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### **Staff Report for Item 6**

**To:** Chairman Bryan Green and Historic Architectural Review  
Commission Members

**From:** Kelly Perkins, MHP  
HARC Assistant Planner

**Meeting Date:** January 26, 2015

**Applicant:** McIntyre Construction

**Application Number:** H15-01-1817

**Address:** #1209 Knowles Lane

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### **Description of Work:**

Demolition of side addition. Removal of enclosure at front façade.

### **Site Facts:**

The house at 1209 Knowles Street is listed as a contributing resource in the survey and was constructed sometime around 1899. The building could be even older, but staff is unsure if it's the same building in that location on the Sanborn maps. The one-story house has two rear additions: one with a sawtooth and one with a shed roof. The house had an open front porch, but it was enclosed by 1965. Between 1962 and 1965, a side addition was constructed on the north side of the house. The house also has a carport on the south side that does not show up in any photographs or maps.

### **Ordinance Cited in Review:**

Sec. 102-218 (a): Criteria for demolition of a historic or contributing building.

Sec. 102-218 (b): Criteria for demolitions.

### **Staff Analysis**

This Certificate of Appropriateness proposes the second reading for demolition of a historic side addition and removal of a historic enclosure. This project first became before the Commission in

December of 2015 and was approved. Since the side addition and the front enclosure are in existence in a c.1965 photograph, and they are then fifty years old and considered historic.

Even though certain elements are historic, staff does not feel that they meeting any of the criteria listed in Sec. 102-218, and therefore can be considered for demolition:

- (1) The side addition and the front enclosure do not embody distinctive characteristics and are not significant and distinguished entity. Staff feels that their components lack individual distinction.
- (2) The side addition and the front enclosure are not specifically associated with events that have made a significant contribution to local, state, or national history;
- (3) The side addition and the front enclosure have no significant character, interest, or value as part of the development, heritage, or cultural characteristics of the city, state or nation, and are not associated with the life of a person significant in the past;
- (4) The side addition and the front enclosure to be demolished are not the site of a historic event with a significant effect upon society;
- (5) The side addition and the front enclosure do not exemplify the cultural, political, economic, social, or historic heritage of the city;
- (6) The side addition and the front enclosure do not portray the environment in an era of history characterized by a distinctive architectural style;
- (7) The side addition and the front enclosure are not related to a square, park, or other distinctive area.
- (8) The side addition and the front enclosure do not have a unique location or singular physical characteristic which represents an established and familiar visual feature of its neighborhood or of the city, and do not exemplify the best remaining architectural type in a neighborhood; and
- (9) The side addition and the front enclosure have not yielded, and are not likely to yield, information important in history.

Since this is the second reading for demolition, this will be the final review for this project.

# APPLICATION

# COMBINATION APPLICATION: FLOODPLAIN, CONSTRUCTION AND HARC

\$50.00 APPLICATION FEE NON-REFUNDABLE



City of Key West

3140 FLAGLER AVENUE  
KEY WEST, FLORIDA 33040

Phone: 305.809.3956

NOV 24 2015

HARC PERMIT NUMBER 15-01-1817	BUILDING PERMIT NUMBER 15-01841	INITIAL & DATE INZ 11/24/15
FLOODPLAIN PERMIT		REVISION #
FLOOD ZONE	PANEL #	ELEV. L. FL.
SUBSTANTIAL IMPROVEMENT		YES NO %

ADDRESS OF PROPOSED PROJECT:

RE # OR ALTERNATE KEY:

NAME ON DEED:

OWNER'S MAILING ADDRESS:

CONTRACTOR COMPANY NAME:

CONTRACTOR'S CONTACT PERSON:

ARCHITECT / ENGINEER'S NAME:

ARCHITECT / ENGINEER'S ADDRESS:

1209 Knowles Ln - Key West FL 33040	# OF UNITS
Kevin McIntyre	PHONE NUMBER
312 O'Brien St	EMAIL
Key West FL 33040	
McIntyre Construction L.L.C.	PHONE NUMBER
Nate McIntyre	EMAIL
W. H. Ben Perera	PHONE NUMBER
211 Perera Ln	EMAIL
Key West FL 33040	

HARC: PROJECT LOCATED IN HISTORIC DISTRICT OR IS CONTRIBUTING: ☒ YES ☐ NO (SEE PART C FOR HARC APPLICATION.)

CONTRACT PRICE FOR PROJECT OR ESTIMATED TOTAL FOR MAT'L., LABOR & PROFIT:

\$ 165,000.00

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083.

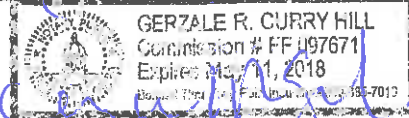
PROJECT TYPE:	<input checked="" type="checkbox"/> ONE OR TWO FAMILY	<input type="checkbox"/> MULTI-FAMILY	<input type="checkbox"/> COMMERCIAL	<input type="checkbox"/> NEW	<input type="checkbox"/> REMODEL
	<input type="checkbox"/> CHANGE OF USE / OCCUPANCY	<input checked="" type="checkbox"/> ADDITION	<input checked="" type="checkbox"/> SIGNAGE	<input type="checkbox"/> WITHIN FLOOD ZONE	
	<input checked="" type="checkbox"/> DEMOLITION	<input type="checkbox"/> SITE WORK	<input checked="" type="checkbox"/> INTERIOR	<input checked="" type="checkbox"/> EXTERIOR	<input type="checkbox"/> AFTER-THE-FACT

DETAILED PROJECT DESCRIPTION INCLUDING QUANTITIES, SQUARE FOOTAGE ETC.,

Remodel & Renovation

exs. 300 sq ft one story home 95 per plan

I'VE OBTAINED ALL NECESSARY APPROVALS FROM ASSOCIATIONS, GOV'T AGENCIES AND OTHER PARTIES AS APPLICABLE TO COMPLETE THE DESCRIBED PROJECT.	
OWNER PRINT NAME:	QUALIFIER PRINT NAME:
OWNER SIGNATURE:	QUALIFIER SIGNATURE:
Notary Signature as to owner:	Notary Signature as to qualifier:
STATE OF FLORIDA, COUNTY OF MONROE, SWORN TO AND SCRIBED BEFORE ME THIS DAY OF 20	STATE OF FLORIDA, COUNTY OF MONROE, SWORN TO AND SCRIBED BEFORE ME THIS DAY OF 20
Personally known or produced as identification	Personally known or produced as identification



36582/16057



## PART B: SUPPLEMENTARY PROJECT DETAILS TO AVOID DELAYS / CALL-BACKS

PROPERTY STRUCTURES AFFECTED BY PROJECT: ☒ MAIN STRUCTURE ☐ ACCESSORY STRUCTURE ☐ SITE

ACCESSORY STRUCTURES: ☐ GARAGE / CARPORT ☐ DECK ☐ FENCE ☐ OUTBUILDING / SHED

FENCE STRUCTURES: ☐ 4 FT. ☐ 6 FT. SOLID ☐ 6 FT. / TOP 2 FT. 50% OPEN

POOLS: ☐ INGROUND ☐ ABOVE GROUND ☐ SPA / HOT TUB ☐ PRIVATE ☐ PUBLIC  
 PUBLIC POOLS REQUIRE BD. OF HEALTH LICENSE APPLICATION AT TIME OF CITY APPLICATION.  
 PUBLIC POOLS REQUIRE BD. OF HEALTH LICENSE PRIOR TO RECEIVING THE CITY CERTIFICATE OF OCCUPANCY.

ROOFING: ☒ NEW ☐ ROOF-OVER ☐ TEAR-OFF ☐ REPAIR ☐ AWNING  
☐ 5 V METAL ☐ ASPLT. SHGLS. ☐ METAL SHGLS. ☐ BLT. UP ☐ TPO ☐ OTHER

FLORIDA ACCESSIBILITY CODE: ☐ 20% OF PROJECT FUNDS INVESTED IN ACCESSIBILITY FEATURES.

SIGNAGE: ☐ # OF SINGLE FACE ☐ # OF DOUBLE FACE ☐ REPLACE SKIN ONLY ☐ BOULEVARD ZONE  
☐ POLE ☐ WALL ☐ PROJECTING ☐ AWNING ☐ HANGING ☐ WINDOW  
 SQ. FT. OF EACH SIGN FACE:

### SUBCONTRACTORS / SPECIALTY CONTRACTORS SUPPLEMENTARY INFORMATION:

☒ MECHANICAL: ☒ DUCTWORK ☐ COMMERCIAL EXH. HOOD ☐ INTAKE / EXH. FANS ☐ LPG TANKS  
☒ A/C: ☐ COMPLETE SYSTEM ☐ AIR HANDLER ☐ CONDENSER ☒ MINI-SPLIT  
☐ ELECTRICAL: ☒ LIGHTING ☒ RECEPTACLES ☒ HOOK-UP EQUIPMENT ☐ LOW VOLTAGE  
☒ SERVICE: ☐ OVERHEAD ☐ UNDERGROUND ☐ 1 PHASE ☐ 3 PHASE ☐ AMPS  
☐ PLUMBING: ☒ ONE SEWER LATERAL PER BLDG. ☐ INGROUND GREASE INTCPTRS. ☐ LPG TANKS  
 RESTROOMS: ☐ MEN'S ☐ WOMEN'S ☐ UNISEX ☐ ACCESSIBLE

## PART C: HARC APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS

APPLICATION FEES: PAINTING SINGLE FAMILY: \$10 STAFF APPROVAL: \$50 COMMISSION REVIEW \$100

PLEASE ATTACH APPROPRIATE VARIANCES / RESOLUTIONS FROM HARC, PLANNING BOARD OR TREE COMMISSION.

ATTENTION: NO BUILDING PERMITS WILL BE ISSUED PRIOR TO HARC APPROVAL.

PLEASE SEND ELECTRONIC SUBMISSIONS TO: [harc@cityofkeywest-fl.gov](mailto:harc@cityofkeywest-fl.gov)

INDICATE TYPE OF CERTIFICATE OF APPROPRIATENESS: ☒ GENERAL ☐ DEMOLITION ☐ SIGN ☐ PAINTING ☒ OTHER

ADDITIONAL INFORMATION:

PROJECT SPECIFICATIONS: PLEASE PROVIDE PHOTOS OF EXISTING CONDITIONS, PLANS, PRODUCT SAMPLES, TECHNICAL DATA		
ARCHITECTURAL FEATURES TO BE ALTERED:	ORIGINAL MATERIAL:	PROPOSED MATERIAL:
<i>As per plans.</i>		
<i>Remodel &amp; Renate existing one story structure as per plans.</i>		

DEMOLITION: PLEASE FILL OUT THE HARC APPENDIX FOR PROPOSED DEMOLITION.

DEMOLITION OF HISTORIC STRUCTURES IS NOT ENCOURAGED BY THE HISTORIC ARCHITECTURAL REVIEW COMMISSION.


SIGNAGE: (SEE PART B) ☐ BUSINESS SIGN ☐ BRAND SIGN ☐ OTHER:

BUSINESS LICENSE #

IF FAÇADE MOUNTED, SQ. FT. OF FAÇADE

Oper: MEYNOLD Type: OC Drawn: 1  
 Date: 11/25/15 53 Receipt no: 4618  
 2015 1001817  
 \* BUILDING PERMITS-NEW  
 L.00 \$100.00  
 Trans number: 0072012  
 AM VISA/MASTERC \$150.00  
 Trans date: 11/25/15 Time: 12:51:49

SIGN SPECIFICATIONS		
SIGN COPY:	PROPOSED MATERIALS:	SIGNS WITH ILLUMINATION:
		TYPE OF LTG.:
		LTG. LINEAL FTG.:
MAX. HGT. OF FONTS:		COLOR AND TOTAL LUMENS:
IF USING LIGHT FIXTURES PLEASE INDICATE HOW MANY: INCLUDE SPEC. SHEET WITH LOCATIONS AND COLORS.		

OFFICIAL USE ONLY:		HARC STAFF OR COMMISSION REVIEW	
<input checked="" type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION <input type="checkbox"/> TABLED FOR ADD'L. INFO.			
HARC MEETING DATE:	12/15/15	HARC MEETING DATE:	
REASONS OR CONDITIONS: FIRST READING FOR DEMO- 12/15/15			
STAFF REVIEW COMMENTS:			
HARC PLANNER SIGNATURE AND DATE:			
			
HARC CHAIRPERSON SIGNATURE AND DATE:			

## PART D: STATE OF FLORIDA OFFICIAL NOTIFICATIONS AND WARNINGS

FLORIDA STATUTE 713.135: WARNING TO OWNER: YOUR FAILURE TO RECORD A 'NOTICE OF COMMENCEMENT' MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED WITH THE COUNTY RECORDER AND A COPY POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING A NOTICE.

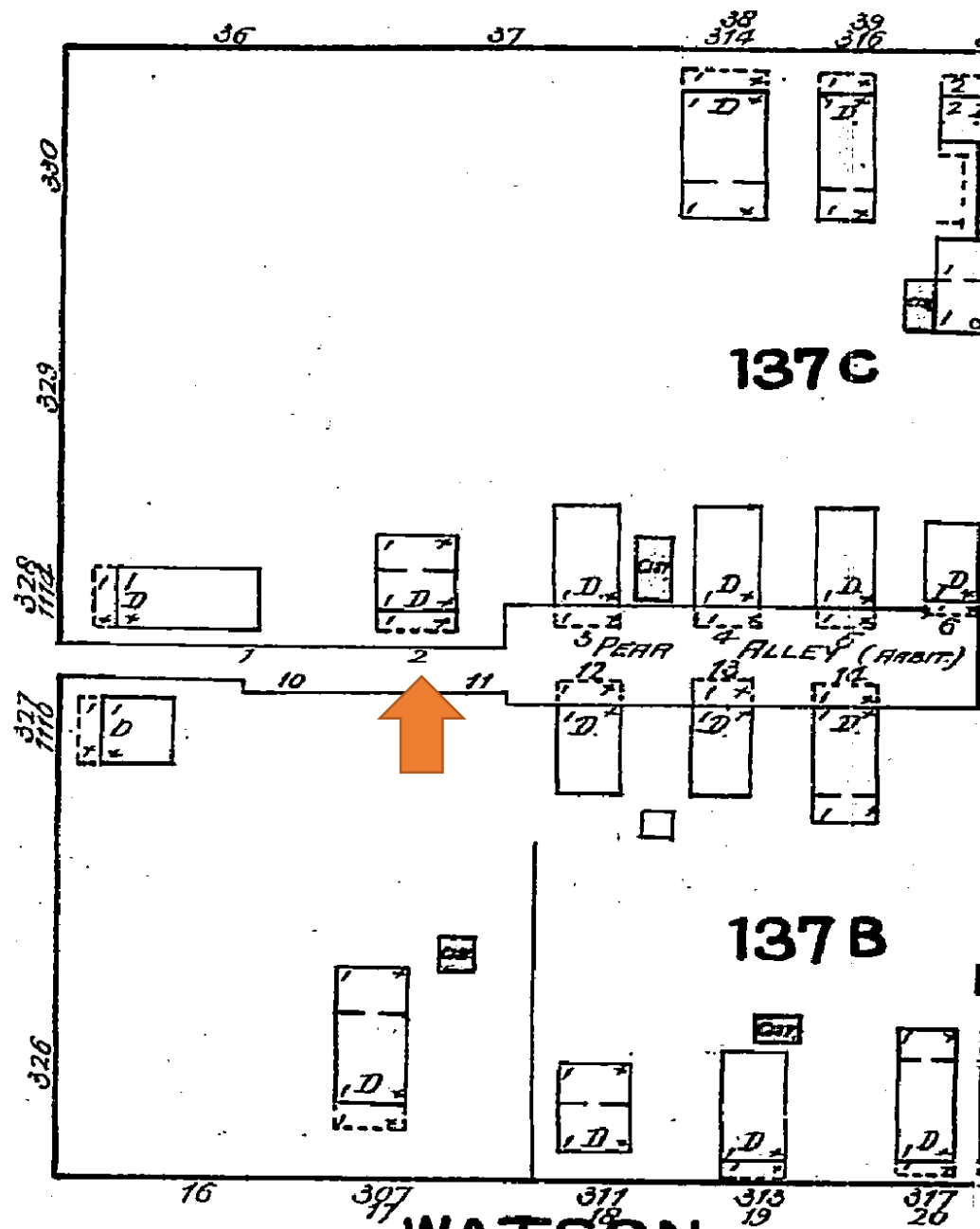
FLORIDA STATUTE 469: ABESTOS ABATEMENT. AS OWNER / CONTRACTOR / AGENT OF RECORD FOR THE CONSTRUCTION APPLIED FOR IN THIS APPLICATION, I AGREE THAT I WILL COMPLY WITH THE PROVISIONS F. S. 469.003 AND TO NOTIFY THE FLORIDA D. E. P. OF MY INTENT TO DEMOLISH / REMOVE ASBESTOS. IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT APPLICATION, THERE MAY BE DEED RESTRICTIONS AND / OR ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF MONROE COUNTY AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENT ENTITIES SUCH AS AQUADUCT AUTHORITY, FLORIDA DEP OR OTHER STATE AGENCIES; ARMY CORPS OF ENGINEERS OR OTHER FEDERAL AGENCIES.

FEDERAL LAW REQUIRES LEAD PAINT ABATEMENT PER THE STANDARDS OF THE USEP ON STRUCTURES BUILT PRIOR TO 1978.

