

Staff Report for Item 12b

To: Chairman Bryan Green and Historic Architectural Review

Commission Members

From: Kelly Perkins

HARC Assistant Planner

Meeting Date: August 25, 2015

Applicant: Bender and Associates

Application Number: H15-01-1078

Address: #610-614 Dey Street

Description of Work:

Demolition of attached structure to front porch and removal of non-historic enclosure of front porch.

Site Facts:

The eyebrow house is listed as a contributing resource in the survey and was constructed before 1889. The historic porch has been enclosed with a small covered entranceway added to the front. Behind the enclosed porch are the original windows and all the structural elements still remain.

Ordinances Cited in Review:

Sec. 102-217 (2): Demolition of non-historic or non-contributing buildings, Sec. 102-218: Criteria for demolitions, Sec. 102-125: Historic architectural review commission findings precedent to issuance in the Land Development Regulations.

Staff Analysis

The Certificate of Appropriateness in review proposes the demolition of a non-historic front entryway structure. It is staff's opinion that the proposed demolition will not cover historic elements. In addition, the covered entrance was an inappropriate change for the historic house. The structure does not meet any of the criteria listed in Sec. 102-125 (1) through (9), and therefore can be considered for demolition. If the demolition is approved this will constitute the only review for this request.

APPLICATION

COMBINATION APPLICATION: FLOODPLAIN, CONSTRUCTION AND HARC \$50.00 APPLICATION FEE NON-REFUNDABLE



City of Key West 3140 FLAGLER AVENUE

HARC PERMIT N	1-1078	BUILDING PER	B 60	ENITIAL & DATE PLICO
FLOODPLAIN PE	RMIT			REVISION #
FLOOD ZONE	PANEL#	ELEV. L. FL.	SUBSTANTIAL YES	IMPROVEMENT %

KEY WEST,	FLORIDA 33040					
Phone: 305	.809.3956	FLOOD ZONE PA	ANEL#	ELEV. L. FL.	SUBSTANTIAL IN	7
13.	165				YES	%
ADDRESS OF PROPOSED PROJECT:	610-614 Dey Stre	eet				# OF UNITS 1
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NAME ON DEED;	Heldon Bay Limit	ed Partners	ship	PHONE NUMBER	406-250	-9529
OWNER'S MAILING ADDRESS:	24889 Evening S	tar Lane		EMAIL CAS_S	till@hotn	nail.com
	Bigfork, MT 599	11				
CONTRACTOR COMPANY NAME:	Kellogg Builders			PHONE NUMBER		1111
CONTRACTOR'S CONTACT PERSON:	Mike Kellog			rel0@)aol.com	
ARCHITECT / ENGINEER'S NAME:	Bender & Assoc.	Architects		PHONE NUMBER	305-296	-1347
ARCHITECT / ENGINEER'S ADDRESS:	410 Angela Stree	et, Key We	st, FL	EMAIL blben	der@bel	lsouth.net
HARC: PROJECT LOCATED IN HISTORIC	DISTRICT OR IS CONTRIB	UTING: <u>×</u> YES	NO (SE	E PART C FO	R HARÇ APPL	ICATION.)
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THIS DAY OF THE BEAUTY OF THE BOOK OF THE		Personally known or	Oval Land	Consideration # Full Ultray 1	20 RCHILL FF 097671 2018 Insurance 600-88C-7019	as identification.

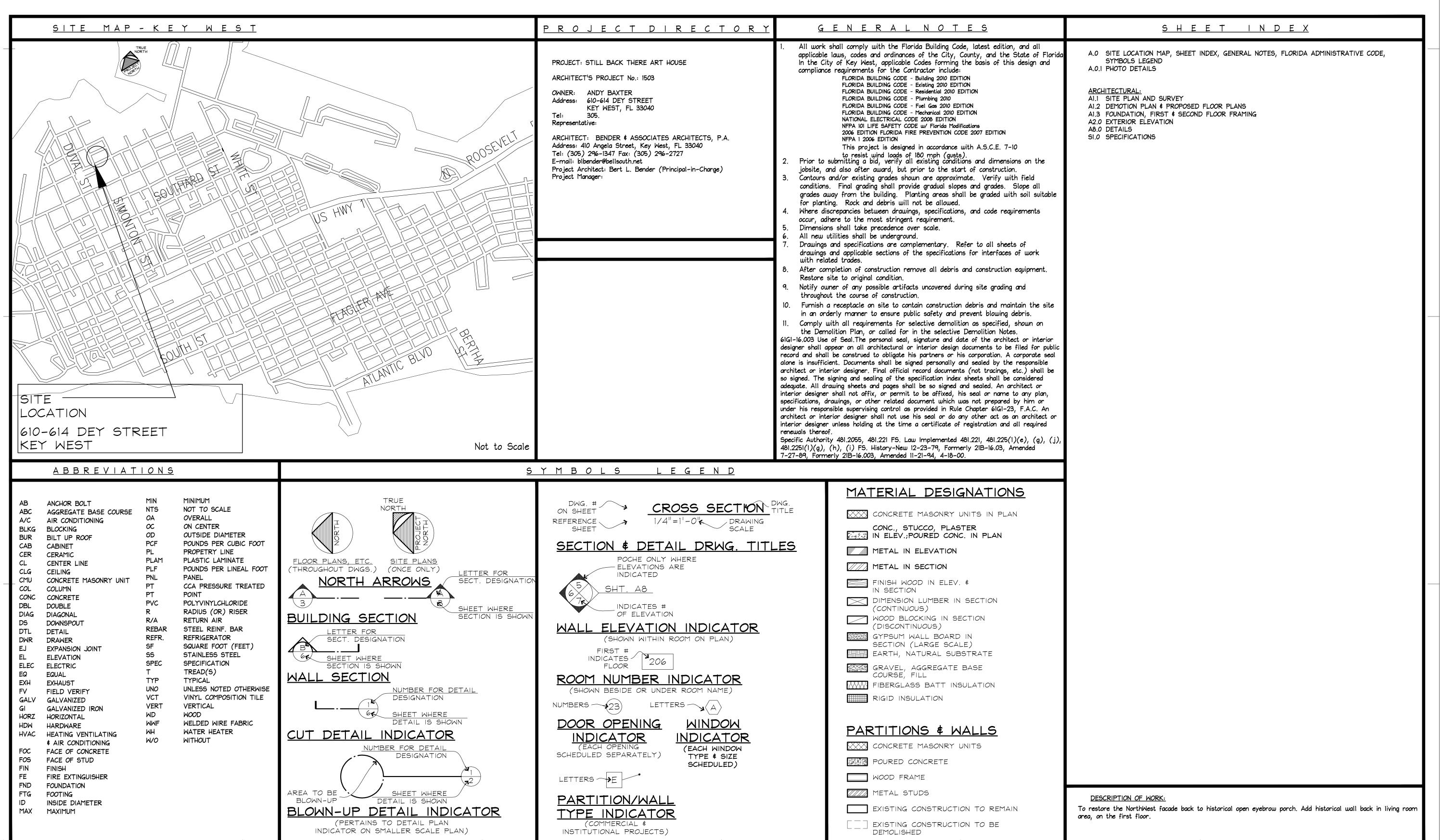
PART B: SUPPLEMENTARY PROJECT DETAILS TO AVOID DELAYS / CALL-BACKS

		
PROPERTY STRUCTURES AFFECTED BY PROJECT:	MAIN STRUCTURE ACCES	SORY STRUCTURE SITE
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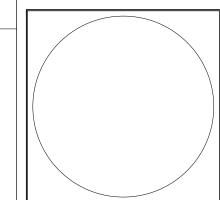
STILL BACK THERE ART HOUSE

610 - 614 DEY STREET KEY WEST FLORIDA



REVISIONS:

LL BACK THERE ART HOUS 610 - 614 DEY STREET KEY WEST, FLORIDA



410 Angela Street Key West, Florida 33040 Telephone (305) 296-1347 Facsimilie (305) 296-2727 Florida License AAC002022

Bender & Associates ARCHIPECTSp.a.

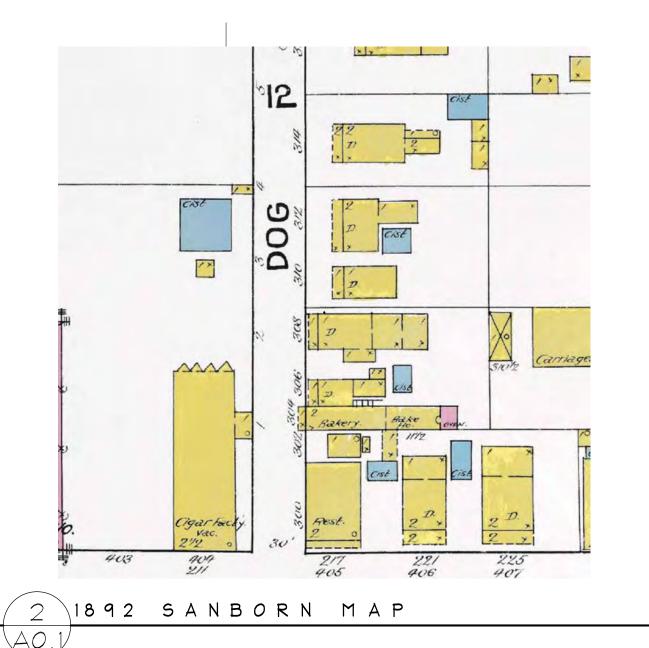
Project Nº: 1503

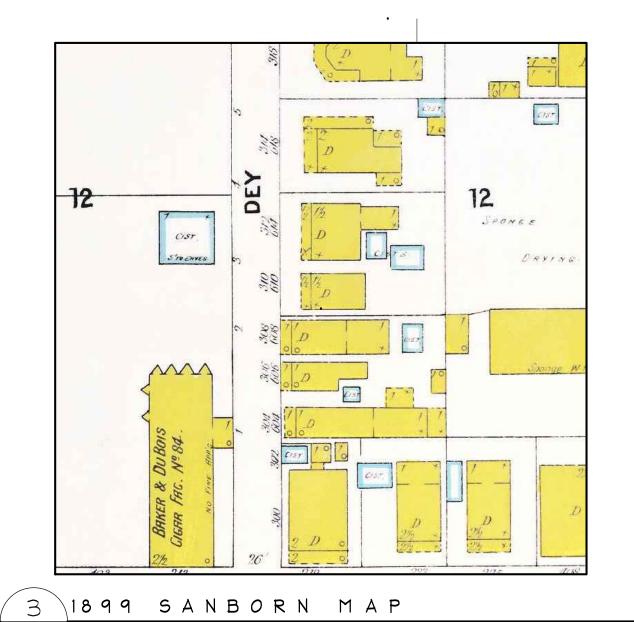
SITE MAP
PROJECT DIRECTORY
GENERAL NOTES
ABBREVIATIONS
SHEET INDEX
SYMBOL LEGEND

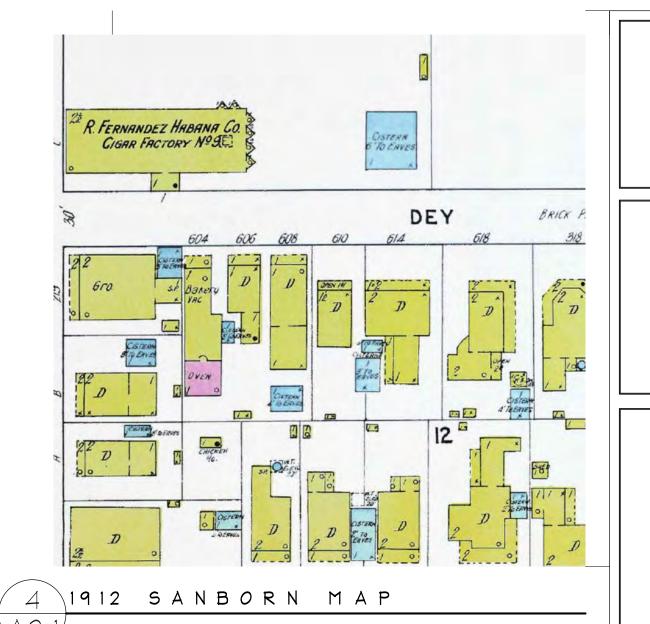
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1 OF 8







