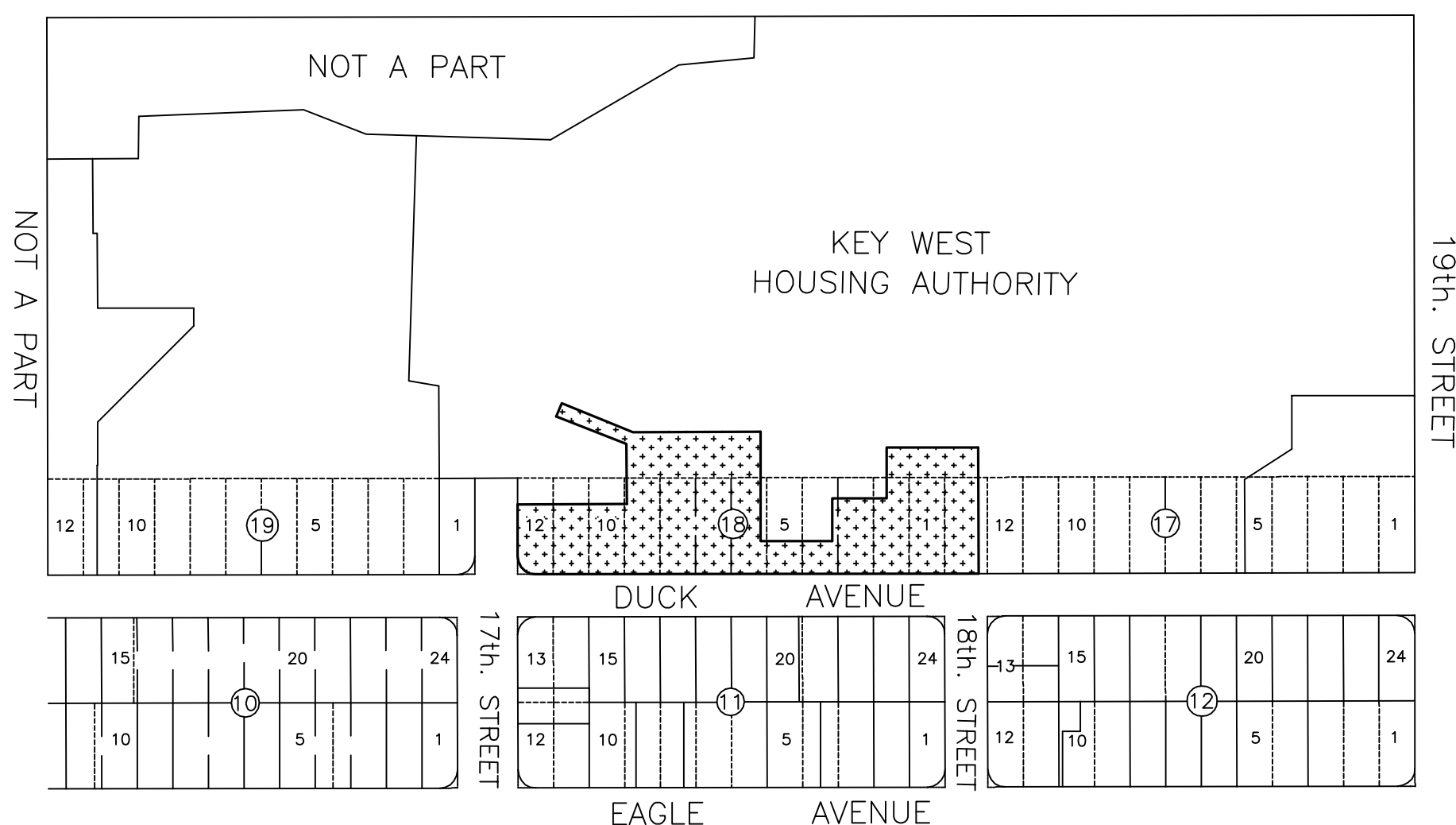


**LOCATION MAP**  
City of Key West  
"KEY WEST FOUNDATION COMPANY'S"  
PLAT NO. 2  
(P.B. 1, pg. 189)



**LEGAL DESCRIPTION, Assistance Living:**  
Prepared by Undersigned:  
A tract of land lying on the Island of Key West, Monroe County, Florida and being known as a portion of Lots 1-12, Block 18, "KEY WEST FOUNDATION COMPANY'S Plat No. 2", as recorded in Plat Book 1, at Page 189, of the Public Records of Monroe County, Florida and being more particularly described as follows:

Commence at the intersection of the Northerly Right-of-Way line of Duck Avenue and the Westerly Right-of-Way line of 19th Street, said point also being the Southeast corner of Lot 1, Block 17, of the "KEY WEST FOUNDATION COMPANY'S Plat No. 2; thence S 70°56'00" W along the said Northerly right-of-way Line of Duck Avenue for a distance of 1260.50 feet to the Point of Beginning;

thence N 19°04'00" W a distance of 98.16 feet; thence N 70°56'00" E a distance of 153.38 feet; thence N 19°04'00" W a distance of 84.40 feet; thence N 87°20'47" W a distance of 106.06 feet; thence N 02°47'50" E a distance of 19.63 feet; thence S 87°03'31" E a distance of 108.14 feet; thence N 70°56'00" E a distance of 89.47 feet; thence S 18°58'04" E a distance of 84.06 feet; thence N 70°56'00" E a distance of 190.42 feet; thence S 19°04'00" E a distance of 9.97 feet; thence N 70°56'00" E a distance of 76.47 feet; thence N 19°04'00" W a distance of 71.61 feet; thence N 70°56'00" E a distance of 128.96 feet; thence S 19°04'00" E a distance of 177.09 feet; thence S 70°56'00" W a distance of 647.59 feet to the point of beginning, having on area of 89571.71 square feet or 2.056 acres

**SURVEYOR'S NOTES:**  
North arrow based on assumed median  
Reference Bearing: R/W Duck Avenue  
3.4 denotes existing elevation  
Elevations based on N.G.V.D., 1929 Datum  
Bench Mark No.: Bayou, Elevation: 4.23'  
Title search has not been performed on said or surrounding properties.

**MONUMENTATION:**  
▲ = Found P.K. Nail  
△ = Set P.K. Nail, P.L.S. No. 2749  
● = Fd. 1/2" I.B., P.L.S. No. 2749  
● = Found 1/2" iron pipe/bar

Field Work performed on: 11/13/15

**CERTIFICATION:**  
I HEREBY CERTIFY that the attached **BOUNDARY SURVEY** is true and correct to the best of my knowledge and belief; that it meets the minimum technical standards adopted by the Florida Board of Land Surveyors, Chapter 5J-17, Florida Statute Section 472.027, and the American Land Title Association, and that there are no visible encroachments unless shown hereon.

FREDERICK H. HILDEBRANDT  
Professional Land Surveyor & Mapper No. 2749  
Professional Engineer No. 36810  
State of Florida

NOT VALID UNLESS EMBOSSED WITH RAISED SEAL & SIGNATURE

LEGEND			
A/C	Air Conditioner	LB	Licensed Business Number
BAL	Balcony	M	Measured
BM	Bench Mark	N.T.S.	Not To Scale
CB	Catch Basin	O.R.	Official Records
CL	Center Line	OH	Over Head
CO	Clean Out	P	Plat
CONC	Concrete	PB	Plat Book
C.B.S.	Concrete Block Stucco	P.O.B.	Point Of Beginning
CUP	Concrete Utility Pole	P.O.C.	Point Of Commence
COV'D	Covered	R/W	Right Of Way
D	Deed	SIB	Set Iron Bar
ELEV	Elevation	SIP	Set Iron Pipe
F.F.L.	Finished Floor Elevation	SPK	Set Nail And Disc
FH	Fire Hydrant	STY	Story
FW	Fire Well	UP	Utility Pole
FIB	Found Nail & Disc	WM	Water Meter
FPK	Found Iron Bar	WV	Water Valve
IRR	Irregular		
SYMBOLS			
⊕	Concrete Utility Pole	⊙	Street Light
⊕	Fire Hydrant	⊙	Wood Utility Pole
⊕	Sanitary Sewer Clean Out	⊙	Water Meter

Key West Housing Authority/Assistance Living  
Duck Avenue, Key West, Fl. 33040

**BOUNDARY SURVEY**

Scale 1" = 30'    Ref. 150-16    Flood Panel No. 1509 K    Dwn. By F.H.H.  
Date: 5/27/15    File    Flood Zone    AE    Flood Elev. 7'

**REVISIONS AND/OR ADDITIONS**  
3/31/14: Updated, out parcels, new Legal Descriptions  
7/22/15: Revise Assistance Living  
9/24/15: Revise Legal Description  
9/29/15: Correct L.D.  
f:/datafred/dwg/cityofkw/poinhousing/assistanceliving

**ISLAND SURVEYING INC.**  
ENGINEERS PLANNERS SURVEYORS  
3152 Northside Drive  
Suite 201  
Key West, Fl. 33040  
(305) 293-0466  
Fax: (305) 293-0237  
fhildeb1@bellsouth.net  
L.B. No. 7700

# POINCIANA GARDENS

## Senior Living Project

### KEY WEST, FLORIDA

owner

The Housing Authority of the City of Key West  
1400 Kennedy Drive  
Key West, FL 33040

architect

Progressive Associates, Inc.  
838 West Long Lake Road Suite 250  
Bloomfield Hills, Michigan 48302  
(248) 540-5940

developer

Key West Senior Development, LLC  
490 Martell Drive  
Bloomfield Hills, MI 48304

construction  
manager

Rockford Construction  
601 First Street NW  
Grand Rapids, MI 49504

issued :

REVIEW	September 14, 2015
REVIEW	September 28, 2015
REVIEW	November 6, 2015
REVIEW	November 17, 2015
REVIEW	December 9, 2015


Issued For:

REVIEW

12/16/15



**LIFE SAFETY SITE PLAN**  
SCALE: 1"=30'

SCALE: 1"=30'

POINCIANA  
GARDENS  
Senior Living Project

Sheet Title:

Project Number: 15-138

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Drawn: VC

Checked: PA

Date: 12/16/15

Sheet Number: 6

SP-L



Issued For:  
REVIEW  
12/16/15

Project:

POINCIANA  
GARDENS  
Senior Living Project

Key West, Florida

Sheet Title:

FIRST FLOOR  
LIFE SAFETY PLAN

Project Number: 15-138

Drawn: VC

Checked: PA

Date: 12/16/15

Sheet Number:

SK1-L

Fire Protection & Related Communication Systems  
to Be Provided:

Fire Sprinkler System

Provide an approved, electrically supervised, automatic fire suppression system throughout, in accordance with applicable sections of the FBC, NFPA 13 & local building and fire department requirements. The system shall be monitored via approved central station, remote supervising station, or proprietary supervising station, unless otherwise approved or required by the local building & fire departments.

NOTE: Concealed combustible spaces such as (but not limited to) Attics & Floor-Ceiling assemblies are to be provided with sprinkler protection. Therefore, draftstopping is not required in buildings equipped with an automatic sprinkler system in accordance with FBC Section 903.3.1.1. (FBC Chapter 7, Section 718.3.2 (Exception #1) & Chapter 7, Section 718.4.2 (Exception #2))

Quick Response / Residential Sprinklers:

Quick response or residential sprinklers shall be installed in all Dwelling Units, Sleeping Units and in all light hazard occupancies as defined by NFPA 13.

Standpipe System

NOT REQUIRED

Fire Alarm System:

Fire Alarm System in accordance with NFPA 9.6 and having initiation by:

- Manual means per 9.6.2
- Manual Station located under continuous supervision
- Sprinkler System
- Required Detection System(s)

Annunciation with Annunciator panel located in approved location Occupant notification shall be provided automatically without delay in accordance with 9.6.3 - Note: Presignal system are prohibited.

Fire Department notification shall be provided immediately

Fire/Smoke Detection System:

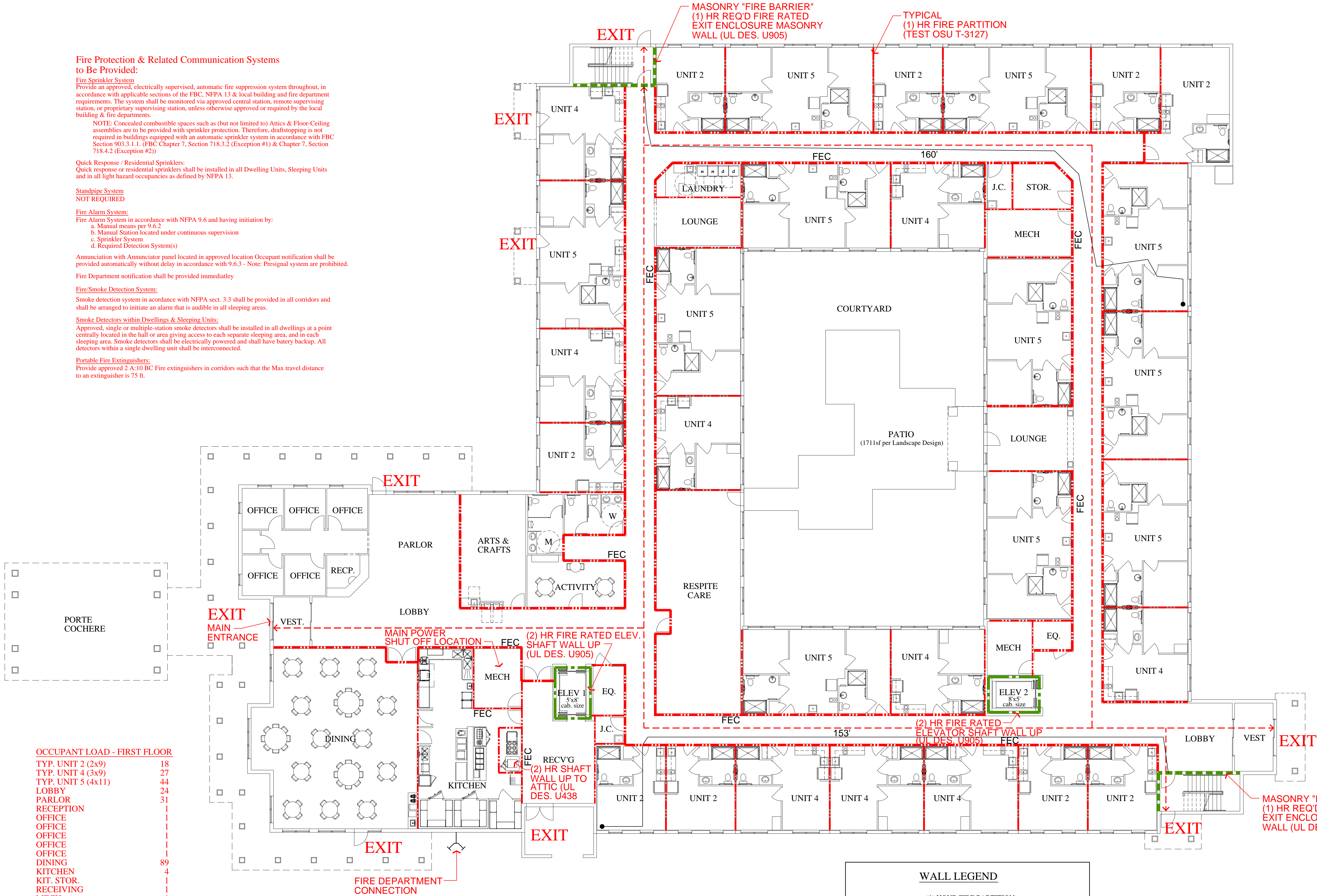
Smoke detection system in accordance with NFPA sect. 3.3 shall be provided in all corridors and shall be arranged to initiate an alarm that is audible in all sleeping areas.

