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**Historic Architectural Review Commission  
Staff Report for Item 4**

**To:** Chairman Bryan Green and Historic Architectural Review Commission Members

**From:** Enid Torregrosa, MSHP  
Historic Preservation Planner

**Meeting Date:** February 28, 2017

**Applicant:** Rob Delaune, Architect

**Application Number:** H16-03-0032

**Address:** #710 Galveston Lane

**This design project will be reviewed using previous guidelines for additions and alterations.**

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**Description of Work:**

\*New wood deck at rear, around existing new pool. New side addition with shed roof. ~~New gable flat roof on rear portion of house and new covered porch~~ New flat-roofed rear porch with hip-roofed dining porch. New 6' height wood picket fence.

**Site Facts:**

The building under review, build circa 1910, is a contributing resource to the historic district. The building is rectangular in footprint and consists of a main gable roof with an attached shed roof on its rear. The rear portion of the house is not original to the building and is not historic. Recently staff approved plans for a pool at the rear of the house.

**Guidelines Cited on Review:**

- Secretary of the Interior's Standards (pages 16- 23), specifically Standards 1, 9 and 10.
- Secretary of the Interior's Guidelines for Rehabilitating Historic Buildings, specifically New Additions to Historic Buildings recommended **Placing** and **Location**, page 39.
- Roofing (page 26), specifically guideline 3.
- Additions, alterations and new construction (pages 36-38a), specifically guidelines

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\*Added language is underlined, deleted language is ~~struck through~~, as plans were revised and pool was built after receiving staff approval.

1, and 3 through 8 of page 37 and Guidelines for new construction.

## **Staff Analysis**

### Previous designs and staff review

This report is for revisions to a postponed project presented on the June 28, 2016 HARC public meeting. On that meeting, plans to include a side addition, a replacement of the rear shed roof to a gable roof, a pool cabana, an open rear covered porch and a pool were presented by architect Pike. During the review, the Commission gave opinions of how the proposal did not meet guidelines and suggested to the architect to review the plans. Staff met with the owner of the house and architect Pike on July 1, 2016 and discussed alternatives of how to make the project compliant. The owner needed to build the swimming pool ASAP and we discussed the possibility of architect Pike designing a site plan that will allow the construction of a rear addition while having a pool on the rear. Staff received that site plan and later on an application for a pool on the site with a different site plan. The pool will be built based on engineer Reynold's site plan, which located the pool much closer to the house rear wall, than the site plan created by architect Pike, who proposed a setback of 13'-10" from the rear wall of the house. Staff made the owner of the house aware of this but she submitted Reynold's site plan for the pool construction.

Meanwhile, revised plans from Meridian Engineering were expected for the October 25, 2016, but staff never received the plans, causing the removal of the item from the agenda.

### New revised plans

The revised Certificate of Appropriateness in review includes an addition to the north side of a non-historic portion of the house; the proposed addition will be visible from the lane. The proposed addition will protrude approximately eight feet from the north wall and will be setback approximately twenty-seven and a half feet from the front property line. As a difference with the previous design, the addition will continue the same shed roof form found at the rear of the house. Wood siding will be used on the addition's exterior walls and existing windows located in the rear addition's north wall will be re-used in the new wall. Wood French doors, matching existing, will be installed at the rear elevation of the new addition.

The design also includes a new hip-roofed dining porch and a flat-roofed porch, both at the rear of the house. Both structures will be made of wood. The plan also includes a new six foot height picket fence to be installed in front of the proposed addition.

### **Consistency with Guidelines**

It is staff's opinion that the proposed attached addition will not require the removal of historic fabric and its mass and scale is in keeping with the historic house. However, the location of the addition will not be on the less publicly visible secondary elevation and therefore will alter the balance and symmetry of the historic structure. Having the addition attached to the rear of the house will make the design in compliance with guidelines 5 and 6 for additions and alterations. The Secretary of the Interior's Guidelines for Rehabilitating Historic Buildings cite the following under recommended:

*Locating the attached exterior addition at the rear or on an inconspicuous side of a historic building, and limiting its size and scale in relationship to the historic building.*

Although the proposed addition is small in scale, it is attached to a prominent elevation, causing a change in symmetry when the building is seen from the front and north-side elevation. In this specific case, the installation of the swimming pool jeopardized the recommendation of the Commission, which was the placement of the same size new footprint on the rear of the building, which is an inconspicuous location. Staff was waiting for revised plans that were based on the Commission and staff's recommendations made to the architect and owner on June and July, respectively.

For all mentioned above, it is staff's opinion that the proposed new side addition fails guidelines 5 and 6 for additions and alterations. However, the proposed open roofed areas on the rear of the house meet cited guidelines and the Secretary of the Interior's Standards, as they are attached to the less publicly visible secondary elevations.

## Enid Torregrosa

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**From:** Enid Torregrosa  
**Sent:** Friday, October 14, 2016 1:28 PM  
**To:** 'Barbara Ross'  
**Subject:** RE: meeting

Hi Barbara! I have not received any phone call or visit from Rick. I am removing the item from the agenda for the November meeting. Since there is no much time between the deadlines and the November meeting, which will be on the 16<sup>th</sup> I will need the plans ASAP, if possible next week.

Hope you are well!

Enid

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*Under Florida law, e-mail addresses are public records. If you do not want your email address released in response to a public-records request, do not send electronic mail to this entity. Instead, contact this office by phone." Fl. Stat. 668.6076*

**From:** Barbara Ross [mailto:jazzbr@aol.com]  
**Sent:** Friday, October 14, 2016 1:20 PM  
**To:** Enid Torregrosa <etorregrosa@cityofkeywest-fl.gov>  
**Subject:** Re: meeting

Just wanted to let you know I called and texted Rick and asked him to call you .. If you haven't heard from him I guess I am pushed back another month .

Thank you helping me  
Have a great weekend  
Barbara Ross

Sent from my iPhone

On Oct 14, 2016, at 9:12 AM, Enid Torregrosa <[etorregrosa@cityofkeywest-fl.gov](mailto:etorregrosa@cityofkeywest-fl.gov)> wrote:

Hi Barbara!

Hope you are doing well! I am working on the agenda and was wondering if you have the plans ready. Today is my second day at work after my trip to Boston and have not received any plans yet.

Can you please confirm if you will be submitting revised plans today?

Thanks! Take care,

Enid

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**From:** Barbara Ross [<mailto:jazzbr@aol.com>]  
**Sent:** Thursday, September 29, 2016 1:41 PM  
**To:** Enid Torregrosa <[etorregrosa@cityofkeywest-fl.gov](mailto:etorregrosa@cityofkeywest-fl.gov)>  
**Subject:** Re: meeting

Yes see you tomorrow

Sent from my iPhone

On Sep 29, 2016, at 12:15 PM, Enid Torregrosa <[etorregrosa@cityofkeywest-fl.gov](mailto:etorregrosa@cityofkeywest-fl.gov)> wrote:

Yes it will work!

I will see you tomorrow!

Enid

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*Under Florida law, e-mail addresses are public records. If you do not want your email address released in response to a public-records request, do not send electronic mail to this entity. Instead, contact this office by phone." Fl. Stat. 668.6076*

**From:** Barbara Ross [<mailto:jazzbr@aol.com>]  
**Sent:** Thursday, September 29, 2016 12:14 PM  
**To:** Enid Torregrosa <[etorregrosa@cityofkeywest-fl.gov](mailto:etorregrosa@cityofkeywest-fl.gov)>  
**Subject:** Re: meeting

Hi Enid

Yes tomorrow would be great how about 11 if that works for you .  
If not let me know what time is best for you I will be glad to work around your schedule .

Thank you again  
Barbara

Sent from my iPhone

On Sep 29, 2016, at 10:06 AM, Enid Torregrosa <[etorregrosa@cityofkeywest-fl.gov](mailto:etorregrosa@cityofkeywest-fl.gov)> wrote:

Hi Barbara!

We can meet tomorrow any time during the morning.

Hope you are well!

Enid

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*Under Florida law, e-mail addresses are public records. If you do not want your email address released in response to a public-records request, do not send electronic mail to this entity. Instead, contact this office by phone." Fl. Stat. 668.6076*

**From:** [jazzbr@aol.com](mailto:jazzbr@aol.com) [<mailto:jazzbr@aol.com>]  
**Sent:** Wednesday, September 28, 2016 11:28 AM  
**To:** Enid Torregrosa <[etorregrosa@cityofkeywest-fl.gov](mailto:etorregrosa@cityofkeywest-fl.gov)>  
**Subject:** meeting

Good Morning Enid

I would like to set up a appointment wit you so me may discuss my new plans

for 710 Galveston Lane

If possible I would like to see you as soon as possible so I may get on the October HARC meeting.

Please let me know

Looking forward to meeting with you

Thank you

Barbara Ross

# SITE DATA

ITEM	EXISTING	REQ. PER LDR.	PROPOSED	REMARK
DISTRICT	HH04	HH04	HH04	HISTORIC HIGH DENSITY RESIDENTIAL
SITE AREA	3,017.50 FT <sup>2</sup>	4,000 SQ. FT.	3,017 SQ. FT.	EXISTING
BUILDING COV.	557 (23%)	1,509 (38% MAX)	557 SQ FT DIST. 28.4%	IN COMPLIANCE
APPROVALS	557 (23%)	1,806 (30% MAX)	1,337 SQ DIST. 44.5%	IN COMPLIANCE
MAXIMUM DENSITY	1 DU / ACRE	22 DU / ACRE	1 DU / ACRE	

SETBACKS				
SIDE SETBACK	5'-0"	5'		IN COMPLIANCE
SIDE SETBACK	13'-7"	5' OR 0% WIDTH		IN COMPLIANCE
REAR SETBACK	23'-10"	20'	5' 4"	CONFORMING TO ACCURACY
FRONT SETBACK	1'-0"	10'	1'-0"	EXISTING
BUILDING HEIGHT	EXISTING	30'	EXISTING	CONFORMING

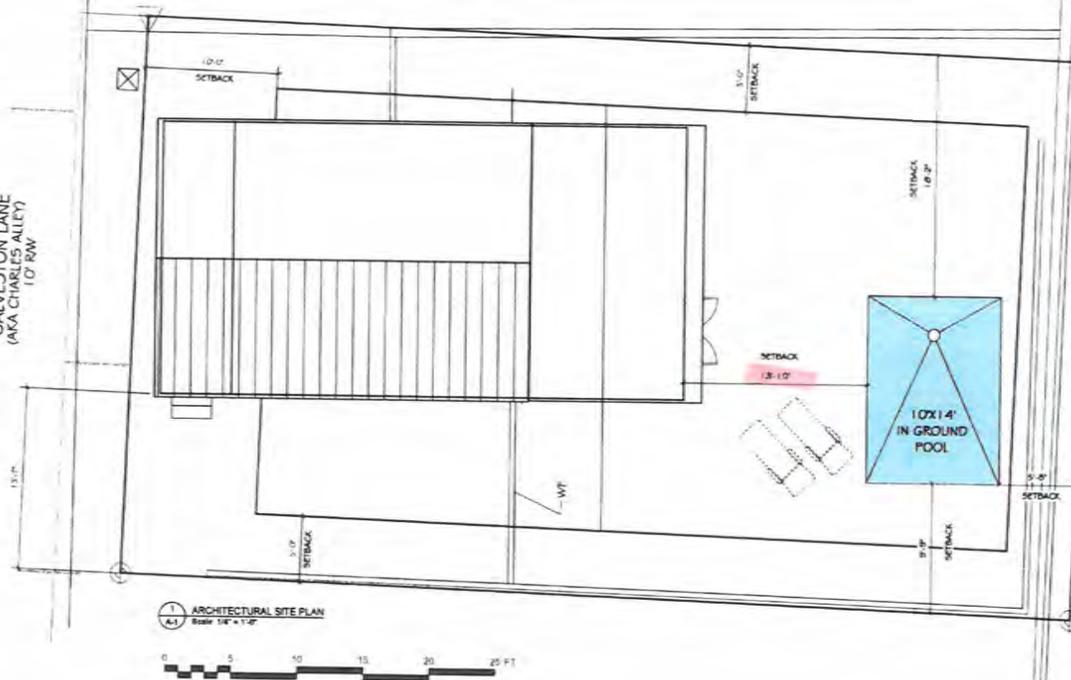
DENSITY: MIN. 1 SPACE PER DWELLING UNIT

## FLOOD INSURANCE MAP ZONE X



LOCATION MAP

GALVESTON LANE  
(AKA CHARLES ALLEY)  
10' RW



ARCHITECTURAL SITE PLAN  
Scale: 1/8" = 1'-0"

### DRAWING SCHEDULE:

A-1 PROJECT INFO #ARCHITECTURAL SITE PLANS

### SCOPE OF WORK:

CONSTRUCTION OF 10X14' INGROUND POOL AT THE REAR OF PROPERTY

### HARC APPROVAL #-

### DESIGN NOTES:

THE NEW RENOVATED STRUCTURE IS DESIGNED TO MEET THE FOLLOWING:  
FBC 2014 - RESIDENTIAL (FBC-R)  
A.S.C.E. 24-05 REGULATIONS  
\*PER FBC 07/ASCE 07-10 EXPOSURE 'C'  
LIVE LOAD: 40 PSF  
WIND LOAD: 160 M.P.H.