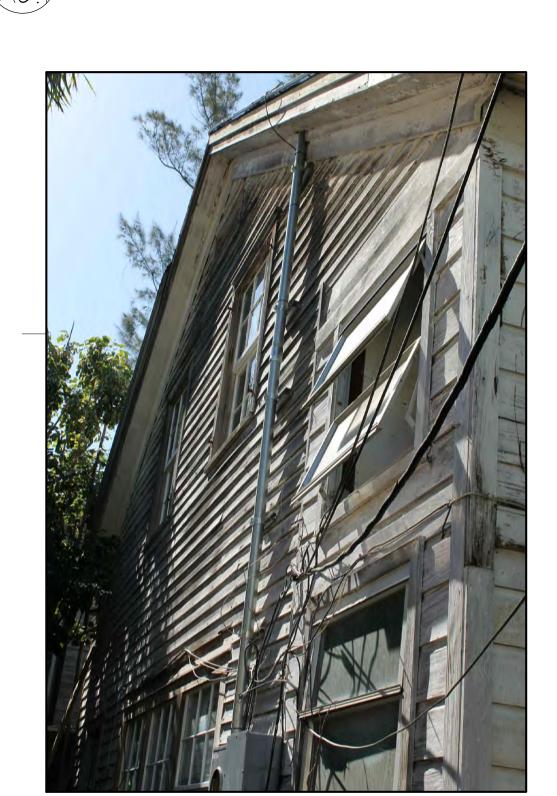


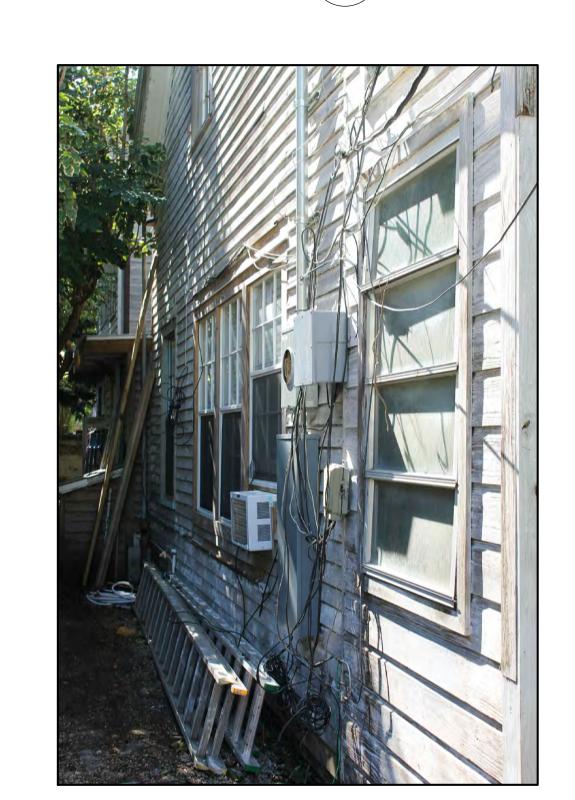


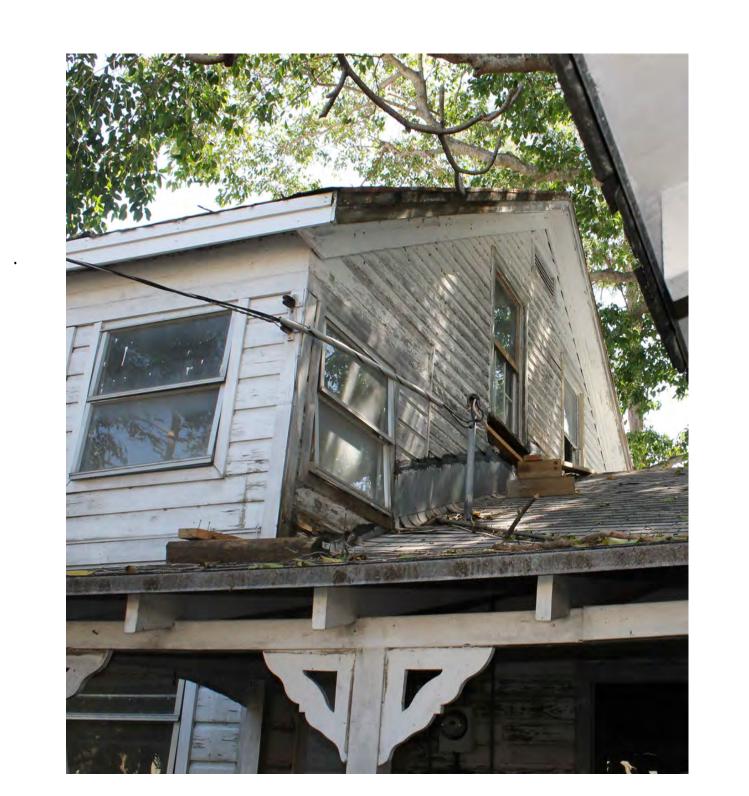


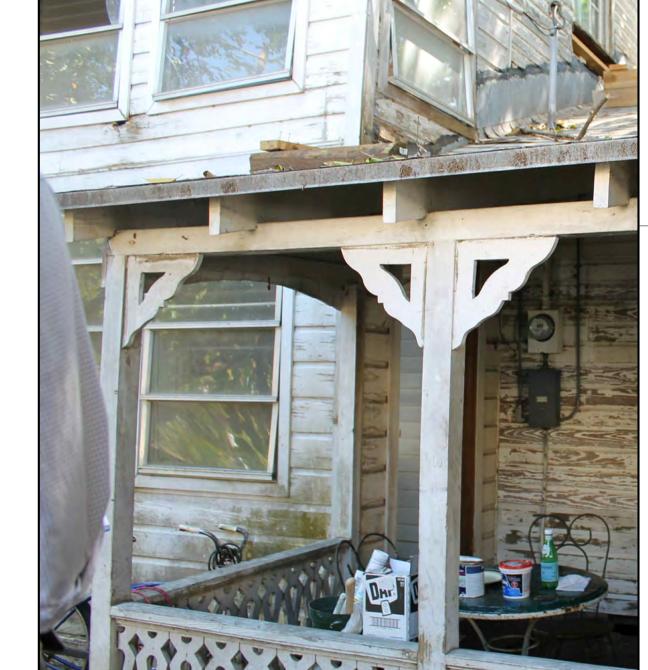












11 EXISTING WEST FACADE IST FLOR



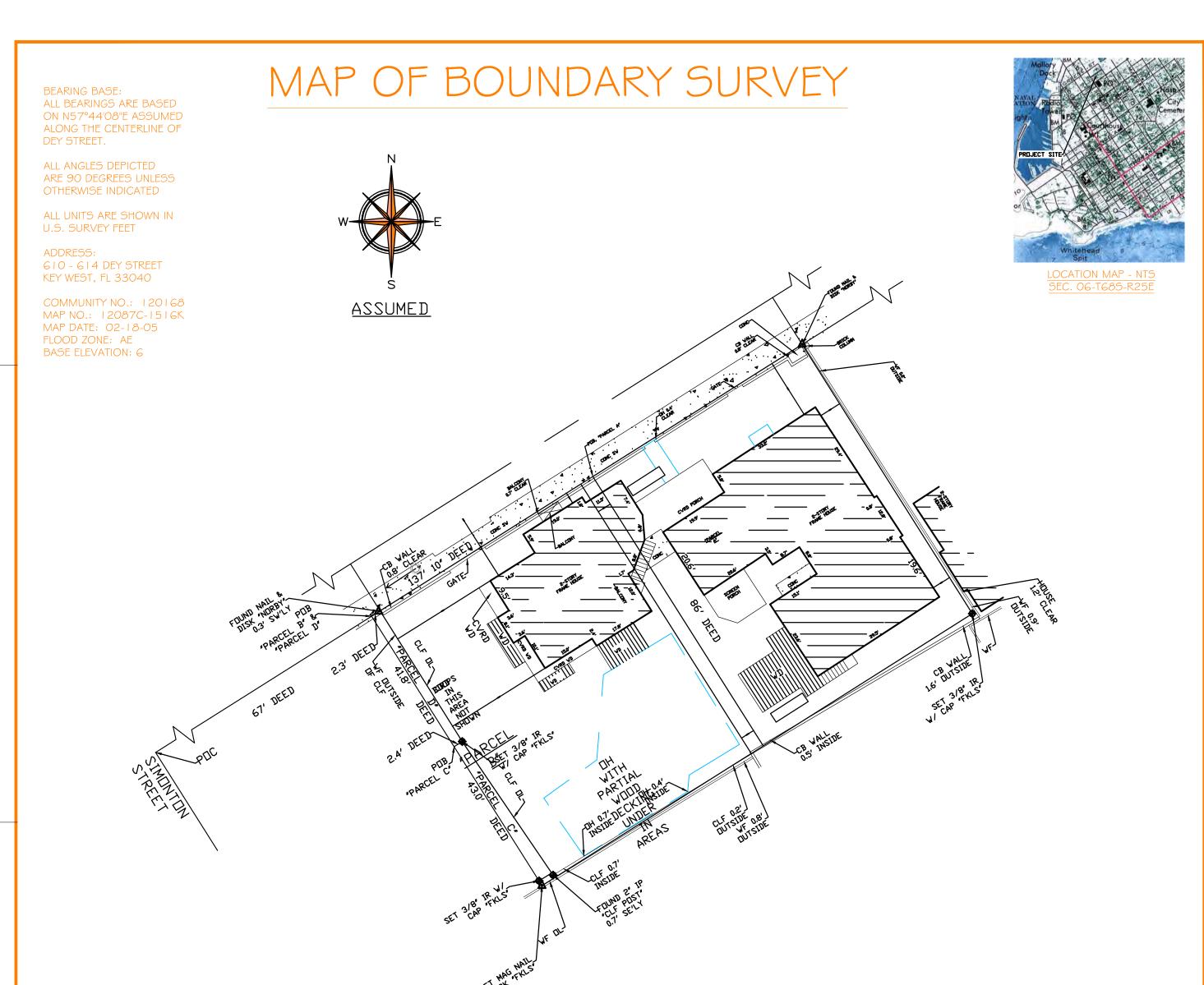
410 Angela Street Key West, Florida 33040 Telephone (305) 296-1347 Facsimilie (305) 296-2727 Florida License AAC002022

Associates

Project Nº :

8 EXISTING EAST FACADE 2ND FLOOR 9 EXISTING EAST FACADE 1ST FLOOR 10 EXISTING WEST FACADE 2ND FLOOR

2 OF 8



LEGAL DESCRIPTION - PARCEL A:

In the City of Key West, and known on W.A. Whitehead's map of said Island, delineated in February, A.D. 1829, as a Part of Lot 4 in Square 12. COMMENCING at a point on Dey Street 137 feet and 10 inches from the corner of Simonton Street, running thence along Dey Street in a Northeasterly direction 67 feet; thence at right angles in a Southeasterly direction 86 feet; thence at right angles in a Northwesterly direction 86 feet to the Point of Beginning.

ALSO PARCEL B:

On the Island of Key West and known as a part of Lot 4 in Square 12 according to William A. Whithead's map of said Island, delineated in Feb A.D. 1829, and more particularly described as following: COMMENCES at a point on the SW'ly side of Dey Street 67 feet NE'ly from the intersection of Simonton and Dey Streets, and continuing thence in a NE'ly direction 67 feet; thence at right angles in a SE'ly direction 86 feet; thence at right angles at a SW'ly direction 67 feet; thence at right angles in a NW'ly direction 86 feet to Dey Street, to the Point of Beginning.

LESS AND EXCEPT PARCEL C:

A parcel of land on the Island of Key West and known as a part of Lot 4, in Square 12, according to William A. Whitehead's map of said Island, delineated in Feb. A.D. 1829, said parcel being more particularly described by metes and bounds as follows: COMMENCE at the intersection of the NE'ly right of way line of Simonton Street and the SE'ly right of way line of Dey Street for a distance of 67 feet; thence SE'ly and at right angles for a distance of 41.8 feet to the Point of Beginning; thence continue SE'ly along the last mentioned course for a distance of 43.0 feet; thence NE'ly and at right angles for a distance of 3.8 feet to an existing chain link fence; thence NWly with a deflection angle of 91°51'53" to the left and along the said chain link fence for a distance of 43.02 feet; thence SWly for a distance of 2.4 feet back to the Point of Beginning.

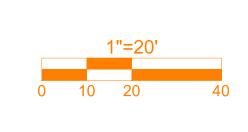
LESS AND EXCEPT PARCEL D:

A parcel of land on the Island of Key West and known as a part of Lot 4, in Square 12, according to William A. Whitehead's map of said Island, delineated in Feb. A.D. 1829, said parcel being more particularly described by metes and bounds as follows: COMMENCE at the intersection of the NE'ly right of way line of Simonton Street and the SE'ly right of way line of Dey Street and run thence NE'ly along the SE'ly right of way line of the said Dey Street for a distance of 67 feet to the Point of Beginning; thence SE'ly and at right angles for a distance of 2.4 feet to an existing chain link fence; thence NW'ly with a deflection angle of 90°08'14" to the left and along the said chain link fence for a distance of 41.8 feet to the SE'ly right of way line of the said Dey Street; thence SW'ly and along the said Dey Street for a distance of 2.3 feet back to the Point of Beginning.

