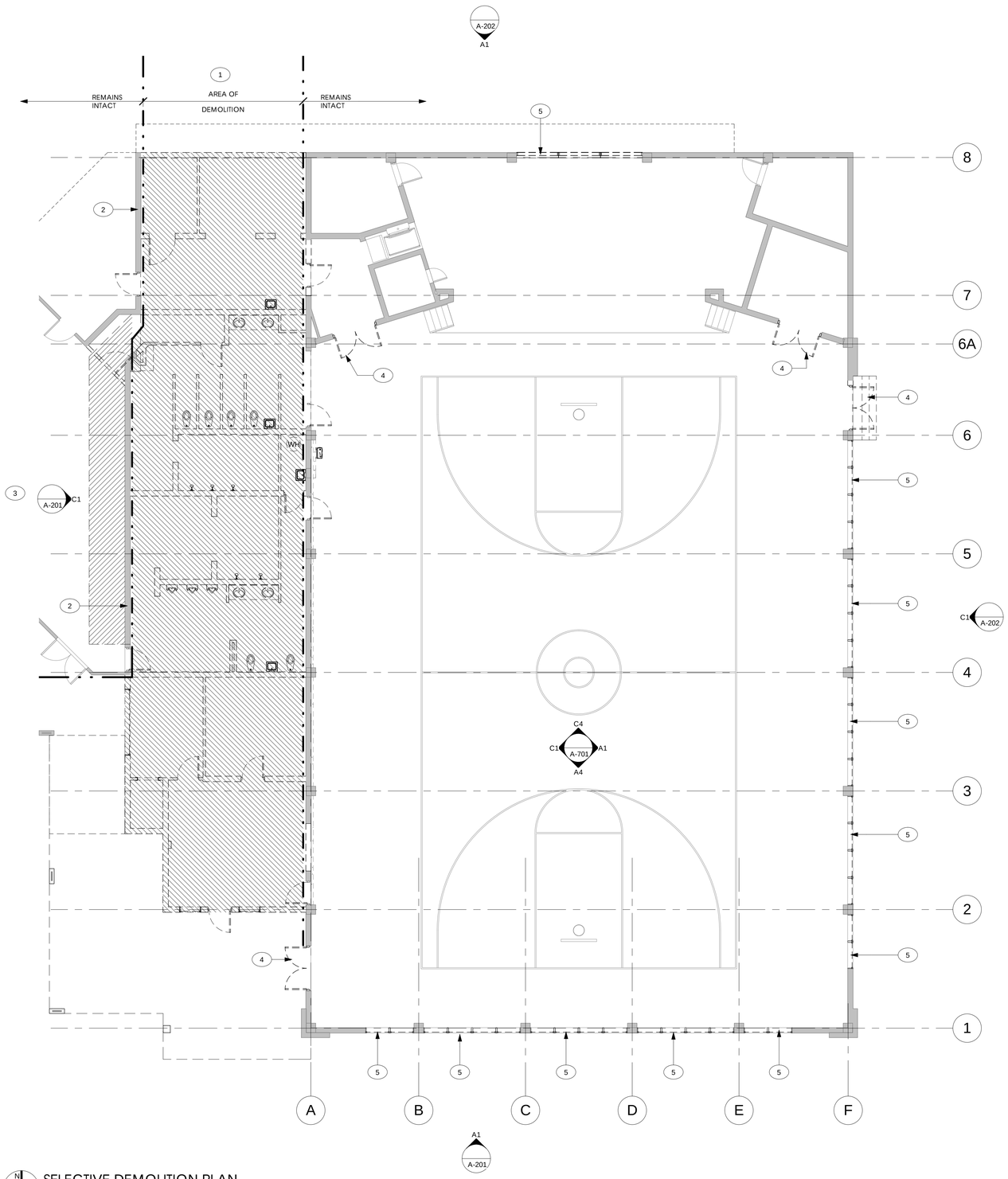
REVISIONS:

DATE ISSUED: 3/13/2015
PROJECT NO.: 12.0D01

DRAWING NUMBER:

A-001 SHEET: 16 OF 57

3/13/2015 12:00:44 PM



SELECTIVE DEMOLITION PLAN

1/8" = 1'-0"

0' 4' 8' 16'

3/2/2015 12:52:29 PM

GENERAL DEMOLITION NOTES

1. REMOVE AND DETACH ITEMS FROM EXISTING CONSTRUCTION AND LEGALLY DISPOSE OF THEM OFF-SITE, UNLESS INDICATED TO BE REMOVED AND SALVAGED OR REMOVED AND REINSTALLED.
2. REMOVE OF OR RELOCATE ALL WIRING, PLUMBING AND MECHANICAL EQUIPMENT AFFECTED BY REMOVAL OF PARTITIONS. REMOVED PIPES AND/OR LINES SHALL BE CUT TO A POINT OF CONCEALMENT BEHIND OR BELOW FINISH SURFACES AND SHALL BE PROPERLY CAPPED OR PLUGGED.

SLECTIVE DEMOLITION KEYNOTES

#

1	DEMOLISH ALL FLOORS, WALLS & ROOF IN THIS AREA UNLESS OTHERWISE NOTED
2	WALLS THAT NEED TO REMAIN INTACT
3	CANTILEVERED CONCRETE ROOF TO BE REMOVED
4	REMOVE EXISTING DOUBLE DOORS
5	REMOVE EXISTING WINDOWS

EXISTING ONE STORY BUILDING

AREA OF CONCRETE OVERHANG CANTILEVER THAT IS INTEGRAL TO ROOF STRUCTURE OF EXISTING BUILDING TO BE DEMOLISHED AND WILL HAVE TO BE REMOVED SIMULTANEOUS TO BUILDING

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KEY WEST, FL 33040

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SHEET TITLE:

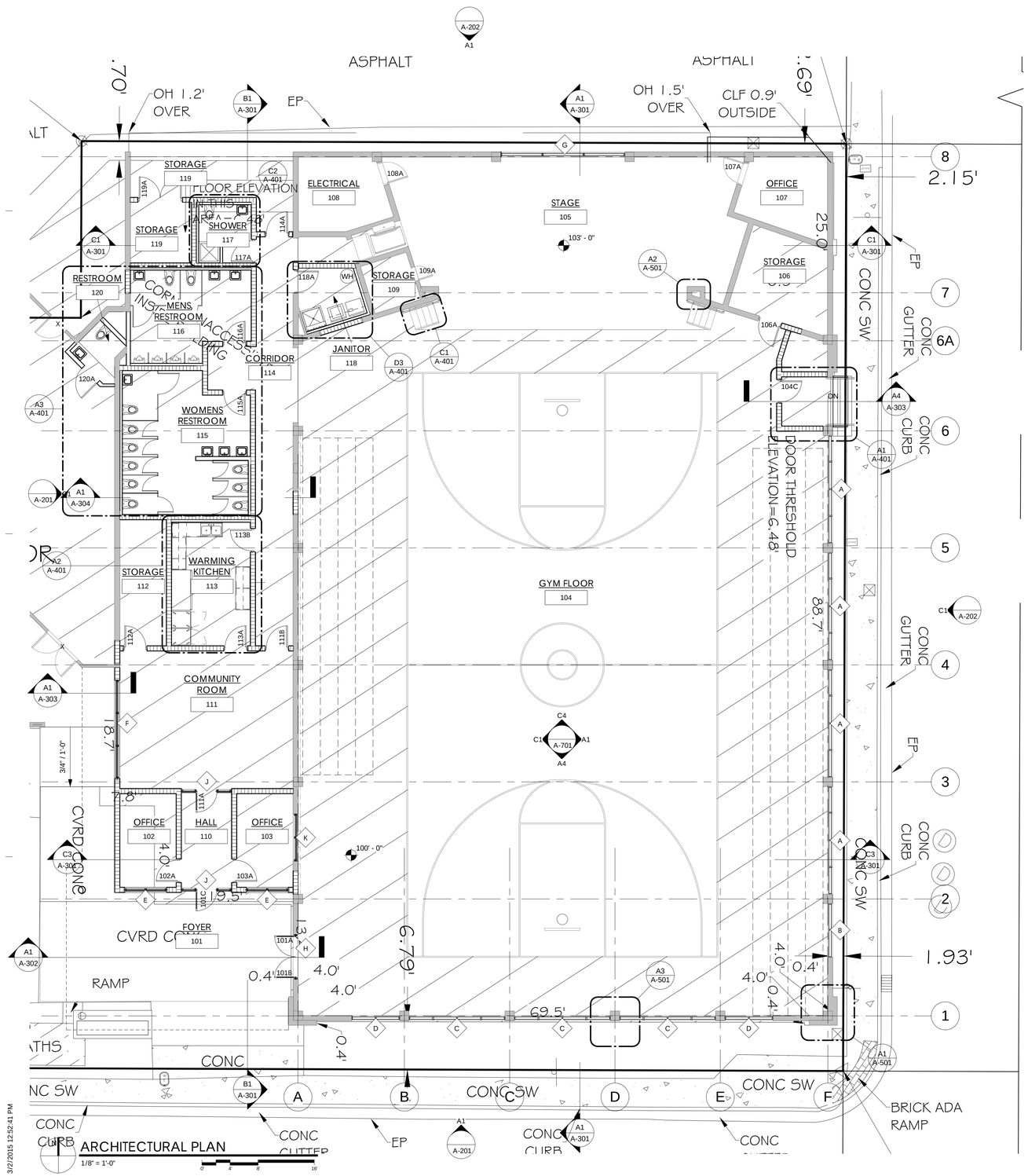
SELECTIVE DEMOLITION PLAN

REVISIONS:

DATE ISSUED: 2/27/2015
PROJECT NO.: 12.0D01

DRAWING NUMBER:

A-002 SHEET: 17 OF 57



SHEET KEYNOTES

#

GENERAL NOTES

1. REFER TO SHEETS A-501 FOR ENLARGED PLANS
2. FOR DIMENSION PLAN OF THIS LEVEL SEE A-101

ROOM FINISH SCHEDULE

ROOM NO.	NAME	FLOOR MATL	FLOOR FIN	BASE MATL	BASE FIN	NORTH MATL	NORTH FIN	EAST MATL	EAST FIN	SOUTH MATL	SOUTH FIN	WEST MATL	WEST FIN	CEILING MATL	CEILING FIN	NOTES
101	ENTRY															
101	FOYER															
102	OFFICE															
103	OFFICE															
104	GYM FLOOR															
105	STAGE															
106	STORAGE															
107	OFFICE															
108	ELECTRICAL															
109	STORAGE															
110	RESTROOM															
110	HALL															
111	COMMUNITY ROOM															
112	STORAGE															
113	WARMING KITCHEN															
114	CORRIDOR															
115	WOMENS RESTROOM															
116	MENS RESTROOM															
117	SHOWER															
118	JANITOR															
119	STORAGE															
120	RESTROOM															