Smoke Detectors within Dwellings & Sleeping Units:

Approved, single or multiple-station smoke detectors shall be installed in all dwellings at a point centrally located in the hall or area giving access to each separate sleeping area, and in each sleeping area. Smoke detectors shall be electrically powered and shall have battery backup. All detectors within a single dwelling unit shall be interconnected.

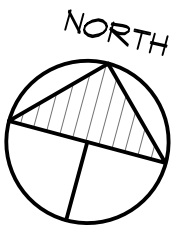
Portable Fire Extinguishers:

Provide approved 2 A:10 BC Fire extinguishers in corridors such that the Max travel distance to an extinguisher is 75 ft.



OCCUPANT LOAD - FIRST FLOOR

TYP. UNIT 2 (2x9)	18
TYP. UNIT 4 (3x9)	27
TYP. UNIT 5 (4x11)	44
LOBBY	24
PARLOR	31
RECEPTION	1
OFFICE	1
OFFICE	1
OFFICE	1
OFFICE	1
OFFICE	1
DINING	89
KITCHEN	4
KIT. STOR.	1
RECEIVING	1
MECH.	1
ARTS & CRAFTS	24
ACTIVITY	16
RESPIRE CARE	26
LOUNGE	14
LAUNDRY	3
STORAGE	1
MECH.	1
LOUNGE	17
MECH.	1
LOBBY	17
TOTAL FIRST FLOOR (OCCUPANT LOAD)	366



FIRST FLOOR LIFE SAFETY PLAN - INDEPENDENT LIVING

SCALE: 3/32"=1'-0"

F.E.C. = FIRE EXTINGUISHER AND CABINET  
FIELD CONFIRM LOCATIONS OF ALL FIRE EXTINGUISHERS  
WITH THE LOCAL FIRE DEPARTMENT PRIOR TO  
INSTALLATION.

WALL LEGEND

- (1) HOUR FIRE PARTITION  
TO UNDERSIDE OF FIRE RATED  
CEILING ABOVE  
(TEST OSU T-3127)
- MASONRY "FIRE BARRIER" - (1)HR (REQ'D)  
FIRE RATED EXIT ENCLOSURE MASONRY  
WALL TO UNDERSIDE OF ROOF SHEATHING  
(UL DES. NO. U905)
- (2)HR FIRE RATED ELEVATOR SHAFT WALL  
CONTINUOUS TO UNDERSIDE OF ELEVATOR  
CEILING SYSTEM  
(UL DES. NO. U905)

NOTES:

- ALL EXTERIOR WALLS ARE (1) HOUR FIRE RATED REQ'D
- ALL NON-LOAD BEARING INTERIOR PARTITIONS SHALL BE  
5/8" TYPE 'X' GYPSUM BOARD EACH SIDE OF 2x4 STUDS  
@ 24"o/c MAX. - U.O.N. (PER FLORIDA BUILDING CODE 2014  
TABLE 721.1(2) ITEM NUMBER 14-1.3.)



Fire Protection & Related Communication Systems  
to Be Provided:

Fire Sprinkler System

Provide an approved, electrically supervised, automatic fire suppression system throughout, in accordance with applicable sections of the FBC, NFPA 13 & local building and fire department requirements. The system shall be monitored via approved central station, remote supervising station, or proprietary supervising station, unless otherwise approved or required by the local building & fire departments.

NOTE: Concealed combustible spaces such as (but not limited to) Attics & Floor-Ceiling assemblies are to be provided with sprinkler protection. Therefore, draftstopping is not required in buildings equipped with an automatic sprinkler system in accordance with FBC Section 903.3.1.1. (FBC Chapter 7, Section 718.3.2 (Exception #1) & Chapter 7, Section 718.4.2 (Exception #2))

Quick Response / Residential Sprinklers:

Quick response or residential sprinklers shall be installed in all Dwelling Units, Sleeping Units and in all light hazard occupancies as defined by NFPA 13.

Standpipe System

NOT REQUIRED

Fire Alarm System:

Fire Alarm System in accordance with NFPA 9.6 and having initiation by:

- Manual means per 9.6.2
- Manual Station located under continuous supervision
- Sprinkler System
- Required Detection System(s)

Annunciation with Annunciator panel located in approved location Occupant notification shall be provided automatically without delay in accordance with 9.6.3 - Note: Presignal system are prohibited.

Fire Department notification shall be provided immediatley

Fire/Smoke Detection System:

Smoke detection system in accordance with NFPA sect. 3.3 shall be provided in all corridors and shall be arranged to initiate an alarm that is audible in all sleeping areas.

Smoke Detectors within Dwellings & Sleeping Units:

Approved, single or multiple-station smoke detectors shall be installed in all dwellings at a point centrally located in the hall or area giving access to each separate sleeping area, and in each sleeping area. Smoke detectors shall be electrically powered and shall have batery backup. All detectors within a single dwelling unit shall be interconnected.

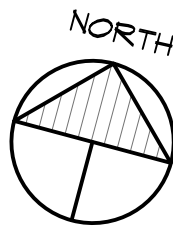
Portable Fire Extinguishers:

Provide approved 2 A:10 BC Fire extinguishers in corridors such that the Max travel distance to an extinguisher is 75 ft.

OCCUPANT LOAD - SECOND FLOOR

TYP. UNIT 2 (2x11)	22
TYP. UNIT 4 (3x7)	21
TYP. UNIT 5 (4x13)	52
THERAPY	13
DR. OFFICE	1
MULTI-PURPOSE	27
ATTIC STORAGE	4
LOUNGE	14
LAUNDRY	3
STORAGE	1
MECH.	1
LOUNGE	17
MECH.	1

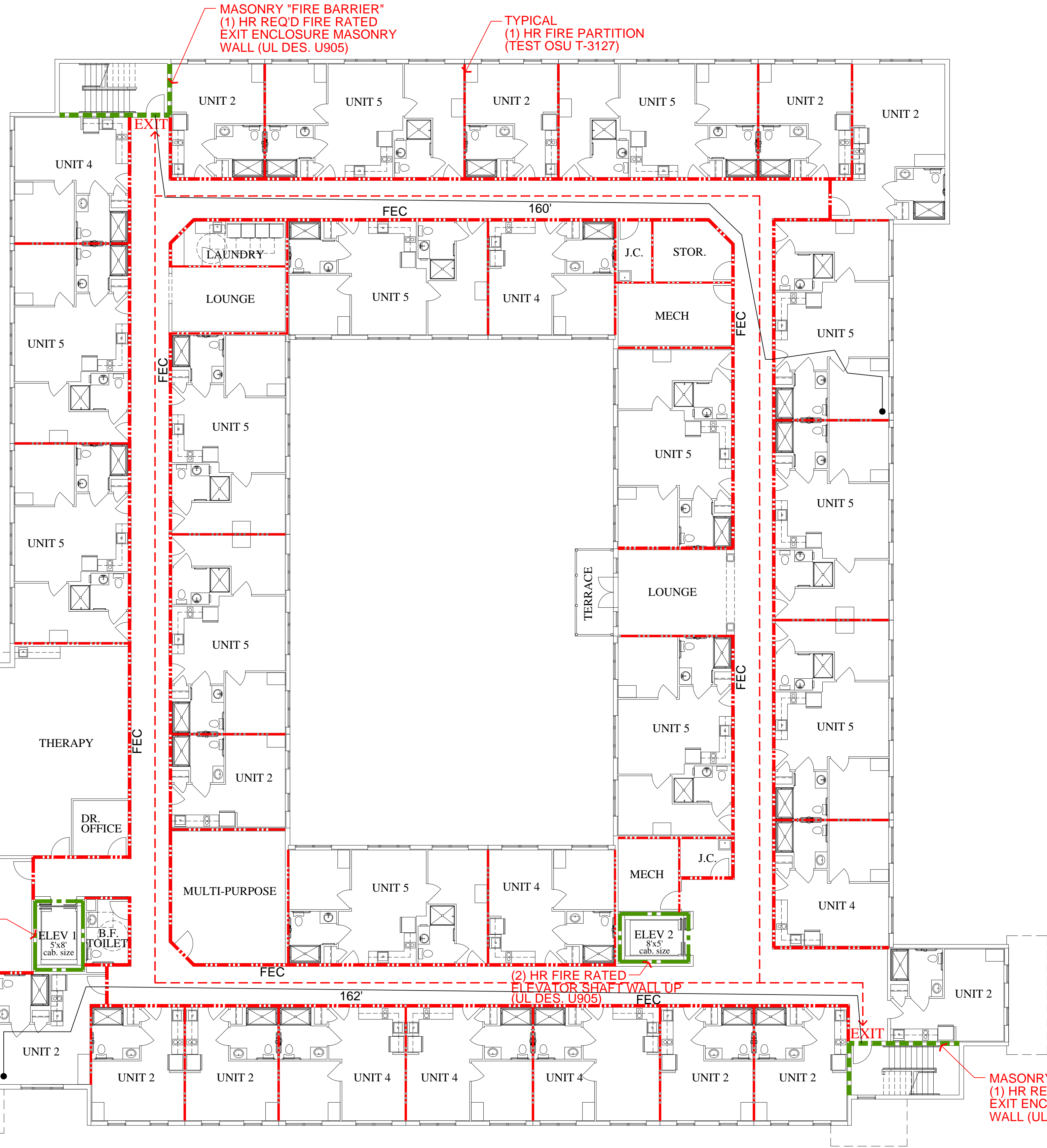
TOTAL SECOND FLOOR  
(OCCUPANT LOAD) 177



SECOND FLOOR LIFE SAFETY PLAN - INDEPENDENT LIVING

SCALE: 3/32"=1'-0"

F.E.C. = FIRE EXTINGUISHER AND CABINET  
FIELD CONFIRM LOCATIONS OF ALL FIRE EXTINGUISHERS  
WITH THE LOCAL FIRE DEPARTMENT PRIOR TO  
INSTALLATION.



WALL LEGEND

- (1) HOUR FIRE PARTITION TO UNDERSIDE OF FIRE RATED CEILING ABOVE (TEST OSU T-3127)
- MASONRY "FIRE BARRIER" - (1)HR (REQ'D) FIRE RATED EXIT ENCLOSURE MASONRY WALL TO UNDERSIDE OF ROOF SHEATHING (UL DES. NO. U905)
- (2)HR FIRE RATED ELEVATOR SHAFT WALL CONTINUOUS TO UNDERSIDE OF ELEVATOR CEILING SYSTEM (UL DES. NO. U905)

NOTES:

- ALL EXTERIOR WALLS ARE (1) HOUR FIRE RATED REQ'D
- ALL NON-LOAD BEARING INTERIOR PARTITIONS SHALL BE 5/8" TYPE 'X' GYPSUM BOARD EACH SIDE OF 2x4 STUDS @ 24"o/c MAX. - U.O.N. (PER FLORIDA BUILDING CODE 2014 TABLE 721.1(2) ITEM NUMBER 14-1.3.)



Fire Protection & Related Communication Systems  
to Be Provided:

Fire Sprinkler System

Provide an approved, electrically supervised, automatic fire suppression system throughout, in accordance with applicable sections of the FBC, NFPA 13 & local building and fire department requirements. The system shall be monitored via approved central station, remote supervising station, or proprietary supervising station, unless otherwise approved or required by the local building & fire departments.

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Quick Response / Residential Sprinklers:

Quick response or residential sprinklers shall be installed in all Dwelling Units, Sleeping Units and in all light hazard occupancies as defined by NFPA 13.

Standpipe System

NOT REQUIRED

Fire Alarm System:

Fire Alarm System in accordance with NFPA 9.6 and having initiation by:

- Manual means per 9.6.2
- Manual Station located under continuous supervision
- Sprinkler System
- Required Detection System(s)

Annunciation with Annunciator panel located in approved location Occupant notification shall be provided automatically without delay in accordance with 9.6.3 - Note: Presignal system are prohibited.

Fire Department notification shall be provided immediatley

Fire/Smoke Detection System:

Smoke detection system in accordance with NFPA sect. 3.3 shall be provided in all corridors and shall be arranged to initiate an alarm that is audible in all sleeping areas.

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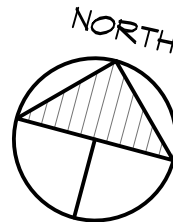
Portable Fire Extinguishers:

Provide approved 2 A:10 BC Fire extinguishers in corridors such that the Max travel distance to an extinguisher is 75 ft.

OCCUPANT LOAD - THIRD FLOOR

TYP. UNIT 1 (2x14)	28
TYP. UNIT 2 (2x16)	32
TYP. UNIT 3 (2x8)	16
TYP. UNIT 4 (2x10)	20
DINING	47
DR. OFFICE	1
WARM. KITCHEN	1
KITCHEN STOR.	1
STAFF	3
MEDS	1
LAUNDRY	3
SOILED LINEN	1
CLEAN LINEN	1
STAFF	2
MECH.	1
MECH.	1

TOTAL THIRD FLOOR  
(OCCUPANT LOAD) 159



THIRD FLOOR LIFE SAFETY PLAN - ASSISTED LIVING

SCALE: 3/32"=1'-0"

F.E.C. = FIRE EXTINGUISHER AND CABINET  
FIELD CONFIRM LOCATIONS OF ALL FIRE EXTINGUISHERS  
WITH THE LOCAL FIRE DEPARTMENT PRIOR TO  
INSTALLATION.