CERTIFIED TO - Andy Baxter;
Heldon Bay LTD, Family Partnership;
Smith / Oropeza, P.L.;

TBM = TEMPORARY BENCHMARK
TOB = TOP OF BANK
TOP OF TOP OF

WATER
METER



WY = WAIER VALVE

NOTE: LEGAL DESCRIPTIONS HAVE BEEN FURNISHED BY THE CLIENT OR HIS/HER REPRESENTATIVE, PUBLIC RECORDS HAVE NOT BEEN RESEARCHED BY THE SURVEYOR TO DETERMINE THE ACCURACY OF THESE DESCRIPTIONS NOR HAVE ADJOINING PROPERTIES BEEN RESEARCHED TO DETERMINE OVERLAPS OR HIATUS. ADDITIONS OR DELETIONS TO SURVEY MAP OR REPORT BY OTHER THAN THE SIGNING PARTY IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY. THE BOLD LINE SHOWN HEREON REPRESENTS THE SURVEYORS OPINION OF THE DEED LINES. THE MEAN HIGH WATER LINE WAS NOT DETERMINED BEEN RESERVED ONLY.

I I = 20'

I I = 20'

I I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTERS 20 14-147 \$ 5J-17.05, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES AND COMPLIES WITH CHAPTER 177, PART II FLORIDA STATUTES.

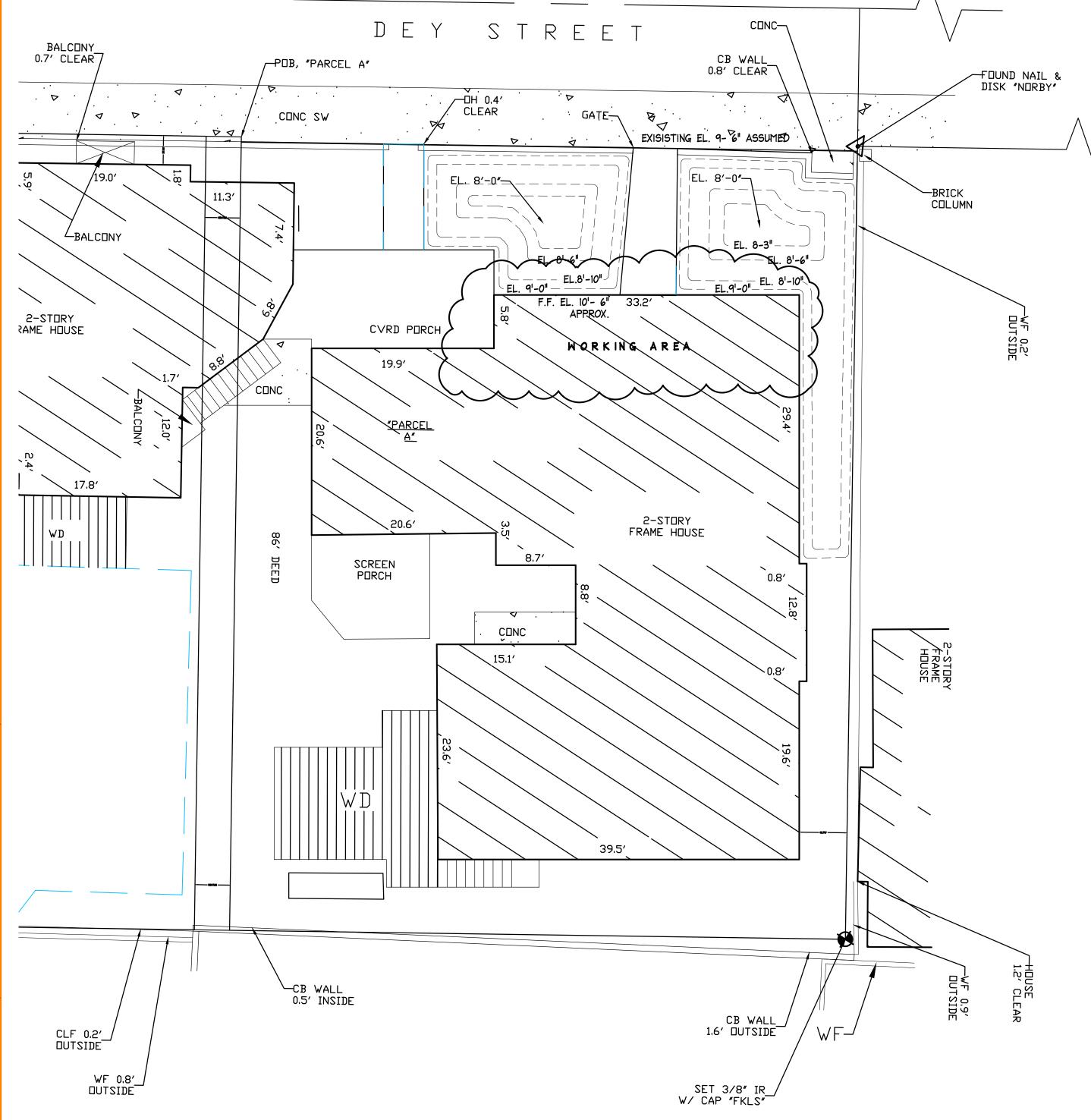
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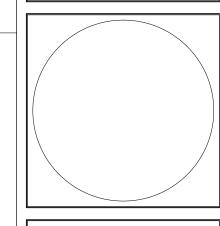
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NOT VALID WITHOUT THE SIGNATURE AND THE RAISED SEAL OF A FLORIDA SURVEYOR AND MAPPER AND MAPPER

CONCRETE
"PAROWER A" TOTAL AREA = 5,776.97 SQFT±
"PARCEL B" LESS "PARCELS C&D" TOTAL AREA = 5,528.02 SQFT±
"HIAWAJER" TOTAL AREA = 330.35 SQFT±



ILL BACK THERE ART HOUSE
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KEY WEST, FLORIDA



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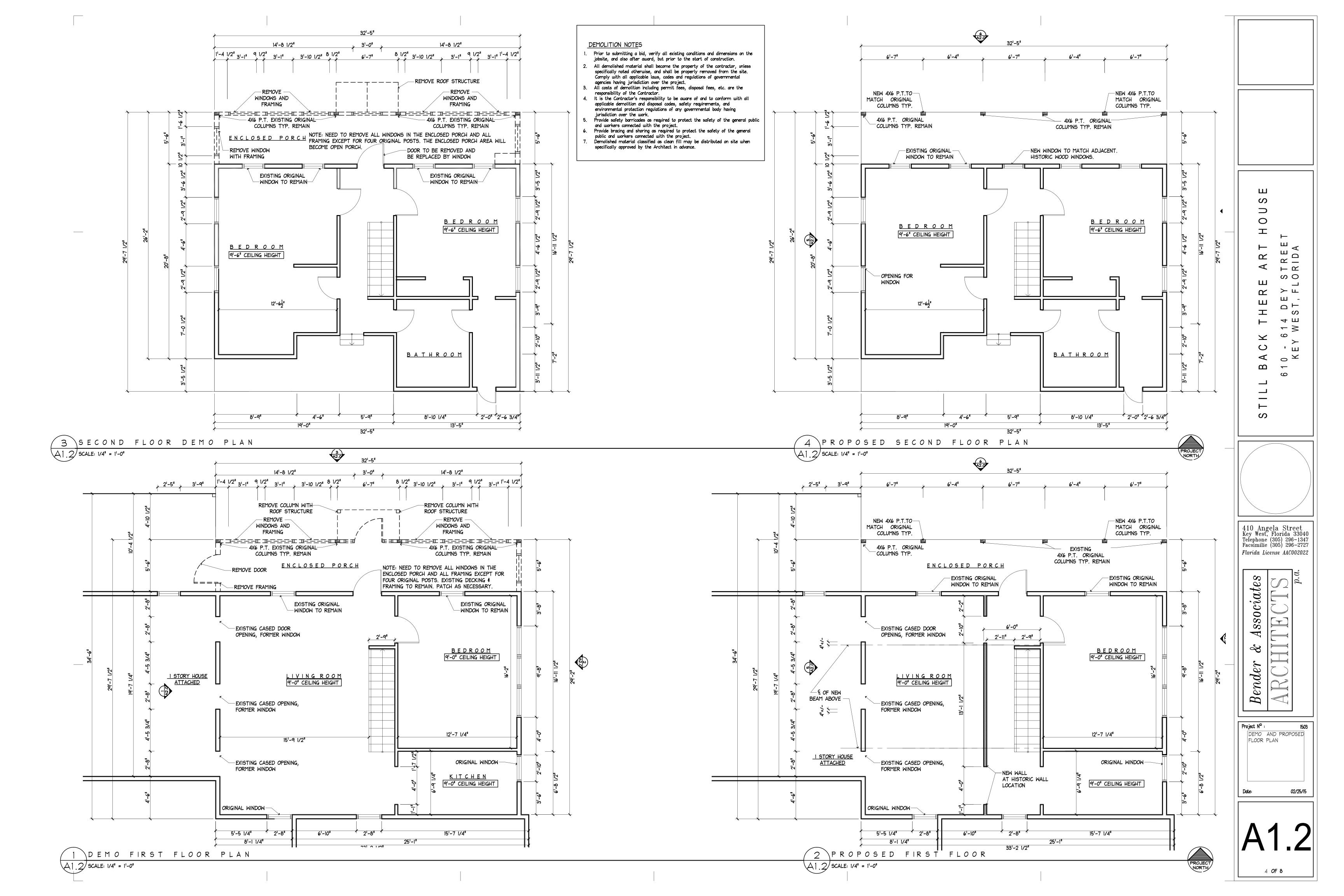
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Project Nº: 1503

SURVEY AND SITE
PLAN

02/25/15

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FOUNDATION & CONCRETE NOTES

- The Contractor shall have the option of substituting solid concrete piers and/or foundations for concrete filled masonry piers or foundation walls.

 Minimum concrete strength shall be 4000 p.s.i. unless otherwise specified in these
- documents.
 3. Comply with "General Structural Notes" included elsewhere in these documents.
- Concrete protection for reinforcement:

 a. The reinforcement of footings and other principal structural members in which the concrete is deposited against the ground shall have not less than 3 in. of concrete between it and the ground contact surface. If concrete surfaces after removal of the forms are to be exposed to the weather or be in contact with the ground, the reinforcement shall be protected with not less than 2" of concrete for bars larger than # 5 and 1 1/2" for # 5 bars or
- smaller.

 b. The concrete protective covering for any reinforcement at surfaces not exposed directly to the ground or weather shall be not less than 3/4" for slabs and walls and not less than 1 1/2" for beams and girders. In concrete joist floors in which the clear distance between joists is not more than 30 in., the protection of reinforcement shall be at least 3/4".
- c. Column spirals or ties shall be protected everywhere by a covering of concrete cast monolithically with the core, for which the thickness shall be not less than 1 1/2", nor less than 1 1/2 times the maximum size of the coarse aggregate.
 d. Concrete protection for reinforcement shall in all cases be at least equal to
- d. Concrete protection for reinforcement shall in all cases be at least equal to the diameter of bars, except for concrete slabs and joists in (b.).
- e. In extremely corrosive atmospheres or other severe exposures, the amount of protection shall be suitably increased. In the Florida Keys, increase concrete coverage by 30% of specified tolerances and in no case less than 2 inches.

GENERAL FRAMING NOTES

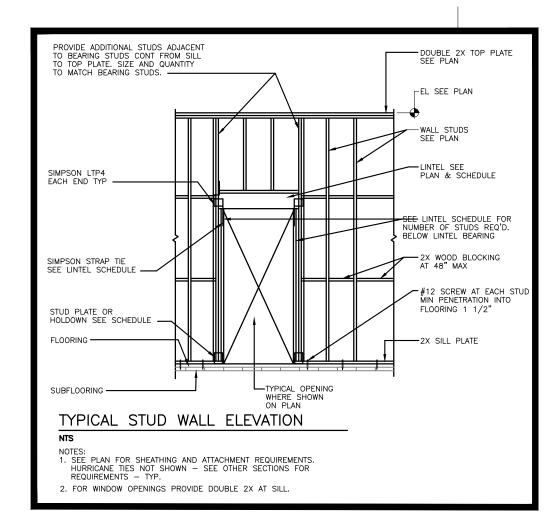
- . Comply with "General Structural Notes" included elsewhere in these documents.
- 2. Where wood joists/beams etc. frame into other members, and ledgers are not provided, install Simpson "LU" series joist hangers.

 When installing into ACQ pressure treated lumber, Contractor has the option of providing EITHER stainless steel joist hangers and stainless steel fasteners, OR Simpson ZMAX (G185) galvanized joist hangers with hot-dip galvanized fasteners.

 Contractor shall not mix stainless steel with hot dip galvanized.
- 3. Provide hot dip (ZMAX) galvanized hurricane clips at all rafters at bearing locations.
 Provide 2 x 4 minimum collar ties between rafters at ridges in attic spaces, tight to ridge. Nail to each rafter with (3) 16d nails.

 10. All pressure treated wood used on residential projects must be
- Provide solid blocking at midspan of all joists and rafters for spans of 8' and over. Use 3 rows of blocking where spans exceed 16 feet.
 Firestopping shall be provided in all walls and partitions to cut off all concealed dooft enemings both horizontal and vertical and to form a fine barrier between
- 5. Firestopping shall be provided in all walls and partitions to cut off all concealed draft openings both horizontal and vertical and to form a fire barrier between floors and between the upper floor and the roof space.
 6. Firestopping shall be installed in wood frame construction in the following
- a) In concealed space of stud walls and partitions including furred spaces at ceiling and floor levels.
- b) At all interconnections between concealed vertical and horizontal spaces such as occur at soffits, drop ceilings, cove ceilings, etc.
 c) In concealed spaces between stair stringers at the top and bottom of the
- d) In concealed spaces created by an assembly of floor joists, firestopping shall be provided for the full depth of the joists at the ends and over the supports.