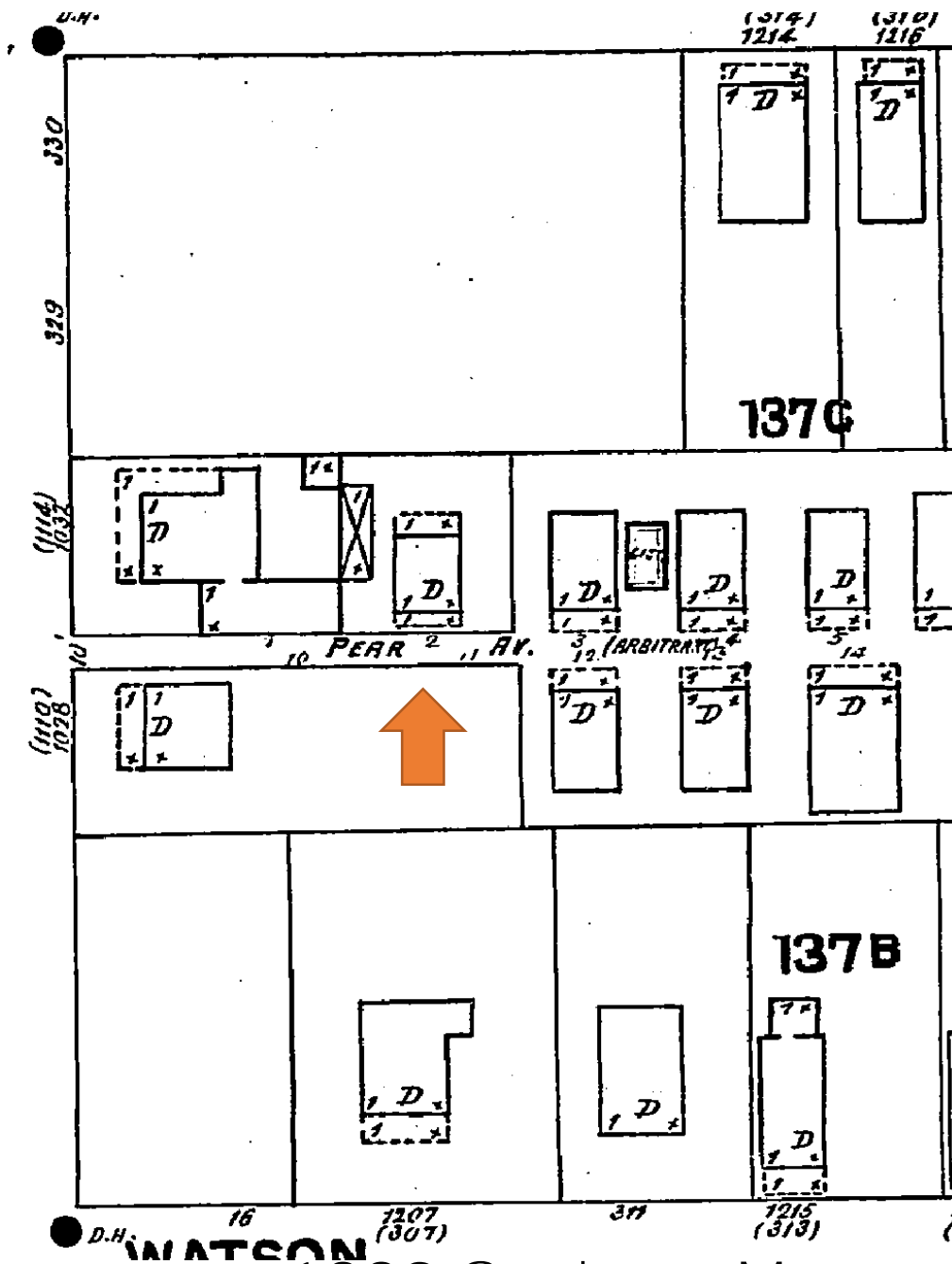
OFFICIAL USE ONLY BY PLANS EXAMINER OR CHIEF BUILDING OFFICIAL:				CBO OR PL. EXAM. APPROVAL:
HARC FEES:	BLDG. FEES:	FIRE MARSHAL FEE:	IMPACT FEES:	
				DATE:

# SANBORN MAPS



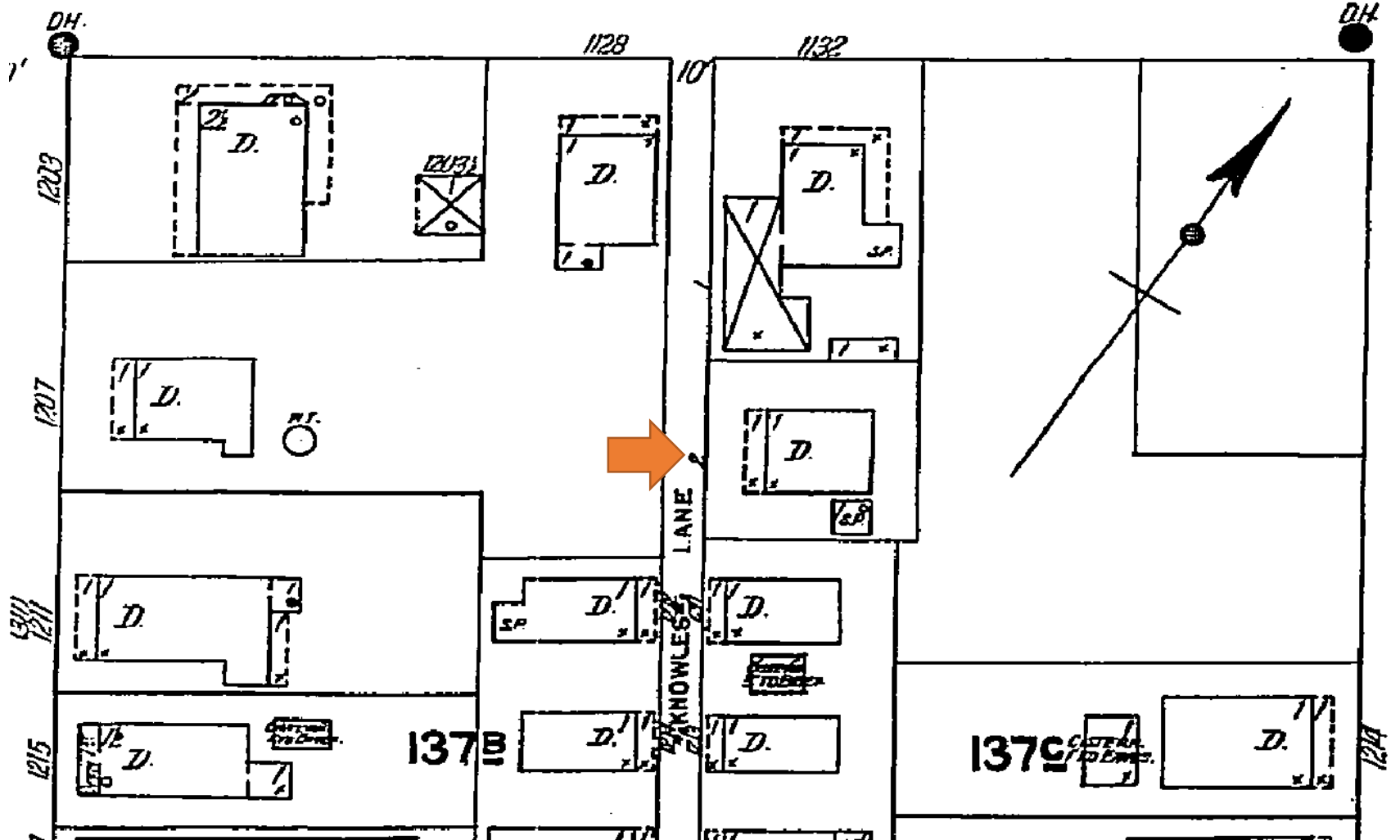


1892 Sanborn Map

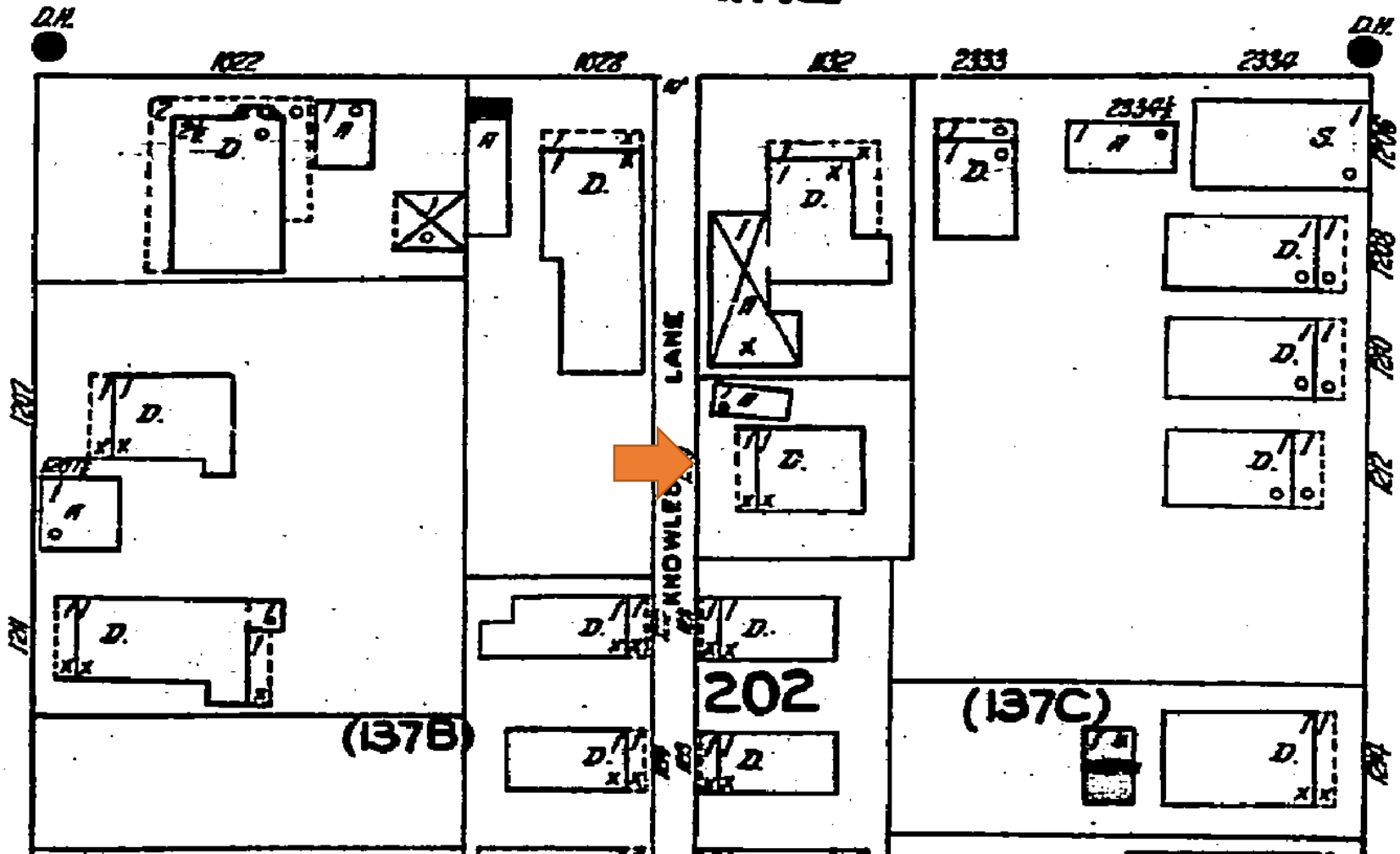


1889 Sanborn Map

SECTIONAL



1912 Sanborn Map



1926 Sanborn Map



CATHARINE

CATHARINE

1132 CATHARINE 1032  
1032 CATHARINE 1039

234

CATHARINE 1027

CATHARINE 1028

KNOWLE LANE



202

(137C)

(137B)

1948 Sanborn Map



# PROJECT PHOTOS



Property Appraiser's Photo, c.1965. Monroe County Public Library.





























# PROPOSED DESIGN

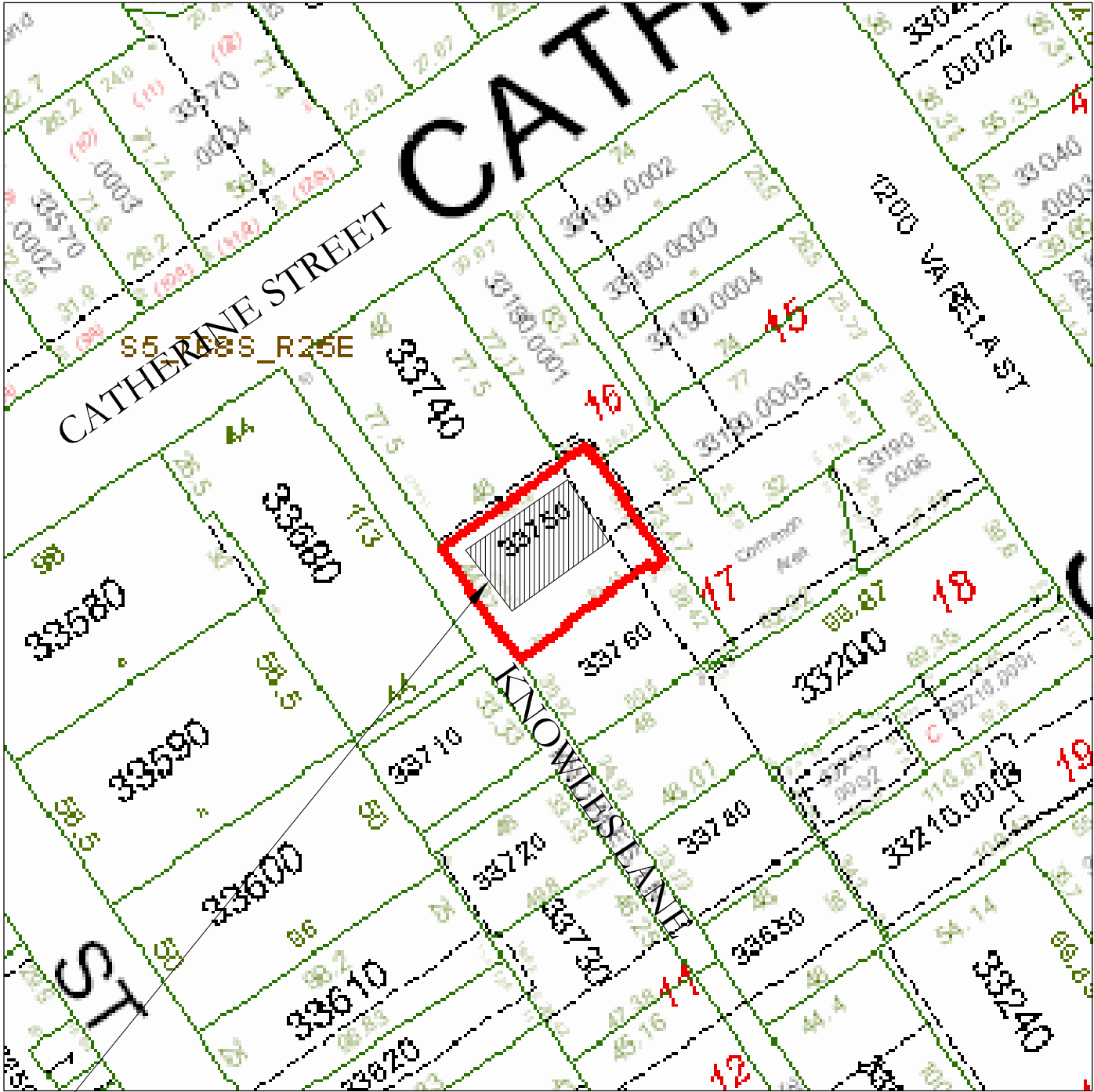


REMODEL / RENOVATION

1209 KNOWLES LANE      KEY WEST, FLORIDA   33040



STREET VIEW (EXISTING)  
(VIEW FROM KNOWLES LANE)



SITE LOCATION  
N.T.S.

PROPOSED CONSTRUCTION LOCATION

SHEET INDEX	
NO.	DESCRIPTION
1	C COVER SHEET - LOCATION MAP, GENERAL NOTES
2	A-1 ELEVATIONS, FLOOR, SITE, DEMO PLAN (EXISTING)
3	A-2 ELEVATIONS, FLOOR, SITE PLAN (PROPOSED)
4	S-1 SECTIONS AND FRAMING PLANS
5	M-1 MECHANICAL PLAN (PLUMBING, ELECTRIC, HVAC)
6	SP NOTES & SPECS

GENERAL NOTES

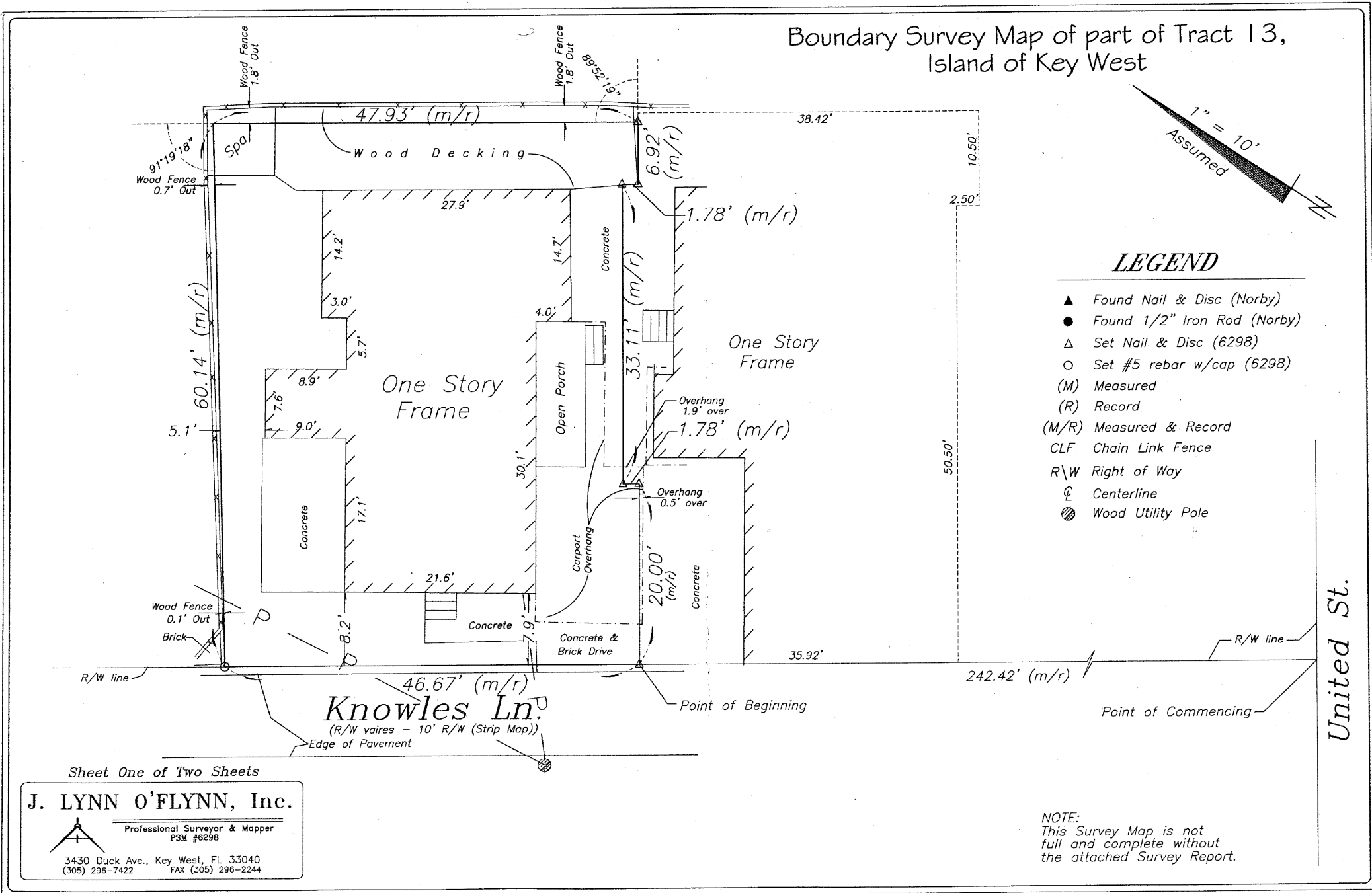
All work shall comply with the Florida Building Code, latest edition, and all applicable laws, codes and ordinances of the city, county, and the state of Florida. In the city of Key West, applicable Codes forming the basis of this design and compliance requirements for the contractor include:  
BUILDING: Florida Building Code, 2010  
ELECTRICAL: National Electrical Code, 2010  
PLUMBING: Florida Building Code (Plumbing), 2010  
MECHANICAL: Florida Building Code (Mech.), 2010  
GAS: LP Gas Code, 2010 edition (NFPA 58)

This project is designed in accordance with A.S.C.E 7-10 to resist wind loads of 180 mph (gusts) (Exposure C)

Site Data			
Zoning	HMDR		
Flood	ZONE X		
Lot Size	2,780 SF.		
Building Coverage	1519 SF.		
Impervisions	194 SF.		
Setbacks			
Front	10'	7.9'	12.2'
Side	5'	5.1'	5' NC.
Side	5'	6.2'	6.2' NC.
Rear	15'	6.8'	6.8' NC.



