

Historic Architectural Review Commission

Staff Report for Item 12

То:	Chairman Bryan Green and Historic Architectural Review Commission Members
From:	Enid Torregrosa, MSHP Historic Preservation Planner
Meeting Date:	May 20, 2020
Applicant:	Robert Ramey- K2M Designers
Application Number:	H2020-0014
Address:	#1300 Duval Street

Description of Work

New asphalt millings parking lot. Site lighting and signage.

Site Facts

The site under review is located on the southwestern corner of Duval and United Streets. Historically this was a vacant lot until its development as a car dealership in the earliest 1950's. The current buildings have no relationship with the original one-story cmu structure. The current lot serves as a rental place for carts, scooters and bicycle rentals. In addition, the site serves as a commercial parking lot. Residences are located west to the property and the Key West Butterfly and Natural Conservatory abuts the site on its south. Most of the lot is paved with asphalt and the corner has a small green area.

The proposed use is a permitted one by the Land Development Regulations and the City has issued, among others, a license for commercial parking.

Cited Guidelines

Guidelines for Parking Areas, landscape and open space environment (page 43), specifically guidelines 1, 3, 6 and 9.

Staff Analysis

The Certificate of Appropriateness under review proposes a design for a new commercial parking lot in the entire site. All non-historic structures are proposed to be demolished. The design includes 91 parking spaces that are spaced though the lot's periphery and on two islands located within the central area. The site will work as a "pay station" parking lot, where no covered structures will be required. There will be two entrances, one on each street and the exit will be on Duval Street. The corner space will have a paver treatment and a 5' landscape border will serve as a transition between the parking lot and the city's right-of-way. Another 5' of green area will serve as a buffer zone for the adjacent residential properties located on the west side. An existing wood fence will separate the parking lot from its southern neighbor. The finish material of the surface will be a new asphalt top, to match current condition.

The plans do not propose a specific business signage, but traffic, directional and instructions signs are proposed through the site. Trash and recycle beans are proposed in the site as well as architectural lamp posts.

Consistency with cited guidelines

It is staff's opinion that the proposed design meets the cited guidelines. The design improves current visual qualities of the site as it proposes green areas as transitional natural buffers towards the streets and west side. The proposed green areas will enhance the historic integrity of the district's streetscape and will serve as buffer from a full developed parking lot. It is recommended that these green areas be maintained in good and healthy conditions. Any business or business identification signage proposed in the future must require a Certificate of Appropriateness, as well as any accessory structure proposed on the site.

APPLICATION

HARC MAJOR PROJECTS CERTIFICATE OF APPROPRIATENESS \$400 NON-REFUNDABLE BASE APPLICATION FEE - OTHER FEES MAY BE APPLICABLE



City of Key West 1300 white street key west, florida 33040

HARC COA #	REVISION #	INITIAL & DATE
FLOOD ZONE	ZONING DISTRICT	BLDG PERMIT #

A PRE-APPLICATION MEETING WITH HARC STAFF IS REQUIRED PRIOR TO SUBMITTAL

ADDRESS OF PROPOSED PROJECT:	1300 DUVAL STREET	
NAME ON DEED:	RAMEY ROBERT III	PHONE NUMBER
OWNER'S MAILING ADDRESS:	2764 N ROOSEVELT BLVD	EMAIL
	KEY WEST, FL 33045	
APPLICANT NAME:	ROBERT RAMEY	PHONE NUMBER 305-307-5840
APPLICANT'S ADDRESS:	2764 N ROOSEVELT BLVD	EMAIL EPOOLE@K2MDESIGN.COM
	KEY WEST, FL 33045	
APPLICANT'S SIGNATURE:	Robert from of	DATE 3/27/2020
ANY PERSON THAT MAKES CHANG	GES TO AN APPROVED CERTIFICATE OF APPROPRIA	TENESS MUST SUBMIT A NEW APPLICATION.

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083. THE APPLICANT FURTHER HEREBY ACKNOWLEDGES THAT THE SCOPE OF WORK AS DESCRIBED IN THE APPLICATION SHALL BE THE SCOPE OF WORK THAT IS CONTEMPLATED BY THE APPLICANT AND THE CITY. THE APPLICANT FURTHER STIPULATES THAT SHOULD FURTHER ACTION BE TAKEN BY THE CITY FOR EXCEEDING THE SCOPE OF THE DESCRIPTION OF WORK, AS DESCRIBED HEREIN, AND IF THERE IS CONFLICTING INFORMATION BETWEEN THE DESCRIPTION OF WORK AND THE SUBMITTED PLANS, THE AFOREMENTIONED DESCRIPTION OF WORK SHALL BE CONTROLLING.

PROJECT INCLUDES:	REPLACEMENT OF WINDOWS	RELOCATION OF A STRUCTURE	ELEVATION OF A STRUCTURE

PROJECT INVOLVES A CONTRIBUTING STRUCTURE:	YES	NO X	INVOLVES A HISTORIC STRUCTURE: Y	′ES	NO_	Х
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PROJECT INVOLVES A STRUCTURE THAT IS INDIVIDUALLY LISTED ON THE NATIONAL REGISTER: YES _____ NO X

DETAILED PROJECT DESCRIPTION INCLUDING MATERIALS, HEIGHT, DIMENSIONS	, SQUARE FOOTAGE, LOCATION, ETC.
GENERAL: NEW PARKING LOT W/ 77 STANDARD SPACES, 4 HC, AND 14 COMPACT MADE OF ASPHALT MILLINGS WITH SITE LIGHTING PER PLAN AND SQUARE FOOTAGES PER A111.	
MAIN BUILDING: N/A	
DEMOLITION (PLEASE FILL OUT AND ATTACH DEMOLITION APPENDIX):	

APPLICATIONS MUST BE SUBMITTED IN PERSON WITH HARD COPIES BY 3PM ON THE SCHEDULED DEADLINE PLEASE SEND AN ELECTRONIC COPY OF ALL DOCUMENTS TO HARC@CITYOFKEYWEST-FL.GOV

ACCESSORY STRUCTURE(S): N/A		
PAVERS: ASPHALT MILLINGS	FENCES:	EXISTING TO REMAIN
DECKS: N/A	PAINTING:	- POSTS FOR SIGNAGE
		MOUNTING - WHITE
SITE (INCLUDING GRADING, FILL, TREES, ETC):	POOLS (IN	CLUDING EQUIPMENT): N/A
SITE GRADING/DRAINAGE AND TREES PER PLAN, ASPHALT MILLINGS AND		
PARKING LOT LINES PER PLAN		
ACCESSORY EQUIPMENT (GAS, A/C, VENTS, ETC.):		
SITE LIGHTING PER DRAWINGS AND PROVIDED		PER PLAN, SIGNAGE PER PLAN TO CONFORM WITH HARC SIGNAGE
SPEC, AND (3) PAY STATIONS PER DRAWINGS AND PROVIDED SPEC.		REQUIRED

OFFICIAL USE ONLY:		HARC COMMISS	SION REVIEW	EXPIRES ON:
MEETING DATE:	APPROVED	NOT APPROVED	DEFERRED FOR FUTURE CO	NSIDERATION
MEETING DATE:	APPROVED	NOT APPROVED	DEFERRED FOR FUTURE CO	
MEETING DATE:	APPROVED	NOT APPROVED	DEFERRED FOR FUTURE CO	NSIDERATION
REASONS OR CONDITIONS:				
STAFF REVIEW COMMENTS:				
STAFF REVIEW COMMENTS:				
FIRST READING FOR DEMO:		SECO	ND READING FOR DEMO:	
HARC STAFF SIGNATURE AND D	ATE:	HARC	CHAIRPERSON SIGNATURE AND DATE:	

THIS APPLICATION MAY BE REVIEWED BY PLANNING DEPARTMENT STAFF.

HARC Certificate of Appropriateness: Demolition Appendix

City of	Key West	HARC COA #	INITIAL & DATE
1300 WH	ITE STREET	ZONING DISTRICT	BLDG PERMIT #
KEY WEST	, FLORIDA 33040		
PISI, FLORIZON			
ADDRESS OF PROPOSED PROJECT:	1300 DUVAL STREET		
PROPERTY OWNER'S NAME:	ROBERT RAMEY III		
APPLICANT NAME:	ROBERT RAMEY III		

I hereby certify I am the owner of record and that the work shall conform to all applicable laws of this jurisdiction. By receiving a Certificate of Appropriateness, I realize that this project will require a Building Permit approval **PRIOR to proceeding with the work outlined above** and that a final inspection is required under this application. I also understand that any changes to an approved Certificate of Appropriateness must be submitted for review.

PROPERTY OWNER'S SIGNATURE

APPLICANT NAME:

72020 DATE AND PRINT NAME

	DETAILED PRO	JECT DESCRIPTION OF D	EMOLITION
DEMO OF ALL	EXISTING BUI	LDINGS/STRUCTUF	RES AND
	MENT ON SITE.		

CRITERIA FOR DEMOLITION OF CONTRIBUTING OR HISTORIC STRUCTURES	CRITERIA FOR	DEMOLITION	OF CONTRIBUTING	OR HISTORIC STRUCTURES
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Before any Certificate of Appropriateness may be issued for a demolition request, the Historic Architectural Review Commission must find that the following requirements are met (please review and comment on each criterion that applies):

(1) If the subject of the application is a contributing or historic building or structure, then it should not be demolished unless its condition is irrevocably compromised by extreme deterioration or it does not meet any of the following criteria:

(a) The existing condition of the building or structure is irrevocably compromised by extreme deterioration.

N/A

(2) Or explain how the building or structure meets the criteria below:

(a) Embodies no distinctive characteristics of a type, period, or method of construction of aesthetic or historic significance in the city and is not a significant and distinguishable building entity whose components may lack individual distinction.

NO STRUCTURE ON SITE EMBODIES DISTINCTIVE

CHARACTERISTICS OF HISTORICAL SIGNIFICANCE. THE

BUILDINGS ARE NON-CONTRIBUTING AND ARE NON-HISTORIC.

Nothing in this application is intended to alter the authority of the Building Official to condemn for demolition dangerous buildings, as provided in Section 102-218 of the Land Development Regulations and Chapter 14 of the Code of Ordinances.

	(b) Is not specifically associated with events that have made a significant contribution to local, state, or national history.
	NO STRUCTURE ON SITE OR THE SITE ITSELF ARE
	ASSOCIATED WITH HISTORICAL EVENTS.
	(c) Has no significant character, interest, or value as part fo the development, heritage, or cultural characteristics of the or state or nation, and is not associated with the life of a person significant in the past.
	NO STRUCTURE ON SITE HAVE ANY SIGNIFICANT
	CHARATER, INTEREST, OR VALUE. THEY ARE NOT
	ASSOCIATED WITH THE LIFE OF ANY HISTORICAL FIGURE.
	(d) Is not the site of a historic event with significant effect upon society.
	THE SITE IS NOT ASSOCIATED WITH ANY HISTORIC EVENTS.
	(e) Does not exemplify the cultural, political, economic, social, or historic heritage of the city. THE SITE/STRUCTURES DO NOT EXEMPLIFY CULTURAL, POLITICAL, ECONOMICAL, SOCIAL, OR HISTORIC HERITAGE OF THE CITY.
	(f) Does not portray the environment in an era of history characterized by a distinctive architectural style.
	THE SITE/STRUCTURES DO NOT PORTRAY A HISTORICAL, DISTINCTIVE ARCHITECTURAL STYLE.
	(g) If a part of or related to a square, park, or other distinctive area, nevertheless should not be developed or preserved according to a plan based on the area's historic, cultural, natural, or architectural motif.
	THE SITE/STRUCTURES ARE NOT PARK OF A PARK OR
	SQUARE. THERE IS NO HISTORICAL, CULTURAL,
<u></u>	NATURAL, OR ARCHITECTURAL SIGNIFICANCE TO THE STRUCTURES OR SITE AS IS.
	(h) Does not have a unique location or singular physical characteristic which represents an established and familiar visual feature of its neighborhood or of the city, and does not exemplify the best remaining architectural type in a neighborhood

Nothing in this application is intended to alter the authority of the Building Official to condemn for demolition dangerous buildings, as provided in Section 102-218 of the Land Development Regulations and Chapter 14 of the Code of Ordinances.

1		
	THE SITE IS LOCATED ON DUVAL STREET, AND IS THEREFORE IN A	
	LOCATION OF PROMINENT HISTORIC VALUE TO OLD TOWN. THE	
Ì	EXISTING STRUCTIRES, HOWEVER, ARE NON-HISTORIC AND	
	NON-CONTRIBUTING AND DO NOT CURRENTLY PROVIDE A POSITIVE	
Į	IMPACT ARCHITECTURALLY ON THE NEIGHBORHOOD.	
	(i) Has not yielded, and is not likely to yield, information important in history.	
	THE SITE/STRUCTURES HAVE NTO COME UP AS	
ļ	HISTORICALLY RELEVENT AND HAVE NOT BEEN NOTED	
ł	TO BE ASSOCIATED WITH IMPORTANT HISTORICAL	
l	EVENTS/PEOPLE.	
ľ		

CRITERIA FOR DEMOLITION OF NON-CONTRIBUTING OR NON-HISTORIC STRUCTURES:

The following criteria will also be reviewed by the Historic Architectural Review Commission for proposed demolitions. The Commission shall not issue a Certificate of Appropriateness that would result in the following conditions (please review and comment on each criterion that applies);

(1) Removing buildings or structures that are important in defining the overall historic character of a district or neighborhood so that the character is diminished.

THE STRUCTURES ON SITE DO NOT PROVIDE HISTORIC CHARACTER OR VALUE TO THE NEIGHBORHOOD. THEY DO NOT PROVIDE CHARACTER TO THE NEIGHBORHOOD AS THEY ARE CURRENTLY.

(2) Removing historic buildings or structures and thus destroying the historic relationship between buildings or structures and open space.

REMOVAL OF THE EXISTING STRUCTURES ON THE SITE DOES NOT DESTROY HISTORICAL RELATIONSHIPS WITH OPEN SPACE OR STRUCTURE. THE EXISTING USE IS NON-HISTORIC.

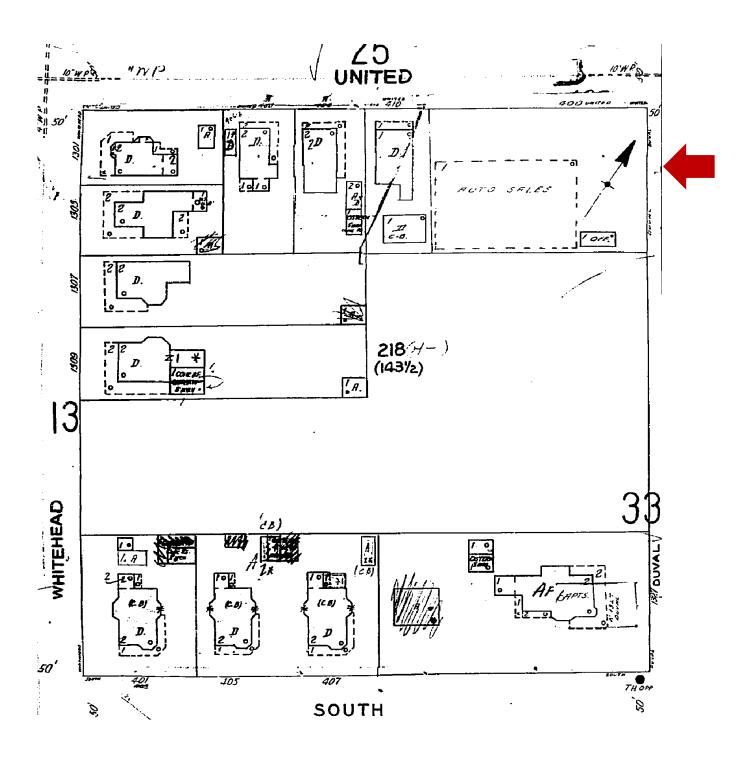
(3) Removing an historic building or structure in a complex; or removing a building facade; or removing a significant later addition that is important in defining the historic character of a site or the surrounding district or neighborhood.

NO STRUCTURE OR BUILDING ON SITE QUALIFY AS HISTORIC

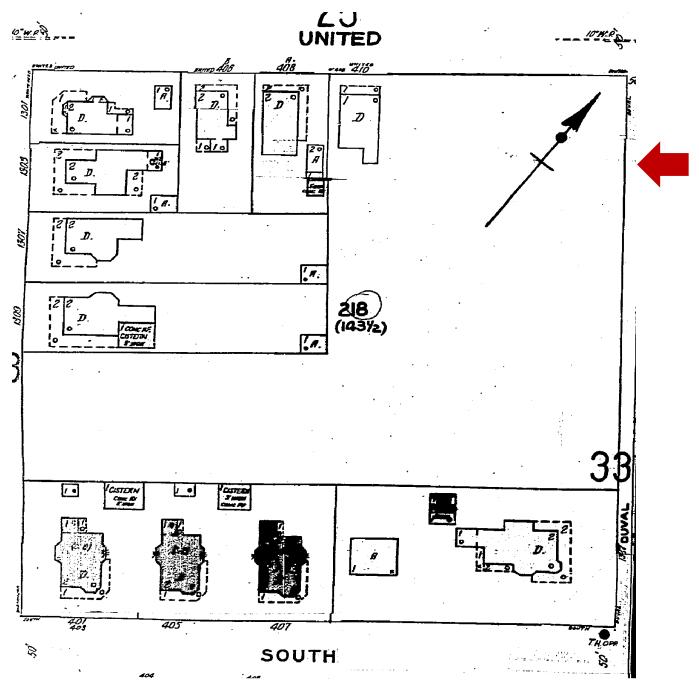
(4) Removing buildings or structures that would otherwise qualify as contributing.