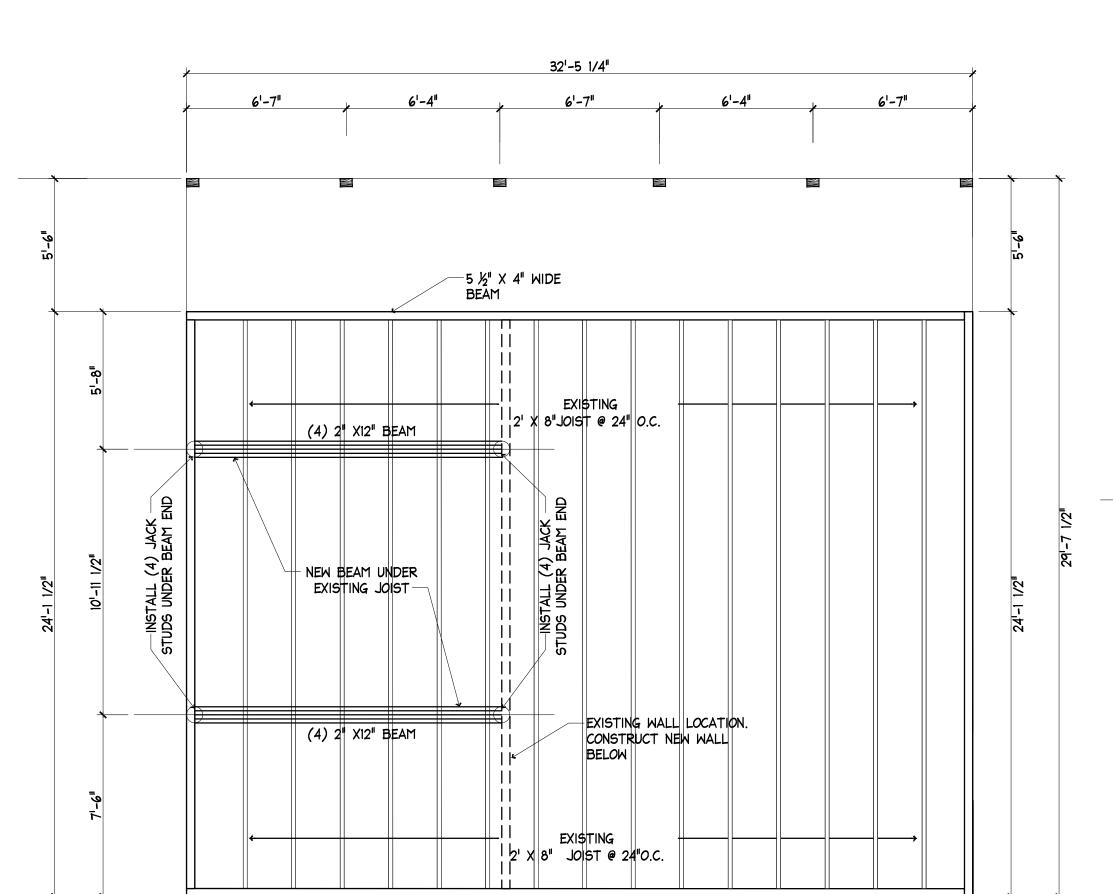
- 7. Firestopping shall consist of two (2) inch nominal lumber, or two (2) thicknesses of one (1) inch nominal lumber with broken lap joints, or one (1) thickness of three-fourths (3/4) inch plywood, with joints backed by three-fourths (3/4) inch plywood, or other approved materials.
- 8. Install all plywood wall sheathing to lap joints at floors. Use 3/4" minimum thickness P.T. plywood nailed with 8d galvanized nails, 4" o.c. along plates, 4" o.c. along sill beams top and bottom, and 8" o.c. in the field. At shear walls, use 10d nails € 4" o.c. along panel edges and 8" o.c. at intermediate supports.
- 10. All pressure treated wood used on residential projects must be free of arsenic and chromium after June 2003. Use ACQ or other EPA approved treated lumber on residential projects. On commercial projects, CCI treated lumber is acceptable in concepted spaces.
- 11. ACQ arsenic free lumber has been found to corrode standard electroplated galvanized nails and screws. Any metal fasteners (framing or finish) used on ACQ pressure treated lumber shall be stainless steel, grade 304 or greater, or hot dip galvanized, conforming to ASTM A-153 / ASTM Standard A653 (Class G-185). Stainless steel and hot dip galvanized metals SHALL NOT come in contact with each other.
- 12. All structural lumber, i.e. joists, girders, beams, rafters, etc., shall be southern yellow pine no. 1 dense, with a minimum fb of 1300 psi, before pressure treatment. (Pressure treatment reduces fiber stress by 15%. to 1100 P.S.I.)



WOOD L	INTEL	SCHEDUL	E (2X4 WA	LL)
SPAN	LINTEL	BEARING STUDS	FULL HEIGHT STUDS	STUD PLATE
0'-0" <l<u><4'-8"</l<u>	2-2X6	2-2X4	2-2X4	LTP4
4'-8" <l<u><6'-0"</l<u>	2-2X8	2-2X4	2-2X4	LTP4
6'-0" <l<u><7'-4"</l<u>	2-2X10	2-2X4	2-2X4	LTP4
7'-4" <l<u><8'-8"</l<u>	2-2X12	2-2X4	3-2X4	LTP4
8'-8" <l<10'-0"< th=""><td>2-1~wX11^ LVL</td><td>4 2-2X4</td><td>3-2X4</td><td>HD2A</td></l<10'-0"<>	2-1~wX11^ LVL	4 2-2X4	3-2X4	HD2A

LINTEL	SCHEDUL	E (2X6 WA	LL)
LINTEL	BEARING STUDS	FULL HEIGHT STUDS	STUD P
2-2X6	2-2X6	2-2X6	LTP4
2-2X8	2-2X6	2-2X6	LTP4
2-2X10	2-2X6	2-2X6	LTP4
2-2X12	2-2X6	3-2X6	LTP4
2-1~wX11~	4 2-2X6	3-2X6	HD2A
	2-2X6 2-2X8 2-2X10 2-2X12	LINTEL BEARING STUDS 2-2X6 2-2X6 2-2X8 2-2X6 2-2X10 2-2X6	2-2x6 2-2x6 2-2x6 2-2x8 2-2x6 2-2x6 2-2x10 2-2x6 2-2x6 2-2x12 2-2x6 3-2x6

32'-5" 2'-5" 3'-9" -COLUMN BASES ARE DETERIORATED.ARCHITECT TO INSPECT W/CONTRACTOR TO DETERMINE EXTENT OF REPAIR REQUIRED. MEW 4X6 P.T.TO CONCRETE FOOTING MATCH ORIGINAL COLUMNS TYP. - EXISTING 4X6 P.T -4X6 P.T. EXISTING <u>ENCLOSED PORCH</u> ORIGINAL COLUMNS ORIGINAL COLUMNS TYP. REMAIN ORIGINAL LIMESTONE FOOTING 2" |X 6" JO|ST @ 24" O.C. | USE 16" COLL BLOCK PIER GROUTED SOLID ¯@ MI⊅ SPAN W/(4) 2"X8"'S | 1 STORY HOUSE ATTACHED ||SISTER||2" X 8| TO-−4"|X 8" EACH SIDE OF BEAM
THIS BAY EXISTING BEAM 2" X 6" JØ|ST @ 24" O.C. | EXISTING WOOD FLOOR-7'-8 1/2" 7'-5 1/4" 8'-9 1/4" DECKING NOT TO BE REMOVED FIRST FLOOR AND FOUNDATION FRAMING PLAN



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Florida License AAC002022

Associates

Bender

Project Nº:

FOUNDATION AND

FRAMING PLANS

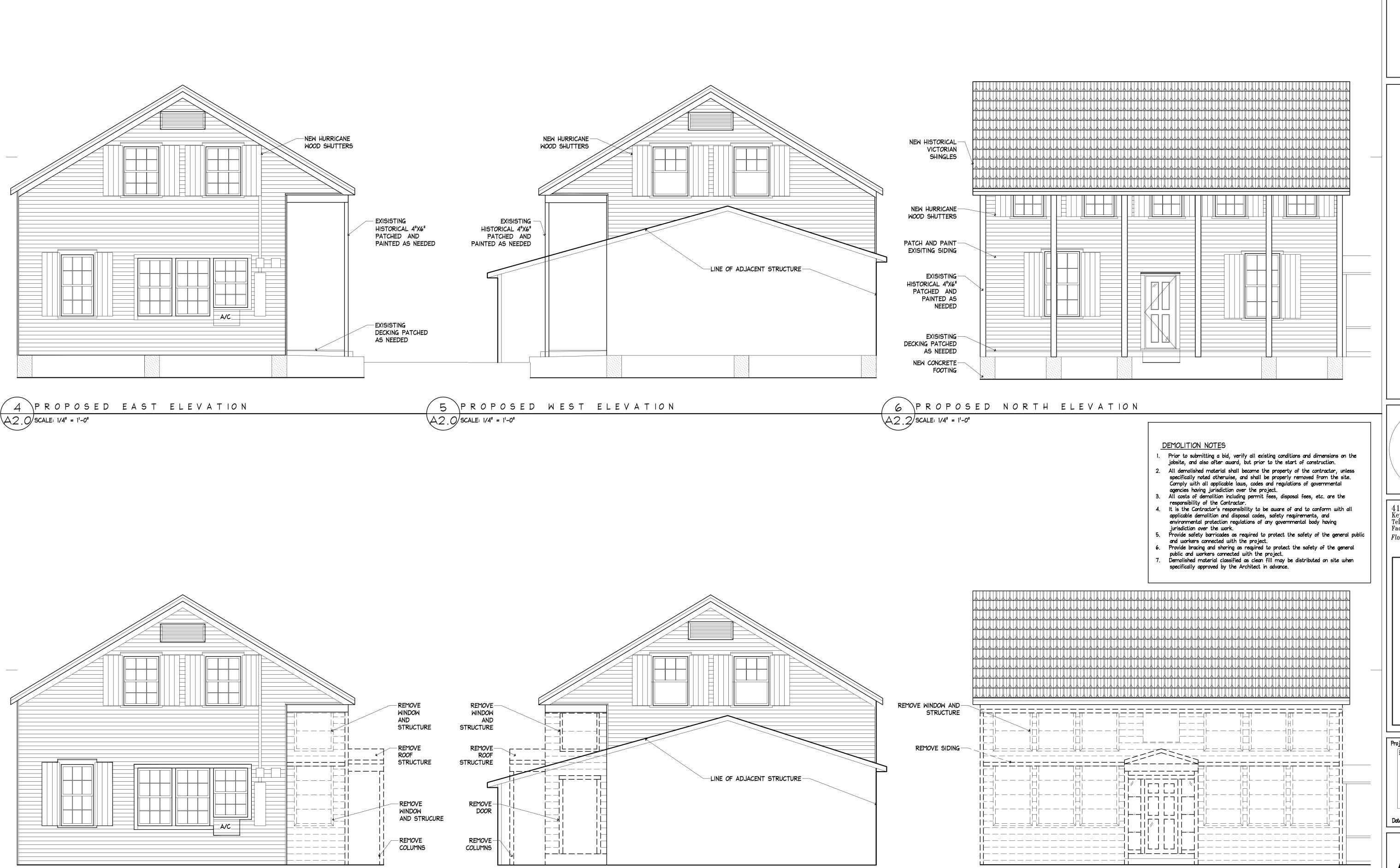
5 **OF 8**

02/25/15

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2 SECOND FLOOR FRAMING PLAN A1.3 SCALE: 1/4" = 1'-0"



2 DEMO WEST ELEVATION

 $\triangle 2.0$ SCALE: 1/4'' = 1'-0''