PERSPECTIVE VIEW  
(VIEW FROM N.E. CORNER OF PROPERTY)



SURVEY MAP  
N.T.S.

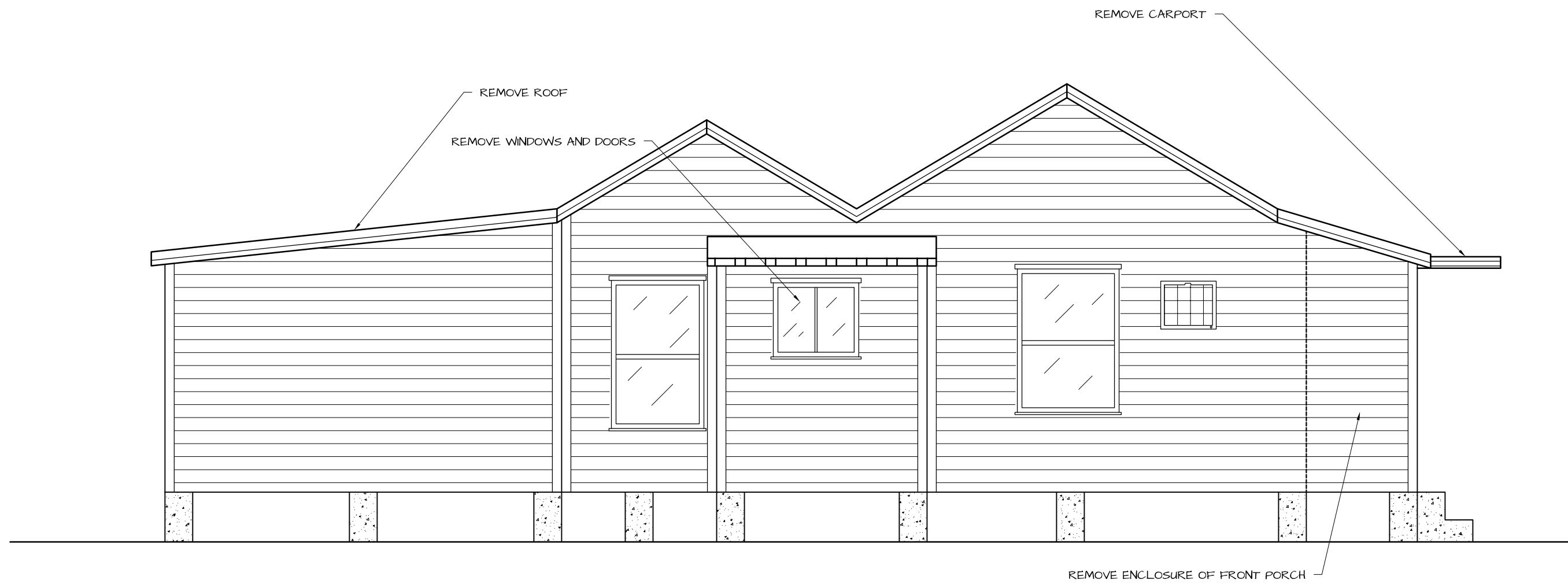
REMODEL / RENOVATION  
1209 KNOWLES LANE      KEY WEST, FLORIDA   33040

WILLIAM ROWAN  
ARCHITECTURE  
KEY WEST, FLORIDA  
FLORIDA LICENSE AR-001751  
321 PEACOCK LANE  
305 296 3784

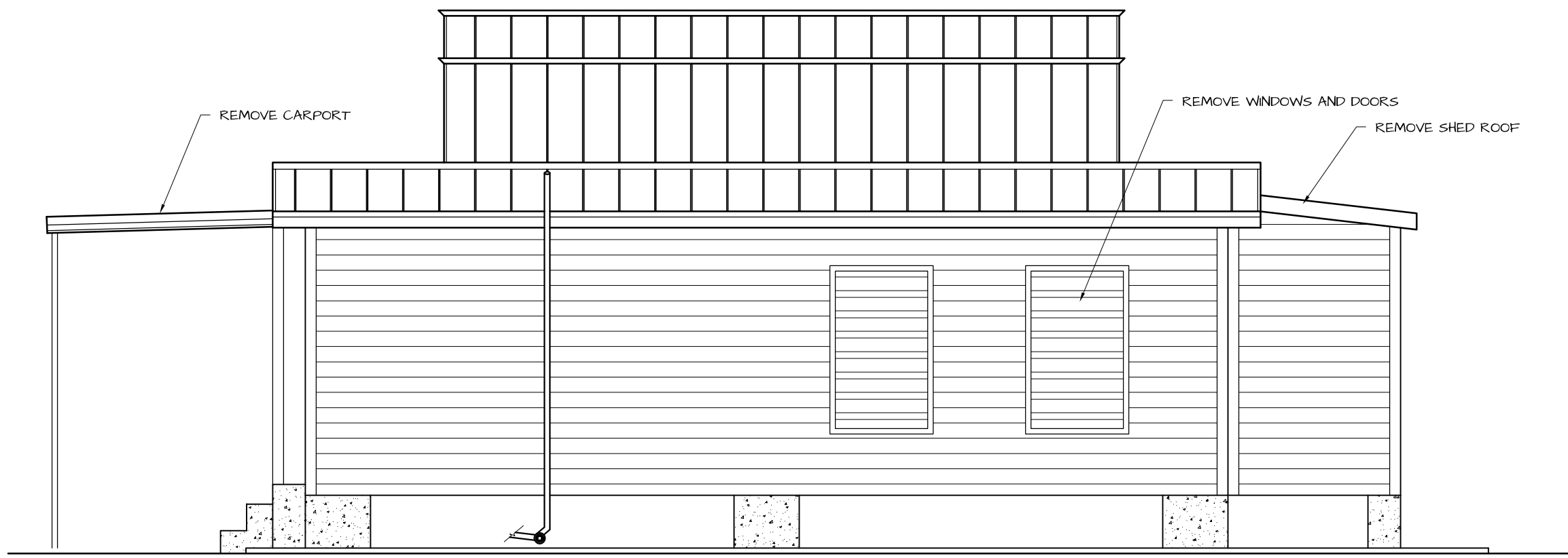
PROJECT NO :

NOV. 14, 2015  
DATE :

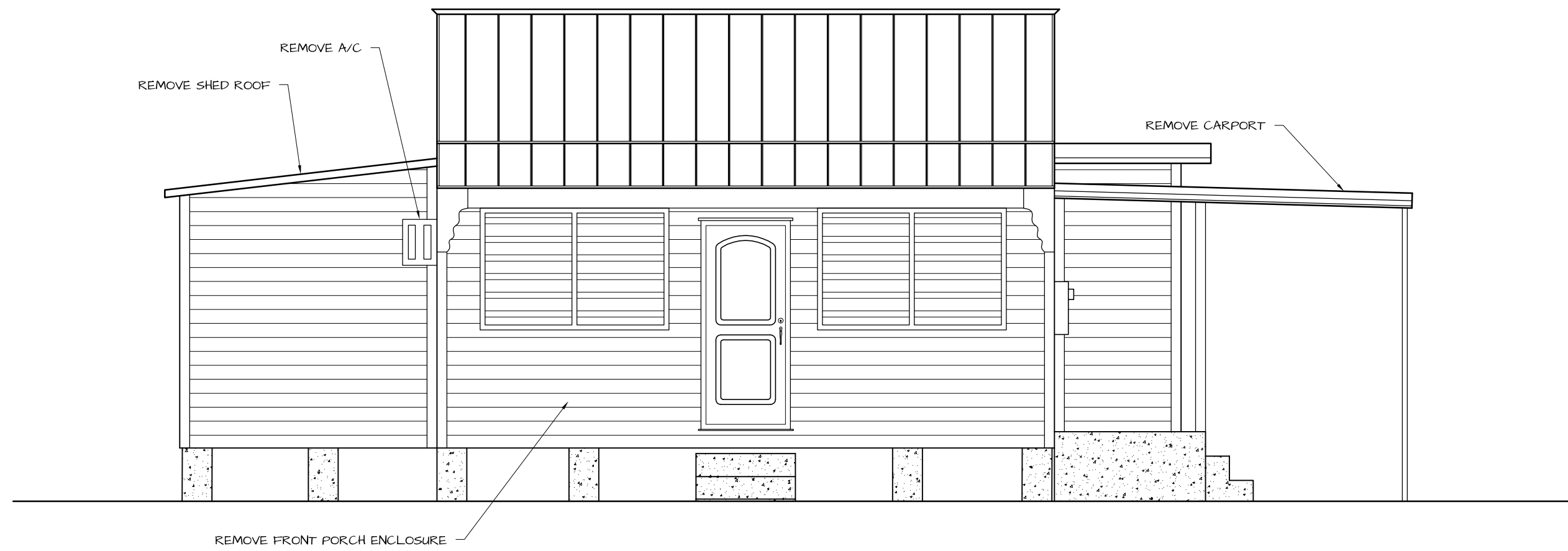




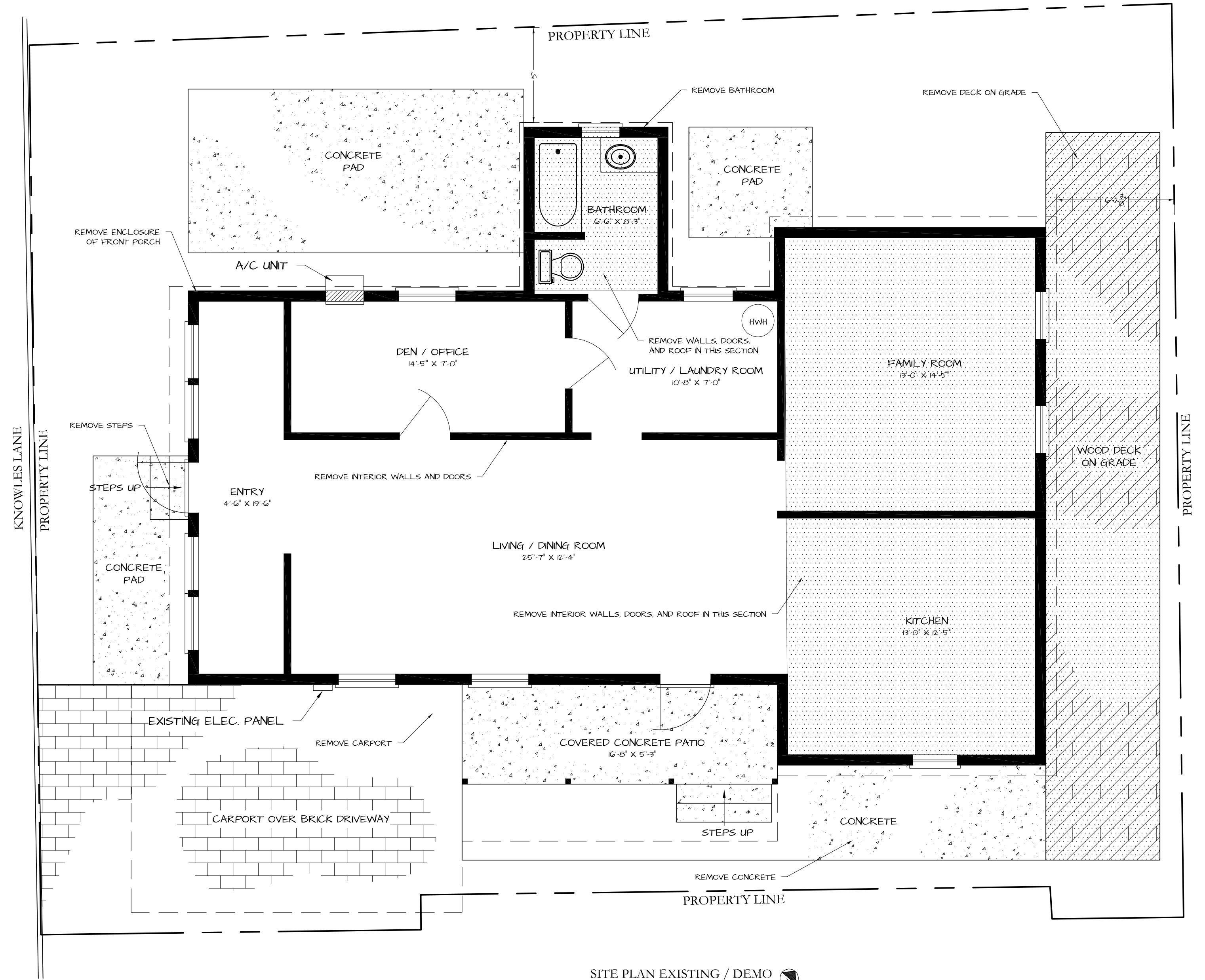
NORTH ELEVATION  
SCALE 1/4"=1'-0"  
EXISTING



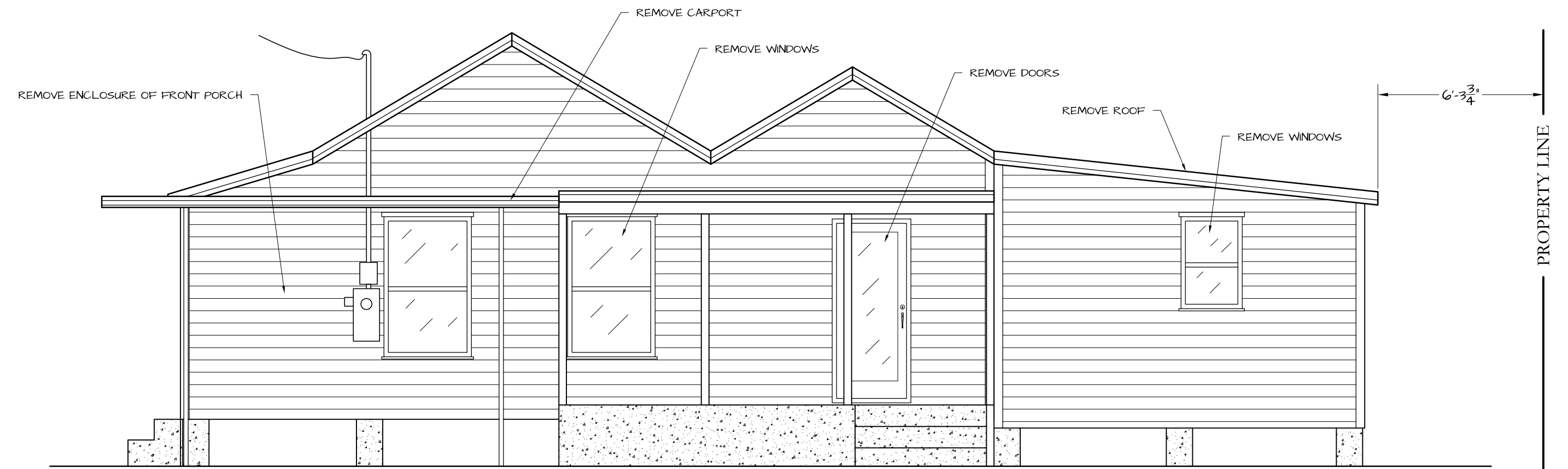
EAST ELEVATION  
SCALE 1/4"=1'-0"  
EXISTING



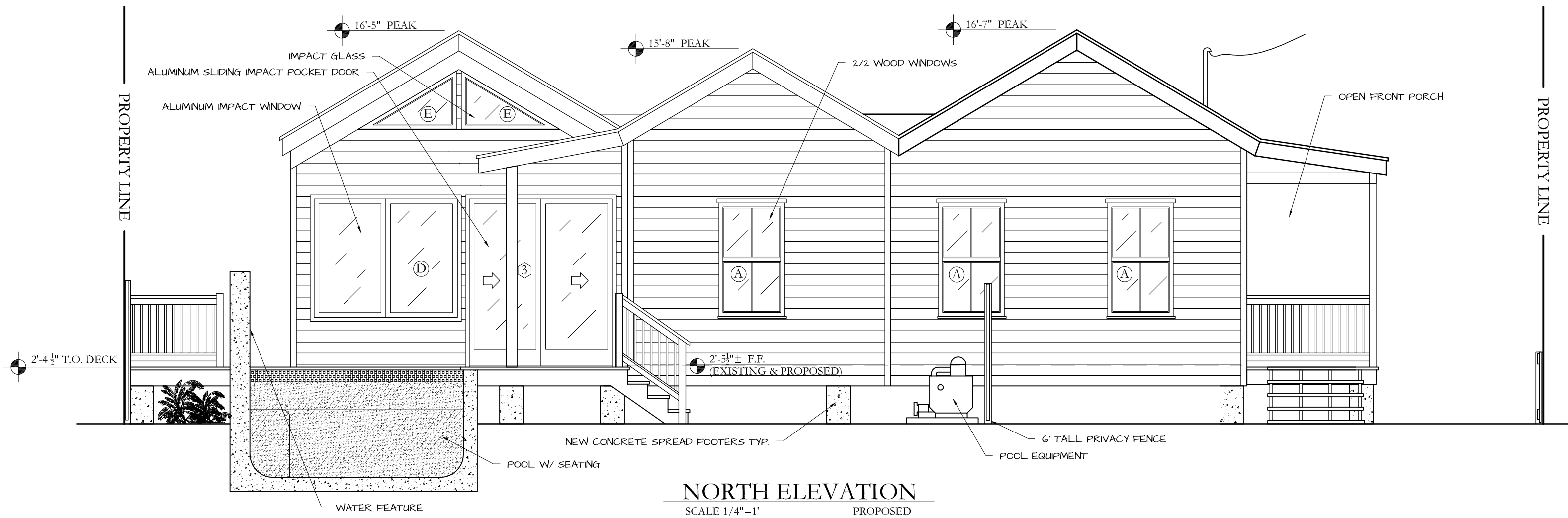
WEST ELEVATION  
SCALE 1/4"=1'-0"  
EXISTING