NO STRUCTURE OR BUILDING ON SITE QUALIFY AS CONTRIBUTING.

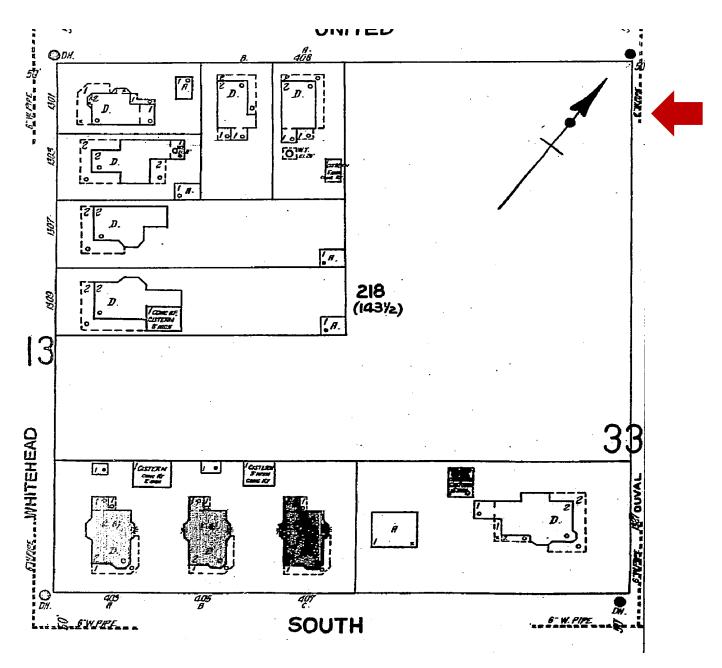
SANBORN MAPS



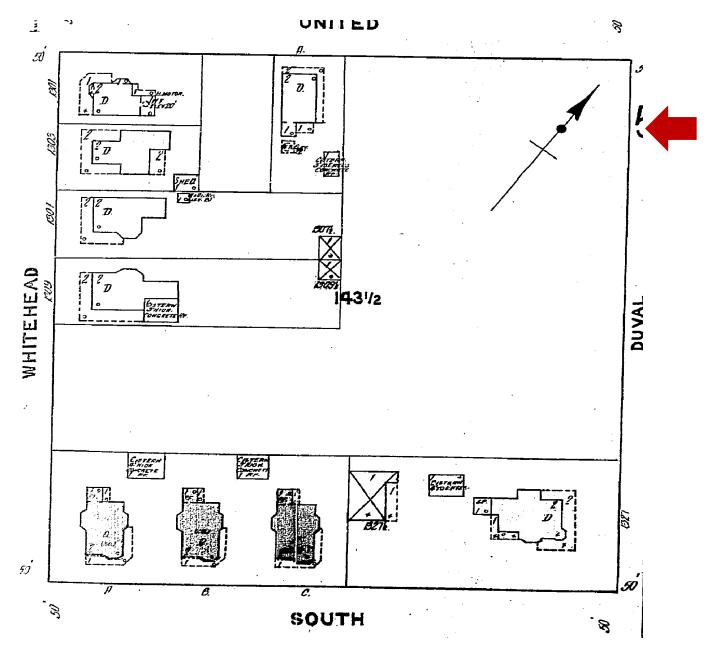
Sanborn Map 1962



Sanborn Map 1948

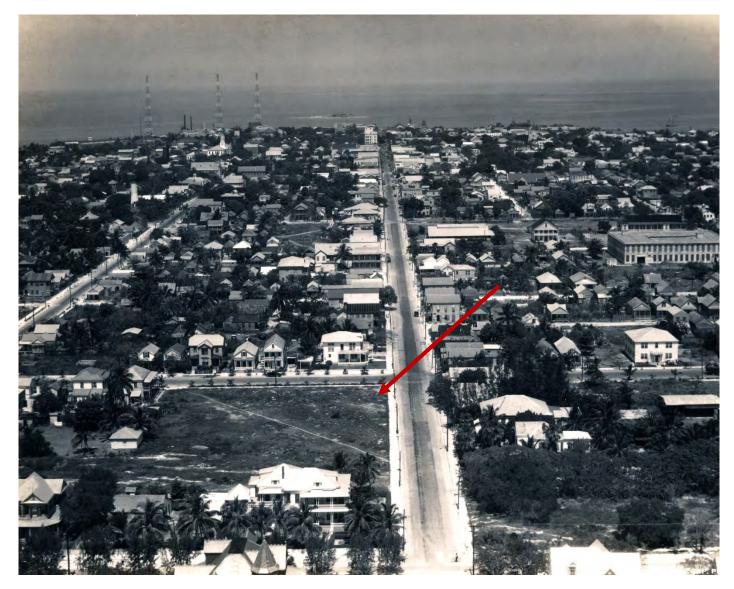


Sanborn Map 1926



Sanborn Map 1912

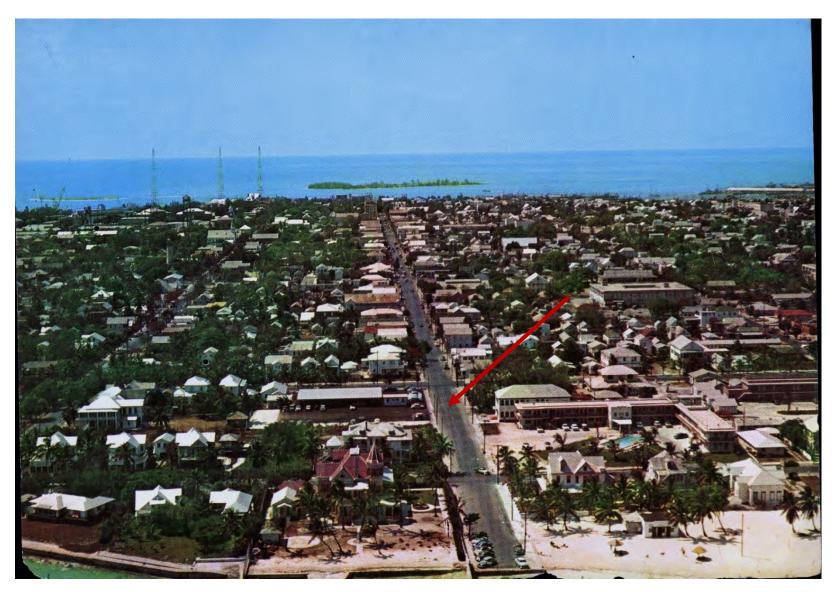
PROJECT PHOTOS



Duval Street circa 1930. Monroe County Library.



Duval Street circa 1950. Monroe County Library.



Post card 1960. Monroe County Library.



1300 Duval Street circa 1965. Monroe County Library.



1300 Duval Street in 1971. Monroe County Library.

















Avalon Bed & Breakfast

Tropical Rent A Car

THE TAR CO

United St

DIFI

United St

0

1300 Duval Street

149 21

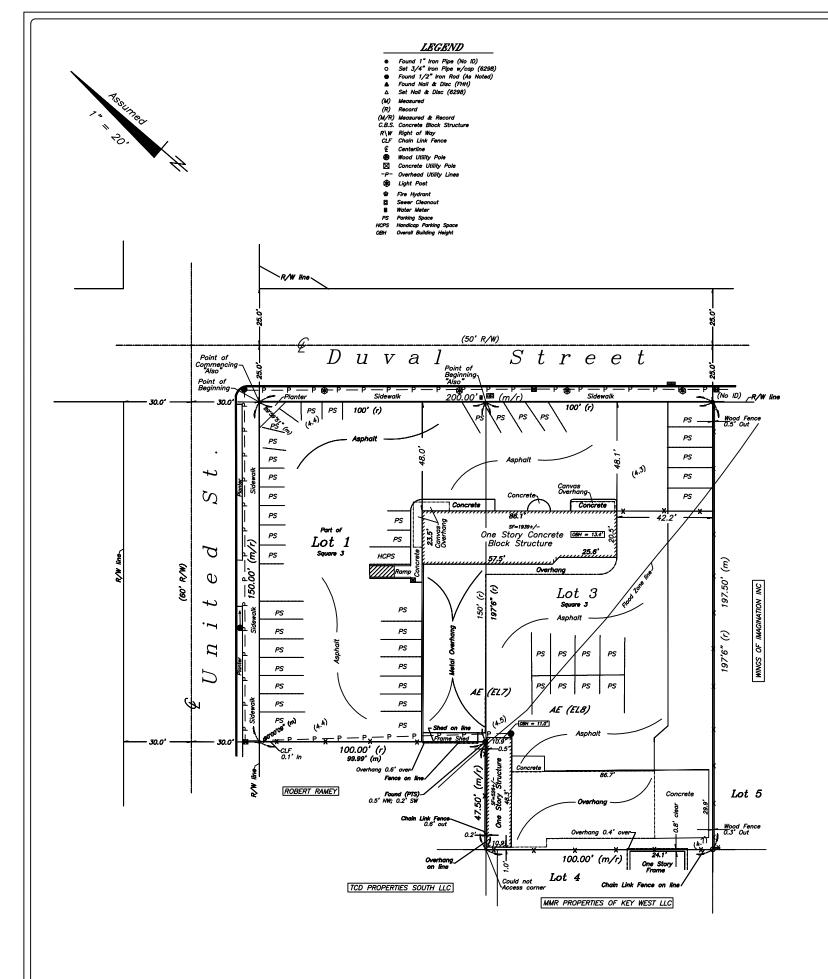
Duval St.

The Key West Butterfly and Nature Conservatory Tropted habitat for...

6

ound St.

SURVEY



NOTES

- - Setbacks: Front = 5'; Street Side = 5'; Side: 5'; Rear = 10'

Boundary Survey of:

Part of Lot Number 1 in Square Number 3, according to the Diagram of Division of Tract 16 on the Island of Key West, between Frederick Filer and John Boyle, recorded in Book "N", Page 476, of Monroe County, Florida Records. Said lot commencing at the corner of Duval and United Streets, in the City of Key West, and running thence along the line of Duval Street, in a Southeasterly direction 100 feet; thence at right angles in a Southwesterly direction 150 feet; thence at right angles in a Northwesterly direction 100 feet; thence at right angles in a Northeasterly direction 150 feet, back to the Point of Beginning.

ALSO;

Lot 3 in Square 3, according to the diagram of Division of Tract 16 on the Island of Key West, between Frederick Filer and John Boyle, recorded in Book "N", Page 476, of Monroe County, Florida Records. Said lot commencing at a point on Duval Street distant 100 feet from the corner of Duval and United Streets and running thence along the line of Duval Street in a SE'ly direction 100 feet; thence at right angles in a SW'ly direction 197 feet 6 inches; thence at right angles in a NW'ly direction 100 feet; thence at right angles in a NE'ly direction 197 feet 6 inches back to the Point of Beginning on Duval Street.

SURVEYOR'S CERTIFICATION

This survey is made for the benefit of: Hurwitz Enterprises, LLC, an Illinois limited liability company; Oropeza, Stones & Cardenas, PLLC; Chicago Title Insurance Company:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys jointly established and adopted by ALTA and NSPS and includes Items 1, 2, 3, 4, 5, 6 (a), 6(b). 7(a), 7(b)(1), 7(c), 8, 9, 10(a) and 11, of Table A thereof. The field work was completed on December 6, 2019

Date of Plat or Map: December 9, 2019

J. LYNN O'FLYNN, INC.

J. Lynn O'Flynn Professional Surveyor & Mapper Florida Registration #6298



PROPOSED DESIGN

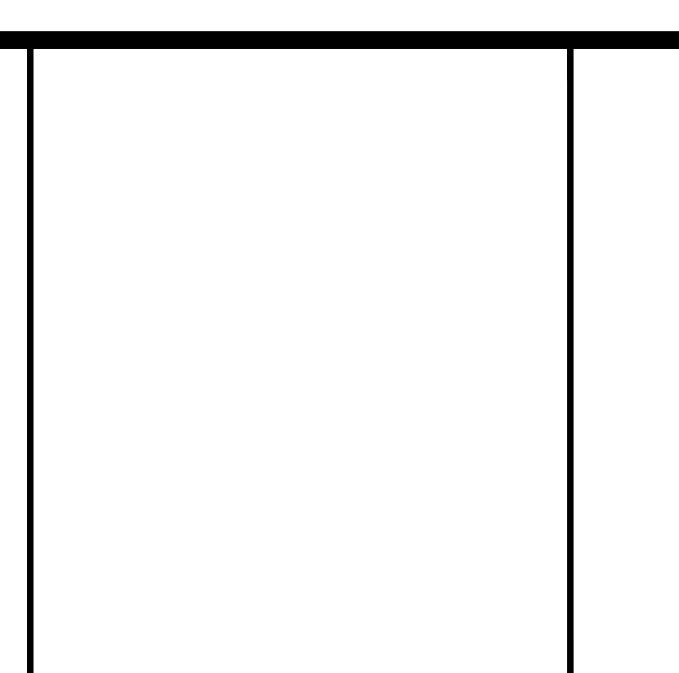
1300 DUVAL PARKING KEY WEST, FLORIDA 33040



1150 Virginia Street, Key West, FL 33040

URL: www.k2mdesign.com

PERMIT SET

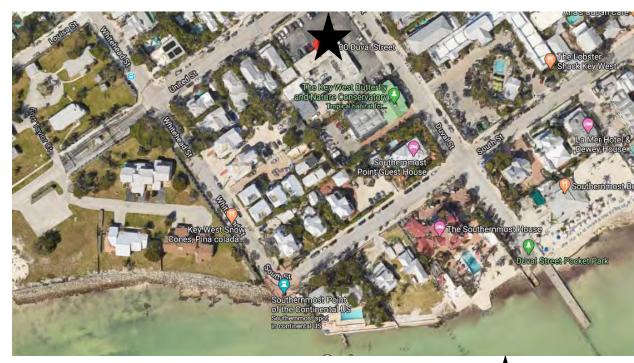


APPROVALS RECEIVED

1.	SCHEMATIC DESIGN	APPROVED	XX/XX/XX
2.	DESIGN REVIEW COMMITTEE	APPROVED	xx/xx/xx
3.	PLANNING COMISSION	APPROVED	xx/xx/xx
4.	DESIGN DEVELOPMENT	APPROVED	xx/xx/xx
5.	CONSTRUCTION DOCUMENTS	APPROVED	XX/XX/XX

ARCHITECT:
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Submissions: 2020.03.25 - ISSUED PERMIT SET
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PLOTTED: 3/30/2020 3:53 PM
Drawing Size Project #: 24 x 36 20035
Drawn By: NM Checked By: EHP
COVER SHEET
Sheet Number:
G0.0.1
Date: 03/25/2020 ©2019 by K2M Design, Inc.

LOCATION MAP



PROJECT LOCATION ★

CODE

<u>APPLICABLE CODES</u> ALL WORK SHALL E FOLLOWING AND AN

2017 FLORIDA BUIL 2017 FLORIDA MEC 2017 FLORIDA PLU 2014 NATIONAL ELE 2017 FLORIDA FIRE 2017 FLORIDA ENER 2017 FLORIDA ACCE

LOCAL BUILDING RE FEMA REQUIREMENT CURRENT ZONING: MAX BUILDING HEIG USE GROUP:

GENERAL NOTES

- 1. The contract documents consist of this set of drawings, addenda, construction change directives, change orders, the contract between the owner and contractor, conditions of the contract and any other information written and mutually agreed upon between the owner and contractor.
- 2. These drawings are complementary and interrelated; work of any individual trade is not necessarily confined to specific documents, chapters, or locations.
- 3. It is the intent of the contract documents to be designed in accordance with all codes and ordinances in effect at the time the permit is issued. Notify architect immediately upon discovery of suspected deviation.
- 4. If discrepancies or inconsistencies in the documents are discovered, notify the architect
- immediately using a consistent "request for information" procedure. 5. Construction techniques, procedures, sequencing, and scheduling are solely the responsibility
- of the contractor. 6. <u>DO NOT SCALE DRAWINGS</u>; use dimensions only. All dimensions must be verified on the job and the architect must be notified of any discrepancies before proceeding with the work.
- 7. Coordinate locations and/or elevations of floor drains, registers, grilles, louvers, ducts, unit heaters, panels, etc. with the Mechanical, Plumbing, and Electrical Contractors and the architectural drawings.
- 8. Blocking at openings, doors, windows, and wall mounted fixtures shall be 2x FRT materials. At wall mounted equipment locations, use 1/2" plywood sheet material. All blocking in contact with concrete or concrete masonry units to be pressure treated.
- 9. Where a detail is shown for one condition, it shall apply to all like or similar conditions, even though not specifically marked on the drawings.
- 10. All abbreviations, materials and symbols in legends may or may not be used.
- 11. Follow the manufacturer's instruction specifications for preparation, implementation, and construction of all materials and systems.