MATERIAL AND FINISH CODE LIST

MATERIAL KEY	
A	CONCRETE
B	CONCRETE MASONRY UNITS
C	GYPSUM BOARD
D	CEMENT BOARD
E	CEMENT PLASTER
F	PLYWOOD DECK

FINISH KEY	
ACT-1	2' X 4' ACOUSTICAL CEILING TILE
CPT-1	CARPET
CT-1	CERAMIC TILE: 4" X 4" FIELD
CT-2	CERAMIC TILE: 6" X 6" COVE BASE
CT-3	CERAMIC TILE: 6" X 6" FIELD
P-1	PAINT
RWB-1	RESILIENT WALL BASE: BLACK
SPC-1	SPORT COURT
VCT-1	VINYL COMPOSITE TILE: 12" X 12"
WD-1	WOOD BASE

NOTES LEGEND:

1. USE MOISTURE RESISTANT GYPSUM BOARD AT ALL WET AREAS.
2. USE CEMENTITIOUS BACKER BOARD FOR TILE SUBSTRATE.

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CITY OF KEY WEST

ALTERATIONS TO

FREDERICK DOUGLASS RECREATION CENTER

111 OLIVIA STREET
KEY WEST, FL 33040

Original drawing is 24"x36". Scale accordingly if reduced.

SHEET TITLE:

ARCHITECTURAL PLAN

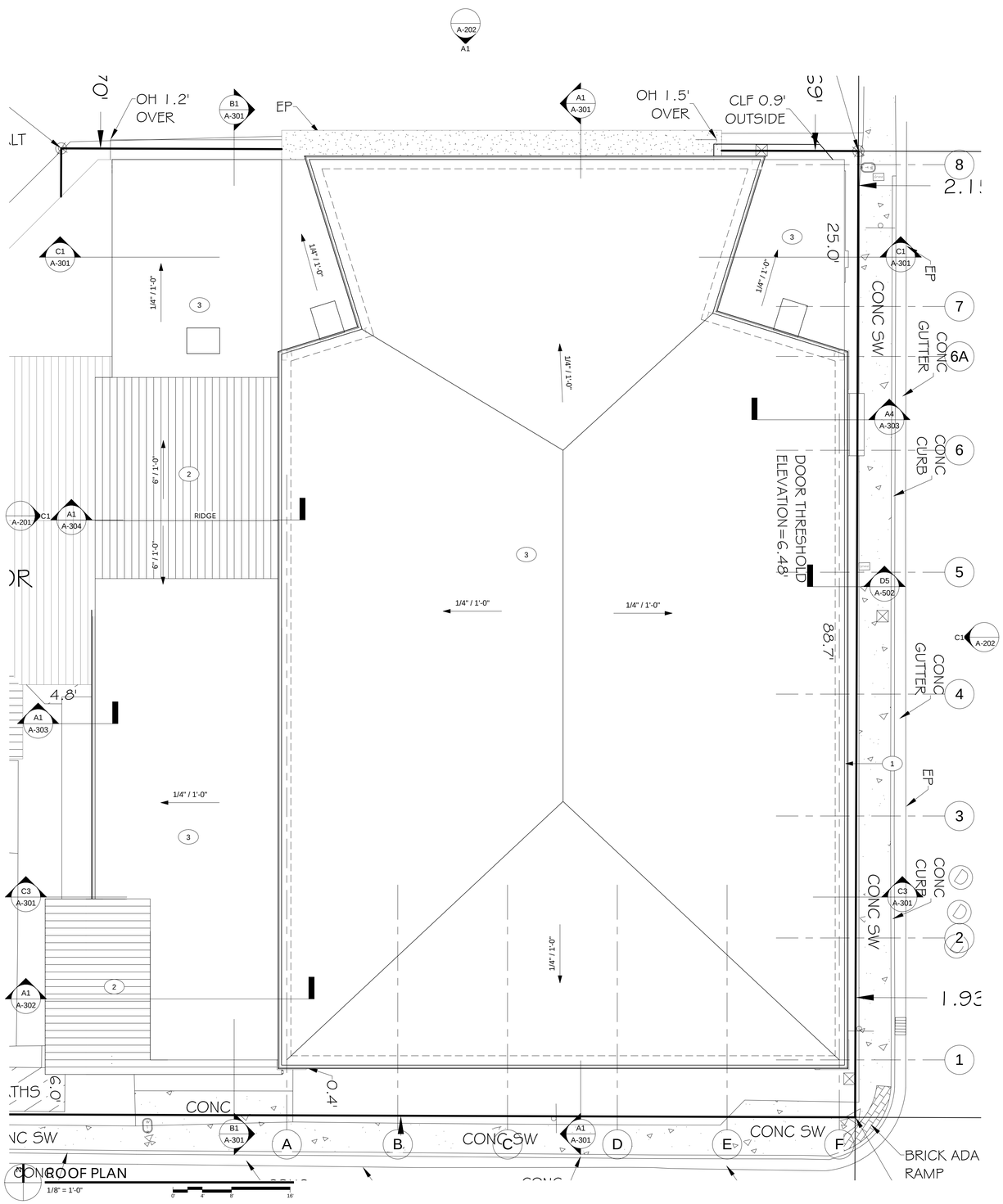
REVISIONS:

DATE ISSUED: 2/27/2015
PROJECT NO.: 12.0D01

DRAWING NUMBER:

A-102 SHEET: 20 OF 57

3/2/2015 12:52:41 PM



SHEET KEYNOTES

1	GALVANIZED ALUMINUM GUTTER
2	STANDING SEAM ALUMINUM ROOF
3	BUILT-UP ROOF

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ALTERATIONS TO

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111 OLIVIA STREET
KEY WEST, FL 33040

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SHEET TITLE:

ROOF PLAN

REVISIONS:

DATE ISSUED: 2/27/2015
PROJECT NO.: 12.0D01

DRAWING NUMBER:

A-104 SHEET: 22 OF 57

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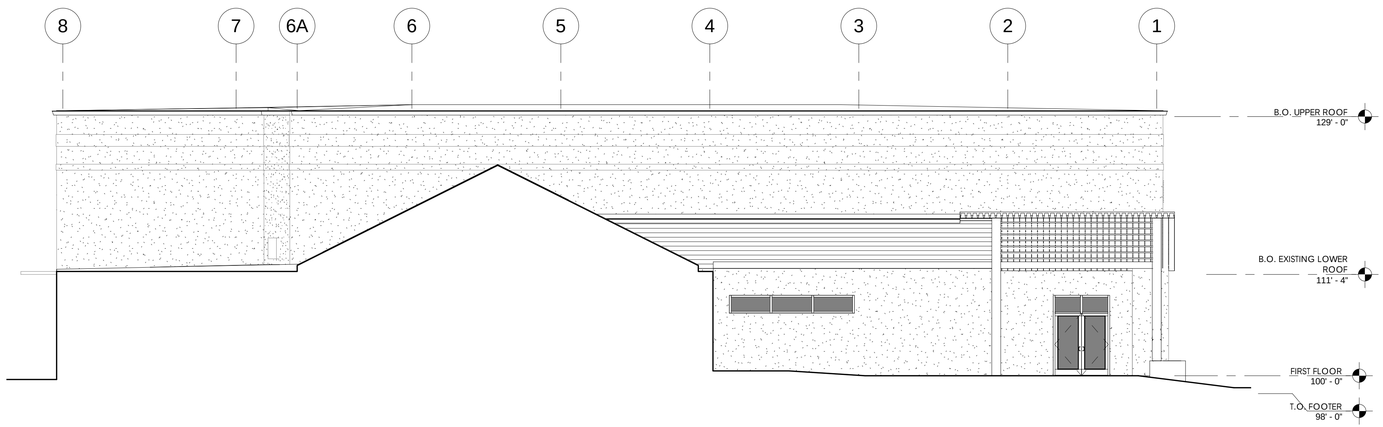
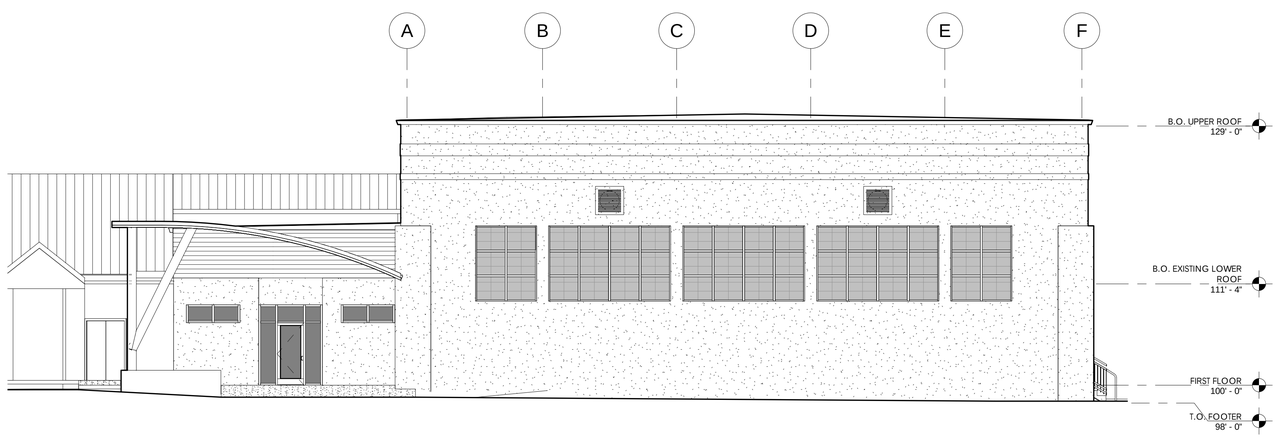


C1 WEST ELEVATION
1/8" = 1'-0"



A1 SOUTH ELEVATION
1/8" = 1'-0"

3/2/2015 12:53:28 PM

SHEET KEYNOTES

EXTERIOR FINISH MATERIALS LEGEND

1. PAINTED COMPONENTS
   - PORTLAND CEMENT PLASTER
     TBD
   - HOLLOW METAL DOORS AND FRAMES
     TBD
2. PREMANUFACTURED COMPONENTS
   - WINDOWS
     TBD
   - STORM SHUTTERS
     TBD
   - ALUMINUM GUTTERS
     TBD
   - FLOOD PANELS
     TBD

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CITY OF KEY WEST

ALTERATIONS TO

FREDERICK DOUGLASS RECREATION CENTER

111 OLIVIA STREET
KEY WEST, FL 33040

Original drawing is 24"x36". Scale accordingly if reduced.