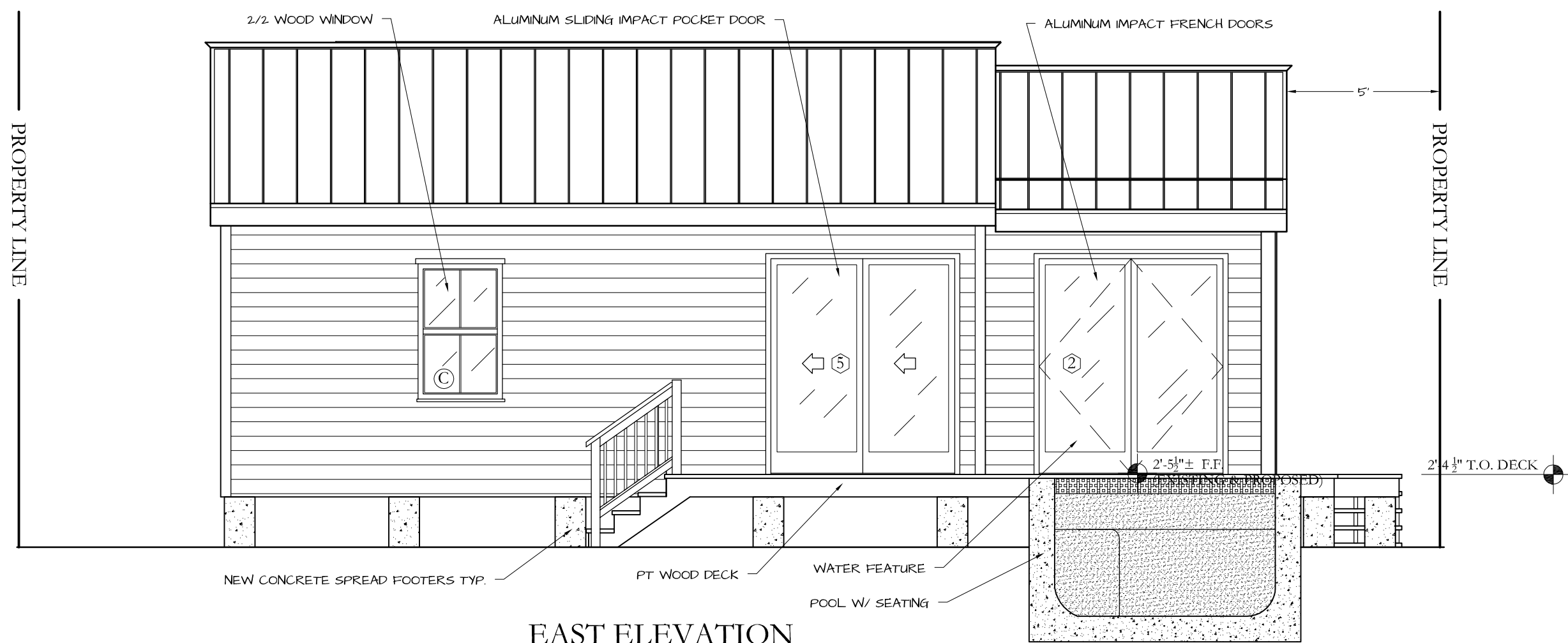
SITE PLAN EXISTING / DEMO  
SCALE 1/4"=1'-0"



SOUTH ELEVATION  
SCALE 1/4"=1'-0"  
EXISTING



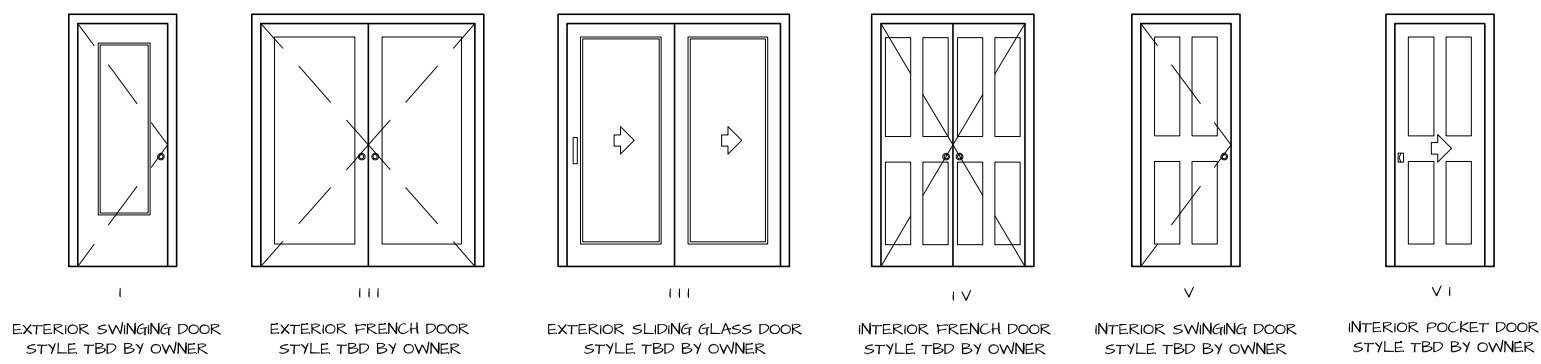
NORTH ELEVATION  
SCALE 1/4"=1'  
PROPOSED



EAST ELEVATION  
SCALE 1/4"=1'  
PROPOSED

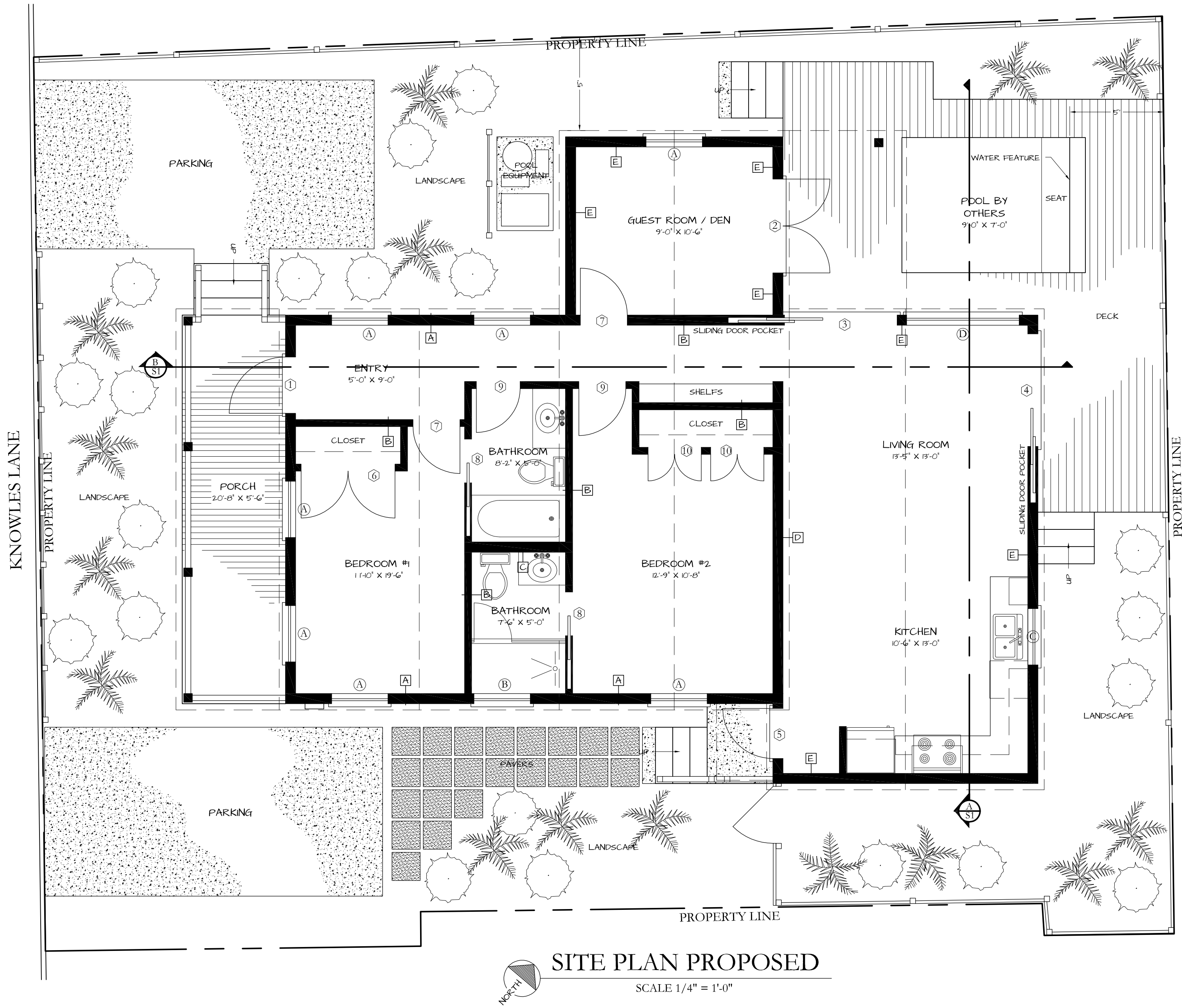
WALL SCHEDULE (SHEET A-2)		
MK.	WALL TYPE / DETAILS	NOTES
A	EXISTING 2X4 WALL. VERIFY FRAMING, SISTER STUDS AS NEEDED	STUDS PLACED 16" O.C., DOUBLE TOP PLATE WHERE NEEDED
B	NEW 2X4 STUD WALL, 1/2" GYPSUM BOARD EACH SIDE, GREEN BOARD ON WET WALL	STUDS PLACED 12" O.C.
C	NEW 2X6 WET WALL, 1/2" GREEN BOARD EACH SIDE	STUDS PLACED 16" O.C.
D	NEW 2X4 WALL, 1/2" GYPSUM BOARD EACH SIDE	STUDS PLACED 16" O.C., DOUBLE TOP PLATE
E	EXISTING 2X4 WALL, 1/2" GYPSUM BOARD INSIDE, 3/4" EXTERIOR SHEATHING, VAPOR BARRIER, SIDING OUTSIDE (VERIFY EXISTING, SISTER 2X6 AT 16" O.C. AT NEW CONSTRUCTION)	STUDS PLACED 16" O.C.

DOOR TYPES



WINDOW SCHEDULE *SEE SHEET SP FOR NOA REQ.*									
MARK	QTY.	WIDTH	HEIGHT	SILL	MANUFACTURER	MATERIAL	NOTES	EGRESS SQ. FT.	
A	7	3'-2"	5'-2"	1'-6"	TBD - MATCH	WOOD	S.H.	11 SQ. FT.	
B	1	3'-2"	5'-2"	1'-6"	TBD	WOOD	PRIVACY G.	BATHROOM	
C	1	4'-0"	3'-0"	3'-5"	TBD	WOOD		KITCHEN	
D	1	6'-0"	5'-2"	1'-6"	TBD	TBD			
E	4	3'-0"	2'-0"	TBD	TBD	TBD		GABLE ENDS	

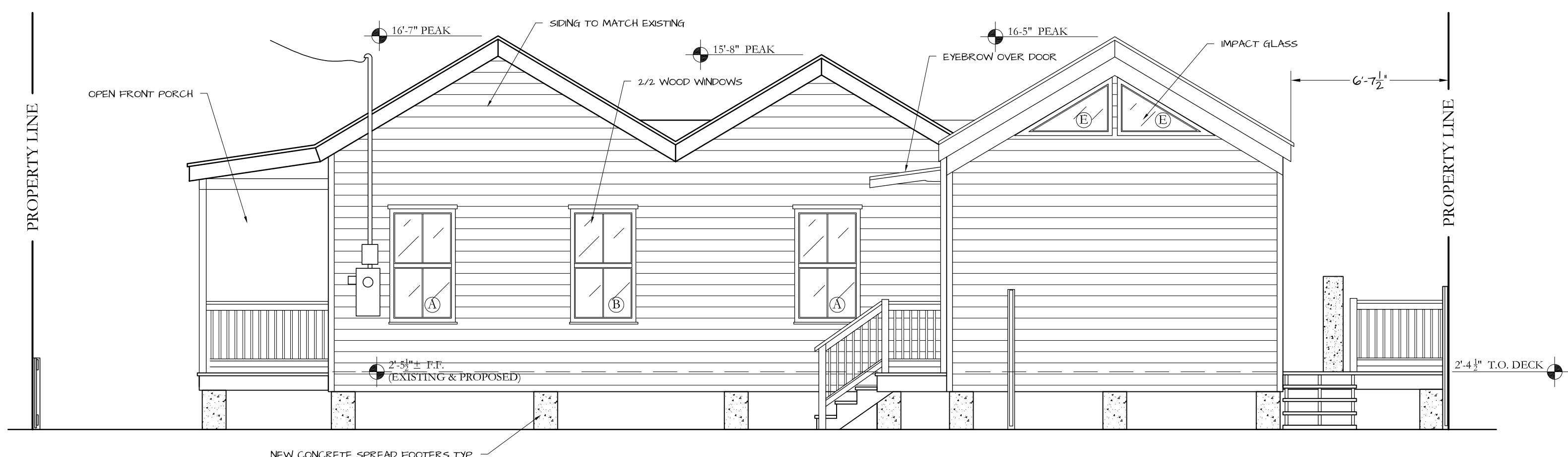
DOOR SCHEDULE *SEE SHEET SP FOR NOA REQ.*									
MARK	QTY.	WIDTH	HEIGHT	TYPE	MANUFACTURER	MATERIAL	SWING	NOTES	
1	1	3'-0"	6'-8"	I	TBD	WOOD	R.H. O.S.	FRONT EXT.	
2	1	5'-0"	6'-8"	II	TBD	WOOD	O.S.	FRENCH	
3	1	6'-0"	6'-8"	III	TBD	WOOD	SLIDE	POCKET	
4	1	6'-0"	6'-8"	III	TBD	WOOD	SLIDE	POCKET	
5	1	3'-0"	6'-8"	I	TBD	WOOD	LFT. O.S.	FRONT EXT.	
6	1	5'-0"	6'-8"	IV	TBD	WOOD	LS.	FRENCH CLOSET	
7	2	2'-0"	6'-8"	V	TBD	WOOD	LFT. LS.	INTERIOR	
8	2	2'-0"	6'-8"	VI	TBD	WOOD	SLIDE	POCKET	
9	2	2'-0"	6'-8"	V	TBD	WOOD	RT. LS.	INTERIOR	
10	1	TBD	TBD	TBD	TBD	TBD	TBD	TBD	



SITE PLAN PROPOSED  
SCALE 1/4"=1'-0"