SYMBOLS			
ROOM NAME	ROOM IDENTIFICATION TAG	ROOM NAME ROOM NUMBER	
xx xxx	ELEVATION TAG	ELEVATION NUMBER SHEET NUMBER	
	DETAIL TAG	DETAIL NUMBER SHEET NUMBER	
x xxx x x xxx x	INTERIOR ELEVATION TAG	ELEVATION NUMBER SHEET NUMBER	
xx xxx	SECTION TAG	SECTION NUMBER SHEET NUMBER	
xxx	DOOR TAG. REFER TO DOOR SC	HEDULE.	
××××	WINDOW TAG. REFER TO WINDO	N SCHEDULE.	
×	WALL TYPE TAG. REFER TO WAL	L TYPES.	
	BREAKLINE		
0 16 32 48 GRAPHIC SCALE: 1/16" = 1'-0"	GRAPHIC SCALE		
	NORTH ARROW		
XX XXX SCALE: XXX	DRAWING TITLE	DETAIL NUMBER SHEET NUMBER	TITLE SCALE

SCOPE OF WORK

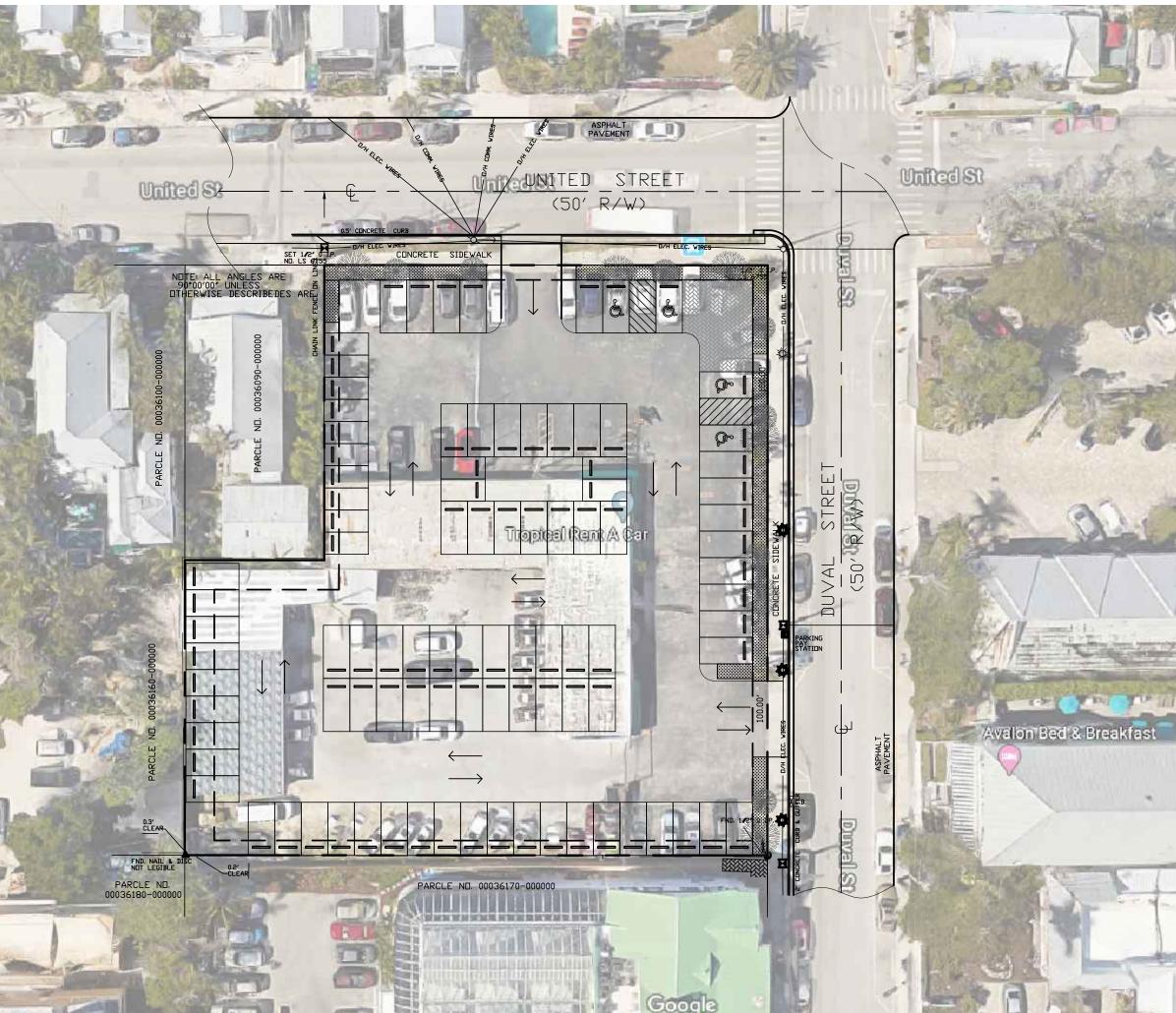
DEMO OF EXISTING SINGLE STORY CONCRETE STRUCTURES AND SHADE STRUCTURES. DEMO OF ALL EXISTING PAVEMENT AND CONCRETE SLABS. EXISTING CURB CUTS AND SIDEWALKS TO REMAIN.

NEW PARKING LOT WITH SAME COVERAGE AS PREVIOUS DEVELOPMENT. 77 STANDARD, 14 COMPACT AND 4 HANDICAP SPACES. THE NEW SIDEWALK TO PAVEMENT CONNECTIONS.

APPR

SCHEMATIC DE DESIGN DEVELO CONSTRUCTIO PLANNING SUB PERMIT DOCUM

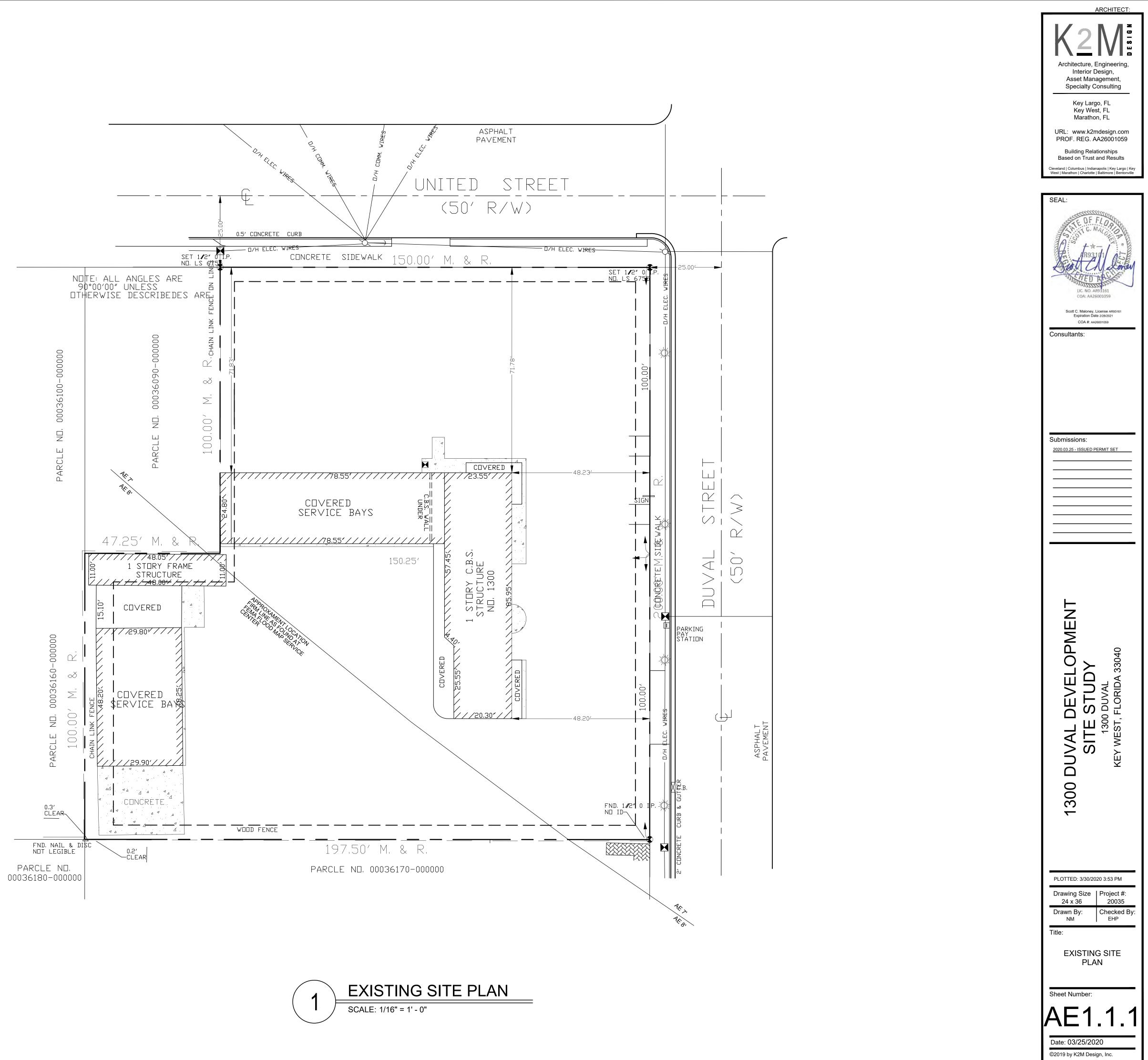
			ARCHITECT:
			K2M
D <u>DES</u> LL BE IN CONFORMANCE, BUT NOT LIMITED TO THE REQUIREMENTS OF THE O ANY OTHER STATE OR LOCAL CODES HAVING JURISDICTION. BUILDING CODE	1300 DUVAL STREET, KEY WEST, FLORIDA 33040	ISSUED FOR:	Architecture, Engineering, Interior Design, Asset Management,
MECHANICAL CODE PLUMBING CODE . ELECTRIC CODE FIRE CODE	CONTRACTOR GENERAL NOTES: - ALL WORK TO BE IN ACCORDANCE WITH APPLICABLE CODES.		Specialty Consulting Key Largo, FL Key West, FL Marathon, FL
ENERGY CONSERVATION CODE ACCESSIBILITY CODE	 WORKMANSHIP TO MEET OR EXCEED ACCEPTED STANDARDS OF RESPECTIVE TRADES. VERIFY ALL DIMENSIONS, ELEVATIONS, AND FIELD CONDITIONS BEFORE START OF CONSTRUCTION. NOTIFY ARCHITECT IF ANY CONFLICTS EXIST PRIOR TO COMMENCEMENT OF WORK. 	GENERAL GO.0.1 COVER SHEET	URL: www.k2mdesign.com PROF. REG. AA26001059 Building Relationships
G REQUIREMENTS:CITY OF KEY WEST CODES AND ORDINANCESMENTS:AE: 7'/8' NGVD 1929NG:HCT – HISTORIC COMMERCIAL TOURISTHEIGHT:35' FROM COR	FIRE EXTINGUISHERS WILL BE PROVIDED AS REQUIRED BY AUTHORITY HAVING JURISDICTION OR AS DIRECTED BY THE LOCAL FIRE DEPARTMENT.	G0.0.2 DRAWING INDEX AND PROJECT INFORMATION	Based on Trust and Results Cleveland Columbus Indianapolis Key Largo Key West Marathon Charlotte Baltimore Bentonville
LOW-HAZARD STORAGE, GROUP S-2		AE1.1.1 EXISTING SITE PLAN AE1.1.2 EXISTING SURVEY AD1.1.1 SITE PLAN DEMOLITION	SEAL:
		A1.1.1 SITE PLAN ELECTRICAL	R93101 05
		E0.1.1 ELECTRICAL NOTES AND SPECIFICATIONS E1.1.1 PHOTOMETRIC PLAN E1.2.1 ELECTRICAL SITE PLAN E2.1.1 ELECTRICAL ONE-LINE DIAGRAM	LIC. NO. AR93161 COA: AA26001059
		CIVIL C100 CIVIL ENGINEERING NOTES AND LEGEND C200 EROSION CONTROL PLAN C300 CIVIL SITE PLAN C400 GRADING AND DRAINAGE PLAN	Scott C. Maloney, License AR93161 Expiration Date 2/28/2021 COA #: AA26001059
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NDTE: ALL ANGLES ARE 90'00'00' UNLESS DTHERWISE DESCRIBEDES ARE			Submissions: 2020.03.25 - ISSUED PERMIT SET
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	ASPHALL		
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PARCLE NII. 00036180-000000			DUV S KEY
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ROVALS	DESIGN TEAM INFORMATION	SHEET NUMBERING SYSTEM	PLOTTED: 3/30/2020 3:53 PM
DESIGN SUBMITTED - APPROVED - /ELOPMENT SUBMITTED -	ARCHITECT (PRIMARY POINT OF CONTACT): K2M Design, Inc. Erica Poole, RA		Drawing SizeProject #:24 x 3620035Drawn By: NMChecked By: EHP
TION DOCUMENTS SUBMITTED - APPROVED - APPROVED - APPROVED - SUBMISSION SUBMITTED -	1150 Virginia Street, Key West, FL 33040 tel: 305.307.5840	DISCIPLINE:	Title: DRAWING INDEX CODE INFO., SYMBOL LEGEND, &
CUMENTS SUBMITTED - APPROVED - APPROVED - APPROVED -		A2.1.1	ABBREVIATIONS
			G0.0.2
			Date: 03/25/2020 ©2019 by K2M Design, Inc.



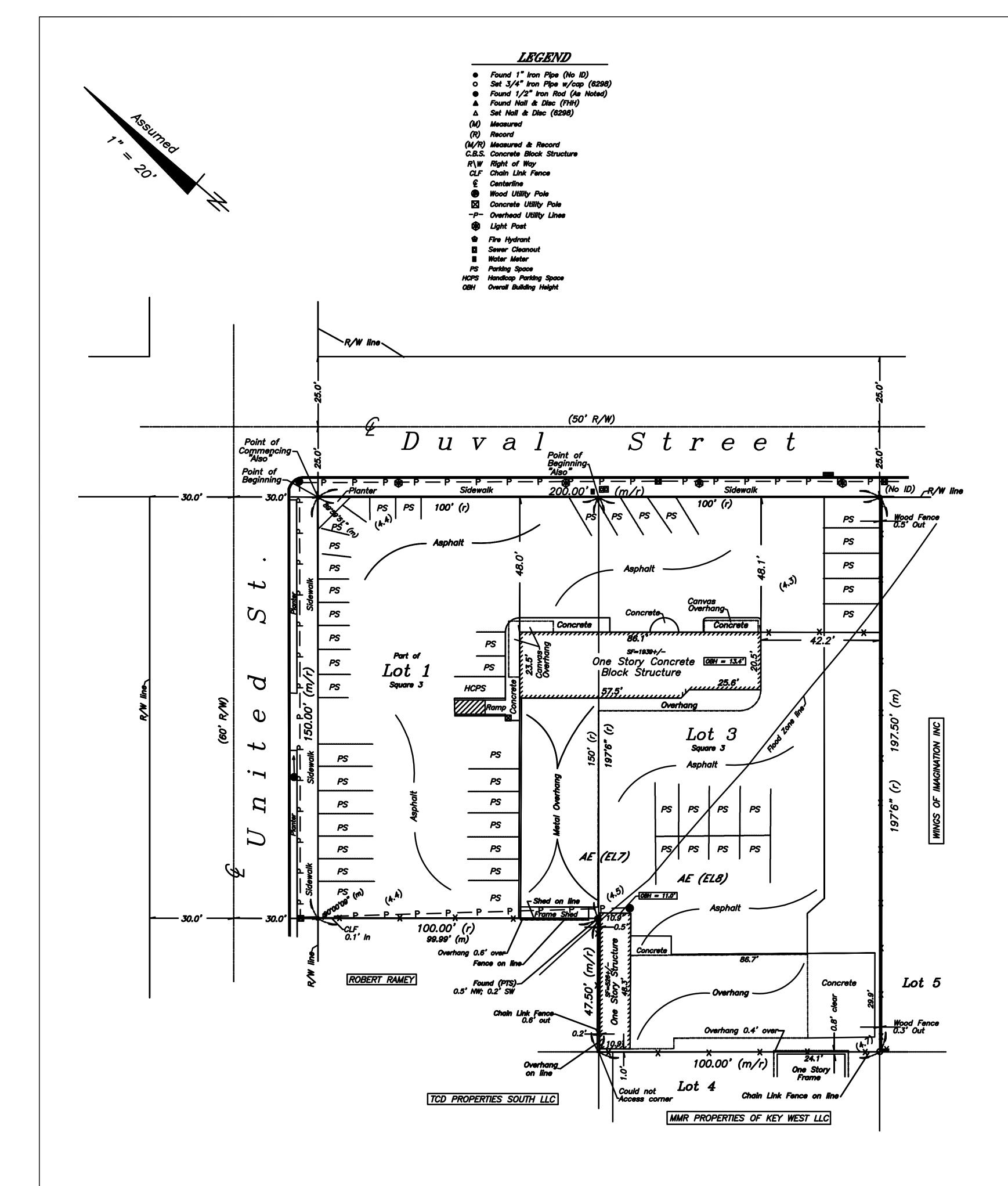
E INFORMATION	BUILDING INFORMATION	DRAWING INDEX	
S BE IN CONFORMANCE, BUT NOT LIMITED TO THE REQUIREMENTS OF THE NY OTHER STATE OR LOCAL CODES HAVING JURISDICTION. ILDING CODE CHANICAL CODE LECTRIC CODE EECODE ERGY CONSERVATION CODE CESSIBILITY CODE REQUIREMENTS: CITY OF KEY WEST CODES AND ORDINANCES ITS: AE: 7'/8' NGVD 1929 HCT - HISTORIC COMMERCIAL TOURIST GHT: 35' FROM COR LOW-HAZARD STORAGE, GROUP S-2	1300 DUVAL STREET, KEY WEST, FLORIDA 33040 CONTRACTOR GENERAL NOTES: - ALL WORK TO BE IN ACCORDANCE WITH APPLICABLE CODES. - WORKMANSHIP TO MEET OR EXCEED ACCEPTED STANDARDS OF RESPECTIVE TRADES. - VERIFY ALL DIMENSIONS, ELEVATIONS, AND FIELD CONDITIONS BEFORE START OF CONSTRUCTION. NOTIFY ARCHITECT IF ANY CONFLICTS EXIST PRIOR TO COMMENCEMENT OF WORK. FIRE EXTINGUISHERS WILL BE PROVIDED AS REQUIRED BY AUTHORITY HAVING JURISDICTION OR AS DIRECTED BY THE LOCAL FIRE DEPARTMENT.	Image: Superior of the second system of t	<text><text><text><text><text><text><text></text></text></text></text></text></text></text>
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ESIGN SUBMITTED - APPROVED - APPROVED - APPROVED - APPROVED - APPROVED - APPROVED - SUBMITTED - APPROVED - MENTS SUBMITTED - APPROVED - APPROVED -	ARCHITECT (PRIMARY POINT OF CONTACT): K2M Design, Inc. Erica Poole, RA 1150 Virginia Street, Key West, FL 33040 tel: 305:307.5840	SHEET NUMBERING SYSTEM DISCIPLINE: SERIES NUMBER SUB-SERIES NUMBER NUMBER OF DRAWING WITH IN SUB-SERIES A2.1.1	PLOTTED: 3/30/2020 3:53 PM Drawing Size 24 x 36 Project #: 20035 Drawn By: NM Checked By: EHP Title: DRAWING INDEX CODE INFO., SYMBOL LEGEND, & ABBREVIATIONS Sheet Number: GOO.O.O.O Date: 03/25/2020