### SEAL - ARCHITECT

ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE ARCHITECT/ENGINEER AND MUST BE RETURNED ON REQUEST. NO PART OF THIS DRAWING, SPECIFICATIONS AND RELATED DOCUMENTS ARE TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE ARCHITECT/ENGINEER'S WRITTEN PERMISSION. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS SEALED AND SIGNED BY THE ARCHITECT/ENGINEER.

# ROSS RESIDENCE

710 GALVESTON LANE  
KEY WEST, FL 33040

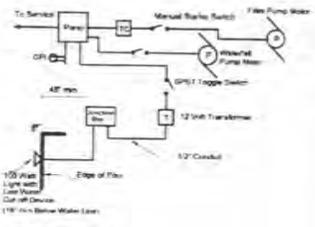
REVISIONS	DATE

P I K E  
ARCHITECTURE  
47115 HIGHWAY 1  
KEY WEST, FLA. 33040  
305-398-1182

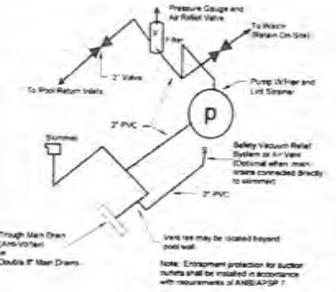
PROJECT  
BARBARA ROSS  
710 GALVESTON LANE  
KEY WEST, FL 33040

DRAWING TITLE:  
SITE PLAN  
PROJ. INFO  
PROJECT NUMBER:  
DRAWN:  
CHECKED:  
DATE: 1.3.18

SHEET #  
A-1

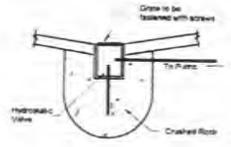


ELECTRICAL DIAGRAM

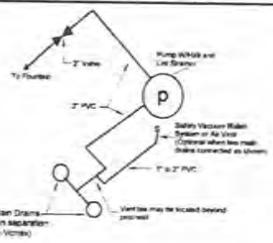


PLUMBING SCHEMATIC FOR FILTER

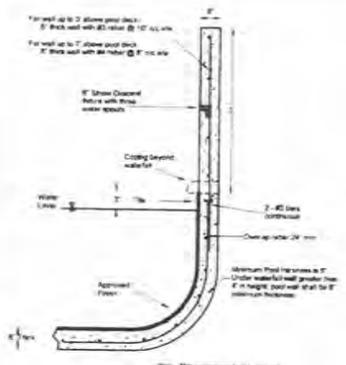
POOL VOLUME IS APPROXIMATELY 1,000 GALLONS. VENT SIZE SHALL BE DETERMINED BY THE DESIGNER IN ACCORDANCE WITH THE APPLICABLE CODES.



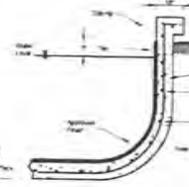
HYDROSTATIC VALVE DETAIL



PLUMBING SCHEMATIC FOR FOUNTAIN



POOL WALL & WATERFALL SECTION



TYPICAL WALL SECTION

GENERAL NOTES

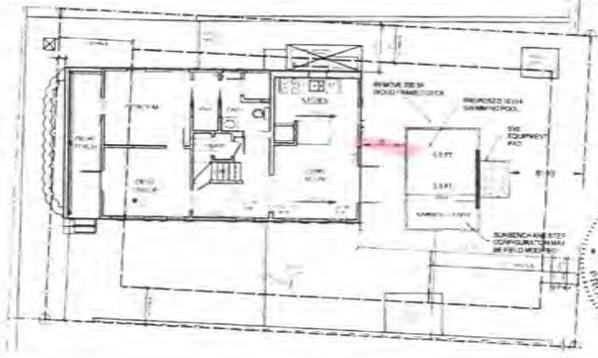
- Design, Construction, and Workmanship shall be in conformance with the 2014 Florida Building Code (2014) Residential, the latest edition of the National Code for One and Two Family Dwellings, and the ANSINSP1 "Standard for Above Ground Residential Swimming Pools".
- This pool design is based on soil conditions consisting of well compacted structural fill or coral rock. If other soil conditions are encountered, such as mud, marl, organics, etc., the Contractor shall stop work and notify the Owner or Engineer.
- The Pool Contractor shall always take all precautions necessary to protect existing structures from failure by sheeting and shoring or other acceptable method. The Design Engineer accepts no responsibility for the safety of existing structures.
- The Pool Contractor shall establish locations of all the utilities on site. Minimum clearances between existing and proposed utilities shall be per The Florida Building Code and any other local requirements.
- The Engineer assumes no responsibility for pool construction within easements or required setback areas. The Site Plan for the pool location may not be based on an updated, legal survey of the property. The Pool Contractor shall verify with a Florida Registered Land Surveyor all dimensions in the field and established lot lines, if necessary.
- The Contractor shall backfill the pool shell with caution. The plumbing shall be secured and protected during backfilling and shall not be disturbed. Backfill shall be clean sands or structural fill, free of organic material, mud, or marl, and shall be placed in lifts not exceeding 12" and shall be compacted to 90% of the materials maximum dry density.
- Warning: To empty the pool after construction for repairs, or any other reason, the hydrostatic uplift pressure from beneath the pool's must be eliminated to prevent the pool from floating upward. The owner should consult a pool construction or repair contractor experienced in eliminating hydrostatic uplift pressures.
- The Engineer shall not be responsible for the quality or composition of materials, shop drawings, fabrication, construction inspection, supervision, review, special inspection, or the quality or correctness of construction. The Engineer shall not be responsible for site and construction safety or the safety of the workers. Site and construction safety is the responsibility of the contractor.
- The thermostat for the water shall be set such that the maximum water temperature cannot exceed 102 degrees Fahrenheit.
- Swimming Pool Barrier: Residential swimming pools shall comply with section R4101.17.1 through R4101.17.3 of the Florida Building Code.

SCOPE OF WORK

The scope of work involves constructing a new pool and connecting an existing wood-framed deck to the pool with additional new wood-framed decking.

SITE DATA TABLE

ZONING	10000 High Density Residential (H100)		
LOT SIZE	52,916 SF		
10,000 Zone	F		
	EXISTING	PROPOSED	ALLOWABLE
BUILDING COVERAGE	875 sf (28.9%)	625 sf (28.9%)	30%
IMPERVIOUS AREA	3,144 sf (14.9%)	1,106 sf (38.2%)	40%
DRAIN SPACING	196 sf (11.1%)	1,017 sf (37.4%)	10%
BUILDING COVERAGE - EXISTING			
Existing House	875 sf		
Existing Shed	0 sf		
Total	875 sf		
BUILDING COVERAGE - PROPOSED			
House Addition	250 sf		
New Shed	250 sf		
Total	500 sf		
IMPERVIOUS AREA - EXISTING			
Existing Concrete	875 sf		
Existing Pool Deck	200 sf		
Existing Screen Enclosure	74 sf		
Pool Plaster	0 sf		
Total	1,149 sf		
IMPERVIOUS AREA - PROPOSED			
New Pooling Concrete	250 sf		
Swimming Pool	135 sf		
Remove Large Wood Deck	-270 sf		
Total	115 sf		



SITE PLAN

Reynolds Engineering Services, Inc.

Reynolds Engineering Services, Inc.  
 P.O. Box 28597  
 22972 Overseas Highway  
 Cutler Bay, FL 33042  
 Jim@ReynoldsEngineeringServices.com  
 305-394-5987

RESIDENTIAL SWIMMING POOL

for  
 Ross Residence  
 710 Galveston Lane, Key West, FL



Title

Date  
 7/20/2016

Page  
 1 of 1

## Enid Torregrosa

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**From:** jazzbr@aol.com  
**Sent:** Wednesday, July 27, 2016 1:31 PM  
**To:** Enid Torregrosa  
**Subject:** Re: REVISED 710 Galveston Lane

Enid  
Ok I will let pool company know.  
What does your schedule look like for your visit?  
Barbara

-----Original Message-----

**From:** Enid Torregrosa <etorregrosa@cityofkeywest-fl.gov>  
**To:** Barbara Ross <jazzbr@aol.com>  
**Sent:** Wed, Jul 27, 2016 12:39 pm  
**Subject:** RE: REVISED 710 Galveston Lane

Plans need to be consistent, we cannot have both plans on a same application. Yes we can meet.

Enid

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**From:** Barbara Ross [<mailto:jazzbr@aol.com>]  
**Sent:** Wednesday, July 27, 2016 11:13 AM  
**To:** Enid Torregrosa <etorregrosa@cityofkeywest-fl.gov>  
**Subject:** Re: REVISED 710 Galveston Lane

Thank you Enid

The difference is I was told it would not be probably with HARC with Peters add on we were doing so Fl keys pool did drawing from that then after HARC denied and Peter resubmitted after we met with you the engineer did not know .. It's the same size and everything just back further does he have to refigure even if I'm still in the set back lines ..

I would still like to set up a visual review with you at my house so you can see exactly what I'm talking about ..either with you or Kelly or both .

I would like to set it up so I can resubmit plans for August HARC agenda .

Thank you for your quick response

Barbara

Sent from my iPhone

On Jul 27, 2016, at 10:38 AM, Enid Torregrosa <[etorregrosa@cityofkeywest-fl.gov](mailto:etorregrosa@cityofkeywest-fl.gov)> wrote:

Hi Barbara!

The contractor needs to submit the swimming pool plans with an application to the building department in order to us (HARC) review them for approval. I checked the system before writing this email and there is no application submitted to that effect.

I want you to be aware that the site plan included on the engineer's plans is not the same site plan that you send me from your architect Peter Pike. Please find both documents, I highlighted the setbacks of the swimming pool in relation to the rear of the house.

Hope this helps!

Enid

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**From:** [jazzbr@aol.com](mailto:jazzbr@aol.com) [<mailto:jazzbr@aol.com>]  
**Sent:** Wednesday, July 27, 2016 9:15 AM  
**To:** Enid Torregrosa <[etorregrosa@cityofkeywest-fl.gov](mailto:etorregrosa@cityofkeywest-fl.gov)>  
**Subject:** Fwd: REVISED 710 Galveston Lane

Good Morning Enid  
Thank you again for taking time to talk with me after your meeting last night.  
Please find attached the email I received with the engineer plans if there is anything else you need let me know Please.  
Also if you could just let me know you got this.  
Thank you again  
Barbara Ross

-----Original Message-----

**From:** Fla. Key pool Inc <[flakeyspool@bellsouth.net](mailto:flakeyspool@bellsouth.net)>  
**To:** Barbara Ross <[jazzbr@aol.com](mailto:jazzbr@aol.com)>  
**Sent:** Thu, Jul 21, 2016 2:35 pm  
**Subject:** Fwd: REVISED 710 Galveston Lane

Here your pool engineer plans

Tina

Sent from my iPhone

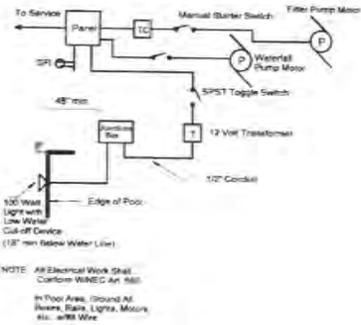
Begin forwarded message:

**From:** "Jim Reynolds" <[Jim@reynoldsenineeringservices.com](mailto:Jim@reynoldsenineeringservices.com)>  
**Date:** July 21, 2016 at 2:20:21 PM EDT  
**To:** "Tina Garcia" <[flakeyspool@bellsouth.net](mailto:flakeyspool@bellsouth.net)>  
**Subject:** REVISED 710 Galveston Lane

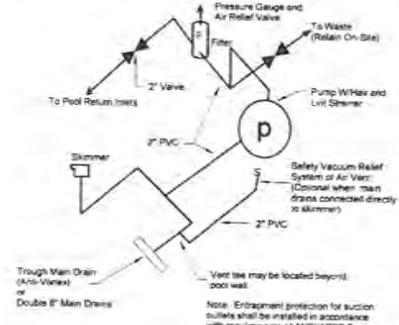
This is revised draft. I forgot to change the title block for Ross and her address.

Thanks,  
Jim

<SKMBT\_C364e16072709370.pdf>

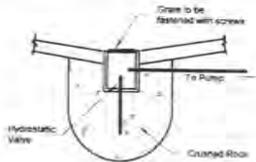


ELECTRICAL DIAGRAM

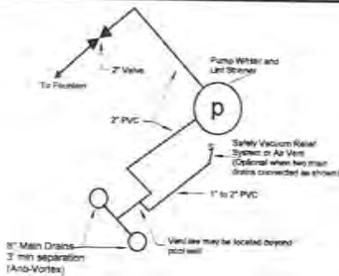


PLUMBING SCHEMATIC FOR FILTER

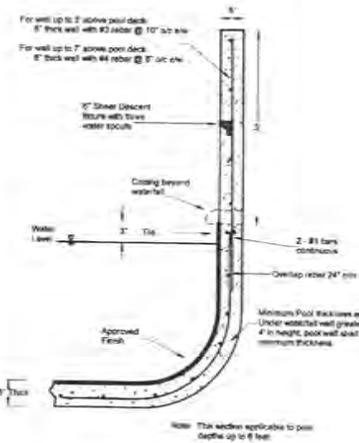
POOL VOLUME IS APPROXIMATELY 5,300 GALLONS. TURNOVER TIME SHALL BE BETWEEN 8 AND 12 HOURS (BASED ON 7 GPM FLOW RATE).



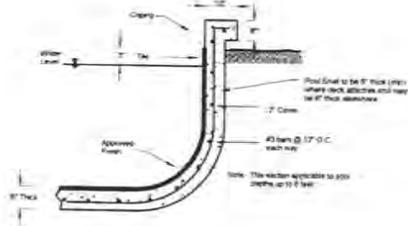
HYDROSTATIC VALVE DETAIL



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POOL WALL & WATERFALL SECTION



TYPICAL WALL SECTION

GENERAL NOTES

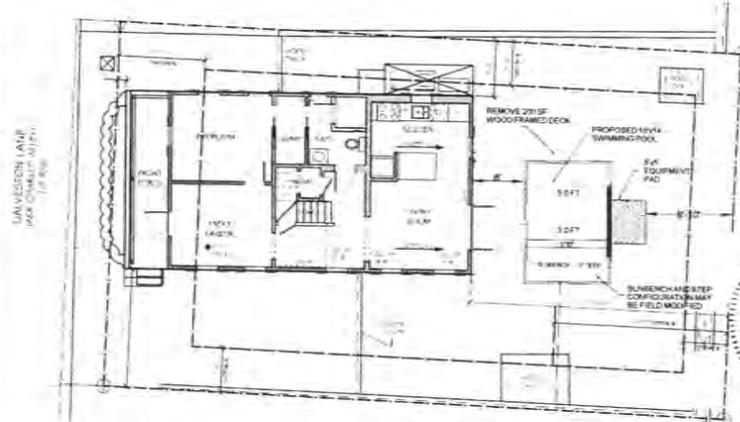
- Design, Construction, and Workmanship shall be in conformance with the 5th Edition of The Florida Building Code (2014), Residential, the latest edition of the National Code for One and Two Family Dwellings, and the ANSI/APSP "Standard for Above Ground In Ground Residential Swimming Pools".
- This pool design is based on soil conditions consisting of well compacted structural fill or coral rock. If other soil conditions are encountered, such as muck, marl, organics, etc., the Contractor shall stop work and notify the Owner or Engineer.
- The Pool Contractor shall always take all precautions necessary to protect existing structures from failure by sheeting and shoring or other acceptable method. The Design Engineer accepts no responsibility for the safety of existing structures.
- The Pool Contractor shall establish locations of all the utilities on site. Minimum clearances between existing and proposed utilities shall be per The Florida Building Code and any other local requirements.
- The Engineer assumes no responsibility for pool construction within easements or required setback areas. The Site Plan for the pool location may not be based on an updated, legal survey of the property. The Pool Contractor shall verify with a Florida Registered Land Surveyor all dimensions in the field and established lot lines, if necessary.
- The Contractor shall backfill the pool shell with caution. The plumbing shall be secured and protected during backfilling and shall not be disturbed. Backfill shall be clean sands or structural fill, free of organic material, muck, or marl, and shall be placed in lifts not exceeding 12" and shall be compacted to 90% of the materials maximum dry density.
- Warning: To empty the pool after construction for repairs, or any other reason, the hydrostatic uplift pressure from beneath the pool must be eliminated to prevent the pool from floating upward. The Owner should consult a pool construction or repair contractor experienced in eliminating hydrostatic uplift pressures.
- The Engineer shall not be responsible for the quality or composition, or materials, shop drawings, fabrication, construction inspection, supervision, review, special inspection, or the quality or correctness of construction. The Engineer shall not be responsible for site and construction safety or the safety of the workers. Site and construction safety is the responsibility of the contractor.
- The thermostat for the water shall be set such that the maximum water temperature cannot exceed 102 degrees Fahrenheit.
- Swimming Pool Barrier: Residential swimming pools shall comply with section R4101.17.1 through R4101.17.3 of the Florida Building Code.

SCOPE OF WORK

The scope of work involves constructing a new pool and connecting an existing wood-framed deck to the pool with additional new wood-framed decking.

SITE DATA TABLE

ZONING	Historic High Density Residential (HQR)		
LOT SIZE	3,010 SF		
FLOOD ZONE	A		
	EXISTING	PROPOSED	REQUIRED ALLOWABLE
BUILDING COVERAGE	870 SF 28.9%	870 SF 28.9%	50%
IMPERVIOUS AREA	1,144 SF 38.0%	1,099 SF 36.5%	50%
OPEN SPACE	395 SF 13.1%	1,541 SF 50.6%	20%
<b>BUILDING COVERAGE - EXISTING</b>			
Existing House	870 SF		
Existing Shed	0 SF		
Total	870 SF		
<b>BUILDING COVERAGE - PROPOSED</b>			
House Addition	0 SF		
New Shed	0 SF		
Total	0 SF		
<b>IMPERVIOUS AREA - EXISTING</b>			
Building Coverage	870 SF		
Large Wood Deck	210 SF		
Small Wood Deck	54 SF		
Road Pavement	0 SF		
Total	1,144 SF		
<b>IMPERVIOUS AREA - PROPOSED</b>			
New Building Coverage	0 SF		
Swimming Pool	45 SF		
Remove Large Wood Deck	210 SF		
Total	45 SF		



SITE PLAN

IN THE SHALLOW END WHERE THE POOL DEPTH EXCEEDS 24" WHERE THE WATER DEPTH EXCEEDS 4 FEET, THERE SHALL BE LADDERS, STAIRS OR UNDERWATER BENCHES/STORM OUTS IN THE DEEP END.

Reynolds Engineering Services, Inc.  
 Fl. C.A. No. 26597  
 22872 Overseas Highway  
 Cudjoe Key, Fl. 33042  
 Jim@ReynoldsEngineeringServices.com  
 305-394-5987

RESIDENTIAL SWIMMING POOL  
 for  
 Ross Residence  
 710 Galveston Lane, Key West, Fl.



Date: 7/20/2016  
 Page: 1 of 1

## Enid Torregrosa

---

**From:** jazzbr@aol.com  
**Sent:** Tuesday, July 12, 2016 2:55 PM  
**To:** Enid Torregrosa  
**Subject:** Fwd: Swimming pool - 710 Galveston Ln  
**Attachments:** 710 Galveston Lane HARC Pool only.pdf

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

-----Original Message-----

**From:** Peter pike <pparchkw@aol.com>  
**To:** Barbara Ross <jazzbr@aol.com>  
**Sent:** Wed, Jul 6, 2016 8:46 am  
**Subject:** Fwd: Swimming pool - 710 Galveston Ln

Peter Pike Architect  
471 US Highway 1 suite 101  
Key West, FL, 33040  
305-296-1692 off.  
305-797-4230

Begin forwarded message:

**From:** Peter Pike <[pparchkw@aol.com](mailto:pparchkw@aol.com)>  
**Date:** July 5, 2016 at 3:22:19 PM EDT  
**To:** [etorregrosa@keywestcity.com](mailto:etorregrosa@keywestcity.com)  
**Cc:** [jazzbr@gmail.com](mailto:jazzbr@gmail.com)  
**Subject:** **Swiming pool - 710 Galveston Ln**

Hi Enid - Here is a PDF of the site plan showing the 10'x14' swimming pool for Barbra Ross. Do you want a 24x36 blueprint of this. The pool company will do the permit drawings.  
Thanks  
Peter

Peter Pike  
Pike Architects Inc.  
471 US Highway 1 - Suite 101  
Key West, Fla., 33040  
305-296-1692  
305-296-4106 fax

# SITE DATA

ITEM	EXISTING	REQ. PER LDR	PROPOSED	REMARK
DISTRICT	HRDR	HRDR	HRDR	HISTORIC HIGH DENSITY RESIDENTIAL
SITE AREA	3,017 SQ. FT.	4,000 SQ. FT.	3,017 SQ. FT.	EXISTING
BUILDING COV.	667 (22%)	1,503 (50% MAX)	667 SQ FT (22%)	IN COMPLIANCE
IMPERVIOUS	667 (22%)	1,006 (50% MAX)	1337 SQ EXIST. (44.3%)	IN COMPLIANCE
MAXIMUM DENSITY	1 DU / ACRE	22 DU / ACRE	1 DU / ACRE	

SETBACKS				
SIDE SETBACK	0'-0"	5'		IN COMPLIANCE
SIDE SETBACK	13'-7"	5' OR 10% WIDTH		IN COMPLIANCE
REAR SETBACK	29'-10"	20'	5.4'	CONFORMING TO REGULATORY
FRONT SETBACK	1'-0"	1'-0"	1'-0"	EXISTING
BUILDING HEIGHT	EXISTING	30'	EXISTING	CONFORMING

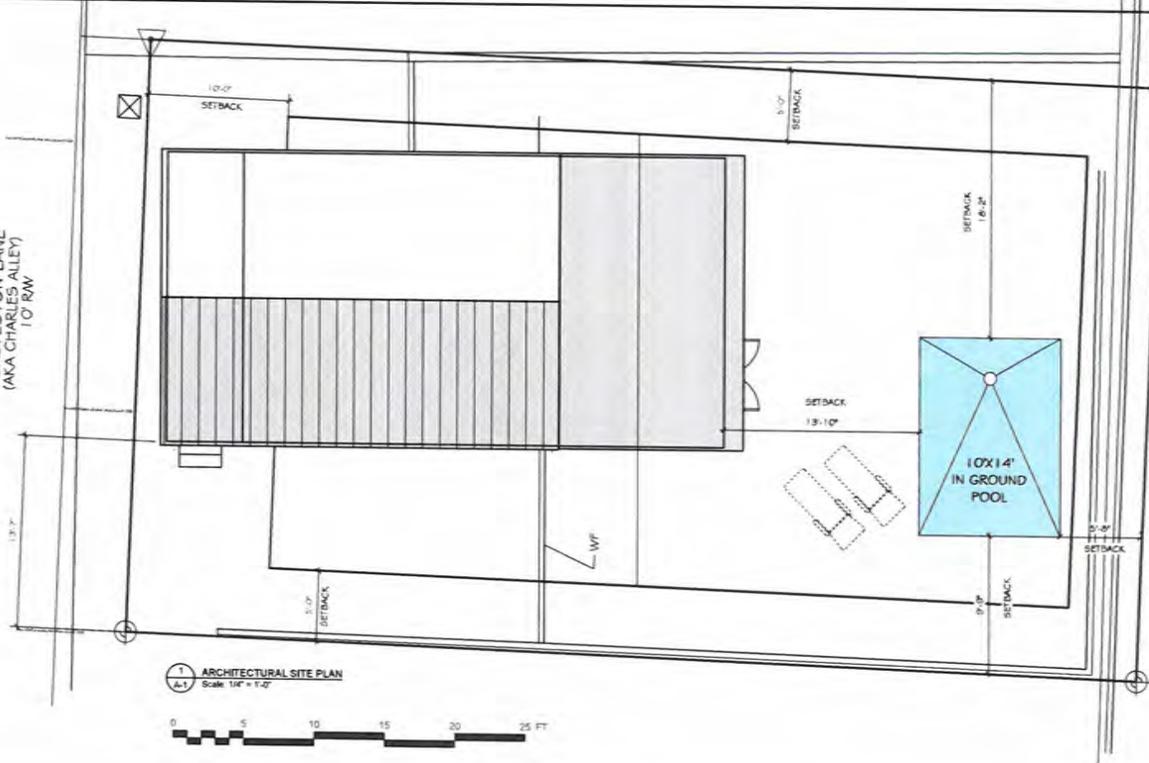
PARKING: MIN. 1 SPACE PER DWELLING UNIT

## FLOOD INSURANCE MAP ZONE X



LOCATION MAP

GALVESTON LANE  
(AKA CHARLES ALLEY)  
10' RAW



1 ARCHITECTURAL SITE PLAN  
Scale: 1/4" = 1'-0"

### DRAWING SCHEDULE:

A-1 PROJECT INFO #ARCHITECTURAL SITE PLANS

### SCOPE OF WORK:

CONSTRUCTION OF 10X14' INGROUND POOL AT THE REAR OF PROPERTY

### HARC APPROVAL #:

### DESIGN NOTES:

THE NEW RENOVATED STRUCTURE IS DESIGNED TO MEET THE FOLLOWING:  
FBC 2014 - RESIDENTIAL (FBC-R)  
A.S.C.E. 24-05 REGULATIONS  
\*PER FBC 07A/SC2 07-10  
EXPOSURE 'C'  
LIVE LOAD 40 PSF  
WIND LOAD 150 M.P.H.

### SEAL - ARCHITECT

ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE ARCHITECT/ENGINEER AND MUST BE RETURNED ON REQUEST. DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE FOR USE ON THIS PROJECT ONLY AND USE OR REPRODUCTION OF A PART OR WHOLE IS FORBIDDEN WITHOUT THE ARCHITECT'S/ENGINEER'S WRITTEN PERMISSION. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS SEALED AND SIGNED BY THE ARCHITECT/ENGINEER.

# ROSS RESIDENCE

710 GALVESTON LANE  
KEY WEST , FL 33040

REVISIONS	DATE



471 US HIGHWAY 1  
KEY WEST, FLA. 33040  
305-296-1892

PROJECT:  
BARBARA ROSS  
710 GALVESTON LANE  
KEY WEST , FL 33040

DRAWING TITLE:  
SITE PLAN  
PROJ INFO

PROJECT NUMBER:  
16  
DRAWN: TSM  
CHECKED: RHP  
DATE: 7-5-16

SHEET #  
A-1

COMBINATION APPLICATION: FLOODPLAIN, CONSTRUCTION AND HARC

\$50.00 APPLICATION FEE NON-REFUNDABLE

16-03-00032



City of Key West

1300 WHITE STREET  
KEY WEST, FLORIDA 33040

Phone: 305.809.3956

BLDG@CITYOFKEYWEST-FL.GOV

HARC PERMIT NUMBER REVISION TO H16-0032		BUILDING PERMIT NUMBER	INITIAL & DATE
FLOODPLAIN PERMIT		ZONING	REVISION #
FLOOD ZONE	PANEL #	ELEV. L. FL.	SUBSTANTIAL IMPROVEMENT ___ YES ___ NO ___ %

ADDRESS OF PROPOSED PROJECT:

710 GAWESTON LANE

# OF UNITS

1

RE # OR ALTERNATE KEY:

ALT. KEY # 1019658

NAME ON DEED:

BARBARA ROSS

PHONE NUMBER

813 503 4141

OWNER'S MAILING ADDRESS:

710 GAWESTON LANE

EMAIL

JAZZER@AOL.COM

KEY WEST, FL 33040

CONTRACTOR COMPANY NAME:

TBD

PHONE NUMBER

CONTRACTOR'S CONTACT PERSON:

EMAIL

ARCHITECT / ENGINEER'S NAME:

ROB DELAUNE, ARCHITECT

PHONE NUMBER

305 293 0364  
305 304 4842

ARCHITECT / ENGINEER'S ADDRESS:

619 EATON ST. #1

EMAIL

ROBDELAUNE@BELLSOUTH.NET

KEY WEST, FL 33040

HARC: PROJECT LOCATED IN HISTORIC DISTRICT OR IS CONTRIBUTING:  YES  NO (SEE PART C FOR HARC APPLICATION.)

CONTRACT PRICE FOR PROJECT OR ESTIMATED TOTAL FOR MAT'L., LABOR & PROFIT:

\$

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083.

DETAILED Project Description...(The applicant further hereby acknowledges that the scope of work as described shall be the scope of work that is considered by the City. Should further action be taken by the City for exceeding the scope of the description of work as described herein versus the scope of work shown on the plans or other documents submitted with the application, the aforementioned description of work shall be controlling.) CONSTRUCT NEW SHED - 1200FED

ADDITION; CONSTRUCT NEW FLAT-ROOFED REAR PORCH W/ HIP-ROOFED DINING PORCH; CONSTRUCT NEW WOOD DECK AROUND EXISTING POOL; CONSTRUCT NEW 6'-HI WD. PICKET FENCE

Printed name of property owner or licensed contractor.

Signature.

Notary Signature as to applicant. State of Florida, County of Monroe, Sworn to and subscribed before me.

Personally known or produced \_\_\_\_\_ as identification.

Official Use Only:

**PART B: SUPPLEMENTARY PROJECT DETAILS TO AVOID DELAYS / CALL-BACKS**

PROPERTY STRUCTURES AFFECTED BY PROJECT:  MAIN STRUCTURE  ACCESSORY STRUCTURE  SITE

ACCESSORY STRUCTURES:  GARAGE / CARPORT  DECK  FENCE  OUTBUILDING / SHED

FENCE STRUCTURES:  4 FT.  6 FT. SOLID  6 FT. / TOP 2 FT. 50% OPEN

POOLS:  INGROUND  ABOVE GROUND  SPA / HOT TUB  PRIVATE  PUBLIC  
PUBLIC POOLS REQUIRE BD. OF HEALTH LICENSE APPLICATION AT TIME OF CITY APPLICATION.  
 PUBLIC POOLS REQUIRE BD. OF HEALTH LICENSE PRIOR TO RECEIVING THE CITY CERTIFICATE OF OCCUPANCY.

ROOFING:  NEW  ROOF-OVER  TEAR-OFF  REPAIR  AWNING  
 5 V METAL  ASPLT. SHGLS.  METAL SHGLS.  BLT. UP  TPO  OTHER

FLORIDA ACCESSIBILITY CODE:  20% OF PROJECT FUNDS INVESTED IN ACCESSIBILITY FEATURES.

SIGNAGE:  # OF SINGLE FACE  # OF DOUBLE FACE  REPLACE SKIN ONLY  BOULEVARD ZONE  
 POLE  WALL  PROJECTING  AWNING  HANGING  WINDOW  
 SQ. FT. OF EACH SIGN FACE: \_\_\_\_\_

SUBCONTRACTORS / SPECIALTY CONTRACTORS SUPPLEMENTARY INFORMATION:

MECHANICAL:  DUCTWORK  COMMERCIAL EXH. HOOD  INTAKE / EXH. FANS  LPG TANKS  
 A/C:  COMPLETE SYSTEM  AIR HANDLER  CONDENSER  MINI-SPLIT

ELECTRICAL:  LIGHTING  RECEPTACLES  HOOK-UP EQUIPMENT  LOW VOLTAGE  
 SERVICE:  OVERHEAD  UNDERGROUND  1 PHASE  3 PHASE \_\_\_\_\_ AMPS

PLUMBING:  ONE SEWER LATERAL PER BLDG.  INGROUND GREASE INTCPTRS.  LPG TANKS  
 RESTROOMS:  MEN'S  WOMEN'S  UNISEX  ACCESSIBLE

**PART C: HARC APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS**

APPLICATION FEES: PAINTING SINGLE FAMILY: \$10 STAFF APPROVAL: \$50 COMMISSION REVIEW \$100  
 PLEASE ATTACH APPROPRIATE VARIANCES / RESOLUTIONS FROM HARC, PLANNING BOARD OR TREE COMMISSION.  
 ATTENTION: NO BUILDING PERMITS WILL BE ISSUED PRIOR TO HARC APPROVAL.

PLEASE SEND ELECTRONIC SUBMISSIONS TO: [harc@cityofkeywest-fl.gov](mailto:harc@cityofkeywest-fl.gov)  
 INDICATE TYPE OF CERTIFICATE OF APPROPRIATENESS:  GENERAL  DEMOLITION  SIGN  PAINTING  OTHER  
 ADDITIONAL INFORMATION: \_\_\_\_\_

PROJECT SPECIFICATIONS: PLEASE PROVIDE PHOTOS OF EXISTING CONDITIONS, PLANS, PRODUCT SAMPLES, TECHNICAL DATA		
ARCHITECTURAL FEATURES TO BE ALTERED:	ORIGINAL MATERIAL:	PROPOSED MATERIAL:
NORTH WALL OF EXIST. REAR ADDITION	WOOD SIDING & TRIM WOOD WINDOWS	SAME

DEMOLITION: PLEASE FILL OUT THE HARC APPENDIX FOR PROPOSED DEMOLITION.  
 DEMOLITION OF HISTORIC STRUCTURES IS NOT ENCOURAGED BY THE HISTORIC ARCHITECTURAL REVIEW COMMISSION.

SIGNAGE: (SEE PART B)  BUSINESS SIGN  BRAND SIGN  OTHER: \_\_\_\_\_

BUSINESS LICENSE # \_\_\_\_\_ IF FAÇADE MOUNTED, SQ. FT. OF FAÇADE \_\_\_\_\_

SIGN SPECIFICATIONS		
SIGN COPY:	PROPOSED MATERIALS:	SIGNS WITH ILLUMINATION:
		TYPE OF LTG.:
		LTG. LINEAL FTG.:
MAX. HGT. OF FONTS:		COLOR AND TOTAL LUMENS:
IF USING LIGHT FIXTURES PLEASE INDICATE HOW MANY:                      INCLUDE SPEC. SHEET WITH LOCATIONS AND COLORS.		

OFFICIAL USE ONLY:                      HARC STAFF OR COMMISSION REVIEW		
___ APPROVED    ___ NOT APPROVED    ___ DEFERRED FOR FUTURE CONSIDERATION    ___ TABLED FOR ADD'L. INFO.		
HARC MEETING DATE:	HARC MEETING DATE:	HARC MEETING DATE:
REASONS OR CONDITIONS:		
STAFF REVIEW COMMENTS:		
<i>House is listed as contributing.  Guidelines for additions/new construction. 5015 1.9 i 10.  SOLG Frohns historic buildings, specific New additions placing i location  page 159.</i>		
HARC PLANNER SIGNATURE AND DATE:	HARC CHAIRPERSON SIGNATURE AND DATE:	

**PART D: STATE OF FLORIDA OFFICIAL NOTIFICATIONS AND WARNINGS**

FLORIDA STATUTE 713.135: WARNING TO OWNER: YOUR FAILURE TO RECORD A 'NOTICE OF COMMENCEMENT' MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED WITH THE COUNTY RECORDER AND A COPY POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING A NOTICE.

FLORIDA STATUTE 469: ABESTOS ABATEMENT. AS OWNER / CONTRACTOR / AGENT OF RECORD FOR THE CONSTRUCTION APPLIED FOR IN THIS APPLICATION, I AGREE THAT I WILL COMPLY WITH THE PROVISIONS F. S. 469.003 AND TO NOTIFY THE FLORIDA D. E. P. OF MY INTENT TO DEMOLISH / REMOVE ASBESTOS. IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT APPLICATION, THERE MAY BE DEED RESTRICTIONS AND / OR ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF MONROE COUNTY AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENT ENTITIES SUCH AS AQUADUCT ATHORITY, FLORIDA DEP OR OTHER STATE AGENCIES; ARMY CORPS OF ENGINEERS OR OTHER FEDERAL AGENCIES.

FEDERAL LAW REQUIRES LEAD PAINT ABATEMENT PER THE STANDARDS OF THE USDEP ON STRUCTURES BUILT PRIOR TO 1978.

ALL NECESSARY APPROVALS FROM ASSOCIATIONS, GOV'T. AGENCIES, AND OTHER PARTIES ARE THE APPLICANT'S RESPONSIBILITY.

**CITY OF KEY WEST**  
**CERTIFICATE OF APPROPRIATENESS**  
**APPENDIX FOR DEMOLITIONS**  
APPLICATION NUMBER H- 16-03.0032



This document applies only to those properties located within the City of Key West Historic Zoning Districts, properties outside the historic zoning districts which are listed as contributing in the Historic Architectural Survey and or properties listed in the National Register of Historic Places.

Applications must meet or exceed the requirements outlined by the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitation and the Key West's Historic Architectural Guidelines. Once submitted, the application shall be reviewed by staff for completeness and scheduled for presentation to the Historic Architectural Review Commission for the next available meeting, unless the demolition request is for a *bona fide* Code Compliance case, in which case staff may review and approve the demolition request. **The applicant must be present at this meeting. Any person that makes changes to an approved Certificate of Appropriateness must submit a new application with such modifications.**

The filing of this application does not ensure approval as submitted. Applications that do not possess the required submittals or documentation will be considered incomplete and will not be reviewed for approval.

**CRITERIA FOR DEMOLITIONS**

Before any Certificate of Appropriateness may be issued for a demolition request, the Historic Architectural Review Commission must find that the following requirements are met (please review and comment on each criterion that applies);

- (1) If the subject of the application is a contributing or historic building or structure, then it should not be demolished unless its condition is irrevocably compromised by extreme deterioration or it does not meet any of the following criteria:
  - (a) The existing condition of the building or structure is irrevocably compromised by extreme deterioration.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**OR THAT THE BUILDING OR STRUCTURE;**

- (a) Embodies no distinctive characteristics of a type, period, or method of construction of aesthetic or historic significance in the city and is not a significant and distinguishable building entity whose components may lack individual distinction.

THE WALL IN QUESTION IS PART OF A RECENT ADDITION AT THE REAR OF THE STRUCTURE THAT MEETS THE ABOVE CRITERIA.

- (b) Is not specifically associated with events that have made a significant contribution to local, state, or national history.

IT IS NOT.

- (c) Has no significant character, interest, or value as part of the development, heritage, or cultural characteristics of the city, state or nation, and is not associated with the life of a person significant in the past.

IT DOES NOT.

- (d) Is not the site of a historic event with a significant effect upon society.

IT IS NOT.

- (e) Does not exemplify the cultural, political, economic, social, or historic heritage of the city.

IT DOES NOT.

- (f) Does not portray the environment in an era of history characterized by a distinctive architectural style.

IT DOES NOT.

- (g) If a part of or related to a square, park, or other distinctive area, nevertheless should not be developed or preserved according to a plan based on the area's historic, cultural, natural, or architectural motif.

IT IS NOT.

- (h) Does not have a unique location or singular physical characteristic which represents an established and familiar visual feature of its neighborhood or of the city, and does not exemplify the best remaining architectural type in a neighborhood.

IT DOES NOT.

- (i) Has not yielded, and is not likely to yield, information important in history.

IT HAS NOT AND IS NOT LIKELY TO.