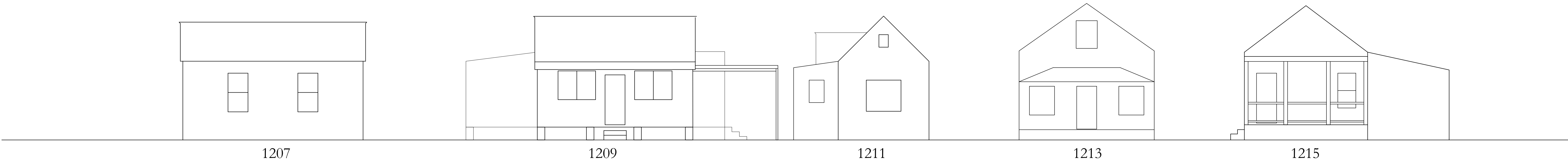


WEST ELEVATION  
SCALE 1/4"=1'  
PROPOSED

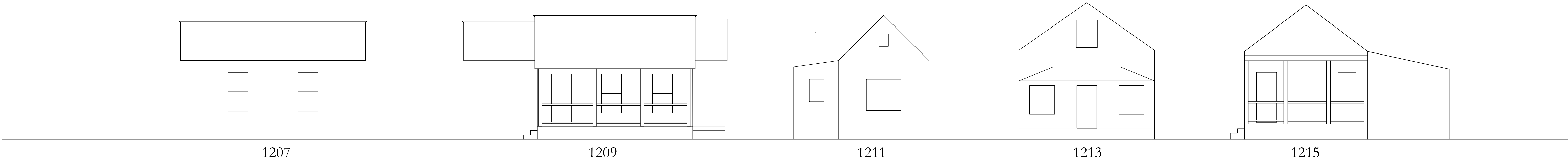


SOUTH ELEVATION  
SCALE 1/4"=1'  
PROPOSED

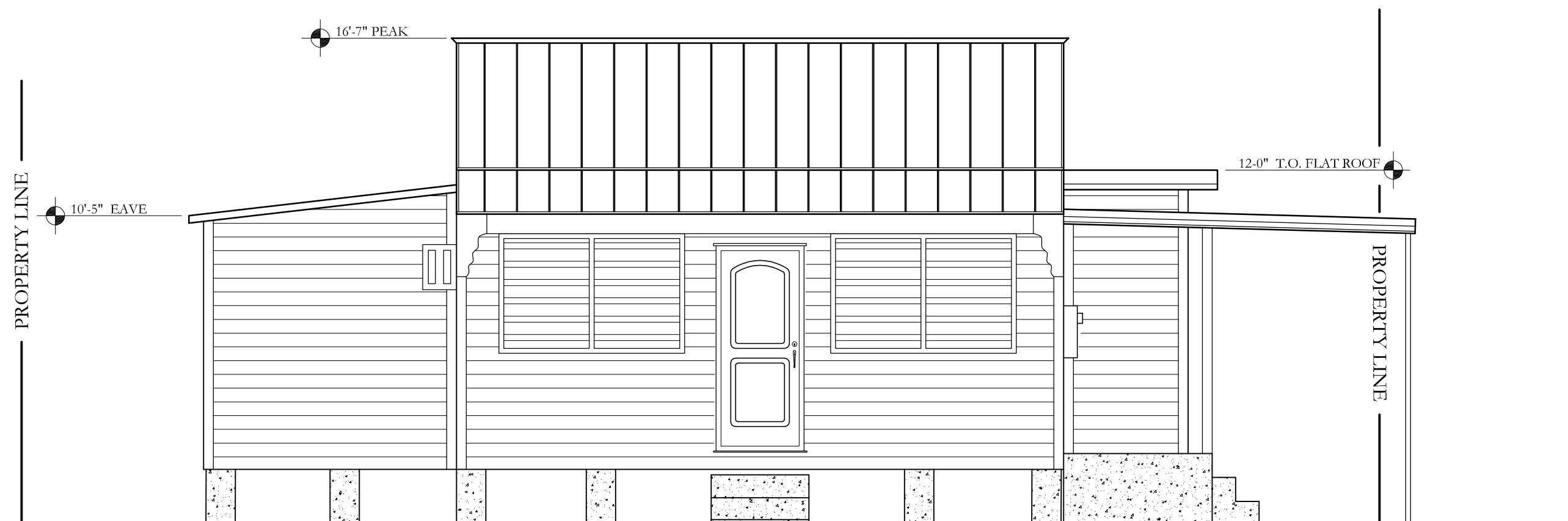




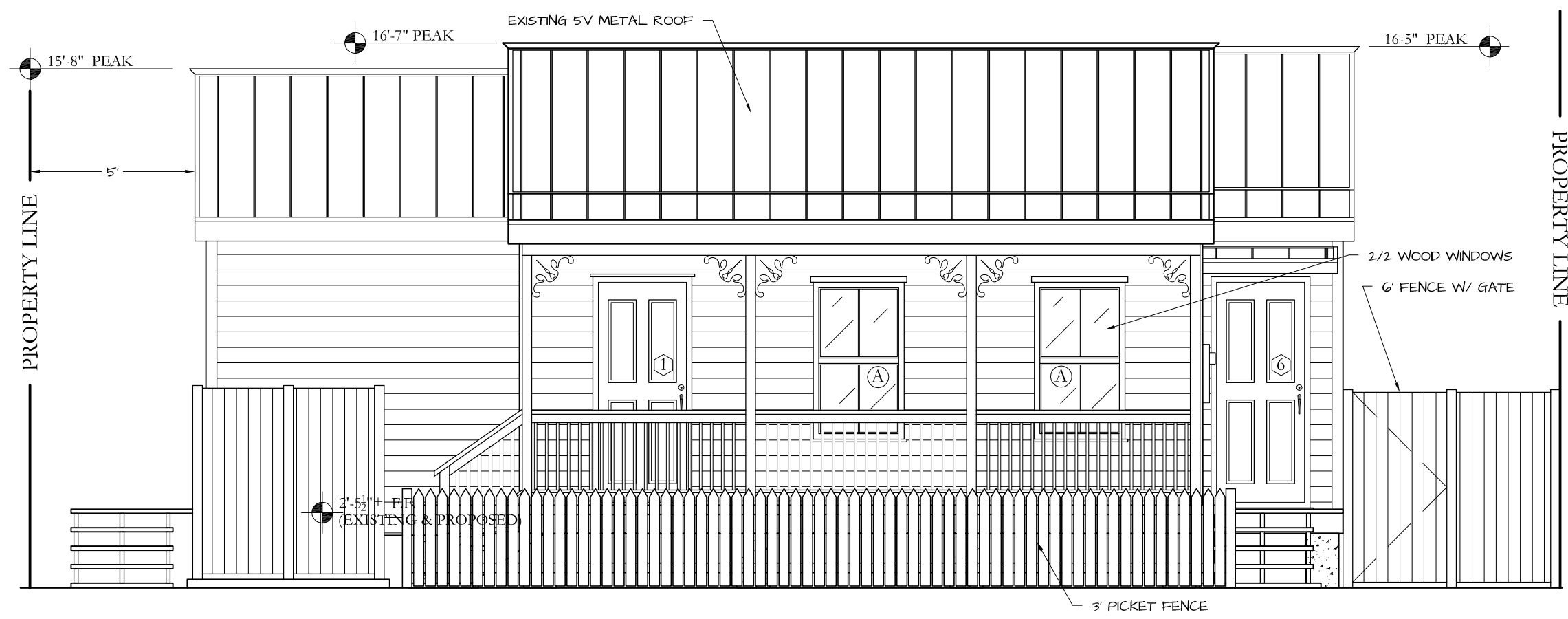
KNOWLES LN. STREETSCAPE (existing)



KNOWLES LN. STREETSCAPE (proposed)



WEST ELEVATION  
SCALE 1/4"=1' EXISTING



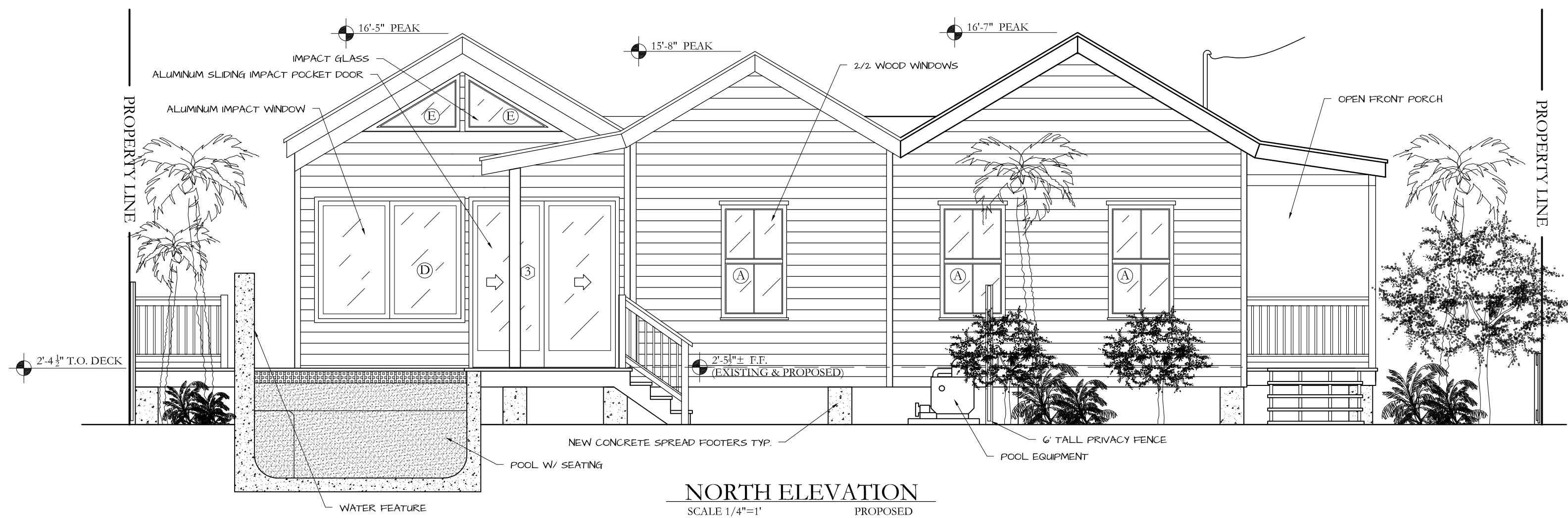
WEST ELEVATION  
SCALE 1/4"=1' PROPOSED

REMODEL / RENOVATION  
1209 KNOWLES LANE KEY WEST, FLORIDA 33040

WILLIAM ROWAN  
ARCHITECTURE  
321 PEACOCK LANE  
305 296 5784  
KEY WEST, FLORIDA  
FLORIDA LICENSE AR-0017751

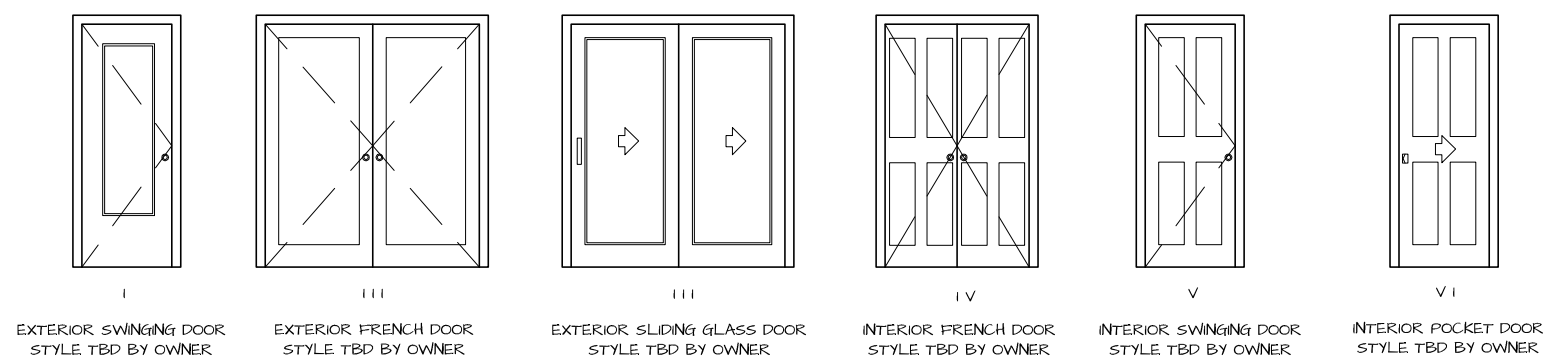
PROJECT NO :  
DATE :  
DEC. 2, 2015

HARC  
1 OF 1



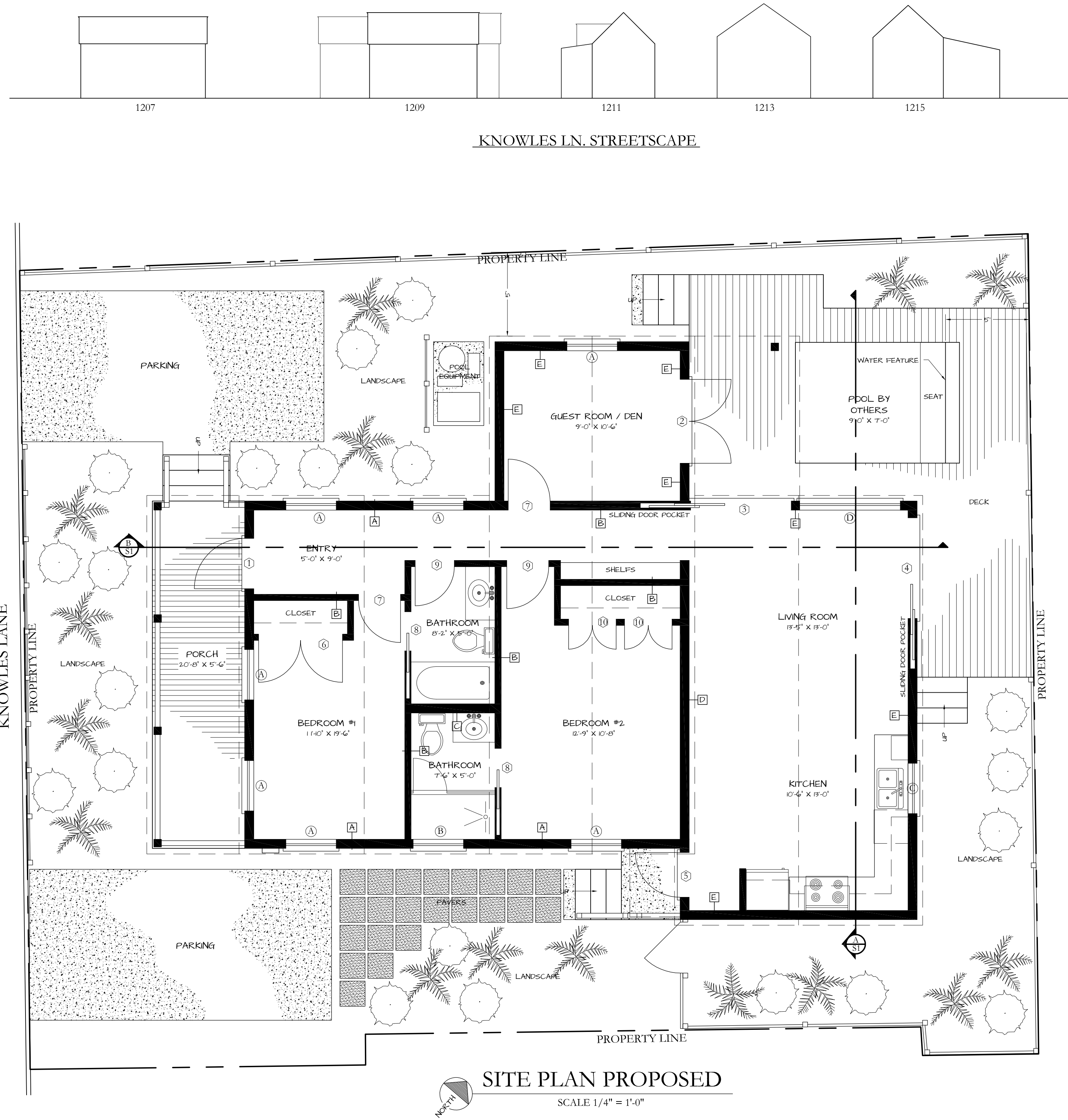
WALL SCHEDULE (SHEET A-2)		
MK.	WALL TYPE / DETAILS	NOTES
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C	NEW 2X6 WET WALL, 1/2" GREEN BOARD EACH SIDE	STUDS PLACED 16" O.C.
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E	EXISTING 2X4 WALL, 1/2" GYPSUM BOARD INSIDE, 3/4" EXTERIOR SHEATHING, VAPOR BARRIER, SIDING OUTSIDE (VERIFY EXISTING, SISTER 2X6 AT 16" O.C. AT NEW CONSTRUCTION)	STUDS PLACED 16" O.C.

DOOR TYPES

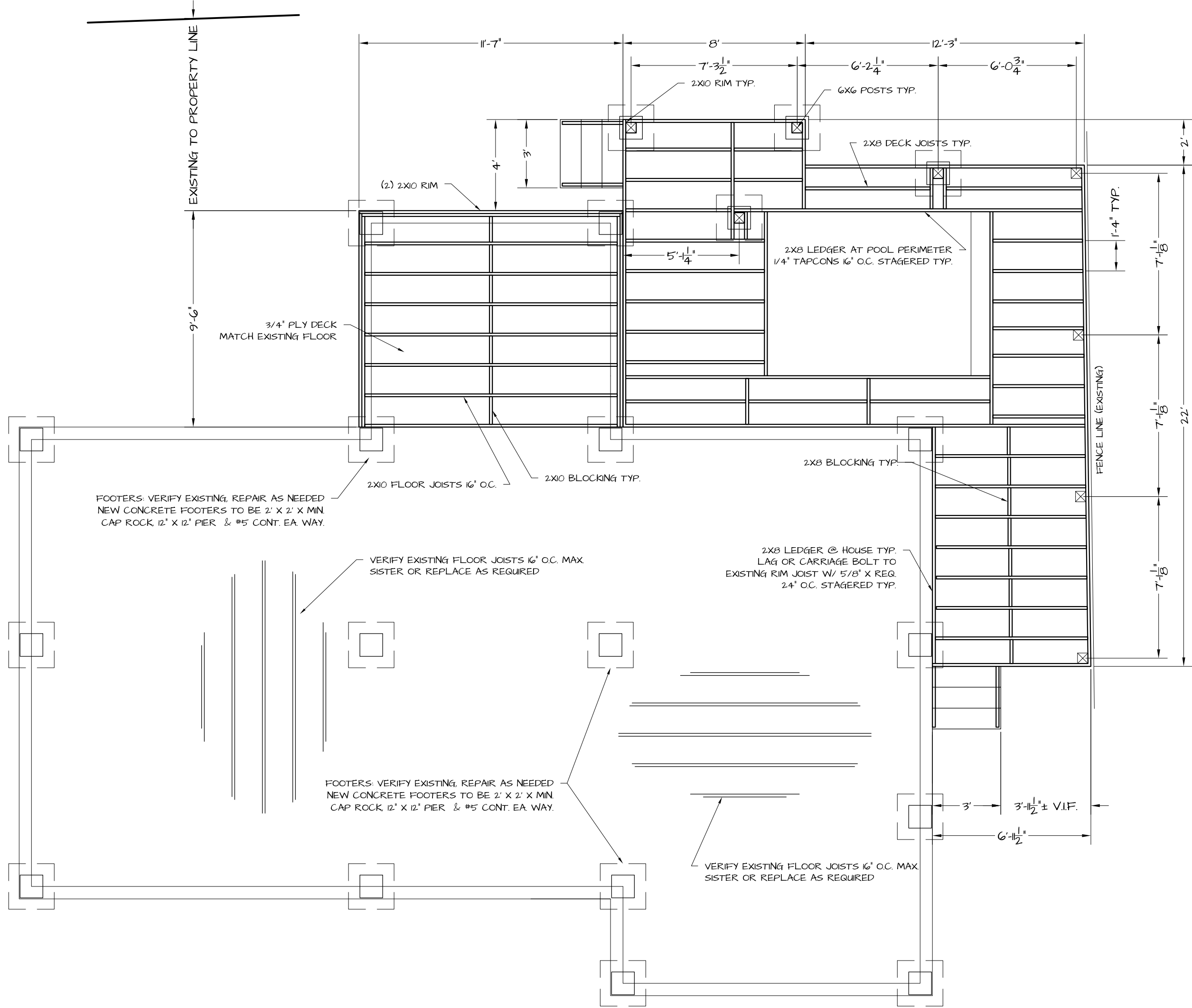


WINDOW SCHEDULE *SEE SHEET SP FOR NOA REQ.*							
MARK	QTY.	WIDTH	HEIGHT	SILL	MANUFACTURER	MATERIAL	NOTES
A	7	3'-2"	5'-2"	1'-0"	TBD - MATCH	WOOD	SH. 11 SQ. FT.
B	1	3'-2"	5'-2"	1'-0"	TBD	WOOD	PRIVACY G. BATHROOM
C	1	4'-0"	3'-0"	3'-5"	TBD	WOOD	KITCHEN
D	1	6'-0"	5'-2"	1'-0"	TBD	TBD	
E	4	3'-0"	2'-0"	TBD	TBD	TBD	GABLE ENDS