EXISTING	SITE DATA TABLE	
	CODE REQUIREMENT	EXISTING SITE
Zoning	НСТ	НСТ
Flood Zone	AE 7/8	AE 7/8
Size of Site	34,775	34,775
Height	35'-0"	30'-0"
Front Setback	5'-0''	44'-7''
Side Setback	5'-0"	25'-0"
Side Setback	5'-0"	0'-6''
Street Side Setback	5'-0''	67'-8''
Rear Setback	10'-0"	1'-4''
Residential Floor Area	N/A	N/A
Density	22 du/acre	N/A
F.A.R. (Commercial)	1	0.195
Building Coverage	50%	20%
Impervious Surface	70%	96%
Parking (All)	1/300 SF	31
Regular Parking		
Compact Parking		
Handicap Parking**	2.00	2
Bicycle Parking	25%	24
Open Space/Landscaping	20%	4%
Number & Type of Units	N/A	N/A
Consumption Area or Number of		-
Seats	N/A	N/A
**up to 25 - 1		

	Breakdowns (SF)	
Exi	isting Developments	
		Our Site
Lot Area		34,775.00
Existing Coverages		
Asphalt/Concrete	Concrete	1,245
	Asphalt 1	14,493
	Asphalt 2	10,719
	Sidewalks on Back	
	Sidewalks on Front/Side	
Buildings	Building - Covered Ba	4,368
	1 Story Frame	
	Structure	2,424
Impervious Surface		33,250
Impervious Surface %		96%
Building Coverage		6,792
Building Coverage %		20%
Open Space		1,525.34
Open Space %		4%







- 9. Street address: 1300 Duval Street, Key West, FL.
- - Maximum Building Height: 35' Minimum Lot Size: 10.000 Square Feet

Architecture, Engineering Interior Design, Said described property is located within an area having a Zone Designations of AE (EL 7) and AE (EL 8) by the Federal Emergency Management Agency (FEMA), on Flood Insurance Rate Map No. 120168, with a date of identification of 2-18-05, for Community Panel No. 1516 K, Key West, Monroe County, State of Florida, which is the current Flood Insurance Rate Map for the community in which the premises is situated.
 The property has direct physical access to United Street and Duval Street, both dedicated public streets or highway. 3. Gross Land Area: 34749.5+/- Square Feet (0.79+/- Acres).
 4. The property described hereon is the same as the property described in Chicago Title Insurance Company Commitment No. 7997007 with an effective date of October 9, 2019, and that all easements, covenants and restrictions referenced in said title commitment or apparent from a physical inspection of the site or otherwise known to have been plotted hereon or otherwise noted as to their effect on the subject property. 5. Date of field work: December 6. 2019. 6. Underground foundations and utilities were not located. 7. Ownership of fences is undeterminable, unless otherwise noted. 8. North Arrow is assumed and based on the legal description. 10. This survey is not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper. 11. Lands shown hereon were not abstracted for rights-of-way, easements, ownership, or other instruments of record by this Surveyor. Easement information shown hereon was based on Chicago Title Insurance Company, Title Commitment No. 7997007, effective date 10/09/19. 12. ZONING — per City of Key West Zoning Department: HCT (Historic Commercial Tourist) Setbacks: Front = 5'; Street Side = 5'; Side: 5'; Rear = 10' Building Density: Maximum Floor Area Ratio: 1.0 Maximum Building Coverage: 50% Maximum Impervious Surface Ratio: 70% 13. The accompanying survey was made on the ground and correctly shows the location of all buildings, structures and other improvements situated on the above premises; there are no visible encroachments on subject property or upon adjacent land abutting said property except as shown hereon and was made in accordance with laws and/or Minimum Standards of the State of Florida.
 14. The legal description shown hereon was furnished by the client or their agent (Chicago Title Insurance Company, Title Commitment No. 7997007, effective date 10/09/19). This survey does not determine or imply ownership. 15. There are no cemeteries on or within 100 feet of the property. 16. There are no watercourses or wetlands on subject property. 17. Marked Parking Spaces: 43 Regular; 1 Handicap 18. Square footage is of buildings at ground level and do not include porches, balconies, steps, etc. 19. No evidence in field on December 6, 2019 of recent construction, earth moving work or building additions. 20. No evidence in field on December 6, 2019 of recent street or sidewalk construction.

- 21. This survey is not assignable, except for referenced lender. 22. Overall Building Height (OBH) is taken from highest point on roof (or support) to grade.
- 23. Elevations are shown in parenthesis and refer to Mean Sea Level. N.G.V.D. 1929 Datum. 24. Benchmark utilized: U 397

Boundary Survey of:

Part of Lot Number 1 in Square Number 3, according to the Diagram of Division of Tract 16 on the Island of Key West, between Frederick Filer and John Boyle, recorded in Book "N", Page 476, of Monroe County, Florida Records. Said lot commencing at the corner of Duval and United Streets, in the City of Key West, and running thence along the line of Duval Street, in a Southeasterly direction 100 feet; thence at right angles in a Southwesterly direction 150 feet; thence at right angles in a Northwesterly direction 150 feet, back to the Point of Beginning.

ALSO;

Lot 3 in Square 3, according to the diagram of Division of Tract 16 on the Island of Key West, between Frederick Filer and John Boyle, recorded in Book "N", Page 476, of Monroe County, Florida Records. Said lot commencing at a point on Duval Street distant 100 feet from the corner of Duval and United Streets and running thence along the line of Duval Street in a SE'ly direction 100 feet; thence at right angles in a SW'ly direction 197 feet 6 inches; thence at right angles in a NW'ly direction 100 feet; thence at right angles in a NE'ly direction 197 feet 6 inches back to the Point of Beginning on Duval Street.

SURVEYOR'S CERTIFICATION

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys jointly established and adopted by ALTA and NSPS and includes Items 1, 2, 3, 4, 5, 6 (a), 6(b). 7(a), 7(b)(1), 7(c), 8, 9, 10(a) and 11, of Table A thereof. The field work was completed on December 6, 2019

Date of Plat or Map: December 9, 2019

J. LYNN O'FLYNN, INC.

J. Lynn O'Flynn

Professional Surveyor & Mapper Florida Registration #6298



Specialty Consulting	
Key Largo, FL Key West, FL Marathon, FL	
URL: www.k2mdesign.com PROF. REG. AA26001059	
Building Relationships Based on Trust and Results	
Cleveland Columbus Indianapolis Key Largo Key West Marathon Charlotte Baltimore Bentonville	,
SEAL:	
LIC. NO. AR93161 COA: AA26001059	
Scott C. Maloney, License AR93161 Expiration Date 2/28/2021 COA #: AA26001059	I
Consultants:	
Submissions: 2020.03.25 - ISSUED PERMIT SET	1
	I
1300 DUVAL DEVELOPMENT SITE STUDY 1300 DUVAL KEY WEST, FLORIDA 33040	
PLOTTED: 3/30/2020 3:53 PMDrawing Size 24 x 36Project #: 20035Drawn By: NMChecked By: EHP	
Title: EXISTING SURVEY	I
EXISTING	
EXISTING SURVEY Sheet Number: AE1.1.2	
EXISTING SURVEY	

ARCHITECT

GENERAL SITE DEMOLITION NOTES

SCOPE OF DEMOLITION 1. THE EXISTING CONDITION / DEMOLITION DRAWINGS ARE INTENDED AS A GENERAL GUIDE TO THE DEMOLITION REQUIRED FOR THE PROJECT. DFMOLITION IS NOT SHOWN IN COMPLETE DETAIL AND IT SHALL BE THE RESPONSIBILITY OF THE DEMOLITION CONTRACTORS TO REMOVE EXISTING CONSTRUCTION AS REQUIRED TO ACCOMPLISH THE NEW DESIGN INTENT AND / OR WORK SHOWN ON REASONABLY IMPLIED FOR THE CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL REFER TO THE WORK SHOWN ON ALL OTHER DRAWINGS IN THE SET FOR THE EXTENT OF DEMOLITION REQUIRED TO PERFORM WORK INTENT.

GENERAL CONDITIONS

- 1. ALL CONTRACTORS ARE REQUIRED TO VISIT THE JOB SITE TO VERIFY EXISTING CONDITIONS AND DIMENSION PRIOR TO BEGINNING ANY WORK. NOTIFY ARCHITECT / OWNER AS SOON AS POSSIBLE OF ANY DISCREPANCIES FOR RESOLUTION OF THE ISSUES(S) PRIOR TO BEGINNING OF ANY WORK.
- 2. TYPICAL: DEMOLITION CONTRACTOR AND/OR GENERAL CONTRACTOR ARE TO REMOVE ALL EXISTING ITEMS SHOWN ON PLANS INCLUDING ALL MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION ITEMS ASSOCIATED WITH THE DEMOLITION.

HEALTH, SAFETY, AND WELFARE

1. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS DURING DEMOLITION AND CONSTRUCTION TO PROTECT AND MAINTAIN THE INTEGRITY AND OPERATION OF EXISTING OR TEMPORARY LIFE SAFETY AND EGRESS AREAS REQUIRED BY THE LOCAL AUTHORITY GOVERNING THIS PROJECT.

SAFETY AND CONVENIENCE.

- SAFETY EQUIPMENT 1. THE CONTRACTOR SHALL DO ALL WORK NECESSARY TO PROTECT THE USER FROM HAZARDS, INCLUDING, BUT NOT LIMITED TO, SURFACE IRREGULARITIES DISPOSAL OF DEMOLISHED MATERIALS OR UNRAMPED GRADE CHANGES IN PEDESTRIAN SIDEWALK OR WALKWAY, AND 1. RANCHES OR EXCAVATIONS IN ROADWAY. BARRICADES, LANTERNS, AND PROPER SIGNS SHALL BE FURNISHED IN SUFFICIENT AMOUNT TO SAFEGUARD THE PUBLIC AND THE WORK. ALL BARRICADES AND SIGNS SHALL BE CLEAN
- AND SERVICEABLE, IN THE OPINION OF THE OWNER AND ARCHITECT. 2. DURING CONSTRUCTION, THE CONTRACTOR SHALL CONSTRUCT AND AT ALL TIMES MAINTAIN SATISFACTORY AND SUBSTANTIAL TEMPORARY CHAIN LINK FENCING, SOLID FENCING, RAILING, BARRICADES OR STEEL PLATES, AS APPLICABLE, AT ALL OPENING, OBSTRUCTIONS, OR OTHER HAZARDS IN STREETS, SIDEWALKS, FLOORS, ROOFS, AND WALKWAYS. ALL SUCH BARRIERS SHALL HAVE ADEQUATE WARNING LIGHTS AS NECESSARY, OR REQUIRED, FOR SAFETY. ALL LIGHTS SHALL BE REGULARLY MAINTAINED, AND IN A FULLY OPERATIONAL STATE AT ALL TIMES.

ACCIDENT REPORTS

- 1. IN ADDITION, THE CONTRACTOR MUST PROMPTLY REPORT IN WRITING TO THE ARCHITECT AND OWNER, ALL ACCIDENTAL WHATSOEVER ARISING OUT OF, OR IN CONNECTION WITH, THE PERFORMANCE OF THE WORK WHETHER ON, OR ADJACENT TO , THE SITE, GIVING FULL DETAILS AND STATEMENTS OF WITNESSES. IF DEATH OR SERIOUS INJURIES OR SERIOUS DAMAGES ARE CAUSED, THE ACCIDENT SHALL BE REPORTED IMMEDIATELY BY TELEPHONE OR ^{1.}
- MESSENGER TO THE OWNER AND ARCHITECT. 2. IF A CLAIM IS MADE BY ANYONE AGAINST THE CONTRACTOR OR ANY SUBCONTRACTOR ON ACCOUNT OF ANY ACCIDENT, THE CONTRACTOR SHALL PROMPTLY REPORT THE FACTS IN WRITING TO THE OWNER AND ARCHITECT, GIVING FULL DETAILS OF THE CLAIM.
- SAFE ACCESS BY FEDERAL, STATE, AND LOCAL GOVERNMENT AUTHORITIES AUTHORIZED REPRESENTATIVES OF THE STATE, FEDERAL, OR LOCAL GOVERNMENT AGENCIES, SHALL AT ALL TIMES HAVE SAFE ACCESS TO THE WORK, AND THE CONTRACTOR SHALL PROVIDE PROPER FACILITIES FOR SUCH ACCESS AND INSPECTION.

PROTECTION OF PROPERTY 1. NOTIFY PROPERTY OWNERS AFFECTED BY THE DEMOLITION AT LEAST 48

- HOURS IN ADVANCE OF THE TIME DEMOLITION BEGINS. DURING CONSTRUCTION OPERATIONS, CONSTRUCT AND MAINTAIN SUCH FACILITIES AS MAY BE REQUIRED TO PROVIDE ACCESS BY ALL PROPERTY OWNERS TO THEIR PROPERTY. NO PERSON SHALL BE CUT OFF FROM ACCESS TO HIS RESIDENCE OR PLACE OF BUSINESS FOR A PERIOD EXCEEDING 8 HOURS, UNLESS THE CONTRACTOR HAS MADE SPECIAL ARRANGEMENT SWITCH THE AFFECTED PERSONS.
- 2. THE CONTRACTOR SHALL IDENTIFY AND ISOLATE HIS WORK ZONE IN SUCH A MANNER AS TO EXCLUDE ALL PERSONNEL NOT EMPLOYED BY HIM, THE DESIGN TEAM, AND THE OWNER.

PROTECTION OF THE ENVIRONMENT

GENERAL 1. THE CONTRACTOR SHALL MAINTAIN ALL WORK AREAS WITHIN AND OUTSIDE THE PROJECT BOUNDARIES FREE FROM ENVIRONMENTAL POLLUTION WHICH WOULD BE IN VIOLATION TO ANY FEDERAL, STATE, OR LOCAL REGULATIONS.

PROTECTION OF SEWERS

1. TAKE ADEQUATE MEASURE TO PREVENT THE IMPAIRMENT OF THE OPERATION OF THE EXISTING STORM AND SANITARY SEWER SYSTEMS. PREVENT CONSTRUCTION MATERIAL, PAVEMENT, CONCRETE, EARTH, OR OTHER DEBRIS FROM ENTERING A SEWER OR STORM STRUCTURE.

PROTECTION OF AIR QUALITY 1. THE AIR POLLUTION LIKELY TO OCCUR DUE TO DEMOLITION OPERATIONS REQUIRING THE USE OF PROPERLY OPERATING COMBUSTION EMISSION CONTROL DEVICES ON CONSTRUCTION VEHICLES AND EQUIPMENT USED BY CONTRACTORS, AND BY ENCOURAGING THE SHUTDOWN OF MOTORIZED EQUIPMENT WHEN NOT ACTUALLY IN USE.

NOISE CONTROL

1. THE CONTRACTOR SHALL CONDUCT ALL HIS WORK, USE APPROPRIATE CONSTRUCTION METHODS AND EQUIPMENT, AND FURNISH AND INSTALL ACOUSTICAL BARRIERS, ALL AS NECESSARY SO THAT NO NOISE EMANATING FROM THE PROCESS OR ANY RELATED TOOL OR EQUIPMENT WILL EXCEED LEGAL NOISE LEVELS.