DEMO EAST ELEVATION

42.0 SCALE: 1/4" = 1'-0"

STILL BACK THERE ART HOUSE
610 - 614 DEY STREET
KEY WEST, FLORIDA

Angela Street

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Project Nº: 1503

EXTERIOR ELEVATIONS

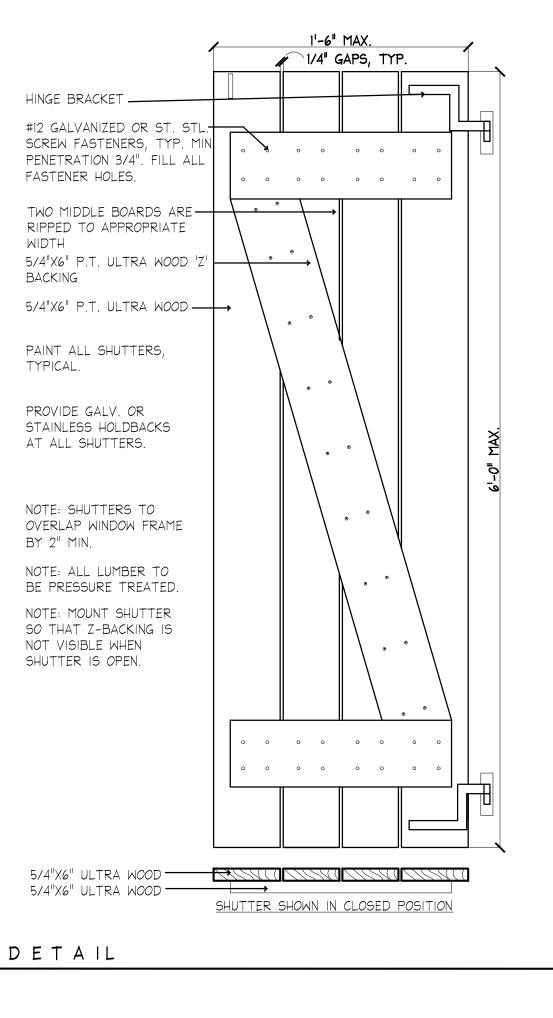
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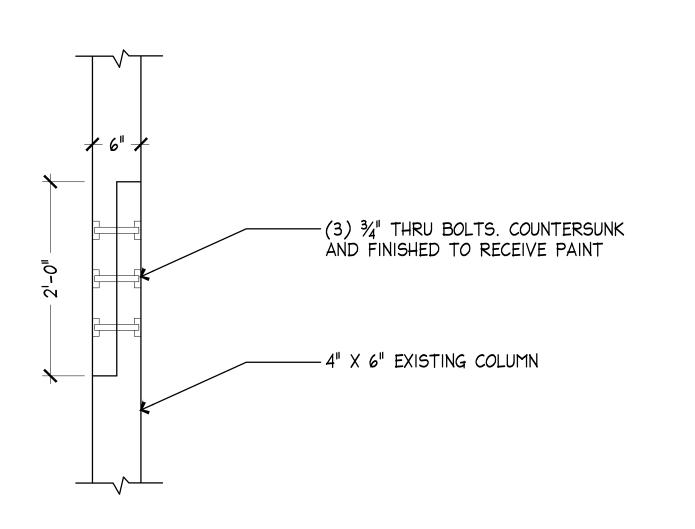
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6 **OF 8**

3 DEMO NORTH ELEVATION

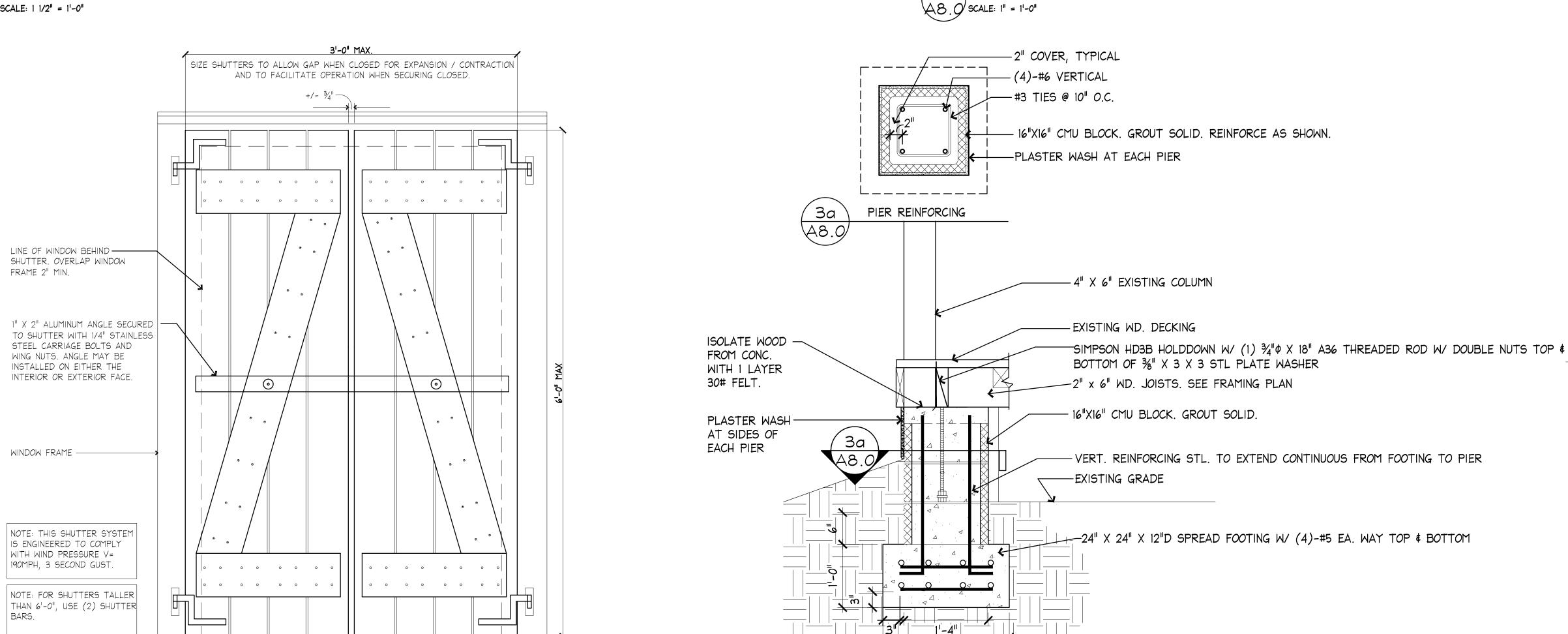
 $\triangle 2.0$ SCALE: 1/4'' = 1'-0''





4 TYPICAL COLUMN JOINT

2 SHUTTER DETAIL A8.9 SCALE: 1 1/2" = 1'-0"



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Associates Bender

Project Nº : DETAILS 02/25/15

7 **OF 8**

3 PROPOSED COLUMN DETAIL

7. The observation of the Contract work shall be done by the person listed in the Contract agreement as the Architect. In the case that no observation by the Architect is provided in the Contract, the functions of the

8. The Contractor shall provide a temporary installation of electric service if such service is not available on site.

9. Materials and Labor

9.1 Submit samples to the Architect for approval of color where required.

9.2 All work shall be performed in the best and most professional manner by mechanics skilled in their respective

9.3 Where brand names or manufacturers names appear, they are used to establish a quality of material and/or process. Substitutions will be approved by the Architect if, in his judgment, they constitute an equal material or

9.4 All trades shall avarantee all work to be free of defects in materials or workmanship for a period of one (1) year from the date of final acceptance.

9.5 Apply, install, connect, erect, clean, condition, and use all manufactured articles in accordance with the manufacturer's instructions and as shown on the drawings. Provide Owner with all guarantees and maintenance manuals for all appliances and pieces of equipment installed as a part of the work.

10.1 By submitting a bid, the bidder agrees and warrants that he has examined the drawings and specifications and found that they are adequate for the proper completion of the project. 10.2 No claims for any extra charges will be allowed because of alleged impossibilities due to inadequate drawings or

specifications. 10.3 The Contractor shall be responsible for verifying field measurements before ordering materials and prefabricated items. Any necessary adjustments between field measurements and drawings shall be made as per the decision of the Architect.

11.1 Immediately after execution of the Contract, the Contractor shall submit for approval a breakdown of the

11.2 Unless explicitly stipulated differently in the Contract Agreement, the Contractor shall receive payments monthly, based on the work completed and the evaluation in accordance with the approved breakdown.

12.1 The Contractor shall carry Workmen's Compensation Insurance to the extent required by law and shall maintain such insurance in full force during the entire time of this contract. 12.2 The Contractor shall carry comprehensive General and Automotive Liability Insurance of \$100,000 to \$300,000

13. Completion

13.1 All work shall be substantially completed at a time stipulated in the Contract Agreement or in time extended for justifiable delays, if any. 13.2 A building or any other work shall be considered substantially completed when ninety-five percent (95%) of the

DIVISION 2 - SITE WORK 1. Scope: Demolition, excavation, filling and back filling, base course for building slabs and sidewalks, finish grading,

2. Related Work Specified Elsewhere: Concrete, masonry, moisture protection.

work is done and the building is ready for occupancy or the premises for use.

(minimum) and Property Damage Insurance of \$50,000 (minimum).

3. Demolition:

3.1 Demolition will be as indicated on the drawings.

3.2 Removal and replacement of power poles and/or equipment will be by the appropriate utility companies. Notify utility company at the start of construction of need to remove or relocate.

4. Excavation:

4.1 Excavate for footings, slabs, etc. as indicated on the drawings and as required for completion of the project. 4.2 All work shall be done in a safe and cautious manner in order to avoid accidents and property damage. The Contractor shall repair or replace property damaged during this or any other phase of the work.

5. Filling and Backfilling: 5.1 Fill all areas as indicated on the drawings or as necessitated in the normal course of the work.

5.2 Backfill against foundations and slab edges with native soils free of organic material or debris. Care shall be taken not to damage waterproofing membranes, insulation, foundation, etc. 5.3 Utility trenches shall be proper width for laying pipe. Avoid sharp breaks or changes in direction. Unstable soil

shall be removed and replaced with approved material. 5.4 Compact all backfill to 95% of existing maximum density in 12" lifts.

5.5 Excavated material not suitable or required for back filling shall be redistributed on site or removed, as directed by the Architect.

6. Backfilling for Slabs and Walks:

6.1 Agareaate base material of 1" or less in size uniformly distributed with coarse and fines. Aggregate base shall conform to the following requirements:

Sieve Size (square openings) % passing by weight 1 inch

____ 3/4 inch 90-100% 1/4 inch 45-75% no. 200

6.2 All aggregate base courses shall be 4" minimum thickness unless otherwise specified.

6.3 Provide 4" aggregate base course under all concrete slabs on grade.

7. Finish Grading:

7.1 Slope all grades away from the buildings.

7.2 All graded areas to be graded in uniform slopes, free from ridges and mounds. 8. Asphalt concrete paying.

8.1 Type S-3 asphalt per D.OT. specifications.

8.2 Provide compacted base as appropriate to site and local conditions; Lime Rock or other D.O.T. acceptable material compacted to 95% of ASTM D-1557. DIVISION 3 - CONCRETE

1. Scope: Complete installation of plain and reinforced concrete work of the entire project including foundations, walks, slabs on grade, precast floor joists, and other concrete work to complete the project as shown on drawings and called for in these specifications. Furnishing and installing all reinforcing steel, welded wire fabric, dowels, ties, anchors, etc. as indicated on drawings and otherwise required by the work. Installing items built into concrete but furnished by others. Installing items necessary to fasten and hold reinforcement in place.

2. Related Work Specified Elsewhere: Furnishing attachments for other work placed in concrete, waterproofing.

3. Description: Concrete shall consist of Portland cement, fine and coarse aggregate, proportioned and mixed, reinforced, placed and finished as indicated and specified. Concrete strength = 4,000 P.S.I. @ 28 days. Max. slump = 5" footings and 6" for slabs on grade. Maximum slump for structural columns, beams and slabs shall be 4". Transit mixed concrete per ASTM C-94.

4.1 Portland cement - ASTM C-150

4. Materials:

4.2 Reinforcing steel - ASTM A-15 4.3 Welded wire fabric - ASTM A-185

4.4 Coarse aggregate shall be clean crushed stone or natural gravel conforming to ASTM C-33, and not larger than 3/4" for slabs or 1 1/2" for foundations. Maximum size for reinforcing steel or between reinforcing and forms.

3/4" for slabs or 1 1/2" for foundations. Maximum size for reinforcing steel or between reinforcing and forms. 4.5 Fine aggregate shall be washed natural sand, without clay content, of strong sharp particles.

4.6 Water shall be potable. 4.7 Accessories shall be hot dipped galvanized bar supports, etc. manufactured for use in concrete. 4.8 Joint filler shall be pre-molded expansion joint filler, 1/2" thick, unless otherwise stated on the drawings,

asphalt impregnated fibers conforming to ASTM D-994.

5. General Requirements: 5.1 Material and workmanship shall conform to "Building Code Requirements for Reinforced Concrete" (ACI 318).

5.2 Do not use deteriorated or damaged material for concrete.

5.3 No admixtures shall be used without prior approval of the Architect. 5.4 Mechanically vibrate all concrete in place with experienced workmen.

5.5 Cure slabs with an approved liquid curing compound and sealing agent, applied in accordance with the manufacturer's recommendations. 5.6 Concrete pours shall be so scheduled and completed so that no unsafe structural conditions or unsightly finish will

result. Scheduling and location of pours shall be brought to the attention of the Architect, at least 24 hours prior to placing concrete. Inspection of reinforcing in place, forms, compacted base, etc., will be made by the Architect prior to any concrete pour. No concrete shall be poured without the Architect's inspection and approval. 5.7 Concrete shall be delivered to the place of pouring by trucks or carts and poured through troughs or chutes. Any fall segregating the coarse aggregate from the mix shall be avoided.