SHEET TITLE:

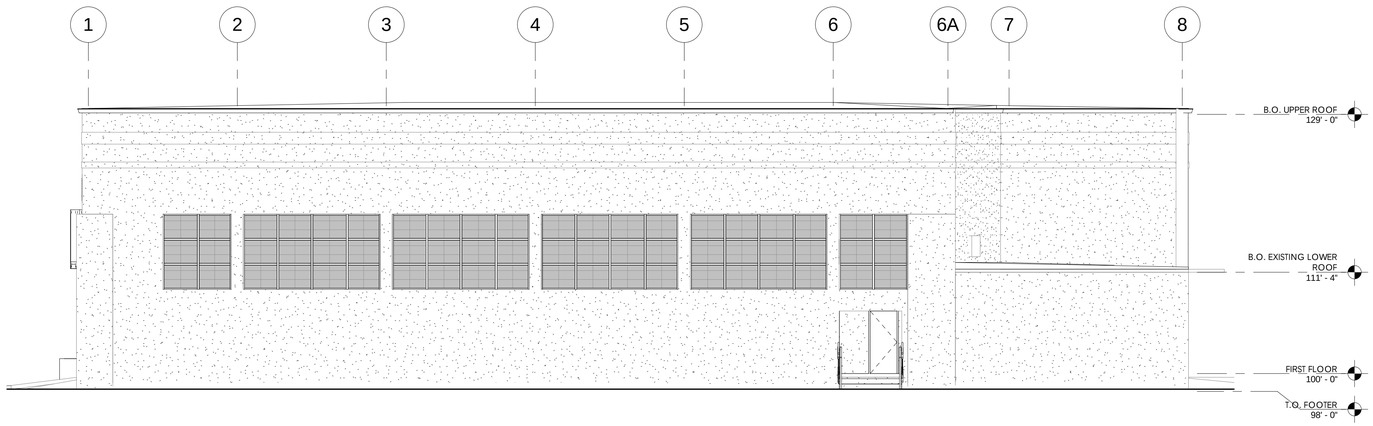
EXTERIOR ELEVATIONS

REVISIONS:

DATE ISSUED: 2/27/2015
PROJECT NO.: 12.0D01

DRAWING NUMBER:

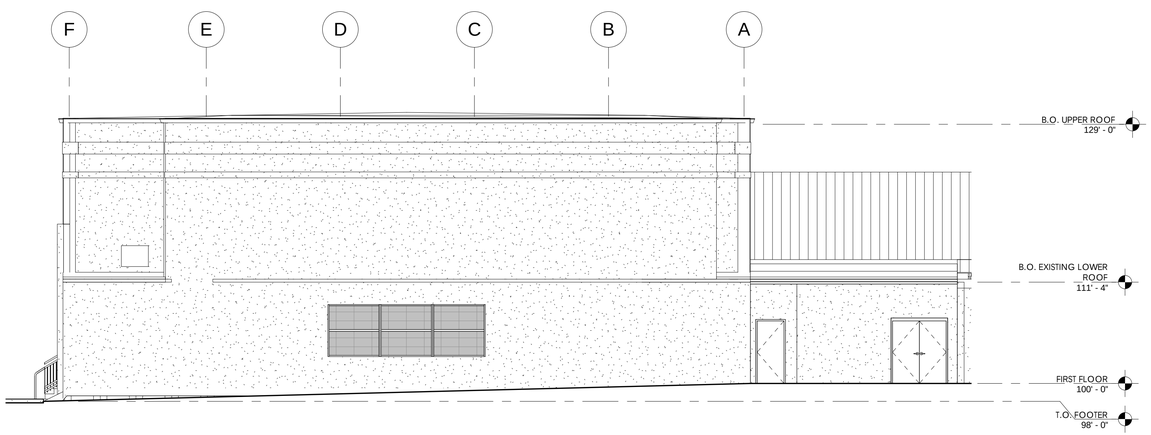
A-201 SHEET: 24 OF 57



C1 EAST ELEVATION

1/8" = 1'-0"

0' 4' 8' 16'



A1 NORTH ELEVATION

1/8" = 1'-0"

0' 4' 8' 16'

3/2/2015 12:53:32 PM

SHEET KEYNOTES

EXTERIOR FINISH MATERIALS LEGEND

1. PAINTED COMPONENTS

   PORTLAND CEMENT PLASTER
   TBD

   HOLLOW METAL DOORS AND FRAMES
   TBD

2. PREMANUFACTURED COMPONENTS

   WINDOWS
   TBD

   STORM SHUTTERS
   TBD

   ALUMINUM GUTTERS
   TBD

   FLOOD PANELS
   TBD

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CONSULTANT:

CLIENT / PROJECT NAME:

CITY OF KEY WEST

ALTERATIONS TO

FREDERICK DOUGLASS RECREATION CENTER

111 OLIVIA STREET
KEY WEST, FL 33040

Original drawing is 24"x36". Scale accordingly if reduced.

SHEET TITLE:

EXTERIOR ELEVATIONS

REVISIONS:

DATE ISSUED: 2/27/2015
PROJECT NO.: 12.0D01

DRAWING NUMBER:

A-202 SHEET: 25 OF 57

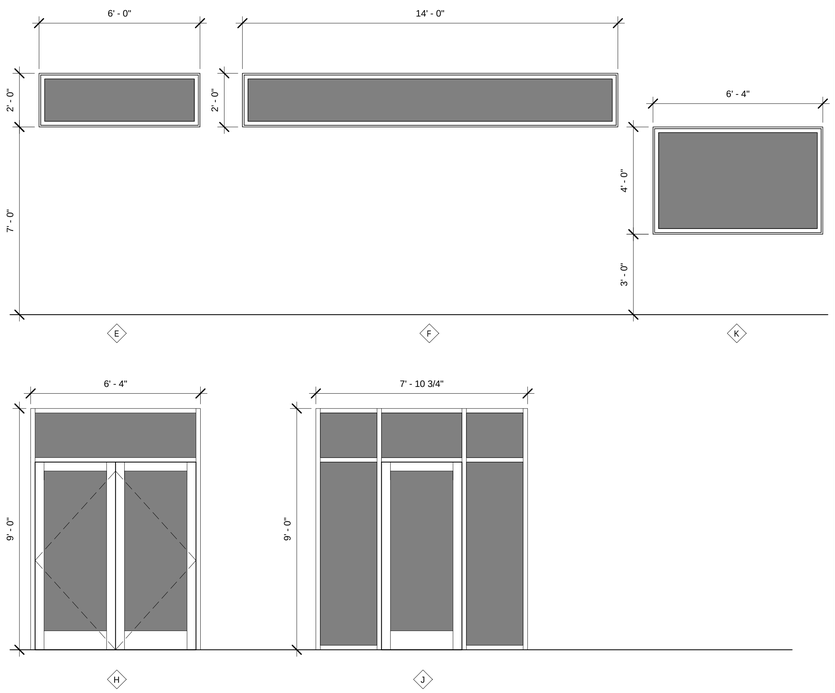
WINDOW & STOREFRONT SCHEDULE

MARK	WIDTH	HEIGHT	TYPE	MATL	FIN	GLZ	LINTEL HEIGHTS	HEAD DETAIL	JAMB DETAIL	SILL DETAIL	NOTES
A	16' - 8"	8' - 5"	TRANSLUCENT WALL SYSTEM	AL	AN	GL-1	17' - 10"	D4/A-501	C4/A-501	B4/A-501	
B	7' - 8"	8' - 5"	TRANSLUCENT WALL SYSTEM	AL	AN	GL-1	17' - 10"	D4/A-501	C4/A-501	B4/A-501	
C	15' - 0"	8' - 5"	TRANSLUCENT WALL SYSTEM	AL	AN	GL-1	17' - 10"	D4/A-501	C4/A-501	B4/A-501	
D	6' - 10"	8' - 5"	TRANSLUCENT WALL SYSTEM	AL	AN	GL-1	17' - 10"	D4/A-501	C4/A-501	B4/A-501	
E	6' - 0"	2' - 0"	STOREFRONT	AL	AN	GL-1	9' - 0"	D5/A-501	C5/A-501	A5/A-501	
F	14' - 0"	2' - 0"	STOREFRONT	AL	AN	GL-1	9' - 0"	D5/A-501	C5/A-501	A5/A-501	
G	17' - 8"	5' - 10"	TRANSLUCENT WALL SYSTEM	AL	AN	GL-1	8' - 10"	D4/A-501	C4/A-501	B4/A-501	
H	6' - 4"	9' - 0"	STOREFRONT	AL	AN	GL-1	9' - 0"	D5/A-501	C5/A-501	-	
J	7' - 10 3/4"	9' - 0"	STOREFRONT	AL	AN	GL-1	9' - 0"	D5/A-501	C5/A-501	A4/A-501	
K	6' - 8"	4' - 0"	STOREFRONT	AL	AN	GL-1	7' - 0"	D5/A-501	C5/A-501	A5/A-501	