SPECIFICATIONS SELECTIVE DEMOLITION

- DEFINITIONS 1. REMOVE: DETACH ITEMS FROM EXISTING CONSTRUCTION AND LEGALLY
- DISPOSE OF THEM OFF-SITE, UNLESS INDICATED TO BE REMOVED AND SALVAGED OR REMOVED AND REINSTALLED. 2. REMOVE AND SALVAGE: DETACH ITEMS FROM EXISTING CONSTRUCTION AND
- DELIVER THEM TO OWNER. 3. REMOVE AND REINSTALL: DETACH ITEMS FROM EXISTING CONSTRUCTION,
- PREPARE THEM FOR REUSE, AND REINSTALL THEM WHERE INDICATED. 4. EXISTING TO REMAIN: EXISTING ITEMS OF CONSTRUCTION THAT ARE NOT TO 3. BE REMOVED AND THAT ARE NOT OTHERWISE INDICATED TO BE REMOVED,

REMOVED AND SALVAGED, OR REMOVED AND REINSTALLED.

SUBMITTALS

- 1. PREDEMOLITION VIDEO TAPE: SHOW EXISTING CONDITIONS OF ADJOINING CONSTRUCTION AND SITE IMPROVEMENTS, INCLUDING FINISH SURFACES, THAT MIGHT BE MISCONSTRUED AS DAMAGE CAUSED BY SELECTIVE DEMOLITION OPERATIONS.
- QUALITY CONTROL 1. REGULATORY REQUIREMENTS: COMPLY WITH GOVERNING EPA NOTIFICATION REGULATIONS BEFORE BEGINNING SELECTIVE DEMOLITION. COMPLY WITH HAULING AND DISPOSAL REGULATIONS OF AUTHORITIES HAVING JURISDICTION.
- STANDARDS: COMPLY WITH ANSI A10.6 AND NFPA 241. PREDEMOLITION CONFERENCE: CONDUCT CONFERENCE AT PROJECT SITE. 4. HAZARDOUS MATERIALS: IT IS NOT EXPECTED THAT HAZARDOUS MATERIALS
- WILL BE ENCOUNTERED IN THE WORK. 5. IF MATERIALS SUSPECTED OF CONTAINING HAZARDOUS MATERIALS ARE
- ENCOUNTERED, DO NOT DISTURB; IMMEDIATELY NOTIFY ARCHITECT AND OWNER. OWNER WILL REMOVE HAZARDOUS MATERIALS UNDER A SEPARATE CONTRACT
- 6. STORAGE OR SALE OF REMOVED ITEMS OR MATERIALS ON-SITE IS NOT PERMITTED 7. UTILITY SERVICE: MAINTAIN EXISTING UTILITIES INDICATED TO REMAIN IN
- SERVICE AND PROTECT THEM AGAINST DAMAGE DURING SELECTIVE DEMOLITION **OPFRATIONS** 8. MAINTAIN FIRE-PROTECTION FACILITIES IN SERVICE DURING SELECTIVE
- DEMOLITION OPERATIONS.

UTILITY SERVICES AND MECHANICAL/ELECTRICAL SYSTEMS EXISTING SERVICES/SYSTEMS: MAINTAIN SERVICES/SYSTEMS INDICATED TO

- REMAIN AND PROTECT THEM AGAINST DAMAGE DURING SELECTIVE DEMOLITION OPERATIONS. SERVICE/SYSTEM REQUIREMENTS: LOCATE, IDENTIFY, DISCONNECT, AND SEAL
- OR CAP OFF INDICATED UTILITY SERVICES AND MECHANICAL/ELECTRICAL SYSTEMS SERVING AREAS TO BE SELECTIVELY DEMOLISHED. IF SERVICES/SYSTEMS ARE REQUIRED TO BE REMOVED, RELOCATED, OR ABANDONED, BEFORE PROCEEDING WITH SELECTIVE DEMOLITION PROVIDE
- TEMPORARY SERVICES/SYSTEMS THAT BYPASS AREA OF SELECTIVE DEMOLITION AND THAT MAINTAIN CONTINUITY OF SERVICES/SYSTEMS TO OTHER PARTS OF BUILDING. CUT OFF PIPE OR CONDUIT IN WALLS OR PARTITIONS TO BE REMOVED.
- CAP, VALVE, OR PLUG AND SEAL REMAINING PORTION OF PIPE OR CONDUIT AFTER BYPASSING.

PREPARATION SITE ACCESS AND TEMPORARY CONTROLS: CONDUCT SELECTIVE DEMOLITION AND DEBRIS-REMOVAL OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION OR A SUB, SUB-SUB ROADS, STREETS, WALKS, WALKWAYS, AND OTHER ADJACENT OCCUPIED AND THERE OF. USED FACILITIES.

TEMPORARY FACILITIES: PROVIDE TEMPORARY BARRICADES AND OTHER PROTECTION REQUIRED TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES TO REMAIN.

SELECTIVE DEMOLITION

GENERAL: DEMOLISH AND REMOVE EXISTING CONSTRUCTION ONLY TO THE EXTENT REQUIRED BY NEW CONSTRUCTION AND AS INDICATED. USE METHODS REQUIRED TO COMPLETE THE WORK WITHIN LIMITATIONS OF GOVERNING REGULATIONS AND AS FOLLOWS:

- GENERAL: EXCEPT FOR ITEMS OR MATERIALS INDICATED TO BE REUSED, SALVAGED, REINSTALLED, OR OTHERWISE INDICATED TO REMAIN OWNER'S PROPERTY, REMOVE DEMOLISHED MATERIALS FROM PROJECT SITE AND LEGALLY DISPOSE OF THEM IN AN EPA-APPROVED LANDFILL.
- COMPLY WITH REQUIREMENTS SPECIFIED IN DIVISION 1 SECTION "CONSTRUCTION WASTE MANAGEMENT."
- BURNING: DO NOT BURN DEMOLISHED MATERIALS. DISPOSAL: TRANSPORT DEMOLISHED MATERIALS OFF OWNER'S PROPERTY AND LEGALLY DISPOSE OF THEM.
- CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT, AND DEBRIS CAUSED BY SELECTIVE DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO CONDITION EXISTING BEFORE SELECTIVE DEMOLITION OPERATIONS BEGAN.

WASTE MANAGEMENT

SUMMAR

- THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF ALL DEMOLITION DEBRIS GENERATED DURING THIS PHASE OF WORK.
- DEFINITIONS CONSTRUCTION WASTE: BUILDING AND SITE IMPROVEMENT MATERIALS AND OTHER SOLID WASTE RESULTING FROM CONSTRUCTION, REMODELING, RENOVATION, OR REPAIR OPERATIONS. CONSTRUCTION WASTE INCLUDES
- PACKAGING DEMOLITION WASTE: BUILDING AND SITE IMPROVEMENT MATERIALS RESULTING FROM DEMOLITION OR SELECTIVE DEMOLITION OPERATIONS. DISPOSAL: REMOVAL OFF-SITE OF DEMOLITION AND CONSTRUCTION WASTE
- AND SUBSEQUENT SALE, RECYCLING, REUSE, OR DEPOSIT IN LANDFILL OR INCINERATOR ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION.

SUBMITTALS LANDFILL RECORDS: INDICATE RECEIPT AND ACCEPTANCE OF HAZARDOUS

- WASTES BY A LANDFILL FACILITY LICENSED TO ACCEPT HAZARDOUS WASTES. SITE ACCESS AND TEMPORARY CONTROLS: CONDUCT WASTE MANAGEMENT
- OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS. WALKWAYS. AND OTHER ADJACENT OCCUPIED AND USED FACILITIES. DESIGNATE AND LABEL SPECIFIC AREAS ON PROJECT SITE NECESSARY FOR EPARATING MATERIALS THAT ARE TO BE SALVAGED, RECYCLED, REUSED, DONATED, AND SOLD.
- 3. COMPLY WITH DIVISION 1 SECTION "TEMPORARY FACILITIES AND CONTROLS" FOR CONTROLLING DUST AND DIRT, ENVIRONMENTAL PROTECTION, AND NOISE CONTROL

4. DISPOSING OF NONHAZARDOUS DEMOLITION WASTE.

- DISPOSAL OF WASTE
- GENERAL: EXCEPT FOR ITEMS OR MATERIALS TO BE SALVAGED, RECYCLED, OR OTHERWISE REUSED. REMOVE WASTE MATERIALS FROM PROJECT SITE AND LEGALLY DISPOSE OF THEM IN A LANDFILL OR INCINERATOR ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION. EXCEPT AS OTHERWISE SPECIFIED, DO NOT ALLOW WASTE MATERIALS THAT
- ARE TO BE DISPOSED OF ACCUMULATE ON-SITE. REMOVE AND TRANSPORT DEBRIS IN A MANNER THAT WILL PREVENT
- SPILLAGE ON ADJACENT SURFACES AND AREAS AND IN ACCORDANCE WITH ODOT, COUNTY, AND LOCAL ORDINANCES. 4. BURNING: DO NOT BURN WASTE MATERIALS.
- SHALL BE MINIMIZED BY WETTING DOWN BARE SOILS DURING WINDY PERIODS, 5. DISPOSAL: TRANSPORT WASTE MATERIALS OFF OWNER'S PROPERTY AND LEGALLY DISPOSE OF THEM.

SITE CLEARING

- PREPARATION 1. PROTECT AND MAINTAIN BENCHMARKS AND SURVEY CONTROL POINTS FROM DISTURBANCE DURING CONSTRUCTION.
- LOCATE AND CLEARLY FLAG TREES AND VEGETATION TO REMAIN OR TO BE RELOCATED
- PROTECT EXISTING SITE IMPROVEMENTS TO REMAIN FROM DAMAGE DURING CONSTRUCTION.
- 4. RESTORE DAMAGED IMPROVEMENTS TO THEIR ORIGINAL CONDITION, AS ACCEPTABLE TO OWNER.

TEMPORARY EROSION AND SEDIMENTATION CONTROL 1. PROVIDE TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES TO PREVENT SOIL EROSION AND DISCHARGE OF SOIL-BEARING WATER RUNOFF OR AIRBORNE DUST TO ADJACENT PROPERTIES AND WALKWAYS, ACCORDING TO REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

- INSPECT, REPAIR, AND MAINTAIN EROSION AND SEDIMENTATION CONTROL MEASURES DURING CONSTRUCTION UNTIL PERMANENT VEGETATION HAS BEEN ESTABLISHED.
- REMOVE EROSION AND SEDIMENTATION CONTROLS AND RESTORE AND STABILIZE AREAS DISTURBED DURING REMOVAL.

TREE PROTECTION

- 1. ERECT AND MAINTAIN TEMPORARY FENCING AROUND TREE PROTECTION ZONES BEFORE STARTING SITE CLEARING. TREE PROTECTION SHALL EXTEND TO DRIP EDGE OF OUTER BRANCHES. REMOVE FENCE WHEN CONSTRUCTION IS COMPLETE
- 2. DO NOT EXCAVATE WITHIN TREE PROTECTION ZONES, UNLESS OTHERWISE INDICATED
- 3. REPAIR OR REPLACE TREES AND VEGETATION INDICATED TO REMAIN THAT ARE DAMAGED BY CONSTRUCTION OPERATIONS, IN A MANNER APPROVED BY ARCHITECT

UTILITIES 1. LOCATE, IDENTIFY, DISCONNECT, AND SEAL OR CAP OFF UTILITIES INDICATED TO BE REMOVED. 2. ARRANGE WITH UTILITY COMPANIES TO SHUT OFF INDICATED UTILITIES.

- CLEARING AND GRUBBING 1. FILL DEPRESSIONS CAUSED BY CLEARING AND GRUBBING OPERATIONS WITH SATISFACTORY SOIL MATERIAL UNLESS FURTHER EXCAVATION OR EARTHWORK
- IS INDICATED PLACE FILL MATERIAL IN HORIZONTAL LAYERS NOT EXCEEDING A LOOSE DEPTH OF 8 INCHES AND COMPACT EACH LAYER TO A DENSITY EQUAL TO
- ADJACENT ORIGINAL GROUND.
- 1. DISPOSAL: REMOVE SURPLUS SOIL MATERIAL, UNSUITABLE TOPSOIL, OBSTRUCTIONS, DEMOLISHED MATERIALS, AND WASTE MATERIALS INCLUDING

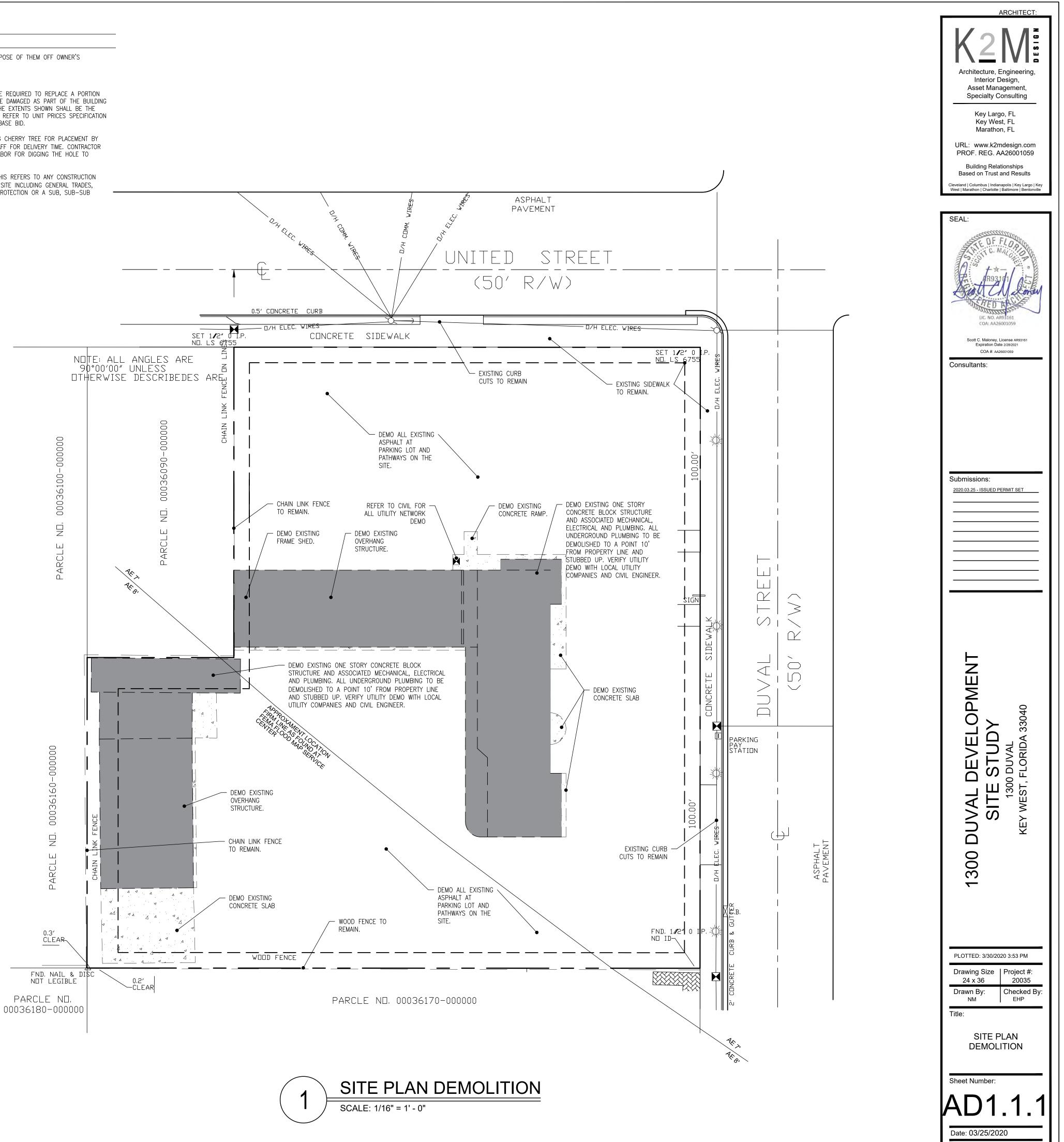
TRASH AND DEBRIS, AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY.