WALL LEGEND

- (1) HOUR FIRE PARTITION TO UNDERSIDE OF FIRE RATED CEILING ABOVE (TEST OSU T-3127)
- MASONRY "FIRE BARRIER" - (1)HR (REQ'D) FIRE RATED EXIT ENCLOSURE MASONRY WALL TO UNDERSIDE OF ROOF SHEATHING (UL DES. NO. U905)
- (2)HR FIRE RATED ELEVATOR SHAFT WALL CONTINUOUS TO UNDERSIDE OF ELEVATOR CEILING SYSTEM (UL DES. NO. U905)

NOTES:

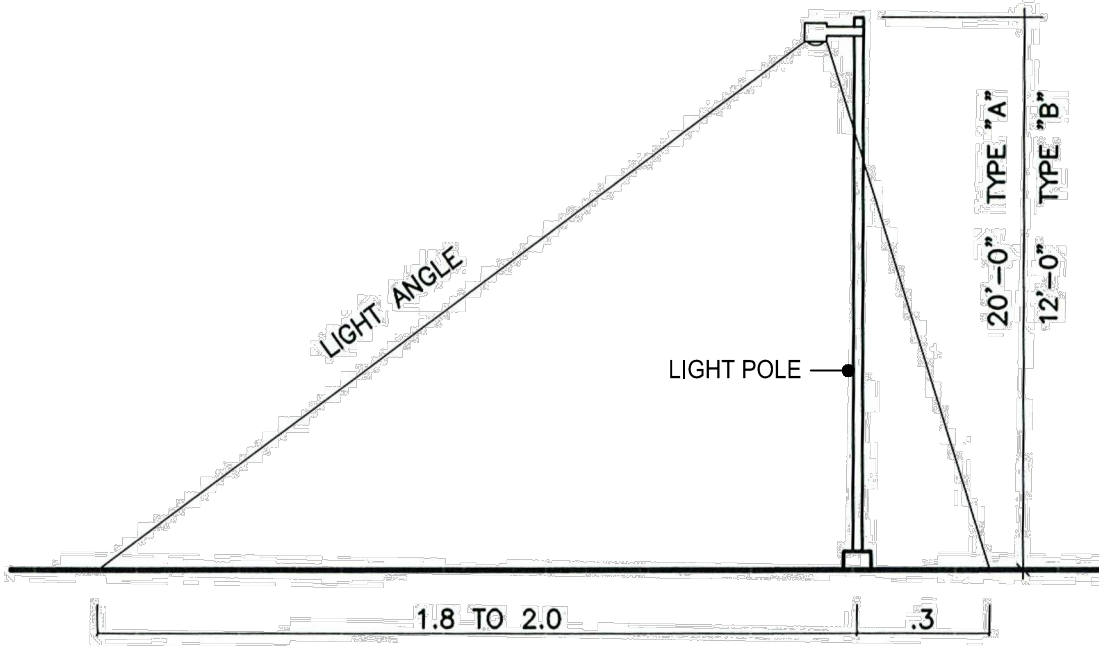
- ALL EXTERIOR WALLS ARE (1) HOUR FIRE RATED REQ'D
- ALL NON-LOAD BEARING INTERIOR PARTITIONS SHALL BE 5/8" TYPE 'X' GYPSUM BOARD EACH SIDE OF 2x4 STUDS @ 24"OC MAX. - U.O.N. (PER FLORIDA BUILDING CODE 2014 TABLE 721.1(2) ITEM NUMBER 14-1.3.)



SITE LIGHTING

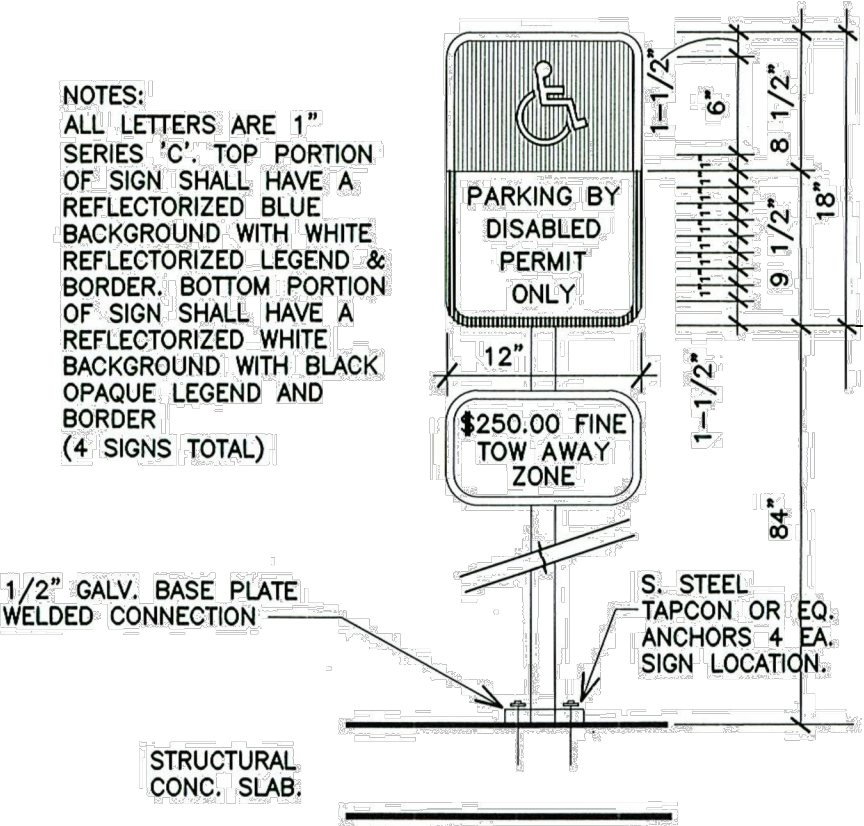
(Coordinate Site Lighting, fixtures w/Landscape Plan)

- LED Rectilinear Fixture on 20' or 12' pole. Fixture shall be Cooper McGraw-Edison/Talon Catalog No. TLM-B02-LED-E1-SL3-BZ with pole mount adapter, pole shall be round, tapered, bronze
  - ◀ 96W LED Wall Pack, Building Mounted  
Manufacturer: www.e-conolight.com  
Model No. E-WP8L05NZ
1. Porte Cochere Canopy, all building entry canopies and building veranda portico to utilize LED Canopy, Low-Profile Lights.  
Manufacturer: www.e-conolight.com  
Model No. E-CPZL07Cw
2. Landscape Lighting (per Landscape Architect and City of Key West ordinances) to be LED  
Floodlights, 9W, neutral white  
Manufacturer: www.e-conolight.com  
Model No. E-GL3L09N2W



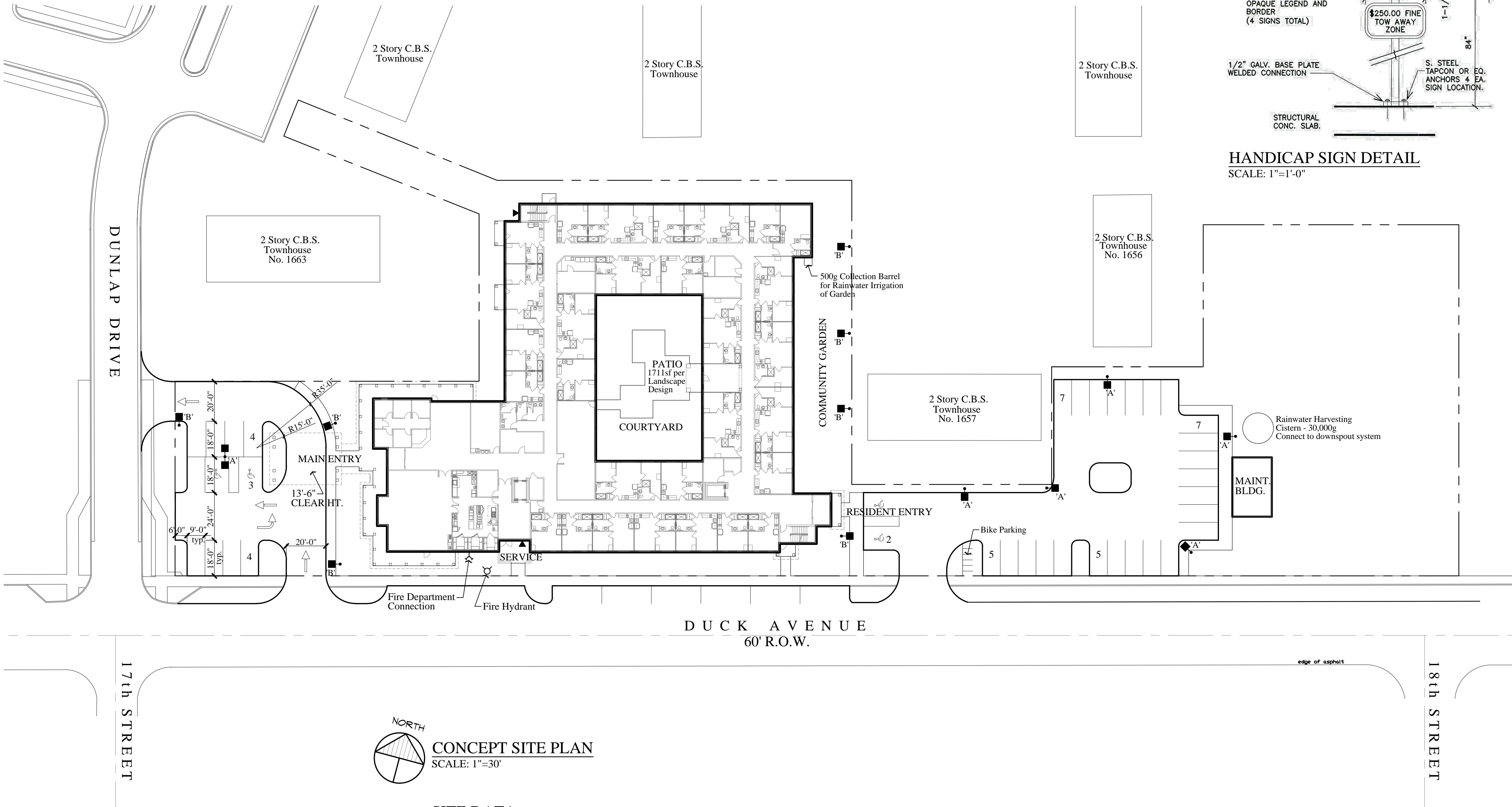
SITE LIGHT DETAIL

NTS ASYMETRICAL REFLECTORS w/RESTRICTED BACK LIGHT MEETS DARK SKY REQUIREMENTS



HANDICAP SIGN DETAIL

SCALE: 1"=1'-0"



CONCEPT SITE PLAN  
SCALE: 1"=30'

SITE DATA

EXISTING ZONING: MDR-1  
(Medium Density Residential District-1)  
SITE AREA: 90,028sf approx. (2 acres)  
FLOOD ZONE: AE, EL 7'  
OPEN SPACE: 42.5% = 38,262sf  
IMPERVIOUS AREA: 57.5% = 51,766sf  
CONSUMPTION AREA: 2,134sf

BUILDING HEIGHT: 3 story (35')  
BUILDING AREA: 69,420sf  
FIRST FLOOR: 26,514sf  
SECOND FLOOR: 21,918sf  
THIRD FLOOR: 20,988sf  
TOTAL # of UNITS: 108  
INDEPENDENT LIVING (60)  
ASSISTED LIVING (48)

TOTAL # of PARKING REQUIRED: 35 spaces  
1 space per 4 beds  
TOTAL # of PARKING PROVIDED: 37 spaces  
(4 Handicap Spaces)  
BIKE PARKING: 10 BIKES

Issued For:

REVIEW

8/12/15

REVIEW

9/14/15

REVIEW

9/28/15

REVIEW

11/6/15

REVIEW

11/17/15

REVIEW

12/3/15

REVIEW

12/9/15

REVIEW

12/14/15

REVIEW

12/16/15

Project:

POINCIANA  
GARDENS  
Senior Living Project

Key West, Florida

Sheet Title:

CONCEPT  
SITE PLAN

Project Number: 15-138

Drawn: VC

Checked: PA

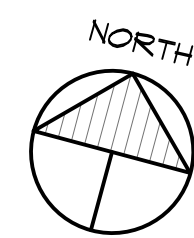
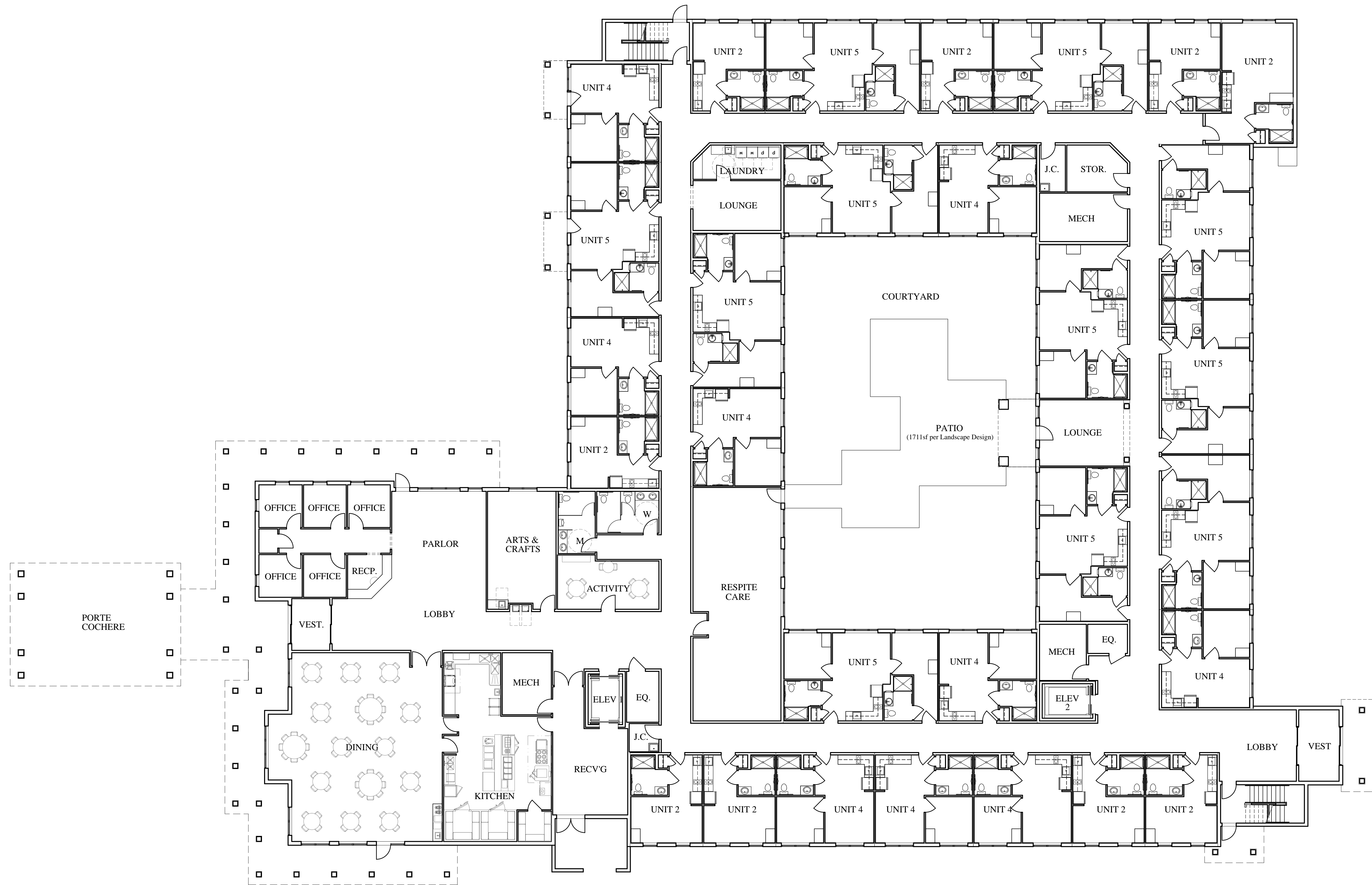
Date: 8/12/15