5.8 Furnishing and placement of reinforcing steel shall comply with current ACI standards. Reinforcing steel shall be accurately placed in accordance with related drawings and securely tied in its precise position at all points where the bars cross so as to preclude shifting during the placing of concrete. Bars shall be deformed in accordance with ASTM

5.10 Where so indicated on the drawings, provide a moisture barrier consisting of: a. Four inches of clean dry sand, evenly spread as a cushion.

b. "Visqueen" or equal 6 mil thick plastic sheathing, with all joints taped and sealed. c. Two inches of clean dry sand, evenly spread on top of the installed plastic sheathing.

6. Concrete Finishes:

6.1 Finished floor slab surfaces shall be plane surfaces as shown on the drawings. Where drains occur slope floor evenly to drains.

6.2 Interior slabs shall be screeded with a straight edge, floated to the required level, and steel troweled to a smooth hard finish. Exterior slabs shall be broom finished. 6.3 Concrete floors shall be checked for trueness with an 8 foot straight edge. Any deviation from the line of the straight edge by more than 1/4" shall be repaired in a manner satisfactory to the Architect.

7. After construction is completed, thoroughly clean all exposed floors with soap and water.

8. Control joints shall be formed as indicated on drawings, or formed with metal keyway to remain in the slab.

3.3 Mortar shall be type S, 1800 P.S.I. minimum compressive strenath.

9. Precast, prestressed floor joists

1. Scope: Furnish and install all labor, materials, equipment and service necessary to complete all masonry work as indicated or specified.

2. Related Work Specified Elsewhere: Masonry wall insulating fill, face caulking of control joints.

3. Materials: Concrete masonry units shall conform to ASTM C-90, Grade U-1, F' m = 1350 P.S.I. 3.1 Masonry units shall be 8" x 8" x 16" hollow unit masonry, 16" x 8" x 16" column block, and as shown on the 3.2 Trussed or ladder type horizontal joint reinforcement equal to Dur-O-Wall.

4. Construction and Workmanship:

4.1 The work shall be done by experienced mechanics, skilled in their trade, in a first class manner. 4.2 The Contractor shall be responsible for quality of workmanship and for compliance with the design and specifications. He shall correct all errors and deviations as requested by the Architect.

4.3 Transport and handle all masonry units in such manner as to prevent chipping and breakage. Protect all masonry from inclement weather effects and heavy and unnecessary traffic. 4.4 Do not lay chipped, cracked or otherwise defective units in the wall where exposed to view. Remove and replace defective units, whether defective, chipped, or broken before or after setting.

4.5 All joints shall be as indicated on drawings, straight, true, and uniform in thickness to course vertically to 8".

4.6 All masonry shall be running bond unless indicated otherwise. 4.7 Provide all openings in masonry walls where required or indicated. Build in all items as required for a complete job, including (but not limited to) reinforcing steel, bolts, anchors, conduits and piping. 4.8 Clean all finished masonry walls for a neat, clean and finished appearance, if exposed to view.

4.9 Install horizontal joint reinforcement in wall joints at 16" on center vertically. DIVISION 5 - STRUCTURAL AND MISCELLANEOUS STEEL:

. Scope: Furnish and install all steel lintels, clip angles, anchor bolts and other steel items as indicated on drawings or otherwise specified.

2. Related Work Specified Elsewhere: Reinforcing Steel

3. General Requirements:

3.1 Structural Steel - ASTM A-36 3.2 Structural Bolt - ASTM A-325

3.3 Anchor Bolts - ASTM A-307

3.4 Any welding shall be performed by certified welders. 3.5 All steel items shall be hot dip galvanized, prior to delivery to the site, or stainless steel.

3.6 All work shall be properly aligned, plumb, level and true, and shall be in the precise location as indicated on the DIVISION 6 - CARPENTRY AND MILLWORK:

l. Scope: All rough and finish carpentry work and millwork as indicated on drawings and specified. The installation of all rough and finish hardware, shelving and trim, hangers and all material necessary to complete all the framing and finish work as shown. Install all blocking, firestops, backing, bridging, etc., for the proper installation of all applied

2. Related Work Specified Elsewhere: Toilet room accessories, specialties, finishes.

3.0 Protection against decay and termites: All wood in this section shall be a naturally durable species resistant to termites or pressure treated. Even when not specifically indicated on the drawings, all framing lumber, sheathing, fascias, casings, and any other lumber used on the exterior of the building shall be pressure treated or naturally decay resistant. Lumber used for framing, plates, etc. on the interior shall also meet this requirement. 3.1 Air dry all dimension and board lumber to maximum 19% moisture content. All lumber to bear association mark, grade, and mill mark per WCLB rules.

3.2 All joists, rafters, ledgers and beams to be pressure treated Southern yellow pine #1 dense. All repetitive framing members and joists shall be minimum 1200 P.S.I. stress graded lumber, after pressure treating. Main roof rafters and beams where shown shall be microlam as manufactured by Truss-Joist Macmillan. Microlam members to be pressure treated.

3.3 Studs, blocking and plates: Southern yellow pine #1 Standard or better, dense, pressure treated. 3.4 Floor sheathing: 3/4" T&G P.T. plywood, unless otherwise noted.

3.5 Wall sheathing: 3/4" C-DX P.T. (Under standard siding), 3/4" CDX P.T. (Under stucco) 3.6 Roof sheathing: 3/4" C-DX exterior APA P.T. plywood. 3.7 Siding: #2 pine 1/2" x 6", pressure treated and kiln dried.

3.8 Exterior trim: 5/4" P.T. Southern Yellow Pine, unless otherwise noted. 3.9 Interior trim: clear fir or as called for on the drawings. 3.10 Shelving may be 3/4" plywood with a 1/8" x 3/4" hardwood glued and nailed to ends and edges exposed to view

with all ends and edges sanded and finished. 3.11 Built-in cabinets shall be plastic laminate and/or wood as shown and detailed on drawings. Plastic laminate shall be Formica, Wilsonart, Pionite, or equal. 3.12 Connectors, supports, joist hangers, etc., shall be Simpson, of types as indicated on drawings, all items

4. Construction and Workmanship:

4.1 All work shall be braced, plumbed and leveled. All joints shall be true and tight. A sufficient number of nails, screws, and bolts shall be used to insure the rigidity of the construction. 4.2 All millwork shall be carefully erected with tight fitting joints, carefully cut and secured. Exposed nails shall be set and puttied. All work shall be thoroughly cleaned and sanded to receive finish. 4.3 All carpentry work shall conform to Chapter 17 of the Standard Building Code, latest edition.

4.4 Provide grounds, stripping, furring, etc., to receive finish materials as required. 4.5 Provide x-bracing or solid blocking at center line of all framing members over eight feet in length. 4.6 Install all plywood with edges over framing members. Nail plywood siding at 6" O.C. at edges and 12" O.C. at

DIVISION 7 - MOISTURE PROTECTION 1. Scope: Roofing, sheet metal, caulking, insulation.

intermediate framing members. Stagger plywood joints.

2. Related Work Specified Elsewhere: Concrete, masonry, filling and backfilling, doors and windows.

3.1 The Contractor shall submit samples of materials for approval to the Architect as called for. 3.2 All materials shall be delivered bearing the manufacturer's name and brand.

3.3 All single ply membrane roofing shall be of the same manufacturer. Single ply roof shall be as manufactured by Fibertite, or equal single-ply membrane, with a minimum 10 year warranty. 3.4 All flashing, counter-flashing, reglets, etc., shall be galvalume with factory applied paint, or stainless steel where shown on drawings. All flashing, drips, etc., as detailed.

3.5 Subgrade waterproofing shall be black asphaltic emulsion painted onto walls, two coats minimum, as shown on

barrier on one side, applied to the room side of walls or ceilings. Rigid insulation shall be equal to: Celotex Brand

Polyisocyanurate closed cell foam insul with aluminum foil facing on one side. Thickness as called for on drawings.

3.6 Caulking or sealant shall be DAP Gold Label Butyl-Flex caulking compound or equal. All caulking shall contain no VOC's (Volatile Organic Compounds) In no case shall caulking or sealant be less than is required for its intended use. Submit manufacturer's data to the Architect when requested. Colors to match adjacent construction. 3.7 Batt insulation shall be minimum R-19 (or as called for in the drawings) at ceilings and R-11 at walls or vertical planes (except as shown on Drawings). Batt insulation shall be rock wool or similar NATURAL material. Masonry fill insulation, when required, shall be Vermiculite, Perlite, or equal; Min. R-5. All Batt insulations shall have a vapor

3.8 All "V" crimp metal roofing shall be 26" wide panels for placement 24" O.C., with "galvalume" coating, 26 gauge steel with a 5-V profile. Place roofing over a membrane complying with ASTM D 2626, Type 1, 30 lb. Provide all accessories: galvanized clips, anchors and other materials required for a complete and weathertight installation. Where Metal roofing is shown on the drawings "to match existing", furnish a sample of the proposed product to the Architect for approval.

3.9 Where metal shingle roofing is called for, provide "Galvalume" shingles, 30 gauge minimum with patterns as selected by the Architect 3.10 Where modified bituminous or "built-up" roofing is called for or otherwise required, use siplast 2030 CBH system

or approved equal. 4. Roofing:

4.1 The roofing Contractor shall inspect the roof deck for compatibility with specified roofing systems and materials, and for any defects of the deck, and state his findings to the Architect. 4.2 All work shall be done in strict accordance with the manufacturer's recommendations.

4.3 Pipes and ducts extending through the roof shall be flashed with one piece of sheet metal forming a flange which extends at least 6" on all sides.

4.4 Provide a written guarantee stating that any leaks or other defects in the roofing or flashing will be repaired to the Owner's satisfaction for a period of two (2) years. 4.5 All roofing shall be performed in accordance with applicable codes and ordinances, and in accordance with commonly accepted practices for quality roofs in the roofing industry.

5. General Requirements:

5.1 Furnish and install all work for this section as indicated. 5.2 Furnish and install flashing wherever indicated on drawings and wherever required to maintain the integrity of the

5.3 Furnish and install caulking wherever indicated and as required for weather tight seal. 5.4 After completing the roofing installation, the roofing and sheet metal contractor shall remove all excess materials and all trash and debris caused by his work.

5.5 The roofing subcontractor shall inspect all work in place for compatibility with specified roofing systems and materials, and for any defects of the deck, and state his findings to the Architect. 5.6 Roofing systems shall use the products of the same manufacturer unless specifically allowed by the roofing manufacturer in writing.

DIVISION 8 - DOORS, WINDOWS AND GLAZING, HARDWARE

1. Scope: Furnish and install all doors, windows, glass and glazing, hardware, frames and miscellaneous items as required for a complete project, as indicated on drawings, specified or otherwise necessitated by the work.

2. Related Work Specified elsewhere: Caulking

3.1 Wood doors shall be hollow core, or solid core, or panel, as indicated on drawings, of sizes and types as

3.2 Wood frames shall be pine or Douglas fir, appearance grade, as detailed. 3.3 Hollow metal doors and frames shall be the product of one manufacturer, or gauges sufficient for its intended use with all components hot dip galyanized.

4 Windows 4.1 All windows in exterior walls to be as shown on the window schedule. All windows to be wood units, manufactured by Marvin Windows and Doors, types as shown.

4.1.1 Finish: All windows to have factory applied primer on exterior and interior. Paint as per Division 9- Finishes. 4.1.2 Provide all windows with factory-installed fiberglass screens in aluminum frame with white finish. 4.1.3 Glazing: All windows, except as shown, shall be furnished with clear single glazing. Windows 'F' to be furnished with clear impact resistant glazing.

5. Glass and Glazing: 5.1 All fixed glass frames shall be as detailed.

other provisions or the documents.

5.2 All fixed glass in exterior walls shall be as indicated on drawings, 1/4" min., to withstand impact and wind loads shown on the drawings, but in no case less than required by code. 5.3 Chapter 24 of the Florida Building Code, 2001 edition, shall be the minimum requirement for glass and glazing.

Where discrepancies between drawings, specifications, or the code appear, the Contractor shall adhere to the most stringent requirement. 5.4 Chapter 16 of the Florida Building Code, 2001 edition, shall be the governing standard for wind and impact loading of glass, glazing and all related components. Where discrepancies between drawings, specifications, or the code appear, the contractor shall adhere to the most stringent requirement. 5.5 Impact resistant glazing may be laminated glass or lexan, unless specifically detailed or otherwise required by

6. Finish Hardware: 6.1 Provide hardware in all cases adequate for the service to which it will be subjected in the course of normal usage. Unless otherwise noted herein, all locks shall be keyed as directed by the Owner. 6.2 Submit samples of hardware finishes to the Architect for selection when requested in the drawings.