WINDOW AND FRAME CODE LIST

MATERIAL		FINISH		GLAZING TYPE	
AL	ALUMINUM	AN	ANODIZED	GL-1	IMPACT RESISTANT

STOREFRONT ELEVATIONS



DOOR SCHEDULE

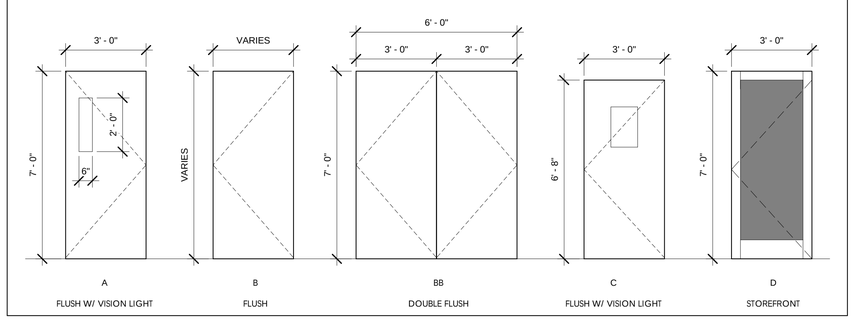
MARK	DOOR WIDTH	DOOR HEIGHT	DOOR THICKNESS	DOOR MATERIAL	DOOR FINISH	DOOR ELEV	GLZ	LOUVER W	LOUVER HT	FRAME ELEV	FRAME MATERIAL	FRAME FINISH	FRAME HEAD DETAIL	FRAME JAMB DETAIL	THRES DETAIL	FIRE RATING	HARDWARE SET NO	NOTES
101A	3' - 0"	7' - 0"		AL	AN	D	GL-1				AL	AN	D5/A-501	C5/A-501	B5/A-501			
101B	3' - 0"	7' - 0"		AL	AN	D	GL-1				AL	AN	D5/A-501	C5/A-501	B5/A-501			
101C	3' - 0"	7' - 0"		AL	AN	D	GL-1				AL	AN	D5/A-501	C5/A-501	B5/A-501			
102A	3' - 0"	7' - 0"	0' - 1 3/4"	HM	P	B				FA	HM	P	D3/A-501	C3/A-501				
103A	3' - 0"	7' - 0"	0' - 1 3/4"	HM	P	B				FA	HM	P	D3/A-501	C3/A-501				
104C	3' - 0"	7' - 0"	0' - 1 3/4"	HM	P	A	GL-1			FA	HM	P	D3/A-501	C3/A-501	B3/A-501			
106A	3' - 0"	7' - 0"	0' - 1 3/4"	HM	P	B				FA	HM	P	D3/A-501	C3/A-501				
107A	3' - 0"	6' - 8"	0' - 1 3/4"	SC	P	C	GL-2			FA	WD	P	D2/A-501	C2/A-501				EXISTING DOOR TO REMAIN
108A	3' - 0"	6' - 8"	0' - 1 3/4"	SC	P	C	GL-2			FA	WD	P	D2/A-501	C2/A-501				EXISTING DOOR TO REMAIN
109A	2' - 0"	6' - 8"	0' - 1 3/4"	SC	P	B				FA	WD	P	D1/A-501	C1/A-501				EXISTING DOOR TO REMAIN
111A	3' - 0"	7' - 0"		AL	AN	D	GL-2				AL	AN	D5/A-501	C5/A-501				
111B	3' - 0"	7' - 0"	0' - 1 3/4"	HM	P	A	GL-2			FA	HM	P	D3/A-501	C3/A-501				
112A	3' - 0"	7' - 0"	0' - 1 3/4"	HM	P	B				FA	HM	P	D3/A-501	C3/A-501				
113A	3' - 0"	7' - 0"	0' - 1 3/4"	HM	P	A	GL-2			FA	HM	P	D3/A-501	C3/A-501				
113B	3' - 0"	7' - 0"	0' - 1 3/4"	HM	P	A	GL-2			FA	HM	P	D3/A-501	C3/A-501				
114A	3' - 0"	7' - 0"	0' - 1 3/4"	HM	P	B				FA	HM	P	D3/A-501	C3/A-501	B3/A-501			
115A	3' - 0"	7' - 0"	0' - 1 3/4"	HM	P	B				FA	HM	P	D3/A-501	C3/A-501				
116A	3' - 0"	7' - 0"	0' - 1 3/4"	HM	P	B				FA	HM	P	D3/A-501	C3/A-501				
117A	3' - 0"	7' - 0"	0' - 1 3/4"	HM	P	B				FA	HM	P	D3/A-501	C3/A-501				
118A	3' - 0"	7' - 0"	0' - 1 3/4"	HM	P	B				FA	HM	P	D3/A-501	C3/A-501				
119A	6' - 0"	7' - 0"	0' - 1 3/4"	HM	P	BB				FA	HM	P	D3/A-501	C3/A-501	B3/A-501			
120A	3' - 0"	6' - 8"	0' - 1 3/4"	HM	P	B				FA	HM	P	D3/A-501	C3/A-501				REUSE EXISTING DOOR

DOOR AND FRAME CODE LIST

DOOR MATERIAL		DOOR FINISH		FRAME MATERIAL		FRAME FINISH		GLAZING TYPE	
HM	HOLLOW METAL	P	PAINTED	M	METAL	P	PAINTED	GL-1	CLEAR IMPACT RESISTANT
SC	SOLID CORE WOOD	AN	ANODIZED	WD	WOOD	AN	ANODIZED	GL-2	CLEAR TEMPERED GLASS
AL	ALUMINUM			AL	ALUMINUM				

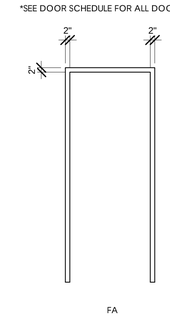
DOOR ELEVATIONS

*SEE DOOR SCHEDULE FOR ALL WIDTHS & HEIGHTS



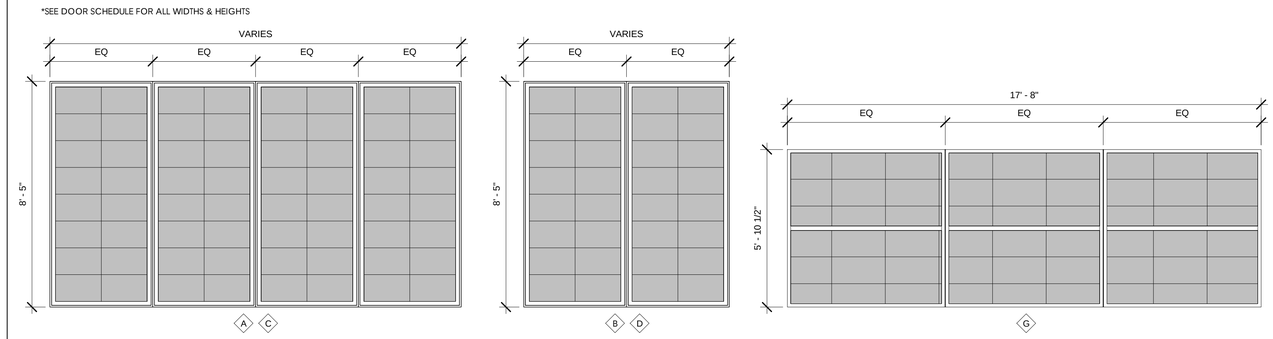
DOOR FRAME ELEVATIONS

*SEE DOOR SCHEDULE FOR ALL DOOR WIDTHS & HEIGHTS



TRANSLUCENT PANEL SYSTEM ELEVATIONS

*SEE DOOR SCHEDULE FOR ALL WIDTHS & HEIGHTS



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CONSULTANT:

CLIENT / PROJECT NAME:

CITY OF KEY WEST

ALTERATIONS TO

FREDERICK DOUGLASS RECREATION CENTER

111 OLIVIA STREET
KEY WEST, FL 33040

Original drawing is 24"x36". Scale accordingly if reduced.

SHEET TITLE:

DOOR & WINDOW SCHEDULES

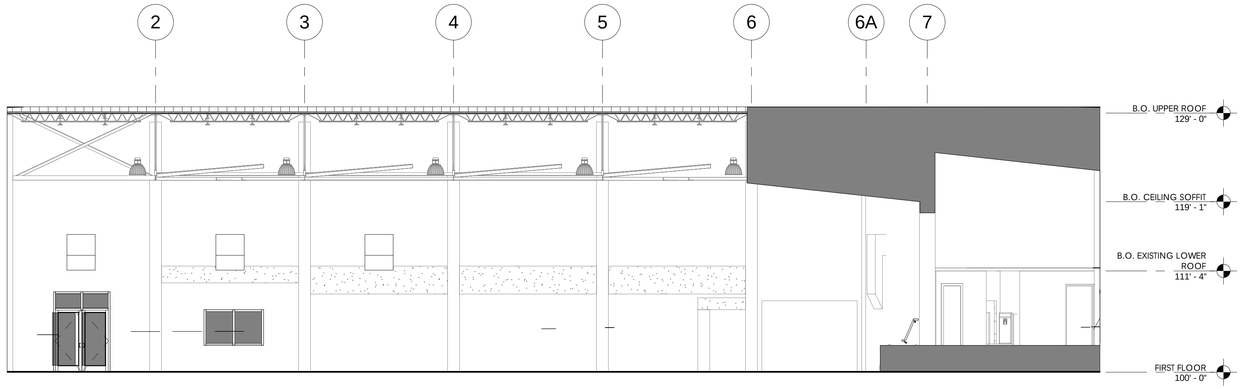
REVISIONS:

DATE ISSUED: 2/27/2015
PROJECT NO.: 12.0D01

DRAWING NUMBER:

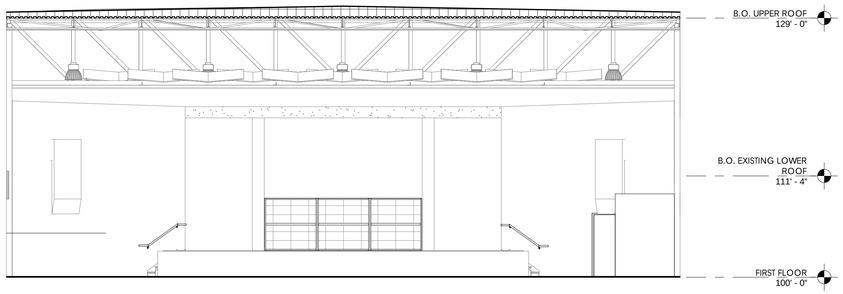
A-601

3/2/2015 12:54:21 PM



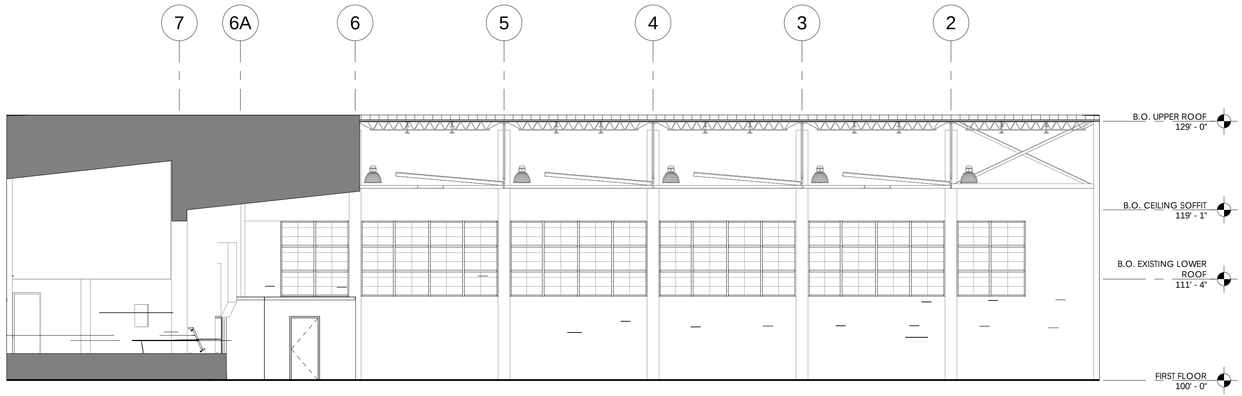
C1 INTERIOR ELEVATION - 104 WEST

1/8" = 1'-0"