Sheet Number:

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REVIEW 8/12/15
REVIEW 9/14/15
REVIEW 9/28/15
REVIEW 11/6/15
REVIEW 11/17/15
REVIEW 12/9/15

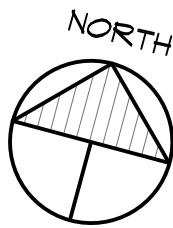
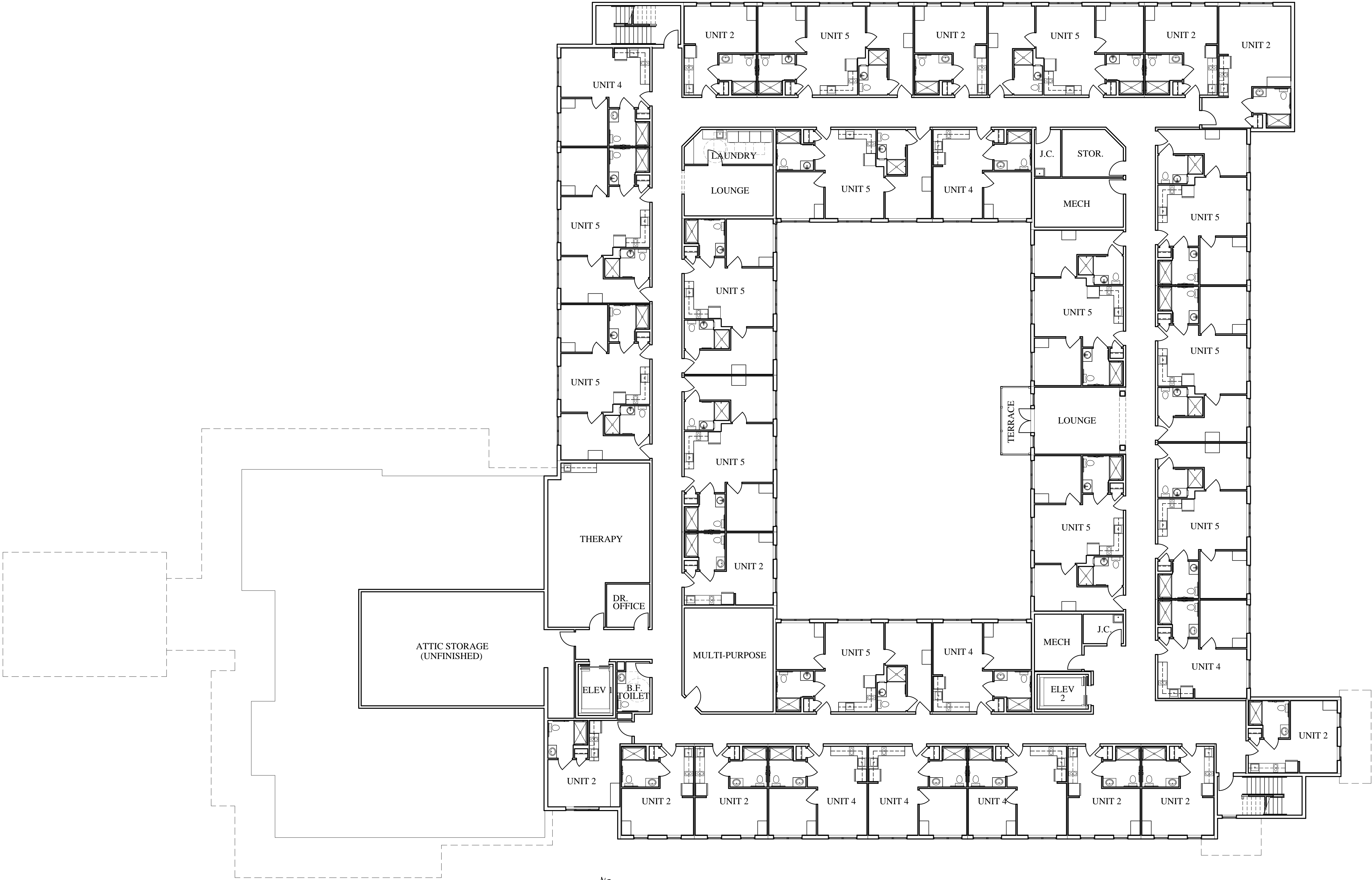
Project:
POINCIANA GARDENS Senior Living Project Key West, Florida
Sheet Title:
PROPOSED FIRST FLOOR BUILDING PLAN
Project Number: 15-138
Drawn: VC
Checked: PA
Date: 8/12/15
Sheet Number: CK11



PROPOSED FIRST FLOOR BUILDING PLAN - INDEPENDENT LIVING  
SCALE: 3/32"=1'-0" AREA: 26,514 sf

<u>UNIT COUNT</u>	
UNIT '2' Studio w/Full Bath	9
UNIT '4' One bed w/Full Bath	9
UNIT '5' Two bed w/Two Full Baths	<u>11</u>
TOTAL:	29





**PROPOSED SECOND FLOOR BUILDING PLAN - INDEPENDENT LIVING**  
SCALE: 3/32"=1'-0" AREA: 21,918 sf

UNIT COUNT	
UNIT '2' Studio w/Full Bath	11
UNIT '4' One bed w/Full Bath	7
UNIT '5' Two bed w/Two Full Baths	13
TOTAL:	31

Issued For:

REVIEW

8/12/15

REVIEW

9/14/15

REVIEW

9/28/15

REVIEW

11/6/15

REVIEW

11/17/15

REVIEW

12/9/15

Project:

**POINCIANA  
GARDENS**  
Senior Living Project

Key West, Florida

Sheet Title:

**PROPOSED  
SECOND FLOOR  
BUILDING PLAN**

Project Number: 15-138

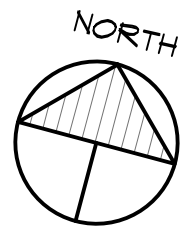
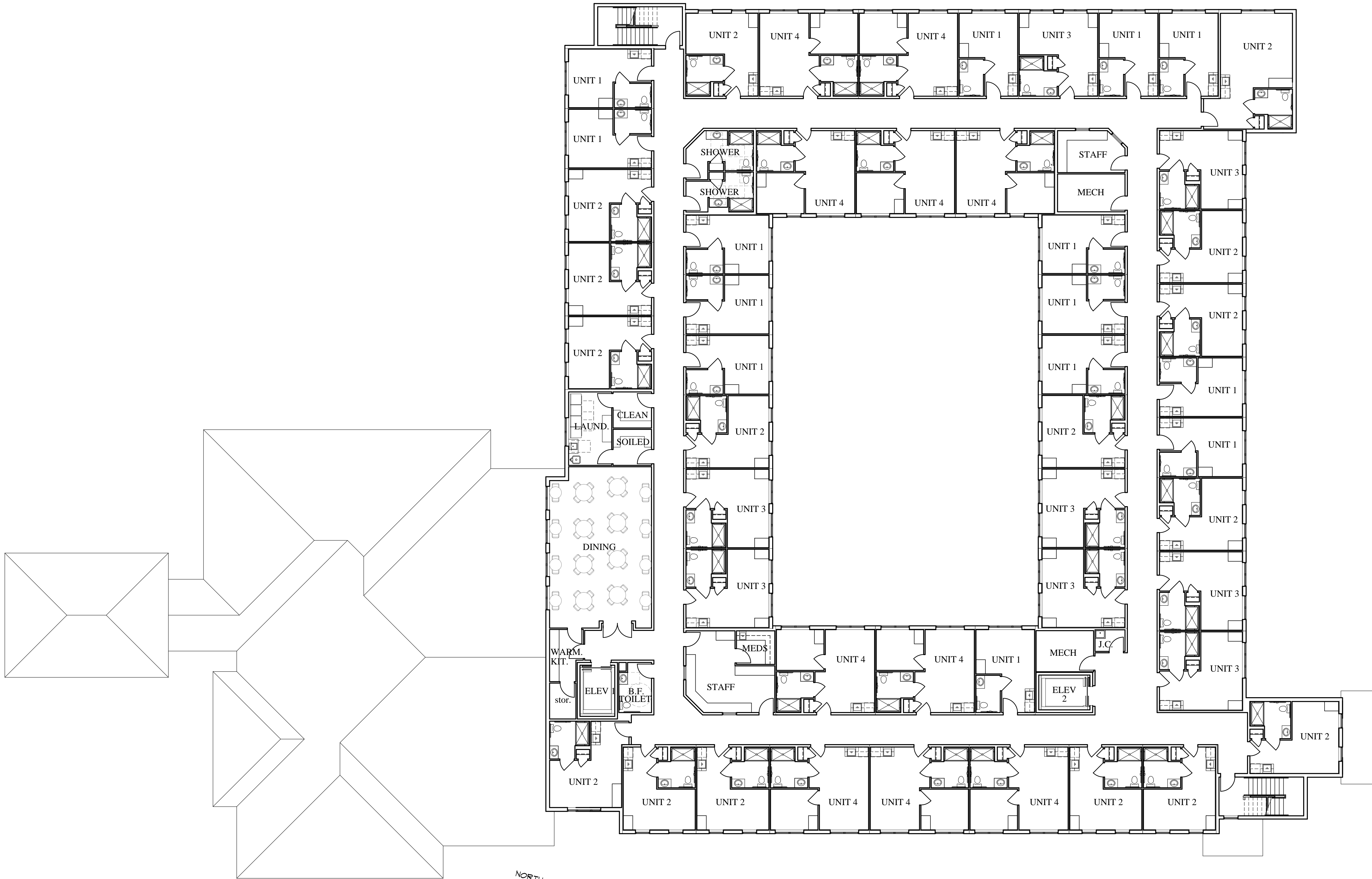
Drawn: VC

Checked: PA

Date: 8/12/15

Sheet Number:

**SK2**



PROPOSED THIRD FLOOR BUILDING PLAN - ASSISTED LIVING  
SCALE: 3/32"=1'-0" AREA: 20,988 sf

UNIT COUNT	
UNIT '1' Studio w/1/2 Bath	14
UNIT '2' Studio w/Full Bath	16
UNIT '3' Semi-Private w/Full Bath	8
UNIT '4' One bed w/Full Bath	10
TOTAL:	48

Issued For:

REVIEW

8/12/15

REVIEW

9/14/15

REVIEW

9/28/15

REVIEW

11/6/15

REVIEW

11/17/15

REVIEW

12/9/15

Project:

POINCIANA  
GARDENS  
Senior Living Project

Key West, Florida

Sheet Title:

PROPOSED  
THIRD FLOOR  
BUILDING PLAN

Project Number: 15-138

Drawn: VC

Checked: PA

Date: 8/12/15

Sheet Number:

SK3



Issued For:

REVIEW  
8/12/15

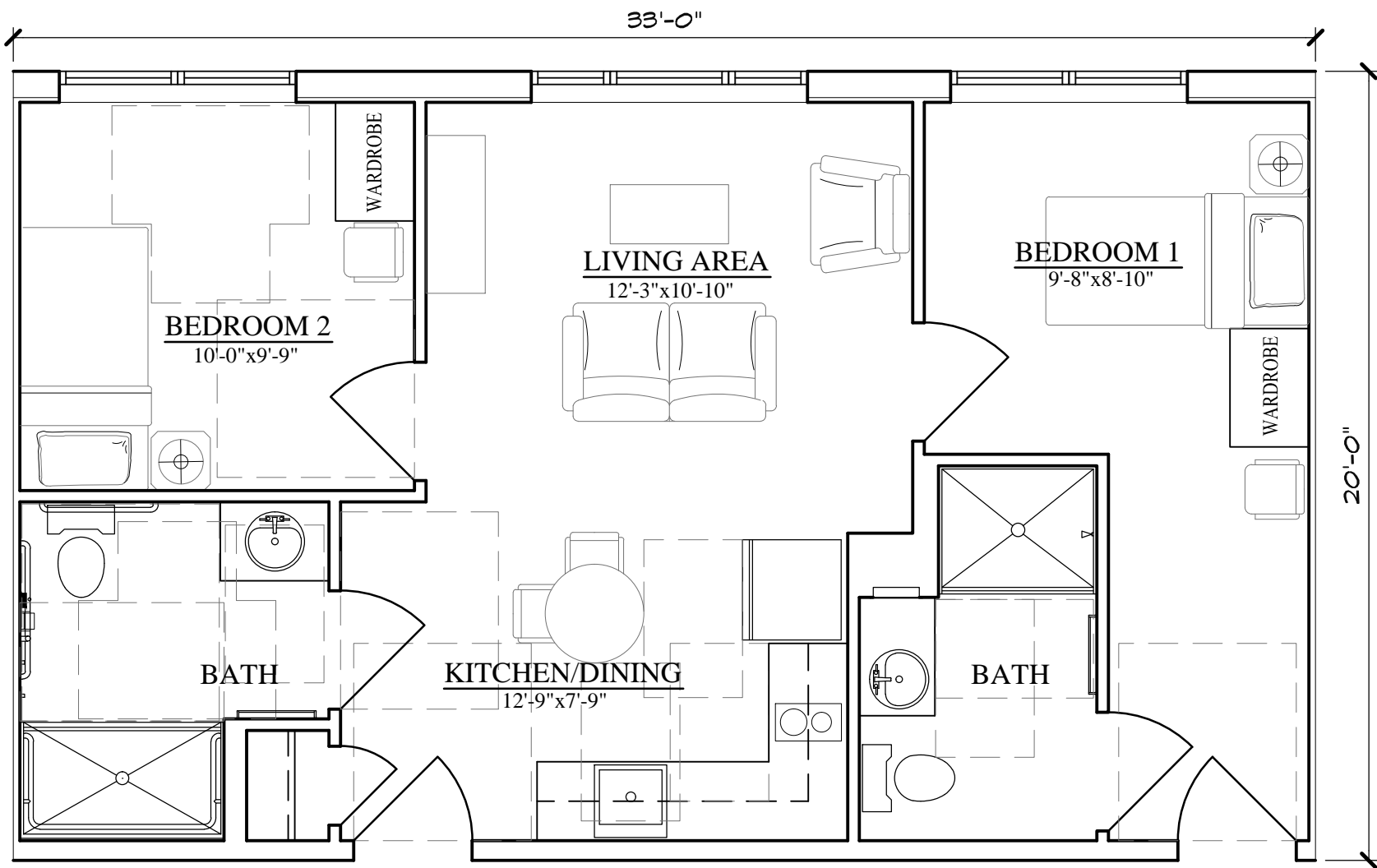
REVIEW  
9/14/15

REVIEW  
9/28/15

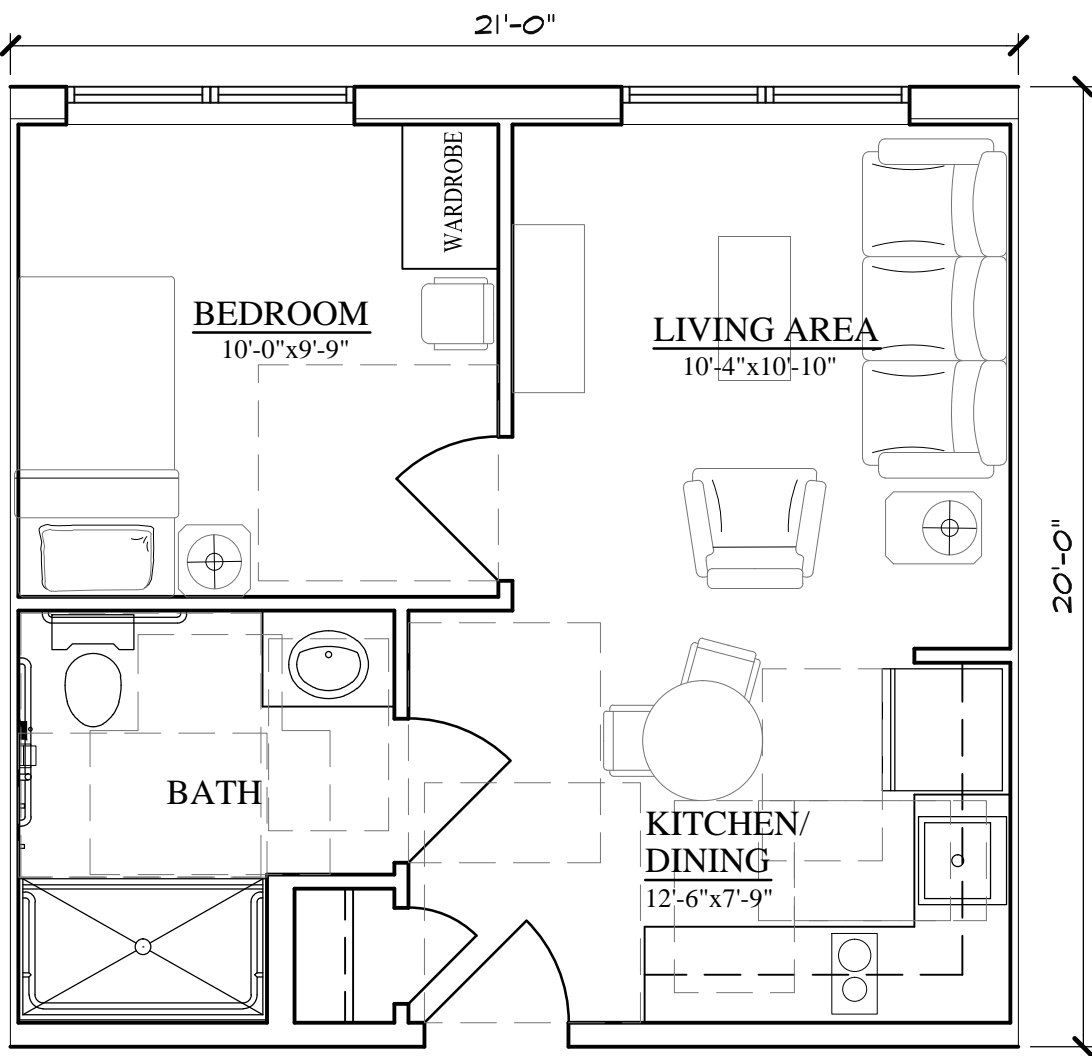
REVIEW  
9/28/15

REVIEW  
11/6/15

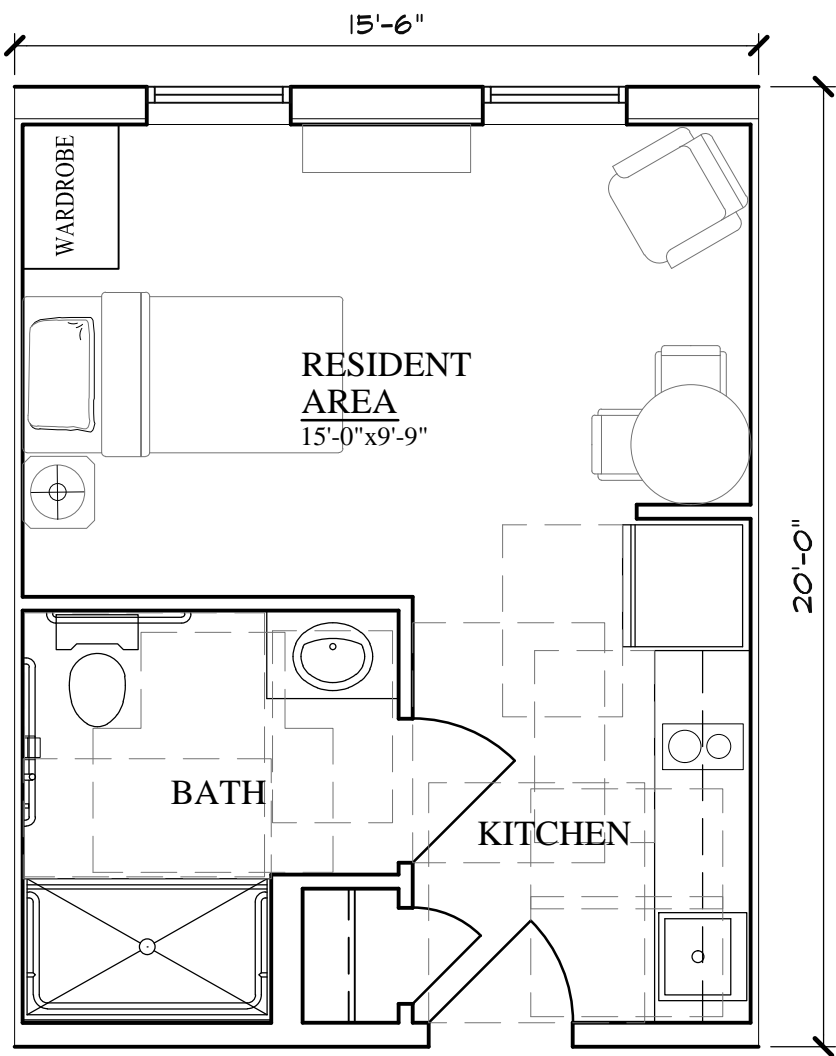
REVIEW  
12/9/15



INDEPENDENT LIVING  
TWO BEDROOM w/ TWO FULL BATHS  
UNIT '5' FLOOR PLAN  
SCALE: 1/4"=1'-0" AREA: 660sf

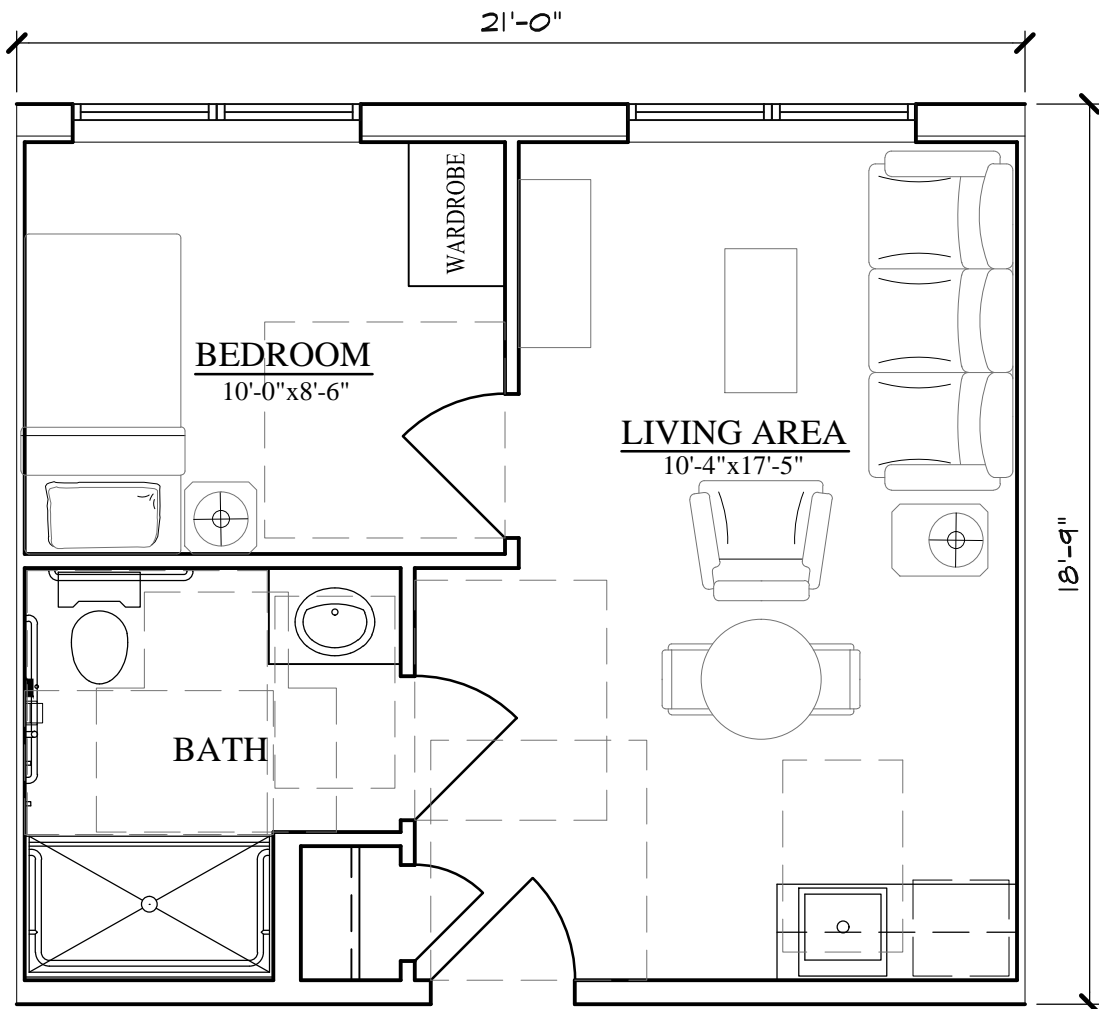


INDEPENDENT LIVING  
ONE BEDROOM w/FULL BATH  
UNIT '4' FLOOR PLAN  
SCALE: 1/4"=1'-0" AREA: 420sf

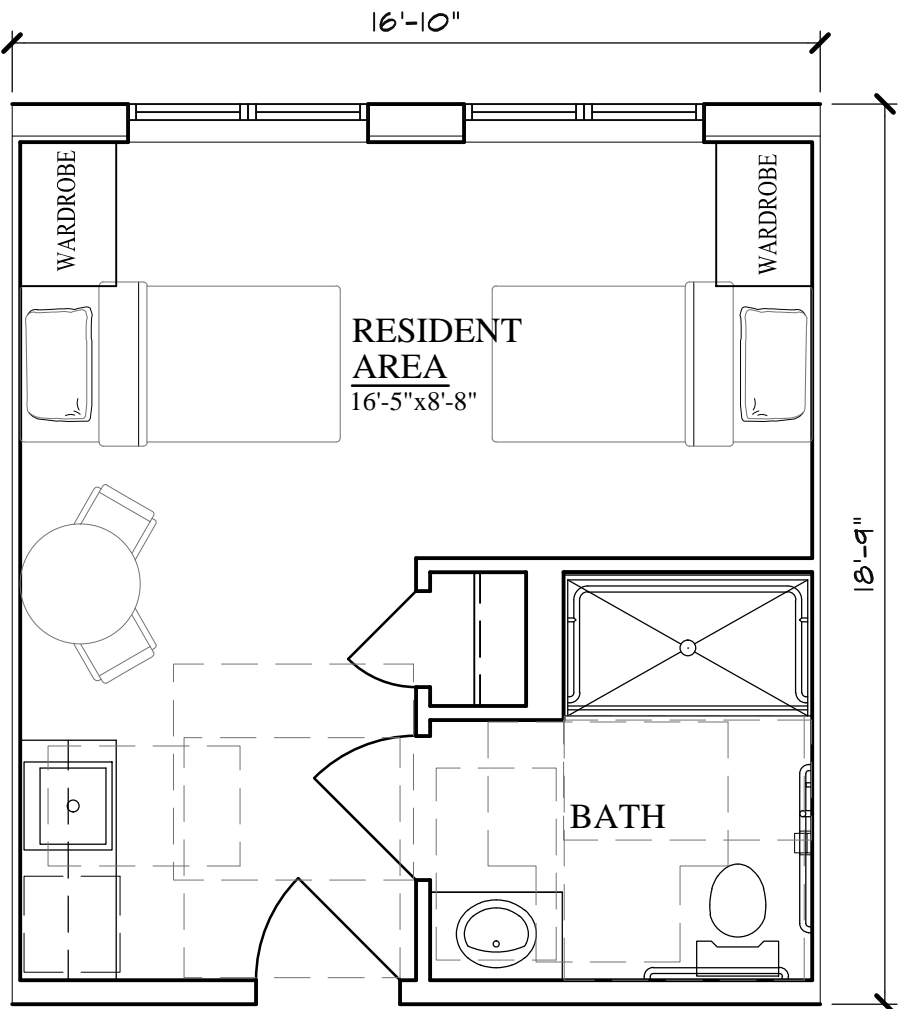


INDEPENDENT LIVING  
STUDIO w/FULL BATH  
UNIT '2' FLOOR PLAN  
SCALE: 1/4"=1'-0" AREA: 310sf

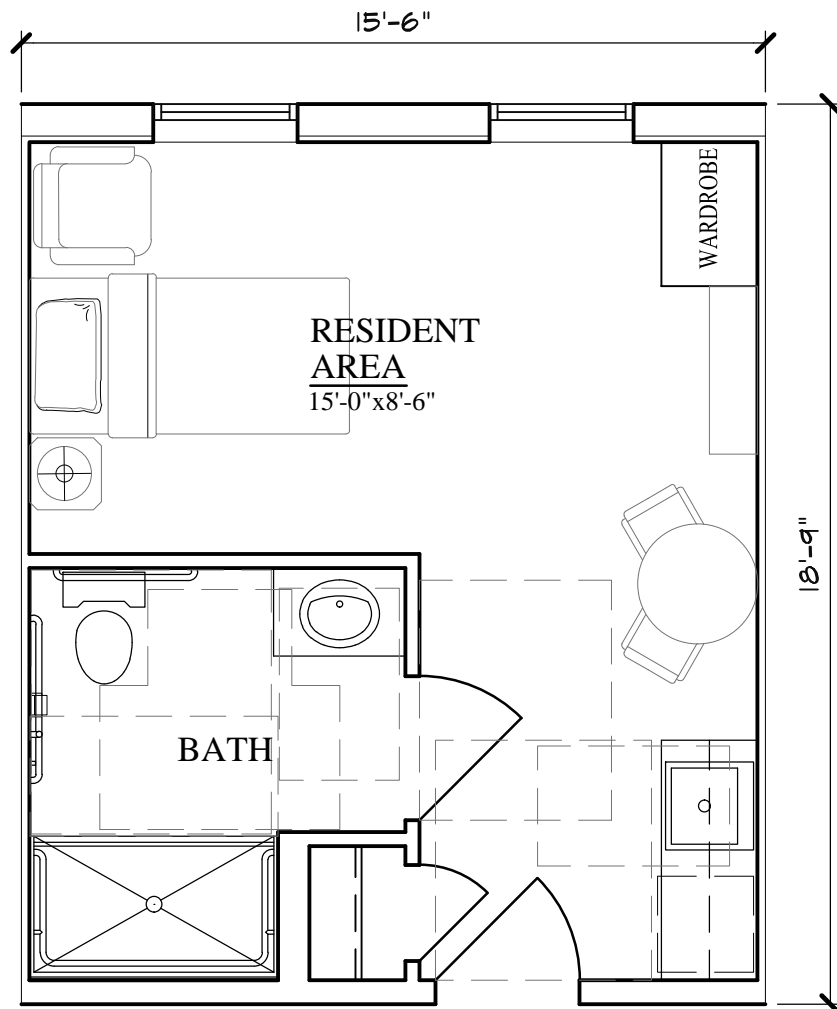
NOTE: ALL UNITS MEET BARRIER-FREE STANDARDS)



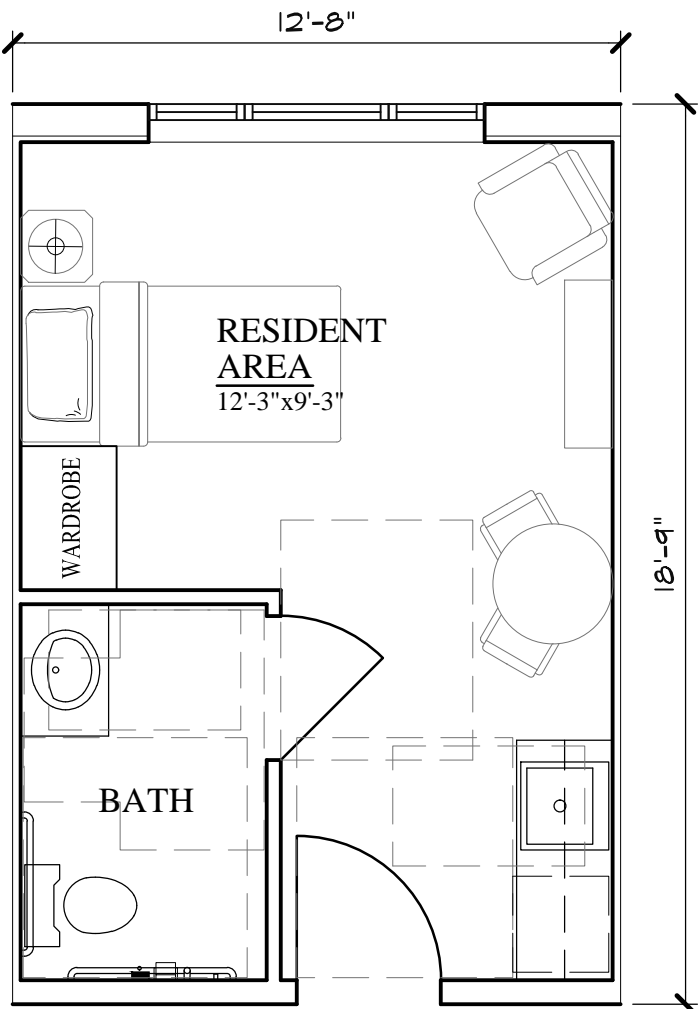
ASSISTED LIVING  
ONE BEDROOM w/FULL BATH  
UNIT '4' FLOOR PLAN  
SCALE: 1/4"=1'-0" AREA: 394sf



ASSISTED LIVING  
SEMI-PRIVATE w/FULL BATH  
UNIT '3' FLOOR PLAN  
SCALE: 1/4"=1'-0" AREA: 316sf



ASSISTED LIVING  
STUDIO w/FULL BATH  
UNIT '2' FLOOR PLAN  