6.3 In the absence of a hardware schedule, the Contract shall include a bid allowance for the purchase of hardware 6.4 Install all hardware and related items required for a complete and functionina system. 6.5 For each of the required items of finish hardware, provide from the specified manufacturer or from one of the

indicated acceptable substitutes. Acceptable Substitute Manufacturer

Stanley, Taco, National McKinney or Equal Butts Locks Closers Sargent Floor Closers Rixson Panic Bolts Sargent Von Duprir Thresholds Pemko Miscellaneous Builders Brass Trimco, Ives

Provide other materials, not specifically described but required for a complete and proper installation, as selected by

the Contractor subject to the approval of the Architect.

7. General Requirements: 7.1 Provide P.T. wood thresholds for exterior doors, as detailed, or premanufactured units when hardware schedules do not specify thresholds. 7.2 Furnish and install weatherstripping at all exterior doors for weathertight seal.

7.3 Leave all labels on glass in place until inspected. After inspection remove all labels and thoroughly clean all 7.4 Protect all aluminum frames and glass from damage. The general Contractor shall be responsible for the removal of protective materials and cleaning with water, or water with soap or household detergent. The general

8. Finish Hardware Schedule:

A. Furnish the hardware groups in the amounts indicated on the drawings.

Contractor shall be held responsible for damage resulting from use of other cleaning materials.

3.3 Painting:

DIVISION 9 - FINISHES 1. Scope: Furnish and install all gypsum drywall at partitions and ceilings, painting and ceramic tile as indicated on

2. Related Work Specified Elsewhere: Carpentry, Plastic Laminate

3. Materials, Construction and Workmanship: 3.1 Gypsum Board: 3.1.1 Gypsum board shall be 5/8" type "X" taped and finished. Gypsum board shall have finish facing to receive paint.

3.1.2 Use water resistant gypsum board at toilet rooms and as called for on drawings. 3.1.3 Drywall shall be screw fastened to framing. Drywall screws shall be self- tapping flathead, shouldered and designed for use with power driven tools; not less than 1" long. 3.1.4 Furnish and install all gypsum board corner beads, edge guards, trim and metal accessories as required for a

complete job, of types as indicated on drawings. 3.1.5 Apply board with edges over framing member. 3.1.6 Soffits and ceilings to be smooth finish or other texture as approved by the Architect. All walls to be light smooth finish or other texture as directed by the Architect.

3.2 Ceramic tile: 3.2.1 Ceramic tile shall be manufacturer's standard glazed tile, unless noted otherwise, with all base, trim, etc., for a complete job. Sizes shall be as called for on the drawings. 3.2.2 Tile shall be as selected by the Architect, and as manufactured by American Olean, Florida Tile, Dallas Ceramic Company, Interpace Corporation or equivalent. Submit samples for approval when requested by the Architect.

3.2.4 Ceramic tile shall be thin set, mastic applied or mud set, at the Contractor's option. 3.2.5 Clean tile before final inspection. 3.2.6 All ceramic tile substrate shall be cementitious backer board. Wonderboard or equal.

3.2.3 Grout shall be white, unless otherwise noted, conforming to the highest quality industry standards.

3.3.1. Work covered in this section includes: a. Painting all interior surfaces as called for in the finish schedule. b. Painting all exterior clapboard, trim and soffits.

Exterior wood trim, doors and windows (to be painted):

c. Painting all doors, windows and trim. d. Finishing wood flooring with urethane finish. e. Painting exterior gutters and downspouts and any other exposed metal surfaces. f. Painting all interior millwork.

g. Painting and finishing any other work requiring finishing, but left unfinished by other people. 3.3.2 Painting materials as manufactured by Benjamin Moore, Sherwin Williams, Dunn-Edwards, Deer-O, or Pittsburgh Paints. Stains as manufactured by Olympic, U.S. Plywood and Woodlife. 3.3.3 Mask as required, lay drop cloths, and generally protect all adjacent surfaces. Properly protect or remove light

fixtures, hardware, etc., during painting. 3.3.4 Finish tops, bottoms and edges of doors the same as door faces. 3.3.5 Materials for painting and finishing are based on products of the Benjamin Moore Co., unless noted otherwise.

Primer (1) Coat Fresh Start 100% Acrylic Primer (0023) - 49 g/l VOC. Topcoats (2) Coats MoorGlo Acrylic House \$ Trim (Soft Gloss) (N096) - 149 g/l VOC. Exterior wood siding (to be painted):

Topcoats (2) Coats MoorGard Low Lustre Acrylic House Paint (N103) - 48 g/l VOC.

Primer (1) Coat Fresh Start 100% Acrylic Primer (0023) - 49 g/l VOC.

Exterior wood siding to be stained:

(2) Coats Premium Exterior Stain Acrylic Solid Color (NO89) - 78 g/l VOC.

Interior Drywall and Wood T&G (to be painted): Topcoat (2) Coats. Walls - Regal Premium Interior Latex Pearl Finish (N310) - 142 a/1 VOC.

Interior Wood Trim & Millwork (to be painted):

Primer (1) Coat Fresh Start 100% Acrylic Primer (0023) - 49 a/l VOC. Topcoat (2) Coats. Regal Latex Semi-Gloss Finish (N333) - 145 a/1 VOC.

Stain (1-2) Coats SAFECOAT Durostain - 56 a/1 VOC

(3) Coats SAFECOAT Polyureseal BP Satin Finish - 110 g/1 VOC 3.3.6 Undercoats and Thinners:

1. Provide undercoat paint produced by the same manufacturer and use only as the finish paint.

Ceilings - Regal Matte Finish (N221) - 97 g/l VOC.

2. Use only the thinners recommended by the paint manufacturer and use only to the recommended limits. 3. Insofar as practicable, use undercoat, finish coat and thinner materials as parts of a unified system of paint finish. 3.3.7 Acceptance of bases: The Painting Contractor shall be responsible for the finish of his work and shall not start

painting until the surfaces are in proper condition to receive paint. If the Contractor considers any surfaces unsuitable to a degree that they cannot be corrected by scraping or sanding, he shall report this to the Architect or the Owner before applying any materials to same. Starting his own work shall be considered an acceptance of the surfaces. 3.3.8 Preparation of surfaces: Prepare wood surfaces by sealing all knots with QD 30 knot sealer. Putty nailholes, cracks, and blemishes and sand rough areas before applying second coat of paint. Clean oily or greasy surfaces. Remove

rust by scraping or sanding. 3.3.9 All surfaces to be painted must be free of dirt and dust before painting.

3.3.10 All workmanship shall be of a professional quality with paint spread evenly without runs. Colors shall be as selected by the Architect or the Owner, and shall conform to the approved sample. 3.3.11 Nailholes and imperfections shall be neatly puttied after the first coat. Putty shall be colored to match the color of the surface to which it is applied.

3.3.12 Enamels, varnishes and exterior oil paints shall be allowed to dry at least 48 hours between coats. Interior paints shall be allowed to dry at least 24 hours between coats. 3.3.13 Paint shall be applied in the following number of coats:

(See schedule above)

3.3.14 Urethane shall be applied in the following manner:

Wood flooring - Stain (color to be approved by Owner) Sealer and three coats of urethane

3.4.3 All tile shall be installed in accordance with the manufacturer's recommendations, using an adhesive recommended for the particular floor condition. 3.4.4 After the floor is laid and prior to final acceptance, the floor shall be cleaned, waxed and machine buffed.

DIVISION 15 - MECHANICAL AND PLUMBING 1. Scope: Furnish all labor, materials, tools, transportation, services, etc., as required for complete installation of all

3.5.1 Owners to select the carpet where shown on the Room Finish Schedule.

3.5.2 Include a Unit Price Allowance in the Contract of \$28/ square yard.

mechanical and plumbing work as indicated on drawings, specified or otherwise necessitated by the work, for the completion of the project. 2. Related Work Specified Elsewhere: Excavation, filling and backfilling, moisture protection.

3. Mechanical - Materials General Requirements: 3.1 All work shall be done by experienced workmen, in accordance with the highest industry standards.

3.3 All square corner turns in ductwork to have turning vanes. 3.4 Insulate concealed ductwork with 1/2" thick, 3/4 P.C.F. density fiberglass blanket. 3.5 Test all equipment and repair, replace, or adjust as required. Adjust and balance all registers and diffusers to

furnish necessary air quantities. 4. Plumbing - Materials and General Requirements: 4.1 All materials furnished under this contract shall be new and free from defects of any character. All materials shall

4.2 Plumbing fixtures, equipment and materials shall be as indicated on the drawings. 4.3 The work shall conform to current codes, ordinances and requirements of all governing agencies.

comply with the Underwriters Laboratories Standards for each and shall so be labeled.

4.4 Plumbing work includes, but is not necessarily limited to: a. Soil, waste and vent piping

b. Storm water conductors to cistern c. Hot, cold water

3.2 Register: Equal to Krueger

3.5 Carpet

d. Roof flashing for vent piping e. Installation of all plumbing fixtures and accessories

f. Excavation and backfill for plumbing lines g. Cistern pump, pressure tank, piping \$ hose bibbs. h. Solar hot water heating system with photovoltaic panel \$ associated equipment for a complete system as shown on the Drawings. System to be as manufactured by American Energy Technologies or equal.

4.5 Piping shall be: Soil, waste, vent stack and storm conductors - PVC high impact rigid plastic with solvent cemented joints. All pipes shall be inside walls and floors, and otherwise concealed from view. Hot and cold water - Type L copper tubing with sweat soldered wrought fittings within building, Schedule 40 PVC

outside building and below grade.

DIVISION 16 - ELECTRICAL . Scope: Furnish, install and connect complete electrical systems as shown on the drawings, specified or otherwise necessitated by the work, including, but not necessarily limited to: electrical service entrance and metering, complete electric distribution system for lighting and power, wiring and related work for: mechanical systems, motors, pumps,

telephone, cable t.y. rough in, and equipment. 2. Related Work Specified Elsewhere: Excavation, filling and backfilling, mechanical and plumbing.

3. Construction and Workmanship: All work and materials shall comply with the following as minimum standards. a. The National Electric Code, latest edition

b. The National Electric Manufacturers Association Standards c. The National Electrical Safety Code

d. The Insulated Power Cable Engineers Association Standards e. Underwriters Laboratories Incorporated Standards

Feeders to be (2) 1/0 THW W/ (1) THW in 2" conduit.

building department and fire department having jurisdiction over the project.

purchasing them through the Contractor.

4. General Requirements: 4.1 All outlets shall be arounded 4.2 All work shall be concealed

4.3 All grounding shall be in accordance with the National Electric Code. 4.4 Lighting fixtures, equipment, etc., shall be as scheduled or otherwise indicated on the drawings. 4.5 The Contractor shall guarantee the entire installation (except lamps) for a period of one (1) year from the date of

4.6 Materials and equipment shall comply with the applicable current standards of Underwriters Laboratories Inc. Panels: Square "D" or equal panels with rain tight enclosure when used outdoors. Romex 12-2 with ground and plastic fiberglass boxes are permitted, unless otherwise specified on the drawings.

Conduit to be P.V.C. provide stub only. Wiring devices shall be Leviton, residential grade white, or approved equal. 4.7 Contractor shall furnish lighting fixtures and fans in Contract, as called for on the fixture schedule shown on the Drawings. In the absence of a fixture schedule, fixtures will be as selected by the Owner and paid by the Owner as a negotiated extra to the Contract. The Owner reserves the right to furnish fixtures shown for installation in lieu of

4.8 Contractor shall furnish and install approved hard-wired smoke detectors in accordance with the requirements of the

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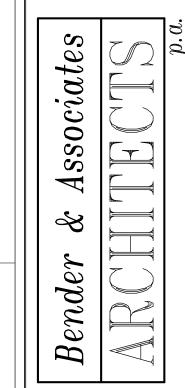
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410 Angela Street Key West, Florida 33040 Telephone (305) 296-1347 Facsimilie (305) 296-2727 Florida License AAC002022



Project Nº: SPECIFICATIONS 02/25/15

8 OF 8

The Historic Architectural Review Commission will hold a public hearing at 5:30 p.m., August 25, 2015 at Old City Hall, 510 Greene Street, Key West, Florida. The purpose of the hearing will be to consider a request for:

RESTORATION OF FRONT PORCH AND STRUCTURAL STABILIZATION TO HISTORIC EYEBROW HOUSE. DEMOLITION OF ATTACHED STRUCTURE TO THE FRONT PORCH AND REMOVAL OF NON-HISTORIC ENCLOSURE OF FRONT PORCH.