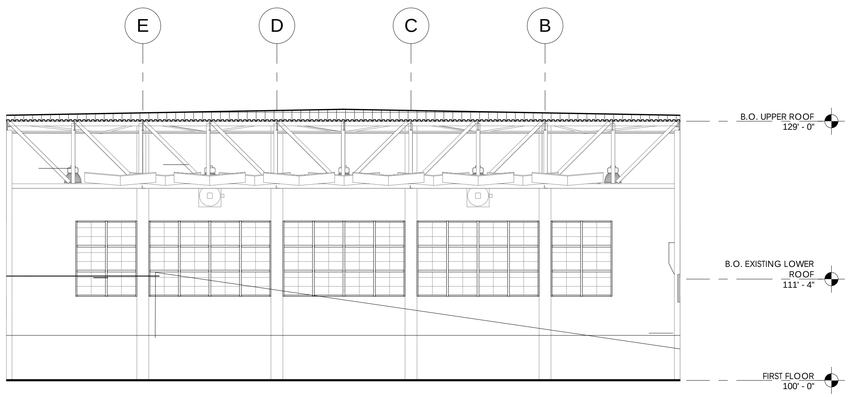
C4 INTERIOR ELEVATION - 104 NORTH

1/8" = 1'-0"



A1 INTERIOR ELEVATION - 104 EAST

1/8" = 1'-0"



A4 INTERIOR ELEVATION - 104 SOUTH

1/8" = 1'-0"

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CONSULTANT:

CLIENT / PROJECT NAME:

CITY OF KEY WEST

ALTERATIONS TO

FREDERICK DOUGLASS RECREATION CENTER

111 OLIVIA STREET
KEY WEST, FL 33040

Original drawing is 24"x36". Scale accordingly if reduced.

SHEET TITLE:

INTERIOR ELEVATIONS

REVISIONS:

DATE ISSUED: 2/27/2015
PROJECT NO.: 12.0D01

DRAWING NUMBER:

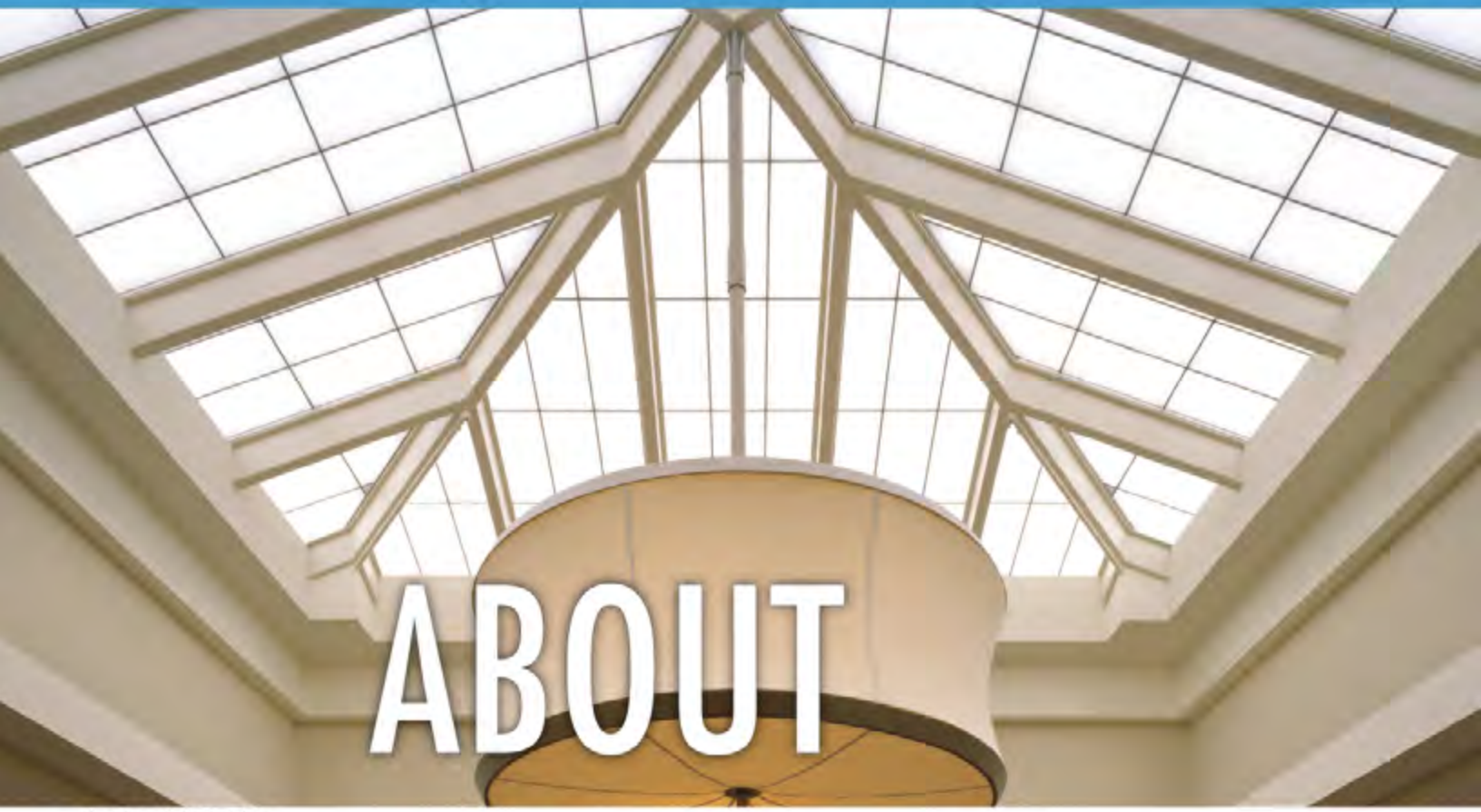
A-701 SHEET: 35 OF 57

CREATING ENVIRONMENTS WHERE PEOPLE CAN SHINE™

MAJOR INDUSTRIES

GUARDIAN 275®

TRANSLUCENT SKYLIGHTS AND WALL SYSTEMS



Office Facility, Hartford, CT, CHK Architects

MAJOR INDUSTRIES, INC.

Major Industries engineers and manufactures custom skylights and translucent wall systems that fit your needs—and your budget.

With more than three decades of experience, we know that architects, designers and owners are looking for tough, dependable and cost-effective daylighting systems, and we've created a wide range of solutions to fit every need—all backed by industry-best warranties and an excellent on-time delivery record.

Your decision to use Major Industries is a sign of trust we take seriously, and we're committed to working with you to create the optimal system for your next project. Our sales team will help you determine which daylighting solution is right for the space you're designing, and our in-house structural engineering capabilities help you conquer the toughest design challenges. From light-controlling translucent panel systems that eliminate glare and block damaging UV to glass skylights and unique mixed glazed systems, we provide reliable daylighting solutions that let natural light in while keeping the elements out. Visit www.majorskylights.com for more information on our full line of daylighting solutions.

Multi-Agency State Office Building, Salt Lake City, UT, VCBO Architecture

Lambert Int. Airport, St. Louis, MO, Burns & McDonnell

Aurora Medical Center, Hartford, WI, Excel Engineering

Let Major Industries make your daylighting vision a reality.

Watha T. Daniel – Shaw Library, Washington DC, Davis Brody Bond Aedas

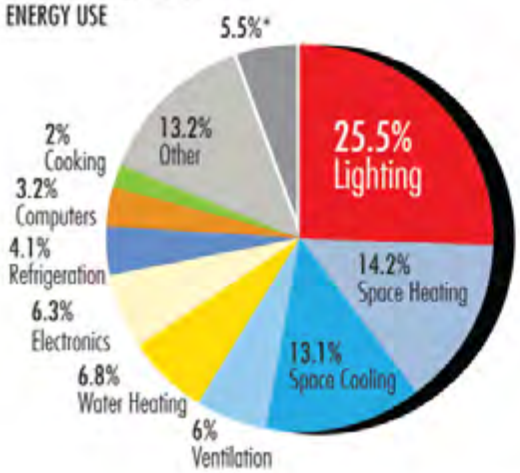
BEAUTY AND BENEFITS OF DAYLIGHTING

Natural light is a key ingredient in building design, and for good reason. Studies show that natural light positively impacts a variety of spaces, including schools, commercial spaces, manufacturing settings and even retail environments. When daylighting is implemented, retail sales have been shown to increase, and worker productivity has been shown to improve significantly in manufacturing settings. Educators have long known that access to natural light can improve student test scores, long-term retention, and concentration – plus it gives everyone a more comfortable place to teach and learn.

While utilizing natural light can have economic benefits, choosing the right daylighting system for a space is also an important consideration. Studies show that too much uncontrolled light can have a negative effect and cause eye strain. Guardian 275® translucent systems allow for controlled natural light to illuminate interior spaces – while eliminating glare and hot spots that can be a distraction, especially in areas where building occupants are working with computer screens, cell phones and other electronic devices.

Daylighting also has a significant impact on the environment. Utilizing natural light reduces the need for power-hungry artificial light sources – which can make up more than 25% of a commercial building's energy use – thereby reducing the building's overall energy use. HVAC systems can also be positively affected by translucent panel systems as they offer a variety of insulation options that provide low U-factors and significantly reduced solar heat gain.

COMMERCIAL BUILDING ENERGY USE



*5.5% misc.–used to reconcile two divergent data source
Data courtesy of the Department of Energy's
Office of Energy Efficiency and Renewable Energy.

Daylighting reduces the consumption of energy while improving human performance.

IPFW Hilliard Gates Center, Ft. Wayne, IN
– RSA Office Structures

TRANSLUCENT PANEL DAYLIGHTING

Guardian 275® translucent panel daylighting systems are a unique combination of high-performance materials, and offer a versatile and energy-saving option for wall systems, skylights and canopies. Their sandwich panel construction consists of an aluminum grid core and two fiberglass reinforced polymer (FRP) face sheets. TThese sheets allow light to pass through while eliminating glare and blocking harmful UV rays. Our Ultimate Series™ FRP face sheet goes beyond industry standards by incorporating an enhanced SunStrong™ PRS resin system that withstands wide temperature fluctuations, acid rain, smog, and seismic vibration up to your specified structural limit without cracking, crazing, or shattering.

