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**Historic Architectural Review Commission  
Staff Report for Item 9**

**To:** Chairman Bryan Green and Historic Architectural Review  
Commission Members

**From:** Enid Torregrosa, MSHP  
Historic Preservation Planner

**Meeting Date:** May 23, 2018

**Applicant:** Glenn Anderson, Owner, and Designer

**Application Number:** H18-03-0020

**Address:** #522 Simonton Street

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**Description of Work:**

Renovations to existing main house including siding repairs and replacement and painting. New two-story addition at rear of house. New wood deck at rear.

**Site Facts:**

The main house located in the site is a contributing resource to the historic district. The two-story frame vernacular structure was build circa 1860. The unique and historic main house is comprised of two attached houses and a historic one-story addition at the rear. The main house has been abandoned and neglected for decades. A non-historic rear pergola is located at the rear yard.

Due to the severe state of decay and neglect, staff approved a Certificate of Appropriateness for the following maintenance work:

1. Window and shutters repairs and painting
2. Siding repair and painting
3. Repairs and stabilization to the left side porch. All new materials to match existing in size and profile.
4. Stabilization of right front porch with no reconstruction.
5. Installation of temporary gutter at top of the right side front porch.

**Guidelines Cited on Review:**

- Guidelines for Additions (pages 37a-37k), specifically guidelines 1, 2, 4, 5, 6, 13, 29, 30, and 31.
- Guidelines for decks (pages 39-40), specifically guideline 3.
- SOIS for Rehabilitation (pages 16-23) specifically Standards 1, 2, 4, 6, 9, and 10.

### **Staff Analysis**

The Certificate of Appropriateness in review is for a new two-story rear addition that will be replacing a historic two and one-story additions that are neglected. The new design will be lower than the main house but will have a different three-dimensional envelope than the existing rear historic additions. By adding the full width two-story, an existing historic rear wall from the main house will be removed. According to the applicant, the siding of the historic wall will be re used for repairs in the main house.

The proposed addition will have cedar siding, two over two wood windows, metal sliding doors at the rear, and Victorian metal shingles as the roofing material. The addition will incorporate wood trims on both side walls that will reflect the profile of the current additions. The plan also includes a new deck that will be built at the rear of the house and will not be visible from any street.

### **Consistency with Guidelines**

It is staff's opinion that the proposed design is inconsistent with many of the cited guidelines and with the SOIS for Rehabilitation. The existing house and its additions have been standing in their actual configuration since, at least 1912. Although the additions are not original to the houses, they have acquired historic significance by their own and shall be retained or reconstructed in the same three-dimensional envelope. It is staff's opinion that the actual roof and building forms of the two united houses are character defining features that should not be lost by demolishing the rear historic additions and building a new addition that will increase the mass of the historic fabric. Moreover, the design requires the demolition of a rear wall that is original to the fabric. Although the addition will be located in, the rear of the main house staff finds that much historic fabric and significant architectural features will be lost for the need of adding new spaces to the house.

The scale, mass, and proportions of the addition will be larger than the actual norther portion of the house. As for the rear deck proposal, staff finds that it complies with cited guidelines for decks; it will be located at the rear and will not be visible from the street.

# APPLICATION

# HARC MAJOR PROJECTS CERTIFICATE OF APPROPRIATENESS

\$400 NON-REFUNDABLE BASE APPLICATION FEE - OTHER FEES MAY BE APPLICABLE



**City of Key West**

1300 WHITE STREET  
KEY WEST, FLORIDA 33040

HARC COA # 18-00300020	REVISION #	INITIAL & DATE
FLOOD ZONE	ZONING DISTRICT	BLDG PERMIT #

**A PRE-APPLICATION MEETING WITH HARC STAFF IS REQUIRED PRIOR TO SUBMITTAL**

ADDRESS OF PROPOSED PROJECT:	522 Simonton St		
NAME ON DEED:	Glenn Anderson	PHONE NUMBER	571-213-1760
OWNER'S MAILING ADDRESS:	522 Simonton St	EMAIL	glenn.anderson82@yahoo.com
APPLICANT NAME:	Glenn Anderson	PHONE NUMBER	571-213-1760
APPLICANT'S ADDRESS:	522 Simonton St	EMAIL	glenn.anderson82@yahoo.com
APPLICANT'S SIGNATURE:			DATE 4/26/18

**ANY PERSON THAT MAKES CHANGES TO AN APPROVED CERTIFICATE OF APPROPRIATENESS MUST SUBMIT A NEW APPLICATION.**

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083. THE APPLICANT FURTHER HEREBY ACKNOWLEDGES THAT THE SCOPE OF WORK AS DESCRIBED IN THE APPLICATION SHALL BE THE SCOPE OF WORK THAT IS CONTEMPLATED BY THE APPLICANT AND THE CITY. THE APPLICANT FURTHER STIPULATES THAT SHOULD FURTHER ACTION BE TAKEN BY THE CITY FOR EXCEEDING THE SCOPE OF THE DESCRIPTION OF WORK, AS DESCRIBED HEREIN, AND IF THERE IS CONFLICTING INFORMATION BETWEEN THE DESCRIPTION OF WORK AND THE SUBMITTED PLANS, THE AFOREMENTIONED DESCRIPTION OF WORK SHALL BE CONTROLLING.

PROJECT INCLUDES: REPLACEMENT OF WINDOWS ☐ RELOCATION OF A STRUCTURE ☐ ELEVATION OF A STRUCTURE ☐  
PROJECT INVOLVES A CONTRIBUTING STRUCTURE: YES ☒ NO ☐ INVOLVES A HISTORIC STRUCTURE: YES ☒ NO ☐  
PROJECT INVOLVES A STRUCTURE THAT IS INDIVIDUALLY LISTED ON THE NATIONAL REGISTER: YES ☐ NO ☒

**DETAILED PROJECT DESCRIPTION INCLUDING MATERIALS, HEIGHT, DIMENSIONS, SQUARE FOOTAGE, LOCATION, ETC.**

GENERAL: Demolition of historic additions at rear of house. Construction of 2 floor, 1240 sq ft addition at rear of house. New addition will be sided and painted to match existing house with 1x6 lap siding and painted white. Construction of 290 sq ft. wood deck

MAIN BUILDING:

DEMOLITION (PLEASE FILL OUT AND ATTACH DEMOLITION APPENDIX):

APPLICATIONS MUST BE SUBMITTED IN PERSON WITH HARD COPIES BY 3PM ON THE SCHEDULED DEADLINE  
PLEASE SEND AN ELECTRONIC COPY OF ALL DOCUMENTS TO HARC@CITYOFKEYWEST-FL.GOV

ACCESSORY STRUCTURE(S):

PAVERS:

FENCES:

DECKS: 290 sq ft wood deck

PAINTING: White trim and siding. Shutters will be gray (matching existing)

SITE (INCLUDING GRADING, FILL, TREES, ETC.):

POOLS (INCLUDING EQUIPMENT):

ACCESSORY EQUIPMENT (GAS, A/C, VENTS, ETC.):

OTHER:

AC units, water heater. Surface mount gas tank (to be permitted and installed by Suburban Propane.

OFFICIAL USE ONLY:

HARC COMMISSION REVIEW

EXPIRES ON:

MEETING DATE:

☐ APPROVED ☐ NOT APPROVED ☐ DEFERRED FOR FUTURE CONSIDERATION

INITIAL:

MEETING DATE:

☐ APPROVED ☐ NOT APPROVED ☐ DEFERRED FOR FUTURE CONSIDERATION

INITIAL:

MEETING DATE:

☐ APPROVED ☐ NOT APPROVED ☐ DEFERRED FOR FUTURE CONSIDERATION

INITIAL:

REASONS OR CONDITIONS:

STAFF REVIEW COMMENTS:

Main houses are listed as a contributing resource. Guidelines per new additions, decks, SOLS for Rehabilitation. Ordinance for demolition of historic /contributing structures

FIRST READING FOR DEMO:

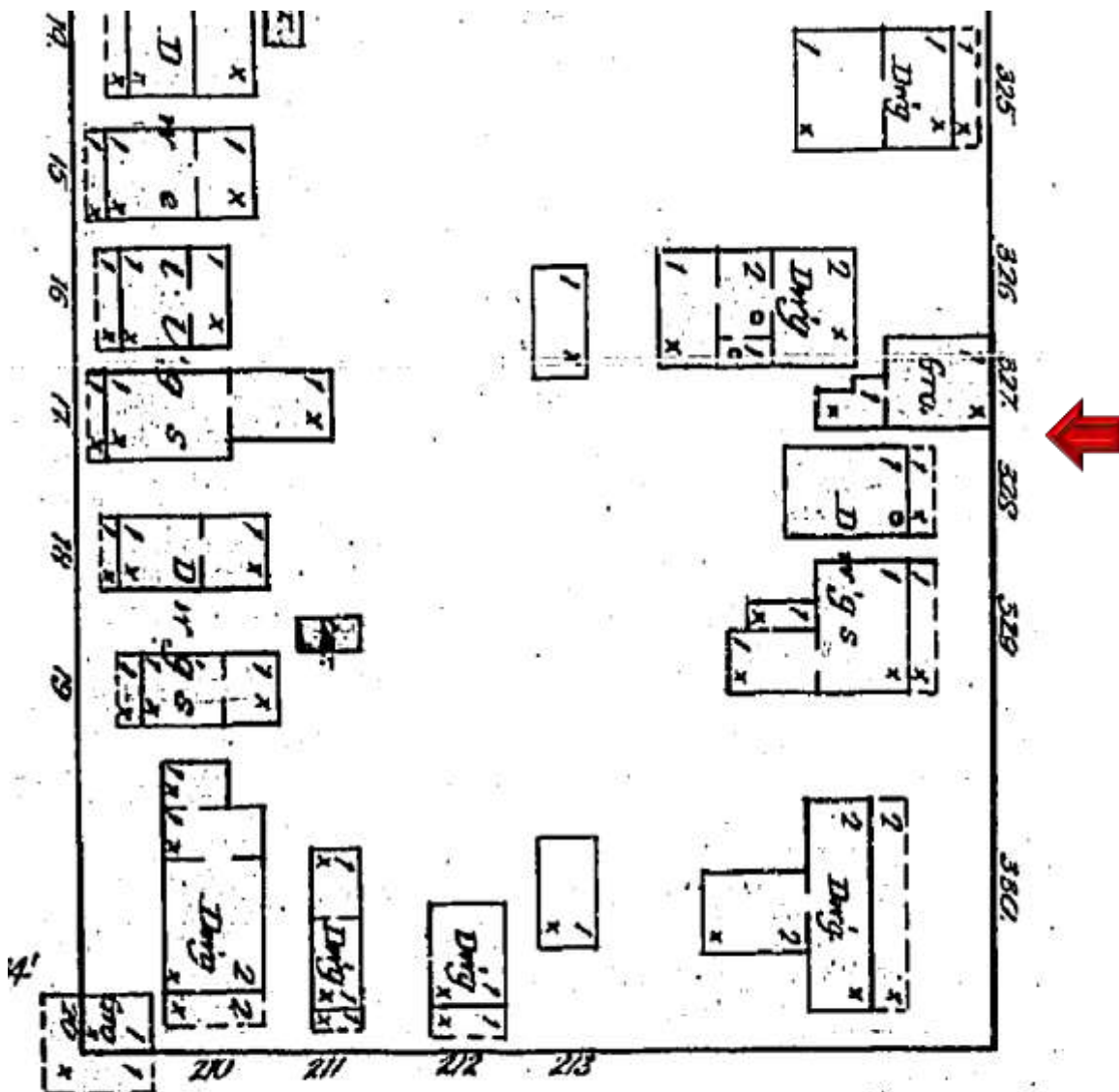
SECOND READING FOR DEMO:

HARC STAFF SIGNATURE AND DATE:

HARC CHAIRPERSON SIGNATURE AND DATE:

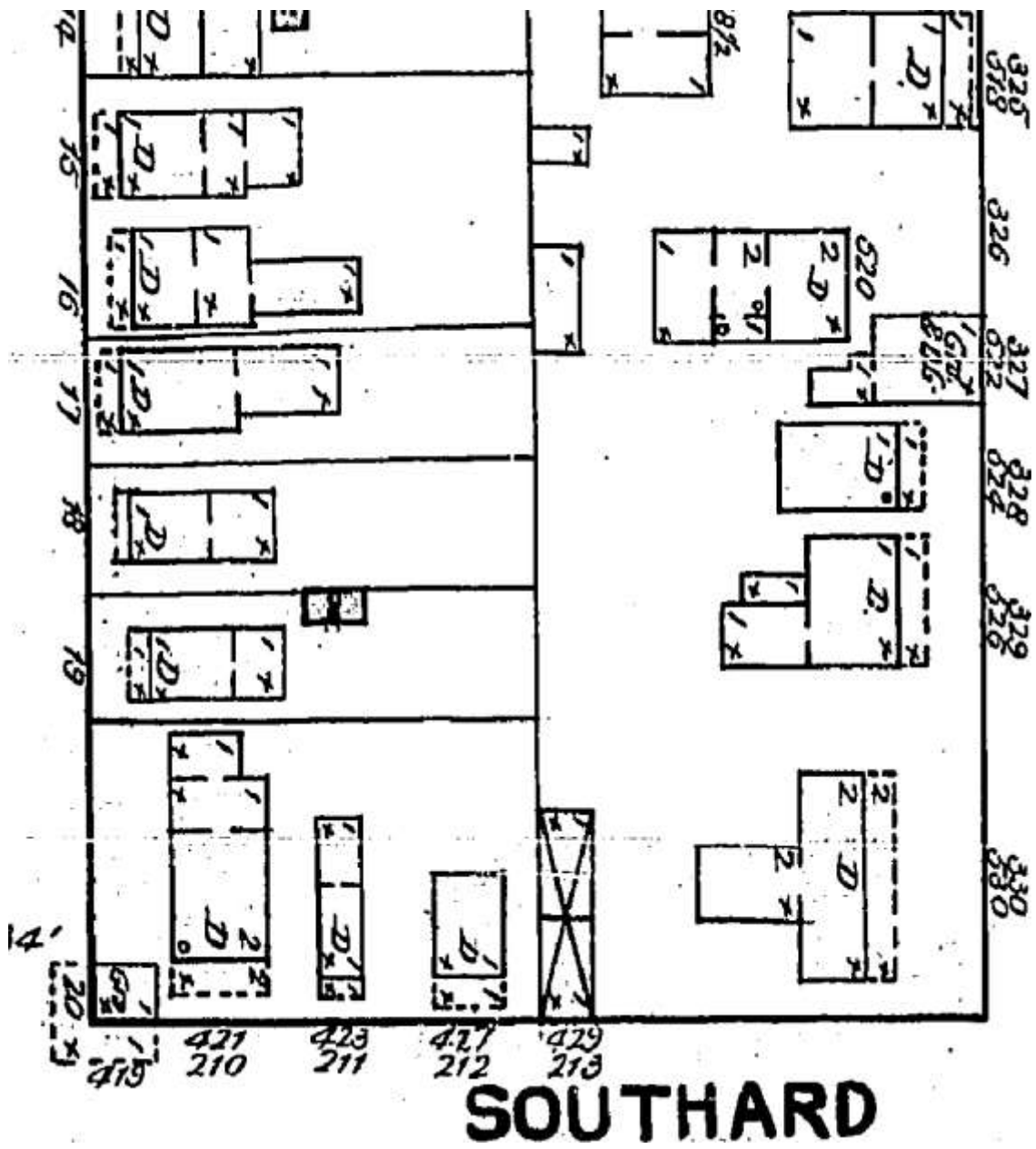
THIS APPLICATION MAY BE REVIEWED BY PLANNING DEPARTMENT STAFF.

# SANBORN MAPS

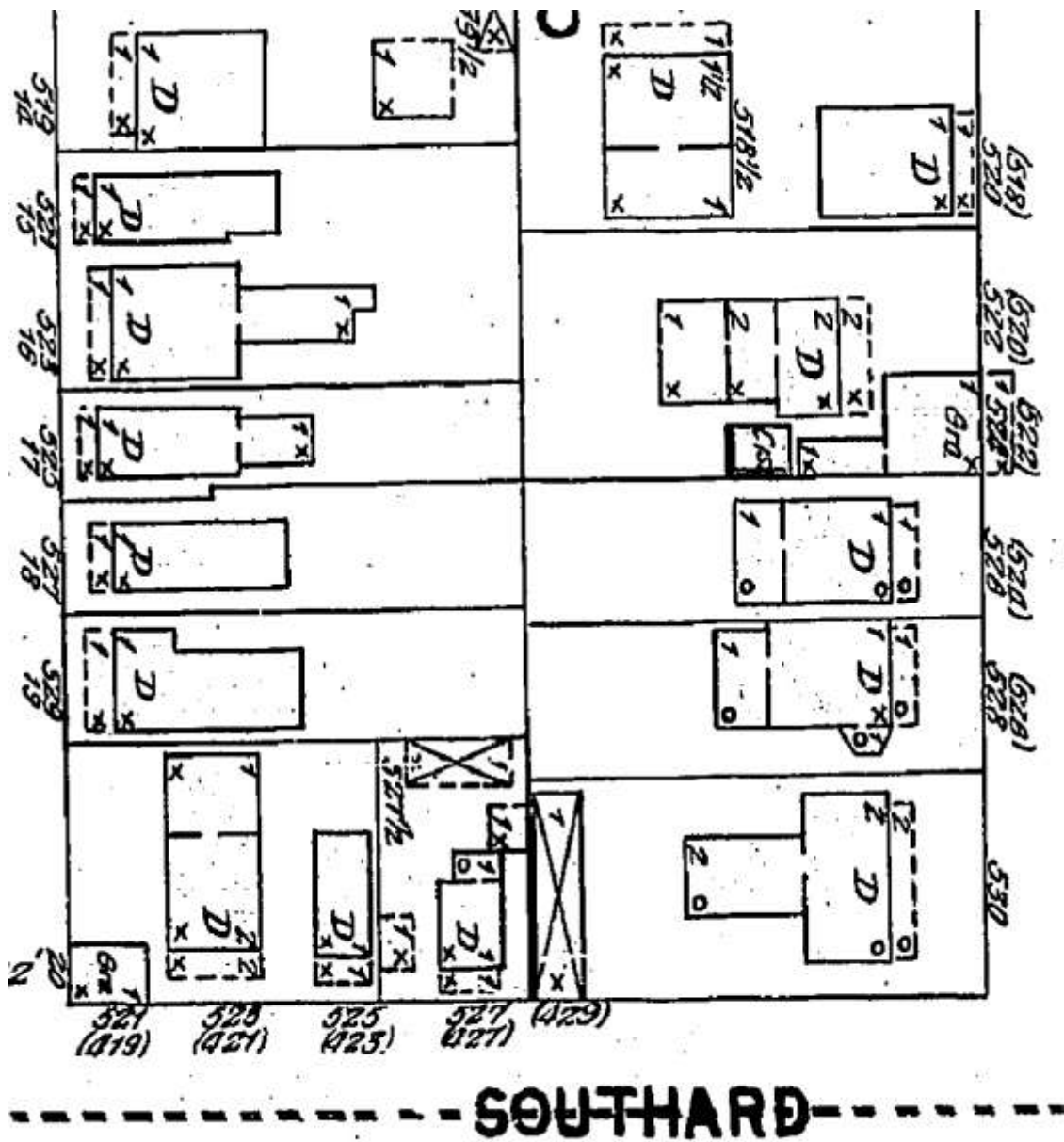


# SOUTHARD

Sanborn Map 1889



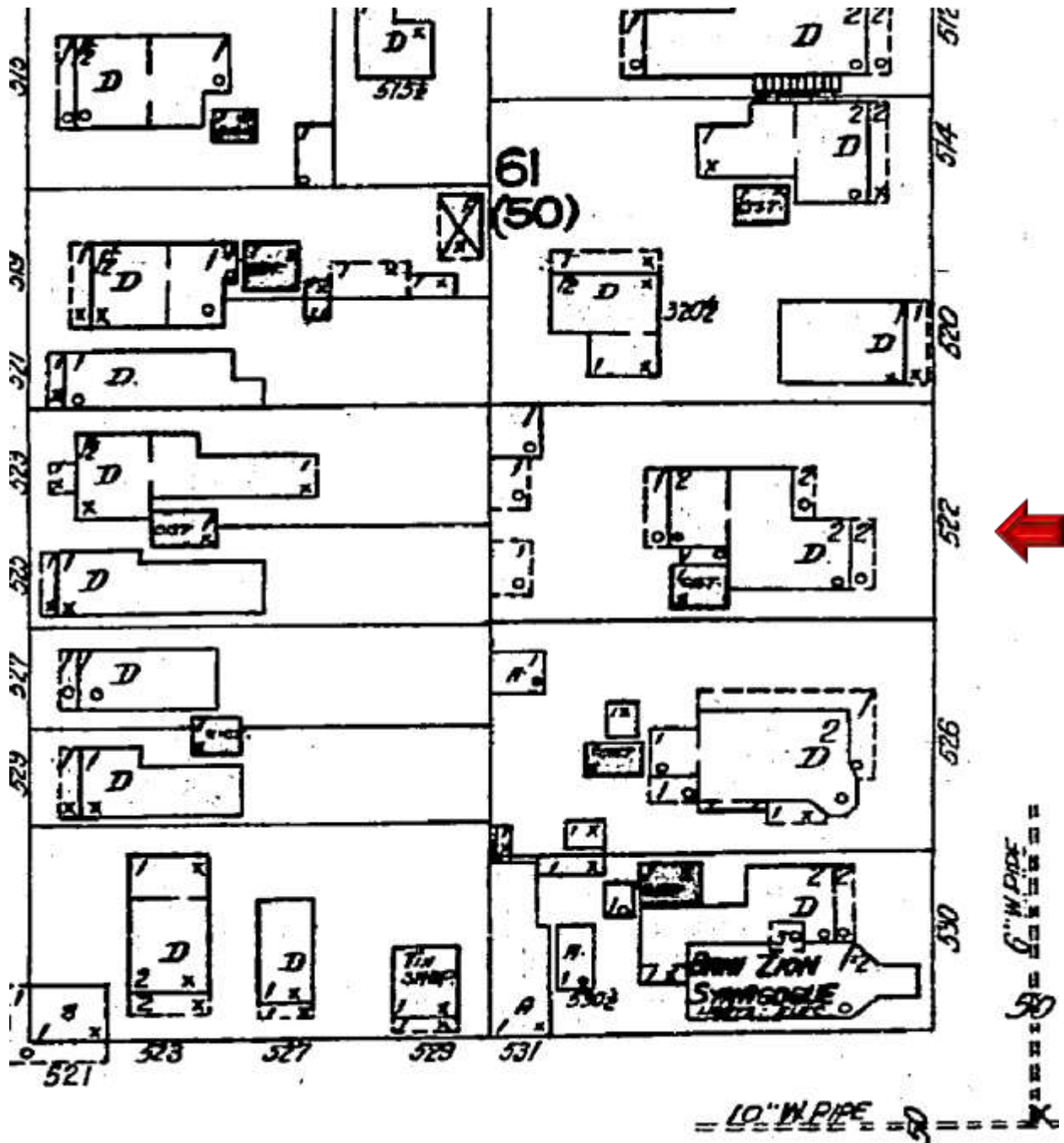
Sanborn Map 1892



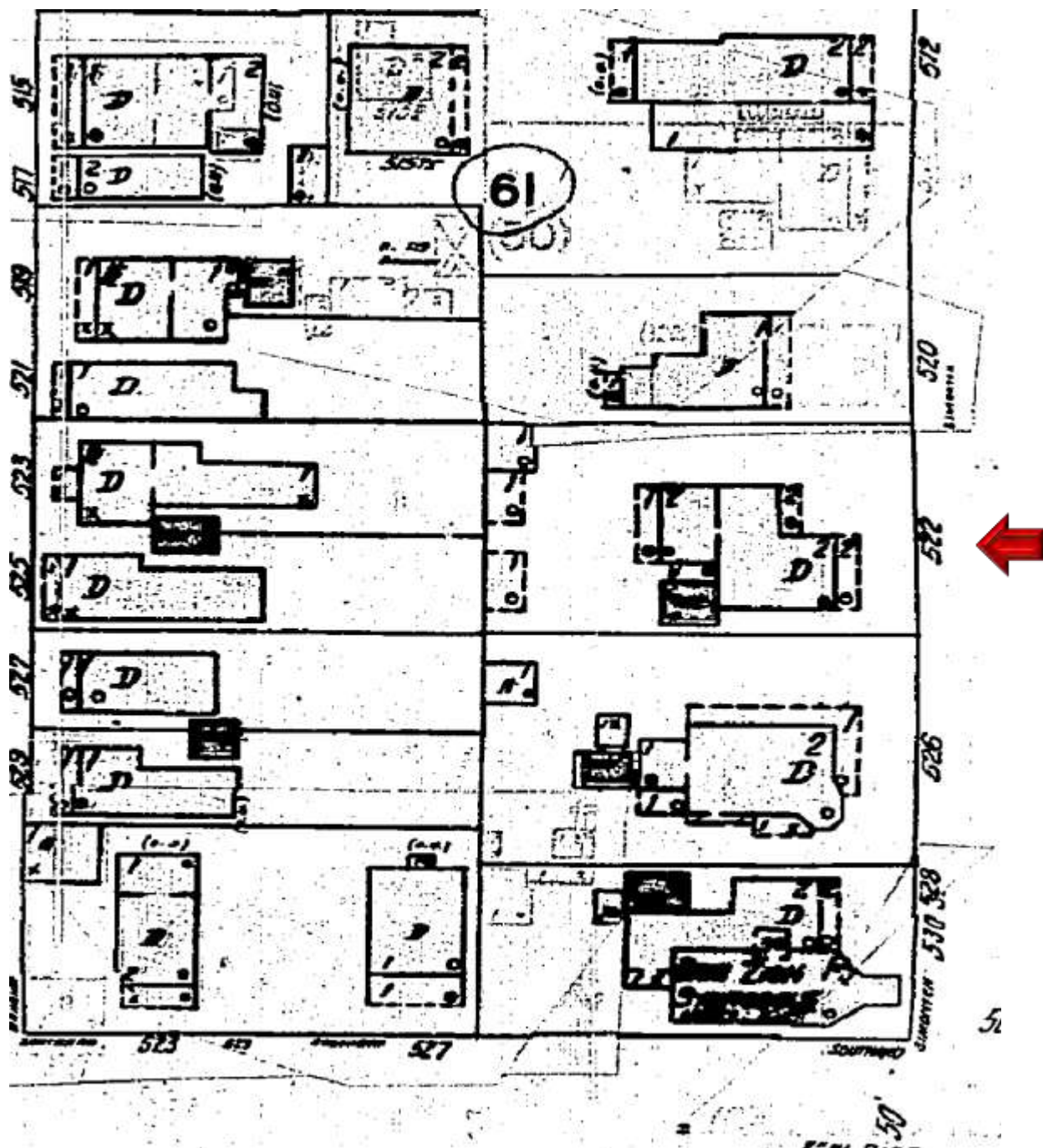
Sanborn Map 1899



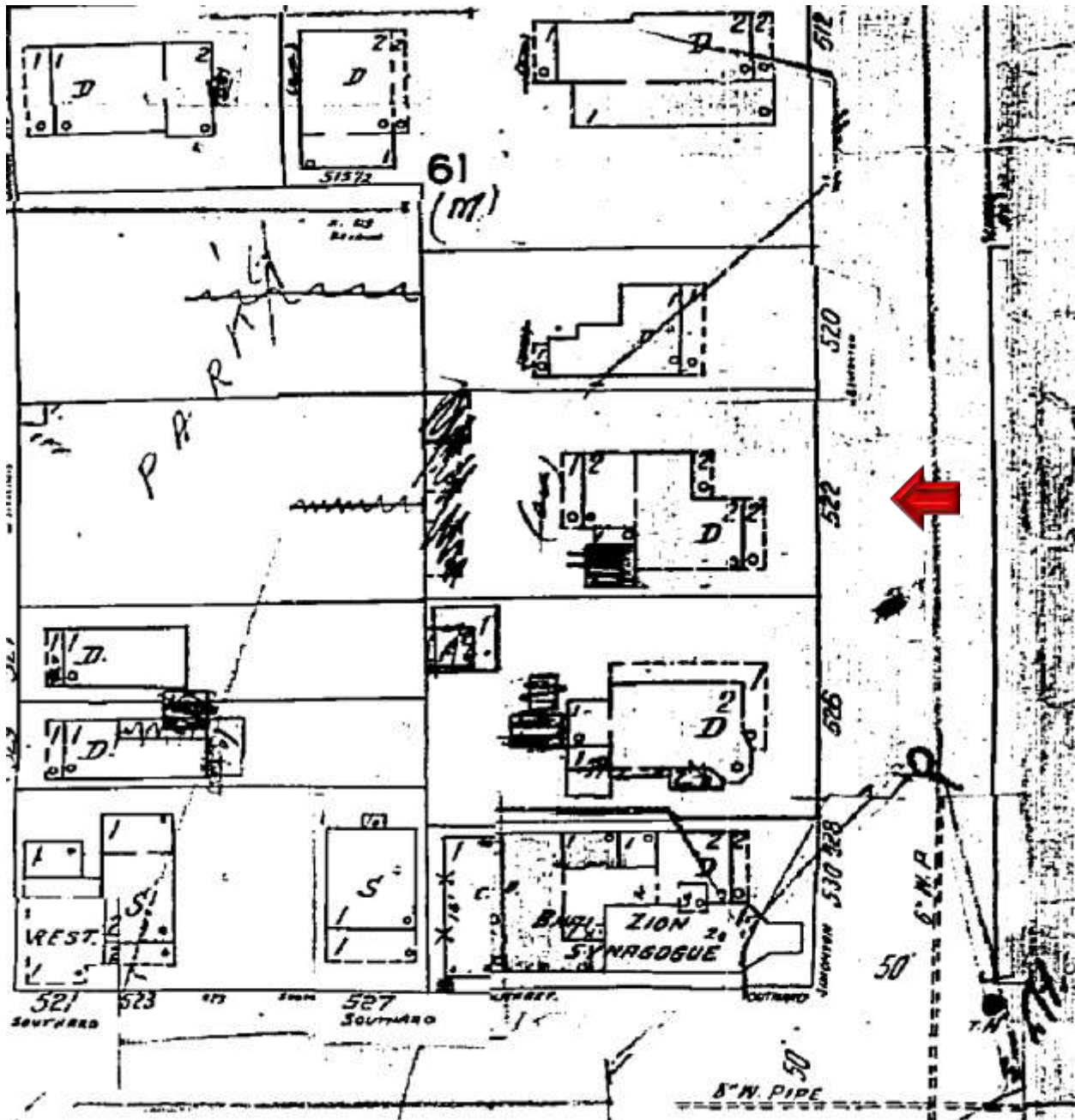
## Sanborn Map 1912



Sanborn Map 1926



Sanborn Map 1948



Sanborn Map 1962

# PROJECT PHOTOS



**522 Simonton Street ca. 1965. Monroe County Library.**





**DANGER**  
CONSTRUCTION AREA  
KEEP OUT



NO  
TRESPASSING























# PROPOSED DESIGN

Project Information:

Address: 522 Simonton St. Key West Fl 33040  
Owner: Glenn R Anderson 305-922-2480  
General Contractor/Builder: Kevin McChesney 305-304-6786  
Parcel ID: 00009320-000000  
Legal address:

KW PT LOT 1 SQR 50 G26-267 COUNTY JUDGES SERIES 3-M9 COUNTY  
JUDGES DOCKET 1-73-242 OR2097-797/798L/E OR2756-501LET/ADM

Flood Zone: X, Lowest adjacent grade elevation 12.4', Top of bottom floor 14.8'  
All Elevations Based on NGVD1929 Datum

Zoning: Historic Neighborhood Commercial (HNC-1)  
HARC: Yes

**Project Description:** Demolition of existing additions and construction of new addition to the rear of the primary residence

Coverage calculations:

Lot: 6610 s/f , Coverage limits: Structure - 50% (3310 s/f) & Impervious - 60% (3966 s/f)

Existing & Approved: Structure - 31.5% (2079 s/f) & Impervious - 33% (2179 s/f)

Planned addition coverage change: Structure: -76 sq ft. Impervious: +300 s/f

**New coverage calculations:** Structure - 30.3% (2003 s/f) & Impervious - 36.4% (2403 s/f)

Rear yard (lot width x setback): 58.5' x 15' = 877.5 sq ft

Maximum permitted coverage of rear yard =30% (263.3 sq ft) (includes structures, equipment pad but not pool or permeable decks)

**Proposed rear yard coverage** = 13.7% (No change)

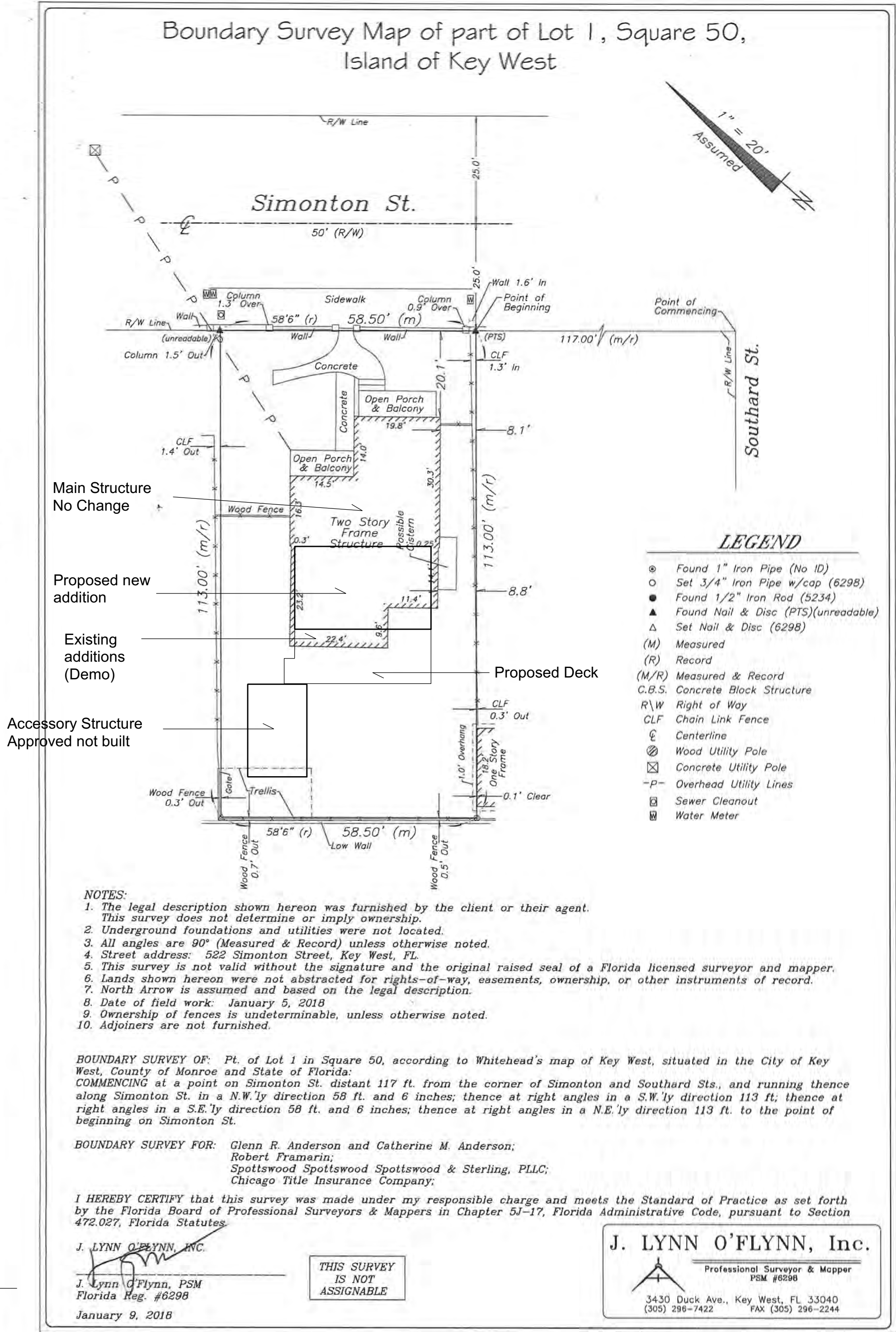
Mimimum Required Open Space = 35% (2313.5 sq ft)

**Proposed open space** = 63.6% (4207 sq ft)

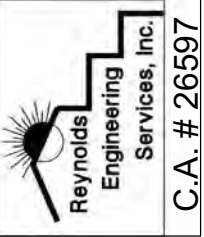
**Setbacks:** Front yard - 5', Side 5', Rear - 5', Rear (attached structures) - 15'

General Engineering Notes:

1. All work shall comply with applicable codes.
2. This design is based on the 6th Edition (2017) Florida Building Code.
3. The Builder shall follow the manufacture specifications and recommendations when selecting the correct connector for the environment and wood type.
4. The Builder using these plans shall be responsible for the means, methods, techniques, sequences, procedures and all safety aspects of contruction.
5. The Builder shall check and verify all dimensions and elevations.
6. Existing underground utilities are not shown and Builder shall contact all utility companies prior to any excavation. Builder shall protect all utilities and shall be responsible for any damages at his expense.
7. All lumber for structural members shall be pressure treated Southern Pine.
8. Exterior wall windows and doors must be certified and/or listed by an independent laboratory to be structurally capable of resisting a 180 mph wind load as determined by ASCE Standard 7-10 Minimum Design Loads for Building and Other Structures.
9. Connections: all connections and connectors for this project have been specified in this design and cannot be changed or substituted without written permission from the engineer of record. Connectors shall be installed as recommended and specified by the manufacturer.
10. Concrete shall be a mix designed by a recognized testing lab to achieve a strength of 4000 psi at 28 days with a plastic and workable mix. Concrete to be mixed, placed and cured according to ACI standards and specifications.
11. Reinforcing steel shall be ASTM A 615 Grade 60 deformed bars of new billet steel free from oil, scale and loose rust and placed in accordance with ACI standards and specifications.
- 12 Soil supporting concrete slabs on grade shall be compacted to a density of not less than 95 percent of the maximum density as determined by the Standard Proctor Method.



Cover & Survey



STRUCTURAL DETAILS BY  
JAMES C. REYNOLDS, PE  
FLORIDA P.E. #4685  
28350 LARITE DRIVE  
CUDDE KEY, FL 33042  
(305) 344-5997  
C.A. # 26597

SHEET TITLE:  
Cover & Survey

PROJECT DESCRIPTION:  
Main addition at  
522 Simonton St.  
Key West FL 33040

Owner: Glenn R. Anderson  
522 Simonton St Key West Fl 33040  
Tel: 305-922-2480  
Contractor: Kevin McChesney  
Tel: 305-304-6786

DATE:  
4/19/2018

SHEET:

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of 10



Existing Structure



Approved  
Accessory Structure

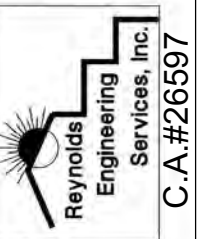
Approved  
Accessory Structure



Rear Elevation 36'

Assessory Structure Materials/Colors:  
Siding: 1 x 8 Cedar Lap siding - White (match existing)  
Trim: Treated Pine/White (match existing)  
Doors & Windows: White  
Shutters: None  
Roofing: Metal shingle - 'Victorian Style', natural color  
Hand Railings: pressure treated pine, White (match existing)  
Stairs and landings: pressure treated pine, unpainted

FEMA:  
Base Flood Elevation = X zone  
Existing structure elevation = 14.8'  
Proposed Structure Elevation = 14.8' (matches existing structure)  
Lowest Adjacent grade = 12.4'



STRUCTURAL DETAILS BY  
**JAMES C. REYNOLDS, PE**  
FLORIDA P.E.#46885  
22330 LARITE DRIVE GULF BREEZE, FL 32562  
(904) 394-5997

SHEET TITLE:  
**Elevations  
Front & Rear**

PROJECT DESCRIPTION:  
**522 Simonton St.  
Key West FL 33040**

DRAWINGS by:  
Glenn R. Anderson  
522 Simonton St Key West FL 33040  
Tel: 305-922-2480

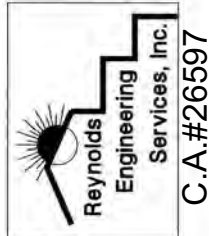
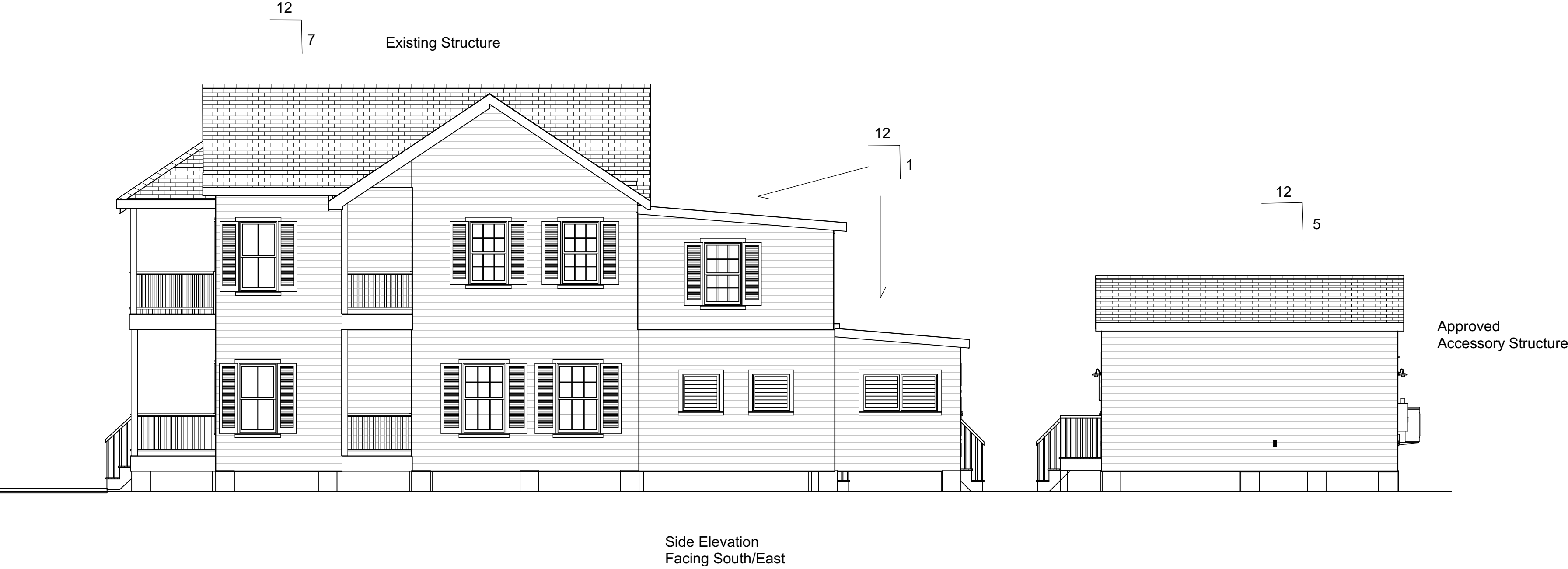
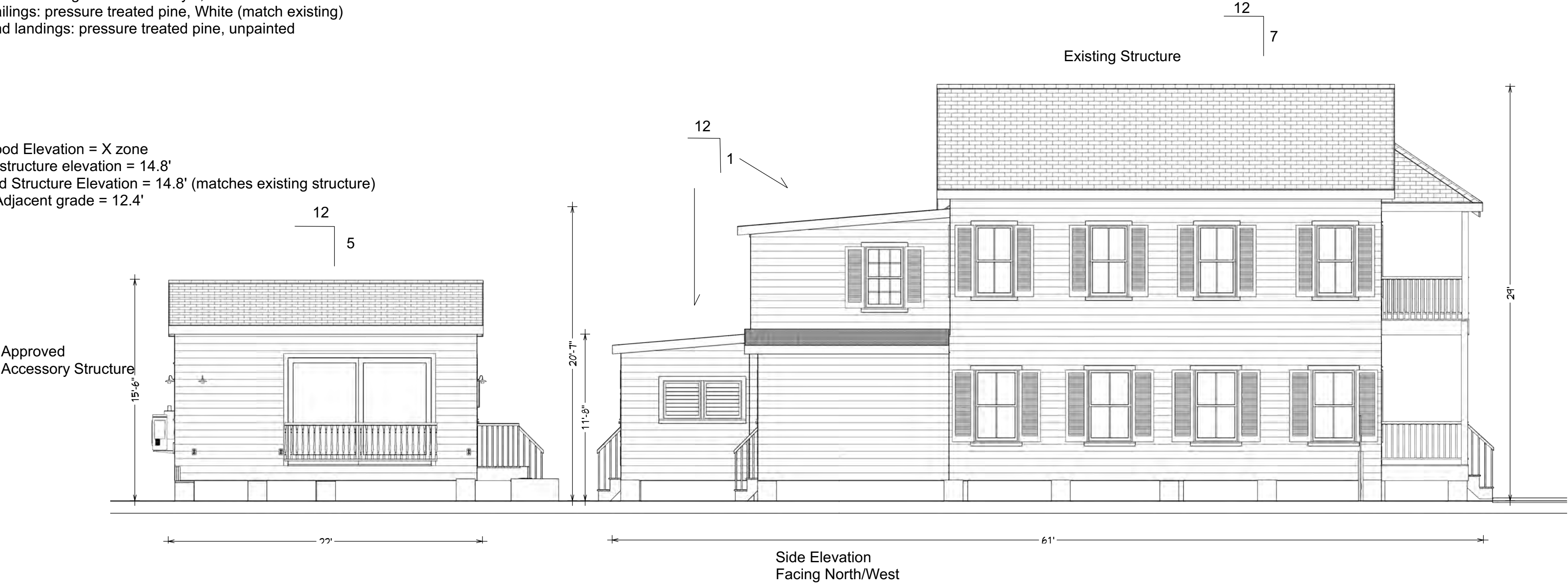
DATE:  
5/18/2018

SHEET:

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of 10

Materials/Colors:  
Siding: 1 x 8 Cedar Lap siding - White (match existing)  
Trim: White (match existing)  
Doors & Windows: White  
Shutters: None  
Roofing: Metal shingle - Victorian Style, natural color  
Hand Railings: pressure treated pine, White (match existing)  
Stairs and landings: pressure treated pine, unpainted

FEMA:  
Base Flood Elevation = X zone  
Existing structure elevation = 14.8'  
Proposed Structure Elevation = 14.8' (matches existing structure)  
Lowest Adjacent grade = 12.4'



STRUCTURAL DETAILS BY  
**JAMES C. REYNOLDS, PE**  
FLORIDA P.E.#46885  
22330 LARITE DRIVE GUDOE KEY, FL 33042  
(305) 394-5997

SHEET TITLE:  
**Elevations  
Sides**

PROJECT DESCRIPTION:  
**522 Simonton St.  
Key West FL 33040**

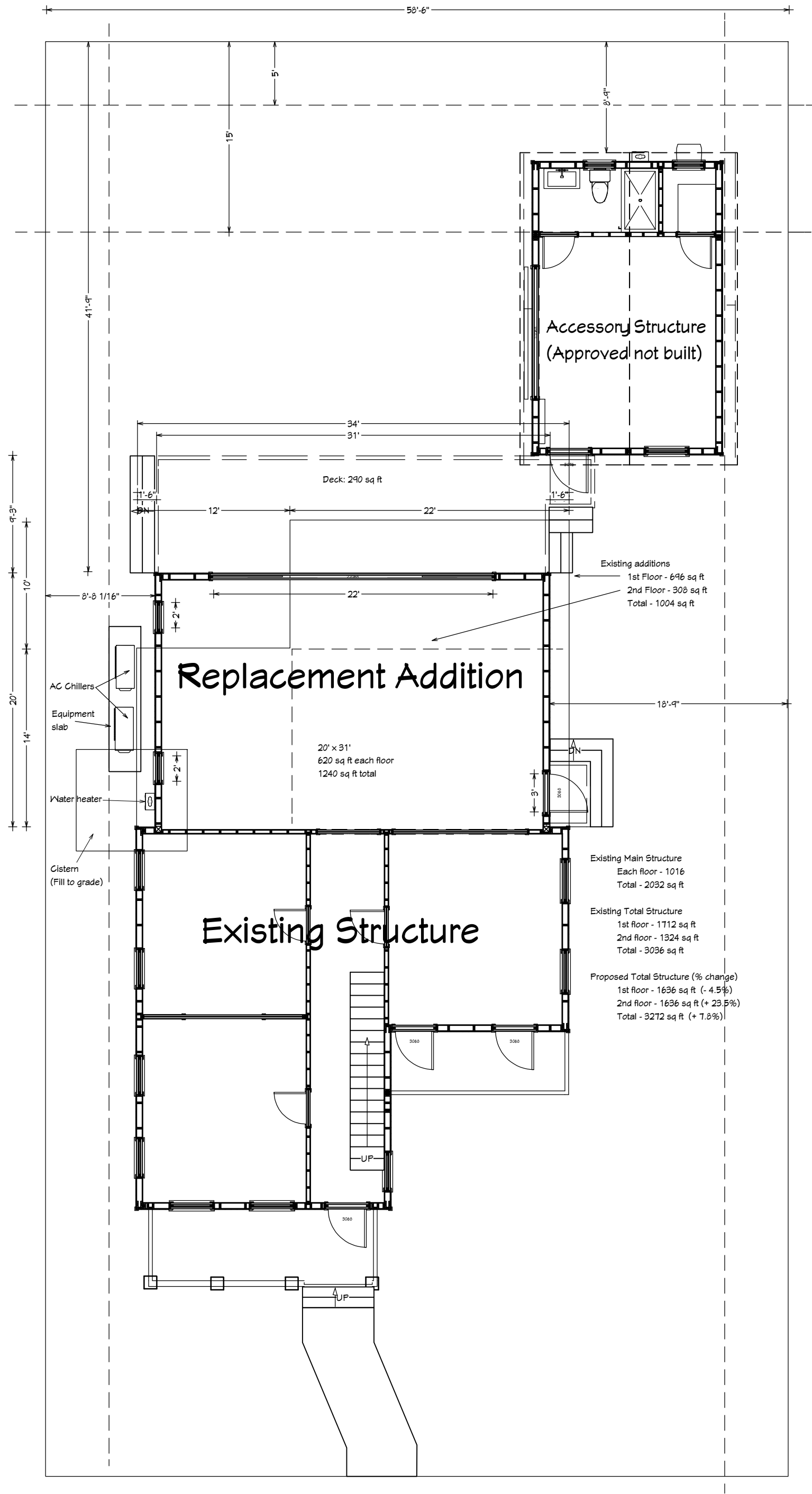
DRAWINGS by:  
Glenn R. Anderson  
522 Simonton St Key West Fl 33040  
Tel: 305-922-2480

DATE:  
5/18/2018

SHEET:

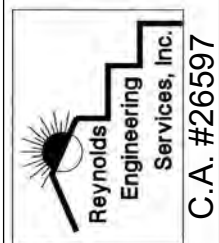
**A-4**  
of 10

Existing & Planned Structures:  
Base flood level = X Zone'  
Top of bottom floor = 14.7'  
Lowest Adjacent Grade = 12.4'  
NOTE: Floor of new addition will match existing



Site Plan

1/8" = 1'



STRUCTURAL DETAILS BY  
**JAMES C. REYNOLDS, PE**  
FLORIDA P.E. #46885  
22330 LARITTE DRIVE GUDOE KEY, FL 33042  
(305) 344-5957

SHEET TITLE:  
**Site Plan**

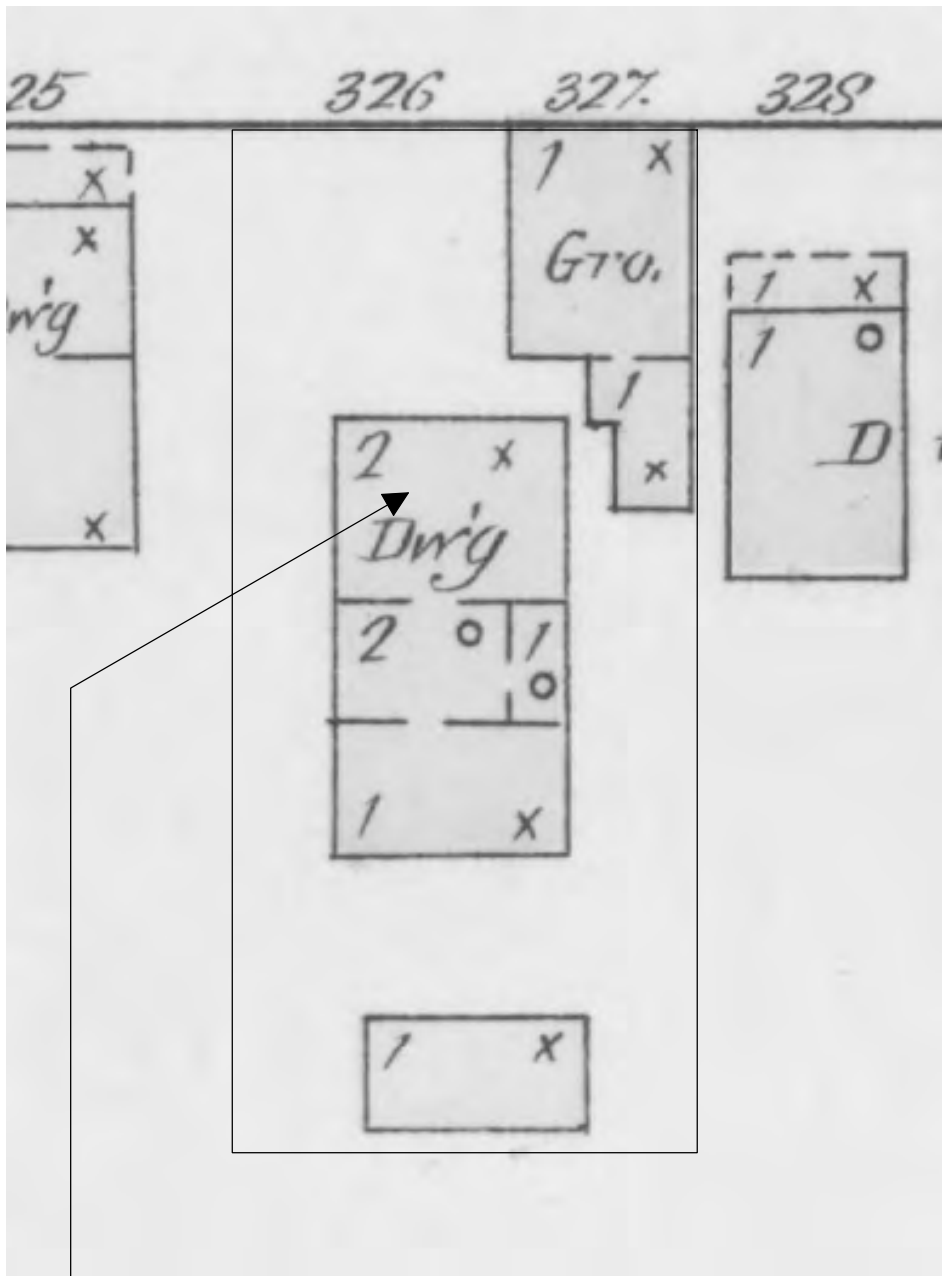
PROJECT DESCRIPTION:  
**Replacement addition at  
522 Simonton St.  
Key West FL 33040**

Owner: Glenn R. Anderson  
Tel: 305-922-2480  
522 Simonton St Key West Fl 33040  
Contractor: Kevin McChesney  
Tel: 305-304-6786

DATE:  
4/26/2018

SHEET:

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of 10



A

1889



1892

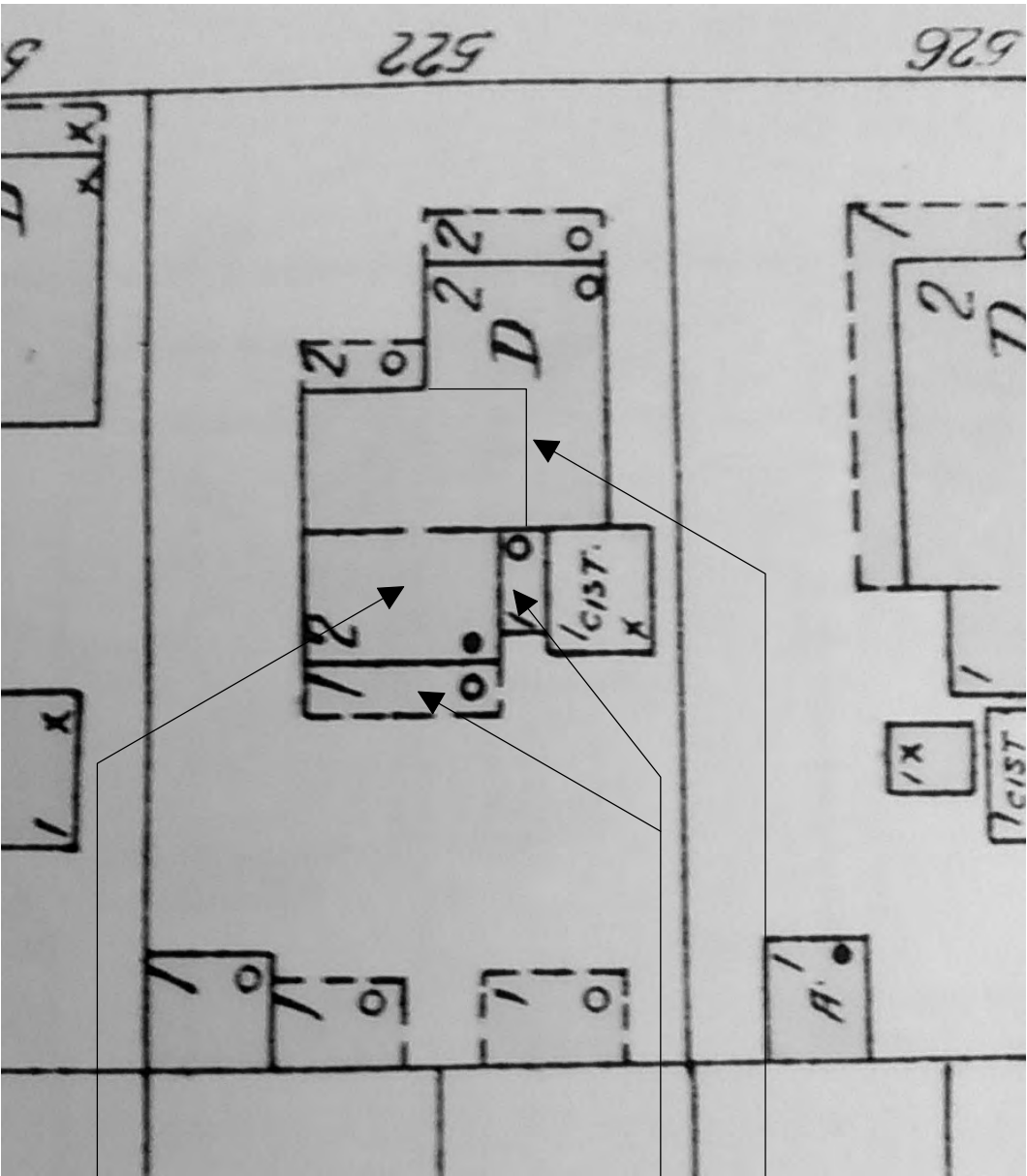


B

1899



1912

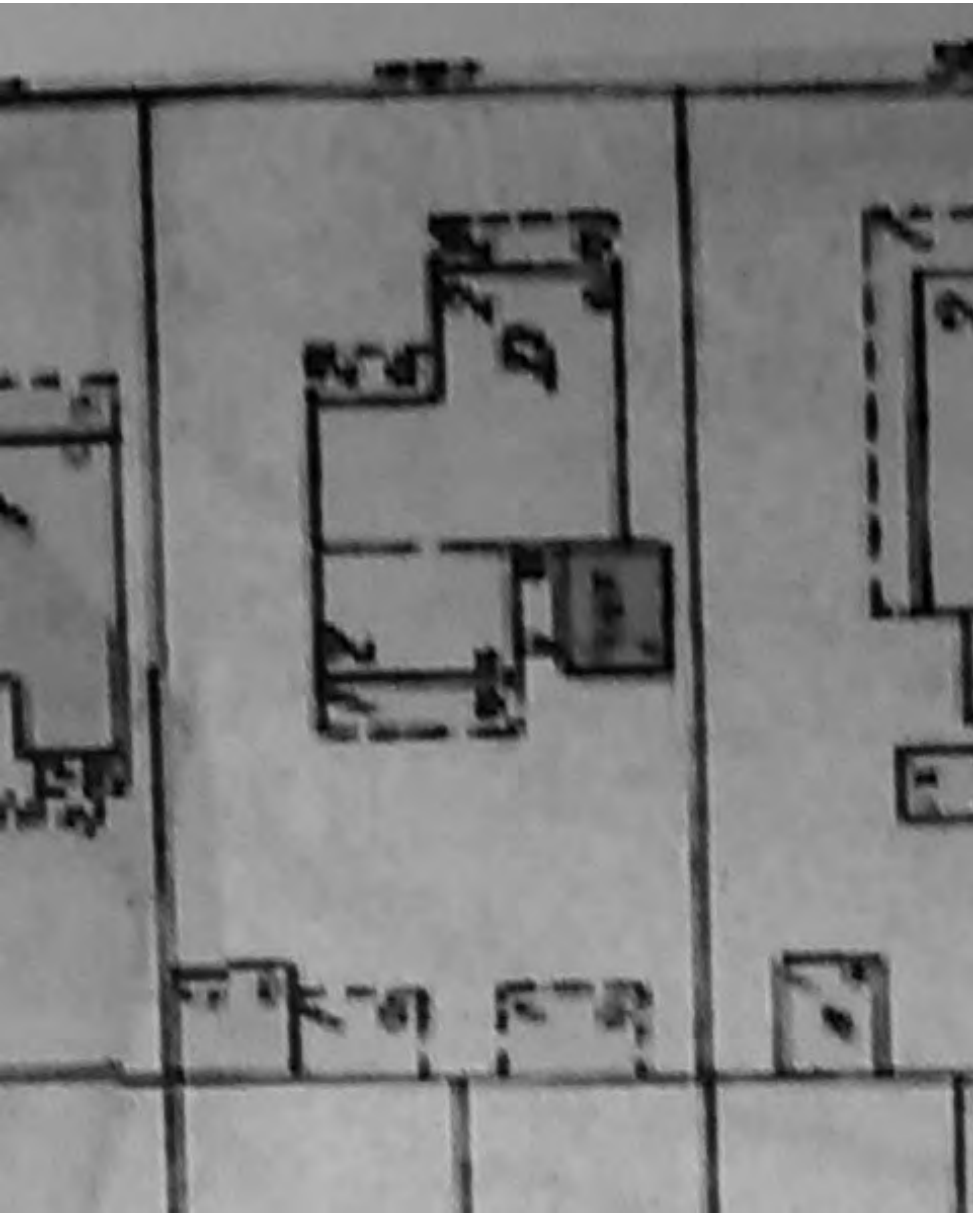


E

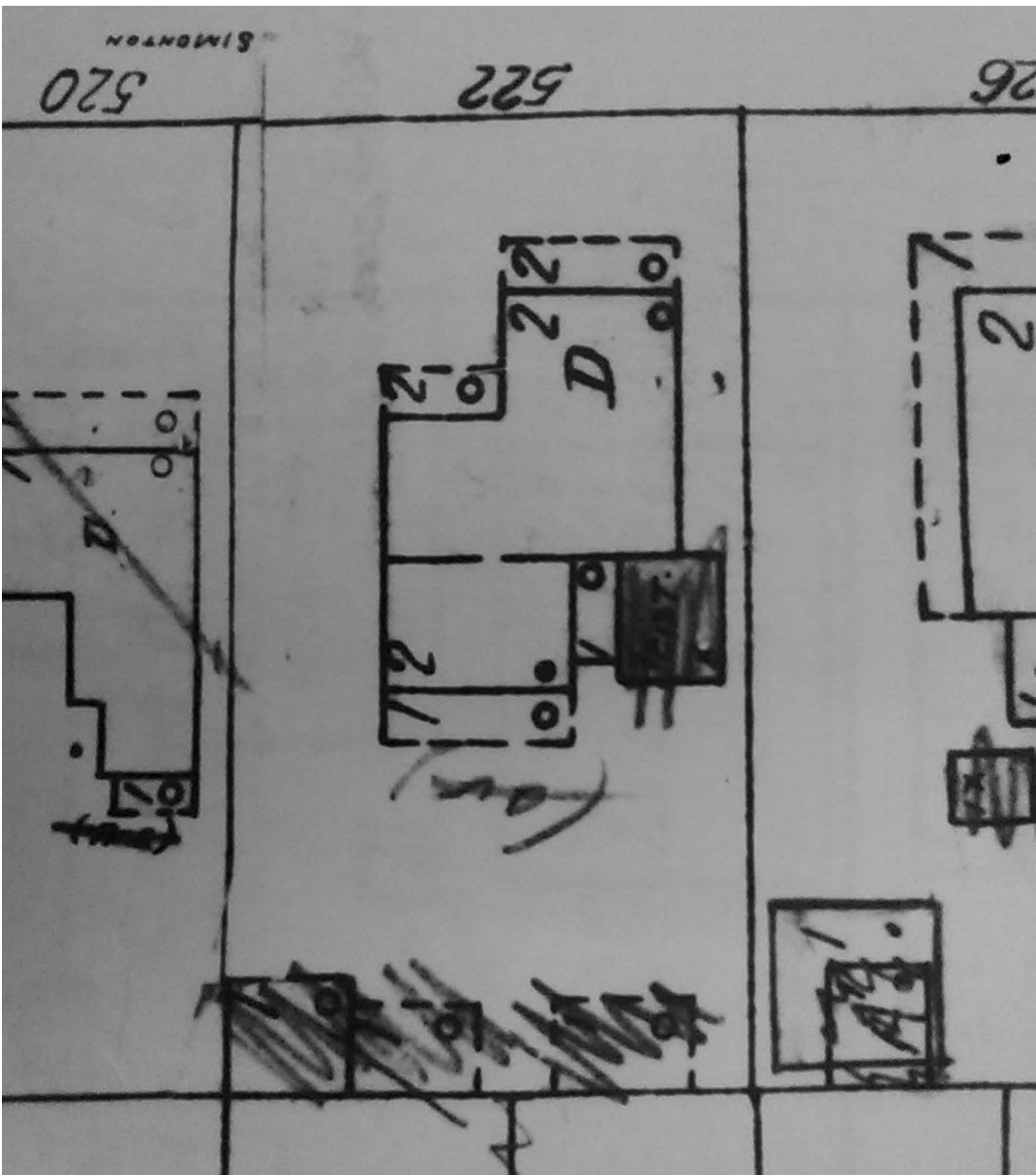
1926

D

C



1948



1962



STRUCTURAL DETAILS BY  
**JAMES C. REYNOLDS, PE**  
FLORIDA P.E. #4685  
2835 LARITE DRIVE GULF BAY, FL 33042  
(305) 394-5957

SHEET TITLE:  
**Sanborn Maps**

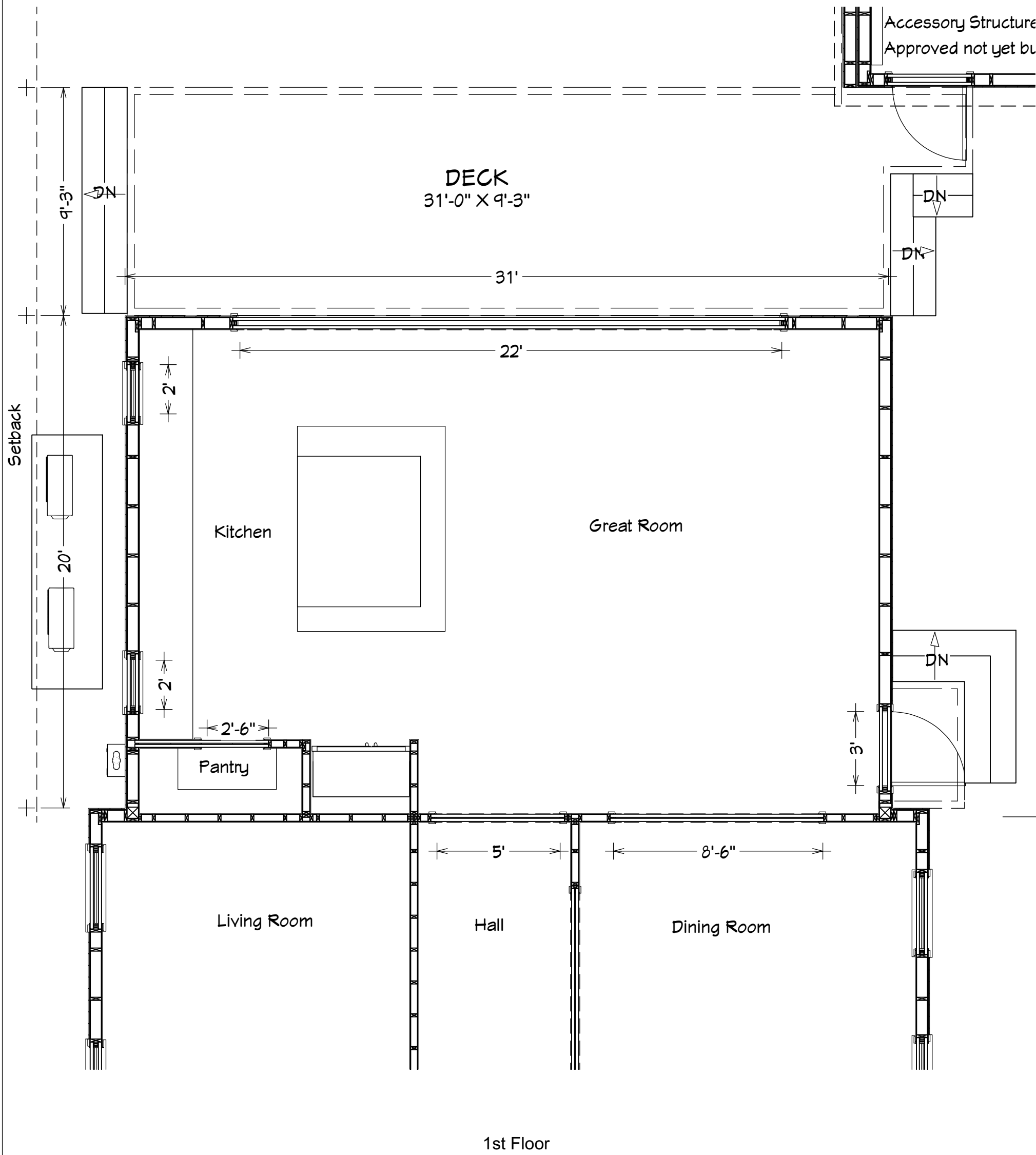
PROJECT DESCRIPTION:  
**Detached Pool House at  
522 Simonton St.  
Key West FL 33040**

Owner: Glenn R. Anderson  
Tel: 305-922-2480  
522 Simonton St Key West Fl 33040  
Contractor: Kevin McChesney  
Tel: 305-304-6786

DATE:  
4/22/2018

SHEET:

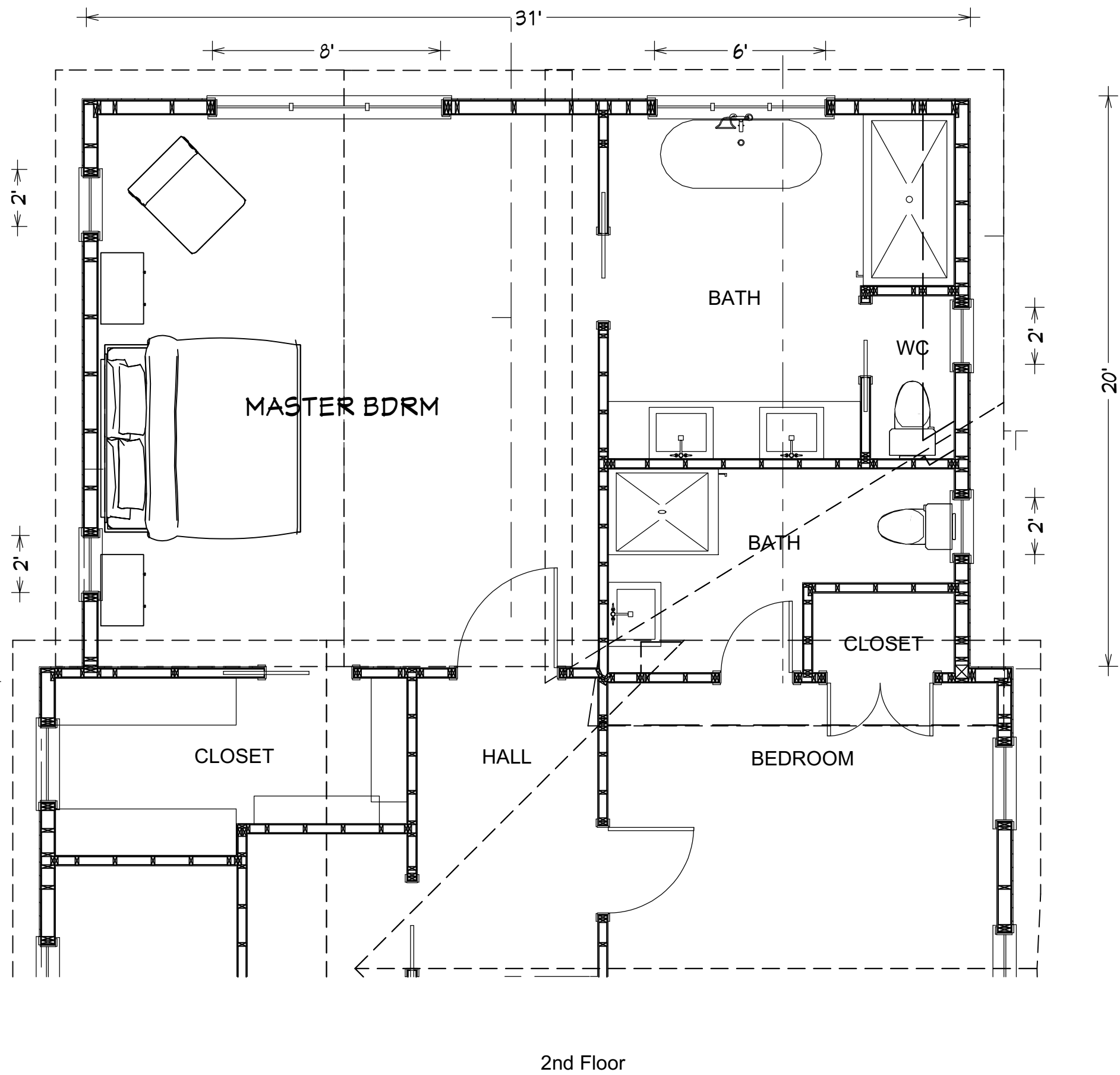
**A-3**  
of 10



Existing & Proposed Structure:  
Base flood level = X'  
Structure = 14.7'  
Grade = 12.4'

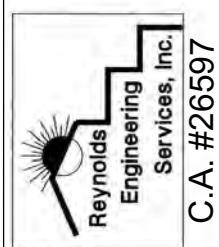
# Existing Structure

# Proposed Additions



Floor Plan - 1st & 2nd Addition Floors

1/4" = 1'



STRUCTURAL DETAILS BY  
**JAMES C. REYNOLDS, PE**  
FLORIDA P.E.#46885  
22335 LARITE DRIVE GULF BEECH, FL 32042  
(904) 344-5987

SHEET TITLE:  
**Floor Plans**

PROJECT DESCRIPTION:  
**Detached Pool House at  
522 Simonton St.  
Key West FL 33040**

Owner: Glenn R. Anderson  
Tel: 305-922-2480  
522 Simonton St Key West Fl 33040  
Contractor: Kevin McChesney  
Tel: 305-304-6786

DATE:  
4/26/2018

SHEET:

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of 10



Front Elevation

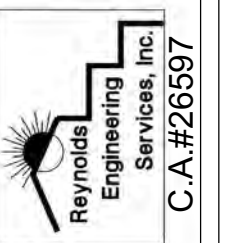


Rear Elevation

Addition Materials/Colors:  
 Siding: 1 x 8 Cedar Lap siding - White (match existing)  
 Trim: Treated Pine/White (match existing)  
 Doors & Windows: White  
 Shutters: None  
 Roofing: Metal shingle - 'Victorian Style', natural color  
 Hand Railings: pressure treated pine, White (match existing)  
 Stairs and landings: pressure treated pine, unpainted

FEMA:  
 Base Flood Elevation = X zone  
 Existing structure elevation = 14.8'  
 Proposed Addition Elevation = 14.8' (matches existing structure)  
 Lowest Adjacent grade = 12.4'

Existing Structure



STRUCTURAL DETAILS BY  
**JAMES C. REYNOLDS, PE**  
 FLORIDA P.E.#46885  
 22330 LARITTE DRIVE GUDOE KEY, FL 33042  
 (305) 344-5957

SHEET TITLE:  
**Elevations  
 Front & Rear**

PROJECT DESCRIPTION:  
**Detached Pool House  
 522 Simonton St.  
 Key West FL 33040**

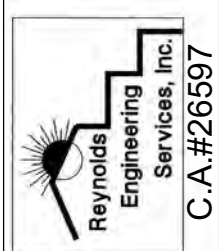
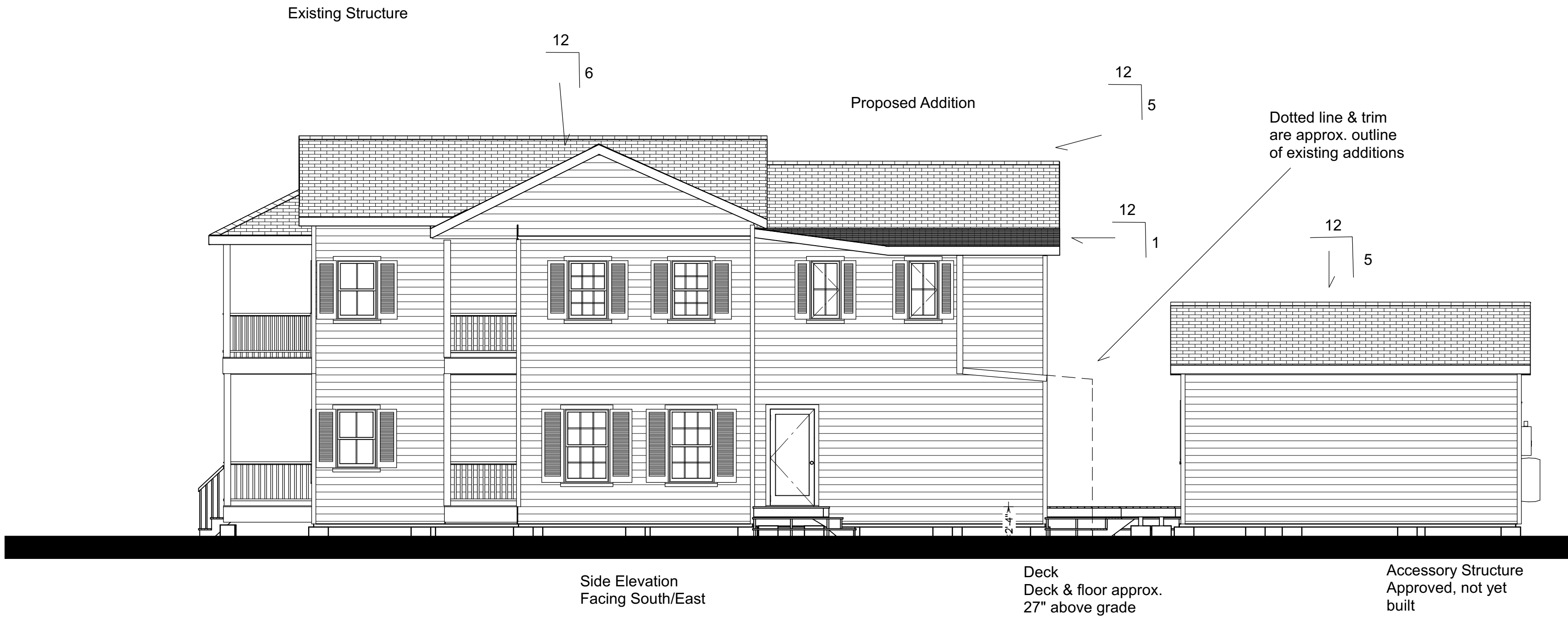
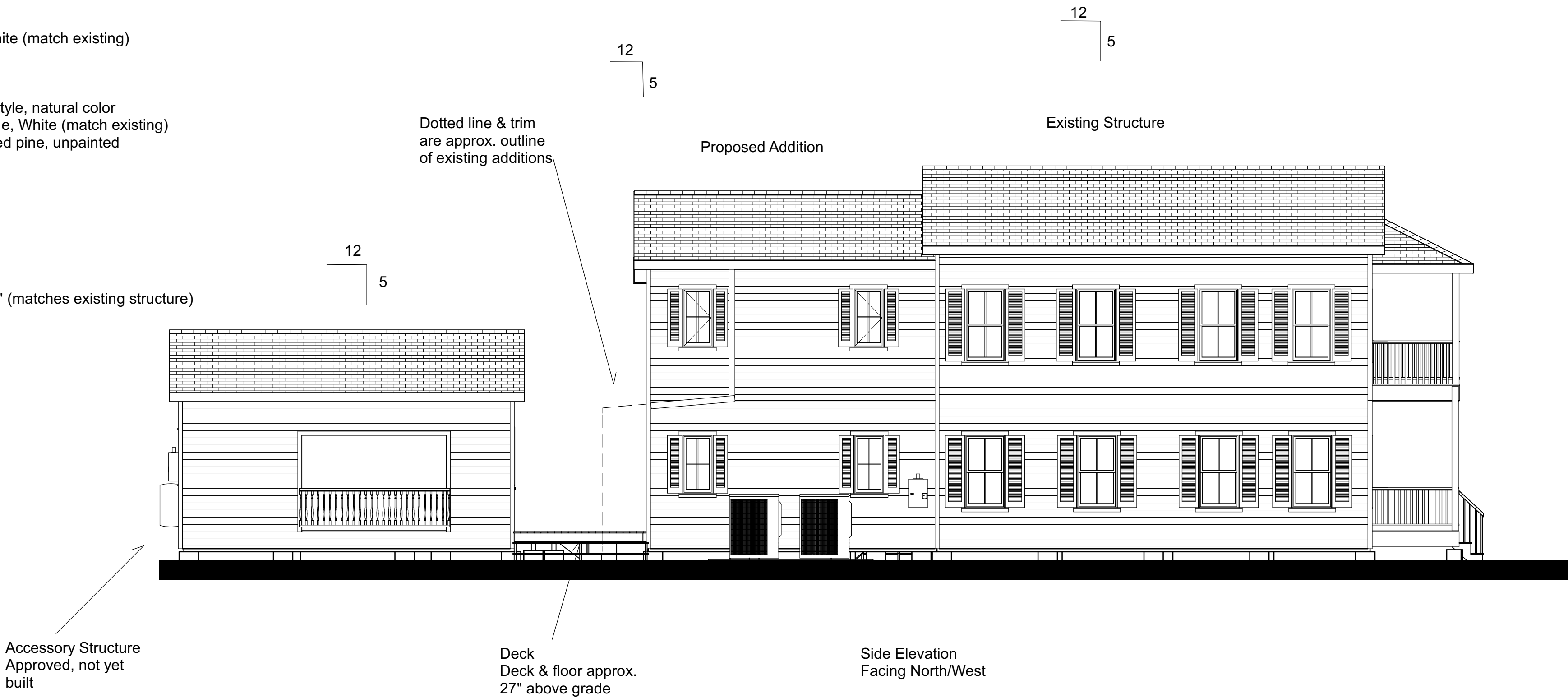
DRAWINGS by:  
 Glenn R. Anderson  
 522 Simonton St Key West Fl 33040  
 Tel: 305-922-2480

DATE:  
 4/26/2018

SHEET:  
**A-5**  
 of 10

Materials/Colors:  
Siding: 1 x 8 Cedar Lap siding - White (match existing)  
Trim: White (match existing)  
Doors & Windows: White  
Shutters: None  
Roofing: Metal shingle - Victorian Style, natural color  
Hand Railings: pressure treated pine, White (match existing)  
Stairs and landings: pressure treated pine, unpainted

FEMA:  
Base Flood Elevation = X zone  
Existing structure elevation = 14.8'  
Proposed Addition Elevation = 14.8' (matches existing structure)  
Lowest Adjacent grade = 12.4'



STRUCTURAL DETAILS BY  
**JAMES C. REYNOLDS, PE**  
FLORIDA P.E.#46885  
22330 LARITE DRIVE GUDOE KEY, FL 33042  
(305) 344-5987

Elevations  
Sides

SHEET TITLE:

PROJECT DESCRIPTION:  
**Detached Pool House**  
**522 Simonton St.**  
**Key West FL 33040**

DRAWINGS by:  
Glenn R. Anderson  
522 Simonton St Key West FL 33040  
Tel: 305-922-2480

DATE:  
4/26/2018

SHEET:

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of 10

# NOTICING

# Public Meeting Notice

The Historic Architectural Review Commission will hold a public hearing at 5:30 p.m., May 23, 2018 at Key West City Hall, 1300 White Street, Key West, Florida. The purpose of the hearing will be to consider a request for:

**RENOVATIONS TO EXISTING MAIN HOUSE INCLUDING SIDING REPAIRS AND REPLACING AND PAINTING. NEW TWO-STORY ADDITION AT REAR OF HOUSE. NEW WOOD DECK AT REAR. DEMOLITION OF EXISTING TWO AND ONE-STORY REAR ADDITIONS.**

**FOR #522 SIMONTON STREET**

**Applicant – Glenn Anderson**

**Application #18-03-0020**

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 1300 White Street, call 305-809-3975 or visit our website at [www.cityofkeywest-fl.gov](http://www.cityofkeywest-fl.gov).

**THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION**

**ADA ASSISTANCE:** It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 800-955-8771 or 800-955-8770 (Voice) or the ADA Coordinator at 305-809-3731 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.

# PROPERTY APPRAISER INFORMATION



### Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

### Summary

**Parcel ID** 00009320-000000  
**Account #** 1009571  
**Property ID** 1009571  
**Millage Group** 10KW  
**Location** 522 SIMONTON St , KEY WEST  
**Address**  
**Legal** KW PT LOT 1 SQR 50 G26-267 COUNTY JUDGES SERIES 3-M9  
**Description** COUNTY JUDGES DOCKET 1-73-242 OR2097-797/798L/E  
OR2756-501LET/ADM OR2890-1632/33  
(Note: Not to be used on legal documents)  
**Neighborhood** 6108  
**Property Class** SINGLE FAMILY RESID (0100)  
**Subdivision**  
**Sec/Twp/Rng** 06/68/25  
**Affordable** No  
**Housing**



### Owner

ANDERSON CATHERINE M  
 522 Simonton St  
 Key West FL 33040

ANDERSON GLENN R  
 522 Simonton St  
 Key West FL 33040

### Valuation

	2017	2016	2015	2014
+ Market Improvement Value	\$85,687	\$78,960	\$189,112	\$191,418
+ Market Misc Value	\$1,231	\$1,231	\$1,072	\$974
+ Market Land Value	\$639,504	\$567,849	\$573,960	\$535,696
= Just Market Value	\$726,422	\$648,040	\$764,144	\$728,088
= Total Assessed Value	\$712,844	\$648,040	\$738,212	\$671,102
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$726,422	\$648,040	\$764,144	\$728,088

### Land

Land Use	Number of Units	Unit Type	Frontage	Depth
RESIDENTIAL DRY (010D)	6,610.00	Square Foot	0	0

### Buildings

Building ID	658	Exterior Walls	ABOVE AVERAGE WOOD
Style	2 STORY ELEV FOUNDATION	Year Built	1928
Building Type	S.F.R. - R1 / R1	EffectiveYearBuilt	1928
Gross Sq Ft	3036	Foundation	WD CONC PADS
Finished Sq Ft	2652	Roof Type	GABLE/HIP
Stories	2 Floor	Roof Coverage	METAL
Condition	POOR	Flooring Type	CONC S/B GRND
Perimeter	332	Heating Type	NONE with 0% NONE
Functional Obs	90	Bedrooms	5
Economic Obs	0	Full Bathrooms	1
Depreciation %	81	Half Bathrooms	1
Interior Walls	WALL BD/WD WAL	Grade	550
		Number of Fire Pl	0

Code	Description	Sketch Area	Finished Area	Perimeter
OPX	EXC OPEN PORCH	216	0	0
FLA	FLOOR LIV AREA	2,652	2,652	0

Code	Description	Sketch Area	Finished Area	Perimeter
OPF	OP PRCH FIN LL	84	0	0
OUF	OP PRCH FIN UL	84	0	0
<b>TOTAL</b>		<b>3,036</b>	<b>2,652</b>	<b>0</b>

### Yard Items

Description	Year Built	Roll Year	Quantity	Units	Grade
FENCES	1944	1945	1	165 SF	3
FENCES	1994	1995	1	342 SF	2

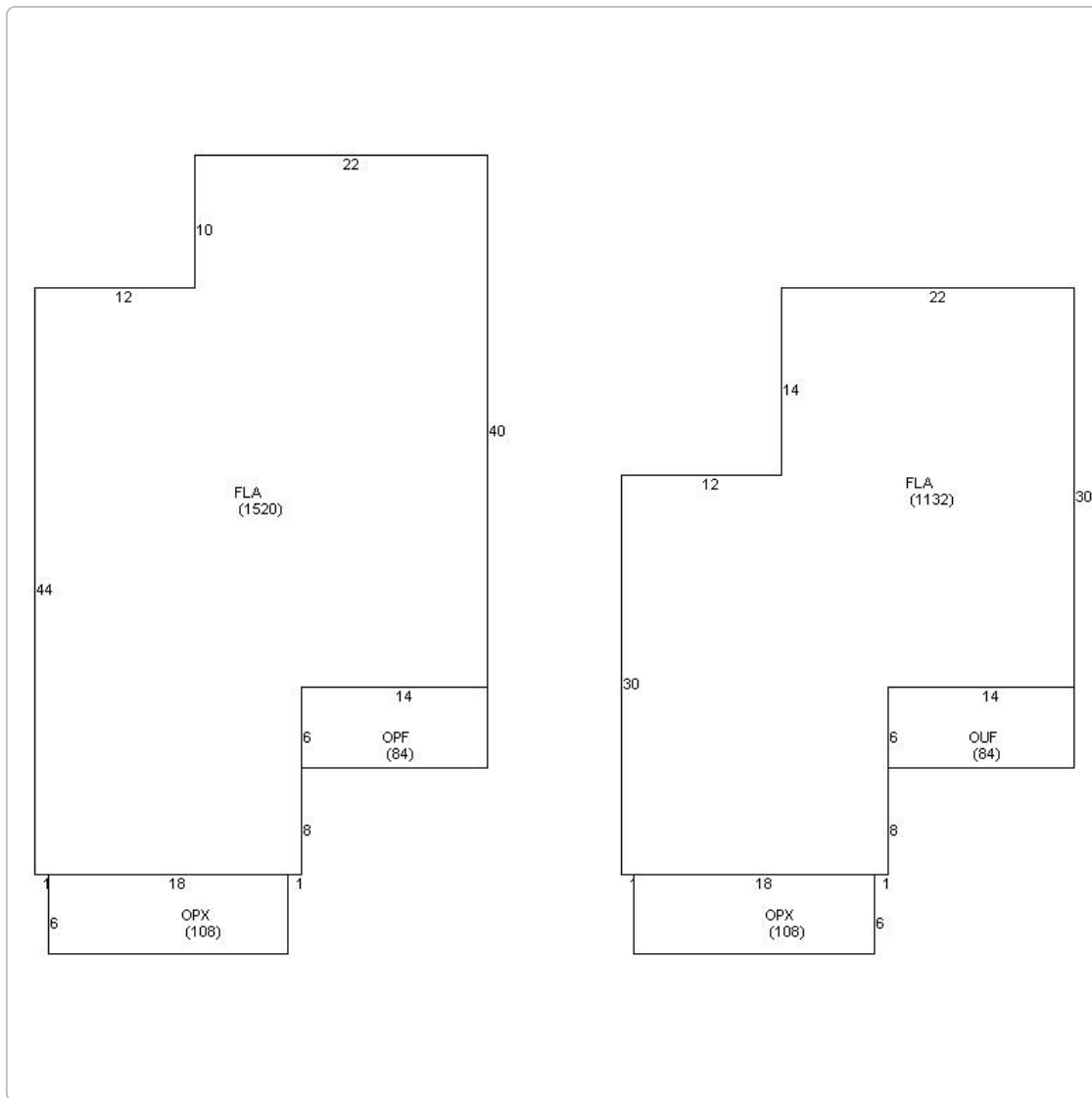
### Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved
2/6/2018	\$1,300,000	Warranty Deed	2154210	2890	1632	03 - Qualified	Improved
5/19/2015	\$0	Other		2756	501	11 - Unqualified	Improved
3/24/2005	\$850,000	Warranty Deed		2097	797	O - Unqualified	Improved

### Permits

Number ↕	Date Issued ↕	Date Completed ↕	Amount ↕	Permit Type ↕	Notes ↕
0200479	2/25/2002	10/3/2002	\$13,000		NEW V-CRIMP ROOF
A951413	4/1/1995	8/1/1995	\$1,200		57 LF WOOD FENCE

### Sketches (click to enlarge)



### Photos



## Map



**No data available for the following modules:** Commercial Buildings, Mobile Home Buildings, Exemptions.

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