



PORT & MARINE SERVICES

201 William Street
Key West, FL 33040

ADDENDUM NO. 1

**RESTROOMS & LAUNDRY RENOVATION
KEYW WEST HISTORIC SEAPORT
ITB #17-007**

The information contained in this Addendum adds information to be included in the Bid and is hereby made a part of the Contract Documents. The referenced bid package is hereby addended in accordance with the following items:

GENERAL NOTES and CLARIFICATIONS:

The estimated project cost is \$543,000.

All other elements of the Contract and Bid documents, including the Bid Date shall remain unchanged.

All Bidders shall acknowledge receipt and acceptance of this **Addendum No. 1** by submitting the addendum with their proposal. Proposals submitted without acknowledgement or without this Addendum may be considered non-responsive.

Signature

Name of Business



PORT & MARINE SERVICES

201 William Street
Key West, FL 33040

ADDENDUM NO. 2

RESTROOMS & LAUNDRY RENOVATION KEYW WEST HISTORIC SEAPORT ITB #17-007

The information contained in this Addendum adds information to be included in the Bid and is hereby made a part of the Contract Documents. The referenced bid package is hereby addended in accordance with the following items:

QUESTIONS and CLARIFICATIONS:

1. Building 'A' Door Schedule: Mark #01 thru 09 and 13 show galvanized metal in the door material and frame material column, but the elevation for type 'A' shows and aluminum door and frame. Are these hollow metal openings or aluminum openings?

Doors indicated in question are to be aluminum. See revised drawings.

2. Building 'B' Door Schedule: Mark #01, 02 and 08 with door elevation 'B' show galvanized metal door and frame on the door schedule and aluminum on the elevation. Mark #03 thru 07 show galvanized metal on the door schedule and aluminum doors and frames on the elevations. Are these hollow metal openings or aluminum openings?

Doors indicated in question are to be aluminum. See revised drawings.

3. Building 'B' new porch roof: Will new porch roof have a ceiling?

No ceiling finish is to be installed. The porch roof structure is to be exposed.

4. Building 'A' floor plan on sheet A-2 shows A/C units in rooms 201, 207, and 208, but the electrical panel A and panel A1 on Sheet E-1 show A/C units for rooms 201, 207, and 208 to be new. Will A/C units for Building 'A' be new? Are there any Mechanical Plans?

The three A/C units shown on A-2 as existing are correct. There are to be no new A/C units as part of the scope of work for Building 'A'.

5. On Sheet A-7.1 the Door Schedule shows Door Mark 03 Women's Standard Shower as an aluminum/glass door while all other standard shower doors are louvered. Please clarify if Mark 03 door will be aluminum/glass or louvered.

Door indicated in question to be aluminum louvered. See revised drawings.

6. On Building 'A' Floor Plan sheet A-2.0, north wall room 213 floor plan shows clean and paint, however, on elevation 6 sheet A-4 it shows north wall to receive wall tile. Will north wall of room 213 be paint or tile?

North wall of room 213 is to receive tile finish per sheet A-4. Refer to revised A-2 for clarification.

7. On Sheet A-5, there is a bid alternate for FT-1. There is not space for this alternate on the bid form.

See revised Bid Schedule attached.

8. The specifications have numerous lines of text which are corrupted and unreadable. Please provide clean specification sheets.

Text has been corrected. See revised drawings.

9. The scope of work indicates laundry equipment is to be provided for Building A. Division 11 does not specify the equipment but tells us to coordinate with the equipment supplier for hookup information. There are no mechanical drawings but the electric and plumbing drawings indicate future Laundry equipment. Are we to reuse existing or include new washers and dryers in this proposal?

The existing laundry equipment will be reused. Part of the scope of work for this area is to provide the electrical upgrades, hot/cold water hook-ups, drainage, and vent requirements for (8) future stack washer/ dryer units. Sheet P-2 calls for (4) recessed laundry boxes to be installed. This note on P-2 should reflect (8) recessed laundry boxes with associated wiring, piping and duct to be installed.

10. Building 'A' on sheet A-5.0 shows room 203 hallway Do Not Use Wall Tile north and south walls. However, finish schedule shows room 203 hallway to receive ceramic wall tile. What finish will room 203 receive? Please see attachment for reference.

Room 203 will receive tile on the walls. See revised drawings.

11. Contractor to apply for obtain all required permits for each building independently (Buildings 'A' & 'B').
12. The Key West Historic Seaport will provide a field office (see attached drawing) and the contractor will use storage space located under bathhouse. Contractor supplied field storage container restricted to use of one 9'x20' parking space.
13. Royal Restrooms Three-Stall portable shower unit cut sheet attached.
14. Mandatory Pre-Bid sign-in sheet attached.

BID FORM:

1. New Bid Schedule attached.

2. With Owner acceptance of Bid Alternate #2 it will be the Contractors responsibility to obtain, at a minimum, a Temporary Certificate of Occupancy for one building prior to commencing construction (closing) the other.

SUPPLEMENTARY CONDITIONS:

1. ARTICLE 12 "OWNER" – Correct address to read 1300 White Street.

DRAWINGS:

1. Remove and replace sheet A-2 with attached.
2. Remove and replace sheet A-5 with attached.
3. Remove and replace sheet A-7 with attached.
4. Remove and replace sheet A-7.1 with attached.
5. Remove and replace sheet A-8 with attached.
6. Remove and replace sheet A-8.1 with attached.

All other elements of the Contract and Bid documents, including the Bid Date shall remain unchanged.

All Bidders shall acknowledge receipt and acceptance of this **Addendum No. 2** by submitting the addendum with their proposal. Proposals submitted without acknowledgement or without this Addendum may be considered non-responsive.

Signature

Name of Business



KEY WEST BIGHT



••TOTAL LEASE AREA OCCUPIED = 12,387.3 SQ FT +/-

****TOTAL AREA OCCUPIED = 842.4 SQ FT +/-
(NOT A PART OF LEASE AREA)**

OWNER PROVIDED FIELD OFFICE

BID SCHEDULE

KEY WEST HISTORIC SEAPORT RESTROOMS AND LAUNDRY RENOVATIONS

LUMP SUM BID PRICE

Bidder will complete the Work in accordance with the Contract Documents for a fixed fee price.

1. Mobilization, General Conditions, Permit Fees, Bonds and Demobilization

1 LS \$_____

2. Demolition (includes all labor, equipment and disposal for a complete product)

Building 'A' \$_____

Building 'B' \$_____

1 LS \$_____

3. Structural (includes all labor and equipment for a complete product)

Building 'A' \$_____

Building 'B' \$_____

1 LS \$_____

4. Exterior Architectural Renovations (includes all labor and equipment for a complete product)

Building 'A' \$_____

Building 'B' \$_____

1 LS \$_____

5. Interior Architectural Renovations (includes all labor and equipment for a complete product)

Building 'A' \$_____

Building 'B' \$_____

1 LS \$_____

6. Plumbing (includes all labor and equipment for a complete product)

Building 'A' \$_____

Building 'B' \$ _____

1 LS \$ _____

7. Electrical (includes all labor and equipment for a complete product)

Building 'A' \$ _____

Building 'B' \$ _____

1 LS \$ _____

8. Mechanical (includes all labor and equipment for a complete product)

1 LS \$ _____

9. Landscape Renovations (includes all labor and equipment for a complete product)

1 LS \$ _____

10. General Allowance (only to be used with owner's written directive)

1 LS \$ 25,000.00

TOTAL OF ALL EXTENDED LINE ITEMS LISTED ABOVE:

Total of lump sum items 1 - 10 \$ _____

_____ Dollars & _____ Cents
(amount written in words)

NOTE: THE TOTAL BID, INCLUDING CHOSEN ALTERNATE, WILL BE THE BASIS OF EVALUATING LOW BIDDER AND BASIS OF AWARD

BID ALTERNATE #1

- 1.) Work on Buildings 'A' & 'B' to be done concurrently. Reduce contract time from six (6) months to four (4) months.

DEDUCT 1 LS \$ _____

- 2.) Provide two (2), portable three stall shower/combo units by Royal Restrooms or Equal to maintain the function of the facility at both Building 'A' and Building 'B' for duration of project. One portable shower/combo unit to be placed behind each

ADD 1 LS \$ _____

- ADD 1 LS \$_____

_____ Dollars & _____ Cents
(amount written in words)

- 1.) Provide one (1), portable three stall shower/combo unit by Royal Restrooms or Equal to maintain the function of the facility at both Building 'A' and Building 'B' during their phase of construction. Portable shower/combo unit to be placed behind Building 'A' for duration of project. Contractor to connect and maintain required utilities. Owner to perform daily cleaning.

| | | | |
|-----|---|----|----|
| ADD | 1 | LS | \$ |
|-----|---|----|----|

- ADD 1 LS \$

_____ Dollars & _____ Cents
(amount written in words)

1.) Provide brushed concrete with a COF_≥.80 wet/dry in lieu of FT-1 Porcelain Tile.

DEDUCT 1 LS \$

_____ Dollars & _____ Cents
(amount written in words)



The Royal Restrooms Three-Stall Shower Unit is a simple solution for events such as weekend festivals or for use at certain job sites. This unit may be combined with additional Royal Restrooms for large events. Originally designed for disaster relief efforts, the Royal Restrooms Three-Stall Shower Unit is the perfect choice for emergency situations or in any case where power and water sources are not readily available.

The Royal Restrooms Three-Stall Shower Unit includes three unisex bathrooms, each furnished with a sink, toilet, and shower. Whether used for a special event or emergency situation, Royal Restrooms provide individuals with the comforts of home in clean, private, and spacious stalls featuring:

- Flushing Porcelain Toilets
- Sinks and Mirrors
- Hand Soap and Hand Towels
- Air Conditioning or Heat
- Dual Handrails and Low Entry Platforms
- Low Level Outdoor Lighting
- Occupancy Light Indicators
- Stylish Décor

The unique design of Royal Restrooms gives them the mobility to go virtually anywhere. The Three-Stall Shower Unit is completely self-contained and operable using (1) 110 volt outlet or generator for the lights, heat or air conditioner, and on-demand propane water heater. (Unit pulls a maximum of 20 amps.) Water is supplied by a spigot and garden hose or a 125 gallon on-board fresh water holding tank. The unit houses a 380 gallon waste holding tank; grey water from the showers can either flow directly into the waste holding tank or be diverted to a specific location on the ground. If operated from a continuous water source, the unit provides approximately 450 hot showers before the propane needs to be replenished.

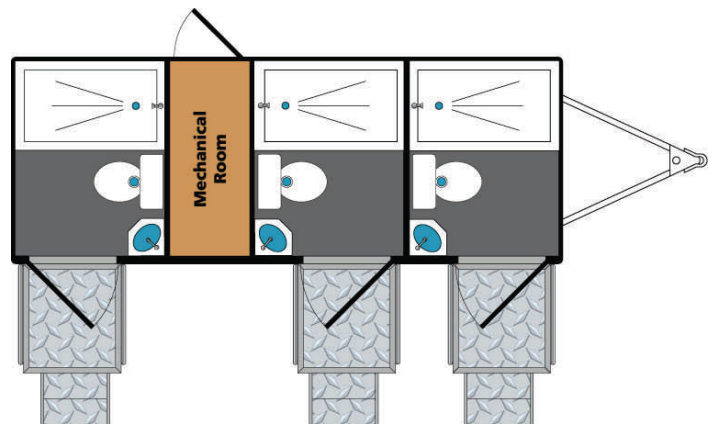
Rental options include daily, weekly, and long-term rentals, generators, and additional fresh water holding tanks. Pricing and availability may be obtained by contacting your local Royal Restrooms office. Please visit our website or call the Royal Restrooms Corporate Office at 800.969.7434 for local contact information.

www.RoyalRestrooms.com

Three-Stall Shower Unit



**Festivals • Camp Grounds • Job Sites
Disaster Relief**



Unit Dimensions

Length: 20' (including trailer tongue)

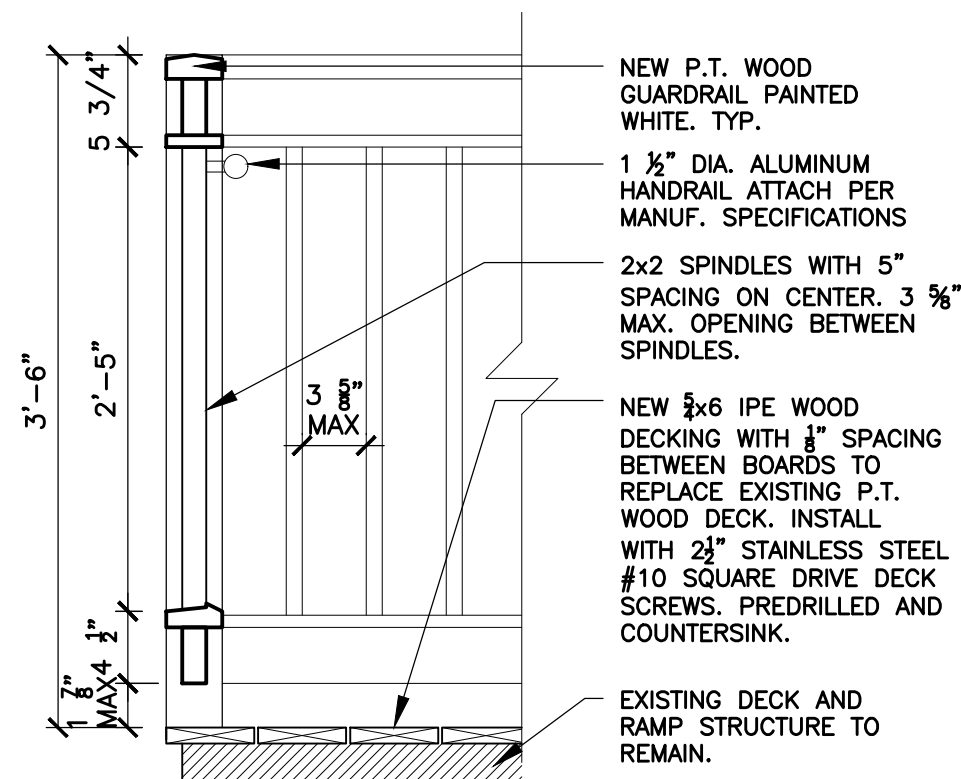
Width: 11' (stairs down)

Height: 10' 6" (from ground to top of A/C unit)

Licensed and Insured

WALL LEGEND

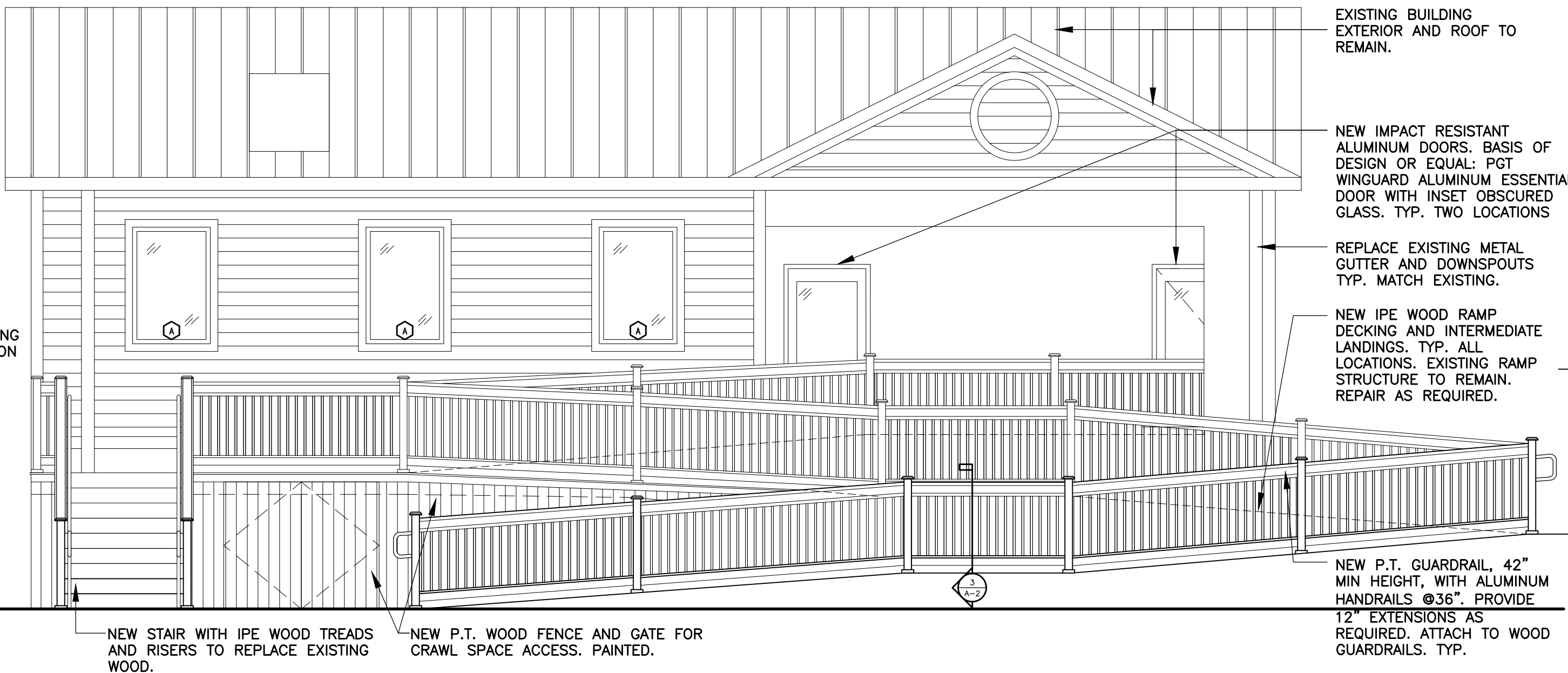
- EXISTING MASONRY WALL TO REMAIN, CLEAN AND PAINT INTERIOR SIDES.
- EXISTING MASONRY WALL TO REMAIN. ADD 3 1/2" GALV. METAL FURRING AT 16" O.C. W/ 5/8" FIBER CEMENT BOARD AND TILE FINISH.
- EXISTING MASONRY WALL TO REMAIN. ADD NEW TILE FINISH TO INTERIOR SIDES.
- NEW PARTITION. 3-5/8" 20 GA. GALV. STL. FRAMING, AT 16" O.C. WITH TILE FINISH OVER 5/8" FIBER CEMENT BOARD (BOTH SIDES). DO NOT ADD TILE TO INSIDE OF ROOM 101. WALL HEIGHT TO EXTEND 6" ABOVE FINISH CEILING. REPAIR AND REPAINT CEILING FINISH AS REQUIRED TO MATCH EXISTING.
- NEW MASONRY WALL 8" CMU. ADD TILE FINISH TO BOTH SIDES. WALL HEIGHT TO ALIGN WITH ADJACENT EXISTING WALL HEIGHT.



GUARDRAIL SECTION

SCALE: 1"=1'-0"

ENSURE THAT NEW WORK DOES NOT DISRUPT EXISTING GUMBO LIMBO CANOPY ON ADJACENT PROPERTY



NORTH ELEVATION — BUILDING 'A'

SCALE: 1/4"=1'-0"

NEW WOOD GUARDRAIL WITH 4x4 POSTS. GUARDRAIL TO BE AT 42" MIN. ABOVE FINISH FLOOR. TYP. ALL LOCATIONS.

NEW IPE WOOD DECK TO REPLACE EXISTING P.T. WOOD DECK.

NEW STAIR AND STAIR STRUCTURE. NEW IPE WOOD TREADS AND RISERS TO REPLACE EXISTING WOOD. PROVIDE 4" OXIDE COARSE GRIT ANTISLIP TAPESLIP. BASIS OF DESIGN GRANGER. TYP.

NEW GATES AND FENCE TO REPLACE EXISTING. PAINT TO MATCH EXISTING.

NEW CONCRETE LANDING FOR ADA RAMP TO REPLACE EXISTING. MAX SLOPE 2% IN ALL DIRECTIONS. ALIGN WITH ADJACENT CONCRETE SLAB.

NEW IPE WOOD RAMP DECKING AND INTERMEDIATE LANDINGS. TYP. ALL LOCATIONS. EXISTING RAMP STRUCTURE TO REMAIN. REPAIR AS REQUIRED.

NEW ALUMINUM HANDRAILS @ 36". ATTACH TO NEW WOOD GUARDRAILS @ 42" AFF.

EXISTING RAMP STRUCTURE TO REMAIN. REFINISH WITH IPE WOOD. TYP. ALL LOCATIONS.

EXISTING CEILING TO REMAIN. PATCH AND REPAIR AS REQUIRED TO ACCOMMODATE NEW WORK. TYP. ALL LOCATION.

RECONFIGURED INTERIOR SPACE. TYP. ALL INTERIOR SPACES.

REBUILT VENT LOCATION FOR DRYERS.

+5'3" FROM GRADE V.I.F.

+0'0" GRADE

+0'0" GRADE

+0'0" GRADE

+0'0" GRADE

+0'0" GRADE

+0'0" GRADE

+0'0" GRADE

+0'0" GRADE

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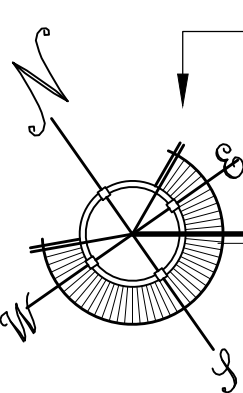
+0'0" GRADE

+0'0" GRADE

+0'0" GRADE

FLOOR PLAN — BUILDING 'A'

SCALE: 1/4"=1'-0"



EXISTING BUILDING EXTERIOR AND ROOF TO REMAIN.

NEW IMPACT RESISTANT ALUMINUM DOORS, BASIS OF DESIGN OR EQUAL: PGT WINGUARD ALUMINUM ESSENTIAL DOOR WITH INSET OBSCURED GLASS. TYP. TWO LOCATIONS

REPLACE EXISTING METAL GUTTER AND DOWNSPOUTS TYP. MATCH EXISTING.

NEW IPE WOOD RAMP DECKING AND INTERMEDIATE LANDINGS. TYP. ALL LOCATIONS. EXISTING RAMP STRUCTURE TO REMAIN. REPAIR AS REQUIRED.

NEW P.T. GUARDRAIL, 42" MIN HEIGHT, WITH ALUMINUM HANDRAILS @ 36". PROVIDE 12" EXTENSIONS AS REQUIRED. ATTACH TO WOOD GUARDRAILS. TYP.

EXISTING CEILING TO REMAIN. PATCH AND REPAIR AS REQUIRED TO ACCOMMODATE NEW WORK. TYP. ALL LOCATION.

EXISTING SINK TO REMAIN. NO WORK.

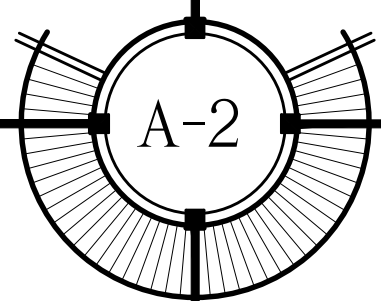
TRANSITION BETWEEN TILE AND IPE WOOD DECK. ALIGN FINISH ELEVATIONS.

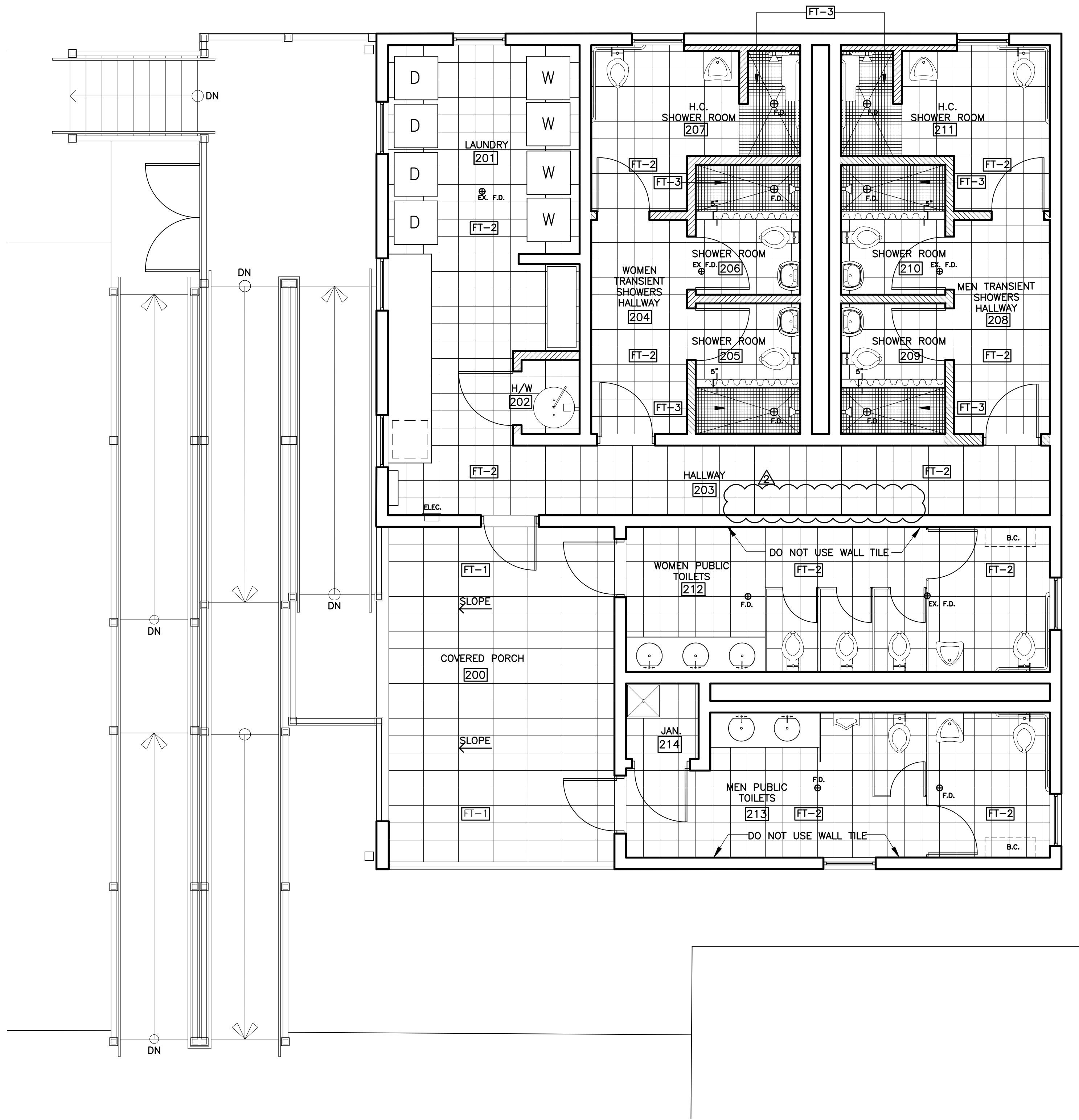
CHANGE MACHINE NEW EXST. ELEC. ELEC.

NEW BENCH BY OWNER. SHOWN FOR REFERENCE.

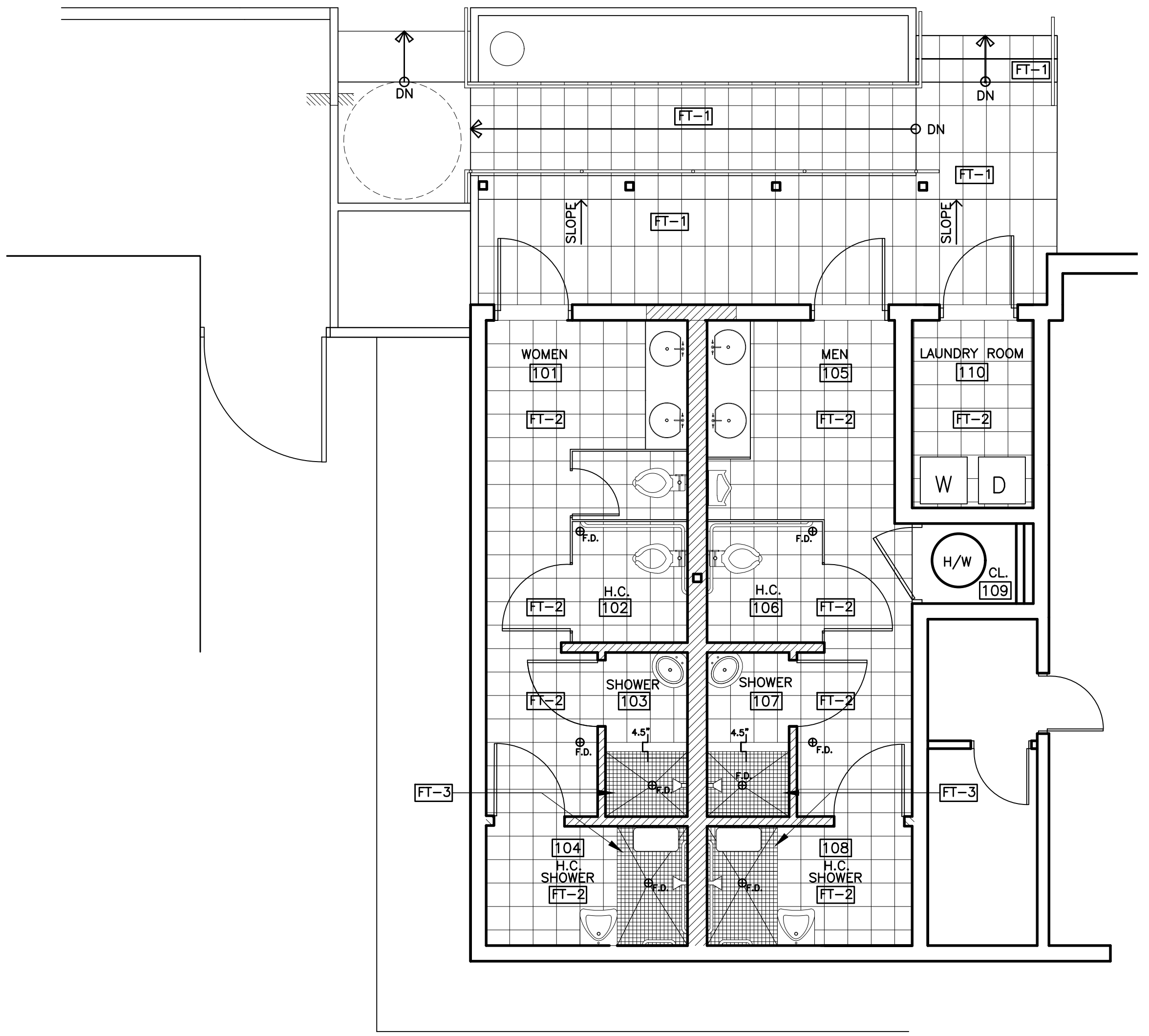
LAUNDRY

EXISTING CEILING TO REMAIN. PATCH AND REPAIR AS REQUIRED TO ACCOMMODATE NEW WORK. TYP. ALL LOCATION.





1
A-5
TILE FLOOR PLAN — BUILDING 'A'
SCALE: 1/4"=1'-0"



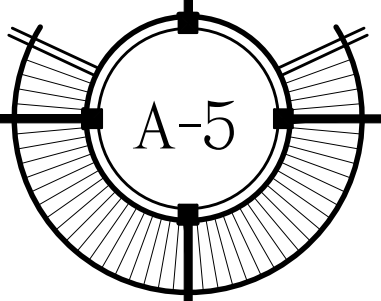
2
A-5
TILE FLOOR PLAN — BUILDING 'B'
SCALE: 1/4"=1'-0"

| TILE SCHEDULE | |
|---------------|--|
| LOCATION | DESCRIPTION |
| FLOOR | |
| FT-1 | 12"x24" ATLAS CONCORDE PORCELAIN TILE OR EQ. SERIES EVOLVE COLOR TEXTURED CONCRETE.** |
| FT-2 | 12"x12" FORMATIONS FLORIDA TILE OR EQ. COLOR: FTI25213 GRAVEL |
| FT-3 | 25 PIECE MOSAIC 12"x12" FORMATIONS FLORIDA TILE OR EQ. COLOR: FTI25213 GRAVEL (SHOWER FLOORS ONLY)* |
| WALL | |
| WT-1 | 12"x12" FORMATIONS FLORIDA TILE OR EQ. COLOR: FTI25213 GRAVEL |
| BASE | |
| BT-1 | 6"x12" COVE BASE FORMATIONS FLORIDA TILE OR EQ. COLOR: P36C9 GRAVEL (ALL INTERIOR LOCATIONS). PROVIDE COVE BASE CORNER TILE AS REQUIRED. |

- TILE NOTES:
- ALL TILE TO MEET CURRENT SLIP RESISTANT COEFFICIENT ASTM STANDARDS RELATIVE TO LOCATION OF INSTALLATION.
 - TILE IN LOCATIONS WITH NEW CONCRETE SLAB SHALL BE INSTALLED OVER THICK SET MORTAR BED.
 - SLOPE TILE FLOORS TO FLOOR DRAINS. MAX SLOPE 1:50 FOR ADA COMPLIANCE.

*SLIP RESISTANT FOR INTERIOR WET CONDITIONS (COF \geq .7 WET/ .60 DRY)
**SLIP RESISTANT FOR EXTERIOR UNCOVERED AND EXTERIOR SLOPED CONDITIONS (COF \geq .80 WET/DRY FOR EXTERIOR SLOPED)

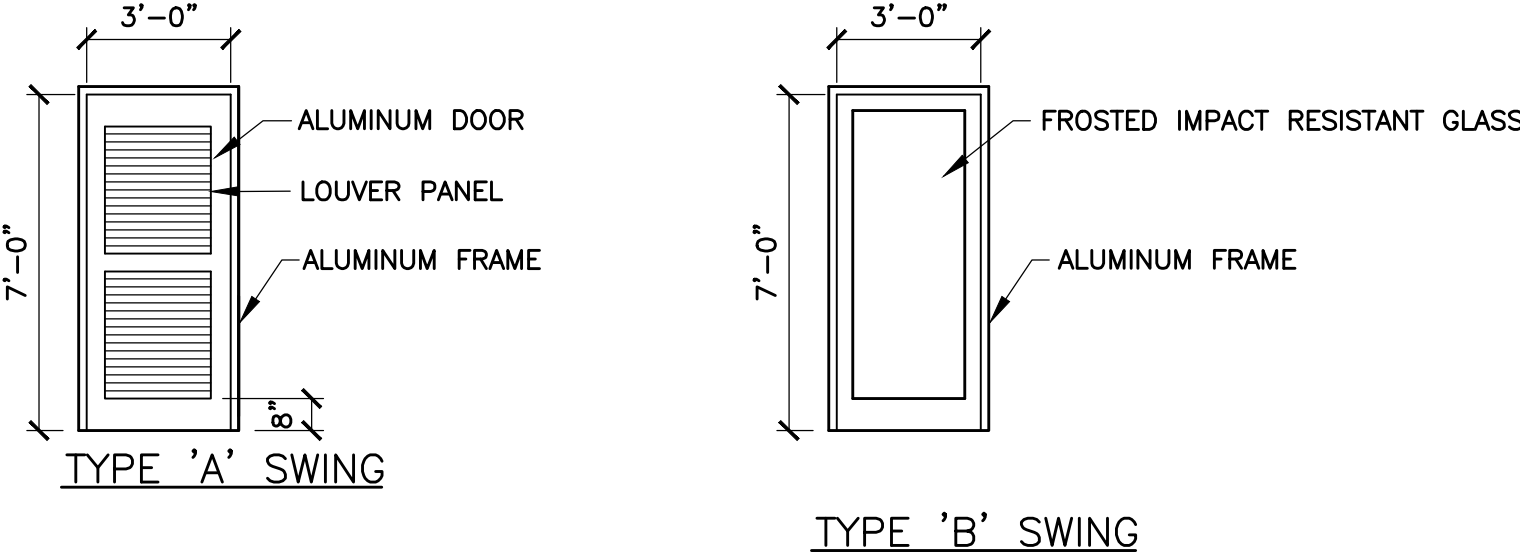
FT-1 BID ALTERNATE: BRUSHED CONCRETE (COF \geq .80 WET/DRY)



| FINISH SCHEDULE - BUILDING B | | | | | | | | | | | | |
|---|-------|------------------------------------|---|--|---------|--|--|--|--|---|----|------------------------------|
| ROOM NAME | FLOOR | BASE | WALLS | CEILING | REMARKS | | | | | | | |
| | | PORCELAIN TILE CONCRETE, SEALED | TILE BASE VINYL WALL TILE GYP.BD.-PAINT M.R. GYP.BD. PAINT CERAMIC TILE CERAMIC TILE 9'-0" HEIGHT EXPOSED STRUC. PAINTED PAINTED FIBER CEMENT BOARD EXISTING GYP. BD. PAINTED STRUCTURE PAINTED GYP.BD.-PAINT CEILING HEIGHT A.F.F. | CERAMIC TILE WHERE PLACED ON METAL FRAME WALL CONST. SHALL BE MOUNTED OVER 5/8" FIBER-CEMENTITIOUS BD. IN LIEU OF MOISTURE RESISTANT GYP. BD. USED ELSEWHERE IN WET LOCATIONS. | | | | | | | | |
| 101 WOMEN | ○ | ○ | ○ | | | | | | | ○ | 9° | CERAMIC TILE TO 9'-0" A.F.F. |
| 105 MEN | ○ | ○ | ○ | | | | | | | ○ | 9° | CERAMIC TILE TO 9'-0" A.F.F. |
| 102 H.C.#1 | ○ | ○ | ○ | | | | | | | ○ | 9° | CERAMIC TILE TO 9'-0" A.F.F. |
| 106 H.C.#2 | ○ | ○ | ○ | | | | | | | ○ | 9° | CERAMIC TILE TO 9'-0" A.F.F. |
| 103 WOMEN SHOWER | ○ | ○ | ○ | | | | | | | ○ | 9° | CERAMIC TILE TO 9'-0" A.F.F. |
| 107 MEN SHOWER | ○ | ○ | ○ | | | | | | | ○ | 9° | CERAMIC TILE TO 9'-0" A.F.F. |
| 104 H.C. SHOWER#1 | ○ | ○ | ○ | | | | | | | ○ | 9° | CERAMIC TILE TO 9'-0" A.F.F. |
| 108 H.C. SHOWER#2 | ○ | ○ | ○ | | | | | | | ○ | 9° | CERAMIC TILE TO 9'-0" A.F.F. |
| 109 H/W CLOSET | | | | | | | | | | ○ | | EXIST, TO REMAIN A.F.F |
| 110 LAUNDRY ROOM | ○ | | ○ | | | | | | | ○ | 9° | CERAMIC TILE TO 9'-0" A.F.F. |
| NOTE: CERAMIC TILE SELECTIONS: see sheet A-5 for details. | | | | | | | | | | | | |

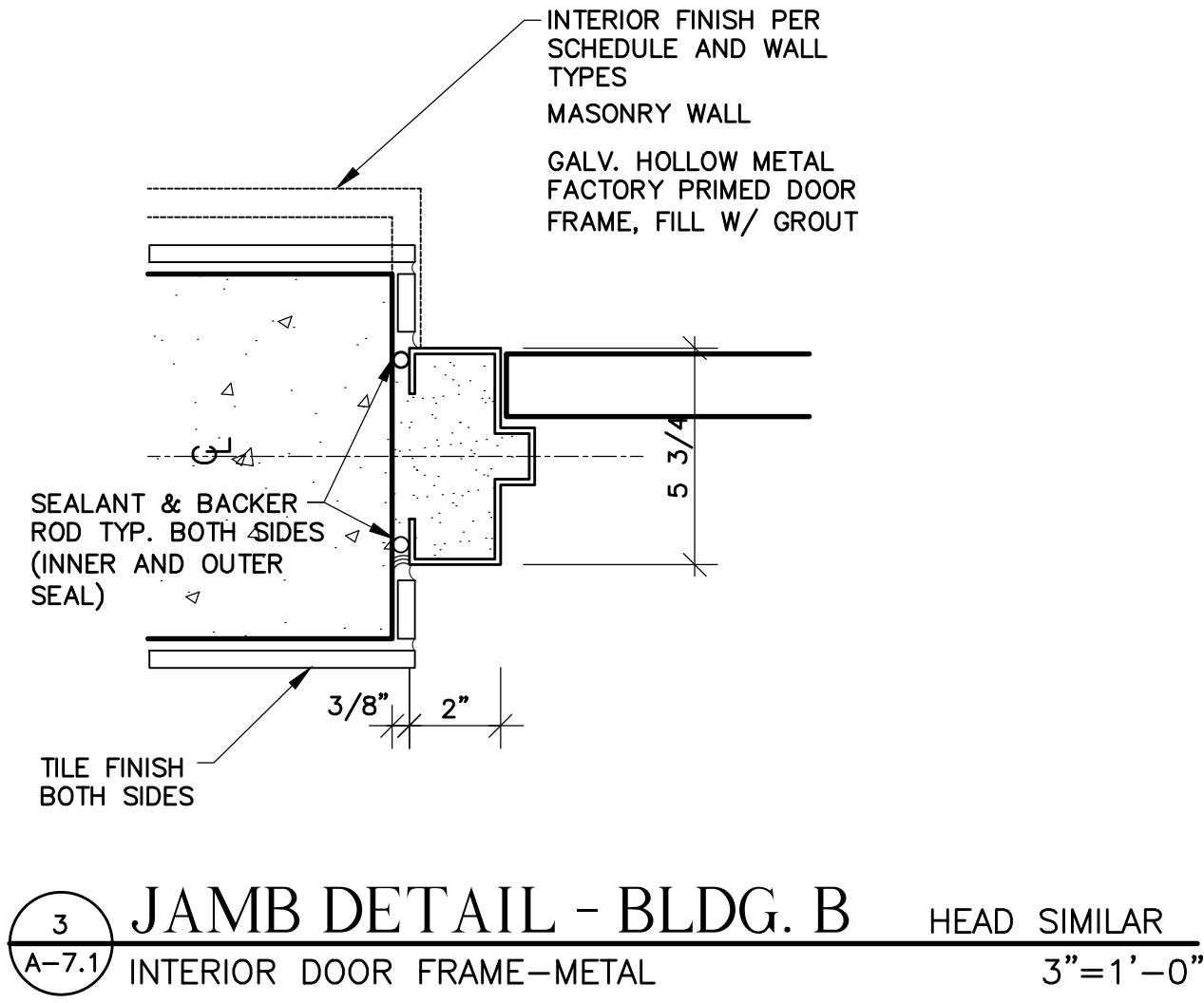
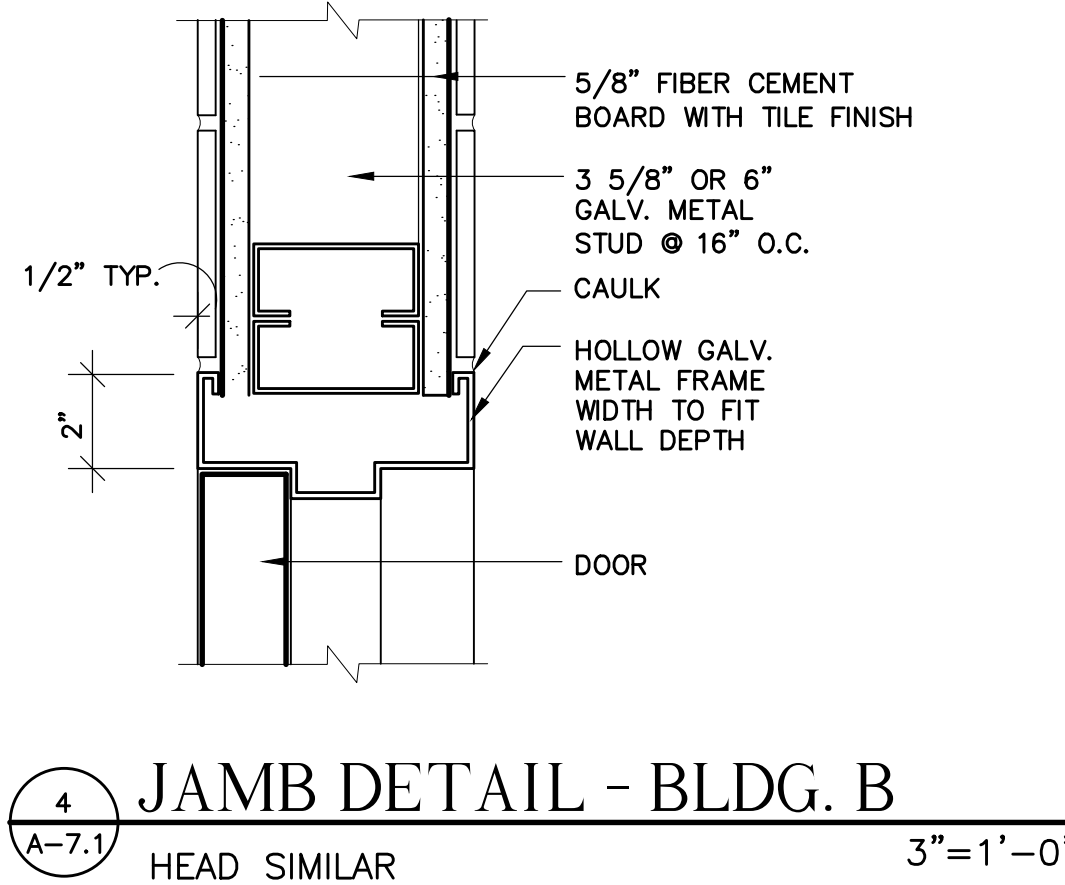
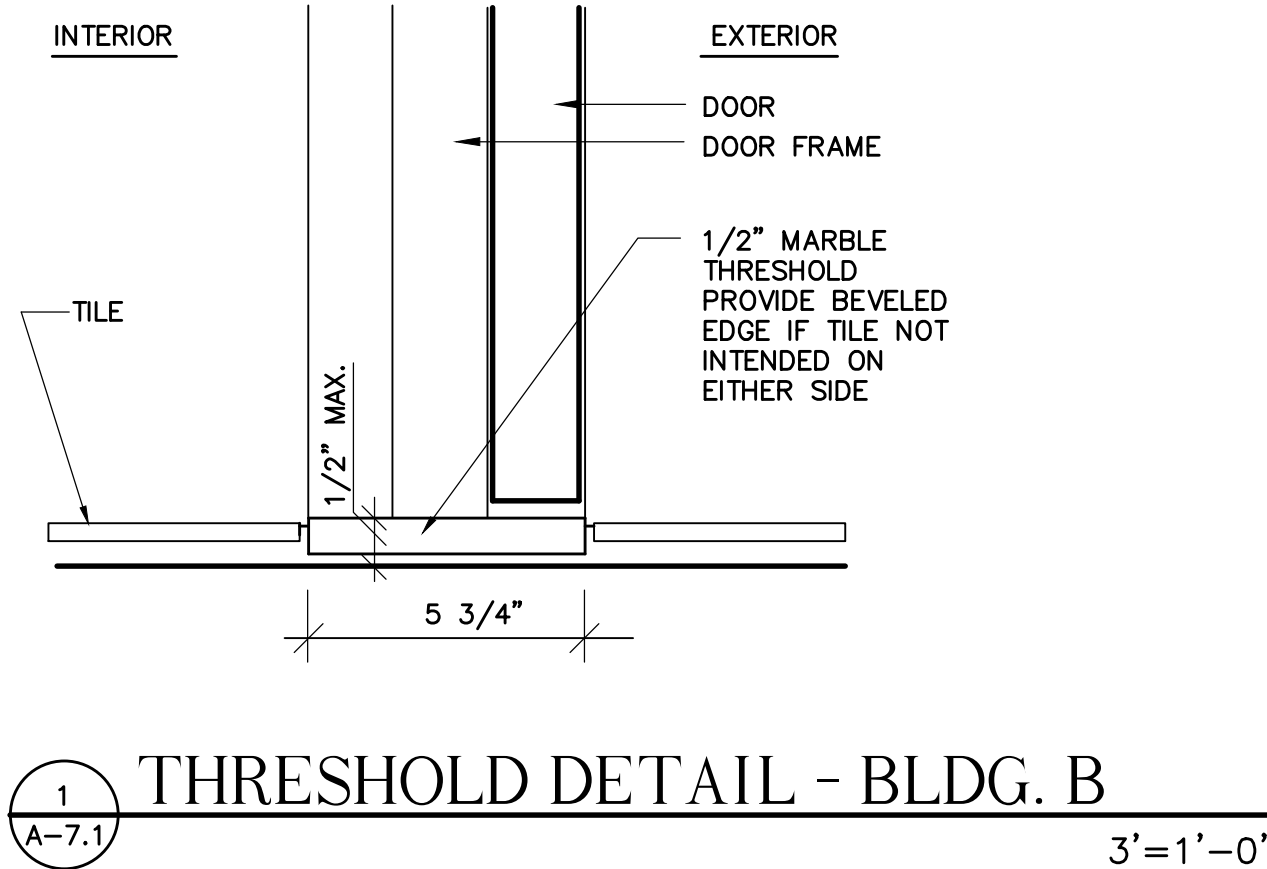
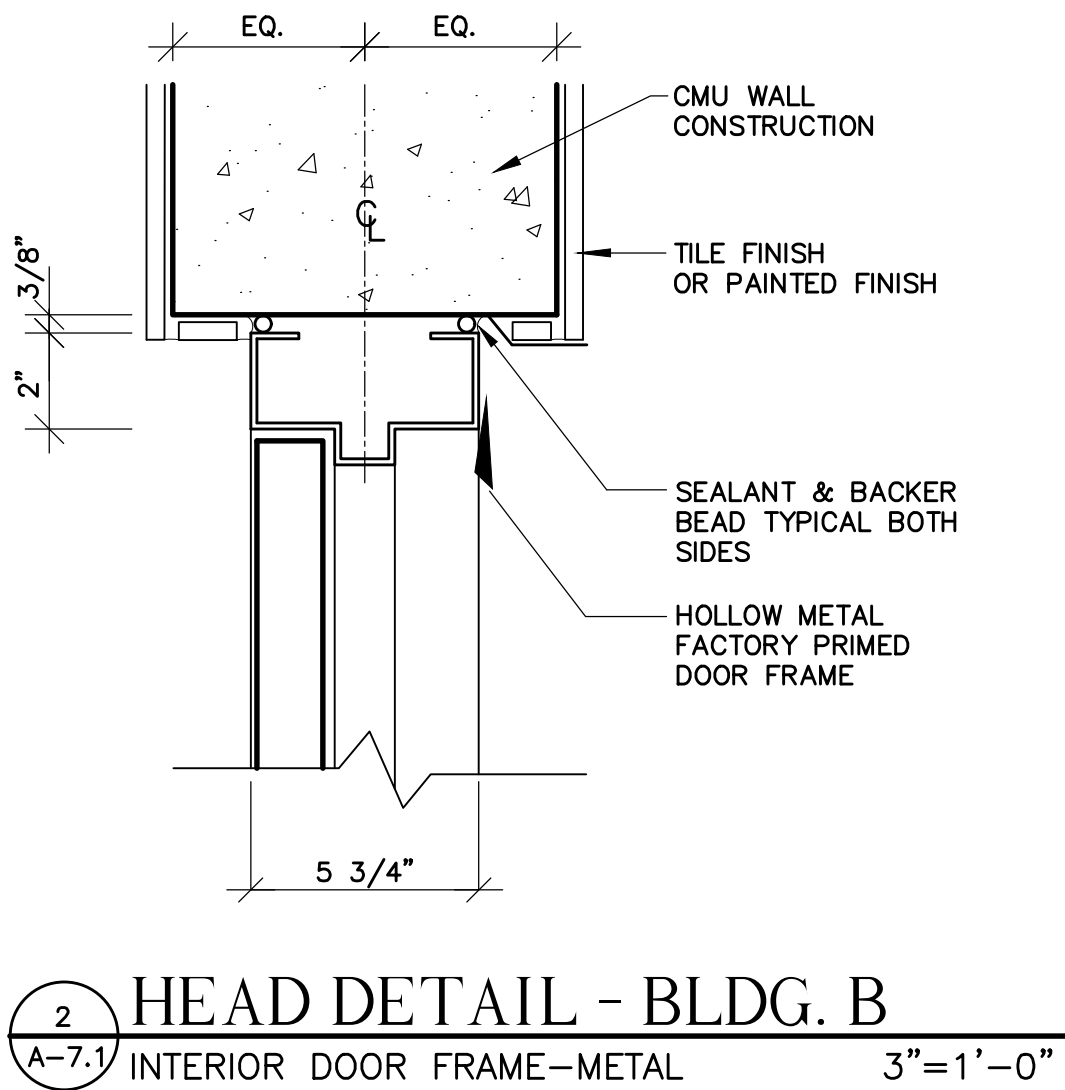
| DOOR SCHEDULE - BUILDING B | | | | | | | | | | | | |
|----------------------------|-------|-------|--------|-------------|----------|--------|-------------|----------|--------|------------|------|--------------------------------------|
| NO. | SIZE | WIDTH | HEIGHT | THICK | DOOR | | | FRAME | | | H.W. | REMARKS |
| | | | | | MATERIAL | FINISH | TYPE | MATERIAL | FINISH | HARDWARE | | |
| 01 WOMEN'S RESTROOM | 3'-0" | 7'-0" | 1 3/4" | ALUM/ GLASS | PAINT | B | GALV. METAL | PAINT | 1 | 16-0329.04 | ±70 | +44.83/-58.29 INSET OBSCURED GLAZING |
| 02 WOMEN'S STANDARD SHOWER | 3'-0" | 7'-0" | 1 3/4" | ALUM/ GLASS | PAINT | B | GALV. METAL | PAINT | 2 | | | |
| 03 WOMEN'S H.C. SHOWER | 3'-0" | 7'-0" | 1 3/4" | ALUM | PAINT | A | GALV. METAL | PAINT | 2-A | | | |
| 04 MEN'S RESTROOM | 3'-0" | 7'-0" | 1 3/4" | ALUM | PAINT | A | GALV. METAL | PAINT | 1 | 16-0329.04 | ±70 | +44.83/-48.76 INSET OBSCURED GLAZING |
| 05 MEN'S STANDARD SHOWER | 3'-0" | 7'-0" | 1 3/4" | ALUM | PAINT | A | GALV. METAL | PAINT | 2 | | | |
| 06 MEN H.C. SHOWER | 3'-0" | 7'-0" | 1 3/4" | ALUM | PAINT | A | GALV. METAL | PAINT | 2-A | | | |
| 07 JANITOR'S CLOSET | 3'-0" | 7'-0" | 1 3/4" | ALUM | PAINT | A | GALV. METAL | PAINT | 1-A | | | |
| 08 LAUNDRY ROOM | 3'-0" | 7'-0" | 1 3/4" | ALUM/ GLASS | PAINT | B | GALV. METAL | PAINT | 1-A | 16-0329.04 | ±70 | +44.83/-48.76 CLEAR Low-E GLAZING |

NOTES:
1. ALL EXTERIOR DOORS TO BE IMPACT RESISTANT AND STORM PROOF AND HAVE WEATHERSTRIPPING AND INSULATION.
2. ALL FIRE RATED DOORS TO HAVE LABELS NOTING RATING AND HAVE CLOSURES.
3. SEE STRUCTURAL FOR DESIGN PRESSURES.
4. ALL NEW WINDOWS AND DOORS TO COMPLY WITH FLORIDA COMMERCIAL ENERGY CONSERVATION BUILDING CODE 2014 PRESCRIPTIVE METHOD.
5. CONTRACTOR TO ENSURE ALL NEW EXTERIOR DOORS AND WINDOWS ARE SEALED TO COMPLY WITH AIR LEAKAGE AND AIR BARRIER REQUIREMENTS AS DEFINED BY FLORIDA COMMERCIAL ENERGY CONSERVATION BUILDING CODE 2014 SECTION C402.4, AND TABLE C402.4.3.
WINDOWS=.2 CFM PER SQUARE FOOT
SWINGING GLAZED DOORS .5 CFM PER SQUARE FOOT
6. ALL EXTERIOR FENESTRATIONS SHALL HAVE A MAXIMUM U-FACTOR AND SHGC AS PER FLORIDA COMMERCIAL ENERGY CONSERVATION BUILDING CODE 2014 PRESCRIPTIVE METHOD.
FIXED WINDOWS: MAX U-FACTOR=0.50, MAX SHGC=.25
ENTRY DOORS: MAX U-FACTOR=1.10, MAX SHGC=.25



HARDWARE SETS
SET NO. 1-EXIT
1 1/2 PAIR BUTTS 4 1/2"
1 PANIC PUSH BAR W/ EXTERIOR KEY OPERATION
1 SET WEATHER STRIPPING THRESHOLD
2 KICK PLATES
CLOSURE W/ HOLD OPEN
LATCHSET-MORTISE LEVER (HC) IN LIEU OF PANIC BAR AND WITHOUT WEATHERSTRIPPING
SET NO. 1-A SAME WITH
SET NO. 2-TOILETS-H.C.
1 1/2 PAIR BUTTS 4 1/2"
1 LATCHSET-MORTISE LEVER (H.C.)
1 WALL STOP WITH HOLDER
3 SILENCERS
1 CLOSER W/HOLD OPENER
SET NO. 2-A SAME WITH
PRIVACY LOCK MORTISE LEVER-H.C. IN LIEU OF LATCHSET

NOTES:
1. ALL HARDWARE SHALL BE BRUSHED STAINLESS STEEL FINISH
2. ALL HARDWARE TO BE HANDICAP COMPLIANT
3. ALL HARDWARE TO BE, ANSI GRADE 1 FOR HEAVY COMMERCIAL OR BETTER.
4. ALL LOCKS SHALL BE KEYED IN ACCORDANCE WITH THE OWNERS INSTRUCTIONS AND SHALL INCLUDE A MASTER AND GRAND MASTER KEYING SYSTEM. COORDINATE WITH OWNER.
ALL LOCKS SHALL BE INSTALLED BY THE CONTRACTOR AND INCLUDED IN THE BASE BID.
5. BASIS OF DESIGN HARDWARE FOR EXTERIOR STEEL DOOR IS SCHLAGE. SEE N.O.A. 15-0427.04



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RESTROOMS AND
LAUNDRY
RENOVATIONS
KEY WEST, FLORIDA.

SEAL

DATE
02-29-16 HARC
01-31-17 BID SET
03-08-17 ADDENDUM #2

REVISIONS

DRAWN BY
KMA EVK

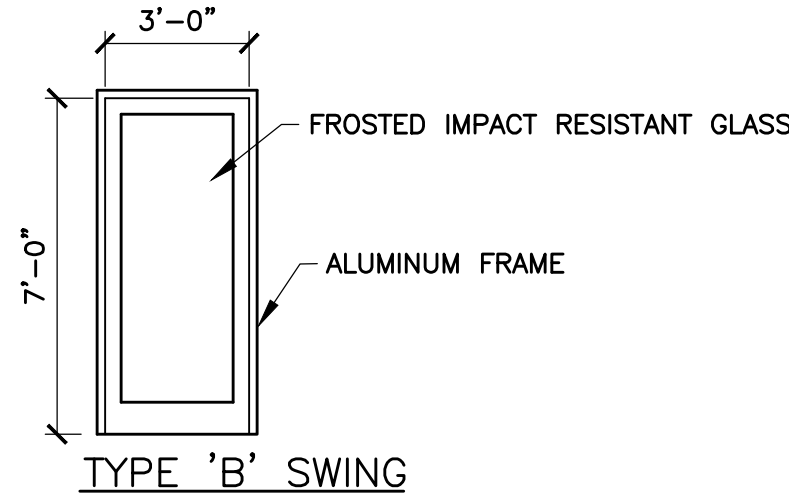
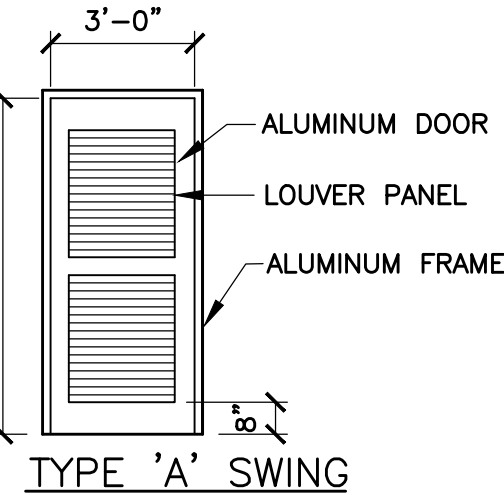
PROJECT
NUMBER
1408

| LOUVER SCHEDULE-BUILDING A | | | | | | | | | |
|---|-------|-------|-------------------|--------------------------------|------------|------------|-------------|---------------|--|
| BASIS OF DESIGN: GREENHECK FAN CORP. MODEL EACA-801D ALUM. LOUVER SYSTEM WITH DAMPER OR EQUAL BY ANOTHER SINGLE MANUFACTURER, SEE SPECIFICATIONS. | | | | | | | | | |
| | W | HT. | MATERIAL | DESCRIPTION | MANUF. | N.O.A | TEST LOAD'G | CALC. LOAD'G | REMARKS |
| (L1) | 3'-0" | 3'-0" | PREFINISHED ALUM. | IMPACT LOUVER W/ MANUAL DAMPER | GREEN HECK | 16-0201.06 | +110/-110 | +53.83/-72.07 | W/ METAL HOUS'G FOR DUCTED CONNECTION, INTAKE OR EXHAUST |

| WINDOW SCHEDULE-BUILDING A | | | | | | | | | |
|----------------------------|------------------|--------------|-------------|----------------|------------|----------------|------------|---------------|---|
| | SIZE (M.O.) | TYPE | FINISH | GLAZING | FRAME MAT. | MANUF. | N.O.A | CALC. LOAD'G | REMARKS |
| (A) | 3x4 ⁶ | FIXED WINDOW | PREFINISHED | CLEAR - IMPACT | ALUMINUM | CGI SERIES 238 | 13-0606.06 | +52.78/-57.34 | 3/4" INSULATED LAMINATED CLEAR LowE 270 |
| (B) | 3x3 ⁰ | FIXED WINDOW | PREFINISHED | CLEAR - IMPACT | ALUMINUM | CGI SERIES 238 | 13-0606.06 | +53.83/-72.07 | 3/4" INSULATED LAMINATED CLEAR LowE 270 |

| DOOR SCHEDULE-BUILDING A | | | | | | | | | | | | | | | |
|--------------------------|-----------------------------|-------|--------|--------|------------|--------|-------|-------------|-------------|----------|------------|------------------|--------------------|---------|--|
| NO. | | SIZE | | | DOOR | | | FRAME | | | N.O.A. # | TESTED LOAD'G | DESIGN PRESSURE | REMARKS | |
| | | WIDTH | HEIGHT | THICK | MATERIAL | FINISH | TYPE | MATERIAL | FINISH | HARDWARE | | | | | |
| 01 | H/W | 3'-0" | 7'-0" | 1 3/4" | | PAINT | A | GALV. METAL | PAINT | 1-A | | | | | |
| 02 | WOMEN'S TRANSIENT SHOWERS | 3'-0" | 7'-0" | 1 3/4" | | ALUM | PAINT | A | GALV. METAL | PAINT | 1-A | | | | |
| 03 | TOILET AND SHOWER ROOM | 3'-0" | 7'-0" | 1 3/4" | | ALUM | PAINT | A | GALV. METAL | PAINT | 2 | | | | |
| 04 | TOILET AND SHOWER ROOM | 3'-0" | 7'-0" | 1 3/4" | | ALUM | PAINT | A | GALV. METAL | PAINT | 2 | | | | |
| 05 | H.C. TOILET AND SHOWER ROOM | 3'-0" | 7'-0" | 1 3/4" | | ALUM | PAINT | A | GALV. METAL | PAINT | 2-A | | | | |
| 06 | H.C. TOILET AND SHOWER ROOM | 3'-0" | 7'-0" | 1 3/4" | ALUM | PAINT | A | GALV. METAL | PAINT | 2-A | | | | | |
| 07 | TOILET AND SHOWER ROOM | 3'-0" | 7'-0" | 1 3/4" | ALUM | PAINT | A | GALV. METAL | PAINT | 2 | | | | | |
| 08 | TOILET AND SHOWER ROOM | 3'-0" | 7'-0" | 1 3/4" | ALUM | PAINT | A | GALV. METAL | PAINT | 2 | | | | | |
| 09 | MEN'S TRANSIENT SHOWERS | 3'-0" | 7'-0" | 1 1/2" | ALUM | PAINT | A | GALV. METAL | PAINT | 1-A | | | | | |
| 10 | LAUNDRY AND SHOWER ROOM | 3'-0" | 7'-0" | 1 3/4" | ALUM/GLASS | PAINT | B | ALUM/GLASS | PAINT | 1 | 16-0329.04 | ±70 | +51.23/-66.88 | | |
| 11 | WOMEN'S PUBLIC TOILETS | 3'-0" | 7'-0" | 1 3/4" | ALUM/GLASS | PAINT | B | ALUM/GLASS | PAINT | 1 | 16-0329.04 | ±70 | +51.23/-66.88 | | |
| 12 | MEN'S PUBLIC TOILETS | 3'-0" | 7'-0" | 1 3/4" | ALUM/GLASS | PAINT | B | ALUM/GLASS | PAINT | 1 | 16-0329.04 | ±70 | +51.23/-66.88 | | |
| 13 | JANITOR'S CLOSET | 3'-0" | 7'-0" | 1 3/4" | ALUM | PAINT | A | GALV. METAL | PAINT | 1-A | | | | | |
| | | | | | | | | | | | | | | | |

- NOTES:
1. ALL EXTERIOR DOORS TO BE IMPACT RESISTANT AND STORM PROOF AND HAVE WEATHERSTRIPPING AND INSULATION.
 2. ALL FIRE RATED DOORS TO HAVE LABLES NOTING RATING AND HAVE CLOSURES.
 3. SEE STRUCTURAL FOR DESIGN PRESSURES.
 4. ALL NEW WINDOWS AND DOORS TO COMPLY WITH FLORIDA COMMERCIAL ENERGY CONSERVATION BUILDING CODE 2014 PRESCRIPTIVE METHOD.
 5. CONTRACTOR TO ENSURE ALL NEW EXTERIOR DOORS AND WINDOWS ARE SEALED TO COMPLY WITH AIR LEAKAGE AND AIR BARRIER REQUIREMENTS AS DEFINED BY FLORIDA COMMERCIAL ENERGY CONSERVATION BUILDING CODE 2014 SECTION C402.4, AND TABLE C402.4.3.
 6. ALL EXTERIOR FENESTRATIONS SHALL HAVE A MAXIMUM U-FACTOR AND SHGC AS PER FLORIDA COMMERCIAL ENERGY CONSERVATION BUILDING CODE 2014 PRESCRIPTIVE METHOD.
- FIXED WINDOWS: MAX U-FACTOR=0.50, MAX SHGC=.25
ENTRY DOORS: MAX U-FACTOR=1.10, MAX SHGC=.25



HARDWARE SETS

SET NO. 1-EXIT

- 1 1/2 PAIR BUTTS 4 1/2"
- 1 PANIC PUSH BAR W/ EXTERIOR KEY OPERATION
- 1 SET WEATHER STRIPPING
- 1 THRESHOLD
- 3 SILENCERS
- 2 KICK PLATES
- CLOSURE W/ HOLD OPEN

SET NO. 1-A SAME WITH

LATCHSET-MORTISE LEVER (HC) IN LIEU OF PANIC BAR AND WITHOUT WEATHERSTRIPPING

NOTES:

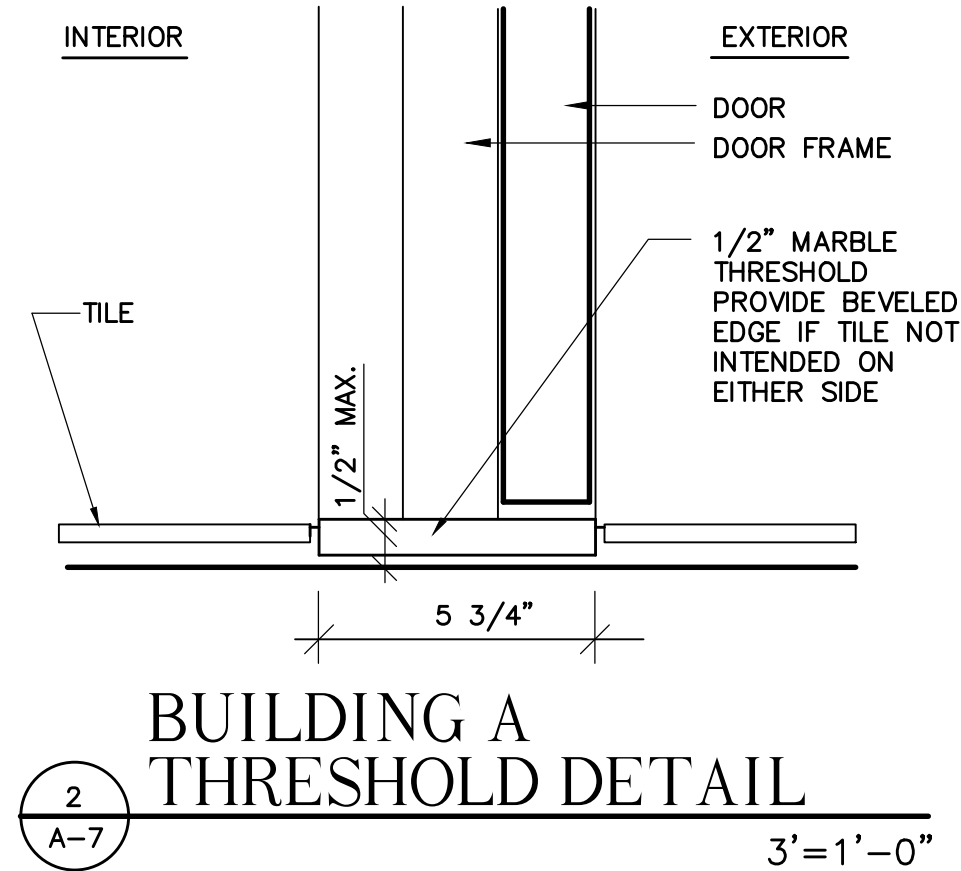
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4. ALL LOCKS SHALL BE KEYED IN ACCORDANCE WITH THE OWNERS INSTRUCTIONS AND SHALL INCLUDE A MASTER AND GRAND MASTER KEYING SYSTEM. COORDINATE WITH OWNER.
5. BASIS OF DESIGN HARDWARE FOR EXTERIOR STEEL DOOR IS SCHLAGE. SEE N.O.A 15-0427.04

SET NO. 2 TOILETS-H.C.

- 1 1/2 PAIR BUTTS 4 1/2"
- 1 LATCHSET-MORTISE LEVER (H.C.)
- 1 WALL STOP WITH HOLDER
- 3 SILENCERS
- 1 CLOSER WITH HOLD OPEN

SET NO. 2-A SAME WITH

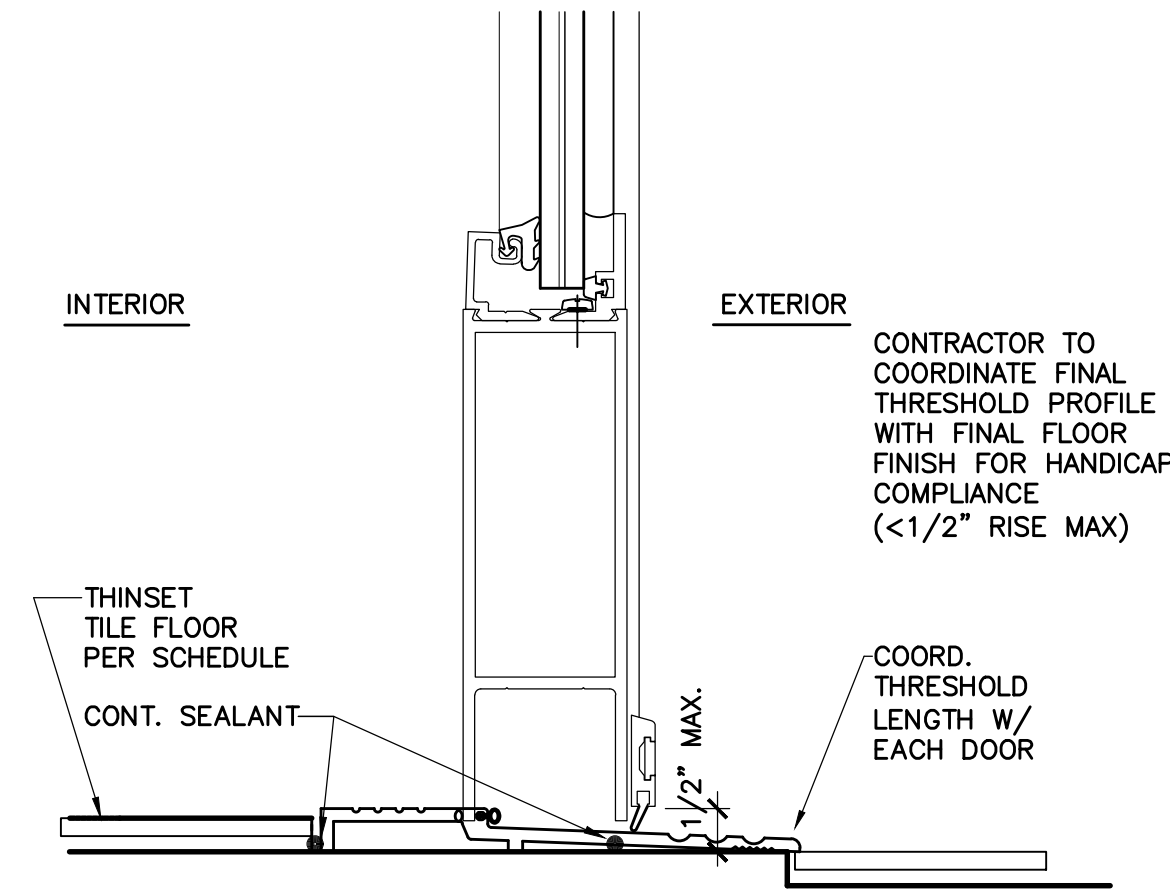
PRIVACY LOCK MORTISE LEVER-H.C. IN LIEU OF LATCHSET



BUILDING A THRESHOLD DETAIL

(2)
A-7

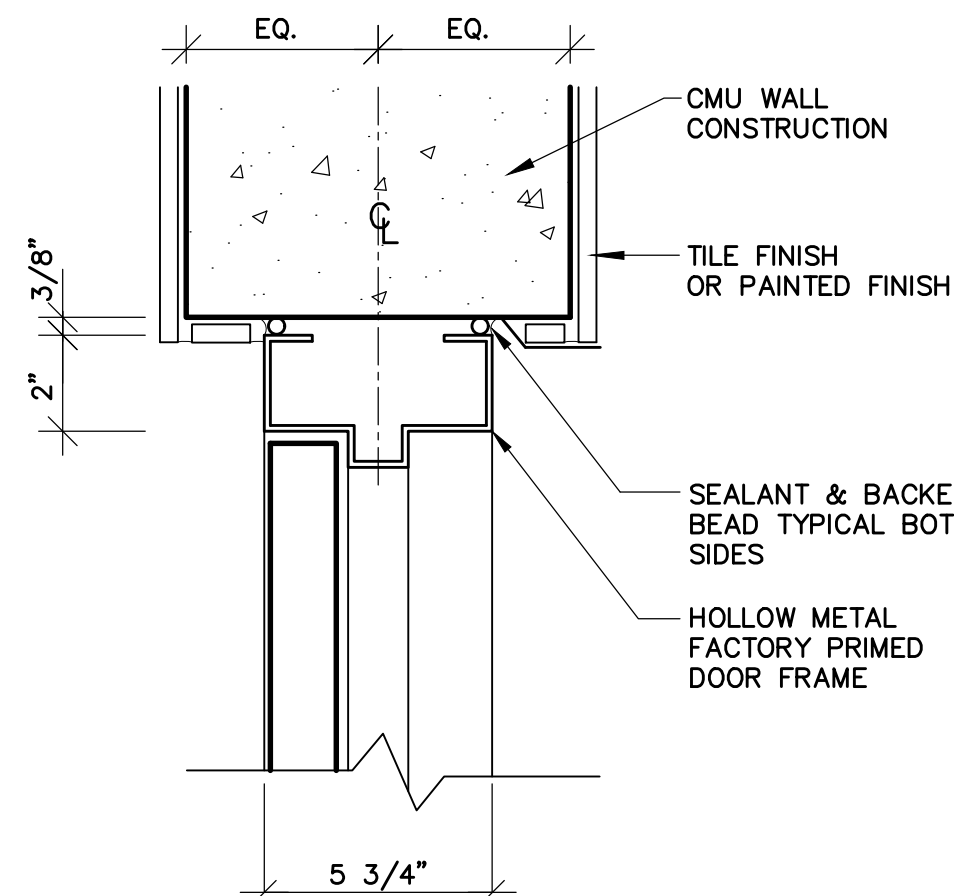
3'=1'-0"



BUILDING A THRESHOLD DETAIL

(1)
A-7

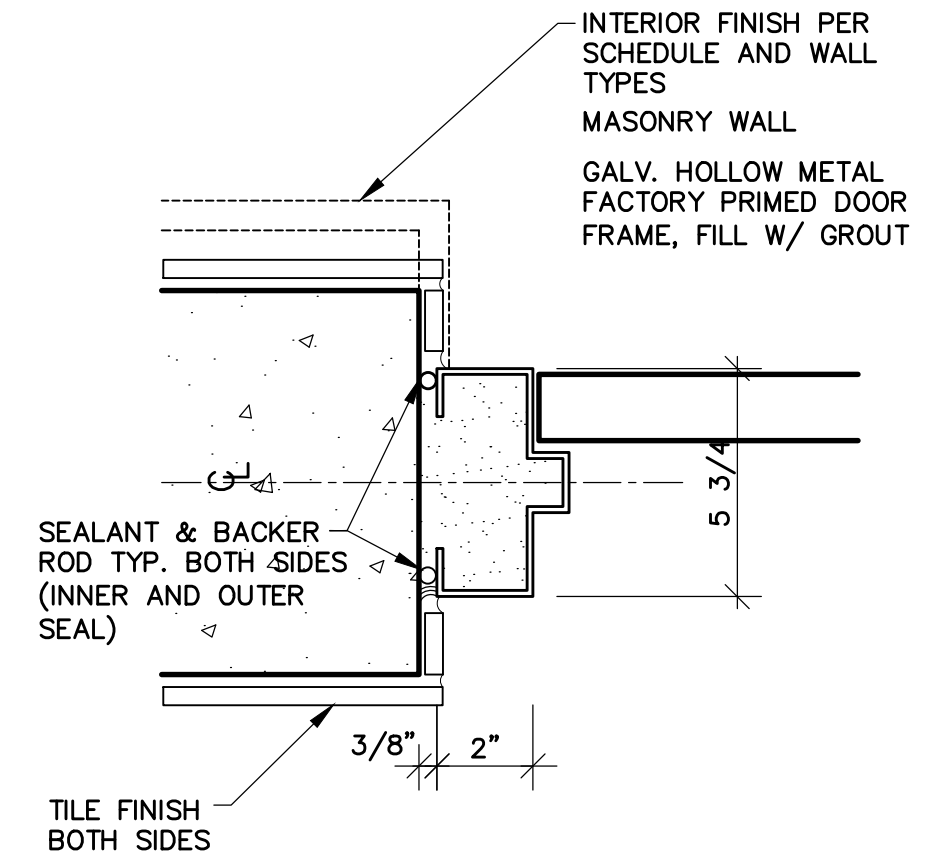
FOR USE @ EXTERIOR DOORS WITH WEATHER STRIPPING 3'=1'-0"



BUILDING A HEAD DETAIL

(4)
A-7

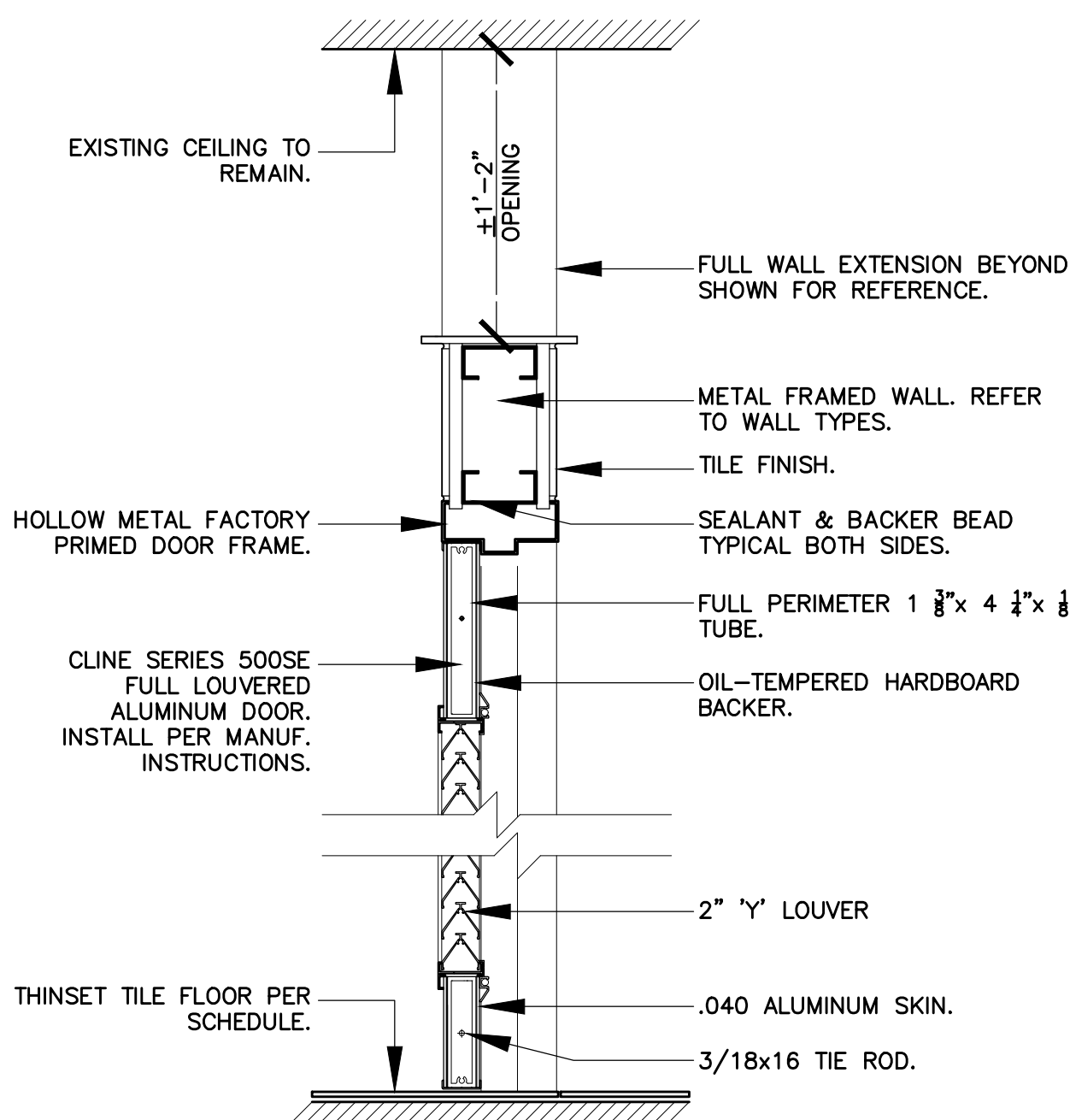
INTERIOR DOOR FRAME-METAL 3'=1'-0"



BUILDING A JAMB DETAIL

(3)
A-7

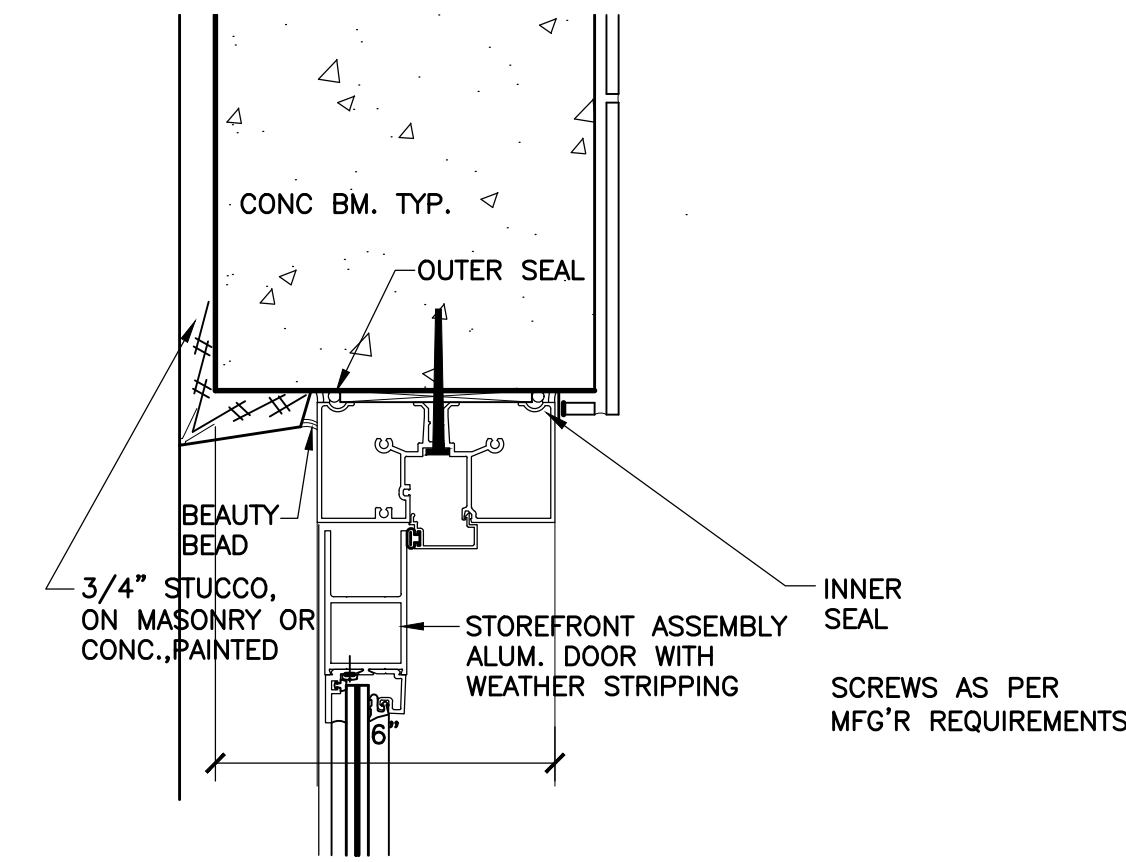
HEAD SIMILAR INTERIOR DOOR FRAME-METAL 3'=1'-0"



BUILDING A LOUVER AND DOOR DETAIL

(7)
A-7

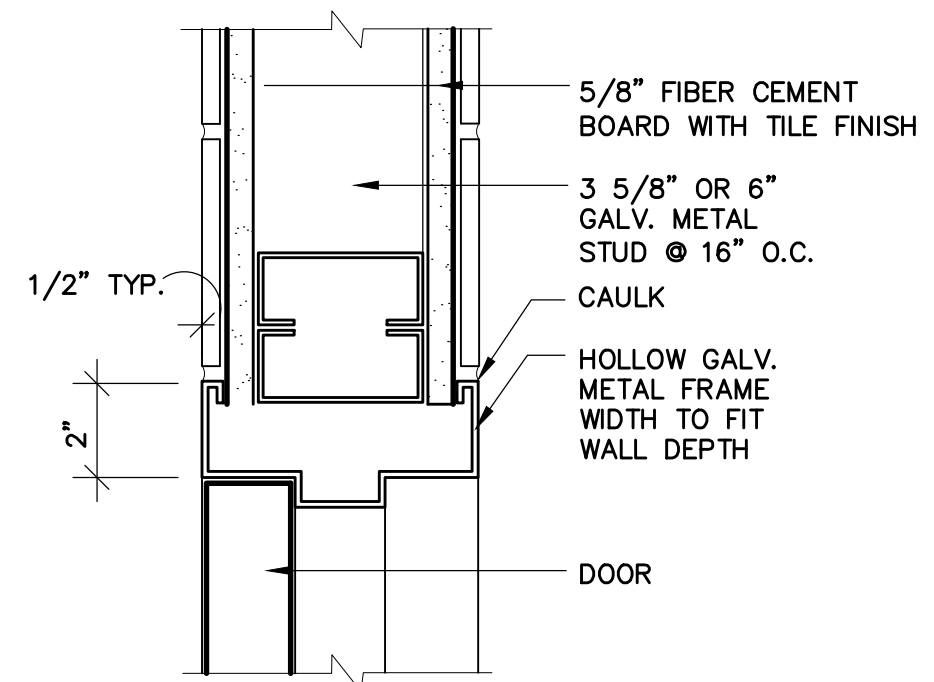
HEAD SIMILAR 1 1/2'=1'-0"



BUILDING A HEAD DETAIL

(6)
A-8

JAMB SIMILAR, EXTERIOR DOOR 3'=1'-0"



BUILDING A JAMB DETAIL

(5)
A-7

HEAD SIMILAR 3'=1'-0"

| FINISH SCHEDULE-BUILDING A | | | | | | | | | |
|----------------------------|-------------------------|------|-------|---------|---------|---|---|---|--|
| ROOM NAME | FLOOR | BASE | WALLS | CEILING | REMARKS | | | | |
| | | | | | | | | | |
| 201 | LAUNDRY | ○ | ○ | ○ | ○ | ○ | ○ | ○ | CERAMIC TILE WHERE PLACED ON METAL FRAME WALL CONST. SHALL BE MOUNTED OVER 5/8" FIBER-CEMENTITIOUS BD. IN LIEU OF MOISTURE RESISTANT GYP. BD. USED ELSEWHERE IN WET LOCATIONS. |
| 202 | H/W | ○ | ○ | ○ | ○ | ○ | ○ | ○ | CERAMIC TILE TO 9'-0"± A.F.F. |
| 207 | H.C. SHOWER ROOM | ○ | ○ | ○ | ○ | ○ | ○ | ○ | CERAMIC TILE TO 9'-0"± A.F.F. |
| 204 | WOMEN TRANSIENT SHOWERS | ○ | ○ | ○ | ○ | ○ | ○ | ○ | CERAMIC TILE TO 9'-0"± A.F.F. |
| 211 | H.C.#2 SHOWER ROOM | ○ | ○ | ○ | ○ | ○ | ○ | ○ | CERAMIC TILE TO 9'-0"± A.F.F. |
| 208 | MEN TRANSIENT SHOWERS | ○ | ○ | ○ | ○ | ○ | ○ | ○ | CERAMIC TILE TO 9'-0"± A.F.F. |
| 205 | SHOWER ROOM | ○ | ○ | ○ | ○ | ○ | ○ | ○ | CERAMIC TILE TO 9'-0"± A.F.F. |
| 206 | SHOWER ROOM | ○ | ○ | ○ | ○ | ○ | ○ | ○ | CERAMIC TILE TO 9'-0"± A.F.F. |
| 209 | SHOWER ROOM | ○ | ○ | ○ | ○ | ○ | ○ | ○ | CERAMIC TILE TO 9'-0"± A.F.F. |
| 210 | SHOWER ROOM | ○ | ○ | ○ | ○ | ○ | ○ | ○ | CERAMIC TILE TO 9'-0"± A.F.F. |
| 203 | HALLWAY | ○ | ○ | ○ | ○ | ○ | ○ | ○ | CERAMIC TILE TO 9'-0"± A.F.F. |
| 212 | WOMEN PUBLIC TOILET | ○ | ○ | ○ | ○ | ○ | ○ | ○ | CERAMIC TILE TO 9'-0"± A.F.F. |
| 214 | JANITOR | ○ | ○ | ○ | ○ | ○ | ○ | ○ | CERAMIC TILE TO 9'-0"± A.F.F. |
| 213 | MEN PUBLIC TOILET | ○ | ○ | ○ | ○ | ○ | ○ | ○ | CERAMIC TILE TO 9'-0"± A.F.F. |
| 200 | COVERED PORCH | ○ | ○ | ○ | ○ | ○ | ○ | ○ | CERAMIC TILE TO 9'-0"± A.F.F. |

NOTE: CERAMIC TILE SELECTIONS: see sheet A-8 for details.

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SEAL

DATE

02-29-16 HARC
01-31-17 BID SET
03-08-17 ADDENDUM #2

REVISIONS

DRAWN BY

KMA EVK

PROJECT

NUMBER

1408

A-7

KEY WEST HISTORIC SEAPORT PUBLIC TOILET FACILITY

KEY WEST, FLORIDA

A. SILICONIZED ACRYLIC CAULK - 25 YEARS, PAINTABLE, NON-STAINING, MILDEW RESISTANT. FOR INTERIOR AND EXTERIOR USE, WOOD AND MASONRY, AS A FILLER FOR CRACKS VOIDS AND HOLES IN PREPARATION FOR PAINT OR OTHER FINISH. - SEE EXISTING WOOD PREPARATION.

B. POLYSEAMSEAL ALL PURPOSE ADHESIVE CAULK, PAINTABLE, NON-STAINING, MILDEW RESISTANT. FOR INTERIOR AND EXTERIOR USE AS A FILLER AND JOINT SEAL AT TILE, TUB AND COUNTERS.

C. SILICONE RUBBER SEALANT - FSST-S-001543, CLASS A, ONE PART NON-SAG LOW MODULES SILICONE RUBBER SEALANT. FOR INTERIOR AND EXTERIOR USE IN WORKING JOINTS WHERE SOME MOVEMENT IS ANTICIPATED, WOOD, MASONRY, METAL AND GLASS. PROVIDE BACKER ROD DEPTH CONTROL IN ALL JOINTS IN EXCESS OF 1/4"

D. ALL INTERIOR ARCHITECTURAL CAULKS AND SEALANTS TO HAVE A VOC LIMIT OF 250 G/L.

DIVISION 8 - DOOR AND WINDOWS

DOORS AND WINDOWS SHALL BE PROVIDED WITH STORM PROTECTION AND WIND PRESSURES REQUIRED BY CODE, EITHER BY DESIGN OF EA. INDIVIDUAL UNIT TO WITHSTAND REQ. LOADING. CONTRACTOR TO COORD WITH OWNER/ARCHITECT PRIOR TO BIDDING. UNLESS OTHERWISE NOTED, PLACE WINDOWS AND DOORS FLUSHED TO THE INSIDE FACE OF THE WALL AND ADD REQUIRED TRIM AND SILL TO OUTSIDE OF WALL.

08100 - DOORS AND WINDOWS SHALL BE MANUFACTURED UNITS DESIGNED AND INSTALLED TO ALLOW A MAXIMUM OF 0.5 CFM INFILTRATION PER LINEAR FOOT OF OPERABLE SASH CRACK AND A MAXIMUM 0.5 CFM PER SQ.FT. OF EXTERIOR DOOR AREA OR AS DEFINED BY FLORIDA COMMERCIAL ENERGY CONSERVATION BUILDING CODE 2014 PRESCRIPTIVE METHOD. UNITS SHALL BE GASKETED, WEATHER-STRIPPED OR OTHERWISE SEALED.

08106 - BATHROOM WINDOWS AND DOORS SHALL BE PROVIDED WITH TRANSLUCENT FROSTED GLAZING UNLESS SPECIFICALLY NOTED OTHERWISE.

08110 - STANDARD STEEL DOORS AND FRAMES:

A. DOORS: SEAMLESS COMPOSITE CONSTRUCTION STANDARD STEEL DOORS FOR INTERIOR AND EXTERIOR LOCATIONS (GALVANIZED G90). DOORS TO BE PROVIDED IN THE TYPES AND STYLES INDICATED, AND IN ACCORDANCE WITH ANSI/SDI-100, GRADE III, EXTRA HEAVY DUTY, W/MINIMUM 16 GAUGE GALVANIZED STEEL FACES. COMPLY WITH THE APPLICABLE REQUIREMENTS OF ANSI A115 SERIES SPECIFICATIONS FOR DOOR AND FRAME, PREPARATION FOR HARDWARE.

B. FRAMES TO BE MINIMUM 16 GAGE AT INTERIOR LOCATIONS AND 14 GAGE AT EXTERIOR LOCATIONS, GALVANIZED STEEL WITH MITERED; WELDED CONSTRUCTION, AND CONCEALED ANCHORS TO SUITE WALL CONSTRUCTION.

C. DOORS AND FRAMES SHALL BE FACTORY PRIMED FOR FIELD PAINTING.

D. SHOP DRAWING SUBMITTAL SHOWING FABRICATION, INSTALLATION, ANCHORAGE AND LABEL CONSTRUCTION CERTIFICATION OF FIRE-RATED ASSEMBLIES, IS REQUIRED FOR APPROVAL PRIOR TO ANY FABRICATION OR DELIVERY OF MATERIAL.

08520 - ALUMINUM WINDOWS SHALL BE MANUFACTURED UNITS OF TYPE AND NOMINAL SIZE INDICATED WITH FACTORY PAINTED WHITE FINISH. PROVIDE IMPACT RESISTANT GLASS AND MULLIONS WHEN SHOWN. ALL HARDWARE TO BE SALT RESISTANT. PROVIDE N.O.A.'S INDICATING INSTALLATION DETAILS AND COMPLIANCE WITH PROJECT WIND LOADING REQUIREMENTS.

08710 - HARDWARE: FURNISH AND INSTALL COMPLETE HARDWARE FOR EACH CONDITION AS MANUFACTURED BY SCHLAGE; YALE OR APPROVED EQUAL. ANSI GRADE 1 OR BETTER FOR HEAVY COMMERCIAL USE. FINISH AND STYLE TO BE SELECTED. ALL EXTERIOR INSTALLATIONS TO BE SALT RESISTANT AND SUITABLE FOR USE IN A COASTAL SALT WATER ENVIRONMENT.

08810 - GLASS AND GLAZING PROVIDE IMPACT RESISTANT OF TYPE REQUIRED BY CODE FOR SIZE AND LOCATION CALLED FOR. GLAZING SHALL BE GASKETED OR OTHERWISE SEALED. PROVIDE SAFETY GLASS WHERE REQUIRED BY CODE, AND WHERE SHOWN ON DRAWINGS. ALL COMMERCIAL STOREFRONT TO BE TEMPERED SAFETY GLASS AND BE OF THICKNESS AS SHOWN ON DRAWING AND REQUIRED BY CODE. ALL GLASS SHALL HAVE A LOW E COATING AND MEET SHGC REQUIREMENTS.

DIVISION 9 - FINISHES

09220- STUCCO - COMPLY WITH ASTM C 926 FOR PORTLAND CEMENT BASE AND FINISH COAT MIXES USING PORTLAND CEMENT - ASTM C 150, MASONRY CEMENT, LIME - ASTM C 206, AND SAND ASTM C 897. PROVIDE MIN. OF THREE COAT SYSTEM W/SCRATCH COAT, BROWN COAT, AND FINISH COAT. FINISH COAT SHALL CONSIST OF 1 PART PORTLAND CEMENT, 1-1/2 TO 2 PARTS LIME, 3 PARTS SAND. ADDITIONAL BASE LAYERS MAY BE APPLIED TO ACHIEVE DESIRED THICKNESS OVER EXPANDED METAL GALVANIZED LATH. PROVIDE CONTROL JOINTS @ MAX. 12" TO 16" VERTICALLY AND HORIZONTALLY, CORNERS OF WALL PENETRATIONS (COORDINATE WITH ARCHITECT), AND AT ALL SUBSTRATE EXP. JOINTS OR CHANGE OF MATERIALS. PROVIDE ACCESSORIES OF HIGH IMPACT POLY VINYL CHLORIDE, TO INCLUDE STOPS CASING BEADS, ONE AND TWO PIECE CONTROL JOINTS (TWO PIECE WHERE MOVEMENT IS REQUIRED) AND CORNER BEAD. EXPANDED METAL GALVANIZED LATH OVER A MEMBRANE AIR, MOISTURE BARRIER SHALL BE PROVIDED OVER ALL NON MASONRY SUBSTRATES. STUCCO FINISH SHALL GO ON ALL CONCRETE OR MASONRY EXTERIOR SURFACES UNLESS OTHERWISE NOTED TO BE SKIM COAT STUCCO OR JUST PAINTED.

09260 - GYPSUM DRYWALL: PROVIDE GYPSUM DRYWALL SHOWN ON DRAWING AND AS FOLLOWS:

A. STEEL FURRING CHANNELS: ASTM C 645, WITH FLANGE EDGES BENT BACK 90 DEG. AND DOUBLED OVER TO FORM 3/16 INCH MINIMUM LIP. MINIMUM THICKNESS OF BASE (UNCOATED) METAL, GALVANIZED FINISH-TYPICAL AND MINIMUM DEPTH AS FOLLOWS; THICKNESS IS 0.0329 INCH, DEPTH IS 1-5/8 INCH.

B. GYPSUM BOARD: PROVIDE 5/8 INCHES THICKNESS (UNLESS OTHERWISE INDICATED) TO COMPLY WITH ASTM C 840 AND ASTM C 36. USE TYPE X FOR FIRE-RESISTANCE-RATED ASSEMBLIES. PROVIDE TAPERED EDGES. USE WATER - RESISTANT GYPSUM BOARD (ASTM C 630) WHERE INDICATED AND FOR ALL AREAS SUBJECT TO MOISTURE INCLUDING ALL TOILET AND BATHROOM WALLS AND CEILINGS, JANITOR ROOM WALLS AND CEILINGS AND THE WET WALL OF A KITCHEN. PROVIDE GALVANIZED METAL TRIM ACCESSORIES COMPLYING TO ASTM C 1047. PROVIDE TAPE AND THREE COATS SPACKLE, SCREW GYPSUM BOARD TO METAL FRAMING.

C. AT FIRE RATED WALL ASSEMBLIES-REQUIRED LAYERS (TYPE X) SHALL BE INSTALLED CONTINUOUS PAST ANY INTERSECTING PARTITIONS. SHEET INSTALLATION, LAYERING, PENETRATIONS, TREATMENT OF RECESSED ELECTRICAL BOXES, AND EXPANDABLE FIRE CAULK TO DECKS ABOVE AND BELOW, ETC. SHALL BE IN ACCORDANCE WITH ASSEMBLY GUIDELINES.

D. PENETRATIONS OF FIRE RATED WALL AND FLOOR ASSEMBLIES, BY PIPES OR CONDUCTS, SHALL BE SEALED USING PRODUCTS BY 'RECTOR SEAL' OR 'HILTI' OR EQUAL. AT PENETRATIONS LESS THAN 2" NOMINAL PROVIDE 'BISTOP' OR 'FIRESTOP' CAULKING PER MANUFACTURER RECOMMENDATION. AT PENETRATION LARGER THAN 2" NOMINAL PROVIDE FIRE COLLARS PER MANUFACTURES RECOMMENDATIONS. THE ANGLE OF PENETRATIONS SHALL NOT EXCEED 45°. MULTIPLE LINES SHALL NOT PENETRATE A SINGLE OPENING UNLESS SPECIALLY TAPED AND SEALED PER MANUFACTURERS REQUIREMENTS. FIRE SEALS ASSEMBLIES SHALL BE U.L. LISTED, OR SUBMITTED BY THE MANUFACTURER FOR SPECIFIC SITE CONDITIONS AS A "TECHNICAL JUDGMENT" SUBJECT TO REVIEW AND APPROVAL.

09310 - CERAMIC AND FLOOR TILES SHALL BE FURNISHED AND INSTALLED WHERE INDICATED. TILE GROUTING PRODUCTS SHALL BE AS MANUFACTURED BY FLORIDA TILE OR APPROVED EQUAL. SELECTIONS LISTED ARE FROM FLORIDA TILE, CONTACT (305)513-9600 WHEN APPLYING TILE ON A CONCRETE FLOOR. ADD A CRACK ISOLATION MEMBRANE PRIOR TO ADDING MORTER BED AND OR TILE.

TILE 1-EXTERIOR FLOOR 12X24 TEXTURED PORCELAIN TILE, 10.5MM THICK W/CUSHION EDGE, SAND-BLASTED NON-SLIP FINISH. FLORIDA TILE TIME 2.0 OR APPROVED EQUAL. COLOR: T237B1 CREAM TEXTURED. PROVIDE ALL NECESSARY TRIM AND BASE PIECES INCLUDING COVE BASE, CORNERS AND BULLNOSE.

GROUT: BONSAL B-160 EPOXY GROUT, ANSI A118.3 OR EQUAL. PLYWOOD SUBSURFACE OR WHERE MOVEMENTS IS ANTICIPATED PROVIDE B-800 EPOXY GROUT.

TILE 2 - INTERIOR FLOOR

12X12 TEXTURED PORCELAIN TILE, 10.5MM THICK W/CUSHION EDGE, SAND-BLASTED NON-SLIP FINISH. FLORIDA TILE TIME 2.0 OR APPROVED EQUAL. COLOR: T237B1 CREAM TEXTURED. PROVIDE

ALL NECESSARY TRIM AND BASE PIECES INCLUDING COVE BASE, CORNERS AND BULLNOSE.

GROUT: BONSAL MULTI PURPOSE PREMIUM THIN SET W/LATEX ADDITIVE B-730 OR EQUAL ANSI A118.4

TILE 3 - INTERIOR WALL

12X12 NATURAL PORCELAIN TILE, 10.5MM THICK W/CUSHION EDGE, SAND-BLASTED NON-SLIP FINISH. FLORIDA TILE TIME 2.0 OR APPROVED EQUAL. COLOR: T237B1 CREAM NATURAL. PROVIDE ALL NECESSARY TRIM AND BASE PIECES INCLUDING COVE BASE, CORNERS AND BULLNOSE.

GROUT: BONSAL MULTI PURPOSE PREMIUM THIN SET W/LATEX ADDITIVE B-730 OR EQUAL ANSI A118.4

09900 - PAINTING - THIS SECTION INCLUDES SURFACE PREPARATION, PAINTING, AND FINISHING OF EXPOSED INTERIOR AND EXTERIOR ITEMS AND SURFACES. SURFACE PREPARATION, PRIMING, AND FINISH COATS SPECIFIED IN THIS SECTION ARE IN ADDITION TO SHOP PRIMING AND SURFACE TREATMENT SPECIFIED UNDER OTHER SECTIONS.

A. PAINT EXPOSED SURFACES WHETHER OR NOT COLORS ARE DESIGNATED IN "SCHEDULES", EXCEPT WHERE A SURFACE OR MATERIAL IS SPECIFICALLY INDICATED NOT TO BE PAINTED OR IS TO REMAIN NATURAL. WHERE AN ITEM OR SURFACE IS NOT SPECIFICALLY MENTIONED, PAINT THE SAME AS SIMILAR ADJACENT MATERIALS OR SURFACES. IF COLOR OR FINISH IS NOT DESIGNATED, THE ARCHITECT WILL SELECT FROM STANDARD COLORS OR FINISHES AVAILABLE.

1. PAINTING INCLUDES FIELD PAINTING EXPOSED BARE AND COVERED PIPES AND DUCTS INCLUDING COLOR CODING), HANGERS, EXPOSED STEEL AND IRON WORK, AND PRIMED METAL SURFACES OF MECHANICAL AND ELECTRICAL EQUIPMENT.

2. PAINTING IS NOT REQUIRED ON PREFINISHED ITEMS, FINISHED METAL SURFACES, CONCEALED SURFACES, OPERATING PARTS, AND LABELS.

3. LABELS: DO NOT PAINT OVER UNDERWRITER'S LABORATORIES, FACTORY MUTUAL OR OTHER CODE-REQUIRED LABELS OR EQUIPMENT NAME, IDENTIFICATION, PERFORMANCE RATING, OR NOMENCLATURE PLATES.

B. SUBMIT DATA: MANUFACTURER'S TECHNICAL INFORMATION, LABEL ANALYSIS, AND APPLICATION INSTRUCTIONS FOR EACH MATERIAL PROPOSED FOR USE.

1. LIST EACH MATERIAL AND CROSS-REFERENCE THE SPECIFIC COATING AND FINISH SYSTEM AND APPLICATION. IDENTIFY EACH MATERIAL BY THE MANUFACTURER'S CATALOG NUMBER AND GENERAL CLASSIFICATION.

2. SAMPLES FOR INITIAL COLOR SELECTION IN THE FORM OF MANUFACTURER'S COLOR CHARTS. THE EXTERIOR WILL HAVE FOUR COLORS MINIMUM, ONE BEING SPECIAL ORDER COLOR. THE INTERIOR WILL HAVE THREE COLORS MINIMUM, ONE BEING A SPECIAL ORDER COLOR.

C. PROVIDE SAMPLES OF EACH COLOR AND MATERIALS TO BE APPLIED, WITH TEXTURE TO SIMULATE ACTUAL CONDITIONS, OR REPRESENTATIVE SAMPLES OF ACTUAL SUBSTRATE. DEFINE EACH SEPARATE COAT, INCLUDING BLOCK FILLERS AND PRIMERS. USE REPRESENTATIVE COLORS WHEN PREPARING SAMPLES FOR REVIEW. RESUBMIT UNTIL REQUIRED SHEEN, COLOR, AND TEXTURE ARE ACHIEVED.

1. PROVIDE A LIST OF MATERIAL AND APPLICATION FOR EACH COAT OF EACH SAMPLE. LABEL EACH SAMPLE AS TO LOCATION AND APPLICATION.

D. PAINTS AND COATING USED ON THE INTERIOR OF THE BUILDING (I.E., INSIDE OF THE WEATHER PROOFING SYSTEM AND APPLIED ON -SITE) SHALL COMPLY WITH THE FOLLOWING CRITERIA:

1. ARCHITECTURAL PAINTS, COATING AND PRIMERS APPLIED TO INTERIOR WALLS AND CEILINGS: DO NOT EXCEED THE VOC CONTENT LIMITS ESTABLISHED IN THE GREEN SEAL STANDARD GS-11, PAINTS, FIRST EDITION, MAY 20, 1993. PRIMERS MUST MEET THE VOC LIMIT FOR NON-FLAT PAINT.

FLATS: 50 G/L

NON-FLATS: 100 G/L

2. ANTI-CORROSIVE AND ANTI-RUST PAINTS APPLIED TO INTERIOR FERROUS SUBSTRATES: DO NOT EXCEED THE VOC CONTENT LIMIT OF 250 G/L ESTABLISHED IN GREEN SEAL STANDARD GS-03, ANTI-CORROSIVE PAINTS, SECOND EDITION, JANUARY 7, 1997.

3. CLEAR WOOD FINISHES, FLOOR COATINGS, STAINS, PRIMERS, AND SHELLACS APPLIED TO INTERIOR ELEMENTS MUST NOT EXCEED THE VOC CONTENT LIMITS ESTABLISHED IN SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT (SCAQMD) RULE 1113, ARCHITECTURAL COATINGS, RULES IN EFFECT ON JANUARY 1, 2004.

PROVIDE PAINT AS SHOWN WITH ALL MATERIALS BY BENJAMIN MOORE OR EQUAL. COLORS AND FINISH SHALL BE SELECTED BY OWNER:

EXTERIOR WOOD:

PRIMER: SPOT PRIME KNOTS & SURROUNDING AREA W/BIN SCHULAC

(1 COAT) FRESH START 100% ACRYLIC SUPERIOR PRIMER #046, VOC = 44 G/L

FINISH: MOORGARD 100% ACRYLIC LOW LUSTRE HOUSE PAINT # N103, VOC = 50 G/L (2 COATS)

EXTERIOR FIBER CEMENTITIOUS SIDING AND TRIM:

PRIMER: PRE-PRIMED

FINISH: MOOREGARD 100% ACRYLIC LOW LUSTRE HOUSE PAINT #N103 OR MOORLIFE 100% ACRYLIC FLAT HOUSE PAINT #N105 VOC = 50 G/L

(2 COATS)

EXTERIOR STUCCO OR MASONRY: (TO BE PAINTED)

PRIMER: SUPER SPEC MASONRY INTERIOR/EXTERIOR 100% ACRYLIC MASONRY SEALER

#N068 VOC = 81 G/L. USE MOORE'S HIGH BUILD ACRYLIC MASONRY PRIMER

#W068 VOC= 97 G/L FOR VERY POROUS CONDITIONS.

FINISH: (2 COATS) REGAL SELECT FLAT FINISH #N400 OR REGAL SELECT SOFT

GLOSS FINISH

#N402 VOC = 50 G/L.

INTERIOR WOOD:

PRIMER: FRESH START 100% ACRYLIC SUPERIOR PRIMER #046 VOC = 44 G/L.

(1 COAT)

FINISH: REGAL SELECT SEMI- GLOSS FINISH #551 VOC = 38 G/L

(2 COATS)

GALVANIZED METAL AND ALUMINUM (NON FERROUS METAL)

CLEAN SURFACES WITH SUPER SPEC HP OIL AND GREASE EMULSIFIER (P83) TO REMOVE CONTAMINANTS

PRIMER: ONE COAT SUPER SPEC HP D.T.M. ACRYLIC SEMI-GLOSS #WP29 VOC = 45 G/L

FINISH: ONE COAT SUPER SPEC HP D.T.M. ACRYLIC SEMI-GLOSS #WP29 VOC = 45 G/L

GYPSUM BOARD:

PRIMER: FRESH START 100 % ACRYLIC SUPERIOR PRIMER #046 VOC = 44 G/L.

(1 COAT)

FINISH: 2 COATS REGAL. SELECT MATTE FINISH #548 OR FLAT #547, VOC = 12G/L

CEILINGS: WATERBORNE CEILING PAINT #508, VOC = 50 G/L

(2 COATS)

STRUCTURAL STEEL AND IRON: (FERROUS METAL)

PRIMER AND FINISH. 2 COATS SUPER SPEC HP D.T.M.

ACRYLIC SEMI-GLOSS #WP29, VOC = 45 G/L

NATURAL-FINISH WOODWORK:

PRIMER: BENWOOD STAYS CLEAR ACRYLIC POLYURETHANE

HIGH GLOSS # 422, VOC = 270 G/L (1 COAT)

FINISH: BENWOOD STAYS CLEAR ACRYLIC POLYURETHANE

HIGH GLOSS # 422, VOC = 270 G/L (2 COATS)

OR BENWOOD INTERIOR WOOD FINISHES

WATERBORNE STAIN #205, VOC = 231 G/L (1 COAT)

POWDER COAT PAINT FINISH SYSTEM: (APPLIED IN SHOP)

1. ELECTROSTATICALLY APPLIED COLORED POLYESTER POWDER COATING HEAT CURED TO CHEMICALLY BOND FINISH TO METAL SUBSTRATE.

2. MINIMUM HARDNESS MEASURED IN ACCORDANCE WITH ASTM D3363: 2H.

3. DIRECT IMPACT RESISTANCE TESTED IN ACCORDANCE WITH ASTM D2794. WITHSTAND 160 INCH- POUNDS.

4. SALT SPRAY RESISTANCE TESTED IN ACCORDANCE WITH ASTM B117: NO UNDERCUTTING, RUSTING, OR BLISTERING AFTER 500 HOURS IN 5 PERCENT SALT SPRAY AT 95 DEGREES F AND 95 PERCENT RELATIVE HUMIDITY AND AFTER 1000 HOURS LESS THAN [3/16 INCH] [5 MM] UNDERCUTTING.

5. WEATHERABILITY TESTED IN ACCORDANCE WITH ASTM D822: NO FILM FAILURE AND 88 PERCENT GLOSS RETENTION AFTER 1 YEAR EXPOSURE IN SOUTH FLORIDA WITH TEST PANELS TILTED AT 45 DEGREES.

6. FIRM WITH MANUFACTURING AND DELIVERY CAPACITY REQUIRED FOR THE PROJECT, SHALL HAVE SUCCESSFULLY COMPLETED AT LEAST TEN PROJECTS WITHIN THE PAST FIVE YEARS, UTILIZING FINISH SYSTEMS, AND TECHNIQUES AS HEREIN SPECIFIED.

7. SUPPLIER MUST OWN AND OPERATE ITS OWN PAINTING AND FINISHING FACILITY TO ASSURE SINGLE SOURCE RESPONSIBILITY AND QUALITY CONTROL.

8. ALL MATERIALS SHALL BE PROTECTED DURING FINISHING, SHIPMENT, SITE STORAGE AND ERECTION TO PREVENT DAMAGE TO THE FINISHED WORK FROM OTHER TRADES. STORE MATERIALS INSIDE A WELL-VENTILATED AREA, AWAY FROM UNCURED CONCRETE AND MASONRY, AND PROTECTED FROM THE WEATHER, MOISTURE, SOILING, ABRASION, EXTREME TEMPERATURES, AND HUMIDITY.

9. CLEAN ALL SURFACES FOLLOWING INSTALLATION. IF NECESSARY USE ONLY A MILD SOAP OR DETERGENT SOLUTION SUCH AS TSP-90 OR IVORY WITH A SOFT CLOTH TO REMOVE DIRT AND HAND PRINTS. BLACK HANDLING MARKS CAN BE REMOVED USING A MIXTURE OF ISOPROPYL ALCOHOL AND AN ABRASIVE CLEANSER LIKE COMET. REPLACE UNITS HAVING SCRATCHES, ABRASIONS, OR OTHER DEFECTS, WITH UNBLEMISHED MATERIALS.

09940 - EXISTING WOOD PREPARATION: CONTRACTOR TO REMOVE AND REPLACE ALL ROTTED OR DAMAGED WOOD TO MATCH EXISTING (USE PRESSURE TREATED WOOD). SPLICE IN NEW BOARDS AS INCONSPICUOUSLY AS POSSIBLE AND STAGGER JOINTS AS REQUIRED. SCRAPE ALL LOOSE PAINT OF EXISTING WOOD SURFACES, SAND SMOOTH PRIOR TO PRIME COAT PAINT. (SEE PAINT SPECIFICATION). AFTER PRIME COAT, CAULK ALL SEAMS, JOINTS AND HOLES AS REQUIRED PRIOR TO FINISH COATS (SEE SEALANT SPECIFICATIONS). CONTRACTOR TO PROVIDE AN ALLOWANCE FOR UNFORSEEN EXISTING CONDITIONS WHICH, WHEN DISCOVERED, REQUIRE REPAIR.

DIVISION 10 - SPECIALTIES

10060 - TOILET PARTITIONS: PROVIDE SOLID SURFACE PLASTIC WITH MATTE FINISH, FLOOR MOUNTED AND HEADRAIL BRACED TOILET PARTITIONS. PARTITIONS SHALL BE HIGH DENSITY, SOLID POLYETHYLENE WITH HOMOGENOUS COLOR THROUGHOUT. PROVIDE 1" THICK MINIMUM SEAMLESS CONSTRUCTION WITH EDGES EASED. USE STAINLESS STEEL PILASTER SHOES AND FASTENERS. ALL HARDWARE TO BE MANUFACTURERS HEAVY DUTY OPERATING HARDWARE (STAINLESS STEEL OR ZAMAC FINISH). PROVIDE COAT HOOK IN BACK OF EACH DOOR AND HANDICAP SIGN ON HANDICAP LOCATIONS. COLOR OF PARTITIONS TO BE BLUE. BASIS OF DESIGN TO BE IRONWOOD MANUFACTURING OR EQUAL.

10200 -ALUMINUM LOUVERS: PROVIDE ALUMINUM STORMPROOF AND IMPACT RESISTANT LOUVERS WITH POWDER COAT FACTORY FINISH AS SHOWN ON ELEVATION DRAWING. LOUVER TO BE HORIZONTAL DRAINABLE STORMPROOF FIXED BLADE LOUVERS WITH EXTRUDED ALUMINUM FRAMES AND STORMPROOF BLADES WITH INSECT SCREENS. LOUVER DEPTH OF 6 INCHES MIN., FRAME TYPE, FRAME THICKNESS: 0.081 INCHES. LOUVER BLADE THICKNESS 0.081 INCHES, BLADE SPACING OF 2 INCHES. EXTRUDED ALUMINUM TO CONFORM TO ASTM B 22. ALLOY 6063-T5 OR T-52, FASTEN LOUVER WITH NON CORROSIVE COMPATIBLE MATERIALS. PROVIDE N.O.A. OF SYSTEMS.

10522 - FIRE EXTINGUISHERS: PROVIDE FIRE EXTINGUISHER AND SURFACE MOUNTED CABINET OR WALL MOUNTING BRACKET, AS MANUFACTURED BY LARSEN'S MANUFACTURING CO. OR EQUAL, FOR EACH LOCATION AND MOUNTING CONDITION INDICATED ON THE DRAWINGS.

A. CABINET TO BE SURFACE MOUNTED FABRICATED IN ONE PIECE W/ONE PIECE COMBINATION TRIM. SHOP DRAWING SUBMITTALS ARE REQUIRED FOR APPROVAL, PRIOR TO ANY FABRICATION OR DELIVERY OF MATERIALS.

B. EXTINGUISHER TO BE MULTIPURPOSE DRY CHEMICAL TYPE: UL RATED 4-A: 60-BC, 10-LB. NOMINAL CAPACITY, IN ENAMELED STEEL CONTAINER.

C. TO COMPLY WITH ADA WALL PROJECTION GUIDELINES, THE CABINET MUST BE MOUNTED WITH ITS BOTTOM (LEADING EDGE) AT OR BELLOW 27" FROM THE FINISHED FLOOR.

10810 - TOILET ACCESSORIES: (FOR H.C. COMMERCIAL TOILET). PROVIDE TOILET ACCESSORIES BY BOBRICK OR APPROVED EQUAL. CONTRACTOR TO PROVIDE COMPLETE SYSTEMS INCLUDING ALL ACCESSORIES AND ATTACHMENTS AND ALL BLOCKING AS REQUIRED.

MIRROR H.C.- AMERICAN SPECIALTIES MODEL 0535-2436 FOR HANDICAP TOILET, SURFACE MOUNTED, STAINLESS STEEL 24"X36".

SOAP DISPENSER (WALL MOUNTED) - BOBRICK MODEL B-2013, SURFACE MOUNTED. TOILET PAPER DISPENSER - BOBRICK MODEL B-2840, SURFACE MOUNTED, STAINLESS STEEL DOUBLE ROLL.

H.C. GRAB BAR - MODEL 812 -STAINLESS STEEL 1-1/2" DIA. CONCEALED MOUNTING WITH SAFETY GRIP FINISH.

ANTIMICROBIAL MOLDED PLASTIC SHOWER SEAT AMERICAN SPECIALTIES MODEL 8206. SHOWER CURTAIN ROD, AMERICAN SPECIALTIES MODEL 1204 W/CONCEALED MOUNTING STAINLESS STEEL 1" O.D. W/SHOWER CURTAIN HOOKS, MODEL 9540, STAINLESS STEEL.

HAND DRYER WITH ADA COMPLIANT RECESS KIT XLERATOR MODEL XL-SB 40502..

DIVISION 11 - EQUIPMENT

11400 - CONTRACTOR TO COORDINATE WITH EQUIPMENT SUPPLIER PRIOR TO BIDDING TO DETERMINE IN WRITING WHAT WILL BE SUPPLIED BY EQUIPMENT SUPPLIER OR CONTRACTOR, AND TO DETERMINE WHAT WILL BE COORDINATED OR INSTALLED BY CONTRACTOR.

DIVISION 12, 13 & 14 - NOT USED

DIVISION 15 - MECHANICAL (SEE MECHANICAL DRAWINGS)

DIVISION 16 - ELECTRICAL (SEE ELECTRICAL DRAWINGS)

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HISTORIC SEAPORT
RESTROOMS AND
LAUNDRY
RENOVATIONS

KEY WEST, FLORIDA.

SEAL

DATE

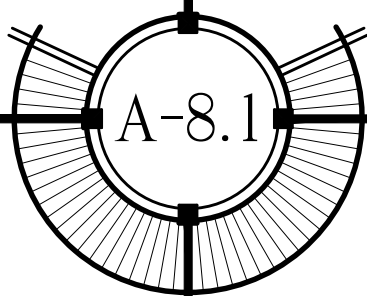
02-29-16 HARC
01-31-17 BID SET
03-08-17 ADDENDUM #2

REVISIONS

DRAWN BY
KMA EVK

PROJECT
NUMBER

1408



KEY WEST HISTORIC SEAPORT PUBLIC TOILET FACILITY

KEY WEST, FLORIDA

01800 - GENERAL REQUIREMENTS
PROJECT DESCRIPTION THE CONTRACTOR SHALL FURNISH ALL LABOR AND MATERIALS REQUIRED AND NECESSARY TO PROVIDE A COMPLETE HABITABLE, WEATHERPROOF, SAFE AND SECURE FINISH BUILDING, SUITABLE FOR HUMAN OCCUPANCY IN ACCORDANCE WITH SPECIFICATIONS, DRAWING AND PROJECT DOCUMENTS.
THE GENERAL CONDITION OF THE CONTRACT, AIA DOCUMENT A201, LATEST EDITION, ARE HEREBY MADE A PART OF THESE CONSTRUCTION DOCUMENTS AND SHALL APPLY TO THIS PROJECT.
THE FLORIDA BUILDING CODE 2014 EDITION, AS AMENDED BY GOVERNING LOCAL ORDINANCES AND REQUIREMENTS OF THE STATE OF FLORIDA "COASTAL ZONE PROTECTION ACT", TOGETHER WITH APPLICABLE REQUIREMENTS OF GOVERNING PUBLIC AGENCIES AND THE FOLLOWING LISTED CODES SHALL APPLY TO THIS PROJECT.
FLORIDA EXISTING BUILDING CODE, 2014 EDITION
FLORIDA EXISTING BUILDING CODE, 2014 EDITION
NATIONAL ELECTRIC CODE LATEST EDITION
FLORIDA PLUMBING CODE, 2014 EDITION
FLORIDA MECHANICAL CODE, 2014 EDITION
FLORIDA FUEL GAS CODE, 2014 EDITION
FEMA, COORDINATE ALL BUILDING ITEMS REQUIRED TO BE ABOVE FLOOD ELEVATION FOR PROJECT AND OTHER FEMA REGULATIONS THAT APPLY TO THE PROJECT.
CONTRACTOR SHALL VISIT THE SITE TO BECOME FAMILIAR WITH EXISTING CONDITIONS AND REQUIREMENTS OF CONSTRUCTION PRIOR TO BIDDING.
CONTRACTOR SHALL COMPLETE NEW WORK IN CONFORMANCE WITH THESE DRAWINGS, NOTIFY ARCHITECT IF CONFLICTS APPEAR OR ARE UNCOVERED DURING THE PROGRESS OF THE WORK PRIOR TO ANY FIELD MODIFICATIONS OR CONSTRUCTION. DEVIATIONS FROM PERMITTED DRAWINGS WITHOUT ARCHITECTS PRIOR WRITTEN APPROVAL SHALL BE AT THE CONTRACTORS RESPONSIBILITY. CONTRACTOR IS TO VERIFY ALL DIMENSIONS OF PROJECT PRIOR TO PROCEEDING WITH CONSTRUCTION. NOTIFY ARCHITECT OF ANY CONFLICTS OR PROBLEMS SO SOLUTIONS CAN BE ACHIEVED PRIOR TO CONSTRUCTION. IN EVENT OF CONFLICT BETWEEN DRAWINGS AND SPECIFICATIONS THE MOST STRINGENT REQUIREMENTS SHALL APPLY.
VERIFICATION SHALL INCLUDE, BUT NOT LIMITED TO, COORDINATION OF SITE WORK, EXISTING CONDITIONS, BUILDINGS AND UTILITIES. VERIFY THAT BUILDING'S ARCHITECTURAL PLAN AND FOUNDATION PLAN DIMENSIONS AND ELEVATIONS WORK ON THE ACTUAL SITE PRIOR TO STARTING ANY CONSTRUCTION. NOTIFY ARCHITECT OF ANY CONFLICTS SO SOLUTION CAN BE WORKED OUT PRIOR TO CONSTRUCTION.
CONTRACTOR SHALL PROVIDE ALL SUBCONTRACTORS COMPLETE SET OF DRAWINGS, INCLUDING DRAWINGS FROM OTHER DISCIPLINES. CHANGE ORDERS WILL NOT BE ALLOWED BECAUSE A SUBCONTRACTOR ONLY LOOKED AT DRAWINGS FOR HIS DISCIPLINE AND NOT OTHER DISCIPLINES. CONTRACTOR MUST REVIEW ALL DRAWINGS AND NOTIFY ARCHITECT OF ANY CONFLICTS. IF A CONFLICT ARISES ASSUME WORST CASE SCENARIO FOR BIDDING AND OR CONSTRUCTION (OR NOTIFY ARCHITECT FOR CLARIFICATION PRIOR TO BIDDING). GENERAL CONTRACTOR IS RESPONSIBLE FOR REVIEWING THE COMPLETE SET OF DRAWINGS AND SPECIFICATIONS AND ASSURING THAT HIS AND HIS SUBCONTRACTORS BIDS INCLUDE COMPLETE WORK AND SYSTEMS (FREE OF CONFLICT WITH OTHER CONTRACTORS AND SUBCONTRACTORS). CONTRACTOR AND SUBCONTRACTOR SHALL FOLLOW INDUSTRY STANDARDS FOR EACH DISCIPLINE. DRAWINGS DO NOT SHOW EVERY CONDITION, FASTENER, ETC., IF SOMETHING IS NOT DETAILED, FOLLOW INDUSTRY STANDARDS. PROVIDE COMPLETE FUNCTIONING SYSTEMS.
LIVE LOADS USED IN DESIGN:
A. ROOF..... 20 PSF
B. FLOOR..... 100 PSF-RETAIL/OFFICE
C. WIND VELOCITY..... STRUCTURAL DESIGN SHALL COMPLY WITH CODE REQUIREMENTS AND WIND LOADS AS STIPULATED BY THE FLORIDA CODE AND THE FLORIDA FIRE PREVENTION CODE AS ADOPTED BY THE STATE FIRE MARSHAL. DESIGN SHALL BE BASED ON ASCE 7 WITH WIND SPEEDS DETERMINED FROM FIGURE 26.5-1B
180 MPH ASCE 7 (LATEST EDITION) EXP.
FL, BUILDING CODE 2014
SHOULD ANY CONFLICTING STATEMENT OR ALTERNATE WIND LOAD REQUIREMENTS BE FOUND IN THE DRAWINGS OR SPECIFICATIONS IT IS IN ERROR AND SHALL BE DISREGARDED.
GENERAL NOTES:
A. ENGINEER'S APPROVAL MUST BE SECURED FOR ALL STRUCTURAL SUBSTITUTIONS.
B. VERIFY ALL OPENINGS THROUGH FLOORS, ROOF AND WALLS WITH MECHANICAL AND ELECTRICAL CONTRACTOR'S. VERIFICATION OF LOCATIONS, SIZES, LINTLE AND REQUIRED CONNECTIONS ARE CONTRACTOR'S COMPLETE RESPONSIBILITY.
C. PRIOR TO INSTALLATION OF MECHANICAL AND ELECTRICAL EQUIPMENT OR OTHER ITEMS TO BE ATTACHED TO THE STRUCTURE, ENGINEER'S APPROVAL OF CONNECTIONS AND SUPPORTS SHALL BE OBTAINED. UNLESS SPECIFICALLY DETAILED ON ARCHITECTURAL AND STRUCTURAL DRAWINGS, RESPECTIVE SUB-CONTRACTOR SHALL FURNISH ALL HANGERS, CONNECTIONS, ETC., REQUIRED FOR INSTALLATION OF HIS ITEMS.
D. PROVIDE ALL EMBEDDED ITEMS IN STRUCTURE AS NOTED ON ARCHITECTURAL, MECHANICAL, ELECTRICAL AS WELL AS STRUCTURAL DRAWINGS. MISCELLANEOUS EMBEDDED ITEMS AND ANCHOR BOLTS SHALL BE FURNISHED BY STEEL SUPPLIER AND INSTALLED BY CONCRETE CONTRACTOR.
E. CONTRACTOR TO VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH ANY NEW WORK, INCLUDING LAYOUT OF THE ENTIRE PROJECT ON SITE FOR VERIFICATION OF SETBACKS, ELEVATIONS AND LOCATION OF EXISTING TREES.
F. PROVIDE TEMPORARY BRACING AND PRECAUTIONS NECESSARY TO WITHSTAND ALL CONSTRUCTION AND/OR WIND LOADS UNTIL ALL FIELD CONNECTIONS ARE COMPLETED AND SHEAR WALLS AND DECKS ARE IN PLACE. ALL SHORING IS THE RESPONSIBILITY OF THE CONTRACTOR INCLUDING USE OF A SPECIALTY ENGINEER IF REQUIRED.
G. SUBMIT SHOP AND ERECTION DRAWINGS FOR ALL ITEMS REQUIRED BY THE DRAWING OR ELSEWHERE IN THE SPECIFICATIONS FOR WRITTEN APPROVAL. THE MANUFACTURE OR FABRICATION OF ANY ITEMS PRIOR TO WRITTEN APPROVAL OF SHOP DRAWINGS WILL BE ENTIRELY AT THE RISK OF THE CONTRACTOR. ALL REFERENCES TO STANDARDS TO BE OF THE LATEST ISSUE APPLICABLE.
H. THIS PROJECT IS IN A COASTAL SALT WATER ENVIRONMENT. CONTRACTOR SHALL CONSIDER THIS IN SELECTIONS OF MATERIALS USED IN THE EXTERIOR AND NON-AIR CONDITIONED AREAS. ALL MATERIALS SHALL BE SALT RESISTANT.
I. MANUFACTURED ASSEMBLIES; SUCH AS ROOFING, SOFFITS, PANELS, STOREFRONT, DOORS, WINDOWS AND OTHER EXTERNAL ASSEMBLIES INCORPORATED INTO THE PROJECT SHALL REQUIRE DETAILED SHOP DRAWING SUBMITTALS. MIAMI DADE N.O.A'S PROVIDING TESTED ASSEMBLY INSTALLATION DETAILS AND WINDLOAD COMPLIANCE ARE REQUIRED. MANUFACTURERS RECOMMENDATIONS AND REQUIREMENTS (INCLUDING WARRANTY REQUIREMENTS) SHALL BE INCORPORATED ALONG WITH THE LATEST INDUSTRY STANDARDS AND BEST PRACTICES.
J. WATERPROOFING, VAPOR BARRIERS, WATERSTOP, AIR SEALS, ETC. SHALL BE AS INDICATED IN THE SPECIFICATIONS AND AS PER MANUFACTURER AND INDUSTRY STANDARDS.
K. CONTRACTOR TO PROVIDE ALL REQUIRED FIRE BLOCKING AS REQUIRED BY CODE.
L. UNLESS OTHERWISE NOTED, PROVIDE FRAMING @ 24" O.C. FOR ROOFING AND 16" O.C. FOR WALLS AND FLOORS.
M. CONTRACTOR TO TAKE ALL PRECAUTIONS TO PREVENT MOLD FROM GROWING IN OR ON THE BUILDING. DO NOT USE MATERIALS THAT HAVE MOLD ON THEM FOR CONSTRUCTION, CLOSE UP BUILDING EACH NIGHT TO KEEP WATER OUT, DO NOT INSTALL A/C DUCTS UNTIL BUILDING IS DRIED IN AND TAKE ALL OTHER POSSIBLE EFFORTS TO PREVENT MOLD FROM GROWING.
N. ALL STAIRS TO BE A MINIMUM OF 44" WIDE (HANDRAILS ARE ALLOWED TO INTRUDE). PROVIDE 42" HIGH MINIMUM GUARDRAILS. MAINTAIN 6'-8" CLEAR HEIGHT FOR STAIRS AND ALL OTHER AREAS.
O. ALL PENETRATIONS OF FIRE RATED CONSTRUCTION SHALL BE TREATED WITH DAMPERS, SEALS, COLLARS, ETC., SEE SECTION 09260 AND 15100.

P. WHEN WORKING WITHIN OCCUPIED OR PARTIALLY OCCUPIED BUILDINGS IT IS THE CONTRACTORS RESPONSIBILITY TO PROVIDE SAFE ACCESS AND TO MAINTAIN IN OPERATION ALL FEATURES OF EXISTING LIFE SAFETY SYSTEMS INCLUDING ALARMS, DETECTORS, LIGHTING AND EXIT WAYS THROUGHOUT THE COURSE OF CONSTRUCTION.
DIVISION 2 - SITE AND CIVIL WORK
02110 AND 02200 - CLEARING/GRADING/COMPACTING & FILL PLACEMENT: REMOVE EXISTING TOPSOIL AND ORGANIC MATERIAL WITHIN BUILDING AREAS. EXPOSED NEAR-SURFACE SOILS SHALL BE COMPACTED TO DENSITIES EQUIVALENT TO 95% PROCTOR DENSITY (ASTM D1557). THE UPPER ONE FOOT OF SOIL BENEATH SLABS SHALL BE COMPACTED TO 98% PROCTOR DENSITY. FILL SHALL BE A RELATIVELY CLEAN SAND OR CRUSHED LIMEROCK (MAX. PARTICLE SIZE OF 3 IN.). GRADE AS REQUIRED (AS SHOWN ON PLAN OR TO DRAIN AWAY FROM BUILDINGS).
02150 - TREE REMOVAL (IF REQUIRED)
A. TREES INDICATED ON THE DRAWINGS FOR REMOVAL SHALL BE CUT, STUMP AND ROOT SYSTEM SHALL BE REMOVED.
B. RESULTING HOLES SHALL BE FILLED AND LEVELED WITH APPROPRIATE SOIL.
C. ALL DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A PROPER MANNER.
D. CARE SHALL BE TAKEN TO AVOID ANY DAMAGE TO ADJACENT TRESS AND PLANT MATERIAL.
E. PROVIDE CONSTRUCTION BARRICADES FOR PROTECTION OF TREES WITHIN 10'-0" OF BUILDING LINES.
02250 - DEMOLITION SHALL INCLUDE THE REMOVAL OF ALL ITEMS AS INDICATED ON THE DRAWINGS, AS WELL AS INCIDENTAL ITEMS NECESSARY FOR NEW WORK TO PROGRESS. ALL WORK SHALL BE DONE IN A WORKMAN LIKE MANNER WITH MINIMAL DISTURBANCE TO EXISTING TO REMAIN. SEE STRUCTURAL SPECIFICATIONS FOR TEMPORARY SHORING AND BRACING. ALL UNWANTED MATERIAL TO BE REMOVED FROM THE SITE AND PROPERLY DISPOSED OF. UNLESS NOTED OTHERWISE, PATCH ALL AREAS TO REMAIN TO MATCH EXISTING IN AREAS DAMAGED BY DEMOLITION.
02350 - FOUNDATIONS (SEE STRUCTURAL DRAWINGS)
02361 - TERMITE CONTROL: PROVIDE SOIL TREATMENT FOR TERMITE CONTROL AT SLABS ON GRADE INCLUDING FOUNDATIONS AND SLAB PENETRATIONS, IF ANY. FORMULATE AND APPLY TERMICIDES, AND LABEL WITH A FEDERAL REGISTRATION NUMBER, TO COMPLY WITH EPA REGULATIONS AND AUTHORITIES HAVING JURISDICTION. USE ONLY SOIL TREATMENT SOLUTIONS NOT HARMFUL TO PLANTS. APPLY AT LABEL VOLUME AND RATE PER EPA- REGISTERED LABEL WITH APPLICATION BY A LICENSED PEST CONTROL OPERATOR. PROVIDE A SOIL TREATMENT APPLICATION REPORT FOR OWNERS RECORD AND USE.
02855 - UNDERGROUND UTILITIES - CONTRACTOR SHALL INCLUDE IN HIS WORK ALL UNDERGROUND (AND ABOVE) UTILITY WORK FOR ALL SYSTEMS TO MAKE A COMPLETE SYSTEM FROM BUILDINGS TO STREET HOOK-UPS AS REQUIRED TO COMPLETE THE JOB.
02900 - LANDSCAPING AND TOP SOIL:
1. ALL PLANT MATERIAL IS TO BE FLORIDA NO. 1 OR BETTER. FLORIDA DEPARTMENT OF AGRICULTURE GRADES AND STANDARDS, PARTS I & II 1973, 1975 RESPECTIVELY.
2. ALL PLANTING BEDS TO BE TOPPED WITH 2" MIN. EUCALYPTUS MULCH "GRADE A", UNLESS OTHERWISE NOTED.
3. ALL TREES TO BE STAKED IN A GOOD WORKMANLIKE MANNER. NO NAIL STAKING PERMITTED. (REFER TO PLANTING DETAILS).
4. LANDSCAPE PLAN SHALL BE INSTALLED IN COMPLIANCE WITH ALL LOCAL CODES.
5. ALL TREE HOLES TO BE BACK FILLED AROUND AND UNDER ROOT BALL WITH PLANTING SOIL. ALL SHRUB BEDS TO BE INSTALLED WITH PLANTING SOIL. (SEE SPECS).
6. ALL TREES, SHRUBS AND GROUNDCOVERS SHALL BE GUARANTEED FOR ONE YEAR.
7. ALL PLANTING BEDS SHALL BE WEED AND GRASS FREE.
8. ALL TREES, PALMS, SHRUBS AND GROUNDCOVER PLANTS SHALL BE FERTILIZED AT INSTALLATION, WITH LONG LASTING FERTILIZER, ACCORDING TO MANUFACTURER'S RECOMMENDATIONS. (SUBMIT SAMPLE FOR APPROVAL). (SEE SPECS).
9. PLANTING PLAN SHALL TAKE PRECEDENCE OVER PLANT LIST IN CASE OF DISCREPANCIES.
10. LANDSCAPE CONTRACTOR SHALL LOCATE AND VERIFY ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
11. NO CHANGE SHALL BE MADE WITHOUT THE PRIOR CONSENT OF THE LANDSCAPE ARCHITECT.
12. ALL MATERIAL IS SUBJECT TO AVAILABILITY AT TIME OF INSTALLATION. SUBSTITUTIONS MAY BE MADE AFTER CONSULTATION WITH LANDSCAPE ARCHITECT.
13. ALL NEWLY PLANTED AREAS TO RECEIVE 100% COVERAGE BY AUTOMATIC IRRIGATION SYSTEM. REFER TO IRRIGATION PLAN.
14. ALL PLANTING BEDS TO RECEIVE NEW PLANTING SOIL (1/3 EVERGLADES PEAT, 1/3 SAND, 1/3 CYPRESS SAWDUST & CHIPS) MINIMUM 6" DEEP. (REFER TO PLANTING DETAILS).
15. CONTRACTOR WILL VISIT SITE TO FAMILIARIZE HIMSELF WITH THE SCOPE OF WORK PRIOR TO SUBMITTING A BID.
16. LANDSCAPE CONTRACTOR TO COORDINATE HIS WORK WITH THE GENERAL CONTRACTOR, THE IRRIGATION CONTRACTOR, AND THE ELECTRICAL CONTRACTOR.
17. ALL EXISTING PLANT MATERIAL TO REMAIN SHALL BE PROTECTED. (REFER TO DEMOLITION PLAN).
18. ALL TREES TO BE RELOCATED WILL GET ROOT PRUNED 30 DAYS MIN. (OR MORE IF REQUIRED BY THE SPECIES). UPON RELOCATION, THIN OUT (UNDER LANDSCAPE ARCHITECT'S DIRECTION) 30% OF THE, TO BE RELOCATED TREE, CANOPY.
19. AFTER REMOVAL OR RELOCATION OF EXISTING TREES AND PALMS, BACKFILL TREE PIT WITH PLANTING SOIL AND SOD DISTURBED AREA, AS REQUIRED.
20. ALL TREES ON SOD AREAS SHALL RECEIVE A MULCH RING 2' IN DIAMETER TYPICAL.
21. ALL TREES SHALL HAVE A 2" CALIPER AT D.B.H. MINIMUM OF 10' HEIGHT TREE.
22. ALL 1 GALLON MATERIAL TO HAVE 12" SPREAD MINIMUM, ALL 3 GALLON MATERIAL TO HAVE 20-24" SPREAD MINIMUM.
02901 - IRRIGATION: TIE NEW IRRIGATION INTO EXISTING SYSTEM INSTALLED DURING "COMMON AREA" PROJECT. THE SYSTEM WILL BE ADJUSTED TO PROVIDE UNIFORM DISTRIBUTION AND WITH MINIMAL OVERSPRAY. ALL WORK WILL BE PERFORMED BY A LICENSED CONTRACTOR AND AN ("AS-BUILT") DRAWING WILL BE SUBMITTED PRIOR TO FINAL PAYMENT.
DIVISION 3 - CONCRETE (SEE STRUCTURAL DRAWINGS)
DIVISION 4 - MASONRY (SEE STRUCTURAL DRAWINGS)
DIVISION 5 - METALS (SEE STRUCTURAL DRAWINGS)
05280 - PIPE HANDRAILS (EXTERIOR USE): SHALL BE 1 1/2" DIA. ALUM. WITH ROUNDED JOINT CONNECTIONS AND RETURN TO WALL PER DRAWINGS. PROVIDE ALUM. HALF SPHERICAL END CAPS IF INDICATED. ALL CONNECTIONS WELDED. MOUNTING SHALL BE STUD OR BRACKET TO WALL OR GUARD RAIL WITH 1 1/2" MIN. CLEAR FOR GRIP. INSTALLATION SHALL CONFORM WITH A.D.A. REQUIREMENTS. HT. 34" TO 38".
05300 - MISCELLANEOUS METALS: ANCHOR BOLTS, NUTS AND WASHERS SHALL BE MINIMUM 5/8 IN. GALVANIZED STEEL EMBEDDED MINIMUM 7 IN. INTO CONCRETE AND SPACED MAXIMUM 2 FEET O.C. PROVIDE MISCELLANEOUS GALVANIZED STEEL ANCHORS, STRAPS AND HANGERS AS REQUIRED.
05320 -MANUFACTURED ANCHORS AND STRAPS SHALL BE HEAVY DUTY STAINLESS STEEL G90, AS MANUFACTURED BY SIMPSON STRONG TIE OR EQUAL. ITEM NUMBERS SHALL BE AS IDENTIFIED ON THE DRAWINGS. IN NO EVENT SHALL PIER, SILL, JOIST, PLATE, RAFTER OR TRUSS CONNECTIONS BE MADE WITHOUT ANCHORAGE DEVICES FOR HURRICANE PROTECTION, UNLESS SPECIFICALLY NOTED AND ADDRESS BY OTHER MEANS.
05400 - LIGHT-GAGE METAL FRAMING:
A. LIGHT-GAGE METAL FRAMING SHALL BE GALVANIZED ACCORDING TO ASTM A924 AND OF SIZE AND GAGE SHOWN ON THE DRAWINGS IF NOT SHOWN ON DRAWINGS OR SPECIFICATIONS PROVIDE SIZE + GAGE AS PER INDUSTRY STANDARDS.
B. FRAMING ROLLED FROM STEEL SHALL CONFORM TO ASTM A653, GRADE 33, WITH A MINIMUM YIELD STRESS OF 33,000 PSI.
C. PROVIDE "SLIPTRACK" ON TOP TRACK OF WALLS UNDER STRUCTURE THAT HAS POSSIBILITY OF MOVING (TYPICAL).
D. CONTRACTOR SHALL PROVIDE COMPLETE FRAMING SYSTEMS AS PER DRAWINGS.

SPECIFICATIONS OR INDUSTRY STANDARDS (IF NOT SHOWN ON DRAWINGS OR SPECIFICATIONS).
E. IF SOFFITS, DROP CEILINGS OR OTHER ITEMS ARE NOT DETAILED PROVIDE AS PER INDUSTRY STANDARDS.
05500 - ALUMINUM FABRICATIONS
A. ALL STRUCTURAL MEMBERS SHALL CONFORM TO ASTM B221 SPECIFICATION- ALUMINUM, ALLOY EXTRUDE BAR, ROD, WIRE, SHAPE AND TUBE.
1. EXTRUDED ALUMINUM: ASTM B221, ALLOY 6063, TEMPER T-6.
2. SHEET ALUMINUM: ASTM B209 6063, TEMPER T-6.
H. PROVIDE SHOP DRAWINGS SHOWING LAYOUT, DIMENSIONS, PROFILES, SPACING OF COMPONENTS, AND ANCHORAGE AND INSTALLATION DETAILS.
1. SUBMIT COMPLETE SHOP DRAWING FOR ALL STRUCTURAL COMPONENTS. DRAWINGS SHALL INCLUDE ALL SHOP AND ERECTION DETAILS. INCLUDING DATES, COPEs, CONNECTIONS, HOLES, BOLTS, SHIM PLATES AND WELDS IN STRUCTURAL STEEL. ALL WELDS, BOTH SHOP AND FIELD, SHALL BE INDICATED ON THE DETAILS ON THE SHOP DRAWINGS BY STANDARD WELDING SYMBOLS GIVEN IN THE AISC MANUAL.
2. CONTRACTOR SHALL CHECK SHOP DRAWINGS FOR FIELD COORDINATION OF ELEVATION AND DIMENSIONS PRIOR TO SUBMITTAL.
3. HANDRAILS SHALL HAVE WELDED CONNECTIONS OF ALL MEMBERS AND HAVE A SHOP APPLIED POWDER COAT FINISH (SEE PAINT SPECS).
4. ALL GUARDRAILS AND HANDRAILS SHALL MEET REQUIRED CODES FOR HANDICAP COMPLIANCE, STRUCTURAL COMPLIANCE AND SIZE REQUIREMENTS.
C. PROVIDE ALUMINUM CAPS FOR EXPOSED OPEN EXTRUDED ALUMINUM SECTIONS AND FOR ATTACHMENT OF COMPONENTS TO POSTS.
D. DO NOT INSTALL BENT, BOWED, OR OTHERWISE DAMAGED COMPONENTS. REMOVE DAMAGED COMPONENTS FROM SITE AND REPLACE.
DIVISION 6 - WOOD AND PLASTICS (ALSO SEE STRUCTURAL DRAWINGS)
06100 - ROUGH CARPENTRY ALL FRAMING (AND TRUSSES) LUMBER SHALL BE DRY SOUTHERN PINE, 19% MC, NO. 2 OR BETTER, (FB - 975 PSI MINIMUM) MEMBER SIZES NOTED ON DRAWINGS ARE NOMINAL. PROVIDE 1"x4" CROSS BRIDGING NOT OVER 8 FEET O.C. FOR ALL WOOD JOIST AND 2 X SOLID BLOCKING BETWEEN JOIST AT ALL SUPPORTS. PROVIDE 1"x4 FURRING AT 16" O.C. FOR ALL TRUSSES THAT WILL HAVE A FINISHED CEILING BELOW UNLESS CLEARLY WRITTEN NOT TO HAVE FURRING IN DRAWINGS.
06130 PRESSURE TREATED: ALL WOOD INDICATED SHALL BE PRESSURED-TREATED WITH CHEMICALS TO PROTECT FROM DECAY AND INSECTS. DRY AFTER TREATMENT. ALL METAL CONNECTORS TO BE BY SIMPSON STRONG-TIE COMPANY OR EQUAL APPROVED IN WRITING BY THE ENGINEER AND TO BE STAINLESS STEEL FINISH, UNLESS OTHERWISE NOTED. ALL CONNECTORS TO BE INSTALLED WITH ALL MANUFACTURE SPECIFIED FASTENERS BEFORE LOADING. ALL NAILS USED IN PRESSURE TREATED SHALL BE STAINLESS STEEL. ALTERNATE CONNECTOR/FASTENER MATERIALS MAY BE APPROVED ON SUBMITTAL OF MANUFACTURERS DATA INDICATING COMPATIBILITY WITH SPECIFIC PRESSURE TREATMENT CHEMICALS USED IN THIS PROJECT.
PRESSURE TREATED WOOD IS TO BE USED IN ALL MOIST AND OR EXPOSED LOCATIONS SUCH AS SILLS ON CONCRETE, NEAR GRADE INSTALLATIONS, EXPOSED DECKS AND RAILS. EXTERIOR OPEN STAIRS, ETC. AND AS REQUIRED BY CODE. COORDINATE ANY QUESTIONABLE AREAS WITH ARCHITECT.
06150 - PLYWOOD DECK:
1. PANEL THICKNESS SHALL BE AS SHOWN ON THE DRAWINGS. APPLICATION SHALL BE IN ACCORDANCE WITH RECOMMENDATIONS OF THE AMERICAN PLYWOOD ASSOCIATION.
2. PLYWOOD SHEATHING SHALL BE APA STRUCTURAL I, EXPOSURE 1 FOR INTERIOR USE AND APA STRUCTURAL I, EXTERIOR FOR EXTERIOR USE. OF THICKNESS SHOWN ON DRAWINGS.
3. EACH PANEL OF PLYWOOD SHALL BE IDENTIFIED WITH THE GRADE-TRADEMARK OF AMERICAN PLYWOOD ASSOCIATION AND SHALL MEET THE REQUIREMENTS OF U.S. PRODUCT STANDARD PSI OR APA PRP-108. ALL PLYWOOD WHICH HAS ANY EDGE OR SURFACE PERMANENTLY EXPOSED TO THE WEATHER SHALL BE OF THE EXTERIOR TYPE.
4. UNLESS OTHERWISE SHOWN, FLOOR AND ROOF DECK TO BE 3/4" AND 5/8" (MINIMUM) RESPECTIVELY AND TO BE GLUED AND NAILED WITH 8D NAILS AT 6" AT INTERIOR EDGES; 4" AT EXTERIOR EDGES AND AT 6" ALONG INTERMEDIATE FRAMING MEMBERS.
3/4" PLY WD. ROOF DECKING SHALL BE A MANUF. PRODUCT.
06300 - FINISH CARPENTRY SHALL INCLUDE TRIM, FRAMES, PANELING AND CABINETRY. PROFILES AND PLASTIC LAMINATE ARE TO BE AS SELECTED OR NOTED ON THE DRAWINGS. CABINETS SHALL BE OF A CUSTOM OR PREMIUM GRADES AS NOTED OR DETERMINED BY THE OWNER. USE OF PARTICLE OR PRESS BOARD SHALL BE PRECLUDED. ALL CABINETS TO BE FORMALDEHYDE FREE. SELECT GRADE SOUTHERN YELLOW PINE SHALL BE USED AS A QUALITY STANDARD FOR TRIM, FRAMES AND BASE UNLESS NOTED OTHERWISE. ALL WORK SHALL BE BY SKILLED FINISH CARPENTERS.
DIVISION 7 - THERMAL AND MOISTURE PROTECTION
07311 - ROOFING UNDERLAYMENT: AT ALL SLOPED ROOFING INSTALLATIONS, PROVIDE A HIGH TEMPERATURE, SELF ADHESIVE, MEMBRANE UNDERLAYMENT SUCH AS GRACE 'ULTRA' AS MANUFACTURED BY GRACE CONSTRUCTION PRODUCTS, OR EQUAL. THE UNDERLAYMENT IS INTENDED TO FUNCTION AS SECONDARY ROOF MEMBRANE OVER THE DECKING. AS SUCH THE MEMBRANE SHALL BE CONTINUOUS OVER ALL PORTIONS OF THE ROOF, WITH SEAMS LAPED A MINIMUM OF 3" AND ALL PENETRATIONS FOR PLUMBING VENTS OR OTHER, SEALED TO THE MEMBRANE. THE MEMBRANE SHALL BE SELF SEALING FOR SMALL PENETRATIONS SUCH AS ROOFING ASSEMBLY FASTENERS TO THE DECK (NAILS OR SCREWS). THE UNDERLAYMENT MEMBRANE SHALL BE PROVIDED FOR ALL SLOPED ROOFING ASSEMBLIES INCLUDING; V CRIMP, STANDING SEAM, SHINGLES AND CERAMIC TILE, UNLESS SPECIFICALLY NOTED. NOT TO BE INSTALLED. THE CONTRACTOR SHALL VERIFY COMPATIBILITY OF ROOFING MATERIALS AND ANCHORAGE DEVICES WITH THE MEMBRANE AND COORDINATE WITH ROOFING MANUFACTURERS REQUIREMENTS.
07315 - ROOFING SHOP DRAWINGS: ALL ROOFING ASSEMBLIES REQUIRE SHOP DRAWING SUBMITTALS. THE SUBMITTAL SHALL INCLUDE ALL COMPONENTS OF THE ASSEMBLY INCLUDING BASE SHEETS (IF ANY), INSULATION IF INTEGRAL TO THE ASSEMBLY, COVER BOARD, MEMBRANES AND ATTACHMENT, INCLUDING EDGE CONDITIONS. THE SUBMITTAL SHALL INCLUDE N.O.A. TEST DATA FOR THE ENTIRE ASSEMBLY, AS A UNIT, OR FOR EACH COMPONENT USED, INCLUDING ANCHORAGE/ ATTACHMENT TO ITS SUPPORTING SUBSTRATE ON DOWN TO THE STRUCTURAL DECK. DOCUMENTATION THAT THE PROJECT SPECIFIC ROOFING ASSEMBLY MEETS DESIGN WIND LOADING IS REQUIRED. THIS CAN BE ACCOMPLISHED BY SUBMITTAL OF N.O.A. TEST DATA OR BY SIGNED AND SEALED CERTIFICATION BY A FLORIDA REGISTERED ENGINEER. PROVIDE MANUFACTURER'S REQUIREMENTS AND INSTALLATION INSTRUCTIONS FOR REVIEW.
07600 - ROOFING SHALL BE 26 GAUGE GALVANIZED "V" CRIMP METAL ROOFING IN LONGEST SHEETS PRACTICABLE FINISH SHALL BE "GALVALUME" W/20 YEAR FINISH WARRANTY, COORDINATE FLASHING. INSTALL OVER GRACE ULTRA UNDERLAYMENT (HIGH TEMPERATURE) MEMBRANE OVER DECKING. PROVIDE FLASHING AND TRIM INCLUDING PREFORMED RIDGE AND HIP ROLLS AND EDGE DRIP (ALL WITH GALVALUME FINISH). PROVIDE MANUFACTURER'S REQUIREMENTS, INSTALLATION INSTRUCTIONS AND VALID N.O.A. OF SYSTEM.
07620 - FLASHING AND SHEET METAL:
A. THIS SECTION TO INCLUDE: GALV. METAL FLASHING AND BASE FLASHING, STOPS, BUILT-IN METAL VALLEYS, GUTTERS, SCUPPERS AND MISCELLANEOUS SHEET METAL ACCESSORIES.
B. MATERIAL SHALL BE ZINC - COATED STEEL, COMMERCIAL QUALITY ASTM A526 G90 HOT-DIP GALVANIZED, 24 GAGE, EXCEPT AS NOTED OTHERWISE. COORDINATE FINISH WITH ROOFING FINISH (EXAMPLE: IF ROOFING HAS GALVALUME FINISH USE SAME FINISH ON FLASHING).
C. SHAPES SHALL MATCH EXISTING PROFILES OF FLASHING AND STOPS.
D. SHOP-FABRICATE WORK TO THE EXTENT POSSIBLE. COMPLY WITH DETAILS SHOWN AND APPLICABLE REQUIREMENTS OF SMACNA "ARCHITECTURAL SHEET METAL MANUAL" AND MATERIAL MANUFACTURER RECOMMENDATIONS.
07920 - SEALANTS

WILLIAM P. HORN
ARCHITECT, P.A.

915 EATON ST.

KEY WEST,

FLORIDA

33040

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LICENSE NO.
AA 0003040

HISTORIC SEAPORT
RESTROOMS AND
LAUNDRY
RENOVATIONS

KEY WEST, FLORIDA.

SEAL

DATE

02-29-16 HARC
01-31-17 BID SET
03-08-17 ADDENDUM #2

REVISIONS

DRAWN BY
KMA EVK

PROJECT
NUMBER
1408



PORT & MARINE SERVICES

201 William Street
Key West, FL 33040

ADDENDUM NO. 3

RESTROOMS & LAUNDRY RENOVATION KEYW WEST HISTORIC SEAPORT ITB #17-007

The information contained in this Addendum adds information to be included in the Bid and is hereby made a part of the Contract Documents. The referenced bid package is hereby addended in accordance with the following items:

QUESTIONS and CLARIFICATIONS:

1. Please provide location of the transformer and or power source that feeds building A?

The transformer is located on a concrete pad by the rear entrance of the Waterfront Brewery. The location is called out on A-1.

2. Electrical riser diagram on sheet E-1 calls for to install 3" conduit to feed the meter. If the existing conduit is not large enough, who will be responsible to cut pavement, excavate and patch and install a new 3" conduit to the power source?

The existing conduit is 3" that feeds the meter. E-1 calls for (2) sets of 3#300 3" conduits to feed the meter from the power source. This means that one additional 3" conduit is to serve the building. Any cut pavement, excavation, and patching to install the 3" conduit need to be included in the bid price.

3. Building 'B' detail 3/A-2.1 calls for Solid Surface countertop basis of design equal: Wilsonart Model 9175ML. Please confirm this will be basis of design in Men and Women Public Restrooms for Building 'A' and Building 'B'.

Yes the same solid surface is to be used.

4. Clarification to sheet P-2:

A. Contractor is to maintain existing plumbing in Building 'A' where new fixtures are replacing existing fixtures in the same location. Bids are to include the following new fixtures:

- a. Room 212 Womens Public Toilets - (3) standard water closets fixture type P-1, (1) ADA compliant water closet fixture type P-1H, (1) ADA lavatory fixture type P-2H, (3) standard sinks fixture type P-2
- b. Room 213 Mens Public Restroom - (1) standard water closets fixture type P-1, (1) ADA compliant water closet fixture type P-1H, (1) Urinal fixture type P-3, (1) ADA

- lavatory fixture type P-2H, (2) standard sinks fixture type P-2.
- B. Bids are to include the required sanitary, hot , and cold plumbing for new fixtures at new locations:
- a. Room 212 Womens Public Toilets - (1) standard water closet fixture type P-1 and (1) standard sink fixture type P-2
 - b. Room 213 Mens Public Restroom - (1) standard sinks fixture type P-2
- C. Renovations for these two rooms are to include all accessories as defined by A-4 and A-4.1. Bids are to include required demolition and capping of existing plumbing not to be reused.

All other elements of the Contract and Bid documents, including the Bid Date shall remain unchanged.

All Bidders shall acknowledge receipt and acceptance of this **Addendum No. 3** by submitting the addendum with their proposal. Proposals submitted without acknowledgement or without this Addendum may be considered non-responsive.

Signature

Name of Business



PORT & MARINE SERVICES

201 William Street
Key West, FL 33040

ADDENDUM NO. 4

**RESTROOMS & LAUNDRY RENOVATION
KEYW WEST HISTORIC SEAPORT
ITB #17-007**

The information contained in this Addendum adds information to be included in the Bid and is hereby made a part of the Contract Documents. The referenced bid package is hereby addended in accordance with the following items:

QUESTIONS and CLARIFICATIONS:

1. Are Bacon Davis Wages applicable for this project?

No.

2. Is Certified Payroll required?

No.

3. Is Flood Insurance required?

Refer to General Conditions Article 34, Section E.

4. Is a Flood Elevation Certificate available?

No.

5. Is Wind Insurance required?

Refer to General Conditions Article 34, Section E.

6. Supplementary Conditions of Part 3 Conditions of Contract (page 60) states "If the work is being done on or near a navigable waterway, Contractors Workers Compensation shall be endorsed to provide USL&H Act...and Jones Act...coverage if specified by the City of Key West." Will these coverages be required?

No.

All other elements of the Contract and Bid documents, including the Bid Date shall remain unchanged.

All Bidders shall acknowledge receipt and acceptance of this **Addendum No. 4** by submitting the addendum with their proposal. Proposals submitted without acknowledgement or without this Addendum may be considered non-responsive.

Signature

Name of Business



PORT & MARINE SERVICES

201 William Street
Key West, FL 33040

ADDENDUM NO. 5

**RESTROOMS & LAUNDRY RENOVATION
KEYW WEST HISTORIC SEAPORT
ITB #17-007**

The information contained in this Addendum adds information to be included in the Bid and is hereby made a part of the Contract Documents. The referenced bid package is hereby addended in accordance with the following items:

DRAWINGS:

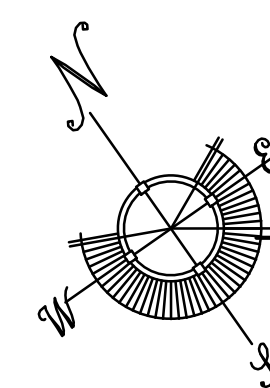
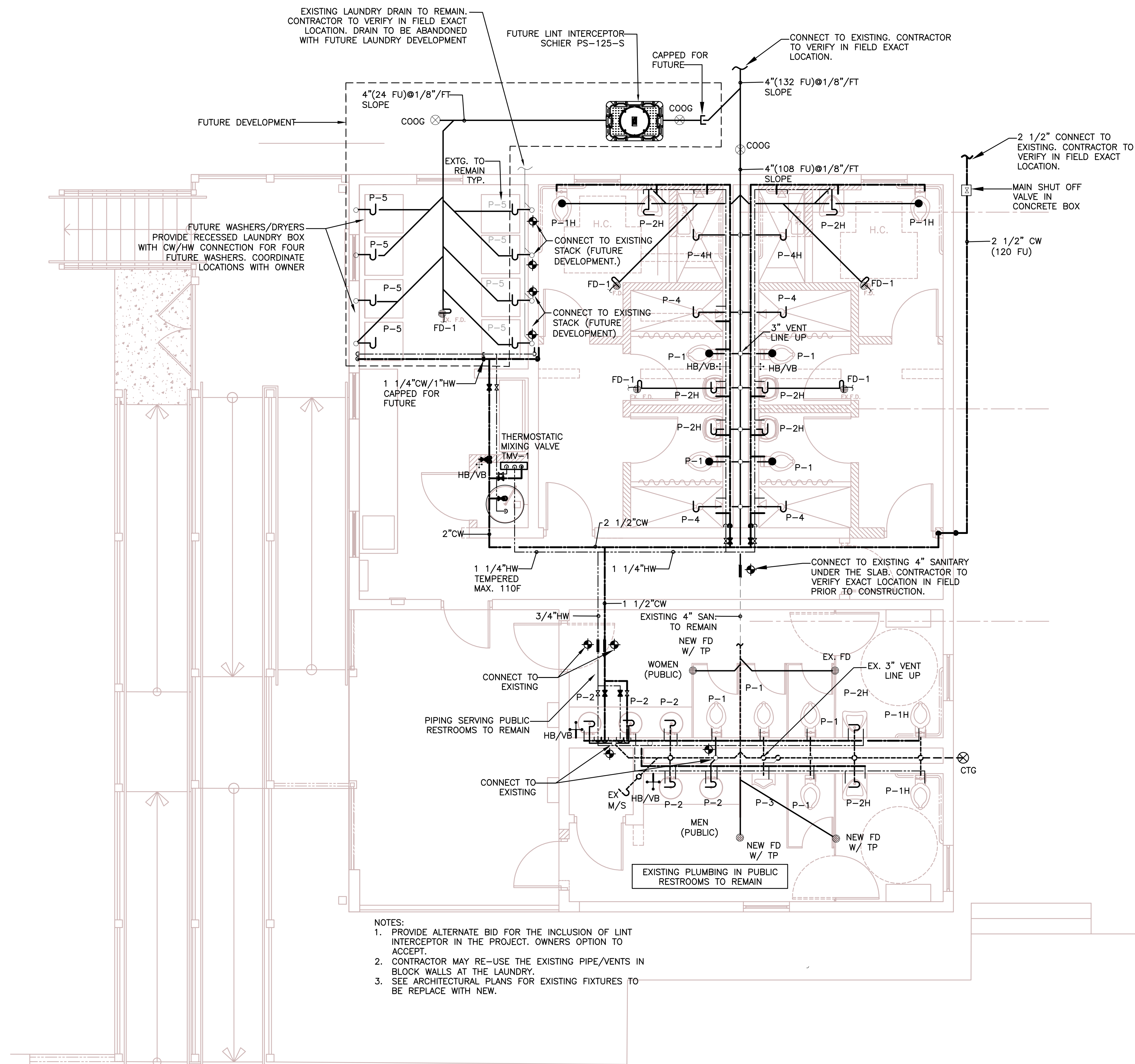
1. Remove and replace sheet P-2 with attached.
2. Remove and replace sheet P-4 with attached.

All other elements of the Contract and Bid documents, including the Bid Date shall remain unchanged.

All Bidders shall acknowledge receipt and acceptance of this **Addendum No. 5** by submitting the addendum with their proposal. Proposals submitted without acknowledgement or without this Addendum may be considered non-responsive.

Signature

Name of Business



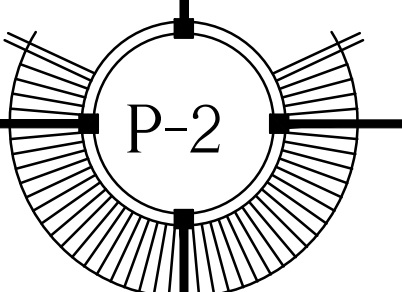
PLUMBING FLOOR PLAN – BUILDING 'A'

SCALE: 1/4"=1'-0"

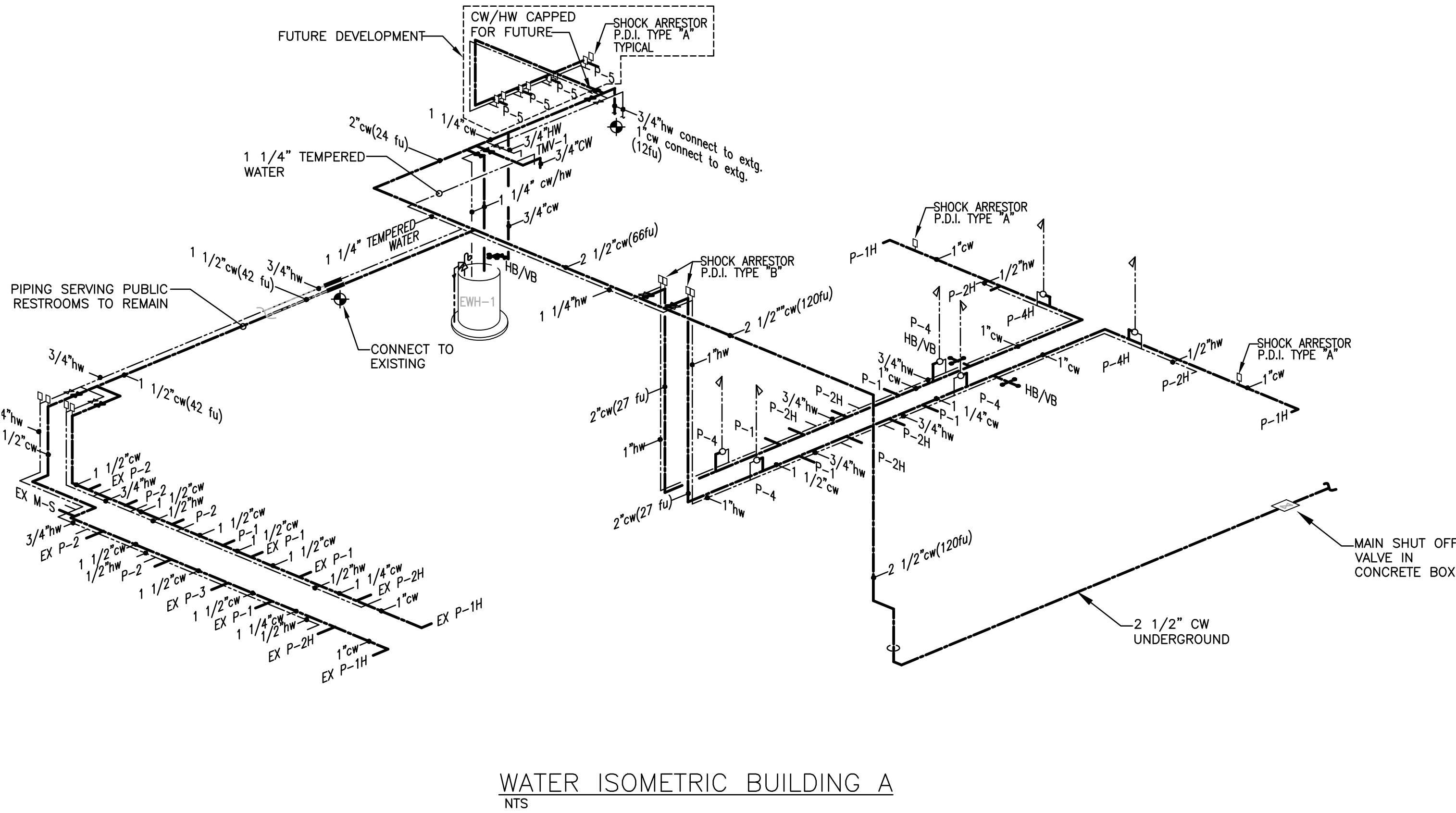
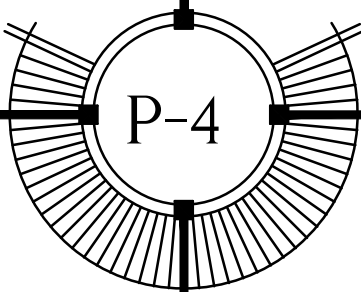
KEY WEST HISTORIC SEAPORT PUBLIC TOILET FACILITY

KEY WEST, FLORIDA

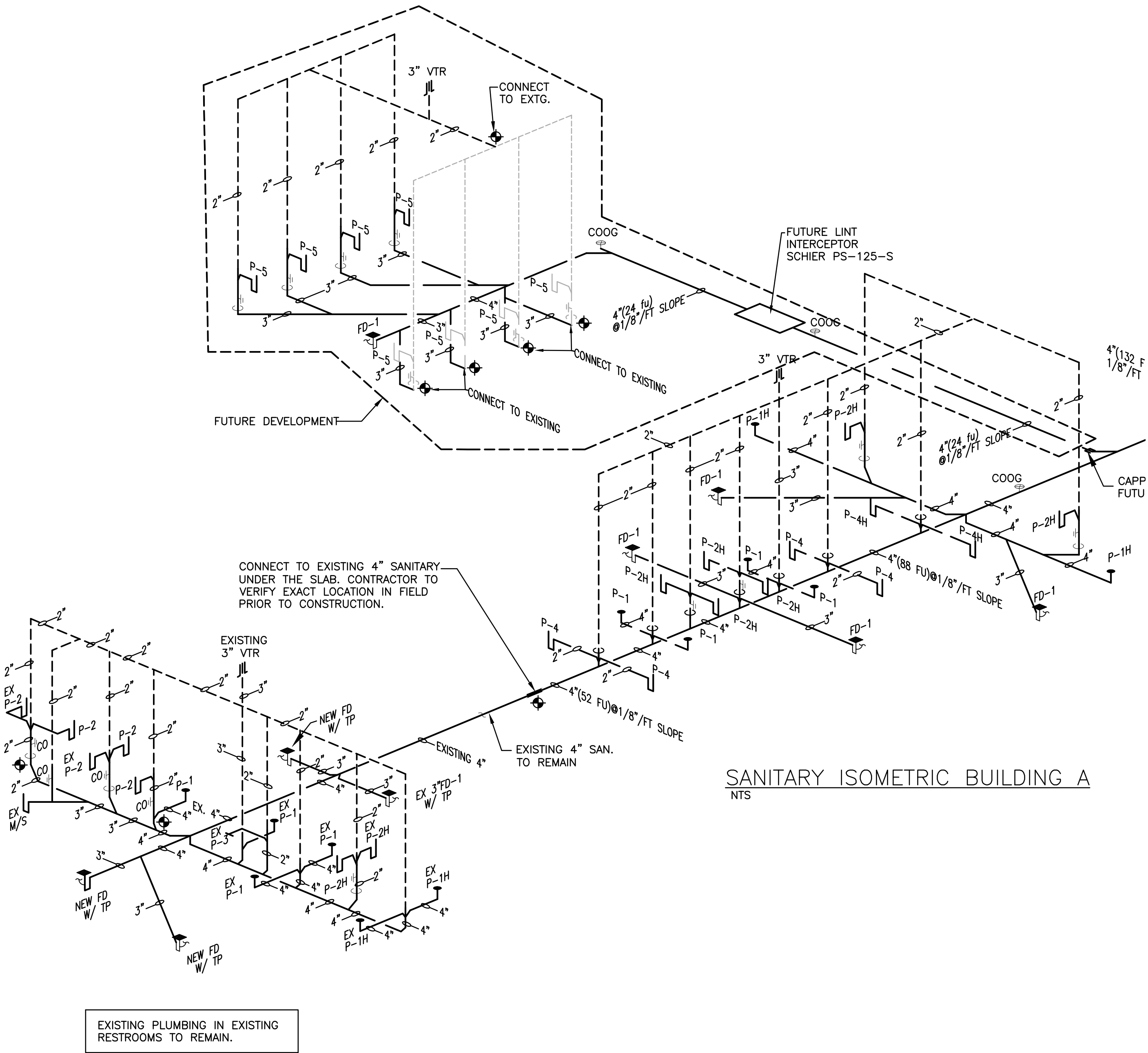
**Innovative Engineering
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Sudhir K. Gupta, P.E.
Fla. Reg. No. 29189**



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WATER ISOMETRIC BUILDING A
NTS



SANITARY ISOMETRIC BUILDING A
NTS

PLUMBING RISERS DIAGRAM – BUILDING 'A'

SCALE: NTS