Ultimate Series™ FRP face sheet, created in cooperation with Crane Composites, the world's largest manufacturer of architectural fiberglass, also offers:

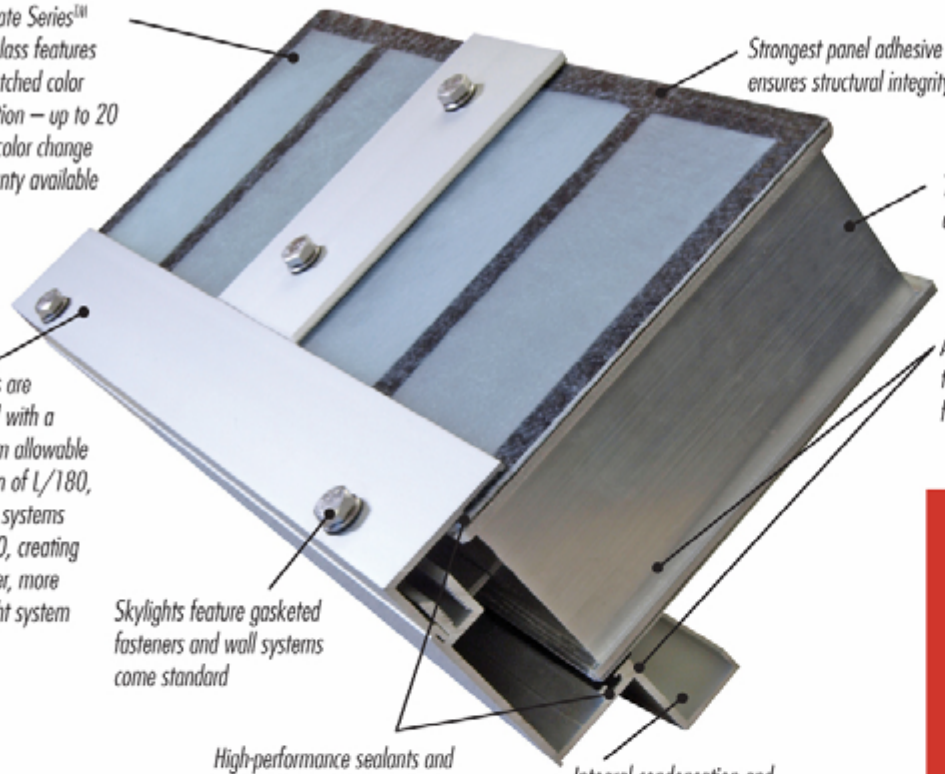
- Longer lasting exterior FRP – available industry-best 20 year color change warranty
- Erosion veil for extreme environments – backed by a standard 25 year fiberbloom warranty

Cuyahoga Community College, Parma, OH, Robert Maschke Architects

Intermodal Facility, Wilkes-Barre, PA, Pennoni Associates

U. of MT. Payne Family Native American Center, Missoula, MT, A&F Architects

...a unique combination of high-performance materials...



MAJOR DIFFERENCES

How does Major stack up to the competition? Besides our Ultimate Series™ face sheet technology, Guardian 275® translucent panel systems also carry some unique features, including standard built-in water management and high-performance gasketing. All Guardian 275® daylighting systems come standard with internal gutters and weep holes in both the framing and the panels, allowing condensation and other moisture that may get into the building to escape to the exterior. EPDM gasketing and high-performance sealants also help eliminate leaks, and skylights designed with a maximum allowable deflection of L/180 – and wall systems to L/120 – creating a stronger and more watertight system.

Major Industries also provides a standard fastener cover for its wall systems, creating a clean and fastener-free look.

Our finishing partners, including the country's largest independent high-performance architectural metals finishing company, offer everything from advanced, industry-leading Kynar® to eco-friendly anodize finishes. We also offer a unique Trim Tones™ option - color-coordinated trim that adds a splash of vibrant color to accent your design.

Contact us today for more information about specific finishing details and custom options.

FEATURES AND BENEFITS:

- Skylights designed with a maximum allowable deflection of L/180 – and wall systems to L/120 – creating a stronger and more watertight system
- Ultimate Series™ FRP face sheet for extended performance, weather resistance and UV protection
- EPDM gasketing and high-performance sealants provide extra protection against water and air infiltration
- Standard 2-3/4" panels are available up to 5' x 16' (1-1/2" panels also available – 1" and 4" panels available for wall systems)
- Grid layouts include In-line Shoji, Staggered Shoji, and Tuckerman patterns (see page 13 for illustration), in sizes from 6"x 6" up to 12"x 24" (Verti-Lite™ grid pattern available for wall systems)
- Energy-saving translucent insulation and thermal breaks can be added to enhance performance
- Available sheet colors – White, Crystal, Ice Blue, Aqua, Tan and Desert Rose – modify appearance and exterior effect (see Design Flex section for color samples)
- Full range of long-lasting AAMA 2604/2605 Kynar® coatings or more budget-minded AAMA 611 anodize finishes
- Quick Ship™ pre-engineered standard sizes for reduced lead times and fast turnaround
- Industry-best warranties – 25 year fiberbloom and up to 20 year color change

…Guardian 275® translucent panel systems go beyond 'standard'…

WALL SYSTEMS

Wathia T. Daniel – Shaw Library, Washington DC, Davis Brody Bond Aedas

REDEFINED

From new construction to retrofit applications, Guardian 275® wall systems are a dependable and cost-effective way to bring glare-free natural light into any space. They're engineered and built to be long-lasting, lightweight, structurally strong and energy efficient.

Guardian 275® wall systems virtually eliminate UV damage, reduce HVAC loads, and provide energy savings by reducing the need for continuous artificial lighting. They are also designed for rapid and secure installation, with standard fastener covers for a clean, uncluttered look. As in our skylight and Trans*CURVE*™ systems, the combination of EPDM gasketing and integral guttering provide worry-free daylighting.

Major's Guardian 275® wall systems are perfect for new and retrofit applications, as mixed glazing adapters allow for easy window integration while our Translucent Adapter Panel configuration lets you install our 2.75" system into standard 1" curtainwall framing.

Maryland Walk Condominiums, St. Louis, MO – Saur and Associates

Ivy Tech Community College, Ft. Wayne, IN, MSKTD Architects

UAF Marketing and Communications Photo by Todd Paris) UAF-Tanana Valley, Fairbanks, AK, Design Alaska Inc

Wall systems engineered to be long-lasting, light weight…

FEATURES AND BENEFITS:

- Framing is designed for rapid and secure installation, keeping panels in place without visible fasteners
- Standard 2-3/4" panels are available up to 5' x 16' (1 1/2" and 4" panels also available)
- A variety of grid patterns are available, in sizes from 6" x 6" up to 12" x 24" (see page 13 for illustration)
- Insulation and thermally enhanced framing and panel options available
- Mixed glazed systems available – combining translucent panels with operable or fixed windows
- Industry-best warranties – 25 year fiberbloom and up to 20 year color change
- Translucent Adapter Panel™ (TAP) converts 2.75" panels into standard 1" framing for retrofit applications
- Hurricane and blast protection configurations available
- Built-in water management

. . . structurally sound and energy efficient.

Vetro Condominiums, Chicago, IL. Fujikawa Johnson Gribel

Hargrave High School, Huffman, TX, PBK Architects

BETTER BY DESIGN

Skylights are one of the most versatile and economic daylighting options available, and they're made even more purposeful when you utilize a Guardian 275® translucent panel system.

Guardian 275® skylights take daylighting to a new level. Their lightweight design allows for nearly unlimited design versatility, and their built-in light control eliminates glare and hot spots that are common with standard glass skylights, all while also eliminating damaging UV. If thermal performance is key, Guardian 275® systems can be configured with a number of different insulation options, as well as thermally enhanced framing and grid core.

From simple and economical to large and complex, Guardian 275® skylights are a cost-effective and field-proven solution. Whether it's a complex polygon or a custom grid pattern, Major Industries will work with you to create the best skylight for your needs.

DeAnza College, Cupertino, CA, tBP Architecture

550 Moreland Way, Santa Clara, CA, Jon Warden Architects

Liestman Elementary, Houston, TX, RWS Architects

Guardian 275® eliminates glare and hot spots…

FEATURES AND BENEFITS:

- Numerous configurations available–Ridges, Pyramids, Single Slopes, Polygons and Barrel Vaults
- Light weight allows for greater design flexibility
- Eliminates hot-spots and glare that are common with traditional glass skylights
- Standard 2-3/4" panels are available up to 5' x 16'
- A variety of grid patterns are available, in sizes from 6" x 6" up to 12" x 24" (see page 13 for illustration)
- Insulation and thermally enhanced framing and panel options available
- Mixed glazed systems available – combining translucent panels with glass glazing
- Industry-best warranties – 25 year fiberbloom and up to 20 year color change
- Built-in water management

. . . that are common with standard glass skylights

Cuyahoga Community College, Parma, OH, Robert Maschke Architects

CURVED SYSTEMS

Trans*CURVE*™ systems are an eye-catching curved version of our Guardian 275® translucent panels, and provide exceptional strength and glare-free daylighting that adds a distinctive design element to skylights, wall systems and canopies.

In wall applications, Trans*CURVE*™ adds design emphasis to corners, alcoves and also provides a unique alternative to standard interior partitions. Skylights designed with Trans*CURVE*™ panels are self-supporting in many applications – larger spans are achievable with multiple panels and suitable structural support. For additional thermal performance, Trans*CURVE*™ systems offer a variety of insulation options.

While the striking appearance of our Trans*CURVE*™ system enhances design freedom, it also offers building occupants UV protection and high-quality, controlled natural light. Guardian 275® systems also eliminate the need for costly interior or exterior shading devices.

Rose State College, Midwest City, OK, Benham Group

Gateway Medical, Flint, MI, Asselin & Associates

Maryland Walk Condominiums, St. Louis, MO – Saur and Associates

*Trans*CURVE*™ offers a striking appearence…*

FEATURES AND BENEFITS:

- Available for both wall panel and skylight applications for ultimate design flexibility
- No "hot spots" or glare – controlled natural light
- Low rise or half-round designs available
- Maximum grid size is 12"x 24" in both 4'- 0" wide and 5'- 0" wide panels
- Standard Trans*CURVE*™ panels have a maximum panel width of 5' 0" and length of 14' 0" for added versatility
- Larger spans require multiple panels and smaller grid configurations – contact us for details and requirements
- Minimum panel radius in any application is 4'- 0"
- Energy-saving insulation can be added to control heat loss and heat gain
- Industry-best warranties – 25 year fiberbloom and up to 20 year color change
- Built-in water management

. . . and unmatched design flexibility.