FOR-#614 DEY STREET

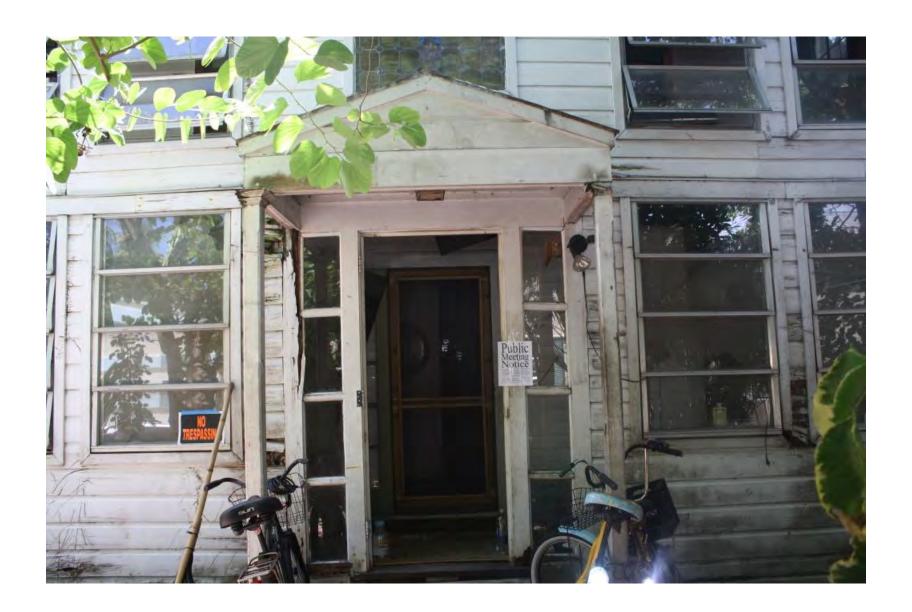
Applicant – Bender and Associates

Application #H15-01-1078

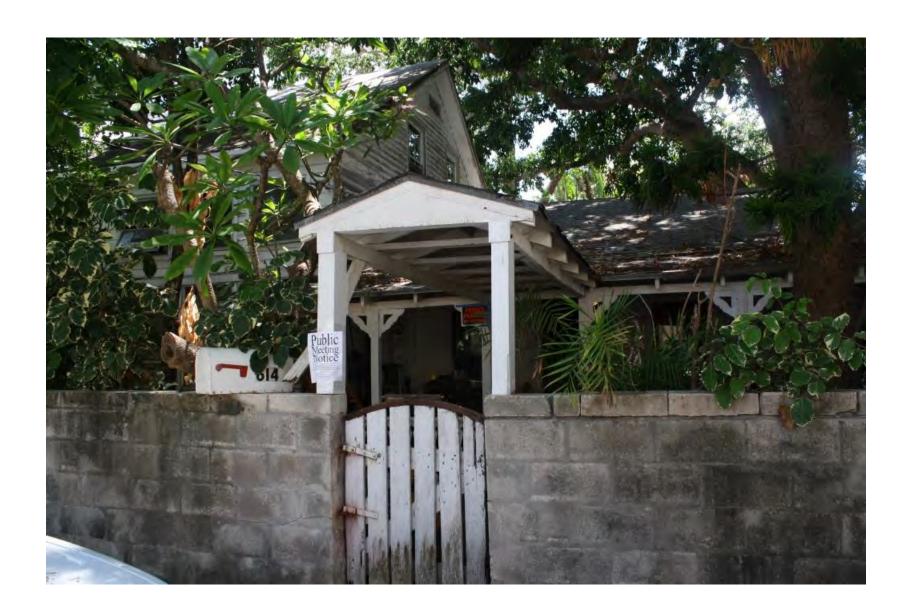
If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 3140 Flagler Avenue, call 305-809-3975 or visit our website at www.cityofkeywest-fl.gov.

THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION

ADA ASSISTANCE: It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 800-955-8771 or 800-955-8770 (Voice) or the ADA Coordinator at 305-809-3731 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.









HARC POSTING AFFIDAVIT

STATE OF FLORIDA: **COUNTY OF MONROE: BEFORE ME**, the undersigned authority, personally appeared _ BERT BENDER, who, first being duly sworn, on oath, depose and says that the following statements are true and correct to the best of his/her knowledge and belief: 1. That a legal notice for Public Notice of Hearing of the Historic Architectural Review Commission (HARC) was placed on the following address: 612-614 DEY STREET KEY WEST, FL. on the 18th day of AUGUST , 2015. This legal notice(s) contained an area of at least 8.5"x11". The property was posted to notice a public hearing before the Key West Historic Architectural Review Commission to be held on AUGUST 25, 2015 2015. The legal notice(s) is/are clearly visible from the public street adjacent to the property. The Certificate of Appropriateness number for this legal notice is H15-01-1078 2. A photograph of that legal notice posted in the property is attached hereto. Signed Name of Affiant: Date: 18 - AUGUST 2015 Address: 410 ANGECA SP City: KEY WEST State, Zip: 🛌 330年0 The forgoing instrument was acknowledged before me on this Hugust , 2015. By (Print name of Affiant) <u>Bert Bender</u> who is personally known to me or has produced identification and who did take an oath.

NOTARY PUBLIC

Sign Name: David D. Katubi

Print Name: David D. Katubi

Notary Public - State of Florida (seal)

My Commission Expires:



PROPERTY APPRAISER INFORMATION



Key West (305) 292-3420 Marathon (305) 289-2550 Plantation Key (305) 852-7130

Property Record Card -Maps are now launching the new map application version.

Alternate Key: 1001023 Parcel ID: 00001000-000000

Ownership Details

Mailing Address:

HELDON BAY LIMITED PARTNERSHIP 24889 EVENING STAR LN BIGFORK, MT 59911-8292

Property Details

PC Code: 01 - SINGLE FAMILY

Millage Group: 12KW Affordable Housing: No

Section-Township-Range: 06-68-25

Property Location: 610 DEY ST KEY WEST

614 DEY ST KEY WEST

Legal Description: KW PT LOT 4 SQR 12 OR126-222/23 OR264-285/286 OR559-287 OR1834-2288/89L/E OR2152-1711/20F/J

OR2532-2452D/C OR2697-111D/C OR2699-664/68

Click Map Image to open interactive viewer

8/21/2015 10:30 AM 1 of 6



Land Details

Land Use Code	Frontage	Depth	Land Area
010D - RESIDENTIAL DRY	0	0	11,635.00 SF

Building Summary

Number of Buildings: 1 Number of Commercial Buildings: 0 Total Living Area: 4410

Year Built: 1943

Building 1 Details

Building TypeR1ConditionPQuality Grade550Effective Age34Perimeter624Depreciation % 36Year Built1943Special Arch0Grnd Floor Area4,410

Functional Obs 0 Economic Obs 0

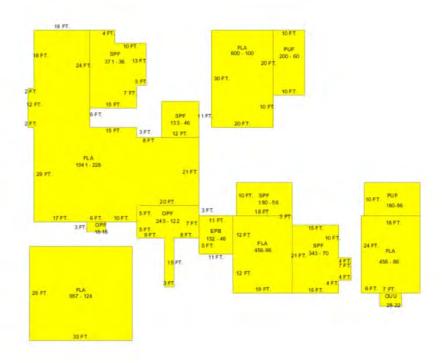
Inclusions: R1 includes 1 3-fixture bath and 1 kitchen.

Roof Type GABLE/HIP Roof Cover METAL Foundation NONE Heat 1 NONE Heat 2 NONE Bedrooms 3

Heat Src 1 NONE Heat Src 2 NONE

Extra Features:

0	Vacuum	1	2 Fix Bath
0	Garbage Disposal	1	3 Fix Bath
0	Compactor	1	4 Fix Bath
0	Security	1	5 Fix Bath
0	Intercom	1	6 Fix Bath
0	Fireplaces	1	7 Fix Bath
0	Dishwasher	(Extra Fix



Sections:

Nbr	Туре	Ext Wall	# Stories	Year Built	Attic A/C	Basement %	Finished Basement %	Area
0	FLA	1:WD FRAME	1	1991				456
0	FLA	1:WD FRAME	1	1991				456
0	PUF	1:WD FRAME	1	1991				200
0	FLA	1:WD FRAME	1	1991				957
0	EPB	1:WD FRAME	1	1991				132
0	SPF		1	1991				133
0	SPF		1	1991				343
0	SPF	·	1	1991				180

0	<u>PUF</u>		1	1991					180
0	<u>000</u>		1	2000					28
1	<u>FLA</u>	1:WD FRAME	1	1991	N	N	0.00	0.00	1,941
2	<u>OPF</u>	1:WD FRAME	1	1991	N	N	0.00	0.00	245
4	SPF	1:WD FRAME	1	1991	N	N	0.00	0.00	371
5	<u>FLA</u>	1:WD FRAME	1	1991	N	N	0.00	0.00	600
8	<u>OPF</u>		1	1991	N	N	0.00	0.00	18

Misc Improvement Details

Nbr	Туре	# Units	Length	Width	Year Built	Roll Year	Grade	Life
0	FN2:FENCES	260 SF	65	4	1991	1992	4	30
0	FN2:FENCES	120 SF	20	6	1992	1992	2	30
0	UB2:UTILITY BLDG	1,406 SF	0	0	1990	1991	3	50
1	CL2:CH LINK FENCE	344 SF	0	0	1964	1965	1	30
2	FN2:FENCES	280 SF	0	0	1975	1976	3	30

Appraiser Notes

FOR THE 2005 TAX ROLL RE 101 AK 1001031 HAS BEEN COMBINED WITH THIS PARCEL PER OWNER'S REQUEST. SINCE THIS LAND HAS ALWAYS BEEN PART OF HOMESTEAD PROPERTY I HAVE TAKEN THE 1994 VALUE AND INCREASED EACH YEAR BY THE APPROPRIATE CPI % TO BRING IN FOR THE 2005 VALUE. LG

RCN-MI= \$622 UNIT COST-MI= \$2.59 RCN-MI= \$400 UNIT COST-MI= \$5.97 NOPY WALL QG=350 QG=350 QG=200 QG=200 2000-02-23 - DOR AUDIT PARCEL

Building Permits

Bldg	Number	Date Issued	Date Completed	Amount Description	Notes
	14-5225	11/25/2014		1,500	REPLACE 350 LF OF SIDING 300 LF CORNER BOARDS EXTERIOR TRIM AT DOORS AND WINDOWS
	14-5338	11/20/2014		2,200	
	14-0538	02/09/2015		2,200	REVISION: REPLACE 2 PANELS WITH 100 AMP PANELS ADD SMOKE DETECTORS AND GFI OUTLETS
	B940077	01/01/1994	11/01/1994	2,000	REPLACE 100 AMP SERVICE

Parcel Value History

Certified Roll Values.

View Taxes for this Parcel.

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2015	378,745	18,547	811,437	1,208,729	1,208,729	0	1,208,729
2014	299,443	2,237	742,512	1,044,192	1,013,641	25,000	991,340
2013	304,122	2,237	639,246	945,605	945,605	25,000	920,605

2012	304,122	2,237	503,166	809,525	809,525	0	809,525
2011	299,443	2,237	471,346	773,026	647,087	25,000	622,087
2010	275,611	2,250	592,572	870,433	637,524	25,000	612,524
2009	307,528	2,340	1,195,371	1,505,239	620,763	25,000	595,763
2008	283,807	2,452	1,569,649	1,855,908	620,143	25,000	595,143
2007	476,761	2,513	1,778,559	2,257,833	602,081	25,000	577,081
2006	432,503	2,603	1,072,782	1,507,888	587,396	25,000	562,396
2005	407,526	2,715	959,857	1,370,098	570,287	25,000	545,287
2004	204,426	1,055	403,340	608,821	338,437	25,000	313,437
2003	263,133	1,055	201,670	465,858	332,127	25,000	307,127
2002	228,995	1,055	201,670	431,720	324,343	25,000	299,343
2001	221,208	1,055	201,670	423,933	319,236	25,000	294,236
2000	282,609	1,288	115,240	399,136	309,938	25,000	284,938
1999	226,757	1,033	115,240	343,030	285,825	25,000	260,825
1998	206,651	1,757	115,240	323,648	276,430	25,000	251,430
1997	201,065	1,710	103,716	306,491	267,698	25,000	242,698
1996	137,395	1,169	103,716	242,279	240,552	25,000	215,552
1995	137,395	1,169	103,716	242,279	236,754	25,000	211,754
1994	122,873	1,045	103,716	227,634	227,634	25,000	202,634
1993	122,873	1,045	103,716	227,634	227,634	25,000	202,634
1992	122,873	1,045	103,716	227,634	227,634	25,000	202,634
1991	111,894	1,045	103,716	216,655	216,655	25,000	191,655
1990	129,398	1,045	86,430	216,874	216,874	25,000	191,874
1989	116,923	950	84,990	202,863	202,863	25,000	177,863
1988	100,411	950	77,787	179,148	179,148	25,000	154,148
1987	87,752	950	52,938	141,640	141,640	25,000	116,640
1986	88,140	950	51,858	140,948	140,948	25,000	115,948
1985	85,941	950	25,814	112,705	112,705	25,000	87,705
1984	81,036	950	25,814	107,800	107,800	25,000	82,800
1983	81,036	950	25,814	107,800	107,800	25,000	82,800
1982	82,393	950	25,814	109,157	109,157	25,000	84,157

Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

Sale Date	Official Records Book/Page	Price	Instrument	Qualification
8/15/2014	2699 / 664	2,000,000	WD	30

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Monroe County Property Appraiser Scott P. Russell, CFA

P.O. Box 1176 Key West, FL 33041-1176

6 of 6