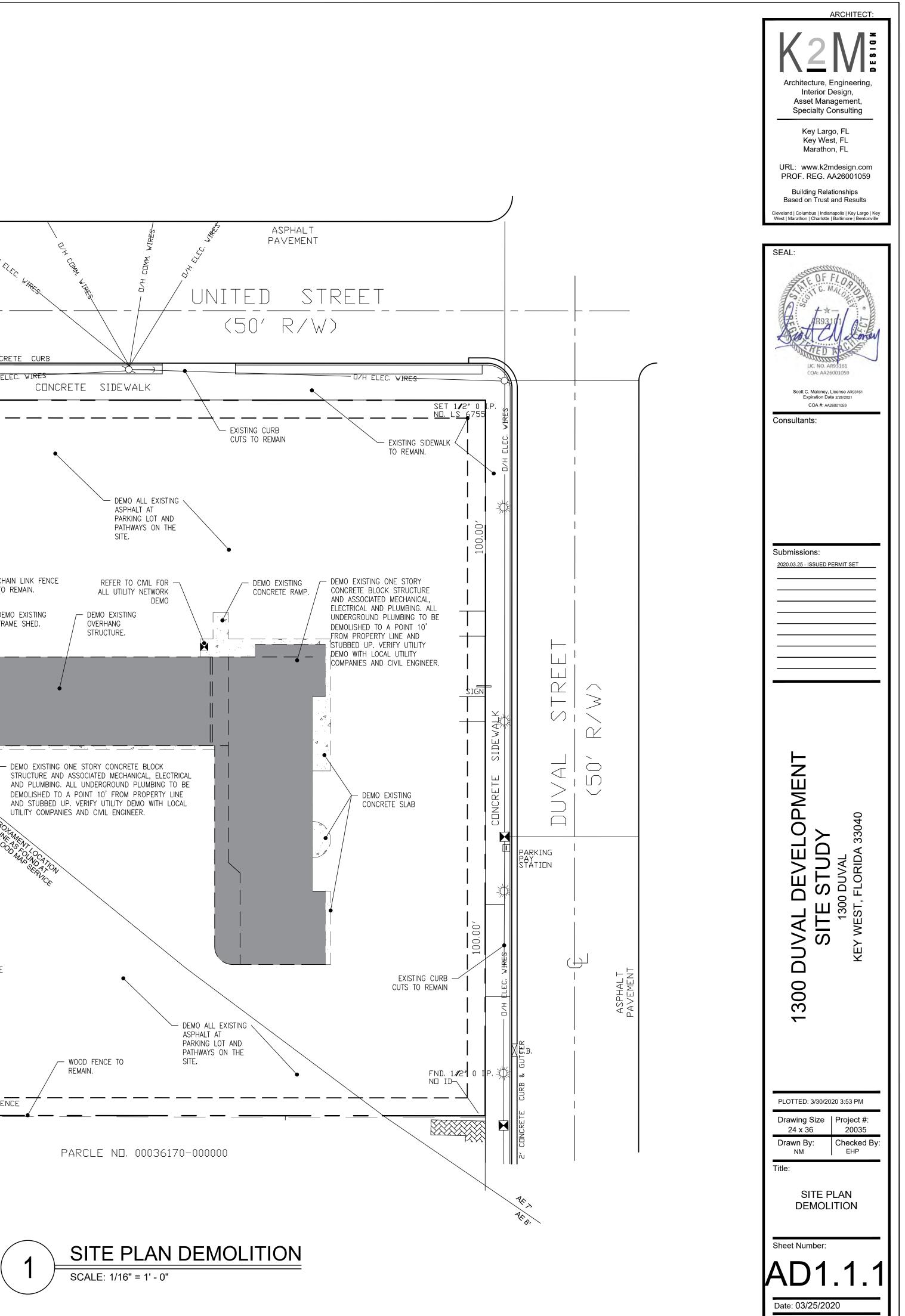
GENERAL NOTES:

GENERAL TRADES CONTRACTOR WILL BE REQUIRED TO REPLACE A PORTION OF THE PERIMETER ROAD THAT MAY BE DAMAGED AS PART OF THE BUILDING ADDITION CONSTRUCTION PROJECT. THE EXTENTS SHOWN SHALL BE THE BASE BID AMOUNT FOR REPLACEMENT. REFER TO UNIT PRICES SPECIFICATION FOR COSTS FOR WORK OUTSIDE THE BASE BID.

2. CONTRACTOR TO PROVIDE (1) WEEPING CHERRY TREE FOR PLACEMENT BY THE CHJCF STAFF. COORDINATE W/STAFF FOR DELIVERY TIME. CONTRACTOR IS TO PROVIDE ALL MATERIALS AND LABOR FOR DIGGING THE HOLE TO PLACE THE TREE.

NOTE: WHEN REFERENCING "CONTRACTOR" THIS REFERS TO ANY CONSTRUCTION PROFESSIONALS / TRADE ON THE PROJECT SITE INCLUDING GENERAL TRADES,

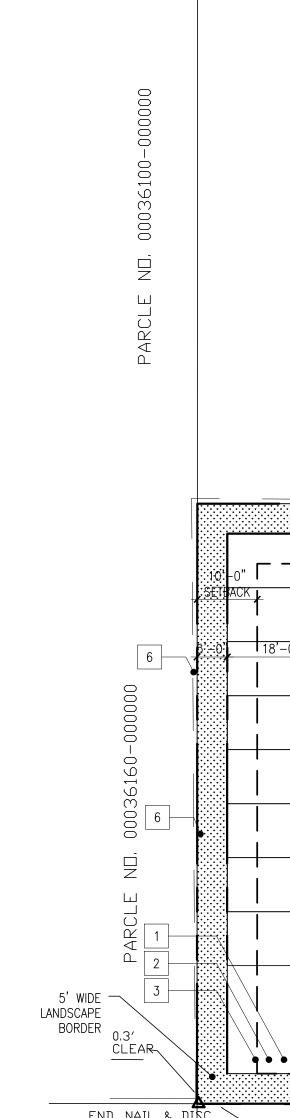




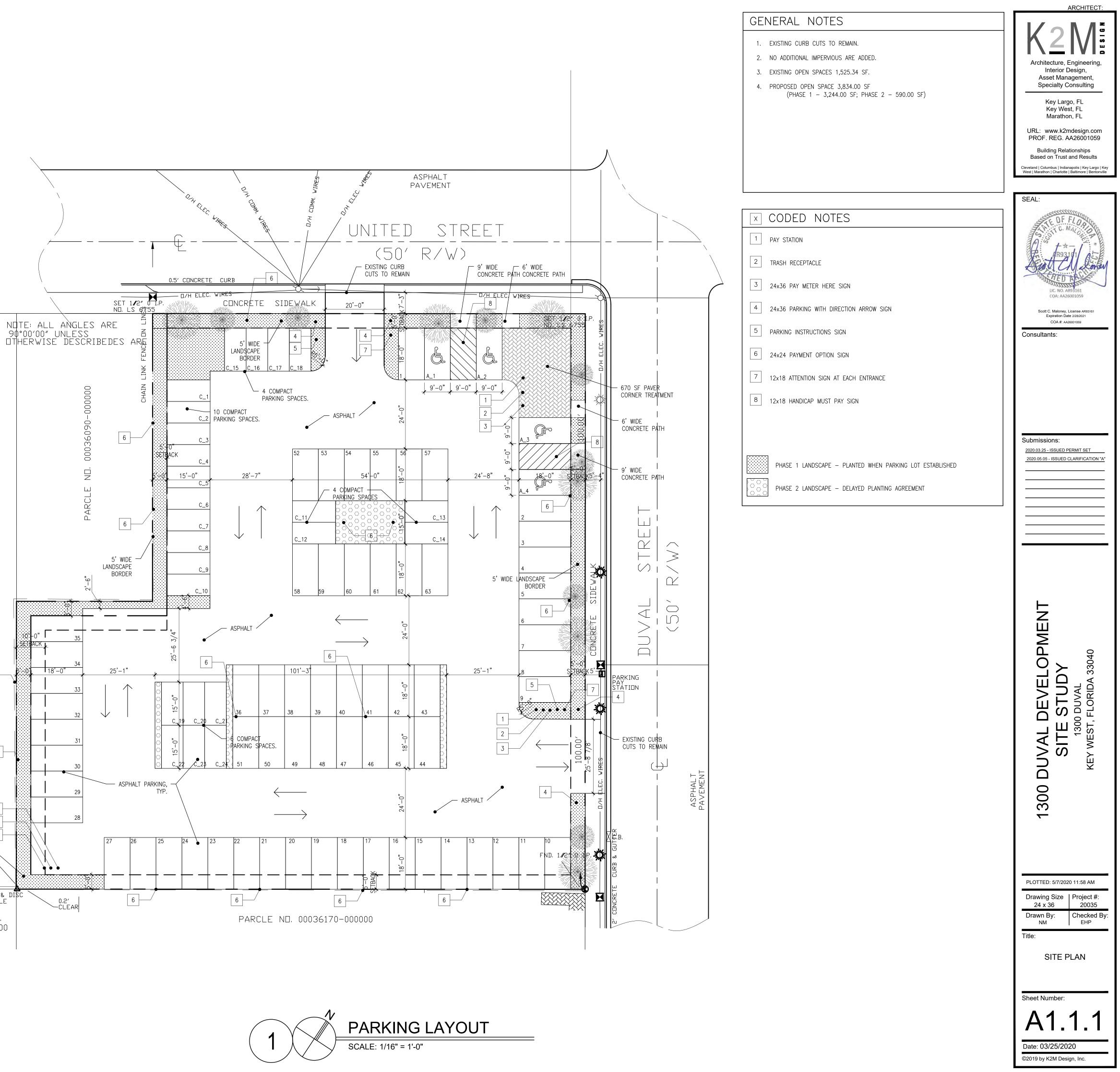
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EVICTING	SITE DATA TABLE	ATA TABLE		
		EXISTING SITE	PROPOSED	VARIANCE REQUEST
Zoning	НСТ	НСТ	НСТ	N/A
Flood Zone	AE 7/8	AE 7/8	AE7/8	N/A
Size of Site	34,775	34,775	34,775	N/A
Height	35'-0"	30'-0"	-	N/A
Front Setback	5'-0''	44'-7''	5'-0''	N/A
Side Setback	5'-0"	25'-0"	5'-0''	N/A
Side Setback	5'-0"	0'-6''	5-0"	N/A
Street Side Setback	5'-0''	67'-8''	5'-0"	N/A
Rear Setback	10'-0"	1'-4''	10'-0"	N/A
Residential Floor Area	N/A	N/A	N/A	N/A
Density	22 du/acre	N/A		N/A
F.A.R. (Commercial)	1	0.195		N/A
Building Coverage	50%	20%	0%	N/A
Impervious Surface	70%	96%	96%	N/A
Parking (All)	1/300 SF	31	91	N/A
Regular Parking			63	N/A
Compact Parking			24	N/A
Handicap Parking**		2	4	N/A
Bicycle Parking		24	0	N/A
Open Space/Landscaping	20%	4%	11%	
Number & Type of Units	N/A	 N/A	N/A	
Consumption Area or Number of Seats	N/A	N/A	N/A N/A	
**up to 25 - 1				

	Breakdowns (SF)	
Fxi	sting Developments	
		Our Site
Lot Area		34,775.00
Existing Coverages		
Asphalt/Concrete	Concrete	1,245
	Asphalt 1	14,493
	Asphalt 2	10,719
	Sidewalks on Back	
	Sidewalks on Front/Side	
Buildings	Building - Covered Ba	4,368
	1 Story Frame	
	Structure	2,424
Impervious Surface		33,25
Impervious Surface %		96%
Building Coverage		6,792
Building Coverage %		20%
Open Space		1,525.34
Open Space %		49
Pro	posed Developments	
Lot Area		34,775.0
Coverages		76,343
Asphalt/Parking		30,94
Buildings		
Impervious Surface		30,94
Impervious Surface %		89%
Building Coverage		(
Building Coverage %		0%
Open Space		3,83
Open Space %		119



FND. NAIL & DISC NOT LEGIBLE PARCLE ND. 00036180-000000





Case Study

Duval Street City of Key West, Florida



Technology + Performance = "INSPIRED" Solutions

High Powered Decorative LED Post-Top Luminaire



Project Design Goals:

- Create a safe environment for City Wide events
- Maintain a Historic look
- Increase light levels

2041 58th Avenue East Bradenton, FL 34203 p. 800-345-4928 http://www.beaconproducts.com/

- Reduce energy costs (City Cost is \$0.12KWH)
- Reduce maintenance costs

Product Specified and Installed:

- 40" WATERFORD II LUMINAIRE, w/
 - 48W, LED, 120-277V,
 - 90 MINUTE EMERGENCY BATTERY PACK,
 - TYPE V DIRECT LED DISTRIBUTION,
 - LIGHTNING SURGE PROTECTION,
 - ACRYLIC FROSTED LENS, & PHOTOCELL

Project Summary:

The World famous Duval St (the only street that runs from coast to coast) in the City of Key West, Florida had four major critical design needs when this project was initiated.

- First, during major city wide events and festivals power outages would frequently black out Duval St for an hour or more creating a potentially dangerous situation.
- Second, due to the current lamp technology of MH lamps were often out or at minimal light output and the limited city electrical staff had a constant maintenance task.
- Third, lighting at certain key areas such as intersections, gathering spaces and key attractions were glary and had hot spots and dark areas.
- Fourth, the local electric rate of 12 cents per KWH accelerated the ROI of this project.

The solutions lead to the newest technology – LED Lighting.





Bradenton, FL 34203

p. 800-345-4928 http://www.beaconproducts.com/

Technology + Performance = "INSPIRED" Solutions



Case Study Duval Street



Waterford High Powered Decorative LED Post-Top Luminaire

Project Summary (Cont.):

The Architectural Board created a specification which included the Emergency Battery Back-up system. The project was competitively bid and the Beacon Products Waterford was selected because of its Historic look and size was sufficient to house the needed Battery Pack. Utilizing a 48W light engine, replacing the 150W MH, energy consumption was reduced by more than 70% and the 60,500 hr. life virtually eliminated maintenance.

A Type V lighting distribution with a frosted acrylic lens increased light levels and reduced glare, thereby actually increasing the visual acuity and safety on the street. Mr. Brett Wright, Facility Maintenance Supervisor, stated that the city is very pleased with the installation and the overall performance.





Case Study

Duval Street City of Key West, Florida



High Powered Decorative LED Post-Top Luminaire



Benefits:

The Waterford Series provides exceptional quality illumination, stability, durability and cost savings. The Waterford uses up to 75% less electricity than its metal halide counterparts. And unlike conventional lighting, there is negligible light loss over the life of the LEDs. It provides reliable, durable, maintenancefree illumination for more than 60.500 hours. The integral Emergency Battery Pack will provide a reduced light level for a minimum of 90 minutes. The Waterford is not affected by vibrations and typical temperature variations and is available in color temperatures from "warm" to "cool" with a high color rendering index (CRI), guaranteeing high-quality white light. It's also so water-tight that harsh wind driven rains remove the dirt and grime that impede illumination and jeopardize pedestrian and vehicle safety.

Beacon Products, with a 30+ year history of leadership in lighting and site furnishings, is the first domestic manufacturer to introduce the most comprehensive line of "Municipal-Grade" outdoor LED luminaires. These luminaires are designed to be environmentally friendly, as well as performance driven with their light control and distribution optical systems

2041 58th Avenue East Bradenton, FL 34203 p. 800-345-4928 http://www.beaconproducts.com/





LAJ30 30" LA JOLLA LUMINAIRE

FEATURES

- 30" six sided lantern
- Choice of acrylic, polycarbonate lensing
- IES Distributions
- Clear or diffused lensing
- Integral surge and thermal protection

DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #	



RELATED PRODUCTS

8 Acorn 8 Traditional 8 Windsor

dsor

CONTROL TECHNOLOGY



SPECIFICATIONS

CONSTRUCTION

- All cast aluminum parts are low copper alloy A356. All extruded aluminum parts are alloy 6061-T6, 6063-T5 or equal
- All fasteners are Corrosion Resistant. When tamper resistant fasteners are required, spanner HD (snake eye) style is provided (special tool required, available at additional cost)
- The upper chamber/lid is topped by a decorative cast aluminum finial/cap and mechanically fastens to the optical chamber
- The cast multi-sided cage accommodates UV stabilized acrylic or polycarbonate lenses (side panels), sealed for weather tight operation
- The electrical chamber/fitter is an aluminum, decorative fitter designed to accommodate the driver assembly, mounts to 3" OD x 3" H tenon and secured by three stainless steel set screws

ELECTRICAL

 Each luminaire is supplied with an optical one piece cartridge system consisting of an LED engine, optics, gasket and stainless steel bezel. The cartridge is held together with internal brass standoffs soldered to the board so that it can be field replaced as a one piece optical system. Two-piece silicone and polycarbonate foam gasket ensure a weather-proof seal around each individual LED and allow the luminaire to be rated for high-pressure hose down applications

ELECTRICAL (CONTINUED)

- The optical cartridge is secured to the extruded housing with fasteners and a heat pad to ensure thermal conductivity. The optics are held in place without the use of adhesives and the complete assemble is gasketed for high pressure hose down cleaning. The cartridge assembly is available in various lighting distributions using a specially designed acrylic optical lens over each LED
- Able to operate normally in ambient temperatures from -40°C to 40°C
- The on-board surge protector is a UL recognized component for the United States and Canada and has a surge current rating of 20,000 Amps using the industry standard 8/20 pSec wave
- The LSP has a clamping voltage of 825V and surge rating of 540J. The case is a high-temperature, flame resistant plastic enclosure
- Luminaires are equipped with LED driver(s) that accept 90 through 305 VAC, 50 Hz to 60 Hz (UNIV). Power factor is .92 at full load
- All driver components supplied are component-to-component wiring within the luminaire, carry no more than 80% of rated current and listed by UL for use at 600VAC at 50°C or higher. Plug disconnects are listed by UL for use at 600 VAC, 15A or higher

CERTIFICATIONS

- U.L. UL1310, Class 2 and UL48 compliant
- The luminaire has an NRTL label and be marked suitable for wet locations

WARRANTY

- 5 year warranty
- See <u>HLI Standard Warranty</u> for additional information

KEY DATA					
Lumen Range	1700–10,000				
Wattage Range	27–136				
Efficacy Range (LPW)	59–76				
Weight lbs. (kg)	40 (18)				