Gen Probe Phase II, San Diego, CA. Smith Consulting Architects

Children's Hospital, Wauwatosa, WI, Shepley, Bulfinch, Richardson and Abbott

OUR VERSATILITY IS EVERY BIT AS IMPRESSIVE AS OUR PERFORMANCE

Guardian 275® is a versatile, visually dynamic daylighting solution. No matter what your application, it delivers soft, controlled light to virtually any interior space as well as durable drama to any exterior.

Guardian 275® is available in a variety of specialty configurations, and can be custom-made to conquer whatever challenges your next project might bring. From our vast array of color and finish options to removable systems and integrated operable windows, Major's ability to flex with your design needs is just one of the many reasons to choose a Guardian 275® system for your next project.

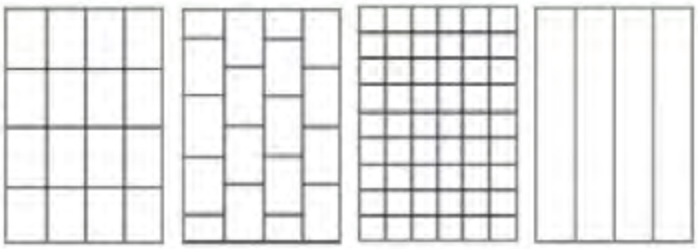
If you don't see a solution to your daylighting needs here, please contact us at 888-759-2678 for additional information on our full line of translucent panel systems – including LightBasic™ and Clima-Tite™. Additional information on Guardian 275® and all of the specialty applications shown here can be found at www.majorskylights.com.

Nash MRI Facility, Rocky Mount, NC, Wilkerson Associates Architects

Intermodal Facility, Wilkes-Barre, PA, Pennoni Associates

Chart Industries, LaCrosse, WI, Fowler & Hammar, Inc.

Built to perform in the elements and beautiful enough to feature indoors, our panels enhance…



In-Line Shoji | Staggered Shoji | Tuckerman | Verti-Lite™

Available for wall systems

Grid Patterns and Sheet Colors

Guardian 275® panels are the ultimate in flexibility. Guardian 275® systems are available in three standard grid patterns (In-line Shoji, Staggered Shoji, and Tuckerman) while wall systems can also be designed with our Verti-Lite™ grid pattern (see illustrations). A variety of exterior sheet colors (Crystal, White, Ice Blue, Aqua, Tan and Desert Rose) are also available. Custom grid patterns also available.

Nighttime Illumination

The night sky becomes the perfect backdrop for the soft, illuminated glow of a back-lit Guardian 275® panel. This distinctive design element allows for the highlighting of logos or signage and adds unique visual impact.

Jim Kryshak Jewelers, Wausau, WI, Structural Systems of Wausau

Blast Protection

After going through the most punishing blast tests in the translucent daylighting industry (up to 10psi with an applied impulse of 90 psi-msec), Guardian 275® systems met or exceeded the following anti-terrorism performance requirements:

- Department of Defense (DoD) - UFC 4-010-01 and ISC Security Design Criteria Level C loading
- US General Services Administration (GSA) – Condition "1", Hazard Level "None"
- ASTM F1642-04 - Glazing and Glazing Systems Subject to Airblast Loading
- AAMA 510-06 - Blast Hazard Mitigation for Fenestration Systems

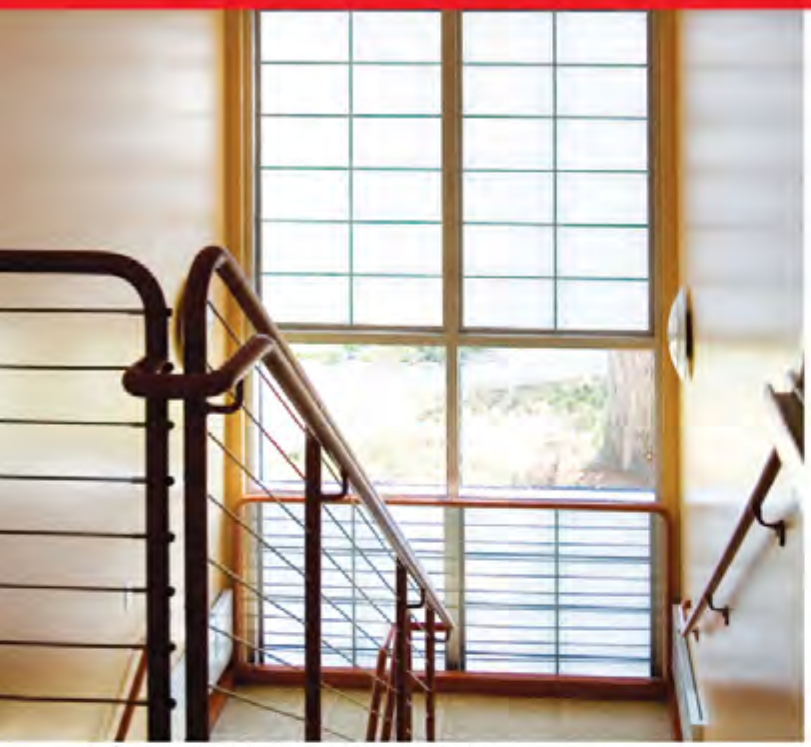
Guardian 275® wall panels can also be fitted with third-party certified fasteners that "relieve" sudden pressure surges by releasing the panels before structural damage occurs. Stainless steel safety lanyards keep the panels attached to the framing, minimizing the risk to people and property.

For more information, as well as high-speed video of the blast testing, visit www.majorskylights.com.

International Fire Ratings

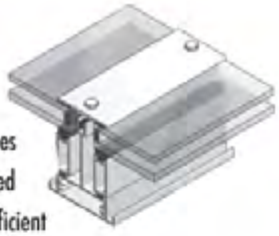
Guardian 275® systems are available with high performance FRP face sheet manufactured to meet the world's toughest fire codes. If your project requires fire testing to meet EU, Pacific Asian or the Americas, Major has a product capable of meeting the challenge.

...office/conference room walls, entryways, walkways, lobbies and storefronts.



U. of MT, Payne Family Native American Center, Missoula, MT, A&F Architects

Incorporating Multiple Glazings



Guardian 275® panels can be used with a wide range of commercial window systems. Our 1305 adapter accommodates all types of 2" to 2.75" windows and louvers. Our 1299 mixed glazing adapter allows for seamless integration of energy-efficient Guardian 275® panels with 1" glass or 25mm polycarbonate multi-wall. Contact us for more information and details.

Removable Skylights

Guardian 275® skylights can be configured with lifting hooks for drop-on installation or future building access (available in stainless steel for long-term durability). Mixed glazing packages are also available, and combine energy efficient Guardian 275® panels in a truncated pyramid base and a removable top section using clear or colored glazing panels. Typical building applications include hospital MRI centers, water treatment plants and industrial daylighting over large machines.

Jodo Shinshu Center, Berkeley, CA, Hayashida Architects

Living Word Church, Manhattan, KS, Bruce McMillan, AIA, PA

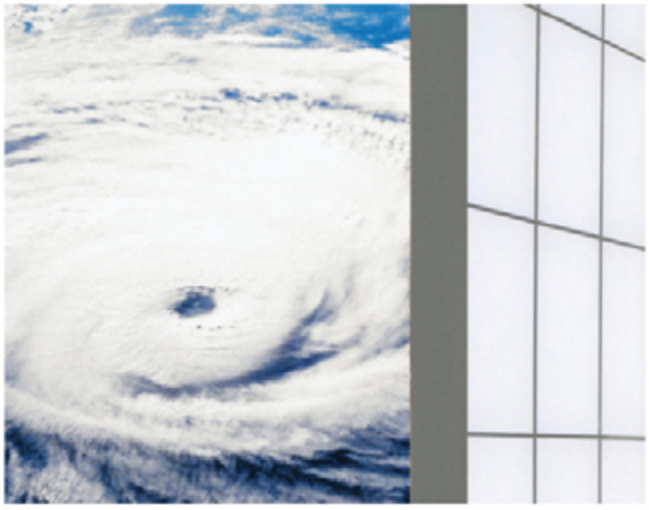
Spectra-Grid™

Our translucent insulation can be custom-colored to create dynamic visual impact or a subtle stained-glass look – it's the perfect low-cost color solution for churches, restaurants and schools.

The Guardian 275® delivers a higher level of versatility and performance...

Renovate Existing Windows/Storefronts

Guardian 275® Translucent Adapter Panels are specially designed to allow a 2.75" panel to fit industry standard 1" glazing pockets. We also manufacture 1" daylighting panels that provide quality natural light with greater energy efficiency and enhanced security over traditional insulated glass.



Hurricane Systems

Guardian 275® hurricane systems can be safely used in 95% of the hurricane zones in North America, including most Florida counties and the Texas gulf coast, and are configured to withstand winds up to 140 miles per hour. Extensive impact testing in conformance with ASTM E1886 and ASTM E1996 proves the margin of safety.

Guardian 275® Performance

Guardian 275® translucent systems have passed the rigorous testing required to meet standards set by Underwriters Laboratories (UL), the International Code Council (Legacy Report Listing PFC-5620), and have also been certified by the National Fenestration Rating Council (NFRC). Current NFRC testing evaluates fenestration as a complete system, including the glazing and framing. NFRC certified system values can be found at www. nfrc.org and are easily matched to common Guardian 275® skylight and wall configurations.

Listed below are just some of the tests conducted to verify Guardian 275® system performance. For more detailed information, plus a downloadable test report, please visit www.majorskylights.com/technical/.