DOOR SCHEDULE *SEE SHEET SP FOR NOA REQ.*							
MARK	QTY.	WIDTH	HEIGHT	TYPE	MANUFACTURER	MATERIAL	SWING
1	1	3'-0"	6'-8"	I	TBD	WOOD	R.H. O.S. FRONT EXT.
2	1	5'-0"	6'-8"	II	TBD	WOOD	O.S. FRENCH
3	1	6'-0"	6'-8"	III	TBD	WOOD	SLIDE POCKET
4	1	6'-0"	6'-8"	III	TBD	WOOD	SLIDE POCKET
5	1	3'-0"	6'-8"	I	TBD	WOOD	LFT O.S. FRONT EXT.
6	1	5'-0"	6'-8"	IV	TBD	WOOD	LS. FRENCH CLOSET
7	2	3'-0"	6'-8"	V	TBD	WOOD	LFT LS. INTERIOR
8	2	2'-6"	6'-8"	VI	TBD	WOOD	SLIDE POCKET
9	2	2'-6"	6'-8"	V	TBD	WOOD	RT. LS. INTERIOR
10	1	TBD	TBD	TBD	TBD	TBD	TBD



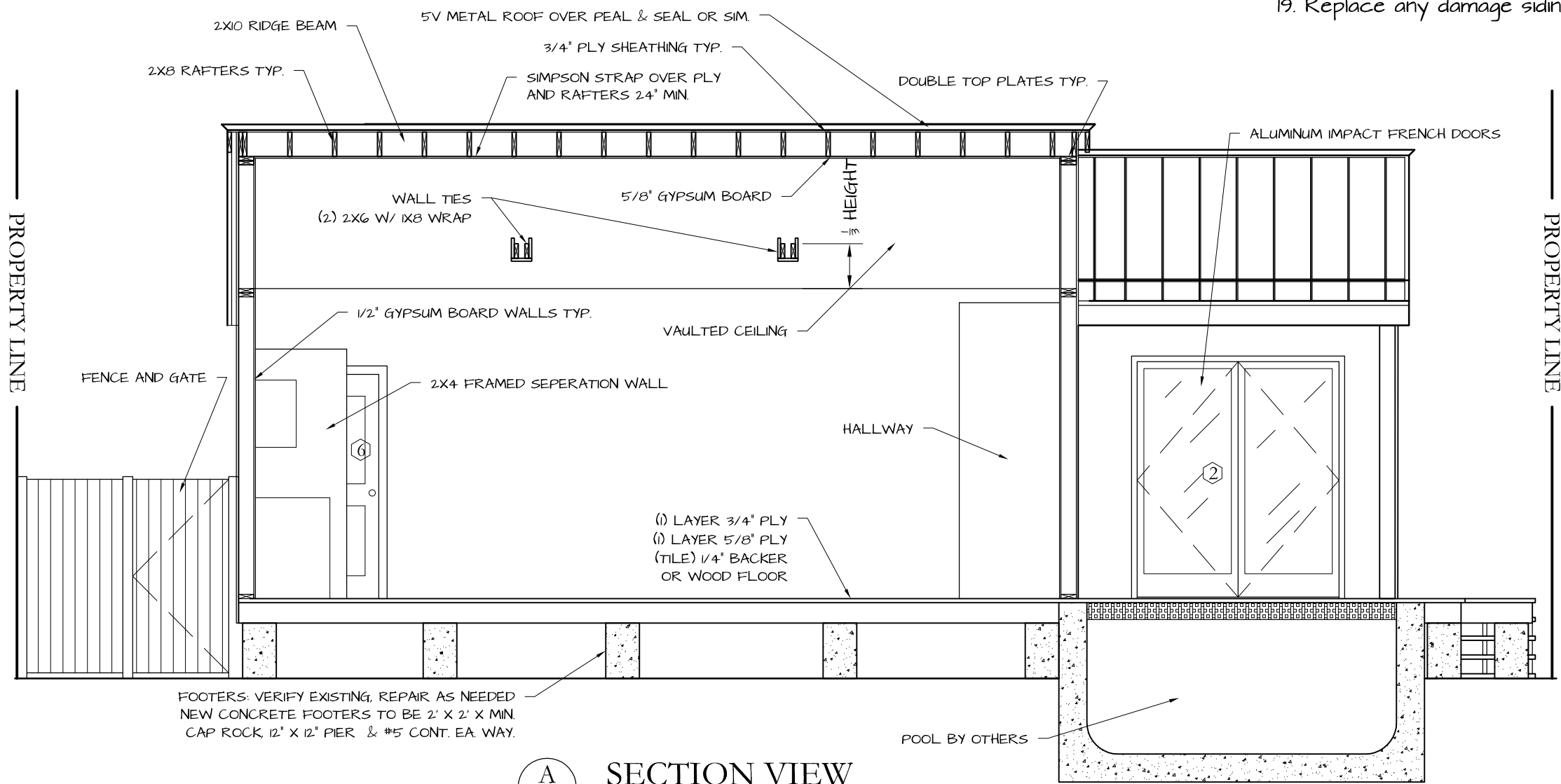




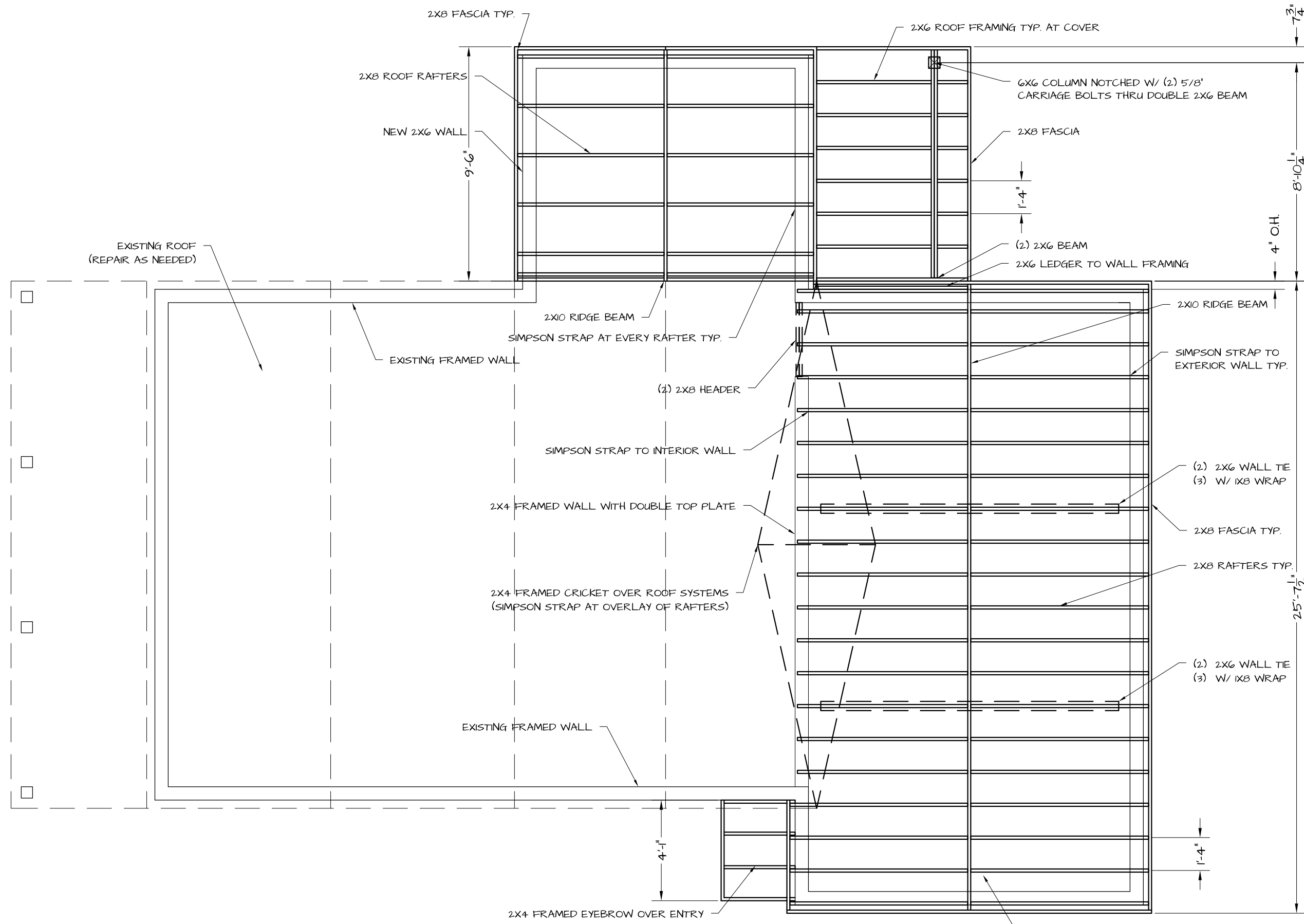
DECK FRAMING PLAN  
SCALE 1/4" = 1'-0"

EXTERIOR DEMOLITION NOTES (SHEET A-1)

1. If Demolition commences prior to permit, GC shall obtain demo permits.
2. Furnish all labor and materials as required to complete demolition and removal of all items as indicated.
3. Provide strict control of job cleaning and prevent dust and debris from emanating from demolition area. Keep area clean.
4. If any questions arise as to the removal of any material, clarify the point in question with the architect or owner before proceeding.
5. At completion of demolition work, the construction areas shall be left in 'broom clean' condition. All debris and misc. material shall be moved to waste area provided by the contractor.
6. Debris removal must be performed in accordance with owner and building management requirements and procedures.
7. Carefully remove all existing light fixtures and lenses (where demolition is note) and store for future use. Before indicated reinstallation, inspect each fixture and repair or replace parts as required. All relocated fixtures shall be in full operating order. All tubes and/or ballasts not reused shall be disposed of in a proper manner.
8. Contractor shall be responsible for patching and/or repairing any damage caused by him or his subcontractors to existing construction. Refinish to match existing adjacent finish or as noted herein.
9. Existing plants to remain except where damage occurs due to demolition or noted otherwise. Replace or relocate where required.
10. Removal of any equipment, cabling, switches, and conduit pertaining to data/communications and telephone shall be verified with telephone companies or service owner data/communications representative as required to prevent new construction delays.
11. Demolition is not necessarily limited to what is shown on the drawings. The intent is to indicate the general scope of demolition required to complete the work in accordance with the contract drawings.
12. Contractor to coordinate with owner for reuse of existing millwork.



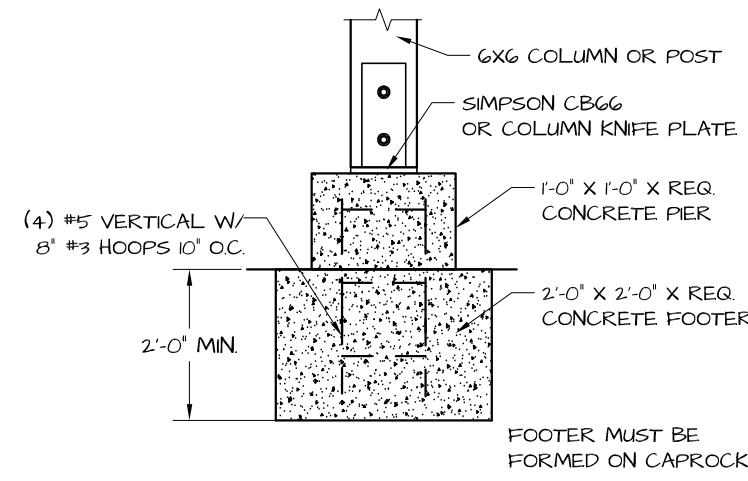
SECTION VIEW A-A  
SCALE 1/4" = 1'-0"



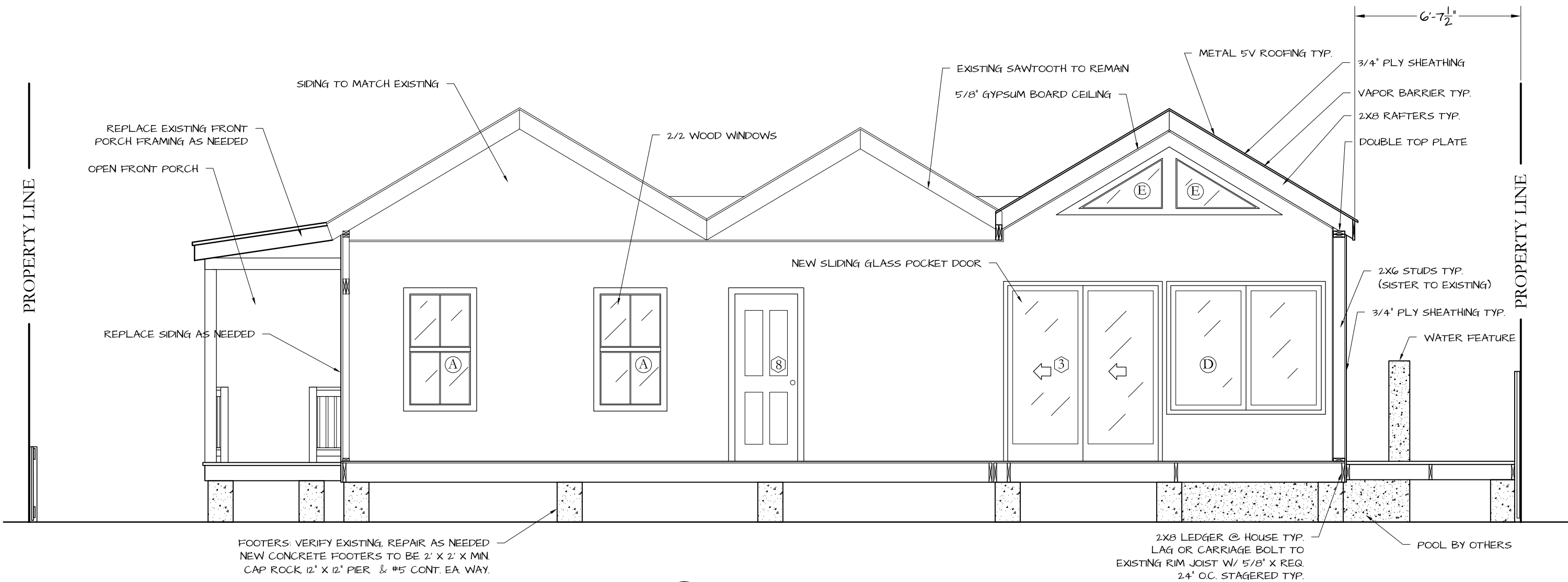
ROOF FRAMING PLAN  
SCALE 1/4" = 1'-0"

CONSTRUCTION PLAN GENERAL NOTES

1. Do not scale drawings, written dimensions govern. All partition locations shall be as shown on the partition plan. In case of conflict, verify with the owner or architect.
2. All new gypsum board partitions shall be taped and sanded smooth with no visible joints. Patch and repair surfaces to match adjacent or adjoining surfaces where required. All surfaces shall be aligned and sanded smooth.
3. All partitions are dimensioned from finish face of gypsum board to finish face of gypsum board unless otherwise noted. All dimensions marked 'Clear' or 'clr' shall be maintained and shall allow for thicknesses of all wall finishes, UNO.
4. Dimensions noted 'clear' or 'clr' must be accurately maintained and shall not vary more than +/- 1/8" without instruction from architect and/or owner, as applicable.
5. Dimensions marked +/- mean a tolerance not greater nor smaller than 2 inches from indicated dimension, UNO. verify field dimensions exceeding tolerance with architect or owner.
6. All dimensions to the exterior window wall are to the inside face of sill UNO.
7. Notify architect or owner of any discrepancies of conflicts in the locations of the new construction.
8. All exposed gypsum board edges to have metal edge trim work or equivalent.
9. All work shall be directed and installed, plumb, level, square, and true and in proper alignment.
10. Refer to cover sheet for additional notes, legends, symbols, abbreviations, and schedules.
11. Refer to electrical power plans for locations of switched outlets and the like.
12. Obtain approval from architect or owner, as applicable, prior to modifying building components, systems and items not identified prior to adjusting any and all other field conditions required to fit plans.
13. All existing and new floor penetrations for piping shall be fully blocked and sealed in accordance with the applicable building fire codes.
14. Trim the bottoms of the doors to clear the top of finished floor, as applicable, by 1/2" maximum, UNO. Verify slab conditions, trim each door to fit condition. Where radical variations in floor elevation exist, doors shall be ordered with bottom stile sized to accommodate these undercut conditions.
15. Dimensions locating doors are to the inside of edge of jamb UNO.
16. All 'wet walls' to receive concrete board or green board.
17. Wall at exterior pocket door to be framed with 2x4, 6, or 8 as to conceal the door within.
18. Swimming pool by others.
19. Replace any damage siding with like materials.



FOOTER DETAIL  
SCALE 3/4" = 1'-0"



SECTION VIEW B-B  
SCALE 1/4" = 1'-0"

REMODEL / RENOVATION

1209 KNOWLES LANE KEY WEST, FLORIDA 33040

WILLIAM ROWAN N  
ARCHITECTURE

KEY WEST, FLORIDA  
FLORIDA LICENSE AR-007751

321 PEACOCK LANE  
305.296.9784

PROJECT NO :

NOV. 14, 2015  
DATE :

S-1

4 OF 6

# PLANNING BOARD RESOLUTION

**PLANNING BOARD  
RESOLUTION 2015- 46**

**A RESOLUTION OF THE CITY OF KEY WEST  
PLANNING BOARD GRANTING WITH CONDITIONS A  
VARIANCE TO MINIMUM REAR SETBACK  
REQUIREMENTS ON PROPERTY LOCATED AT  
1209 KNOWLES LANE (RE # 00033750-000000; AK #  
1034657) LOCATED WITHIN HISTORIC MEDIUM  
DENSITY RESIDENTIAL (HMDR) ZONING DISTRICT  
PURSUANT TO SECTIONS 90-395, 122- 600(6) OF THE  
LAND DEVELOPMENT REGULATIONS OF THE CODE  
OF ORDINANCES OF THE CITY OF KEY WEST,  
FLORIDA.**

**WHEREAS,** the applicant proposes renovation and remodeling of the contributing structure of a one story single family home circa 1933 structure that requires a variance to minimum rear setback requirements on property located at 1209 Knowles Lane (RE # 00033750-000000; AK # 1034657); and

**WHEREAS,** Section 122-600(6) of the Land Development Regulations (the "LDRs") of the Code of Ordinances (the "Code") of the City of Key West, Florida (the "City") provides that minimum rear setback is 15 feet; and

**WHEREAS,** the applicant requests a variance to the minimum rear yard setback; and

**WHEREAS,** the proposed rear yard setback is 6 feet 8 inches minimum required; and

**WHEREAS,** this matter came before the Planning Board at a duly noticed public hearing on October 15, 2015; and

  
\_\_\_\_\_  
Chairman

  
\_\_\_\_\_  
Planning Director

**WHEREAS,** the Planning Board finds that special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other land, structures or buildings in the same district; and

**WHEREAS,** the Planning Board finds that the special conditions do not result from the action or negligence of the applicant; and

**WHEREAS,** the Planning Board finds that granting the variance requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings or structures in the same zoning district; and

**WHEREAS,** the Planning Board finds that literal interpretation of the provisions of the land development regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant; and

**WHEREAS,** the Planning Board finds that the variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure; and

**WHEREAS,** the Planning Board finds that the granting of the variance will be in harmony with the general intent and purpose of the land development regulations and that such variance will not be injurious to the area involved or otherwise detrimental to the public interest or welfare; and

**WHEREAS,** the Planning Board finds that no nonconforming use of neighboring lands, structures, or buildings in the same district, and no permitted use of lands, structures or

  
\_\_\_\_\_  
Chairman

  
\_\_\_\_\_  
Planning Director

buildings in other districts are grounds for the issuance of the requested variance; and

**WHEREAS**, the Planning Board finds that the applicant has demonstrated a “good neighbor policy” by contacting or attempting to contact all noticed property owners who have objected to the variance application, and by addressing the objections expressed by these neighbors.

**NOW, THEREFORE, BE IT RESOLVED** by the Planning Board of the City of Key West, Florida:

**Section 1.** That the above recitals are incorporated by reference as if fully set forth herein.

**Section 2.** An approval by Resolution of the Key West Planning Board for rear yard setback variance for the renovation and remodeling of the property located at 1209 Knowles Lane (RE # 00033750-000000; AK # 1034657) in the HMDR Zoning District pursuant to Sections 90-395 and 122-600(6) of the City of Key West Land Development Regulations with the following conditions:

**General Conditions:**

1. The proposed renovation and remodeling shall be consistent with the plans signed and sealed July 8, 2015 by William Rowan, Professional Architect. No approval granted for any other work or improvements shown on the plans other than the renovation and remodeling to the property.

**Section 3.** It is a condition of this variance that full, complete and final application for all conditions of this approval for any use and occupancy for which this variance is wholly or partly necessary, shall be submitted in their entirety within two years after the date hereof; and

 \_\_\_\_\_  
 \_\_\_\_\_ Chairman  
Planning Director

further, that no application shall be made after expiration of the two-year period without the applicant obtaining an extension from the Planning Board and demonstrating that no change of circumstances to the property or its underlying zoning has occurred.

**Section 4.** The failure to fully and completely apply the conditions of approval for permits for use and occupancy pursuant to this variance in accordance with the terms of the approval as described in Section 3 hereof, shall immediately operate to terminate this variance, which variance shall be of no force or effect.

**Section 5.** This variance does not constitute a finding as to ownership or right to possession of the property, and assumes, without finding, the correctness of applicant's assertion of legal authority respecting the property.

**Section 6.** This Resolution shall go into effect immediately upon its passage and adoption and authentication by the signatures of the presiding officer and the Clerk of the Commission.

**Section 7.** This Resolution is subject to appeal periods as provided by the City of Key West Code of Ordinances (including the Land Development Regulations). After the City appeal period has expired, this permit or development order will be rendered to the Florida Department of Economic Opportunity. Pursuant to Chapter 73C-44, F.A.C., this permit or development order is not effective for forty five (45) days after it has been properly rendered to the DEO with all exhibits and applications attached to or incorporated by reference in this approval; that within the forty five (45) day review period, the DEO can appeal the permit or development order to the Florida Land and Water Adjudicatory Commission; and that such an appeal stays

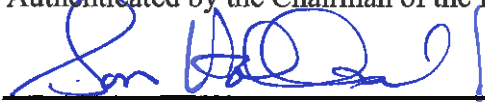
 Chairman  
 Planning Director



the effectiveness of the permit until the appeal is resolved by agreement or order.

Read and passed on first reading at a regularly scheduled meeting held this 15<sup>th</sup> day of October 2015.

Authenticated by the Chairman of the Planning Board and the Planning Director;



~~Richard Klitenick~~, Planning board Chairman  
Sam Holland

12/3/15

Date

Attest:



11/5/15

Thaddeuss Cohen, Planning Director

Date

Filed with the Clerk:



12/2/15

Cheryl Smith, City Clerk

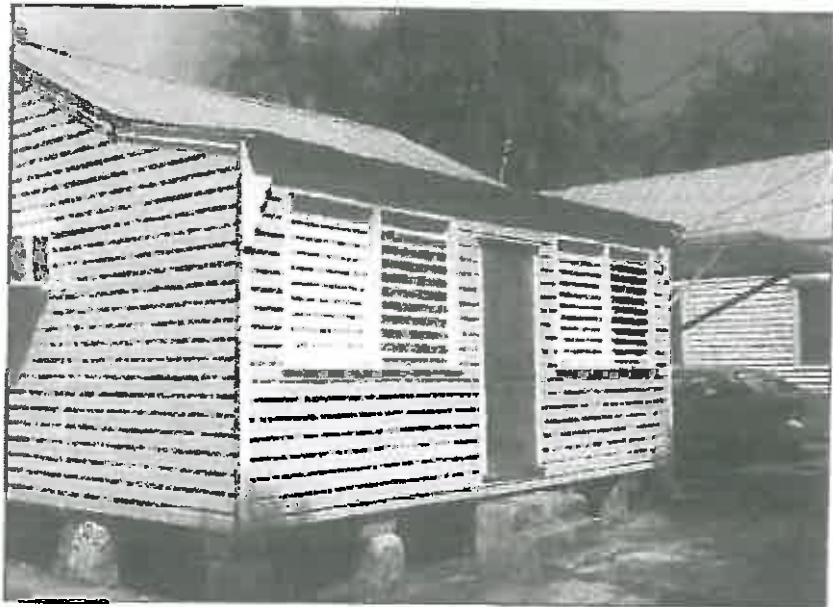


Chairman

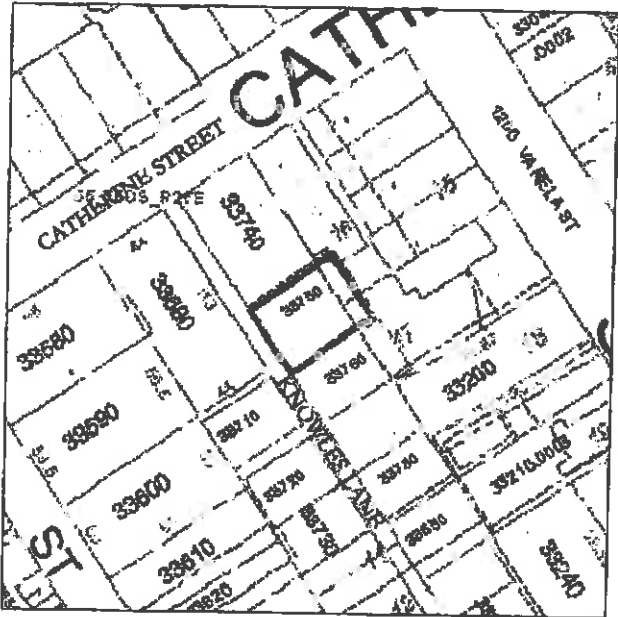


Planning Director

REMODEL / RENOVATION  
1209 KNOWLES LANE KEY WEST, FLORIDA 33040



STREET VIEW (EXISTING)  
(VIEW FROM KNOWLES LANE)



SITE LOCATION

SHEET INDEX	
NO.	DESCRIPTION
1	C COVER SHEET - LOCATION MAP, GENERAL NOTES
2	A-1 SITE / FLOOR PLAN, DEMO PLAN (EXISTING)
3	A-2 EXISTING ELEVATIONS
4	A-3 SITE / FLOOR PLAN (PROPOSED)
5	A-4 ELEVATIONS (PROPOSED)

GENERAL NOTES

All work shall comply with the Florida Building Code, latest edition, and all applicable laws, codes and ordinances of the city, county, and the state of Florida. In the city of Key West, applicable Codes forming the basis of this design and compliance requirements for the contractor include:

BUILDING: Florida Building Code, 2009  
ELECTRICAL: National Electrical Code, 2009  
PLUMBING: Florida Building Code (Plumbing), 2009  
MECHANICAL: Florida Building Code (Mech.), 2009  
GAS: LP Gas Code, 2009 edition (NFPA 58)

This project is designed in accordance with A.S.C.E 7-10 to resist wind loads of 130 mph (gusts) (Exposure C)

Size Data	Allowed	Existing	Proposed
Zone	HMDC		
Flood Zone			
Lot Size	4,000 S.F.	2,780 S.F.	2,780 S.F.
Building Coverage	40% (1,600 S.F.)	55% (1,519 S.F.)	55% (1,519 S.F.)
Imperviousness	60% (1,666 S.F.)	69% (1,914 S.F.)	61% (1,682 S.F.)
Setbacks			
Front	10'	7.5'	12.2'
Side	5'	5.1'	5.1' N.C.
Side	5'	6.2'	6.2' N.C.
Rear	15'	6.8'	6.8' N.C.



PERSPECTIVE VIEW  
(VIEW FROM N.E. CORNER OF PROPERTY)



SURVEY MAP

REMODEL / RENOVATION

1209 KNOWLES LANE KEY WEST, FLORIDA 33040

WILLIAM ROWAN  
ARCHITECTURE

KEY WEST, FLORIDA  
FLORIDA LICENSE #A0017701

121 PRACON LANE  
33000 33000

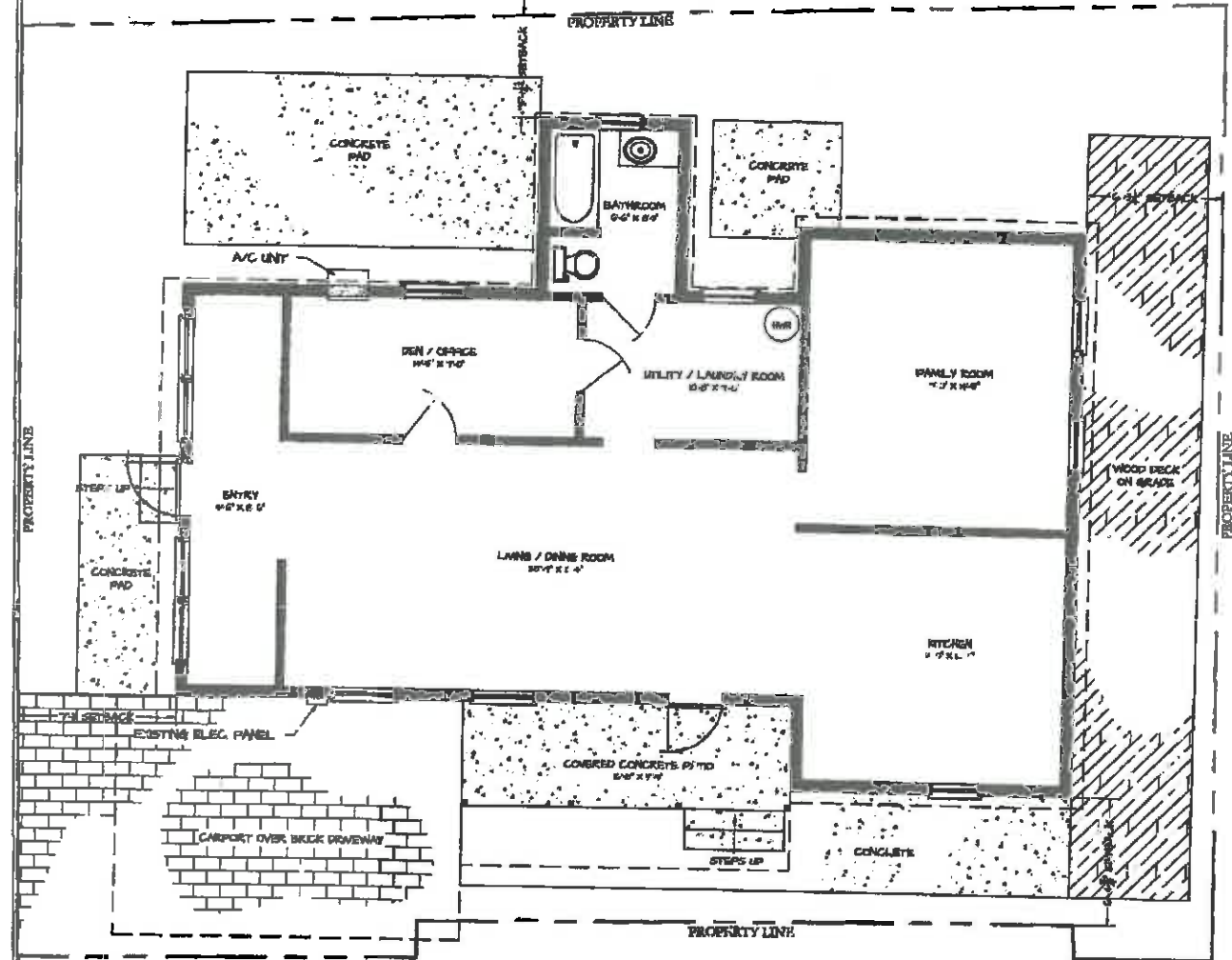
PROJECT NO :

JUNE 28 2015  
DATE :

C

1 OF 5

KNOWLES LANE



SEAL PLAN LICKETING  
KATP

WILLIAM ROWAN  
ARCHITECTURE

KEY WEST, FLORIDA  
FLORIDA LICENSE AB001778

1209 KNOWLES LANE  
33040

PROJECT NO :

JUNE 20, 2005

DATE :

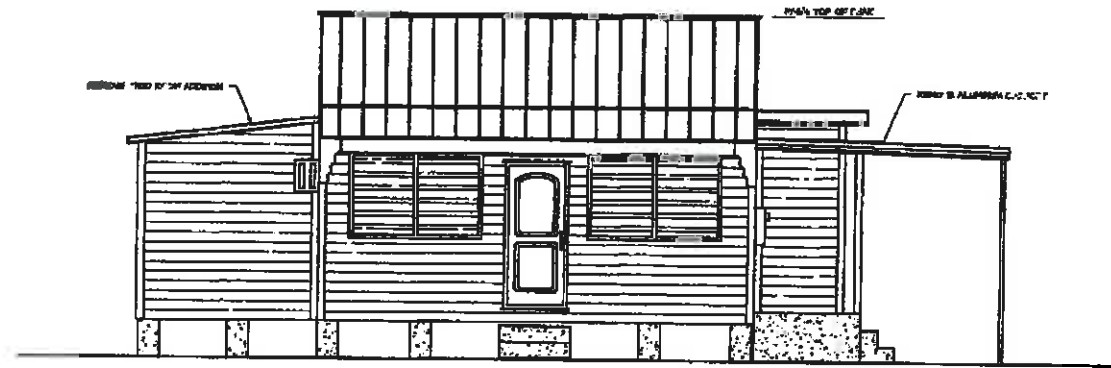
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2 OF 5

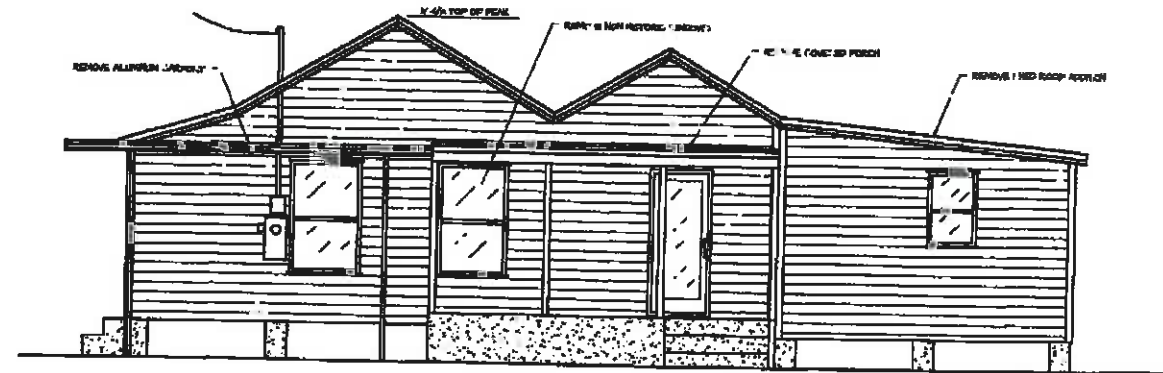
REMODEL / RENOVATION

1209 KNOWLES LANE KEY WEST, FLORIDA 33040

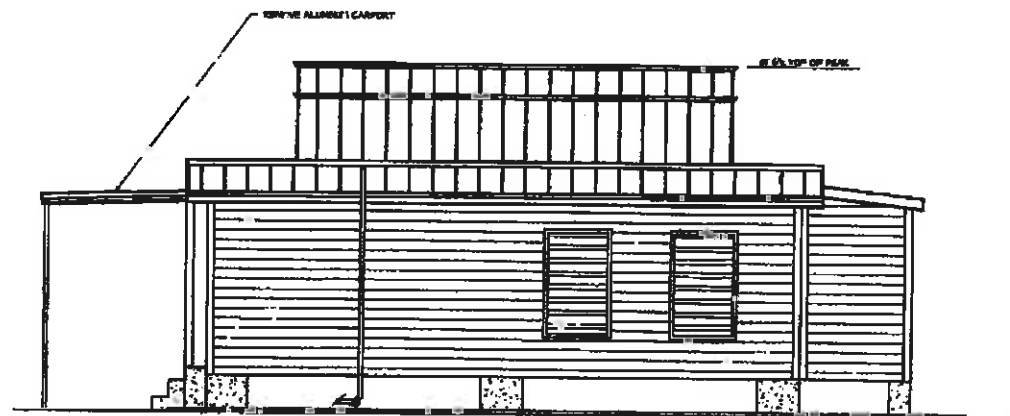
12/15/15



WEST ELEVATION  
10' 0"



SOUTH ELEVATION  
10' 0"



EAST ELEVATION  
10' 0"



NORTH ELEVATION  
10' 0"

# REMODEL / RENOVATION

1209 KNOWLES LANE KEY WEST, FLORIDA 33040

WILLIAM ROWAN  
ARCHITECTURE

KEY WEST, FLORIDA  
FLORIDA LICENSE ARCHITECT

PROJECT NO.

JUNE 28, 2015  
DATE

A2

3 OF 5

12/3/15  
11/5/15

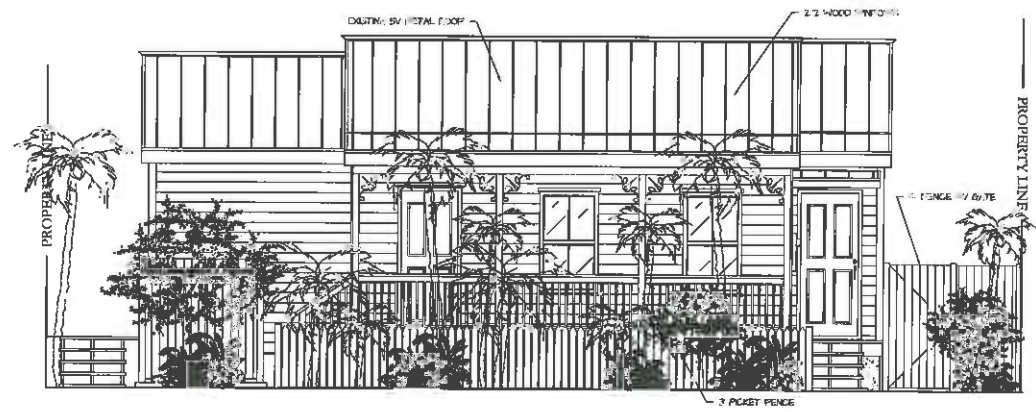




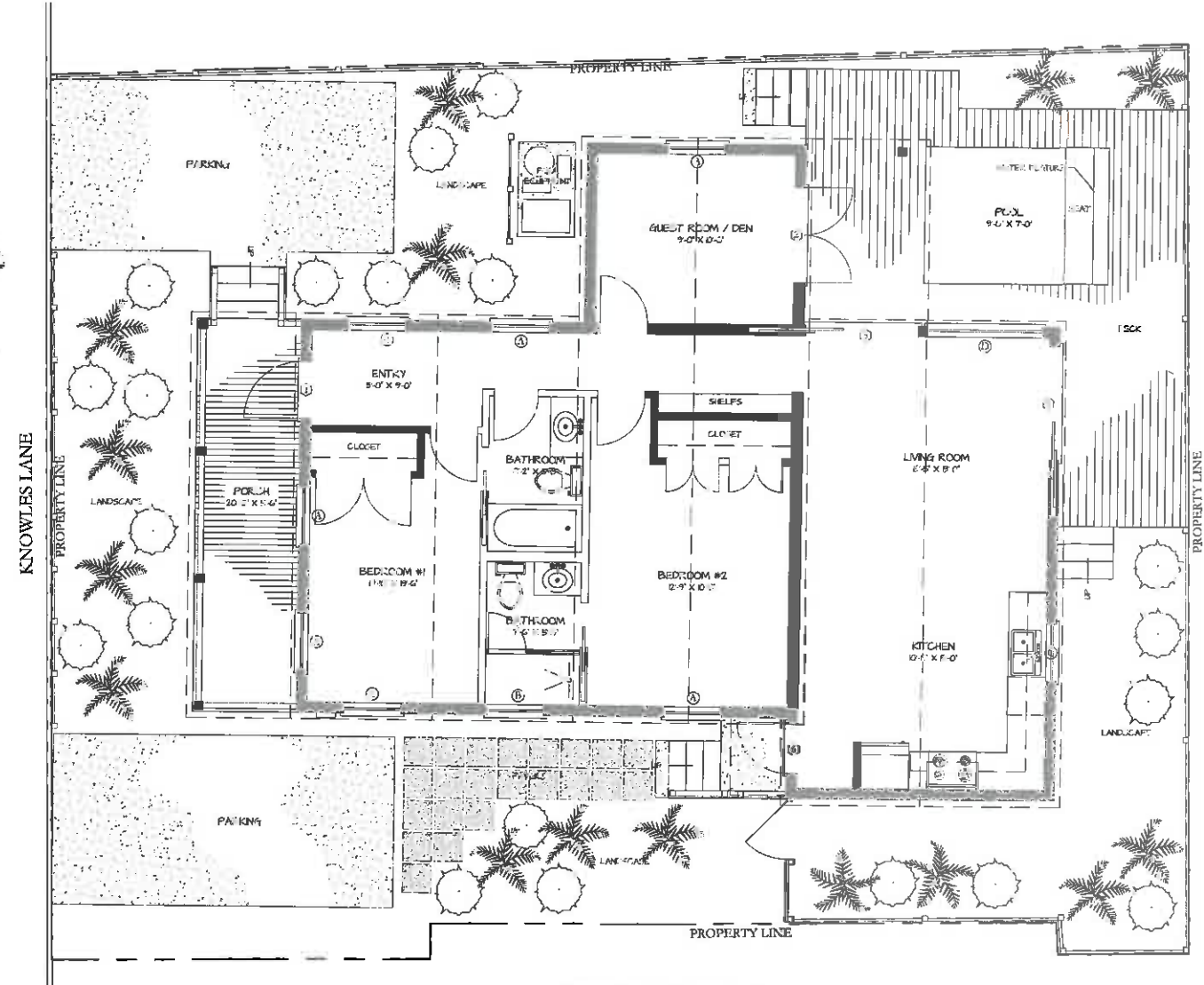
**NORTH ELEVATION**  
SCALE 1/4" = 1'-0"  
PROPOSED



**EAST ELEVATION**  
SCALE 1/4" = 1'-0"  
PROPOSED



**WEST ELEVATION**  
SCALE 1/4" = 1'-0"  
PROPOSED



**SITE PLAN PROPOSED**  
SCALE 1/4" = 1'-0"



**SOUTH ELEVATION**  
SCALE 1/4" = 1'-0"  
PROPOSED

**REMODEL / RENOVATION**

1209 KNOWLES LANE KEY WEST, FLORIDA 33040

**WILLIAM ROWAN N**  
ARCHITECTURE

KEY WEST, FLORIDA  
FLORIDA LICENSE AR-001751

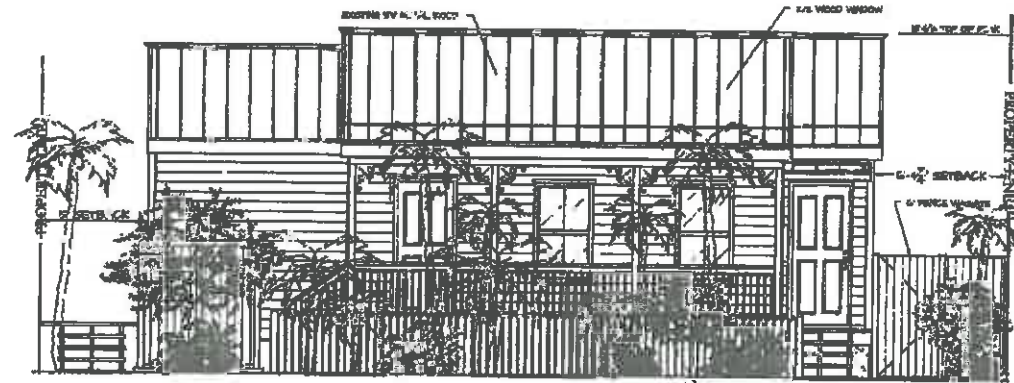
PROJECT NO:

DATE OCT 3, 2015

**A3**

3 OF 3

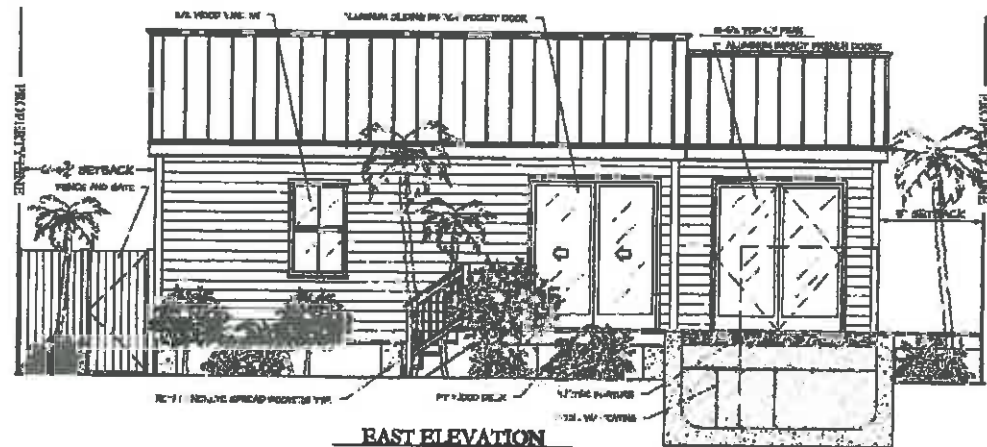
*Handwritten notes:*  
12/15/15  
11/5/15



WEST ELEVATION  
SCALE: 1/4"=1'-0"



SOUTH ELEVATION  
SCALE: 1/4"=1'-0"



EAST ELEVATION  
SCALE: 1/4"=1'-0"



NORTH ELEVATION  
SCALE: 1/4"=1'-0"

REMODEL / RENOVATION

1209 KNOWLES LANE KEY WEST, FLORIDA 33040

WILLIAM ROWAN N  
ARCHITECTURE

1209 KNOWLES LANE  
KEY WEST, FLORIDA 33040  
FLORIDA LICENSE A001751

PROJECT NO.:

JUNE 25, 2015  
DATE:

A4  
5 OF 5

# NOTICING

# Public Meeting Notice

The Historic Architectural Review Commission will hold a public hearing at 5:30 p.m., December 15, 2015 at Old City Hall, 510 Greene Street, Key West, Florida. The purpose of the hearing will be to consider a request for:

**RENOVATIONS TO EXISTING HOUSE. NEW FRONT FAÇADE CONFIGURATION. NEW SIDE ADDITION AND EXPANSION OF REAR ADDITION. NEW ROOF CONFIGURATION ON REAR AND SITE IMPROVEMENTS. DEMOLITION OF SIDE ADDITION AND REAR ROOF. REMOVAL OF ENCLOSURE AT FRONT FAÇADE. DEMOLITION OF CARPORT.**

**FOR- #1209 KNOWLES LANE**

**Applicant – McIntyre Construction**

**Application #H15-01-1817**

**If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 3140 Flagler Avenue, call 305-809-3975 or visit our website at [www.cityofkeywest-fl.gov](http://www.cityofkeywest-fl.gov).**

**THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION**

**ADA ASSISTANCE:** It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 800-955-8771 or 800-955-8770 (Voice) or the ADA Coordinator at 305-809-3731 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.



# PROPERTY APPRAISER INFORMATION



**Scott P. Russell, CFA**  
**Property Appraiser**  
**Monroe County, Florida**

Key West (305) 292-3420  
Marathon (305) 289-2550  
Plantation Key (305) 852-7130

## Property Record Card -

**Maps are now launching the new map application version.**

**Alternate Key: 1034657 Parcel ID: 00033750-000000**

### Ownership Details

**Mailing Address:**

MCGINTY KEVIN  
715 OLIVIA ST  
KEY WEST, FL 33040-6446

### Property Details

**PC Code:** 01 - SINGLE FAMILY

**Millage Group:** 10KW

**Affordable  
Housing:** No

**Section-  
Township-  
Range:** 05-68-25

**Property  
Location:** 1209 KNOWLES LN KEY WEST

**Legal** KW GWYNN SUB PT OF TR 13 RR739 A5-349 G72-568 OR399-776/77 CO JUDGE DOCKET 10-126-A OR716-232D/C  
**Description:** OR717-458/59LE OR829-1591 OR1072-1032 OR1231-39/40L/E OR1310-1420 /21AFFD OR1310-1422/4 OR1310-1425/7  
OR1310-1428 /30 OR1310-1431/3 OR2144-867/68WILL OR2174-2466/69ORD OR2182-1775/77 OR2204-2162M/L  
2265-783/85 OR2666-1081/83C/T OR2693-2247/49

**Click Map Image to open interactive viewer**



Land Use Code	Frontage	Depth	Land Area
01LN - SFR LANE	0	0	2,780.00 SF

Land Use Code	Frontage	Depth	Land Area
01LN - SFR LANE	0	0	2,780.00 SF

Number of Buildings: 1  
Number of Commercial Buildings: 0  
Total Living Area: 1119  
Year Built: 1933

## Building 1 Details

Building Type R1  
 Effective Age 52  
 Year Built 1933  
 Functional Obs 0

Condition A  
 Perimeter 164  
 Special Arch 0  
 Economic Obs 0

Quality Grade 400  
 Depreciation % 51  
 Grnd Floor Area 1,119

Inclusions: R1 includes 1 3-fixture bath and 1 kitchen.

Roof Type GABLE/HIP

Roof Cover MIN/PAINT CONC

Foundation NONE

Heat 1 NONE

Heat 2 NONE

Bedrooms 2

Heat Src 1 NONE

Heat Src 2 NONE

Extra Features:

2 Fix Bath 0

Vacuum 0

3 Fix Bath 0

Garbage Disposal 0

4 Fix Bath 0

Compactor 0

5 Fix Bath 0

Security 0

6 Fix Bath 0

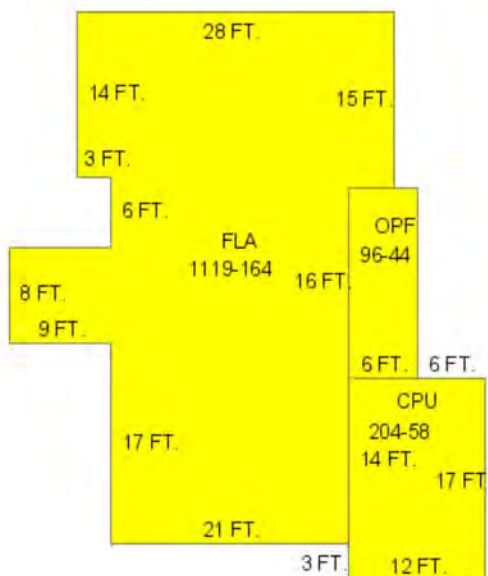
Intercom 0

7 Fix Bath 0

Fireplaces 0

Extra Fix 0

Dishwasher 0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
1	FLA	1:WD FRAME	1	1990	N	N	0.00	0.00	1,119
2	OPF		1	1990	N	N	0.00	0.00	96
3	CPU		1	1990	N	N	0.00	0.00	204

## Misc Improvement Details

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
-----	------	---------	--------	-------	------------	-----------	-------	------



1	AC2:WALL AIR COND	1 UT	0	0	1979	1980	1	20
---	-------------------	------	---	---	------	------	---	----

## Appraiser Notes

ADJ LAND SIZE PER OR2182-1775 AND GIS

## Building Permits

Bldg	Number	Date Issued	Date Completed	Amount	Description	Notes
1	06-2700	05/03/2006	12/11/2006	4,000	Residential	REPLACE WALL BOARD ON INSIDE WALLS

## Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2015	53,853	176	385,542	439,571	439,571	0	439,571
2014	87,123	160	316,247	403,530	403,530	0	403,530
2013	88,552	160	352,234	440,946	334,768	0	440,946
2012	89,980	160	214,195	304,335	304,335	0	304,335
2011	104,262	160	230,998	335,420	327,919	0	335,420
2010	100,590	160	197,359	298,109	298,109	0	298,109
2009	112,164	160	252,564	364,888	364,888	0	364,888
2008	104,479	160	353,117	457,756	457,756	25,000	432,756
2007	187,271	160	289,120	476,551	476,551	25,000	451,551
2006	205,414	160	168,720	374,294	374,294	0	374,294
2005	179,737	160	126,540	306,437	89,575	25,500	64,075
2004	115,032	160	126,540	241,732	86,966	25,500	61,466
2003	115,032	160	48,507	163,699	85,345	25,500	59,845
2002	98,919	160	48,507	147,586	83,345	25,500	57,845
2001	83,830	160	48,507	132,497	82,033	25,500	56,533
2000	84,836	405	36,380	121,621	79,644	25,500	54,144
1999	81,483	389	36,380	118,252	77,551	25,500	52,051
1998	67,064	320	36,380	103,764	76,330	25,500	50,830
1997	60,358	288	32,162	92,808	75,055	25,500	49,555
1996	43,592	208	32,162	75,962	72,869	25,500	47,369
1995	41,244	197	32,162	73,603	71,092	25,500	45,592
1994	36,885	176	32,162	69,223	69,223	25,500	43,723
1993	36,885	176	32,162	69,223	69,223	25,500	43,723
1992	36,885	176	32,162	69,223	69,223	25,500	43,723
1991	36,885	198	32,162	69,245	69,245	25,500	43,745
1990	28,435	0	23,199	51,634	51,634	25,500	26,134

<b>1989</b>	19,755	0	22,672	42,427	42,427	25,500	16,927
<b>1988</b>	22,726	0	17,784	40,510	40,510	25,500	15,010
<b>1987</b>	22,464	0	10,670	33,134	33,134	25,500	7,634
<b>1986</b>	22,587	0	10,670	33,257	33,257	25,500	7,757
<b>1985</b>	21,939	0	7,114	29,053	29,053	25,500	3,553
<b>1984</b>	16,007	0	7,114	23,121	23,121	23,121	0
<b>1983</b>	16,007	0	7,114	23,121	23,121	23,121	0
<b>1982</b>	16,338	0	5,288	21,626	21,626	21,626	0

## Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed.  
Thank you for your patience and understanding.

<b>Sale Date</b>	<b>Official Records Book/Page</b>	<b>Price</b>	<b>Instrument</b>	<b>Qualification</b>
<b>7/1/2014</b>	2693 / 2247	320,300	<u>WD</u>	<u>12</u>
<b>12/30/2013</b>	2666 / 1081	241,000	<u>CT</u>	<u>12</u>
<b>1/18/2006</b>	2182 / 1775	614,500	<u>WD</u>	<u>Q</u>

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Monroe County Property Appraiser  
Scott P. Russell, CFA  
P.O. Box 1176 Key West, FL 33041-1176