Ø

Ø



DATE:	LOCATION:
TYPE:	PROJECT:
CATALOG #:	

Example: LAJ30-AC-24L-27-3K7-UNV-DIR2-PEC-GENI-XX-PT-BLT

ORDERING GUIDE

CATALOG # LAJ30 **Engine-Watts** CCT/CRI Model Lens Option Voltage Optics DIR2 24L-27 UNV Direct, Type II LAJ30 La Jolla 30" AC 27 Watts - LED array 3K7 3000K, 70 CRI 120-277V Acrylic, clear AS 361-80 347 DIR3 Direct, Type III 80 Watts - LED array 347V Acrylic, seeded 4K7 4000K, 70 CRI 48L-110 Direct, Type IV DIR4 AW 480 480V 100 Watts - LED array Acrylic, white 5K7 5000K, 70 CRI DIR5 Direct, Type V PC 60L-136 136 Watts - LED array Polycarbonate, clear PF Polycarbonate, frosted PEC GENI-XX Notes: **Electrical Options Control Options** Mounting Options Color When ordering Energeni, specify the routine seting code (example GENI-04). See Energeni brochure and Energeni instructions for setting table and options. Not available with second reations. 1 PEC Photocell, button GENI-XX Energeni¹ BLT Black Matte Textured Post Top PT with sensor options BLS Black Gloss Smooth Pendant mount. Consult factory regarding mounting options and additional 2 PM arm/stem/chain DBT Dark Bronze Matte Textured information required regarding the mounting of your available² application DBS Dark Bronze Gloss Smooth GTT Graphite Matte Textured LGS Light Grey Gloss Smooth PSS Platinum Silver Smooth WHT White Matte Textured WHS White Gloss Smooth VGT Verde Green Textured Color Option сс Custom Color

ERFOR	MANCE D	ΑΤΑ	(500	5K OK nomi		DCRI)		(40	ے DOOK nor	IK ninal, 7	OCRI)		(30	3 00K non	BK ninal, 7	OCRI)	
# LED'S	120-277V	Туре	Lumens	LPW ¹	В	U	G	Lumens	LPW ¹	В	υ	G	Lumens	LPW ¹	В	U	G
		DIR2	1784	66	1	1	1	1819	67	1	1	1	1637	61	1	1	1
24	27	DIR3	1892	70	1	2	1	1930	71	1	2	1	1737	64	1	2	1
24	27	DIR4	1892	70	1	2	1	1930	71	1	2	1	1737	64	1	2	1
		DIR5	1954	72	2	2	1	1993	74	2	2	1	1794	66	1	2	1
		DIR2	3640	64	1	1	2	3713	65	1	1	2	3341	59	1	1	2
24		DIR3	3861	68	1	3	2	3939	69	1	3	2	3545	62	1	3	2
24	55	DIR4	3861	68	1	3	2	3938	69	1	2	1	3544	62	1	2	1
		DIR5	3967	70	3	3	2	4047	71	3	3	2	3642	64	2	3	2
		DIR2	5460	67	2	1	2	5569	68	2	1	2	5012	61	1	1	2
		DIR3	5792	71	2	3	3	5908	72	2	3	3	5317	65	1	3	3
36	80	DIR4	5791	71	1	2	2	5907	72	1	2	2	5316	65	1	2	2
		DIR5	5951	73	3	3	3	6070	74	3	3	3	5463	67	3	3	3
		DIR2	7280	66	2	1	2	7425	67	2	1	3	6683	60	2	1	2
10		DIR3	7723	70	2	3	3	7877	71	2	3	3	7090	64	2	3	3
48	110	DIR4	7721	70	1	3	2	7876	71	1	3	2	7088	64	1	3	2
		DIR5	7935	71	3	3	3	8093	73	3	3	3	7284	66	3	3	3
		DIR2	9100	67	2	1	3	9282	68	2	1	3	8354	61	2	1	3
	100	DIR3	9653	72	2	3	3	9846	74	2	3	3	8862	66	2	3	3
60	136	DIR4	9652	71	1	2	3	9845	73	1	2	3	8859	65	1	2	3
		DIR5	9918	74	4	3	3	10116	76	4	3	3	9105	68	3	3	3

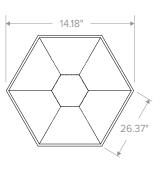




DIMENSIONS





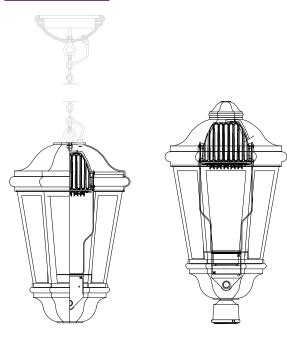


Side View

Top View

ADDITIONAL INFORMATION

MOUNTING OPTIONS



Pendant Mount

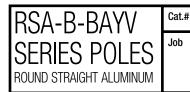
Post Top

USE OF TRADEMARKS AND TRADE NAMES

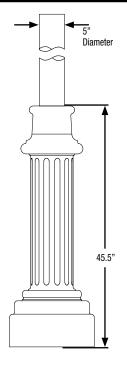
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Туре



APPLICATIONS

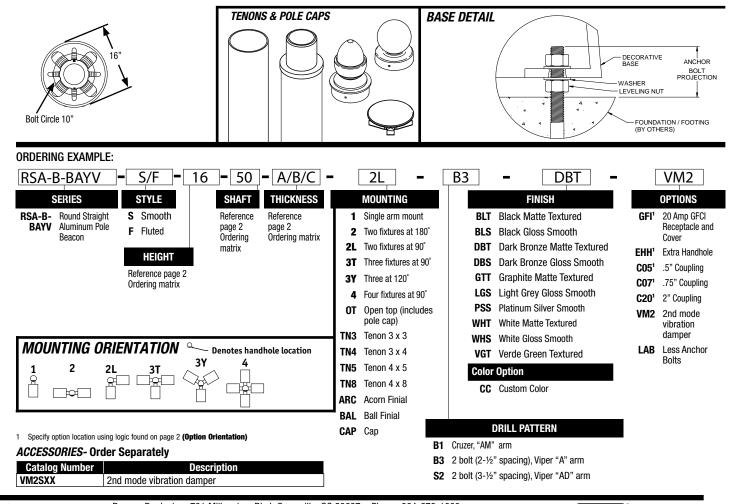
 Lighting installations for side and top mounting of luminaires with effective projected area (EPA) not exceeding maximum allowable loading of the specified pole in its installed geographic location

CONSTRUCTION

- SHAFT: One-piece straight aluminum with fluted or smooth cross section; Extruded shafts of 6061-T6 aluminum in 3/16" or 1/4" thickness. Decorative base of 356 cast aluminum.
- POLE CAP OR FINALS: Cap or decorative finials available for side mounted luminaires. Open top or tenons provided for post top mounted luminaires.
- HAND HOLE: Hand hole provided in cast base; Mounting provisions for grounding lug located behind cover
- ANCHOR BOLTS: Four galvanized anchor bolts provided per pole with minimum yield of 55,000 psi (ASTM F1554). Galvanized hardware with two washers and two nuts per bolt for leveling

FINISH

- Durable thermoset polyester powder coat paint finish with nominal 3.0 mil thickness
- Powder paint finish coat available in twelve standard colors; Custom colors available; RAL number preferable.





Beacon Products • 701 Millennium Blvd, Greenville, SC 29607 • Phone: 864-678-1000 Due to our continued efforts to improve our products, product specifications are subject to change without notice.

HUBBEL HUBBELI ighting © 2020 BEACON PRODUCTS, All Rights Reserved • For more information visit our website: www.beaconproducts.com • Printed in USA RSA-B-BAYV POLES-SPEC FEBRUARY 21, 2020 10:04 AM

ORDERING INFORMATION Cont.

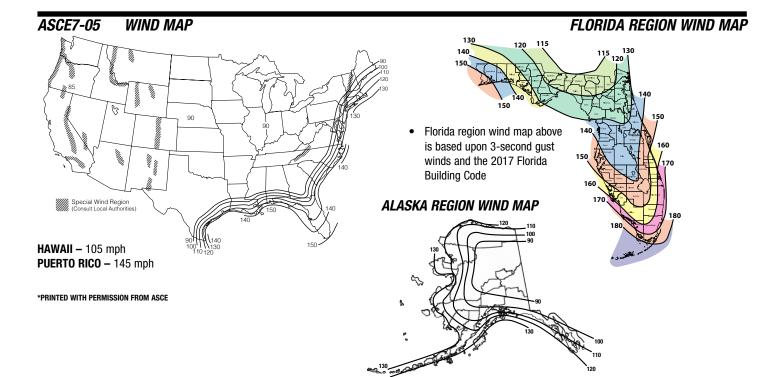
Catalog Number	H	eight	Nominal	Wall	Bolt Circle	Bolt Square	Base Plate Size	Anchor Bolt Size	Bolt Projection	Pole weight
Gatalog Nulliber	Feet	Meters	Shaft Dimensions	Thickness	(suggested)	BUIL SQUALE	Dase Fiale Size	Alicitor Buil Size	Bolt Projection	(lbs)
RSA-B-BAYV-S-10-50-B	10	3.0	5" Round	0.188"	10.0"	7.07"	16" Dia. X 45-1/2" Tall	3/4 x 30 x 4	3-1/4"	96
RSA-B-BAYV-S-12-50-B	12	3.7	5" Round	0.188"	10.0"	7.07"	16" Dia. X 45-1/2" Tall	3/4 x 30 x 4	3-1/4"	120
RSA-B-BAYV-S-14-50-B	14	4.3	5" Round	0.188"	10.0"	7.07"	16" Dia. X 45-1/2" Tall	3/4 x 30 x 4	3-1/4"	144
RSA-B-BAYV-S-16-50-B	16	4.9	5" Round	0.188"	10.0"	7.07"	16" Dia. X 45-1/2" Tall	3/4 x 30 x 4	3-1/4"	168
RSA-B-BAYV-S-18-50-B	18	5.5	5" Round	0.188"	10.0"	7.07"	16" Dia. X 45-1/2" Tall	3/4 x 30 x 4	3-1/4"	192
RSA-B-BAYV-S-20-50-B	20	6.1	5" Round	0.188"	10.0"	7.07"	16" Dia. X 45-1/2" Tall	3/4 x 30 x 4	3-1/4"	216
RSA-B-BAYV-S-22-50-B	22	6.7	5" Round	0.188"	10.0"	7.07"	16" Dia. X 45-1/2" Tall	3/4 x 30 x 4	3-1/4"	240
RSA-B-BAYV-S-24-50-B	24	7.3	5" Round	0.188"	10.0"	7.07"	16" Dia. X 45-1/2" Tall	3/4 x 30 x 4	3-1/4"	264
RSA-B-BAYV-S-10-50-C	10	3.0	5" Round	0.25"	10.0"	7.07"	16" Dia. X 45-1/2" Tall	3/4 x 30 x 4	3-1/4"	96
RSA-B-BAYV-S-12-50-C	12	3.7	5" Round	0.25"	10.0"	7.07"	16" Dia. X 45-1/2" Tall	3/4 x 30 x 4	3-1/4"	120
RSA-B-BAYV-S-14-50-C	14	4.3	5" Round	0.25"	10.0"	7.07"	16" Dia. X 45-1/2" Tall	3/4 x 30 x 4	3-1/4"	144
RSA-B-BAYV-S-16-50-C	16	4.9	5" Round	0.25"	10.0"	7.07"	16" Dia. X 45-1/2" Tall	3/4 x 30 x 4	3-1/4"	168
RSA-B-BAYV-S-18-50-C	18	5.5	5" Round	0.25"	10.0"	7.07"	16" Dia. X 45-1/2" Tall	3/4 x 30 x 4	3-1/4"	192
RSA-B-BAYV-S-20-50-C	20	6.1	5" Round	0.25"	10.0"	7.07"	16" Dia. X 45-1/2" Tall	3/4 x 30 x 4	3-1/4"	216
RSA-B-BAYV-S-22-50-C	22	6.7	5" Round	0.25"	10.0"	7.07"	16" Dia. X 45-1/2" Tall	3/4 x 30 x 4	3-1/4"	240
RSA-B-BAYV-S-24-50-C	24	7.3	5" Round	0.25"	10.0"	7.07"	16" Dia. X 45-1/2" Tall	3/4 x 30 x 4	3-1/4"	264
RSA-B-BAYV-F-10-50-B	10	3.0	5" Fluted	0.188"	10.0"	7.07"	16" Dia. X 45-1/2" Tall	3/4 x 30 x 4	3-1/4"	96
RSA-B-BAYV-F-12-50-B	12	3.7	5" Fluted	0.188"	10.0"	7.07"	16" Dia. X 45-1/2" Tall	3/4 x 30 x 4	3-1/4"	120
RSA-B-BAYV-F-14-50-B	14	4.3	5" Fluted	0.188"	10.0"	7.07"	16" Dia. X 45-1/2" Tall	3/4 x 30 x 4	3-1/4"	144
RSA-B-BAYV-F-16-50-B	16	4.9	5" Fluted	0.188"	10.0"	7.07"	16" Dia. X 45-1/2" Tall	3/4 x 30 x 4	3-1/4"	168
RSA-B-BAYV-F-18-50-B	18	5.5	5" Fluted	0.188"	10.0"	7.07"	16" Dia. X 45-1/2" Tall	3/4 x 30 x 4	3-1/4"	192
RSA-B-BAYV-F-20-50-B	20	6.1	5" Fluted	0.188"	10.0"	7.07"	16" Dia. X 45-1/2" Tall	3/4 x 30 x 4	3-1/4"	216
RSA-B-BAYV-F-22-50-B	22	6.7	5" Fluted	0.188"	10.0"	7.07"	16" Dia. X 45-1/2" Tall	3/4 x 30 x 4	3-1/4"	240
RSA-B-BAYV-F-24-50-B	24	7.3	5" Fluted	0.188"	10.0"	7.07"	16" Dia. X 45-1/2" Tall	3/4 x 30 x 4	3-1/4"	264

NOTE Factory supplied template must be used when setting anchor bolts. Hubbell Lighting will deny any claim for incorrect anchorage placement resulting from failure to use factory supplied template and anchor bolts.

EHH - EXTRA HANDHOLE	C05 - C07 - C20 - COUPLING	VM2 - VIBRATION DAMPE 2ND MODE	R	GFI – 20 AMP GFCI RECEPTACLE & COVER
Provision for Grounding	2" -11.5 NPSC Threads 3/4" - 14 NPSC Threads 1/2" - 14 NPSC Threads	Factory installed, internal damper designed to alter pole resonance to reduce movement and material fatig caused by 2nd mode vibration.		Round aluminum pole Standard hand hole frame Adapter plate Gasket
each option, include its orier Example: Option C07 should DBT-C05-0-15 (.5" coupling	n ordering location specific options. For ntation (in degrees) and its height (in feet). be ordered as: RSAB-BAYV-F16-50B-TN3- g on the handhole/arm side of pole, 15 feet up ng required between option. Consult factory fo	VM2SXX - VIBRATION DAMPER 2ND MODE Field installed, internal damper designed to alter pole resonance to reduce movement and mate- rial fatigue caused by 2nd mode vibration.	VM2S08 – 8' VM2S12 – 12' VM2S16 – 16' VM2S20 – 20' VM2S24 – 24'	20 AMP GFCI Wet Locations In-use Cover

For more information about pole vibration and vibration dampers, please consult <a href="http://cdn.spauldinglighting.com/content/products/literature/lite