SCALE: 1/4"=1'-0" AREA: 291sf



ASSISTED LIVING  
STUDIO w/ 1/2 BATH  
UNIT '1' FLOOR PLAN  
SCALE: 1/4"=1'-0" AREA: 238sf

Project:

POINCIANA  
GARDENS  
Senior Living

Key West, Florida

Sheet Title:

PROPOSED  
UNIT PLANS

Project Number: 15-138

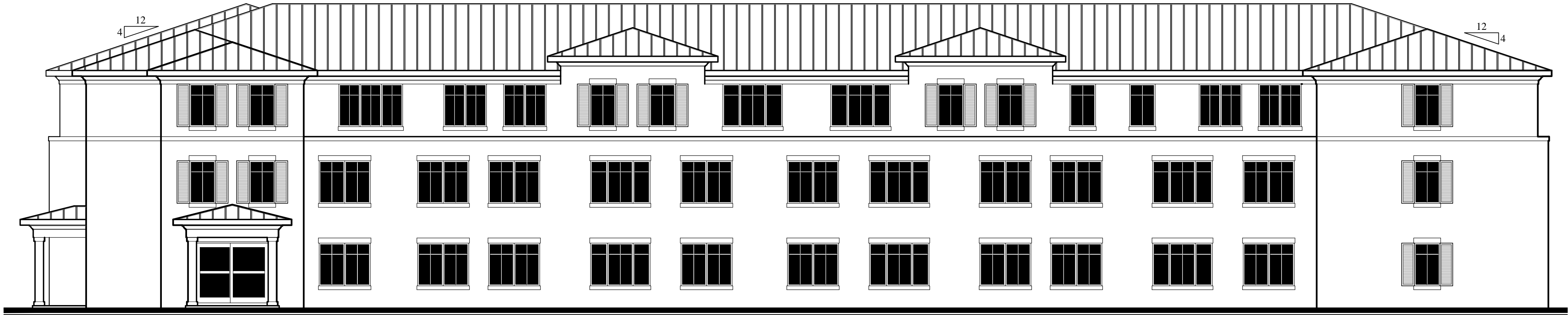
Drawn: VC

Checked: PA

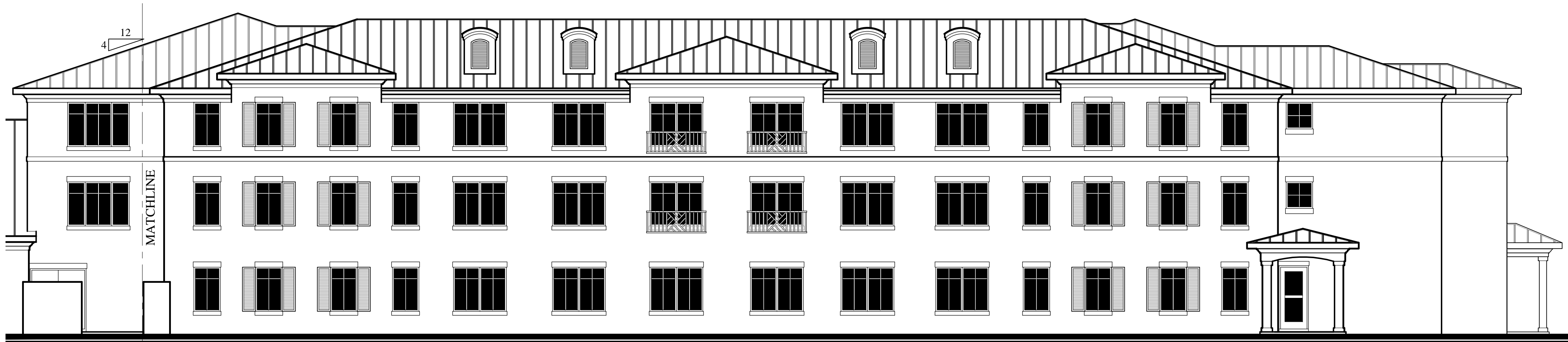
Date: 8/12/15

Sheet Number:

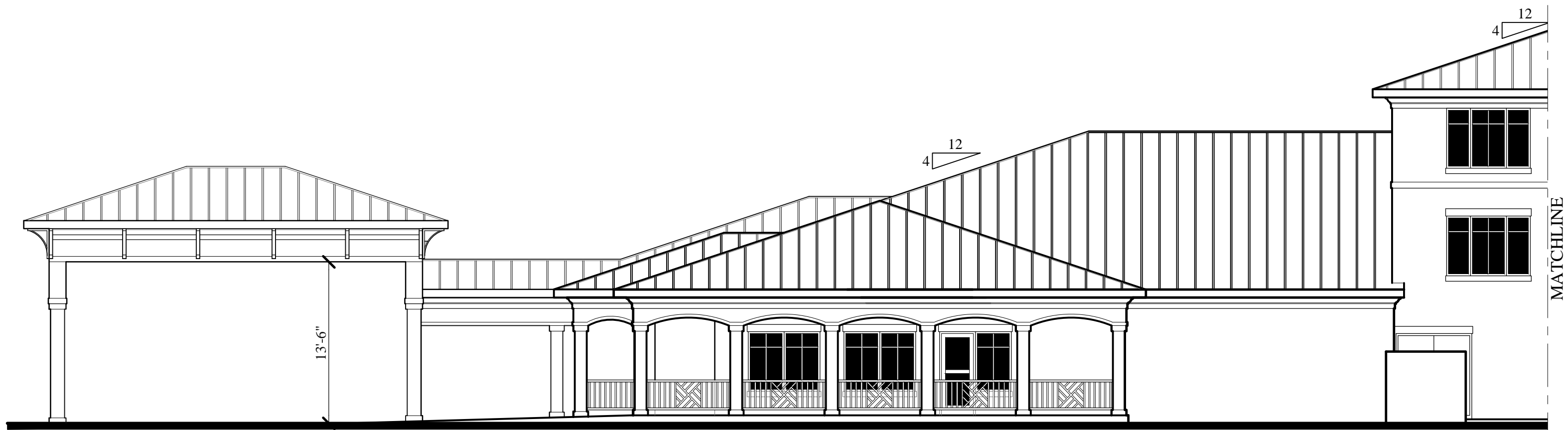
SK4



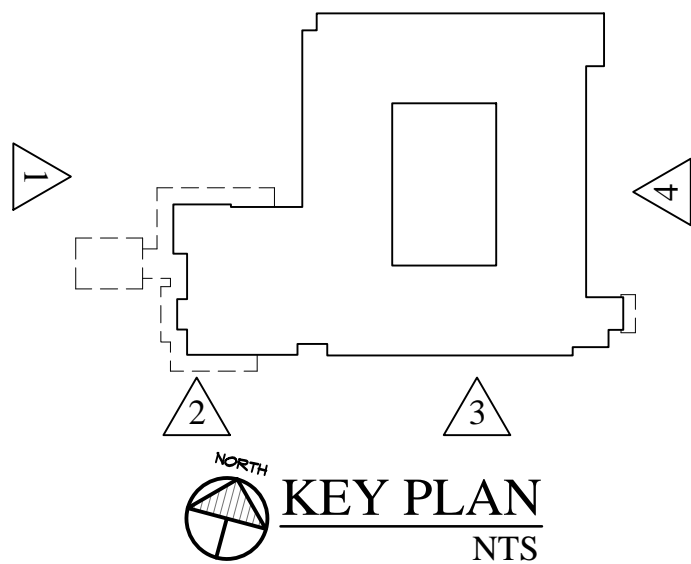
4 SIDE ELEVATION - EAST  
SCALE: 1/8"=1'-0"



2 PARTIAL ELEVATION at DUCK AVENUE  
SCALE: 1/8"=1'-0"



3 PARTIAL ELEVATION at DUCK AVENUE  
SCALE: 1/8"=1'-0"



First habitable floor  
is 1.5' above base  
flood elevation (8.5')

1 ELEVATION at DUNLAP DRIVE (MAIN ENTRY)  
SCALE: 1/8"=1'-0"

Issued For:

REVIEW

9/28/15

REVIEW

11/6/15

REVIEW

11/17/15

REVIEW

12/9/15

Project:

POINCIANA  
GARDENS  
Senior Living

Key West, Florida

Sheet Title:

PROPOSED  
ELEVATIONS

Project Number: 15-138

Drawn: VC

Checked: PA

Date: 9/28/15

Sheet Number:

SK5



Issued For:

REVIEW

9/28/15

REVIEW

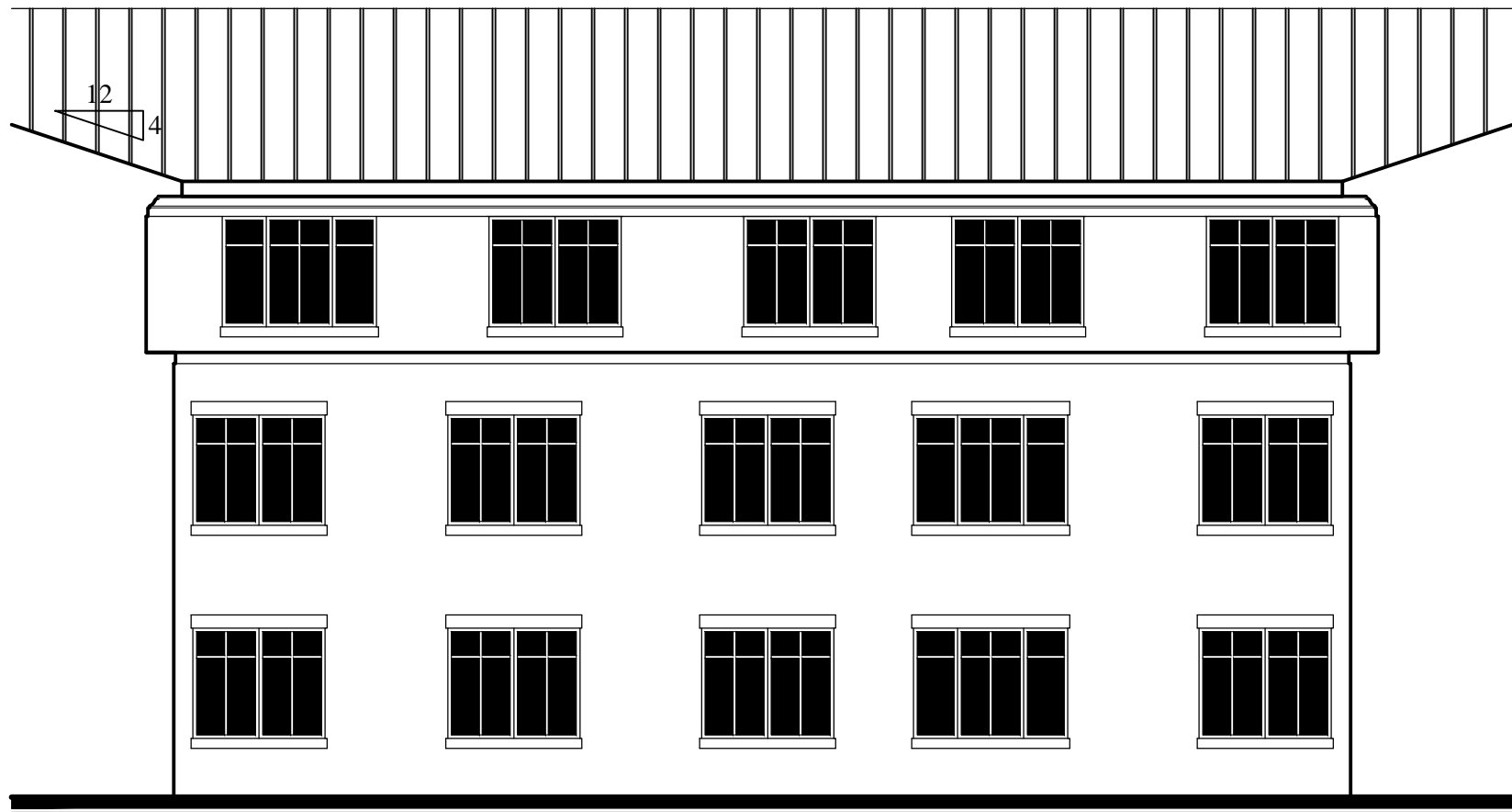
11/6/15

REVIEW

11/17/15

REVIEW

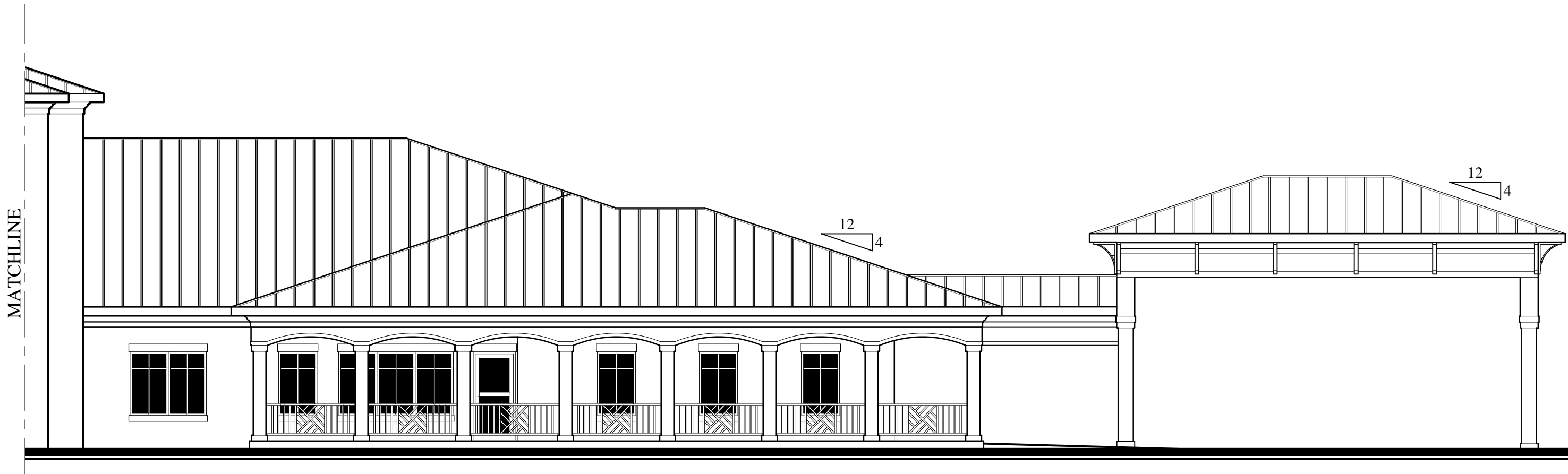
12/9/15



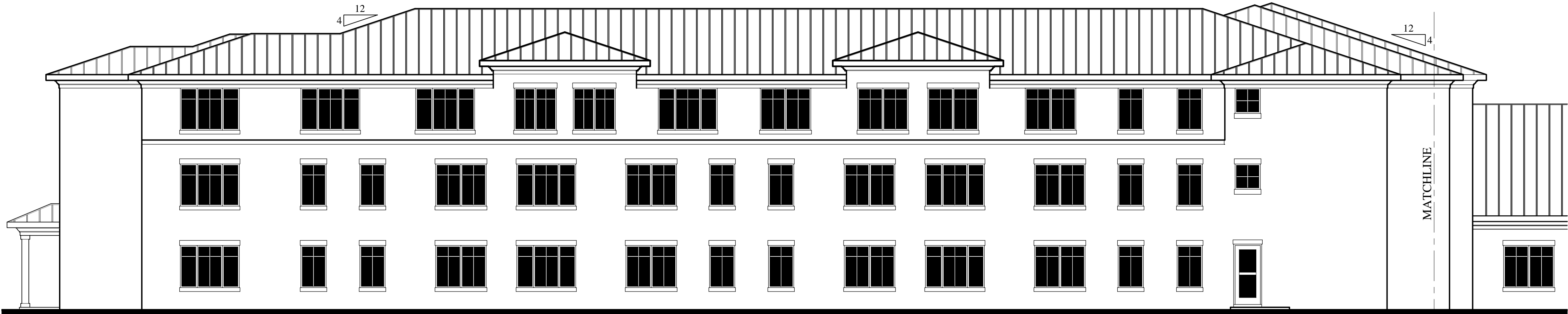
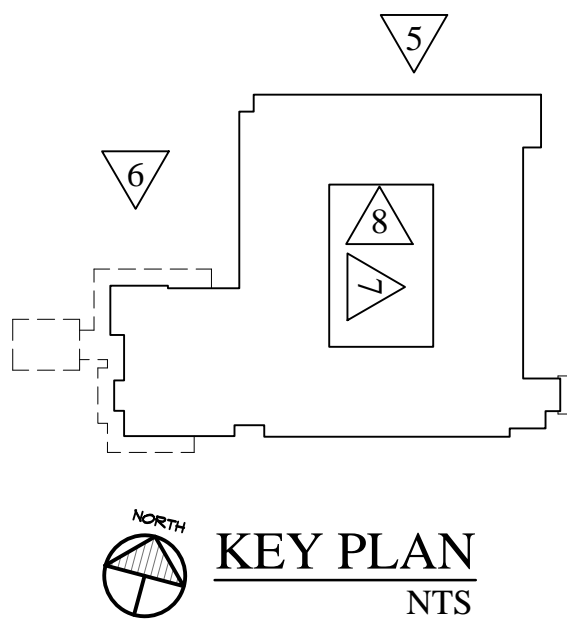
8 NORTH COURTYARD ELEVATION  
SOUTH COURTYARD OPP. HAND SCALE: 1/8"=1'-0"



7 EAST COURTYARD ELEVATION  
WEST COURTYARD SIM. SCALE: 1/8"=1'-0"



6 PARTIAL REAR ELEVATION - NORTH  
SCALE: 1/8"=1'-0"



5 PARTIAL REAR ELEVATION - NORTH  
SCALE: 1/8"=1'-0"

Project:

POINCIANA  
GARDENS  
Senior Living

Key West, Florida

Sheet Title:

PROPOSED  
ELEVATIONS

Project Number: 15-138

Drawn: VC

Checked: PA

Date: 9/28/15

Sheet Number:

SK6





PROPOSED CANOPY = 32  
PROPOSED UNDERSTORY = 15  
PROPOSED SHRUB = 9

PROPOSED CANOPY #9  
PROPOSED UNDERSTORY #2  
PROPOSED SWP/UB #0

The diagrams illustrate various types of vegetation and their uses in erosion control. The top-left diagram shows a cross-section of a tree with labels for its parts: CROWN, TRUNK, BRANCHES, LEAVES, ROOTS, and SOIL. A list of uses is provided: 1. TO PROTECT SOIL FROM EROSION, 2. TO PROTECT SOIL FROM WIND, 3. TO PROTECT SOIL FROM WATER, 4. TO PROTECT SOIL FROM SUN, 5. TO PROTECT SOIL FROM FROST, 6. TO PROTECT SOIL FROM DROUGHT, 7. TO PROTECT SOIL FROM POLLUTION, 8. TO PROTECT SOIL FROM NOISE, 9. TO PROTECT SOIL FROM VIBRATION, 10. TO PROTECT SOIL FROM CLIMATE CHANGE. The top-right diagram shows a cross-section of a tree with labels for its parts: CROWN, TRUNK, BRANCHES, LEAVES, ROOTS, and SOIL. A list of uses is provided: 1. TO PROTECT SOIL FROM EROSION, 2. TO PROTECT SOIL FROM WIND, 3. TO PROTECT SOIL FROM WATER, 4. TO PROTECT SOIL FROM SUN, 5. TO PROTECT SOIL FROM FROST, 6. TO PROTECT SOIL FROM DROUGHT, 7. TO PROTECT SOIL FROM POLLUTION, 8. TO PROTECT SOIL FROM NOISE, 9. TO PROTECT SOIL FROM VIBRATION, 10. TO PROTECT SOIL FROM CLIMATE CHANGE. The bottom-left diagram shows a cross-section of a tree with labels for its parts: CROWN, TRUNK, BRANCHES, LEAVES, ROOTS, and SOIL. A list of uses is provided: 1. TO PROTECT SOIL FROM EROSION, 2. TO PROTECT SOIL FROM WIND, 3. TO PROTECT SOIL FROM WATER, 4. TO PROTECT SOIL FROM SUN, 5. TO PROTECT SOIL FROM FROST, 6. TO PROTECT SOIL FROM DROUGHT, 7. TO PROTECT SOIL FROM POLLUTION, 8. TO PROTECT SOIL FROM NOISE, 9. TO PROTECT SOIL FROM VIBRATION, 10. TO PROTECT SOIL FROM CLIMATE CHANGE. The bottom-right diagram shows a cross-section of a tree with labels for its parts: CROWN, TRUNK, BRANCHES, LEAVES, ROOTS, and SOIL. A list of uses is provided: 1. TO PROTECT SOIL FROM EROSION, 2. TO PROTECT SOIL FROM WIND, 3. TO PROTECT SOIL FROM WATER, 4. TO PROTECT SOIL FROM SUN, 5. TO PROTECT SOIL FROM FROST, 6. TO PROTECT SOIL FROM DROUGHT, 7. TO PROTECT SOIL FROM POLLUTION, 8. TO PROTECT SOIL FROM NOISE, 9. TO PROTECT SOIL FROM VIBRATION, 10. TO PROTECT SOIL FROM CLIMATE CHANGE.

- A MODERATE LEVEL OF ACTIVITY IS ACCEPTABLE, IF NOT DESIRABLE, AND SHOULD BE ALLOWED TO CONTINUE.
- PESTICIDE USE SHOULD BE KEPT TO A MINIMUM, ONLY BEING USED WHERE AN INFESTATION OCCURS.
- ORGANIC PESTICIDES SHOULD BE USED AS A FIRST DEFENSE AND ONLY IF THEY ARE NOT SUCCESSFUL SHOULD CHEMICAL PESTICIDES BE APPLIED.
- PESTICIDE APPLICATION AND USE SHOULD BE PERFORMED BY A CERTIFIED, LICENSED AND INSURED PROFESSIONAL.

1. LANDSCAPE ARCHITECT TO APPLY ALL SITT WORK PRIOR TO IMPLEMENTATION.

2. LANDSCAP CONTRACTOR IS TO BE FAMILIAR WITH CONTRACTS TO SITE DURING.

3. LANDSCAP CONTRACTOR IS TO LOCATE AND VERIFY ALL UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT.

4. ALL PLANT MATERIAL TO BE FLORIDA GROWN BUT NOT FLORIDA DEPARTMENT OF AGRICULTURE GRADES AND STANDARDS, PARTS 5 & 6, 1979, RESPECTIVELY.