PROPERTY	TEST METHOD
Air / Water Infiltration	ASTM E283 / E331
Anti-terrorism / Blast	UFC 4-010-01/ ISC Level C / GSA TS01-2003 Condition "1", Hazard Level "None" / ASTM F1642-04 / AAMA 510-06
Average Burn Rate	ASTM D635
Barcol Hardness	ASTM D2583
Bond Strength – Tensile / Shear	ASTM C297 / ASTM D1002
Building Code Classification	ASTM D635 / CC1, CC2
Certified System U-Values	NFRC 100-2010
Class "A" Skylight System	ASTM E108
Coefficient of Linear Expansion	ASTM D696
Concentrated Load Test	ASTM E661
Condensation Resistance Factor	AAMA 1503.1
Finishes	Kynar® (AAMA 2604 / 2605), Class I/II anodized (AAMA 611)
Flame Spread & Smoke Development	ASTM E84 / ASTM D635
Flash / Spontaneous Ignition Temperature	ASTM D1929
Flexural Strength / Modulus	ASTM D790
Hurricane Resistance	ASTM E1886/E1996
ICC-ES Evaluation Report	PFC-5620
Impact Resistance	ASTM D3841 (high-impact sheet available)
Impact Strength	UL972
IZOD Impact	ASTM D256
Solar Heat Gain	NFRC 201
Taber Abrasion	ASTM D4060
Tensile Strength / Modulus	ASTM D638
Thermal Conductivity	ASTM C518-98
Visible Light Transmittance	ASTM E972
Weatherability	ASTM D2244

Test standards and results may change with periodic procedure changes and product updates.

the integration of color, mixed glazing substrates and the ability to withstand 140 mph winds.

GUARDIAN 275®
QUICK SHIP™ SKYLIGHTS
ARE PRE-ENGINEERED FOR MANY COMMON DAYLIGHTING APPLICATIONS

- Pricing within 1 business day
- 50% shorter lead times on standard size and finish options
- Pyramid sizes between 4' and 10'
- Pyramid slope dimensions of 18.5°, 26.5° and 30°
- Single slope dimensions of 4' and 5' upslope and widths of 4' to 12'
- Standard finishes: Bone White 50% Kynar®, Dark Bronze Anodize, and Clear Anodize
- Ready-to-install option available

If you have questions about our Quick Ship™ line, please call us toll-free at 888-759-2678.

www.majorskylights.com/products/quickship/

EASY ONLINE QUOTE REQUESTS

Simply visit www.majorskylights.com/contact/quote/, choose the pyramid or single slope option, and fill in the electronic form – it's that easy!

CONTINUING EDUCATION AIA

Major Industries provides nationwide continuing education to Architects with its certified "box lunch" training sessions.

MAJOR INDUSTRIES

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UL

NFRC National Fenestration Rating Council CERTIFIED

Warnock Hersey WH

ICC-ES LEGACY REPORT PFC-5620

energy ENERGY STAR PARTNER

Major Industries, Inc. reserves the right to improve products without notice as the result of ongoing R&D and/or third-party compliance. SunStrong™ PRS is used by permission of Crane Composites®

GUARDIAN 275®
PERFORMANCE DATA

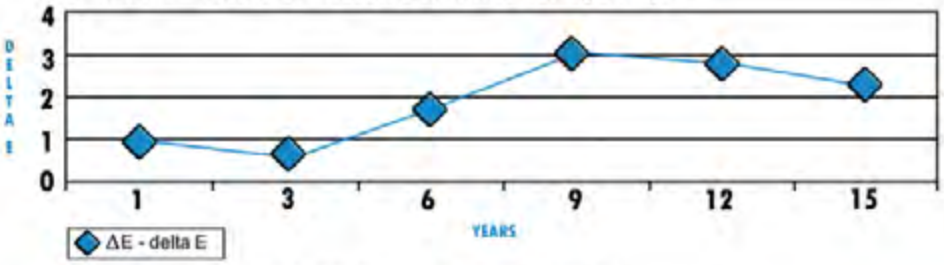
Ultimate Series™ Face Sheet Technology Offers Unmatched Performance

Ultimate Series™ exterior face sheets have been put through rigorous testing and offer the best weathering performance ever seen in the daylighting industry – backed by a 25 year fiberbloom warranty and available 20 year color change warranty.

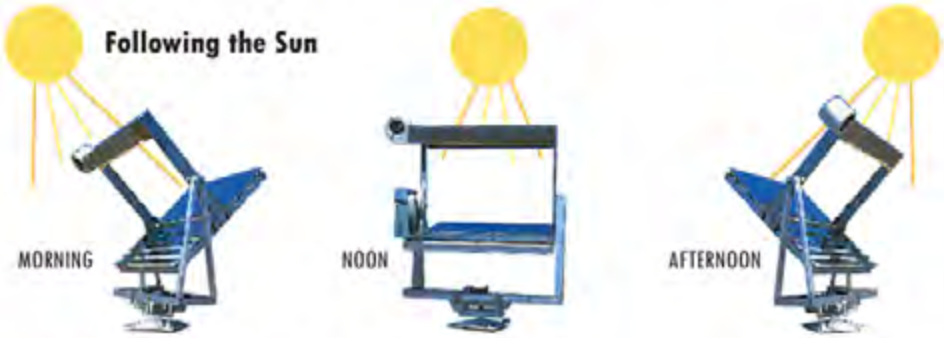
Forget "yellowing" stories of the past – this break- through SunStrong™ PRS resin system and post-applied polymer coating combination is the best long-term solution for achieving high quality, energy-efficient diffused natural daylighting.

Don't take our word for it... the numbers speak for themselves!

Uncoated Ultimate Series™ White - 15 Year Accelerated Color Change Testing*



* Equivalent to 126,000 megajoules of full sunlight - Q-Lab Arizona, accelerated "Florida weathering"



Certified Testing - Accelerated Exposures

Face sheet color stability is tested using Q-Lab and their Q-Trac system. The Q-Trac is an accelerated outdoor weathering tester that uses a series of 10 mirrors to reflect and concentrate full spectrum sunlight and automatically tracks the Arizona sun throughout the day. This solar concentrating system maximizes the amount of sunlight exposure that a material receives - equating to an average of 5 times more UV than typical outdoor Florida testing. To Q-Trac also has a water spray system that simulates "Florida weathering" and thermal shock.

Our beauty is more than "skin deep"... certified third-party deflection testing confirms that Major Industries provides the strongest standard framing system at no extra charge. Don't settle for less!

MAJOR INDUSTRIES, INC., 7120 STEWART AVE, WAUSAU, WI. 54401
888-759-2678, INFO@MAJORSKYLIGHTS.COM, WWW.MAJORSKYLIGHTS.COM

Major Industries, Inc. reserves the right to improve products without notice as the result of ongoing R&D and/or third-party compliance.
SunStrong™ PRS is used by permission of Crane Composites®

LIGHT TRANSMISSION & THERMAL PERFORMANCE

Guardian 275® - 2.75"	FACE SHEET COLOR COMBINATIONS Exterior Sheet Color / Interior Sheet Color (Additional color combinations available)			
	Crystal/ Crystal	Crystal/ White	White/ Crystal	White/ White
LIGHT TRANSMISSION - 2.75"[1]				
No Insulation (%)	64	40	31	24
Insul 24 (%)	33	25	21	18
Insul 15 (%)	23	19	17	15
IMG 125 (%)	7	5	5	4
SOLAR HEAT GAIN COEFFICIENT - 2.75"[2]				
No Insulation	0.52	0.38	0.31	0.24
Insul 24	0.24	0.21	0.18	0.15
Insul 15	0.22	0.19	0.17	0.14
IMG 125	0.09	0.09	0.07	0.06
U-FACTOR - 2.75"[3]				
No Insulation	0.48			
Insul 24	0.20			
Insul 15	0.17			
IMG 125	0.08			
U-FACTOR - 2.75" SYSTEM[4]	Standard / **Thermally Broken**			
No Insulation	Wall System - 0.60 / **0.58**		Sloped System - 0.66 / **0.64**	
Insul 24	Wall System - 0.32 / **0.30**		Sloped System - 0.39 / **0.36**	
Insul 15	Wall System - 0.29 / **0.27**		Sloped System - 0.36 / **0.33**	
IMG 125	Wall System - 0.21 / **0.20**		Sloped System - 0.27 / **0.25**	
CRF - 2.75"[5]	Sloped Glazed - 75		Vertical Wall - 81	
UV TRANSMITTANCE	<0.01			

Guardian 275® - 4"	FACE SHEET COLOR COMBINATIONS Exterior Sheet Color / Interior Sheet Color (Additional color combinations available)			
	Crystal/ Crystal	Crystal/ White	White/ Crystal	White/ White
LIGHT TRANSMISSION [1]				
No Insulation (%)	64	40	31	24
Insul 10 (%)	19	17	14	12
IMG 125 (%)	4	3	3	3
SOLAR HEAT GAIN COEFFICIENT [2]				
No Insulation	0.52	0.38	0.31	0.24
Insul 10	0.15	0.13	0.12	0.10
IMG 125	0.06	0.06	0.05	0.05
CENTER OF PANEL U-FACTOR [3]				
No Insulation	0.48			
Insul 10	0.11			
IMG 125	0.06			
SYSTEM U-FACTOR [4]	**Thermally Broken**			
No Insulation	0.55			
Insul 10	0.20			
IMG 125	0.16			
CRF [5]	Vertical Wall - 88			
UV Transmittance	<0.01			

[1] Light Transmission values are based on an incident angle normal to the plane of a representative panel, and are determined using the ASTM E-972 standard.

[2] SHGC values are for comparative analysis and are determined using NFRC 201-2010 methods and standards. SHGC is 87% of the Shading Coefficient at a given solar incidence and has replaced the Shading Coefficient as it is a more accurate method of stating glazing performance in a building envelope. (SC = 1.15 x SHGC)

[3] Center of panel U-factor values determined by NFRC test methods. For glazing comparisons only.

[4] NFRC Certified System U-factor values are for comparative analysis and are determined using NFRC 100-2010 methods and standards, which require simulation and validation testing of both standard and thermally improved assembled skylight / wall systems measuring 2000mm x 2000mm (78-3/4" x 78-3/4") consisting of 2 translucent panels, 3 vertical rafters / mullions and perimeter head and sill. Certified test result for Major's systems can also be found at www.nfrc.org .

[5] Condensation Resistance Factor (CRF) values are based on testing performed on thermally broken glazing panels.

Major Industries strives to create the most advanced products in the daylighting industry. As a result, products, materials and test results presented in this brochure are subject to change without notice. For a statement of warranty for a particular product, please contact us at 888-759-2678 or by fax at 715-848-3336.

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NOTICING

Public Meeting Notice

The Historic Architectural Review Commission will hold a public hearing **at 5:30 p.m., June 23, 2015 at Old City Hall, 510 Greene Street**, Key West, Florida. The purpose of the hearing will be to consider a request for:

NEW ADDITION AND RENOVATIONS TO CONTRIBUTING STRUCTURE.

FOR- #111 OLIVIA STREET

Applicant – City of Key West **Application # H15-01-0848**

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 3140 Flagler Avenue, call 809-3975 or visit our website at www.cityofkeywest-fl.gov.

THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION