



608 WHITEHEAD STREET
KEY WEST, FLORIDA 33040

DAVID PAUL HORAN, P.A.* CARA A. HIGGINS, P.A.** DARREN M. HORAN, P.A. September 17, 2018

(305) 294-4585 FAX (305) 294-7822 www.horanhiggins.com *ALSO MEMBER COLORADO BAR **ALSO MEMBER NEW JERSEY & PENNSYLVANIA BAR

Mr. Patrick Wright, Planning Director City of Key West 1300 White Street Key West, FL 33040

RE: Variance request - Addendum

RE#00037230-000100

Dear Mr. Wright,

Attached is an updated variance request from the Floodplain Ordinance code section 34-129 that was originally submitted on September 5, 2018. The purpose of the request is to allow temporary office trailers to remain on the site while the remodeling of existing structures is completed. The construction that is underway on this site is to repair damages caused by Hurricane Irma.

We acknowledge the increased risk to flood waters due to the trailers not being elevated above the floodplain, however, it is of economic necessity that the temporary trailers remain secured in place at their current location.

We appreciate your assistance. We hope you can support the request.

Sincerely yours,

DAVID PAUL HORAN

For the Firm

DPH:krh

Enclosures as Stated.



Application For Variance

SEY 85 2018

City of Key West, Florida • Planning Department
1300 White Street • Key West, Florida 33040• 305-809-3720 • www.cityofkeywest-fl.gov

Application Fee: \$1,150.00 / After-the-Fact: \$2,150.00 (includes \$100.00 advertising/noticing fee and \$50.00 fire review fee)

SEP 06 2018

Please complete this application and attach all required documents. This will help staff process your request quickly and obtain necessary information without delay. If you have any questions, please call 305-809-3720.

Site Address: 715 Seminole Ave Zoning District: HMDR Real Estate (RE) #: 00037230-000100 Property located within the Historic District? Yes No APPLICANT: Owner Authorized Representative Name: David Horan Mailing Address: 608 Whitehead Street				
Property located within the Historic District? ■ Yes □ No APPLICANT: □ Owner ■ Authorized Representative Name: David Horan				
Name: David Horan				
Mailing Address: 608 Whitehead Street				
City: Key West State: FL Zip: 33040				
Home/Mobile Phone: NA Office: 305-294-4585 Fax:				
Email: DPH@HORANHIGGINS.COM				
PROPERTY OWNER: (if different than above) Name: Nancy Vu c/o Park Intermediate Holdings, LLC Mailing Address: 1600 Tyson Blvd., 7th Floor				
City: Tysons State: VA Zip: 22102				
Home/Mobile Phone: NA Office: 571-302-5581 Fax:				
Email: nvu@pkhotelsandresorts.com				
Description of Proposed Construction, Development, and Use: Manufactured structures: Temporary office trailers used as administrative offices during construction and recovery				
from damage of permanent structures on site caused by hurricane Irma.				
List and describe the specific variance(s) being requested: Variance to code section 34-136(2)(a) to allow trailers to be placed without permanent, reinforced foundations. And a variance				
to code section 34-136(4)(a) to exempt the temporary trailers from the general elevation requirement such that the				
bottom of the frame is at or above the applicable building code requirement for areas located within the AE8 & AE9 flood zone.				
Are there any easements, deed restrictions or other encumbrances attached to the property? Yes No If yes, please describe and attach relevant documents:				

Will any work be within the dripline (canopy) of any tree on or off the property? If yes, provide date of landscape approval, and attach a copy of such approval.	Yes	■ No
Is this variance request for habitable space pursuant to Section 122-1078?	□ Yes	□ No

Please fill out the relevant Site Data in the table below. For Building Coverage, Impervious Surface, Open Space and F.A.R. provide square footages and percentages.

Site Data Table					
	Code Requirement	Existing	Proposed	Variance Request	
Zoning	HMDR				
Flood Zone	AE8 & AE9 zone				
Size of Site	4,000 SF				
Height	30 ft.		No change	NA	
Front Setback	10 ft.		No change	NA	
Side Setback	5 ft.		No change	NA	
Side Setback	5 ft.		No change	NA	
Street Side Setback	7.5 ft.		No change	NA	
Rear Setback	15 ft.		No change	NA	
F.A.R	1.0 max		No change	NA	
Building Coverage	40%		No change	NA	
Impervious Surface	60%		No change	NA	
Parking	1/300 SF		No change	NA	
Handicap Parking	1		No change	NA	
Bicycle Parking	25%		No change	NA	
Open Space/ Landscaping	35%		No change	NA	
Number and type of units	Office		No change	NA	
Consumption Area or Number of seats	NA	NA	NA	NA	

This application is reviewed pursuant to Section 90-391 through 90-397 of the City of Key West Land Development Regulations (LDRs). The City's LDRs can be found in the Code of Ordinances online at http://www.municode.com/Library/FL/Key West under Subpart B.

^{*}Please note, variances are reviewed as quasi-judicial hearings, and it is improper for the owner or applicant to speak to a Planning Board member or City Commissioner about the hearing.

Standards for Considering Variances

Before any variance may be granted, the Planning Board and/or Board of Adjustment must find all of the following requirements are met:

1. Existence of special conditions or circumstances. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other land, structures or buildings in the same zoning district.

Special conditions exist. Trailers are providing emergency administrative offices for displaced hotel staff while construction/repairs are completed due to hurricane Irma.

2. Conditions not created by applicant. That the special conditions and circumstances do not result from the action or negligence of the applicant.

Conditions were not created by the appliant.

The conditions and circumstances are a result of a natural disaster and not due to the action or negligence of the applicant.

3. Special privileges not conferred. That granting the variance(s) requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings or structures in the same zoning district.

Special privileges will not be conferred upon the granting of the variance. The granting of the variance will allow next to normal business operations to continue by providing emergency office accommodations on a temporary basis while rebuilding occurs.

4. Hardship conditions exist. That literal interpretation of the provisions of the land development regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant.

Hardship conditions do exist. The literal interpretation of the land development regulations would inflict undue economic hardship on the client by regulating temporary construction based on requirements intended for permanent structures.

5. Only minimum variance(s) granted. That the variance(s) granted is/are the minimum variance(s) that will make possible the reasonable use of the land, building or structure.

Only the minimum variance is being requested to allow offices to remain in their current temporary placement.

City of Key West • Application for Variance

intent and purpose of the land development regulations and that such variances will not be injurious to the area involved or otherwise detrimental to the public interest or welfare.
The approval of this variance will not be injurious to the public welfare and will be
in harmony with the general intent and purpose of the LDRs.
Existing nonconforming uses of other property shall not be considered as the basis for approval. That no other nonconforming use of neighboring lands, structures, or buildings in the same district, and that no other permitted use of lands, structures or buildings in other districts shall be considered grounds for the issuance of a variance.
Existing nonconforming uses of other property is not considered as the basis for
approval.
e Planning Board and/or Board of Adjustment shall make factual findings regarding the following: That the standards established in Section 90-395 have been met by the applicant for a variance. That the applicant has demonstrated a "good neighbor policy" by contacting or attempting to contact all noticed property owners who have objected to the variance application, and by addressing the objections
expressed by these neighbors. Please describe how you have addressed the "good neighbor policy."

Addendum Variance to the Floodplain Ordinance Code Section 34-129 RE# 00037230-000100

34-129(6) Considerations for issuance of variance. In reviewing requests for variances, the planning board shall consider all technical evaluations, all relevant factors, all other applicable provisions of the Florida Building Code, this ordinance, and the following:

(a) The danger that materials and debris may be swept onto other lands resulting in further injury or damage;

Per attached plans, structures are secured in place to eliminate the danger that materials and debris may be swept onto other lands resulting in further injury or damage.

(b) The danger to life and property due to flooding or erosion damage;

These are temporary trailers related to the reconstruction of the adjacent permanent structures. These are not residential units and will not be inhabited during a flood event. The danger to life and property due to flooding or erosion damage is minimal to nonexistent.

(c) The susceptibility of the proposed development, including contents, to flood damage and the effect of such damage on current and future owners;

The temporary trailers have minimal susceptibility to flood damage due to their short temporal lifespan. Future owners of the property will not be affected.

(d) The importance of the services provided by the proposed development to the community;

The availability of administrative offices in the close vicinity of the construction is of the utmost importance for the successful oversight of day-to-day operations. It is of economic necessity to maintain the structures on site.

(e) The availability of alternate locations for the proposed development that are subject to lower risk of flooding or erosion;

This site is located in the AE 8 and AE 9 flood zones. The trailers were located in the AE 8 zone to the greatest extent possible. There are no other alternative locations, on site, for the structures which would be of lower risk to flooding or erosion.

(f) The compatibility of the proposed development with existing and anticipated development;

The structures are not incompatible as a resource for temporary emergency offices.

(g) The relationship of the proposed development to the comprehensive plan and floodplain management program for the area;

The development is consistent with the Comprehensive Plan. Policy 5-1.7.5 identifies the possible need of variances in the post-disaster redevelopment of structures and provides the City with the ability to evaluate the needs for such a variance.

(h) The safety of access to the property in times of flooding for ordinary and emergency vehicles;

The proposed structures do not impede access to the property by ordinary or emergency vehicles.

(i) The expected heights, velocity, duration, rate of rise and debris and sediment transport of the floodwaters and the effects of wave action, if applicable, expected at the site; and

Wind/Seismic Analysis and load determinations are provided in attached documents.

(j) The costs of providing governmental services during and after flood conditions including maintenance and repair of public utilities and facilities such as sewer, gas, electrical and water systems, streets and bridges.

The owner acknowledges the risk due to the structures not being elevated to code requirement.

Determination of Compliance:

1. Failure to grant the variance would result in exceptional hardship due to the physical characteristics of the land that render the lot undevelopable; increased costs to satisfy the requirements or inconvenience do not constitute hardship;

Failure to grant the variance will result in economic hardship of the property owner who is taking action to recover from Hurricane Irma.

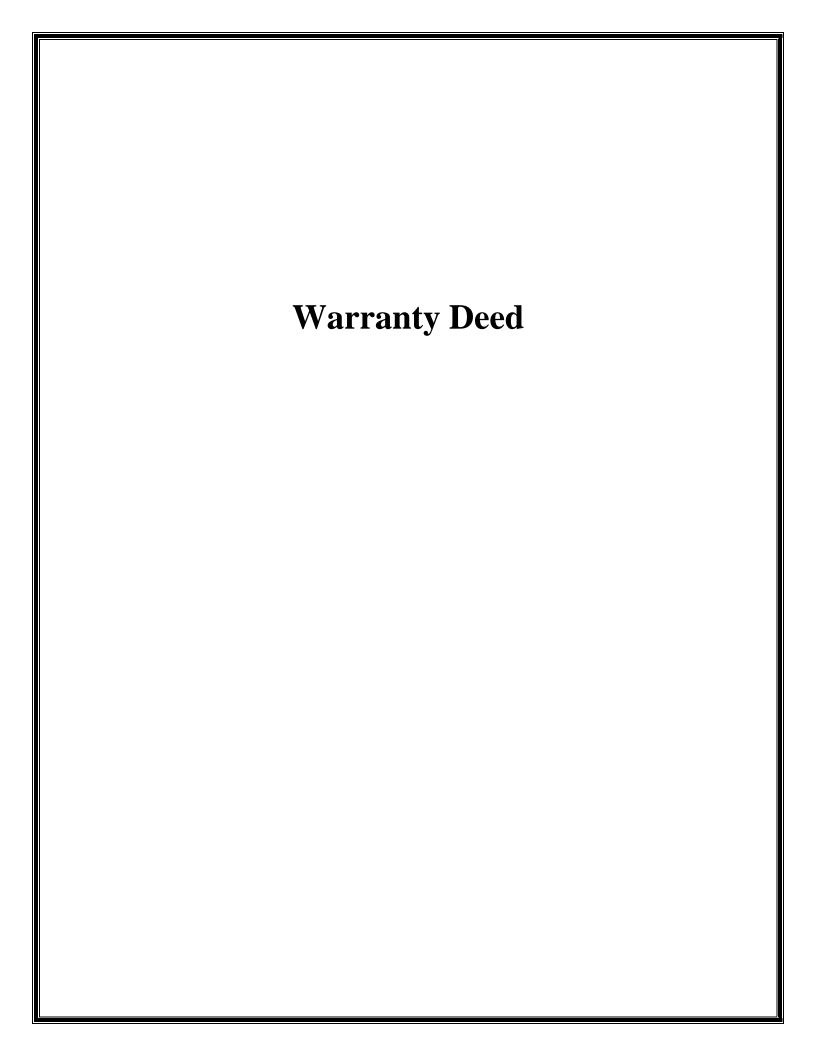
2. The granting of a variance will not result in increased flood heights, additional threats to public safety, extraordinary public expense, nor create nuisances, cause fraud on or victimization of the public or conflict with existing local laws and ordinances;

Granting this variance will not result in a threat to public safety or involve any expense by the public. Granting this variance will not result create a nuisance, cause fraud or victimize the public in any way. Granting this variance is in compliance with comprehensive plan policy 5-1.7.5.

3.	The variance is the minimum necessary deviation from the requirements of this ordinance, considering the flood hazard, to afford relief;
	For the reasons itemized above, the variance is the minimum necessary deviation from the requirements of this ordinance.
I,granto	agree that if the variance is ed, it shall be recorded in the office of the clerk of the court in such
land.	nner that it appears in the chain of title of the affected parcel of
Signatu	ure Date
Subscribe	ed and sworn to (or affirmed) before me on(date) by
	(name of affiant), he/she is personally known to me or has presentedas identification.
Notary's S	Signature and Seal
	Name of Acknowledger printed or stamped

_____ Title or Rank

______ Commission Number, if any



Doc# 1633895 03/22/2007 12:21PM Filed & Recorded in Official Records of MONROE COUNTY DANNY L. KOLHAGE

RETURN TO: FIDELITY NATIONAL TITLE INSURANCE COMPANY ATTN: JENNIE CLAYTON 5690 W. Cypress St., Ste A Tampa, FL 33607

Ι

03/22/2007 12:21PM DEED DOC STAMP CL: PW

\$28,000.00

Tampa, FL 33607 NAPS / FNT File No Myndhant

Doc# 1633895 Bk# 2281 Pg# 1224

Prepared under local supervision by:

Alison Ando, Esq. @ Simpson Thacher & Bartlett LLP 425 Lexington Ave, NY, NY 10017

Limited Warranty Deed

THIS LIMITED WARRANTY DEED made this 31st day of December, 2005, between IHC Realty Partnership, L.P., a Delaware limited partnership (formerly known as Interstone Partners I, L.P., a Delaware limited partnership), c/o Blackstone Real Estate Acquisitions IV L.L.C., 345 Park Avenue, New York, New York 10154 ("Grantor") and BRE/FL Development Parcels L.L.C., a Delaware limited liability company, c/o Blackstone Real Estate Acquisitions IV L.L.C., 345 Park Avenue, New York, New York 10154 ("Grantee").

Witnesseth:

That the Grantor, in consideration of the sum of \$4,000,000 paid by Grantee, the receipt and sufficiency of which is hereby acknowledged, does hereby grants, sells, conveys, transfers, assigns and warrants unto Grantee, its successors and assigns, all of its estate, right, title and interest in and to that certain plot, piece or parcel of land (together with the buildings and improvements thereon erected) described on Schedule A hereto (the "Premises").

Together with: all right, title and interest (if any) of Grantor in and to any streets and roads abutting the Premises to the center line thereof, as well as any gaps, strips or gores on, around or within the Premises;

Together with: all right, title and interest (if any) of Grantor in and to any hereditaments and appurtenances, and all of the estate and rights of Grantor.

To have and to hold the Premises herein conveyed unto the Grantee, its successors and assigns forever.

Grantor covenants with Grantee that (a) Grantor is lawfully seized of the fee simple title, (b) the fee simple title is free from all encumbrances, except those appearing in the existing Owner's Policy insuring the Grantor's fee simple title, (c) Grantor has a good right and lawful authority to sell and convey the fee simple title, (d) Grantor fully warrants the fee simple title to immediate Grantee only, and (e) Grantor will defend the fee simple title from all lawful claims of immediate Grantee only. The foregoing warranty is for the sole benefit of immediate Grantee only and shall not extend any successor grantee.

In witness whereof, the undersigned, by its duly elected officer(s) and pursuant to proper authority of its board of directors has duly executed, acknowledged and delivered this instrument as of the day and year first above written.

Grantor:

Doc# 1633895 Bk# 2281 Pg# 1225

IHC Realty Partnership, L.P.

By: IHC

IHC Realty Corporation, a Delaware corporation

By:

Name: Anthony Besnich

Title:

Witness #1:

Name:

Witness #2:

Name:

County of New York)	
)	Doc# 1633895
State of New York	ý	Bk# 2281 Pg# 1226

On December 31, 2005, before me, the undersigned, a Notary Public in and for said State, personally appeared Antony Beauty, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he / she / they executed the same in his / her / their capacity(ies), and that by his / her / their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument. Witness my hand and official seal.

Notary Public

I

MELISSA HERLAND

Notary Public, State of Flow York

No. 30-4814429

Outsided in Massau County

Convolution Evolution

Society

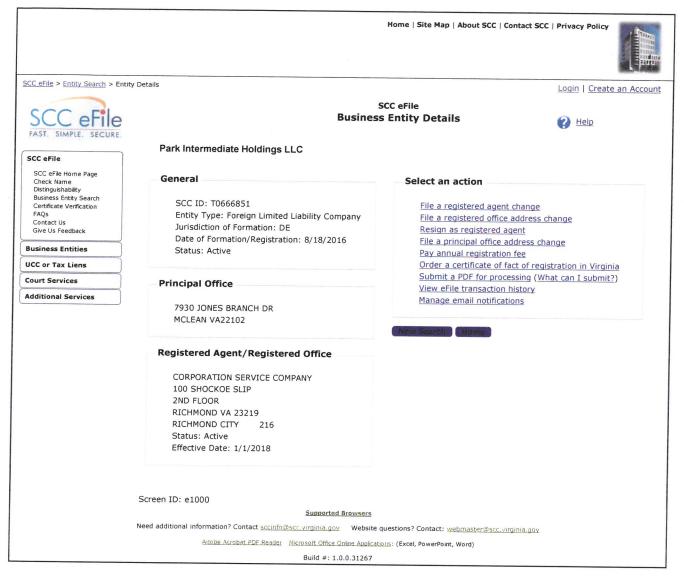
Doc# 1633895 Bk# 2281 Pg# 1227

Schedule A:

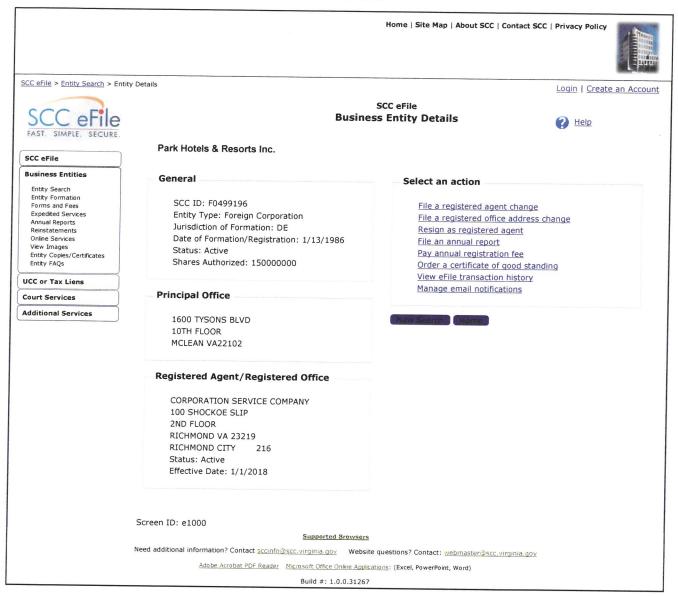
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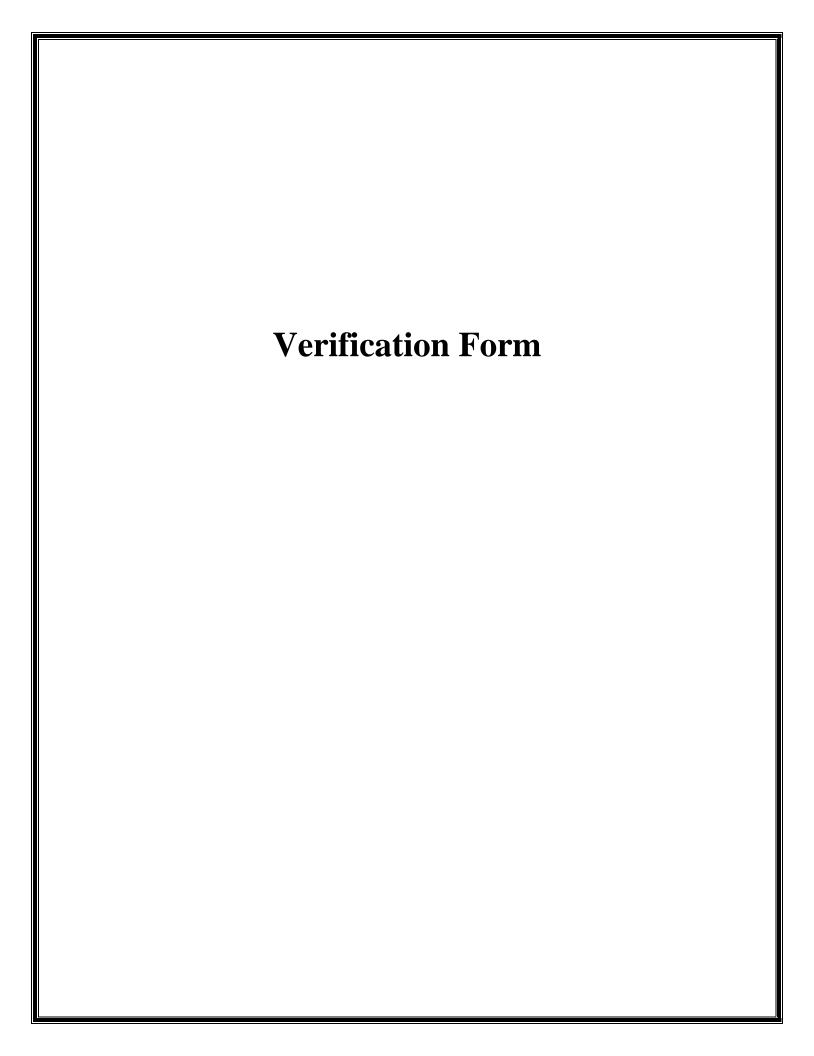
On the Island of Key West, Florida, being Lots 1 thru 10 inclusive, all being in Block 8 as shown on the Plat of the Key West Investment Company's Subdivision of Part of Tract Seventeen (17), duly recorded in Plat Book 1 at Page 69 of the Public Records of Monroe County, Florida.

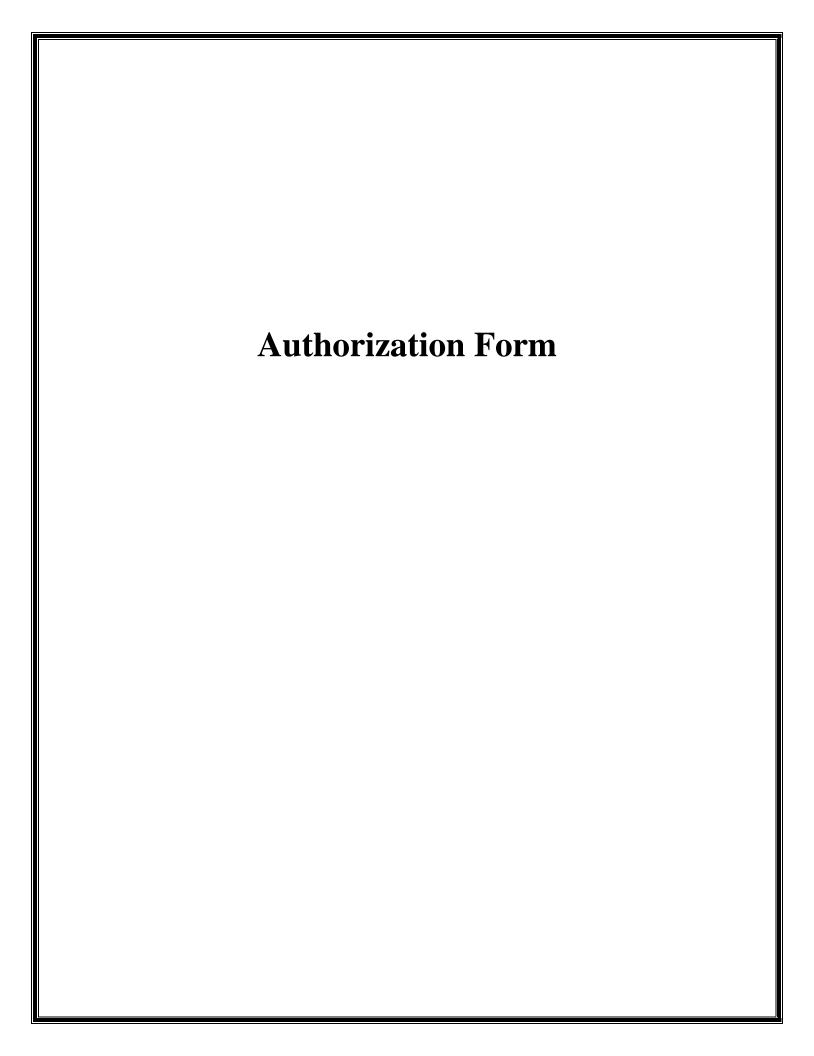
MONROE COUNTY OFFICIAL RECORDS Alert to business entities regarding mailings from VIRGINIA COUNCIL FOR CORPORATIONS or U.S. BUSINESS SERVICES is available from the Bulletin Archive link of the Clerk's Office website.

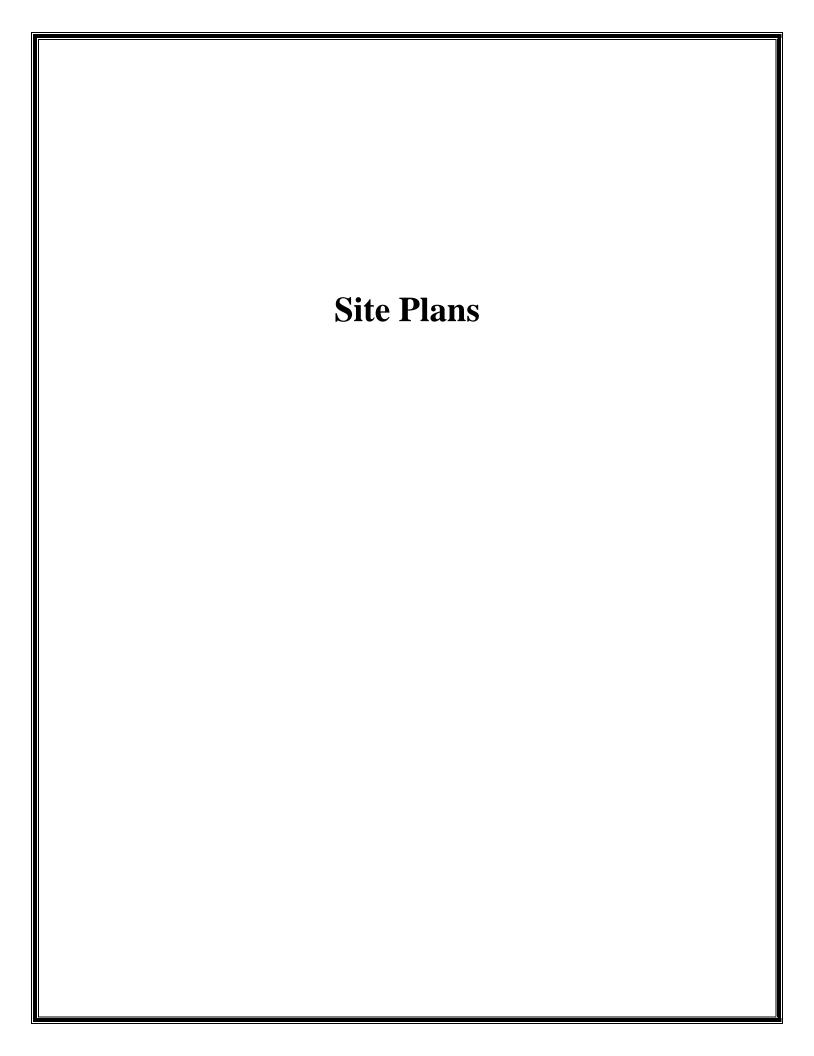


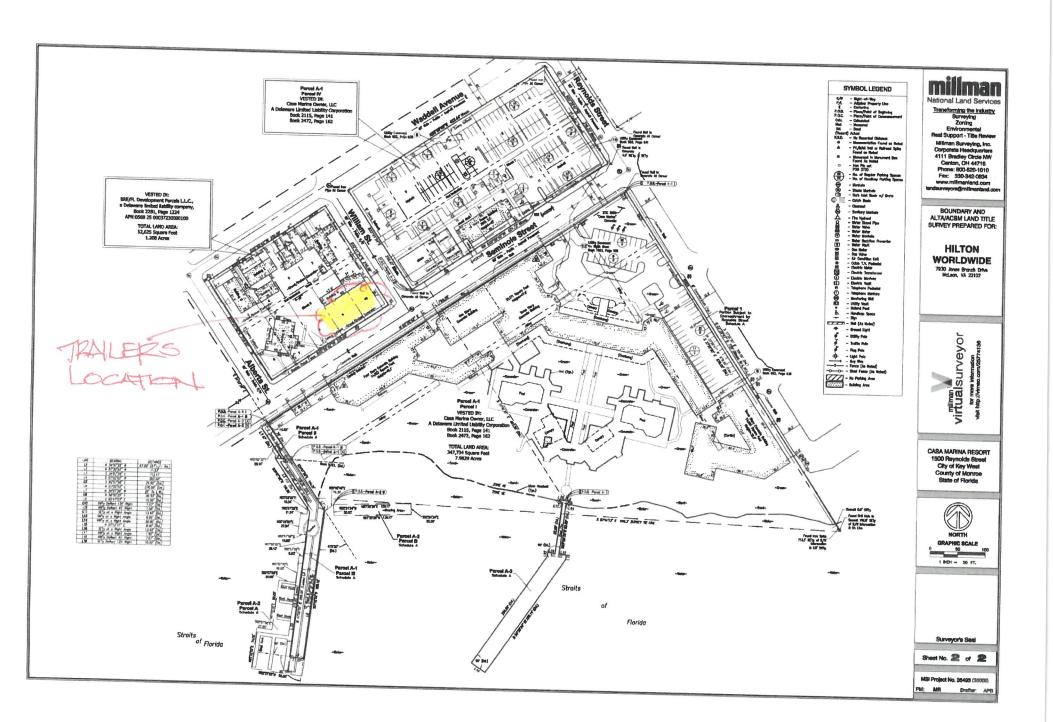
Alert to business entities regarding mailings from VIRGINIA COUNCIL FOR CORPORATIONS or U.S. BUSINESS SERVICES is available from the Bulletin Archive link of the Clerk's Office website.













CHICAGO TITLE INSURANCE COMPANY COMMITMENT NO. 5055057 - SCHEDULE A:

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CHICAGO TITLE INSURANCE COMPANY COMMITMENT NO. 5088329 - SCHEDULE B:

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CHICAGO TITLE INSURANCE COMPANY COMMITMENT NO. 5055057 - SCHEDULE B:

Numbers correspond with survey-related Schedule B exception Renn contained in the above referenced.

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MISCELLANEOUS NOTES:

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SURVEYOR'S OBSERVATIONS:

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FLOOD ZONE:

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ZONING:

HCT (Materic Commercial Toward) Purcelled their Permitted Minimum Mulding Selfonder Fruit 8 feet Saler 5 feet Reen 10 feet

Periody/Down Sethenter Home Scalmus Guiding Holget: 30 Feet Puriong Hetler 1 Sparse per unit plus one per manager

PARKING:

S7 Porting Spaces
2 Hundrescol Spaces

PARKING - Percel IV: 153 Purking Special 3 Handlessend Species 156 Total Purking Species

CERTIFICATION: To Coast Marks Gauss; LLE, a Edinary Schlag Stelliy company, SHE/FL, Environment; Present LLE, a Colonera Striket Stelliy company, Class Interio Coalify Individual LLE, a Colonera Striket Stelliy company, Sides Stelliy Coalify, 1986-1991, Class Striket Coalify, 1986-1991, Class Striket, Coalify, 1986-1991, Class Striket, Coalify, Coalify, Class Striket, Coalify, Coalify, Class Striket, Coalify, Class Striket, Class Striket

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I harstly certify that this drawing correctly depths the description shown harmon on propered under my direction and this drawing new made is consentance with softeness lackalised standards subjected by the Partiel Olisiain of Consent Services Agriculture Direction of the Florida Administration Code, parament to Section 83–17 T.A.C.

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Sheet No. 1 of 22

millman

National Land Services

Transforming the industry

Environmental Real Support - Title Review Millman Surveying, Inc. Corporate Headquarters

4111 Bradley Circle NW

Phone: 800-520-1010

Fee: 330-342-0834

www.milmanland.com

BOUNDARY AND ALTA/ACSM LAND TITLE

SURVEY PREPARED FOR:

HILTON

WORLDWIDE

7930 Jones Branch Orive McLean, VA 22102

alsurveyor

virtuals

CASA MARINA RESORT 1500 Reynolds Street City of Key West County of Monroe

State of Florida

100

Surveying Zoning

SITE

VICINITY MAP

MSI Protect No. 35493 (35000) Drestor: APB

Surveyor's Seel

REVISION HISTORY CA 8/06/15 CLIENT COMMUNTS JAR 6/17/15 SUPPLYOR COMMENTS

48 HOURS BEFORE YOU DIG 1-800-432-4770 IT'S THE LAW IN FLORIDA

GENERAL NOTES: ACCESS TO BUILDING FOR PERSONS IN WHEELCHAIRS IS DESICHED BY AND FIELD BUILT BY STREET, AND SUBJECT TO LOCAL JURISDICTION APPROVAL THE PROMUST ENTRANCE

E ORDER JOSE SENSON TO LOCAL JANGSCHEINEN PARROLLT THE PRIMARY STRIKES AT A LA COORD SALL IN CONTRACT AND THE DESTINATION PROUND THE LOCAL SALL IN CONTRACT AND THE CONTRACT AND THE PRIMARY STRIKES AND THE SALL IN CONTRACT AND THE PRIMARY STRIKES AND THE SALL IN CONTRACT AND THE PRIMARY STRIKES AND THE SALL IN CONTRACT A

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FL. STRUCTURAL LOAD LIMITATIONS

FLOOR LINE LOAD: A.50 PSF 8.2000# CONCENTRATED LOAD ROOF LIVE LOAD:

BUILDING ENCLOSURE: ENCLOSED ROOF SHOW LOAD: N/A

WIND LOAD: A 146 MPH B.W = 1.0 WIND SPEED WIND SUPPORTANCE FACTOR C.C WIND EXPOSURE CATEGORY

D.GCpi = 0.18 INTERNAL PRESSURE COEFFICIENT

ROOF COMPONENT & CLADDING LOAD E.Pr = ZONE 1 =46.5 PSF ZONE 2 =77.9 PSF ZONE 3 =117.1 PSF

WALL COMPONENT & CLADDING LOAD (DOORS/WINDOWS)
F. Pw = ZONE 4 = 50.3 PSF
ZONE 5 = 62.1 PSF

C.THIS BUILDING IS NOT DESIGNED FOR PLACEMENT ON THE UPPER HALF OF A HILL OR ESCARPMENT EXCEEDING 15 FEET IN HEIGHT.

SEISHIC LOAD: N/A

FLOOD LOAD: THIS BUILDING IS NOT DESIGNED TO BE LOCATED IN A FLOOD HAZARD AREA.

MECHANICAL NOTES:

ALL SORTS ARE ROGETTES SOLLES OF MINISTER AND PROPER ANALYSIS.

BY IN ARROSS - SOLVEN CONTROL OF MINISTER AND PROPERTY OF MINISTER AND PROPERTY OF MINISTER AND PROPERTY OF MINISTER AND ANALYSIS.

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4. HVAC COUPMENT SHALL BE ECLEPPED WITH OUTSIDE FRESH AIR INTAKES PROYACHO 20 CFM FOR EACH OCCUPANT.

5. DOMAINT FAVE BY TOLET ROOMS TO PROYACE A MINIMAN OF 75 CFM PER EACH WARR COST ON 1994.

Speeds IMM2 notice:

1. These bestime shows must be designed with an additionalization point load.

2. Brooks shall be designed for a minimum the load of 30 performs the state of the stat

spoons or 12 inches on center.

6. Celting joilers approxing more than 10 feet shall be lotarally supported at mid-eg
7. Bottom charats of trussed rathers must be braced in accordance with Section
2.1717.1.2 Dynamic alleing is not to be considered a ceilling disphram.

8. Roof size joiler must be a mid-lim of 224.

Windows and doors shall require protection by use of approved shutters bearing the applicable Florida product approved or HOA number and shall be installed on afte by others, in accordance with Section 2410.2 of the Florida Building God subject to local jurisdiction approved.

ELECTRICAL NOTES:

PLUMBING NOTES:

TOLETS SHALL BE CLOWARDD WITH HONAUSORBEAT OPEN FRONT SKATS.
REST ROOM WALLS SHALL BE CONFERD WITH HONAUSORBEAT MATERIAL
PLACEMENT HOST FLOWER STATE AND HONESORBEAT MATERIAL
UPPLACE ONTO THE WALLS AT LEAST 6 INCHESS HOSE TOLETAND THE WALLS AT LEAST 6 INCHESS HOSE TOLETAND HOSE STATEMENT SATISFACE THAT EXTREMS

LIGHING AGENCY APPROVAL

THESE PRINTS CONTAIN AND THE FLORIDA MANAGEMENT OF STREET, AND ACT OF

OCCUPANCY. 8
FLOORIL S. DOF

WIND VELOCITY 196 MPH FIRE RAY NG CP

EXT. WALLS O FIRS

MANUFACTURER SWHEAT

PLAN NUMBER Som 181

APPROVAL DATE 01/20/09

RADCO

CRITERIA CONST. TYPE

OF FLOORS

FLOOR LIVE LOAD: A. 50 PSF B. 2000 LB. CONCENTRATED LOAD OVER 30° x 30° AREA LOCATED ANYWHERE ON FLOOR. ROOF LIVE LOAD: A. 30 PSF BUILDING CATEGORY II BOULDANG CATECORY II ROOF SHOW LAD: A. Pg = 20 PSF GROUND SHOW LOAD B. Pi = 18.5 PSF FLAT ROOF SHOW LOAD C. Cu = 1.2 SHOW EDPOSSINE FACTOR D. h = 1.0 SHOW HEPORSINE FACTOR C. CL = 1.1 SHOW THEBRAIL FACTOR WARD LADE: A 149 JURY B 0 - 1.0 WARD SPEED STREETS B 0 - 1.0 WARD SPEED STREETS B 0 - 1.0 WARD SPEED STREETS B 0 - 1.0 WARD SPEED B 0 -WIND LOAD SEISMIC LOAD: SESIMO LAGO: A. 1 B. 1 C. 1 C. 1 C. 1 C. 2 C. 2 C. 321 FLOOD LOAD: THIS BUILDING IS NOT DESIGNED TO BE LOCATED IN A

STRUCTURAL LOAD LIMITATIONS

AL.,GA.



ACCESSIBILITY NOTES:

ACCESSIBILITY NOTES:

1. THE NETWATION STANDS OF ACCESSIBILITY NOTES:

1. THE NETWATION STANDS OF ACCESSIBILITY SOIL SHALL BE SEPARATE AT ALL.

1. THE NETWATION STANDS OF ACCESSIBILITY SOIL SHALL BE SEPARATE AT ALL.

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2. THE STANDS OF ACCESSIBILITY OF ACCESSIBILITY ACCESSIBLE DISPANCE.

2. SHOULD SHALL BE MADE FOR RECOVERY SHALL BE SHALL BE

ADDRESS ADDRES

THE FLOOR.

19. TOLKT STALL DOORS SHALL BE THE SELF-CLOSING TIPE.

20. A TOWEL DISPENSER SHALL BE LOCATED ADMICENT TO ALL ACCESSIBLE LAYATORIES.

SUB CATEGORY

Approved Products list

ANUFACTURER

THIRD PARTY:

ALL GREATER AND DOURHART SHALL BE REQUIRED IN ACCORDANCE WITH THE PROPRIESE ARTHOLIS OF THE MANDAU ALLEGED, COCK DESCRIPTION OF THE PROPRIESE ARE RESTALLED IN CLOSETS THEY SHALL BE SUMFACE THE CONTROL SHALL HAVE QUARTED TO PROTINGE SHALL HAVE QUARTED TO PROTINGE SHALL HAVE QUARTED TO PROTINGE SHALL HAVE QUARTED TO PROPER SHALL HAVE QUARTED TO PROPER SHALL HAVE ALLEGED TO PROPER SHALL HAVE A

A MOBILIA CLEARANCE OF 12 INCHES AND ALL OTHER FIRTURES SHALL HAVE A MOBILIAL CLEARANCE OF SHOCKES FROM STORMER AREA AS DEFINED BY A MICHIGANIC OF SHOCKES FROM STORMER AREA AS DEFINED BY A MICHIGANIC AND A MICHIGAN SHOW AND A

		CODE S	UMMARY:			
STATE	BUILDING	ELECTRICAL	MECHANICAL	PLUMBING	ACCESSIBILITY	ENERGY CODE
ALABAMA	2006 IBC	2005 NEC	2008 IMC	2006 IPC	ADA/AHSI 117.1-03	2006 ECC
GEORGIA	2000 SBC W/2002/83 OA, OS & OS CA AMEND. 2000 MFPA 101	2005 NEC W/ 2006 GA. AMEND.	2000 SMC W/2004	2000 SPC W/OH 02, 02, 04 05, & 06 0A, AMENO.	CHAPTER 120-3-20	2000 FECC W/O3, O & OS AMENDMENTS
FLORIDA	W/05 SUPPLEMENT	2002 NEC	2004 FMC/FOC W/05 SUPPLEMEN	2004 FPC W/OS SUPPLEMENT	FACEC (LATEST EDITION) -2004 FBC CHAPTER 11	PLORIDA DIERRY (LATEST EDMON) ETROENCY CODE 2004

FLORIDA APPROVAL NUMBER DOORS EXTERIOR FL#1722 R1 WINDOWS SINGLE/HUNG KINRO FL 4993 P1 SINGLEPLY COFING ROOFING SYSTED FL#1601-R2 Rotat On Johns DENS DECK ROOFING UNDERLAYMENT GEORGIA PACIFIC FL#1250-R1 Robert A. Johnson MPSON HURRICANE CLIP FL#474.11 Portice Libraries Pleas Exercises No. SEEP - OCCUBBO29

REVISIONS:

PRODUCT CATEGORY

ELECTRICAL SCHEDULE CIRCUIT BREAKER WIRE (CLL) SIZE PER MEG SPECS W/H 30A (2P) 10-2 HM 2, 4, 6 20 A 12-2 HM 6, 7 20 A 12-2 HM

ELECTRICAL PANEL SIZING: DESCRIPTION

GENERAL LIGHTING | CEMENAL DESTRING | COST | CO

TOTAL 21.30 KW TOTAL/240 X 1000m 88.75 AMPS INSTALL 100 AMP PANEL 120/240 V 19

SITE INSTALLED ITEMS:

NOTE THAT THIS LIST DOES NOT NECESSARILY LIMIT THE ITEMS OF WORK AND MATERIALS THAT MAY BE REQUIRED FOR A COMPLETE RESTALLATION. ALL STIE RELATED ITEMS ARE SUBJECT TO LOCAL JURISDICTION APPROVAL

THE COUPLETE FOUNDATION SUPPORT AND THE DOWN SYSTEM, RAMPS, STANS AND GENERAL ACCESS TO THE BUILDING. PORTABLE, FIRE EXTREMISED FRANKS, CLEANOUTS, AND HOOK-UP TO PULNISHON STREET, BUILDING PERDENS, DESCRIPTION OF THE BUILDING STREET, BUILDING FEEDERS) TO THE BUILDING STREET, BUILDING FEEDERS TO THE BUILDING STREET, BUILDING STR

DICTIONAL SERVICE HOW-LIP (DELLIDOR) TEXT BLOOMS, TO THE BROOMS, THE BROOMS OF PROTECTION (SEE CROSSAL, HOTE, ME). STORE ASSETTION WHE ROUNDED BY LOCAL JURISDICTION SERVICES, AND SERVI

FOUNDATION:

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IF COUNDATION:

IF ACCRONACE WITH THE REQUIREMENTS OF THE PLORIDA DEPARTMENT OF COMMUNITY AFFARES, THESE BULDING PLANS DEPARTMENT OF COMMUNITY AFFARES.

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NOTICE

JAN 1 9 2009

RADCO APPROVAL IS NOT VALID IN THOSE PORTIONS OF LISTED STATE(S) WHERE SHOW LOADS DETERMINED FROM LOCAL METEOROLOGICAL DATA EXCEED THE LISTED UVE LOAD.

NOTICE DO APPROVAL IS NOT VALID IN THOSE BIONS OF LISTED STATES) MEDE HOUSE OFFENDER PROVILOOAL LOSGICIONACIA, DAYARD THE LISTED LIVE LOAD.	GIRADCO APPROVED JAN 2 0 2009 R. JOHNSON
Nobe Tomas	Southeast Modular Manufacturing 2500 INDUSTRIAL STREET LEESBURG, FLORIDA 34748

1619 SR 26 WEST ELLAVILLE, GA. 31806

	Southeast Manufactur	Modular ring
ì	1340 HWY 17 NORT	ы

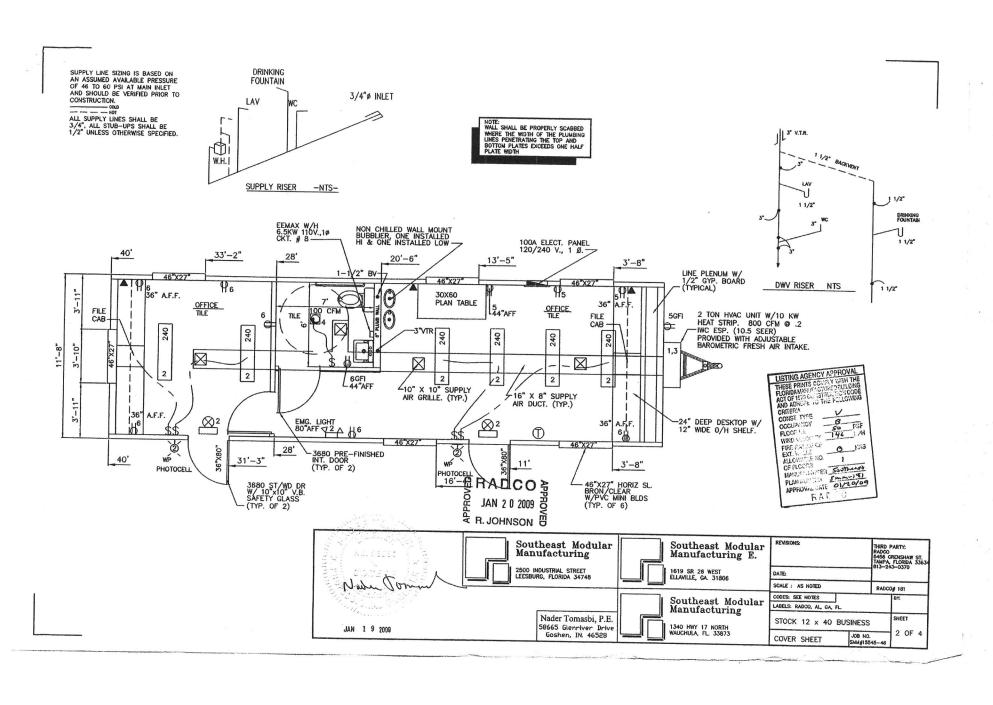
Southeast Modular

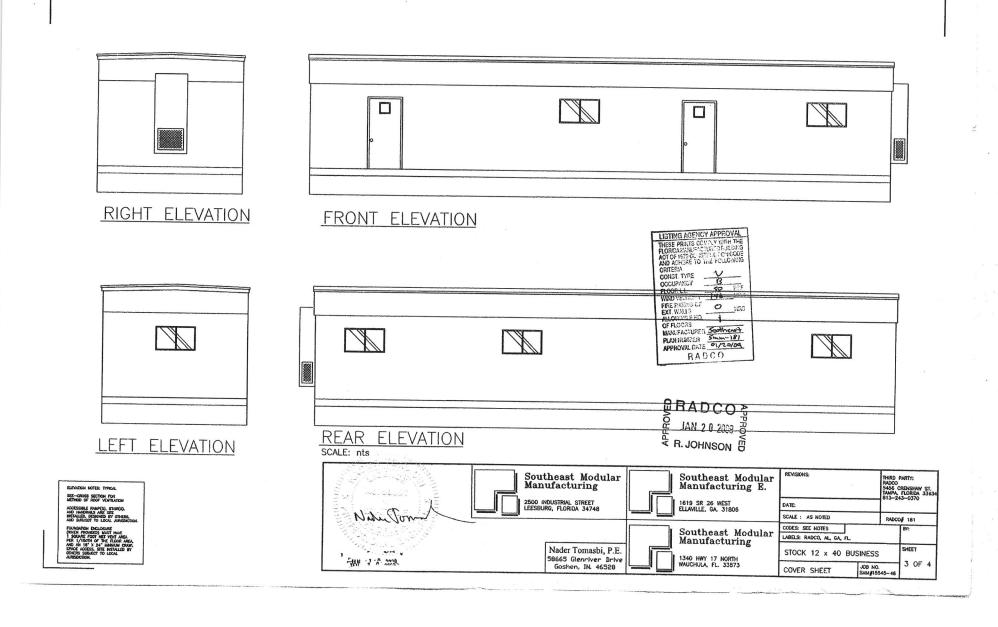
Manufacturing E.

RADCO 5456 CRENSHAW ST. TAMPA, FLORIDA 33634 813-243-0370 DATE: SCALE : AS NOTED RADCO# 181 CODES: SEE NOTES LABELS: RADOO, AL, GA, FL. SHEET STOCK 12 x 40 BUSINESS 1 OF 4 COVER SHEET

Nader Tomasbi, P.E. 58665 Glenriver Drive Goshen, IN, 46528

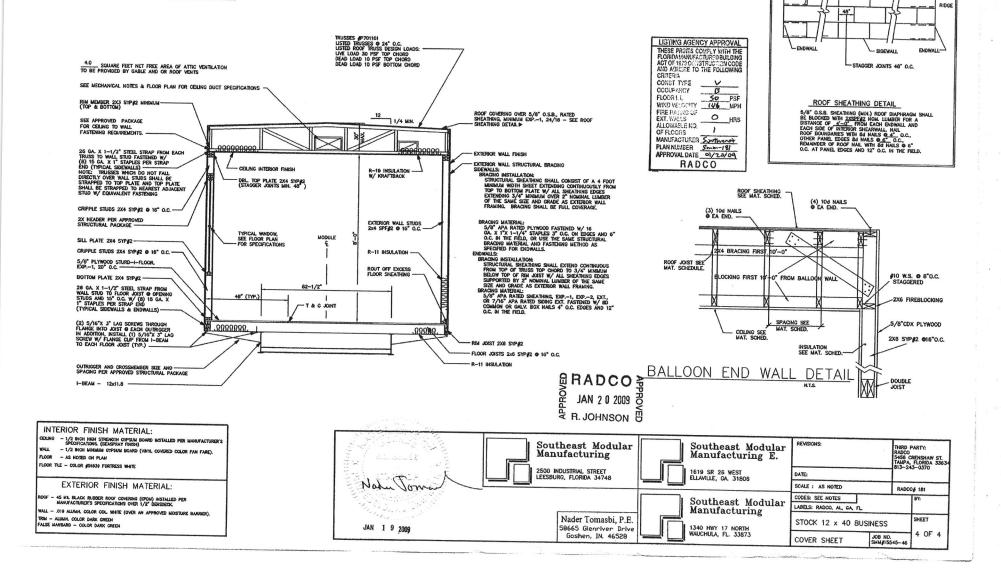
WAUCHULA, FL. 33873







- 1. UNLESS OTHERWISE SPECIFIED, ALL STEEL MUST COMPLY W/ ASTM A38.
- 2. ALL LAG SCREWS MUST COMPLY W/ ANSI/ ASME BIB.2.1 $F_{\gamma p}$ 60 KSI MINIMUM.
- 3. SEE FOUNDATION PLAN FOR PIER AND TIE-DOWN STRAPPING LOCATIONS, ORIENTATIONS, AND SPECIFICATIONS.



- 2x BLOCKING

Florida Energy Efficiency Code For Building Construction Florida Department of Community Affairs

EnergyGauge FLA/COM 2004 v3.00 -- Form 400A-2004

Method A: Whole Building Performance Method for Commercial Buildings Effective December 8, 2006

PROJECT SUMMARY

Short Desc: SMM-181

Owner: Southeast Modular Manufacturing, Inc.

Description: SMM-181

City: MIAMI

Class: New Finished building

Address2: Enter Address here

State: FL

Type: Office

Zip: 0

Jurisdiction: MIAMI, MIAMI-DADE COUNTY, FL (232400)

Cond Area: 467 SF

Cond & UnCond Area: 467 SF

No of Storeys: 1

Area entered from Plans 0 SF

Permit No: 0

Max Tonnage 2

If different, write in:

APPROVED

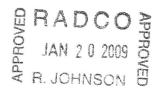
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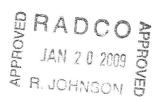
Compliance Summary			
Component	Design	Criteria	Result
Gross Energy Use	806.0	851.1	PASSES
LIGHTING CONTROLS EXTERNAL LIGHTING HVAC SYSTEM PLANT WATER HEATING SYSTEMS PIPING SYSTEMS Met all required compliance from Check List?			PASSES None Entered PASSES None Entered PASSES None Entered Yes/No/NA

IMPORTANT NOTE: An input report of this design building must be submitted along with this Compliance Report.



CERTIFICATIONS

I hereby certify that the plans and specifications covered by this Florida Energy Code	
Prepared By: Nahu Toman	Building Official:
Date: 1-19-09 FL PE. # 5655L	Robert A. Joséffreon Datificonida Modulus Flans Examiner No. SMF - 60000009
I certify that this building is in compliance with the FLorida Energ	y Efficiency Code
Owner Agent:	Date:
If Required by Florida law, I hereby certify $(*)$ that the system destance Energy Efficiency Code	sign is in compliance with the FLorida
Architect:	Reg No:
Electrical Designer:	Reg No:
Lighting Designer:	Reg No:
Mechanical Designer:	Reg No:
Plumbing Designer:	Reg No:
(*) Signature is required where Florida Law requires design to b	oe performed by registered design ed where all relevant information is



Project: SMM-181
Title: SMM-181
Type: Office

Type: Office (WEA File: Miami.tmy)

Whole Building Compliance

	Design	Reference
Total	94.63	100.00
	\$806	\$851
ELECTRICITY(MBtu/k	94.63	100.00
Wh/\$)	16516	17440
	\$806	\$851
AREA LIGHTS	8.22	9.06
	1433	1572
	\$70	\$77
MISC EQUIPMT	5.87	5.87
	1026	1026
	\$50	\$50
PUMPS & MISC		and the second s
	2	3
	\$0	\$0
SPACE COOL	20.30	17.28
	3542	3014
	\$173	\$147
VENT FANS	60.23	67.79
	10513	11825
	\$513	\$577

Credits & Penalties (if any): Modified Points: = 94.64

PASSES

External Lighting Compliance						
Description	Category	Allowance Area or Length ELPA CLP				
	BRADCO>	(W/Unit) or No. of Units (W) (W) (Sqft or ft)				
	E JAN 2 II 2000 H					
	R. JOHNSON (F	None				

Project: SMM-181 Title: SMM-181 Type: Office (WEA File: Miami.tmy)

Lighting	Controls	Compliance

Acronym	Ashrae ID	Description		No. of Tasks	Design CP	Min CP	Compli- ance	
Pr0Zo1Sp1	17 0	vec. E						
110Z013p1	1/ (Office - Enclosed	467	1	4	1	PASSES	

PASSES

Project: SMM-181 Title: SMM-181 Type: Office

Component

Cooling System

(WEA File: Miami.tmy)

System Report Compliance

Pr0Sy1 System 1

Category

Air Cooled < 65000 Btu/h

Constant Volume Air Cooled No. of Units

Single Package System <

Capacity Design Eff Design IPLV Compliance

13.00 13.00 8.00 PASSES

Cooling Capacity

Air Handling Air Handler (Supply) - 0.80 0.90

PASSES

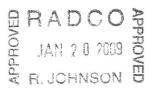
System -Supply Constant Volume

PASSES

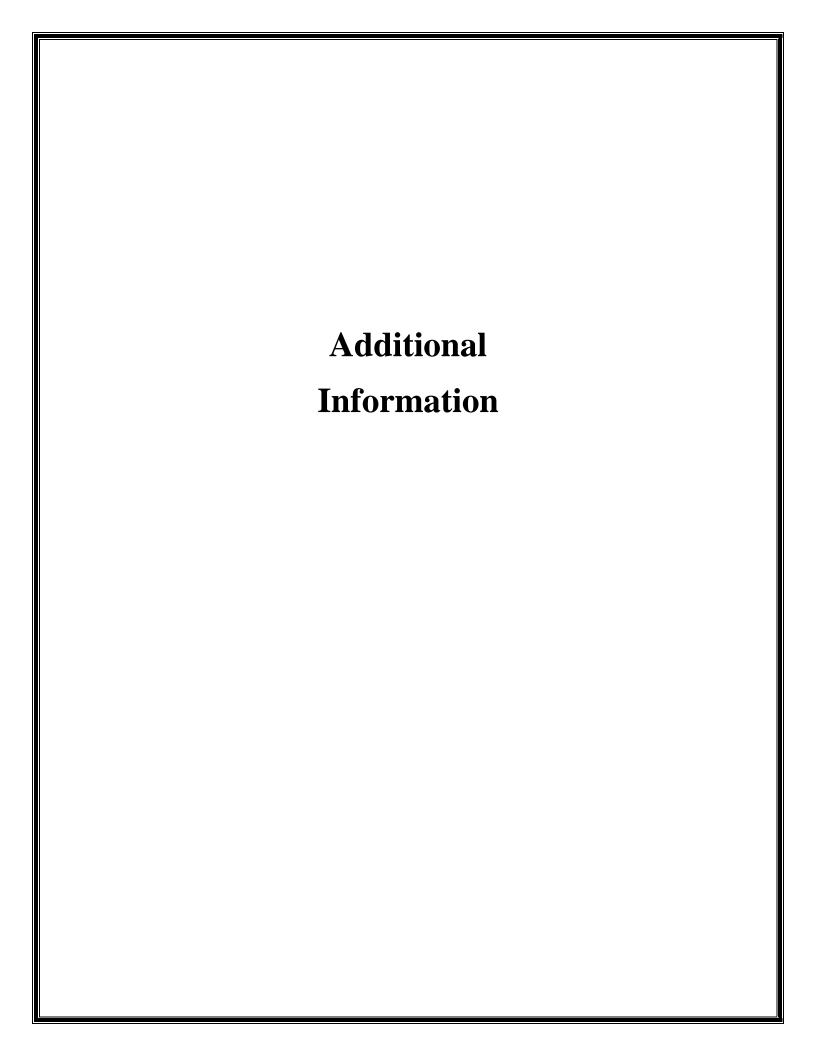
Plant Compliance

Description Installed Size Design Min Design Min Category Comp No Eff Eff IPLV IPLV liance

None



1 2 1 1 2 2 2 1							
Project: SMM- Title: SMM-181							
Type: Office (WEA File: Mia	ami tmv)						
(V Z/Y I de. Will		ater Heater Con	npliance				
Description	Туре	Category	Design Eff	Min Eff	Design Loss	Max Loss	Comp liance
Water Heater 2	Electric heat pump water heater	All ratings	1.00	0.92			PASSES
						F	PASSES
		Piping Syste	m Compl	iance	<u>,</u>		
Category		nches] Runout? Te	rating Ins Co mp [Btu-ir F] .SF.1	hr T	Ins hick [in]	Req Thick	Ins Compliance
						None	
Project: SMM-18 Title: SMM-181 Type: Office (WEA File: Mia							
		Other Required	Complia	nce			
Category	Section	Requirement (write N	A in box if n	ot appl	icable)		Check
Infiltration	406.1	Infiltration Criteria have	e been met				П
System	407.1	HVAC Load sizing has	been perform	ed			H H
Ventilation	409.1	Ventilation criteria have	e been met				$\overline{\Box}$
ADS	410.1	Duct sizing and Design	have been per	formed			一一
T & B	410.1	Testing and Balancing v	vill be perform	ned			一日
Motors	414.1	Motor efficiency criteria	have been m	et			
Lighting	415.1	Lighting criteria have be	en met				H
O & M	A ROLA DOC	Operation/maintenance	manual will b	e provid	led to ow	ner	H
Roof/Ceil	8 404.1	R-P for Roof Deck with					H
Report	HPADCC 404.1 HAN 7 8 2009 R. JOHNSON	Input Report Print-Out f				ached?	H
	R. JOHNSON	J					



qPublic.net Monroe County, FL

Summary

Legal

Parcel ID 00037230-000100 Account # 8735669 Property ID 8735669 Millage Group 10KW

Location 715 SEMINOLE Ave, KEY WEST

Address

KW KW INVESTMENT CO SUB PB1-69 ALL SQUARE 8 OR954-1008 OR1033-742/747 OR1436-761/764 OR1440-106/109-C OR2281-1224/27 Description

(Note: Not to be used on legal documents)

Neighborhood 32100

STORE COMBO (1200) **Property Class** Subdivision Key West Investment Co's Sub

Sec/Twp/Rng 05/68/25 Affordable No

Housing



Owner

BRE/FL DEVELOPMENT LLC C/O BLACKSTONE REAL ESTATE ACQUISTIONS IV LLC 345 Park Ave New York NY 10154

Valuation

	2018	2017	2016	2015
+ Market Improvement Value	\$1,424,080	\$1,440,585	\$1,345,134	\$1,397,782
+ Market Misc Value	\$13,918	\$14,104	\$14,475	\$12,739
+ Market Land Value	\$1,653,225	\$1,653,225	\$1,653,577	\$1,594,935
= Just Market Value	\$3,091,223	\$3,107,914	\$3,013,186	\$3,005,456
= Total Assessed Value	\$3,091,223	\$3,107,914	\$3,013,186	\$3,005,456
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$3,091,223	\$3,107,914	\$3,013,186	\$3,005,456

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
COMMERCIAL DRY (100D)	52,500.00	Square Foot	250	210

Commercial Buildings

Style 1 STY STORE-B / 11B

Gross Sq Ft 5,055 Finished Sq Ft 2,442 Perimiter 0 Stories Interior Walls

Exterior Walls AVE WOOD SIDING

Quality 400 () Roof Type

Roof Material

Exterior Wall1 AVE WOOD SIDING Exterior Wall2

Foundation Interior Finish **Ground Floor Area** Floor Cover Full Bathrooms 0 Half Bathrooms 0 **Heating Type** Year Built 1948 Year Remodeled Effective Year Built 1989

Code	Description	Sketch Area	Finished Area	Perimeter
FHS	FINISH HALF ST	2,132	0	0
FLA	FLOOR LIV AREA	2,442	2,442	0
OUU	OP PR UNFIN UL	119	0	0
OPF	OP PRCH FIN LL	362	0	0

TOTAL 5,055 2,442 0 Style M.F. - R2 / R2 Gross Sq Ft 4,395 Finished Sq Ft 1.888 Perimiter 0 Stories

WALL BD/WD WAL WD FRAME Interior Walls **Exterior Walls** Quality 450 () Roof Type Roof Material IRR/CUSTOM METAL WD FRAME Exterior Wall 1 Exterior Wall2

Foundation Interior Finish CONCR FTR WALL BD/WD WAL

Ground Floor Area

Floor Cover CONC S/B GRND **Full Bathrooms**

Half Bathrooms

Heating Type NONE with 0% NONE

Year Built Year Remodeled Effective Year Built 1965

Condition

Code	Description	Sketch Area	Finished Area	Perimeter
OPX	EXC OPEN PORCH	88	0	0
FLA	FLOOR LIV AREA	1,888	1,888	0
GBF	GAR FIN BLOCK	335	0	0
PTO	PATIO	2,084	0	0
TOTAL		4,395	1,888	0

Style S.F.R. - R1 / R1 Gross Sq Ft 1,486 Finished Sq Ft 1,075 Perimiter 0 Stories

Interior Walls WD PANL/CUSTOM

Exterior Walls C.B.S. Quality 450 () Roof Type GABLE/HIP Roof Material ASPHALT SHINGL Exterior Wall1 C.B.S.

Exterior Wall2

Foundation Interior Finish CONCRETE SLAB WD PANL/CUSTOM

Ground Floor Area Floor Cover

CONC ABOVE GRD

Full Bathrooms Half Bathrooms

Heating Type NONE with 0% NONE

Year Built 1948

Year Remodeled

Effective Year Built 1984

Condition

Code	Description	Sketch Area	Finished Area	Perimeter
CPF	CARPORT FIN	220	0	0
FLA	FLOOR LIV AREA	1,075	1,075	0
OPF	OP PRCH FIN LL	47	0	0
PTO	PATIO	144	0	0
TOTAL		1,486	1,075	0

Style M.F. - R4 / R4 Gross Sq Ft 4,101 Finished Sq Ft 3,296 Perimiter 0 Stories

Interior Walls PLYWOOD PANEL

Exterior Walls C.B.S. Quality 450 () Roof Type GABLE/HIP Roof Material CONC/CLAY TILE Exterior Wall1

Exterior Wall2

Foundation CONCR FTR Interior Finish PLYWOOD PANEL

Ground Floor Area

Floor Cover CONC ABOVE GRD

Full Bathrooms

Half Bathrooms **Heating Type**

1953

M.F. - R3 / R3

950

NONE with 0% NONE

Year Built Year Remodeled

Effective Year Built 1998

Condition

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	3,296	3,296	0
OPF	OP PRCH FIN LL	341	0	0
OUF	OP PRCH FIN UL	464	0	0
TOTAL		4,101	3.296	0

Style Gross Sq Ft Finished Sq Ft

836 Perimiter 0 Stories

Interior Walls PLYWOOD PANEL **Exterior Walls** C.B.S.

Quality 450 () Roof Type FLAT OR SHED Roof Material TAR & GRAVEL Exterior Wall 1

Exterior Wall2 Foundation

CONCR FTR Interior Finish PLYWOOD PANEL **Ground Floor Area**

Floor Cover

CONC ABOVE GRD

Full Bathrooms Half Bathrooms

0 **Heating Type** NONE with 0% NONE

Year Built 1948 Year Remodeled

Effective Year Built 1995

Condition

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	836	836	0
OPF	OP PRCH FIN LL	114	0	0
TOTAL		950	836	0

Style M.F. - R4 / R4 Gross Sq Ft 3,610 Finished Sq Ft 2,850 Perimiter Stories

Interior Walls PLYWOOD PANEL

Exterior Walls C.B.S. Quality 450 () Roof Type GABLE/HIP

Roof Material CONC/CLAY TILE Exterior Wall 1 C.B.S.

Exterior Wall2

Foundation CONCR FTR Interior Finish PLYWOOD PANEL

Ground Floor Area Floor Cover

CONC ABOVE GRD **Full Bathrooms** 8

Half Bathrooms

Heating Type NONE with 0% NONE

Year Built 1953 Year Remodeled

Effective Year Built 1995

Condition

TOTAL		2 6 1 0	2.050		=
OUF	OP PRCH FIN UL	380	0	0	
OPF	OP PRCH FIN LL	380	0	0	
FLA	FLOOR LIV AREA	2,850	2,850	0	
Code	Description	Sketch Area	Finished Area	Perimeter	
-ciiaicioii					

Style M.F. - R4 / R4 Gross Sq Ft 1,732 Finished Sq Ft 1,392 Perimiter Stories

Interior Walls WALL BD/WD WAL **Exterior Walls** ABOVE AVERAGE WOOD Quality 450 () Roof Type GABLE/HIP Roof Material METAL

Exterior Wall ABOVE AVERAGE WOOD

Exterior Wall2
Foundation
Interior Finish
Ground Floor Area

CONCR FTR WALL BD/WD WAL

Ground Floor Area Floor Cover

CONC S/B GRND

Full Bathrooms 4 Half Bathrooms 0

Heating Type NONE with 0% NONE

Year Built 1948 Year Remodeled

Year Remodeled Effective Year Built 1984

Condition

FLA	FLOOR LIV AREA	1,392	1,392	0
OPF SBU	OP PRCH FIN LL UTIL UNFIN BLK	188 152	0	0

Yard Items

Description	Year Built	Roll Year	Quantity	Units	Grade
PATIO	1957	1958	1	1636 SF	2
TILE PATIO	1957	1958	1	30 SF	1
CH LINK FENCE	1957	1958	1	420 SF	1
FENCES	1957	1958	1	704 SF	4
UTILITY BLDG	1959	1960	1	120 SF	3
FENCES	2000	2001	1	1068 SF	2
FENCES	2000	2001	1	192 SF	2

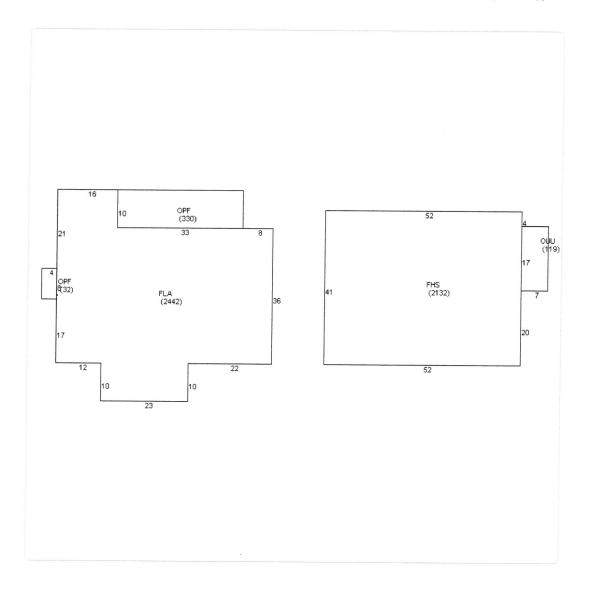
Sales

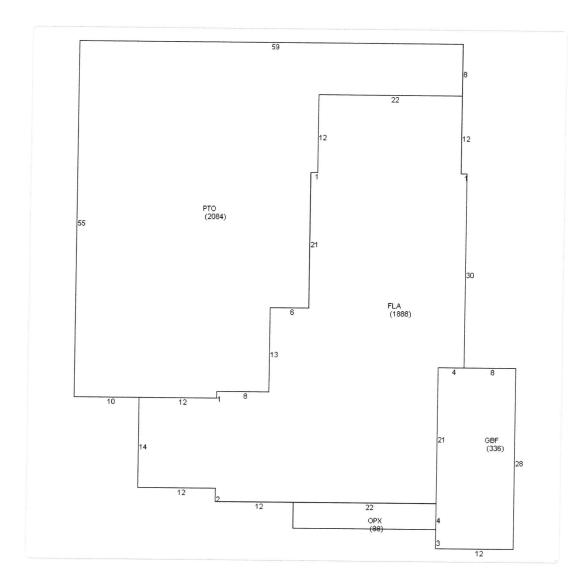
Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved
12/31/2005	\$4,000,000	Warranty Deed		2281	1224	W - Unqualified	Improved
12/1/1996	\$1,566,400	Warranty Deed		1436	0761	Q - Qualified	Improved
11/1/1987	\$100,000	Warranty Deed		1033	742	U - Unqualified	Improved

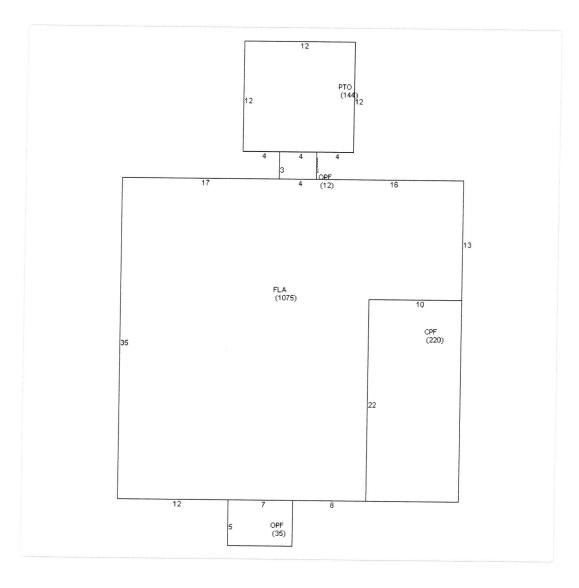
Permits

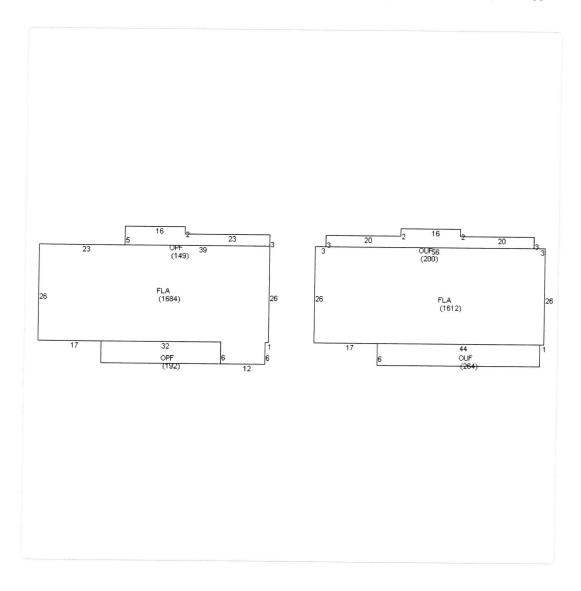
Notes ♦	Permit Type ◆	Amount ‡	Date Completed 🕏	Date Issued ♦	Number \$
REVISIONS FOR EXTERIOR STEPS, RAMPS & DUCT WORK	Commercial	\$100		8/15/2007	07-3998
ELECTRICAL RENOVATION AND UP-GRADE-1200AMP SERVICE	Commercial	\$308,000		1/26/2007	07-0374
RENOVATE 3-STORY BUILDING & LANDSCAPE, 10,845 SF	Commercial	\$3,125,000		1/17/2007	06-4050
DEMO PERMITAND INSTALL ONE 200AMP FOR TEMPORARY	Commercial	\$2,400		12/11/2006	06-6543
DEMO & DISCONNECT EXISTING PLUMBING FIXTURES & MANIFOLDS	Commercial	\$4,500		12/11/2006	06-6544
INTERIOR DEMOLITION ONLY	Commercial	\$5,000		12/6/2006	06-6542
HURRICANE DANAGE EMERGENCY REPAIRS TO ELECTRIC SERVICE	Commercial	\$500		10/31/2005	05-4766
SEWER LATERAL	Commercial	\$1,000	10/26/2004	4/22/2003	03-1311
ROOFING	Commercial	\$7,877	10/26/2004	3/25/2003	03-1029
REPLACE WALKWAY	Commercial	\$12,500	10/26/2004	2/7/2003	03-0219
SMOKE DETECTORS	Commercial	\$8,500	10/26/2004	2/3/2003	03-0219
REPLACE SEWER LINE	Commercial	\$1,200	12/31/2002	11/14/2002	02-3107
ELECTRICAL	Commercial	\$15,000	12/31/2000	11/4/2000	99-2960
UPDATE SERVICE	Commercial	\$6,000	12/31/2000	10/16/2000	00-3440
PICKET FENCE	Commercial	\$2,200	12/31/2000	2/7/2000	00-0014
CHAIN LINK FENCE	Commercial	\$2,500	12/31/2000	12/21/1999	99-4017
ELECTRICAL	Commercial	\$5,000	12/31/2000	11/4/1999	99-2956
ELECTRICAL	Commercial	\$20,500	12/31/2000	11/4/1999	99-2959
SIGNS	Commercial	\$7,000	12/31/2000	11/3/1999	99-2880
REPAIRS	Commercial	\$5,000	12/31/2000	9/13/1999	99-2956
REPAIR METAL ROOF	Commercial	\$500	12/31/2000	4/6/1999	99-1146
REPAIR METAL FLASHING	Commercial	\$500	12/31/2000	12/22/1998	98-4021
REPAINT ROOF	Commercial	\$2,000	12/31/1998	7/10/1998	9800202
REPLACE 1 400 A SERVICE	Commercial	\$7,000	12/31/1998	6/4/1998	98-1601
REPLACE 2 SQS ROOF	Commercial	\$3,000	12/31/1998	3/1/1998	9800764
EXTERIOR REPAIRS	Commercial	\$2,500	11/1/1994	5/1/1994	B94-1499

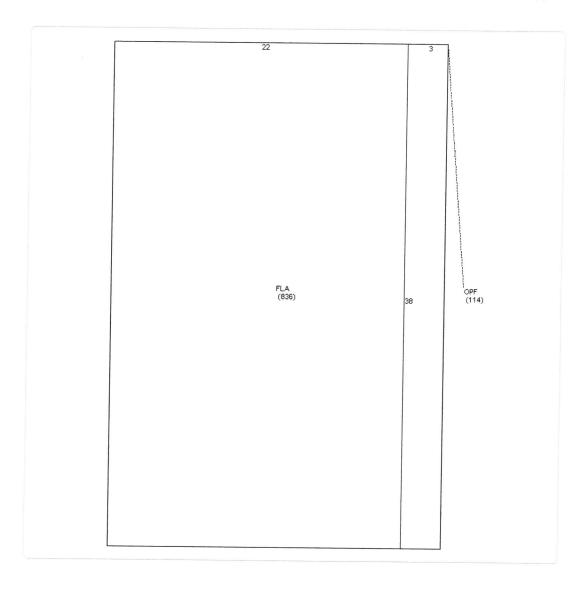
Sketches (click to enlarge)

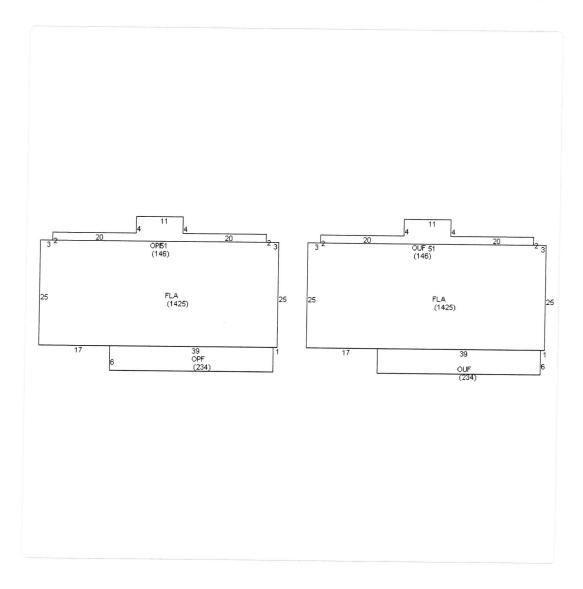


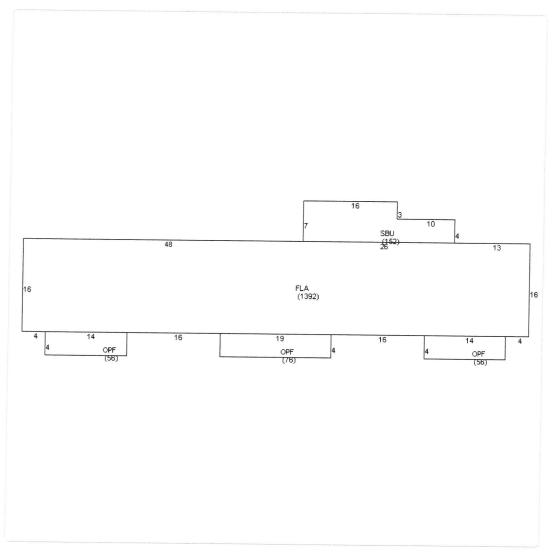












Photos





Мар



TRIM Notice

Trim Notice

2018 Notices Only

 $\textbf{No data available for the following modules:} \ \textbf{Buildings}, \textbf{Mobile Home Buildings}, \textbf{Exemptions}.$

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the

Developed by

Schneider

Last Data Upload: 9/5/2018, 2:19:35 AM

Florida Energy Efficiency Code For Building Construction Florida Department of Community Affairs

EnergyGauge FLA/COM 2004 v3.00 -- Form 400A-2004

Method A: Whole Building Performance Method for Commercial Buildings Effective December 8, 2006

PROJECT SUMMARY

Short Desc: SMM-181

Description: SMM-181

Owner: Southeast Modular Manufacturing, Inc.

Address1:

City: MIAMI

Address2: Enter Address here

State: FL

Type: Office

Zip: 0

Class: New Finished building

Jurisdiction: MIAMI, MIAMI-DADE COUNTY, FL (232400)

Cond Area: 467 SF

Cond & UnCond Area: 467 SF

Area entered from Plans 0 SF

No of Storeys: 1

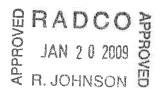
Max Tonnage 2

Permit No: 0

If different, write in:

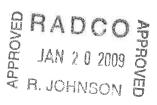
Compliance Summary					
Component	Design	Criteria	Result		
Gross Energy Use	806.0	851.1	PASSES		
LIGHTING CONTROLS			PASSES		
EXTERNAL LIGHTING			None Entered		
HVAC SYSTEM			PASSES		
PLANT			None Entered		
WATER HEATING SYSTEMS			PASSES		
PIPING SYSTEMS			None Entered		
Met all required compliance from Check List?			Yes/No/NA		

IMPORTANT NOTE: An input report of this design building must be submitted along with this Compliance Report.



CERTIFICATIONS

Prepared By: N Date: FL	Buil 1-19-09 PE. # 5655 Diliance with the FLorida Energy Efficience	Reviewed By: Iding Official: Pobed A. Johnson Datelorida Medeler Flans Examiner No. SMP - 0000029
Toeruny trat this banding is in comp	mance with the FLorida Ellergy Ellin	ciency Code
Owner Agent:		Date:
If Required by Florida law, I hereby Energy Efficiency Code	certify (*) that the system design is	s in compliance with the FLorida
Architect:		Reg No:
Electrical Designer:		Reg No:
Lighting Designer:		Reg No:
Mechanical Designer:		Reg No;
Plumbing Designer:	2	Reg No:
	lorida Law requires design to be pe egistration numbers may be used w	



Project: SMM-181 Title: SMM-181 Type: Office

(WEA File: Miami.tmy)

Whole	Building	Comp	liance
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	Design	Reference
Total	94.63	100.00
	\$806	\$851
ELECTRICITY(MBtu/k	94.63	100.00
Wh/\$)	16516	17440
.,	\$806	\$851
AREA LIGHTS	8.22	9.06
	1433	1572
	\$70	\$77
MISC EQUIPMT	5.87	5.87
	1026	1026
	\$50	\$50
PUMPS & MISC		
	2	3
	\$0	\$0
SPACE COOL	20,30	17.28
	3542	3014
	\$173	\$147
VENT FANS	60,23	67.79
	10513	11825
	\$513	\$577

Credits & Penalties (if any): Modified Points: = 94.64

PASSES

External Lighting Compliance						
Description	Category	Allowance Area or Length ELPA	CLP			
	BRADCO>	(W/Unit) or No. of Units (W) (Sqft or ft)	(W)			
	OH IAN 2 (1 2000 PR					
	R. JOHNSON 5	None				

Project: SMM-181 Title: SMM-181 Type: Office

(WEA File: Miami.tmy)

Lighting Controls Compliance

Acronym	Ashrae ID	Description			Design CP	Min CP	Compli- ance
Pr0Zo1Sp1	17	Office - Enclosed	467	1	4	1	PASSES

PASSES

Project: SMM-181 Title: SMM-181 Type: Office

(WEA File: Miami.tmy)

System Report Compliance

Pr0Sy1

System 1

Constant Volume Air Cooled 1

No. of Units

Single Package System <

65000 Btu/hr

Component	Category	Capacity	Design Eff	Eff Criteria	Design IPLV	IPLV Criteria	Comp- liance
Cooling System	Air Cooled < 65000 Btu/h		13.00	13.00	8.00		PASSES
Air Handling System -Supply	Cooling Capacity Air Handler (Supply) - Constant Volume		0.80	0.90			PASSES

PASSES

Plant	Comp	liance

Description Installed Size	0	0	Min Category IPLV	Comp liance
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None

HADCO PROVE

Project: SMM-181 Title: SMM-181 Type: Office (WEA File: Miami.tmy) Water Heater Compliance Design Min Design Max Comp Category Description Type Eff Eff Loss Loss liance Water Heater 2 Electric heat pump All ratings 1.00 0.92 water heater PASSES **Piping System Compliance** Req Ins Compliance Operating Ins Cond Ins Pipe Dia Category Temp [Btu-in/hr Thick [in] Thick [in] [inches] Runout? .SF.F] $[\mathbf{F}]$ None Project: SMM-181 Title: SMM-181 Type: Office (WEA File: Miami.tmy)

Other Required Compliance

Category	Section	Requirement (write N/A in box if not applicable)	Check
Infiltration	406.1	Infiltration Criteria have been met	
System	407.1	HVAC Load sizing has been performed	
Ventilation	409.1	Ventilation criteria have been met	
ADS	410.1	Duct sizing and Design have been performed	
T & B	410.1	Testing and Balancing will be performed	
Motors	414.1	Motor efficiency criteria have been met	
Lighting	415.1	Lighting criteria have been met	
0 & M	A FP2A D C	Operation/maintenance manual will be provided to owner	
Roof/Ceil	404.1	R p for Roof Deck with supply plenums beneath it	
Report	E 10AN 20	2009 Input Report Print-Out from EnergyGauge FlaCom attached?	
	R. JOHNS	вом 🖫	

PASSES