**CITY OF KEY WEST**  
**CERTIFICATE OF APPROPRIATENESS**  
**APPENDIX FOR DEMOLITIONS**  
APPLICATION NUMBER H-\_\_\_\_-\_\_\_\_-\_\_\_\_-\_\_\_\_\_



(2) For a contributing historic or noncontributing building or structure, a complete construction plan for the site is approved by the Historic Architectural Review Commission.

(a) A complete construction plan for the site is included in this application

Yes Number of pages and date on plans 2, 1/30/17  
 No Reason \_\_\_\_\_

The following criteria will also be reviewed by the Historic Architectural Review Commission for proposed demolitions. The Commission shall not issue a Certificate of Appropriateness that would result in the following conditions (please review and comment on each criterion that applies);

(1) Removing buildings or structures that are important in defining the overall historic character of a district or neighborhood so that the character is diminished.

\_\_\_\_\_  
IT IS NOT.  
\_\_\_\_\_  
\_\_\_\_\_

(2) Removing historic buildings or structures and thus destroying the historic relationship between buildings or structures and open space; and

\_\_\_\_\_  
IT DOES NOT.  
\_\_\_\_\_  
\_\_\_\_\_

AND

(3) Removing an historic building or structure in a complex; or removing a building facade; or removing a significant later addition that is important in defining the historic character of a site or the surrounding district or neighborhood.

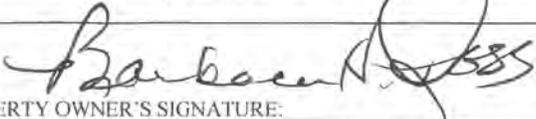
\_\_\_\_\_  
IT IS NOT.  
\_\_\_\_\_  
\_\_\_\_\_

(4) Removing buildings or structures that would otherwise qualify as contributing.

\_\_\_\_\_  
IT DOES NOT.  
\_\_\_\_\_  
\_\_\_\_\_

**Nothing in this application is intended to alter the authority of the Building Official to condemn for demolition dangerous buildings, as provided in Section 102-218 of the Land Development Regulations and Chapter 14 of the Code of Ordinances.**

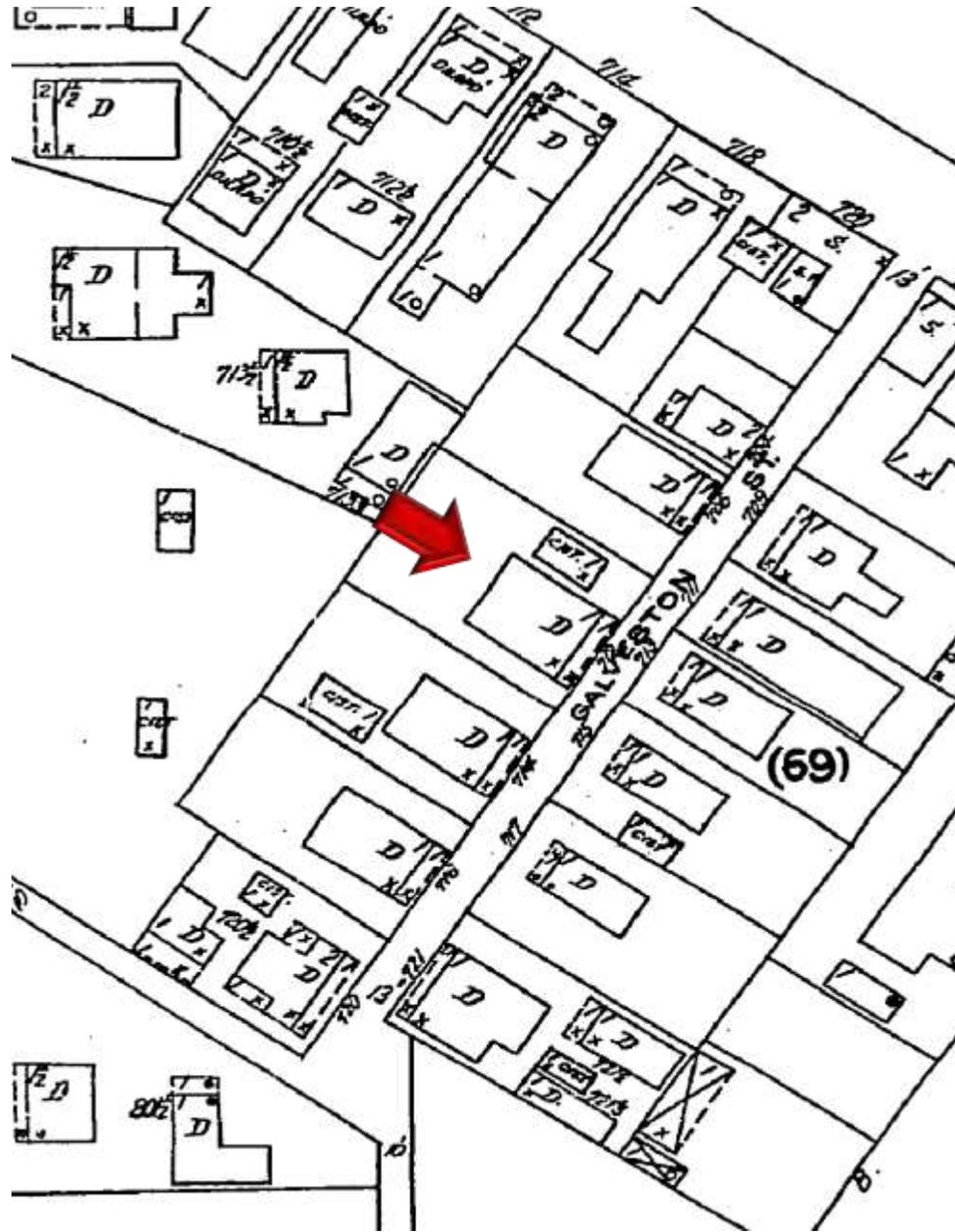
*I hereby certify I am the owner of record and that the work shall conform to all applicable laws of this jurisdiction. By receiving a Certificate of Appropriateness, I realize that this project will require a Building Permit, approval **PRIOR** to proceeding with the work outlined above and that there will be a final inspection required under this application. I also understand that any changes to an approved Certificate of Appropriateness must be submitted for review.*

 PROPERTY OWNER'S SIGNATURE:	1-31-17 DATE AND PRINT NAME:
--	---------------------------------

**OFFICE USE ONLY**

<b>BUILDING DESCRIPTION:</b>				
<input type="checkbox"/> Contributing	Year built _____	Style _____	Listed in the NRHP _____	Year _____
<input type="checkbox"/> Not listed	Year built _____	Comments _____		

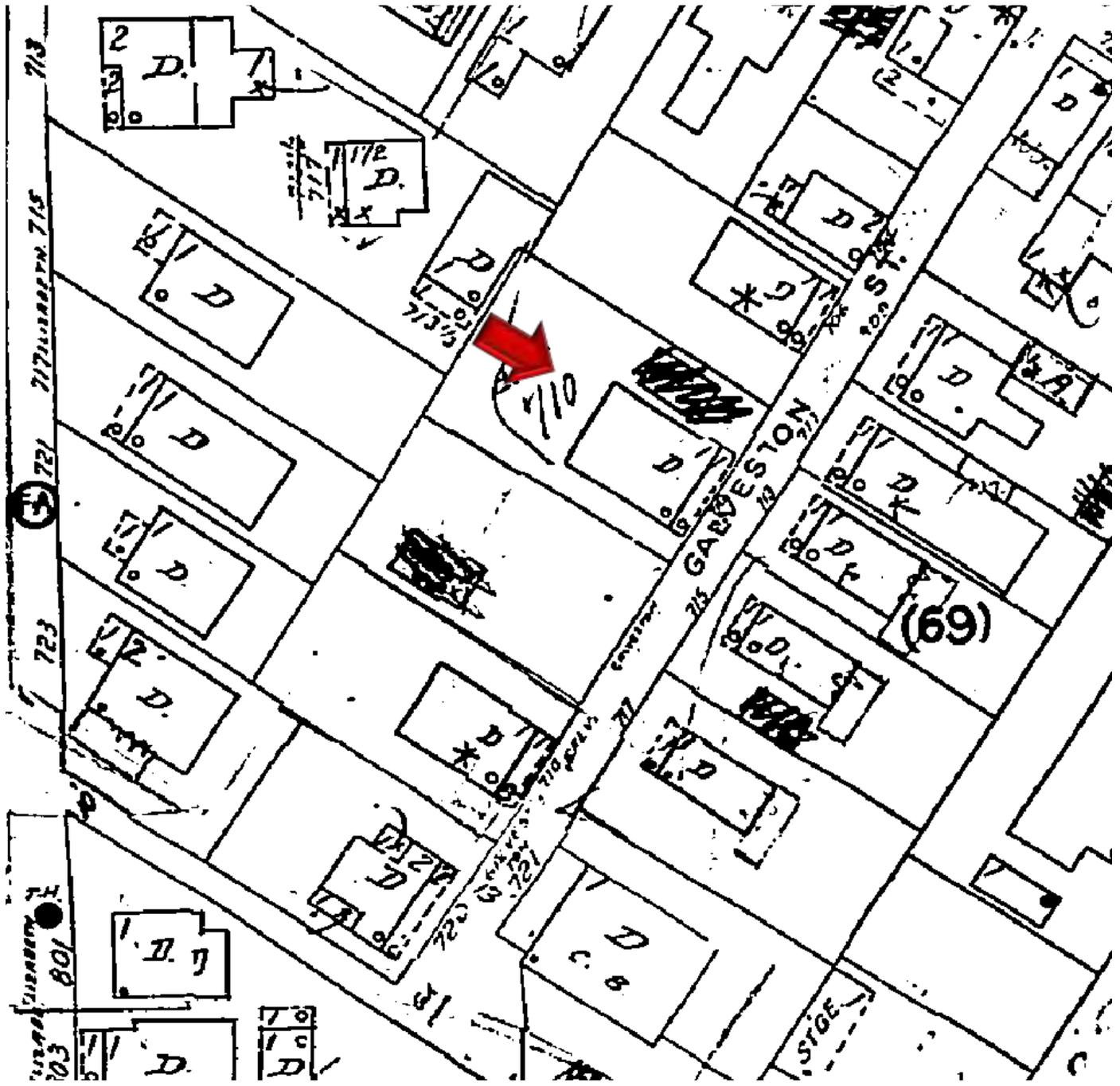
<input type="checkbox"/> Reviewed by Staff on _____ <input type="checkbox"/> Notice of hearing posted _____ First reading meeting date _____ Second Reading meeting date _____ <b>TWO YEAR EXPIRATION DATE</b> _____	Staff Comments     
--	------------------------------------



1926 Sanborn map



1948 Sanborn map



1962 Sanborn map



**710 Galveston Lane circa 1965. Monroe County Library.**







PRIVATE PROPERTY  
NO  
TRESPASSING

KIA  
Sportage

FLORIDA  
RPV7F

FLORIDA  
H22-310

FLORIDA  
1234567













Vent in the gable roof.

712

PRIVATE PROPERTY  
NO PARKING

PRIVATE PROPERTY  
NO PARKING

WASTE  
WE RECYCLE

Black bicycle with a rear rack and fenders parked on the sidewalk.



NO DOGS  
PICK UP AFTER  
YOUR DOG

SPRING REVEAL  
NO TRESPASSING

706



7  
1  
1



713





715



CAREY



717





PCSI  
SU  
C2

C  
M  
C

BA  
↑

# MAP OF BOUNDARY SURVEY

BEARING BASE:  
ALL BEARINGS ARE BASED ON 500°00'00" ASSUMED ALONG THE CENTERLINE OF GALVESTON LANE, (AKA CHARLES ALLEY).

ALL ANGLES DEPICTED ARE 90 DEGREES UNLESS OTHERWISE INDICATED

ALL UNITS ARE SHOWN IN U.S. SURVEY FEET

ADDRESS:  
710 GALVESTON LANE,  
KEY WEST, FL 33040

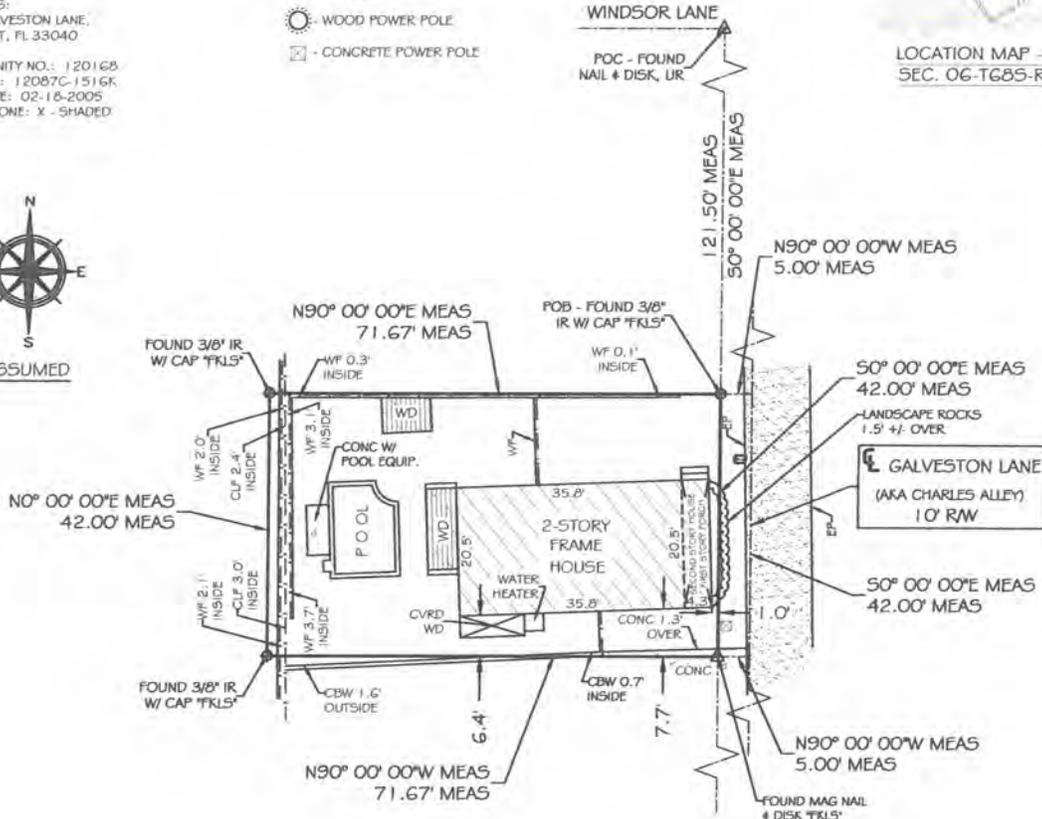
COMMUNITY NO.: 120168  
MAP NO.: 12087C-1516K  
MAP DATE: 02-18-2005  
FLOOD ZONE: X - SHADED

## LEGEND

- WATER METER
- SANITARY SEWER CLEAN OUT
- MAILBOX
- WOOD POWER POLE
- CONCRETE POWER POLE



LOCATION MAP - NTS  
SEC. 06-T685-R25E



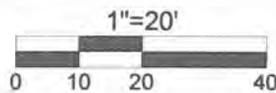
## LEGAL DESCRIPTION -

On the Island of Key West and known as a part of Tract 5, according to William A. Whitehead's Map of said Island delineated in February A.D. 1829, and more particularly described as follows:

COMMENCE at the intersection of the Southerly right of way line of Windsor Lane and the Westerly right of way line of Galveston Lane (Charles Alley) and run thence Southerly along the said Westerly right of way line of Galveston Lane, 121.5 feet to the Point of Beginning of the parcel of land herein described; thence continue Southerly along the said Westerly right of way line of Galveston Lane, 42 feet to a point; thence Westerly at right angles, 71.67 feet to a point; thence Northerly at right angles, 42 feet to a point; thence Easterly at right angles, 71.67 feet back to the Point of Beginning.

## CERTIFIED TO -

Barbara H. Ross;



TOTAL AREA = 3,010.14 SQFT±

NOTE: FOUNDATIONS BENEATH THE SURFACE ARE NOT SHOWN. MEASURED DIMENSIONS EQUAL PLATTED OR DESCRIBED DIMENSIONS UNLESS INDICATED OTHERWISE. THE FOLLOWING IS A LIST OF ABBREVIATIONS THAT MAY BE FOUND ON THIS SHEET.

- |                                   |                                 |                                 |
|-----------------------------------|---------------------------------|---------------------------------|
| BPF = BACK FLOW PREVENTER         | CUF = CUT WIRE                  | TOC = POINT OF COMMENCEMENT     |
| BO = BLOW OUT                     | ES = ELEVATION                  | TRC = POINT OF REVERSE CURVE    |
| C & G = 2" CONCRETE CURB & GUTTER | FF = FINISH FLOOR               | TRM = PROBABLY REFERENCE TO     |
| CB = CONCRETE BLOCK               | IR = IRON ROD                   | MANAGEMENT                      |
| CBW = CONCRETE BLOCK WALL         | L = ARC LENGTH                  | TT = POINT OF TANGENT           |
| CL = CENTERLINE                   | LS = LANDSCAPING                | R = RADIUS                      |
| CLF = CHAINLINK FENCE             | MS = MANHOLE                    | RAW = RIGHT OF WAY LINE         |
| CM = CONCRETE MONUMENT            | MEAS = MEASURED                 | SSCO = SANITARY SEWER CLEAN OUT |
| CONC = CONCRETE                   | MFW = MEAN HIGH WATER LINE      | SW = SIDE WALK                  |
| CPF = CONCRETE POWER POLE         | NVD = NATIONAL GEODETIC         | TRM = TEMPORARY BENCH MARKS     |
| CVRD = COVERED                    | OD = OFFSET DIMENSION (1) POINT | TRC = TOP OF CURVE              |
| DELTA = CENTRAL ANGLE             | NTD = NOT TO SCALE              | TR = TOP OF DRIVE               |
| DEAD = DRAINAGE ELEVATION         | OP = OVERPASS                   | TS = TRAFFIC SIGN               |
| EL = ELEVATION                    | OW = OVERHEAD WIRE              | TR = TYPICAL                    |
| ENCL = ENCLOSURE                  | PC = POINT OF CURVE             | UL = UNDEVELOPED                |
| EP = EDGE OF PAVEMENT             | PM = PARKING METRE              | UE = UTILITY EASEMENT           |
| FF = FINISHED FLOOR ELEVATION     | PCG = POINT OF COMPASS CURVE    | WD = WOOD DECK                  |
| FH = FIRE HYDRANT                 | PCB = PERMANENT CONTROL POINT   | WF = WOOD FENCE                 |
| FI = FENCE INSIDE                 | PK = PARKING KAZON NAIL         | WL = WOOD LANDING               |
| FO = FOUND                        | PCB = POINT OF BEGINNING        | WM = WATER METER                |
| FO = FENCE OUTSIDE                | PCB = POINT OF BEGINNING        | WFP = WOOD FINISH POLE          |
| FO = FENCE ON LINE                | PI = POINT OF INTERSECTION      | WL = LINE OF DEBRIS OR SHORE    |
|                                   |                                 | WV = WATER VALVE                |

NOTE: LEGAL DESCRIPTIONS HAVE BEEN FURNISHED BY THE CLIENT OR HIS/HER REPRESENTATIVE. PUBLIC RECORDS HAVE NOT BEEN RESEARCHED BY THE SURVEYOR TO DETERMINE THE ACCURACY OF THESE DESCRIPTIONS NOR HAVE ADJOINING PROPERTIES BEEN RESEARCHED TO DETERMINE OVERLAPS OR HIATUS. ADDITIONS OR DELETIONS TO SURVEY MAP OR REPORT BY OTHER THAN THE SIGNING PARTY IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY. THE BOLD LINE SHOWN HEREON REPRESENTS THE SURVEYOR'S OPINION OF THE DEED LINES. THE MEAN HIGH WATER LINE WAS NOT DETERMINED FOR THIS SURVEY. THE APPARENT MEAN HIGH WATER LINE IS SHOWN FOR REFERENCE ONLY.

SCALE:	1"=20'
FIELD WORK DATE:	02/13/2017
REVISION DATE:	XX/XX/XXXX
SHEET:	1 OF 1
DRAWN BY:	MPB
CHECKED BY:	
JOB NO.:	17-120

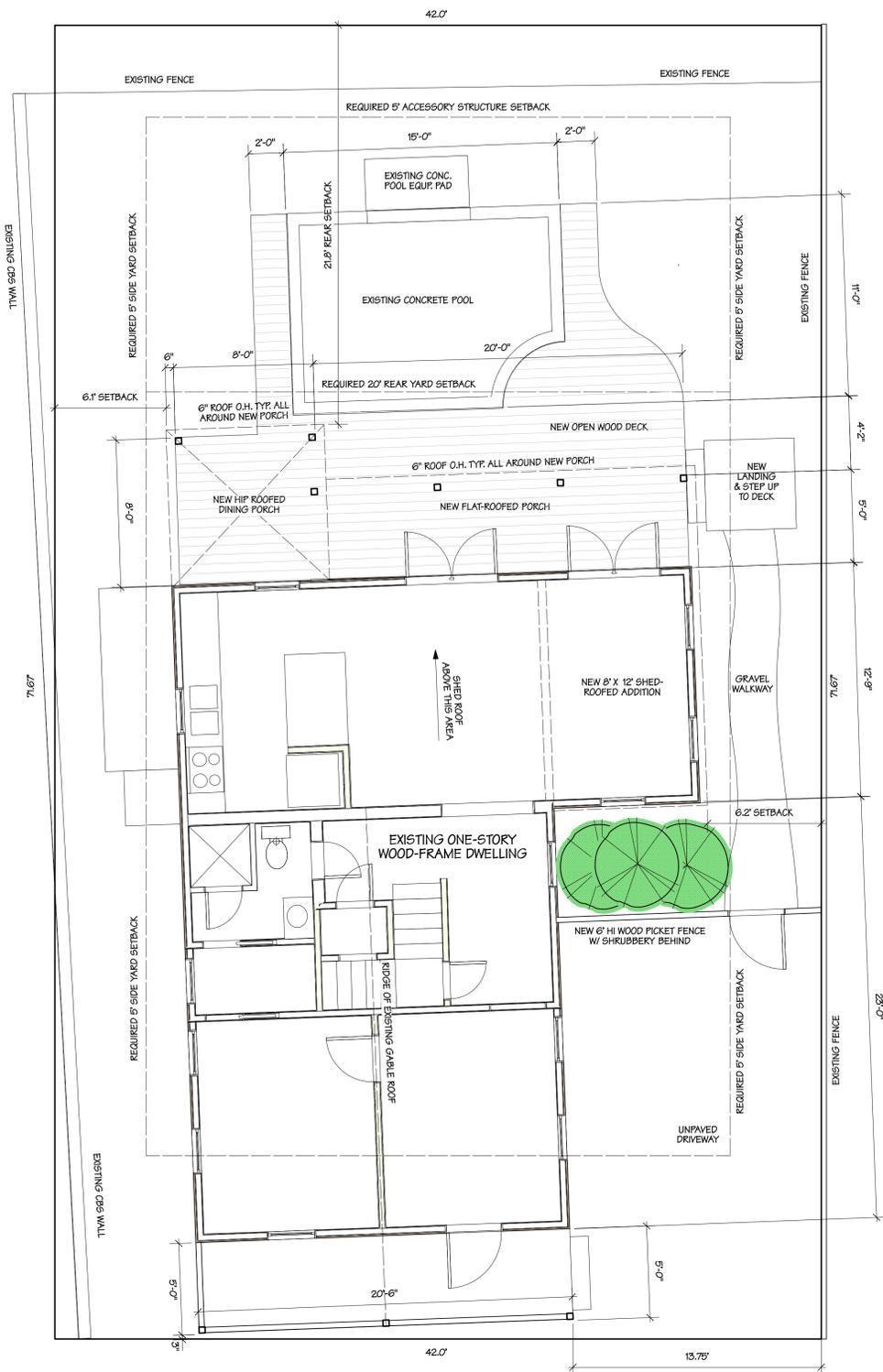
I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES AND COMPLIES WITH CHAPTER 177, FLORIDA STATUTES.

SIGNED:   
ERIC A. ISAACS, LEM #6783, PROFESSIONAL SURVEYOR AND MAPPER, LEM 7847

NOT VALID WITHOUT THE SIGNATURE AND THE RAISED SEAL OF A FLORIDA SURVEYOR AND MAPPER.



**FLORIDA KEYS  
LAND SURVEYING**  
19960 OVERSEAS HIGHWAY  
SUGARLOAF KEY, FL 33042  
PHONE: (305) 394-3690  
EMAIL: FKL5email@gmail.com



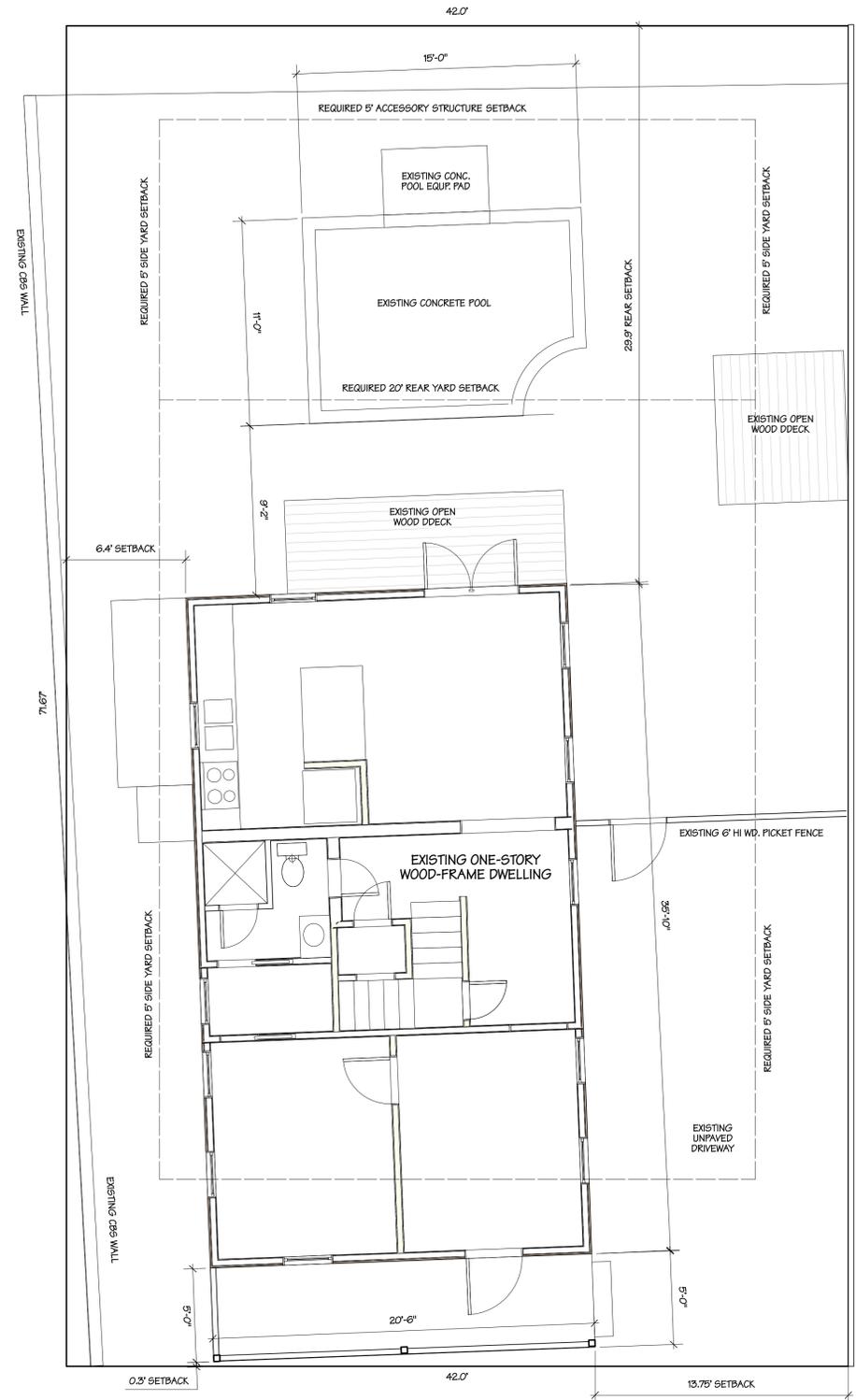
GALVESTON LANE (10' R.O.W.)

PROPOSED SITE & FLOOR PLAN  
scale: 1/4"=1'-0"



SITE DATA:  
 LOT SIZE: 3010 S.F.  
 ZONING DISTRICT: HISTORIC HIGH DENSITY RESIDENTIAL (HHDR)

LOT COVERAGE:	EXISTING	PROPOSED	ALLOWED/REQUIRED
BUILDING:			
EXISTING:	836 S.F.	836 S.F.	
ADDITION:		102 S.F.	
PORCH:		183 S.F.	
TOTAL:	836 S.F. (27.8%)	1123 S.F. (37.3%)	50%
IMPERVIOUS:			
BLDG:	836 S.F.	1123 S.F.	
AWNINGS:	49 S.F.	49 S.F.	
POOL:	175 S.F.	175 S.F.	
TOTAL:	1060 S.F. (35.2%)	1347 S.F. (44.8%)	60%
OPEN SPACE:			
IMPERVIOUS:	1060 S.F.	1347 S.F.	
OPEN DECK:	131 S.F.	164 S.F.	
TOTAL NON-OPEN:	1191 S.F. (39.6%)	1511 S.F. (49.9%)	
TOTAL OPEN SPACE:	1819 S.F. (60.4%)	1499 S.F. (49.8%)	35%
SETBACKS:			
FRONT:	0.3'	NO CHANGE	10'
L. SIDE:	6.4'	6.1'	5'
R. SIDE:	13.75'	6.2'	20'
REAR:	29.9'	21.8'	
HEIGHT:	17.0'	NO CHANGE	30'
FEMA FLOOD ZONE:	X	X	N/A



GALVESTON LANE (10' R.O.W.)

EXISTING SITE & FLOOR PLAN  
scale: 1/4"=1'-0"



renovations & additions to  
 710 GALVESTON LANE  
 KEY WEST, FLORIDA

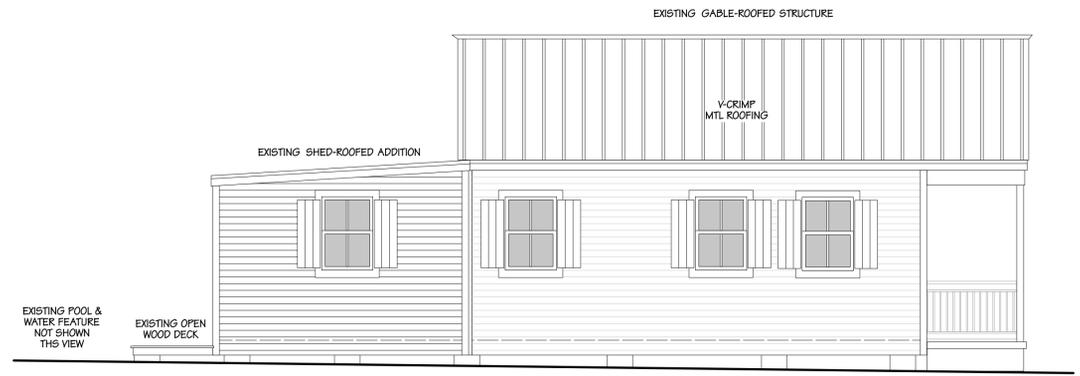
Robert L. Delaune, Architect, p.a.  
 619 Eaton Street, Suite 1, Key West, FL 33040  
 ph/fax: (305) 293-0364 FL Lic. #AA0003594

sheet  
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 of  
 2

30 JANUARY 2017



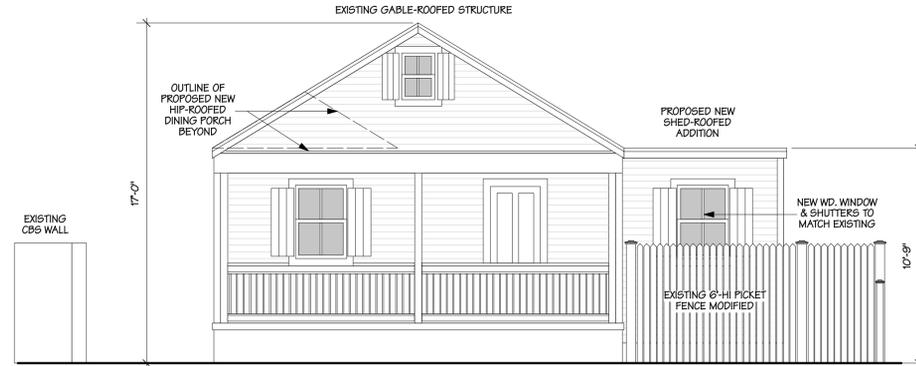
**PROPOSED SOUTH ELEVATION**  
scale: 1/4"=1'-0"



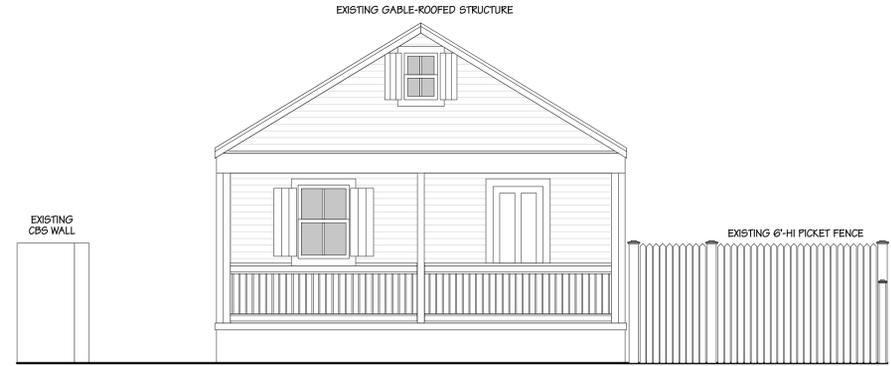
**EXISTING SOUTH ELEVATION**  
scale: 1/4"=1'-0"



**PROPOSED EAST ELEVATION (W/ VEGETATION)**  
scale: 1/4"=1'-0"



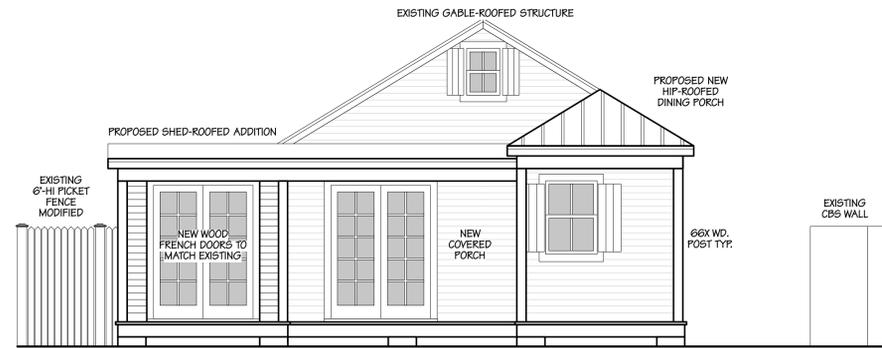
**PROPOSED EAST ELEVATION**  
scale: 1/4"=1'-0"



**EXISTING EAST ELEVATION**  
scale: 1/4"=1'-0"



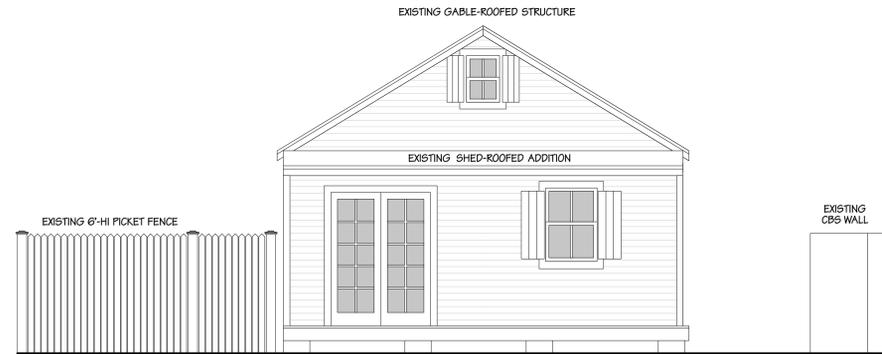
**PROPOSED NORTH ELEVATION**  
scale: 1/4"=1'-0"



**PROPOSED WEST ELEVATION**  
scale: 1/4"=1'-0"



**EXISTING NORTH ELEVATION**  
scale: 1/4"=1'-0"



**EXISTING WEST ELEVATION**  
scale: 1/4"=1'-0"

renovations & additions to  
 710 GALVESTON LANE  
 KEY WEST, FLORIDA



**Robert L. Delaune, Architect, p.a.**  
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 ph/fax: (305) 293-0364 FL Lic. #AA0003594

sheet  
2  
of  
2

30 JANUARY 2017



PROPOSED GALVESTON LANE STREETSCAPE LOOKING WEST  
 scale: 1/4"=1'-0"



EXISTING GALVESTON LANE STREETSCAPE LOOKING WEST  
 scale: 1/4"=1'-0"

renovations & additions to  
 710 GALVESTON LANE  
 KEY WEST, FLORIDA



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 619 Eaton Street, Suite 1, Key West, FL 33040  
 ph/fax: (305) 293-0364 FL Lic. #AA0003594

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# Public Meeting Notice

The Historic Architectural Review Commission will hold a public meeting at 5:30 p.m., February 28, 2017 at City Hall, 1300 White Street, Key West, Florida. The purpose of the hearing will be to consider a request for:

**NEW WOOD DECK AT REAR AROUND EXISTING NEW POOL. NEW SIDE ADDITION WITH SHED ROOF. NEW GABLE FLAT ROOF ON REAR PORTION OF HOUSE AND NEW COVERED PORCH. NEW FLAT-ROOFED REAR PORCH WITH HIP-ROOFED DINING PORCH. NEW 6' HIGHT WOOD PICKET FENCE. PARTIAL DEMOLITION OF SIDE WALL. DEMOLITION OF REAR SHED ROOF.**

710 Galveston Lane

**Applicant – ~~Meridian Engineering~~ Rob Delaune**

**Application #16-03-0032**

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 1300 White Street, call 305-809-3973 or visit our website at [www.cityofkeywest-fl.gov](http://www.cityofkeywest-fl.gov).

**THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION**

ADA ASSISTANCE: It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 800-955-8771 or 800-955-8770 (Voice) or the ADA Coordinator at 305-809-3811 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.

# HARC POSTING AFFIDAVIT

STATE OF FLORIDA:  
COUNTY OF MONROE:

BEFORE ME, the undersigned authority, personally appeared ROBERT L. DELAUNE, who, first being duly sworn, on oath, depose and says that the following statements are true and correct to the best of his/her knowledge and belief:

1. That a legal notice for Public Notice of Hearing of the Historic Architectural Review Commission (HARC) was placed on the following address:  
710 GALVESTON LANE on the 21<sup>ST</sup> day of FEBRUARY, 2017.

This legal notice(s) contained an area of at least 8.5"x11".

The property was posted to notice a public hearing before the Key West Historic Architectural Review Commission to be held on FEBRUARY 28, 2017.

The legal notice(s) is/are clearly visible from the public street adjacent to the property.

The Certificate of Appropriateness number for this legal notice is 16-03-0032

2. A photograph of that legal notice posted in the property is attached hereto.

Signed Name of Affiant:

Robert Delaune  
Date: 2/21/17  
Address: 619 EATON ST  
City: KEY WEST, FL  
State, Zip: 33040

The forgoing instrument was acknowledged before me on this 21 day of Feb, 2017.

By (Print name of Affiant) Robert Delaune who is personally known to me or has produced \_\_\_\_\_ as identification and who did take an oath.

NOTARY PUBLIC

Sign Name: Kimberly G. Pita  
Print Name: Kimberly G. Pita  
Notary Public - State of Florida (seal)  
My Commission Expires: \_\_\_\_\_





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# Scott P. Russell, CFA Property Appraiser Monroe County, Florida

Key West (305) 292-3420  
Marathon (305) 289-2550  
Plantation Key (305) 852-7130

[Home](#) [Departments](#) [Exemptions](#) [Save Our Homes](#) [Portability](#) [Homestead Fraud](#) [Contact Us](#)

[Property Search](#) [Tax Estimator](#) [GIS/Maps](#) [Millages/Taxroll Info](#) [Appeals/VAB](#) [Forms](#) [Office Requirements](#)

Website tested on IE8, IE9, & Firefox.

Requires Adobe Flash 10.3 or higher

## Property Record Card -

**Maps are now launching the new map application version.**

[Return to Search Results](#) | [Modify Search](#) | [New Search](#) | [Send Email to MCPA Regarding this Parcel](#) | [Estimate Taxes on this Parcel](#)

[Previous Record](#) **Alternate Key: 1019658 Parcel ID: 00018980-000000** [Next Record](#)

### Ownership Details

**Mailing Address:**

ROSS BARBARA H  
710 GALVESTON LN  
KEY WEST, FL 33040-6408

### Property Details

**PC Code:** 01 - SINGLE FAMILY

**Millage Group:** 10KW

**Affordable Housing:** No

**Section-Township-Range:** 06-68-25

**Property Location:** 710 GALVESTON LN KEY WEST

**Legal** BK 5 LT 10 KEY WEST G9-415 OR506-207 OR1638-2017/20 OR1689-637/639

**Description:** OR1884-1259/61 OR2462-2328/28AC/T OR2515-449 OR2515-450 OR2761-552/53

**Click Map Image to open interactive viewer**

### Monroe County Links

- » [Monroe County Home Page](#)
- » [BOCC](#)
- » [Growth Management](#)
- » [Building Dept.](#)
- » [Code Compliance](#)
- » [FEMA Flood Insurance Info](#)

### Monroe County Constitutional Officers

- » [Clerk of the Courts](#)
- » [Sheriff's Office](#)
- » [Elections Supervisor](#)
- » [Tax Collector](#)

### Monroe County Cities

- » [City of Key West](#)
- » [City of Marathon](#)
- » [City of Key Colony Beach](#)
- » [City of Layton](#)
- » [Islamorada, Village of Islands](#)

### First Time Home Buyer (IRS)

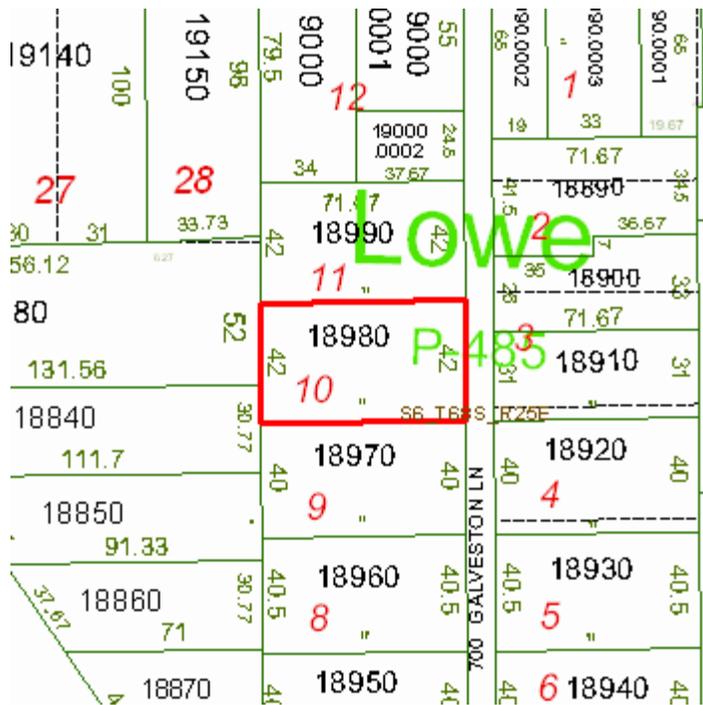
- » [Cancellation of Debt Flyer \(English\)](#)
- » [Cancellation of Debt Flyer \(Spanish\)](#)
- » [1st Time Homebuyers Fact Sheet](#)
- » [1st Time Homebuyers Basic Information](#)
- » [1st Time Homebuyers Scenarios](#)
- » [1st Time Homebuyers Q&A's](#)

### IRS Links

- » [Make Work Pay Credit](#)
- » [Energy Conservation Credit](#)

### Other Links

- » [FL Dept Rev - Property Tax Oversight](#)
- » [Census Info](#)



### Exemptions

Exemption	Amount
39 - 25000 HOMESTEAD	25,000.00
44 - ADDL HOMESTEAD	25,000.00

### Land Details

Land Use Code	Frontage	Depth	Land Area
010D - RESIDENTIAL DRY	42	72	3,010.00 SF

## Building Summary

**Number of Buildings:** 1  
**Number of Commercial Buildings:** 0  
**Total Living Area:** 672  
**Year Built:** 1919

## Building 1 Details

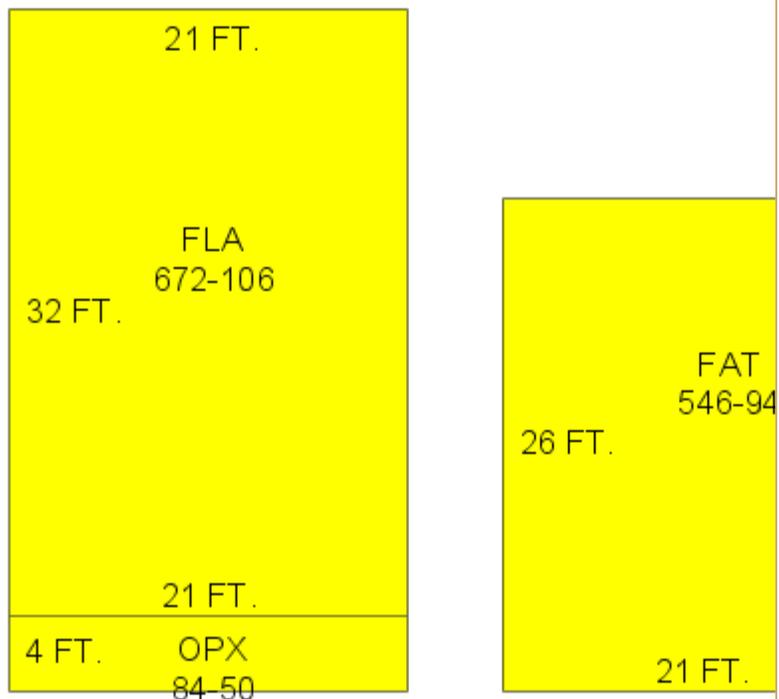
<b>Building Type</b> R1	<b>Condition</b> A	<b>Qu</b>
<b>Effective Age</b> 5	<b>Perimeter</b> 106	<b>Dep</b>
<b>Year Built</b> 1919	<b>Special Arch</b> 0	<b>Grnd</b>
<b>Functional Obs</b> 0	<b>Economic Obs</b> 0	

**Inclusions:** R1 includes 1 3-fixture bath and 1 kitchen.

<b>Roof Type</b> GABLE/HIP	<b>Roof Cover</b> METAL
<b>Heat 1</b> NONE	<b>Heat 2</b> NONE
<b>Heat Src 1</b> NONE	<b>Heat Src 2</b> NONE

**Extra Features:**

<b>2 Fix Bath</b>	0
<b>3 Fix Bath</b>	1
<b>4 Fix Bath</b>	0
<b>5 Fix Bath</b>	0
<b>6 Fix Bath</b>	0
<b>7 Fix Bath</b>	0
<b>Extra Fix</b>	0



**Sections:**

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %
0	FAT	1:WD FRAME	1	1989		N	
1	FLA	1:WD FRAME	1	1989	N	N	0.00
2	OPX		1	1989	N	N	0.00

**Misc Improvement Details**

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
1	WD2:WOOD DECK	272 SF	0	0	2002	2003	2	40
3	AC2:WALL AIR COND	2 UT	0	0	2002	2003	1	20
4	AC2:WALL AIR COND	1 UT	0	0	2002	2003	2	20
5	FN2:FENCES	72 SF	18	4	2002	2003	2	30
6	FN2:FENCES	660 SF	110	6	2002	2003	2	30

**Appraiser Notes**

2011-04-28 FISBO BANK OWNED 407-371-6884

## Building Permits

Bldg Number	Date Issued	Date Completed	Amount	Description	Notes
98-1584	05/21/1998	12/12/1998	900		REPAIR WINDOW & SIDING
02-0759	04/03/2002	01/31/2003	23,550		RENOVATION
02/2233	08/19/2002	01/31/2003	1,500		COMPLETE ELECTRICAL
11-1504	05/12/2011	09/15/2011	5,000		REPAIRS WINDOWS SILLS & CASING ON 6 WINDOWS. INSTALL 60 K STYLE GUTTER, WHITE TO MATCH TRIM
15-4953	12/10/2015	03/01/2016	8,133		INSTALL 3 TON MINI SPLIT SYSTEM 3 DROPS

## Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2016	99,847	5,547	409,131	514,525	433,187	25,000	408,187
2015	76,294	4,986	403,912	485,192	438,407	0	485,192
2014	74,232	4,780	376,984	455,996	398,552	0	455,996
2013	75,263	5,019	325,275	405,557	362,320	0	405,557
2012	76,294	5,266	247,822	329,382	329,382	0	329,382
2011	80,086	4,186	362,717	446,989	446,989	0	446,989
2010	89,249	4,418	386,612	480,279	480,279	25,000	455,279
2009	103,171	4,624	458,206	566,001	566,001	25,000	541,001
2008	96,108	4,829	526,750	627,687	567,737	25,000	542,737
2007	178,213	5,061	401,835	585,109	551,201	25,000	526,201
2006	287,862	5,267	285,950	579,079	537,757	25,000	512,757
2005	287,862	5,472	228,760	522,094	522,094	25,000	497,094
2004	157,699	5,704	213,710	377,113	377,113	0	377,113
2003	93,963	5,910	111,370	211,243	211,243	0	211,243
2002	107,000	2,150	70,735	179,885	179,885	0	179,885
2001	85,311	2,214	70,735	158,260	158,260	0	158,260
2000	85,311	2,133	52,675	140,119	140,119	0	140,119
1999	69,695	1,791	52,675	124,160	124,160	0	124,160
1998	40,872	1,526	52,675	95,073	95,073	0	95,073
1997	38,828	0	46,655	85,483	85,483	0	85,483

1996	25,136	0	46,655	71,791	71,791	0	71,791
1995	25,136	0	46,655	71,791	71,791	0	71,791
1994	22,480	0	46,655	69,135	69,135	0	69,135
1993	22,480	0	46,655	69,135	69,135	0	69,135
1992	22,480	0	46,655	69,135	69,135	0	69,135
1991	22,480	0	46,655	69,135	69,135	0	69,135
1990	21,918	0	37,625	59,543	59,543	0	59,543
1989	15,710	0	36,873	52,583	52,583	0	52,583
1988	13,437	0	32,358	45,795	45,795	0	45,795
1987	13,267	0	16,127	29,394	29,394	0	29,394
1986	13,341	0	15,482	28,823	28,823	0	28,823
1985	12,938	0	9,360	22,298	22,298	0	22,298
1984	12,111	0	9,360	21,471	21,471	0	21,471
1983	12,111	0	9,360	21,471	21,471	0	21,471
1982	12,340	0	8,093	20,433	20,433	0	20,433

## Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

Sale Date	Official Records Book/Page	Price	Instrument	Qualification
9/9/2015	2761 / 552	630,000	<u>WD</u>	<u>02</u>
4/26/2011	2515 / 450	325,600	<u>WD</u>	<u>02</u>
4/26/2011	2515 / 449	325,600	<u>QC</u>	<u>12</u>
4/26/2010	2462 / 2328	250,000	<u>CT</u>	<u>12</u>
4/29/2003	1884 / 1259	440,000	<u>WD</u>	<u>Q</u>
4/10/2001	1689 / 0637	190,000	<u>WD</u>	<u>Q</u>

This page has been visited 220,932 times.

Monroe County Property Appraiser  
 Scott P. Russell, CFA  
 P.O. Box 1176 Key West, FL 33041-1176