5. ALL PLANTING SHALL BE INSTALLED IN COMPLIANCE WITH ALL LOCAL CODES.

6. ALL PLANTING BEDS SHALL BE WEED AND GRASS FREE.

7. ALL TREES ARE TO BE STAKED IN A SECURE MANNER.

8. ALL TREES, PALMS, SHRUBS AND GROUND COVER SHALL BE FERTILIZED AT TIME OF INSTALLATION WITH AN ALL PURPOSE INCORPORATION FERTILIZER IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

9. LANDSCAP CONTRACTOR IS TO COORDINATE HIS WORK WITH THE GENERAL CONTRACTOR, IRRIGATION CONTRACTOR AND IRRIGATION CONTRACTOR.

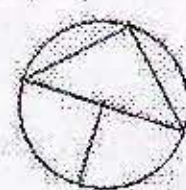
10. ALL TREES TO HAVE A 2" CALIPER AT D.B.H. MINIMUM FOR A 10' HEIGHT TREE.

11. ALL GALLON MATERIAL TO HAVE A 2" SPREAD MINIMUM.

12. ALL GALLON MATERIAL TO HAVE A 20" SPREAD MINIMUM.

13. NO CHANGES SHALL BE MADE WITHOUT PRIOR CONSENT OF THE LANDSCAPE CONTRACTOR.

14. IRRIGATION CONTRACTOR TO HOLD ALL NECESSARY LICENSES. LIABILITY AND WORKMAN COMP INSURANCE IS REQUIRED FOR ALL WORKERS ON SITE.



1207 GRINNELL STREET KEY WEST FLORIDA 33040  
CARLGILLEYLANDSCAPEDESIGN.COM  
TELEPHONE: 305.304.1032 THRXINXING@GMAIL



SYMBOL	DESCRIPTION
●	QUARTER - TORO MULTI STREAM
○	300 HALF - TORO MULTI STREAM
●	300 FULL - TORO MULTI STREAM
○	300
④	4 X 30 SST - RAINBIRD 12"
⑤	EST - RAINBIRD 12"
⑥	10' Q - RAINBIRD 12"
⑦	10' H - RAINBIRD 12"
⑧	15' Q - RAINBIRD 12"
⑨	15' H - RAINBIRD 12"
⑩	9 X 18 SST - RAINBIRD 12"

ZONE	TYPE	GPM
1	MIST	24
2	MIST	26
3	MIST	20
4	MIST	22
5	MIST	24
6	MIST	26
7	MIST	15
8	MIST	16
9	MIST	25
10	MIST	26
11	MIST	23
12	MIST	27
13	MULTI STREAM	24
14	MULTI STREAM	24
15	MULTI STREAM	27
16	MULTI STREAM	21

ALL SLEEVES 2" SCHED 40 PIPE  
 ----- 1-1/4" SCHED 40 MAIN LINE  
 MULTI STRAND WIRE  
 2 EXTRA WIRES TO END VALVE BOXES

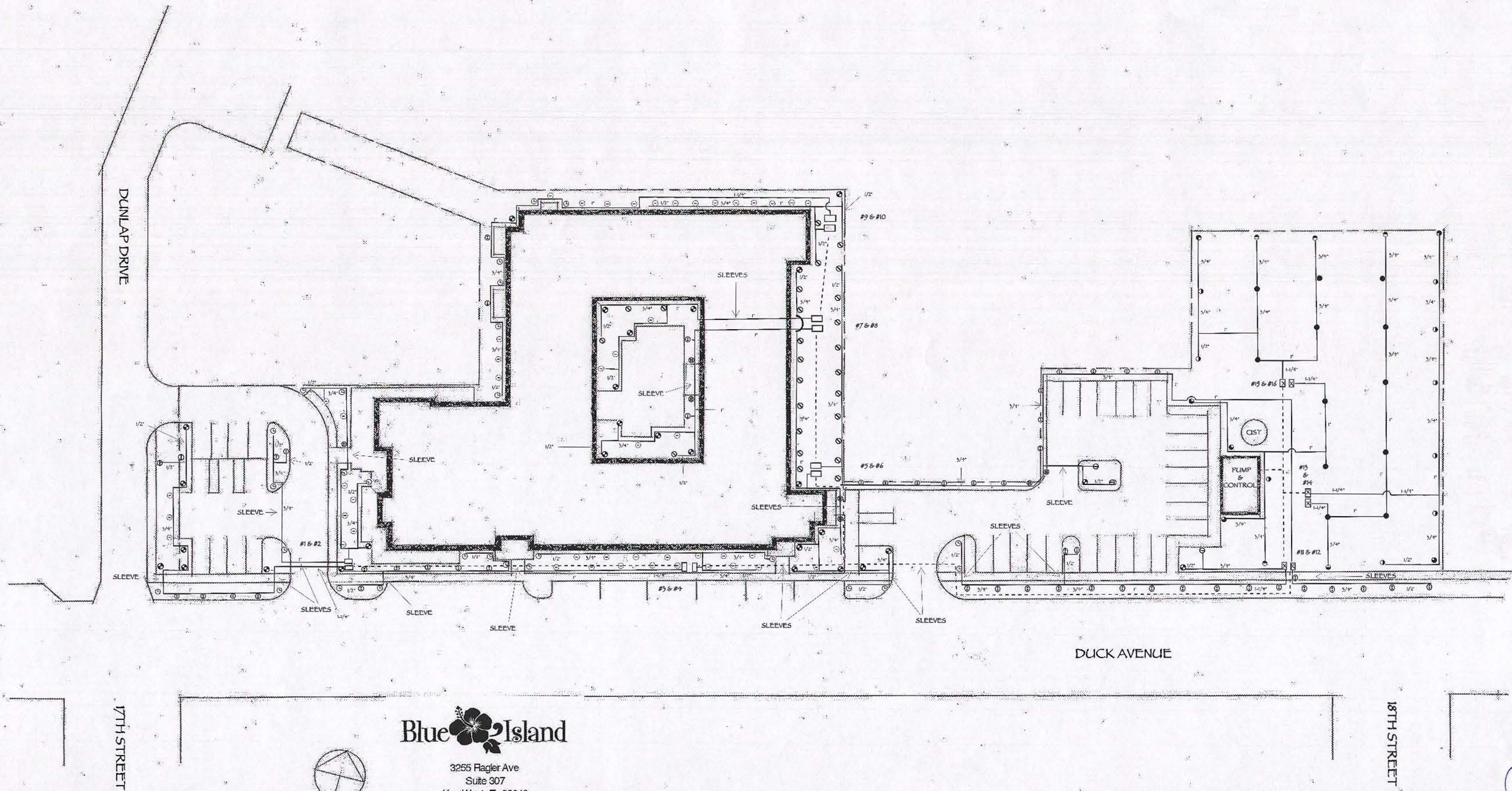
**CONTROLL** - RAINBIRD ESP4 ME  
 - RAINBIRD WR2RC WIRELESS RAINSWITCH

**VALVES** - PEB 1" RAINBIRD SCRUBBER VALVES W/ 12X18 VALVE BOX (MAX # VALVES PER BOX (2))

**PIPE** - ALL PIPE TO BE SCHED 40  
 - ALL GLUE JOINTS TO BE PRIMED W/ PURPLE PRIMER

**PUMP INSTALLATION** - GALV. SUCTION & DISCHARGE  
 - MONRO BRAIN BOX & SWITCHES MBRB24. INCLUDE AQUEDUCT AUTHORITY WATER TIE-IN FOR AUTO FILL.  
 - PUMP START RELAY - KRAIN 120-24 VOLT  
 - RAIN WATER FILL BY OTHERS  
 - STARITE DS3HF 1-1/2 HP SELF PRIMING CENTRIFUGAL PUMP

3/4" BRASS HOSE BIB  
 1/2" BRASS GATE VALVE  
 TO SPRINKLERS  
 FROM CISTERN  
 SLOTTED PVC SCREEN & 2" BRASS CHECK VALVE



**Blue Island**  
 3255 Ragler Ave  
 Suite 307  
 Key West, FL 33040  
 305.293.8444  
 blueislandinc.net



IRRIGATION PLAN - DECEMBER 2015

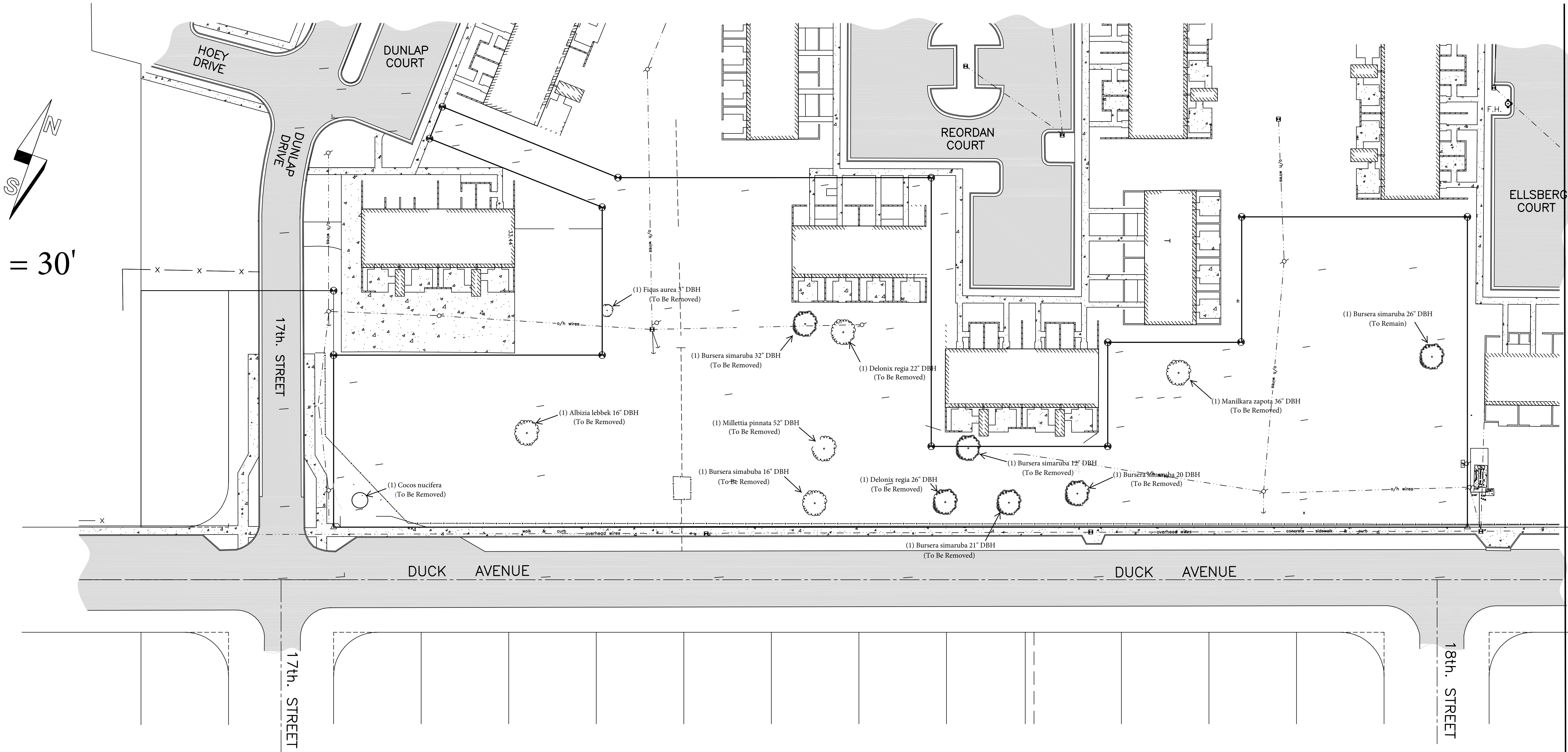
SCALE: 1" = 30'

CARL GILLEY LANDSCAPE DESIGN  
 POINCIANA CARDENS  
 SENIOR LIVING PROJECT  
 DUCK AVE • KEY WEST • FLA

1207 CRINNELL STREET KEY WEST FLORIDA 33040  
 CARL GILLEY LANDSCAPE DESIGN - C.O.M.  
 TELEPHONE: 305-304-1032 THRXINX@GMAIL



1" = 30'



Existing Material List

Quantity	Plant	Size	Native	Request
1	Bursera simaruba	32" DBH	Y	Remove
1	Albezia lebbek	16" DBH	N	Remove
1	Cocos nucifera	N/A	N	Remove
1	Bursera simaruba	16" DBH	Y	Remove
1	Ficus aurea	3" DBH	Y	Remove
1	Milletia pinnata	52" DBH	N	Remove
1	Delonix regia	22" DBH	N	Remove
1	Delonix regia	26" DBH	N	Remove
1	Bursera simaruba	12" DBH	Y	Remove
1	Bursera simaruba	20" DBH	Y	Remove
1	Bursera simaruba	21" DBH	Y	Remove
1	Manilkara zapota	36" DBH	Y	Remove
1	Bursera simaruba	26" DBH	Y	Remain

EXISTING VEGETATION PLAN

1. ALL NOXTIOUS INVASIVE WEEDS & PALMS TO BE REMOVED
2. NEIGHBORING TREES, PALMS & ROOTS TO BE PROTECTED WITH SOLID BARRIERS

EXISTING PLANT SURVEY DECEMBER 2015

CARL GILLEY  
LANDSCAPE  
DESIGN

1207 GRINNELL STREET - KEY WEST, FLORIDA - 33040  
CARL GILLEY LANDSCAPE DESIGN, C O M  
TELEPHONE: 305-309-1032 - THIRNAYINC401.COM

# POINCIANA GARDENS

SENIOR HOUSING PROJECT  
DUCK AVE. KEY WEST FLORIDA



**Carl Gilley Landscape Design**  
Thrinax, Inc.

Planning Dept.  
Tree Commission  
City of Key West  
Tuesday, December 15, 2015

Re: Landscape Waiver for Poinciana Gardens Senior Living Facility Project

This letter is a formal request for a waiver to the landscape requirement of a major development.

Poinciana Gardens will not meet the Cities landscape requirement in several areas, the first is the 'Street Front Buffers', Sec. 108-413. A required 30' buffer is not possible because the building/parking only allows for a 10' buffer. We have increased the plant units to help bolster the buffer.

The second waiver is for the north 'Landscape Buffer', Sec. 108-413 in which we have also increased the plant units beyond the required amount in order to boost the buffer.

A final waiver is needed for the 'Perimeter Parking Landscape Requirement' Sec. 108-415. Because of the odd property shape we can't meet this requirement fully. We have more than met our canopy tree requirement but have fallen short on the shrub requirement.

Sincerely,

*Carl Gilley*  
Carl Gilley