ASCE 7-05 with	nd map) EPA L	.oad R	ating	- 3 sec	cond g	ust wi	ind sp	eeds	
Catalog Number	85	90	100	105	110	120	130	140	145	150
RSA-B-BAYV-S-10-50-B	25.0	25.0	25.0	25.0	23.3	19.7	16.9	14.6	13.7	12.8
RSA-B-BAYV-S-12-50-B	25.0	24.9	20.4	18.6	17.0	14.3	12.2	10.6	9.9	9.2
RSA-B-BAYV-S-14-50-B	21.5	19.2	15.6	14.2	12.9	10.9	9.3	8.0	7.4	6.9
RSA-B-BAYV-S-16-50-B	17.0	15.1	12.2	11.1	10.1	8.5	7.2	6.2	5.7	5.3
RSA-B-BAYV-S-18-50-B	13.6	12.0	9.6	8.7	7.9	6.6	5.5	4.7	4.4	4.0
RSA-B-BAYV-S-20-50-B	10.8	9.4	7.4	6.7	6.1	5.0	4.2	3.5	3.3	3.0
RSA-B-BAYV-S-22-50-B	8.6	7.4	5.7	5.1	4.6	3.8	3.1	2.6	2.4	2.2
RSA-B-BAYV-S-24-50-B	6.8	5.7	4.3	3.8	3.4	2.7	2.2	1.8	1.6	1.4
RSA-B-BAYV-S-10-50-C	25.0	25.0	25.0	25.0	25.0	25.0	21.9	19.0	17.7	16.5
RSA-B-BAYV-S-12-50-C	25.0	25.0	25.0	25.0	22.2	18.7	16.0	13.9	12.9	12.1
RSA-B-BAYV-S-14-50-C	25.0	25.0	20.5	18.7	17.1	14.4	12.3	10.6	9.9	9.2
RSA-B-BAYV-S-16-50-C	22.5	20.1	16.3	14.8	13.6	11.4	9.7	8.3	7.8	7.3
RSA-B-BAYV-S-18-50-C	18.2	16.1	13.0	11.8	10.8	9.0	7.7	6.6	6.1	5.7
RSA-B-BAYV-S-20-50-C	14.7	13.0	10.4	9.4	8.5	7.1	6.0	5.1	4.7	4.4
RSA-B-BAYV-S-22-50-C	12.0	10.4	8.3	7.5	6.7	5.6	4.7	3.9	3.6	3.4
RSA-B-BAYV-S-24-50-C	9.7	8.4	6.5	5.9	5.3	4.3	3.6	3.0	2.7	2.5
RSA-B-BAYV-F-10-50-B	25.0	25.0	25.0	25.0	25.0	23.9	20.3	17.4	16.2	15.1
RSA-B-BAYV-F-12-50-B	25.0	25.0	25.0	23.8	21.7	18.1	15.2	13.0	12.0	11.1
RSA-B-BAYV-F-14-50-B	19.3	17.0	13.4	11.9	10.6	8.4	6.7	5.3	4.8	4.2
RSA-B-BAYV-F-16-50-B	15.9	13.9	10.7	9.4	8.3	6.4	4.9	3.7	3.2	2.8
RSA-B-BAYV-F-18-50-B	12.9	11.2	8.4	7.3	6.3	4.7	3.4	2.4	1.9	1.5
RSA-B-BAYV-F-20-50-B	10.4	8.9	6.5	5.5	4.7	3.2	2.1	1.2	0.8	NR
RSA-B-BAYV-F-22-50-B	8.3	7.0	4.9	4.0	3.2	1.9	0.9	NR	NR	NR
RSA-B-BAYV-F-24-50-B	6.6	5.4	3.5	2.7	2.0	0.8	NR	NR	NR	NR

Florida Building Code	e 2017	EPA Lo	ad Rati	ng - 3	second	gust v	vind sp	eeds
Catalog Number	115	120	130	140	150	160	170	180
RSA-B-BAYV-S-10-50-B	25.0	25.0	22.8	20.3	17.7	15.6	13.8	12.2
RSA-B-BAYV-S-12-50-B	21.1	19.3	16.4	14.8	12.9	11.3	9.9	8.7
RSA-B-BAYV-S-14-50-B	16.1	14.7	12.3	11.4	9.8	8.5	7.4	6.5
RSA-B-BAYV-S-16-50-B	12.4	11.2	9.3	8.9	7.6	6.5	5.6	4.8
RSA-B-BAYV-S-18-50-B	9.5	8.5	6.9	6.4	5.8	4.9	4.1	3.5
RSA-B-BAYV-S-20-50-B	7.2	6.4	5.6	5.4	4.4	3.7	3.0	2.5
RSA-B-BAYV-S-22-50-B	5.4	4.7	4.3	4.1	3.3	2.7	2.1	1.6
RSA-B-BAYV-S-24-50-B	3.9	3.3	3.1	2.8	2.4	1.8	1.3	0.9
RSA-B-BAYV-S-10-50-C	25.0	25.0	25.0	25.0	22.9	20.2	17.9	15.9
RSA-B-BAYV-S-12-50-C	25.0	25.0	21.6	19.3	16.8	14.8	13.0	11.5
RSA-B-BAYV-S-14-50-C	21.2	19.5	16.4	15.0	13.0	11.3	9.9	8.7
RSA-B-BAYV-S-16-50-C	16.6	15.2	12.7	11.8	10.2	8.8	7.6	6.7
RSA-B-BAYV-S-18-50-C	13.0	11.8	9.7	9.4	8.0	6.8	5.9	5.0
RSA-B-BAYV-S-20-50-C	10.2	9.2	8.0	7.5	6.3	5.3	4.5	3.8
RSA-B-BAYV-S-22-50-C	8.0	7.1	6.4	6.0	4.9	4.1	3.4	2.8
RSA-B-BAYV-S-24-50-C	6.2	5.4	5.0	4.7	3.8	3.1	2.4	1.9
RSA-B-BAYV-F-10-50-B	25.0	25.0	22.8	19.7	17.1	14.9	13.1	11.6
RSA-B-BAYV-F-12-50-B	21.1	19.3	16.4	14.0	12.1	10.4	9.1	7.9
RSA-B-BAYV-F-14-50-B	16.1	14.7	12.3	10.4	8.8	7.5	6.4	5.5
RSA-B-BAYV-F-16-50-B	12.4	11.2	9.3	7.7	6.4	5.3	4.4	3.6
RSA-B-BAYV-F-18-50-B	9.5	8.5	6.9	5.6	4.5	3.6	2.8	2.1
RSA-B-BAYV-F-20-50-B	7.2	6.4	5.0	3.9	2.9	2.1	1.5	0.9
RSA-B-BAYV-F-22-50-B	5.4	4.7	3.5	2.5	1.7	1.0	NR	NR
RSA-B-BAYV-F-24-50-B	3.9	3.3	2.2	1.3	0.6	NR	NR	NR



NOTES

Wind-speed Website disclaimer:

Hubbell Lighting has no connection to the linked website and makes no representations as to its accuracy. While the information presented on this third-party website provides a useful starting point for analyzing wind conditions, Hubbell Lighting has not verified any of the information on this third party website and assumes no responsibility or liability for its accuracy. The material presented in the windspeed website should not be used or relied upon for any specific application without competent examination and verification of its accuracy, suitability and applicability by engineers or other licensed professionals. Hubbell Lighting lnc. does not intend that the use of this information replace the sound judgment of such competent professionals, having experience and knowledge in the field of practice, nor to substitute for the standard of care required of such professionals in interpreting and applying the results of the windspeed report provided by this website. Users of the information from this third party website assume all liability arising from such use. Use of the output of these referenced websites do not imply approval by the governing building code bodies responsible for building code approval and interpretation for the building site described by latitude/longitude location in the windspeed report. http://windspeed.atcouncil.org

- Allowable EPA, to determine max pole loading weight, multiply allowable EPA by 30 lbs.
- The tables for allowable pole EPA are based on the ASCE 7-05 Wind Map or the Florida Region Wind Map for the 2010 Florida Building Code. The Wind Maps are intended only as a general guide and cannot be used in conjunction with other maps. Always consult local authorities to determine maximum wind velocities, gusting and unique wind conditions for each specific application
- Allowable pole EPA for jobsite wind conditions must be equal to or greater than the total EPA for fixtures, arms, and accessories to be assembled to the pole. Responsibility lies with the specifier for
 correct pole selection. Installation of poles without luminaires or attachment of any unauthorized accessories to poles is discouraged and shall void the manufacturer's warranty
- Wind speeds and listed EPAs are for ground mounted installations. Poles mounted on structures (such as bridges and buildings) must consider vibration and coefficient of height factors beyond this
 general guide; Consult local and federal standards
- Wind Induced Vibration brought on by steady, unidirectional winds and other unpredictable aerodynamic forces are not included in wind velocity ratings. Consult Hubbell Lighting's Pole Vibration
 Application Guide for environmental risk factors and design considerations. <u>http://cdn.spauldinglighting.com/content/products/literature/literature_files/Pole_Wind_Induced_Flyer_HL010022.pdf</u>
- Extreme Wind Events like, Hurricanes, Typhoons, Cyclones, or Tornadoes may expose poles to flying debris, wind shear or other detrimental effects not included in wind velocity ratings

Due to our continued efforts to improve our products, product specifications are subject to change without notice.









ATTENTION

OWNERSHIP/MANAGEMENT TAKES NO RESPONSIBILITY FOR INJURY TO PERSONS ON PREMISES AND / OR THEFT, VANDALISM OR ACT OF NATURE TO ANY VEHICLES

SECURE YOUR VALUABLES PARK AT YOUR OWN RISK LOCK YOUR VEHICLE SIZE 12" * 18"

font style: ARIAL BOLD

ALL WHITE REFLECTIVE

.80 ALUMINUM



12"

PARKING INSTRUCTIONS

1. PARK

- 2. PAY BY PLATE VIA APP OR METER
- 3. FAILURE TO PAY IN ADVANCE OR EXPIRED TIME WILL RESULT WITH A PARKING NOTICE AND/OR BOOTING AND/OR TOWING.

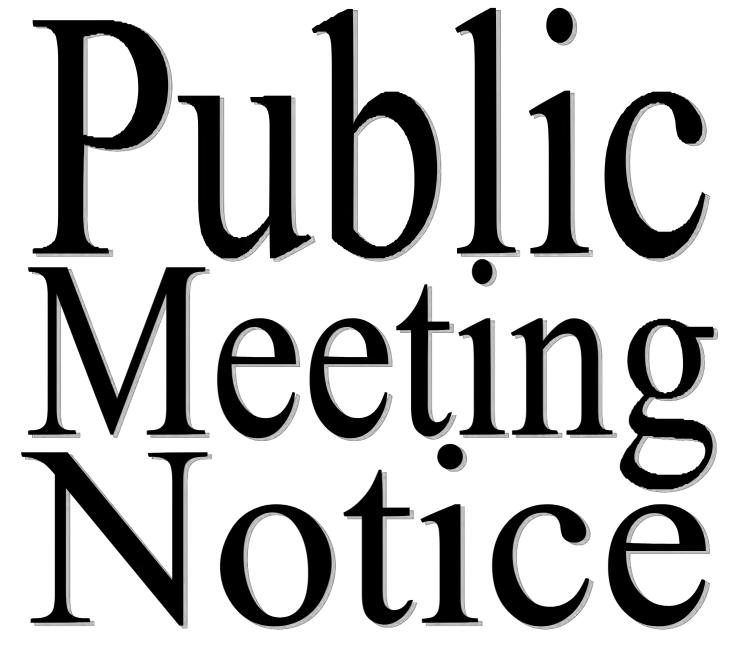
PRIVATE PROPERTY







NOTICING



The Historic Architectural Review Commission will hold a virtual meeting at <u>5:00 p.m., May 20, 2020</u>. In order to view the live feed of the meeting, you can tune in to Comcast channel 77, AT&T Uverse channel 99, or type this link into your browser: http://keywestcity.granicus.com/MediaPlayer.php?publish_id=1&embed=1 The purpose of the hearing will be to consider a request for:

NEW ASPHALT MILLINGS PARKING LOT. SITE LIGHTING AND SIGNAGE. DEMOLITION OF EXISTING NON-HISTORIC AND NON-CONTRIBUTING STRUCTURES. #1300 DUVAL STREET

Applicant – ROBERT RAMEY- K2M Application #H2020-0014

If you wish to see the application or have any questions, you may contact the Planning Department during regular office hours at 305-809-3973 or visit our website at <u>www.cityofkeywest-fl.gov</u>. <u>THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION</u>

ADA ASSISTANCE: It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 800-955-8771 or 800-955-8770 (Voice) or the ADA Coordinator at 305-809-3811 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.



HARC POSTING AFFIDAVIT

STATE OF FLORIDA: COUNTY OF MONROE:

BEFORE ME, the undersigned authority, personally appeared <u>Devon</u> Ayens, who, first being duly sworn, on oath, depose and says that the following statements are true and correct to the best of his/her knowledge and belief:

1. That a legal notice for Public Notice of Hearing of the Historic Architectural Review Commission (HARC) was placed on the following address:

	700 Duv	al Street	Keyn	lest	on
12	day of _	May		20 <u>20</u> .	

This legal notice(s) contained an area of at least 8.5"x11".

The property was posted to notice a public hearing before the Key West Historic Architectural Review Commission to be held on __________, 20 20 20

The legal notice(s) is/are clearly visible from the public street adjacent to the property.

The Certificate of Appropriateness number for this legal notice is -2020-014

2. A photograph of that legal notice posted in the property is attached hereto.

	Signed Name of Affiant:	
	Date: 912 2020	
	Address: 1150 Virginia	.
	City: Keywest	
	State, Zip: FL, 33040	
The forgoing instrument was a May By (Print name of Affiant)	cknowledged before me on this _ 20 <u>20</u> . Devon Ayers	2 day of who is
personally known to sne or has	s produced	as
identification and who did take	an oath.	
NOTARY PUBLIC Sign Name: Print Name: Notary Public - Sta		ERICA POOLE MY COMMISSION # GG 937533 EXPIRES: January 5, 2024 Bonded Thru Notary Public Underwriters
My Commission Ex		

PROPERTY APPRAISER INFORMATION



Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes.

By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID	00036080-000000
Account#	1036943
Property ID	1036943
Millage Group	10KW
Location	1300 DUVAL St, KEY WEST
Address	
Legal	KW FILER BOYLE SUB N-476 PT LOT 1 & ALL LOT 3 SQR 3 TR 16 G71-248 OR432-669/70 OR617-384
Description	OR787-1556Q/C OR824-525/531 OR827-1519 CASE #79-1453-CA-03 OR912-609 OR998-812/813
	(Note: Not to be used on legal documents.)
Neighborhood	32110
Property	RACE TRACK (3700)
Class	
Subdivision	
Sec/Twp/Rng	06/68/25



Owner

Affordable

Housing

RAMEY III ROBERT 2764 N Roosevelt Blvd Unit 2850 Key West FL 33045

No

Valuation

	2019	2018	2017	2016
+ Market Improvement Value	\$399,559	\$383,650	\$383,650	\$364,072
+ Market Misc Value	\$59,474	\$30,290	\$30,290	\$30,291
+ Market Land Value	\$2,945,443	\$2,096,933	\$2,096,933	\$2,098,184
= Just Market Value	\$3,404,476	\$2,510,873	\$2,510,873	\$2,492,547
= Total Assessed Value	\$2,761,960	\$2,510,873	\$2,510,873	\$2,492,547
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$3,404,476	\$2,510,873	\$2,510,873	\$2,492,547

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
COMMERCIAL DRY (100D)	34,775.00	Square Foot	0	0

Commercial Buildings

Style Gross Sq Ft Finished Sq Perimiter Stories Interior Wal Exterior Wa Quality Roof Type Roof Materi Exterior Wa Exterior Wa Exterior Wa Exterior Wa Exterior Wa Foundation Interior Fini Ground Floo Floor Cover Full Bathroo Half Bathroo Heating Typ Year Built Year Remod Effective Ye Condition	lls ills ill1 ill2 sh or Area oms oms re elecd ar Built	OFFICE BLD-1 STO 5,796 4,000 0 3 C.B.S. 350 () C.B.S. 0 0 1963 1994			
Code	Descri	ption	Sketch Area	Finished Area	Perimeter
CAN	CANO	PY	868	0	0
FLA	FLOOF	R LIV AREA	4,000	4,000	0
OPU	OP PR	UNFIN LL	364	0	0
OPF	OP PR	CH FIN LL	452	0	0
SBF	UTIL F	IN BLK	112	0	0
TOTAL			5,796	4,000	0

Style Gross Sq Ft Finished Sq Ft Perimiter Stories Interior Walls Exterior Walls Quality Roof Type Roof Material Exterior Wall1 Exterior Wall1 Exterior Wall2 Foundation Interior Finish Ground Floor Area Floor Cover Full Bathrooms Half Bathrooms Heating Type Year Built Year Remodeled Effective Year Built	SERV SHOPS ETC / 3,371 2,700 0 2 MIN WOOD SIDIN 250 () MIN WOOD SIDIN 0 0 1963 1978	G		
Condition Code Descri		Sketch Area	Finished Area	Perimeter
	R LIV AREA	2.700	2.700	0
	IN BLK	671	0	0
TOTAL		3,371	2,700	0

Yard Items

Description	Year Built	Roll Year	Quantity	Units	Grade
ASPHALT PAVING	1969	1970	1	26057 SF	2
CH LINK FENCE	1971	1972	1	1638 SF	1
WALL AIR COND	2001	2002	1	1 UT	2
WALL AIR COND	2001	2002	1	2 UT	1
CH LINK FENCE	1971	1972	1	2034 SF	1

Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved
12/1/1986	\$1	Warranty Deed		998	812	M - Unqualified	Improved
5/1/1984	\$238,000	Warranty Deed		912	609	U - Unqualified	Improved
1/1/1981	\$99,375	Agreement for Deed		824	525	M - Unqualified	Improved

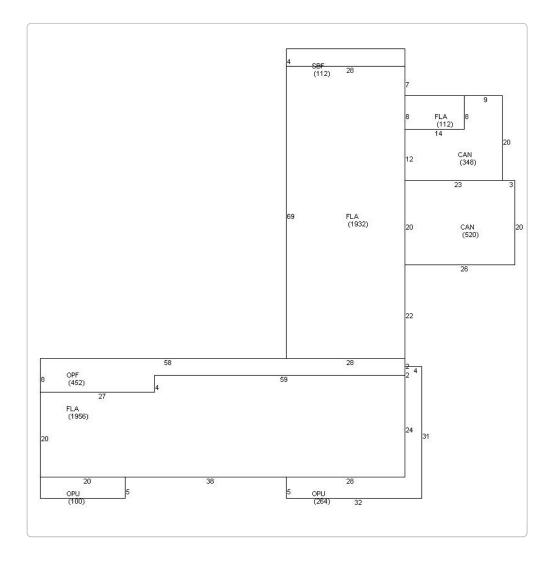
Permits

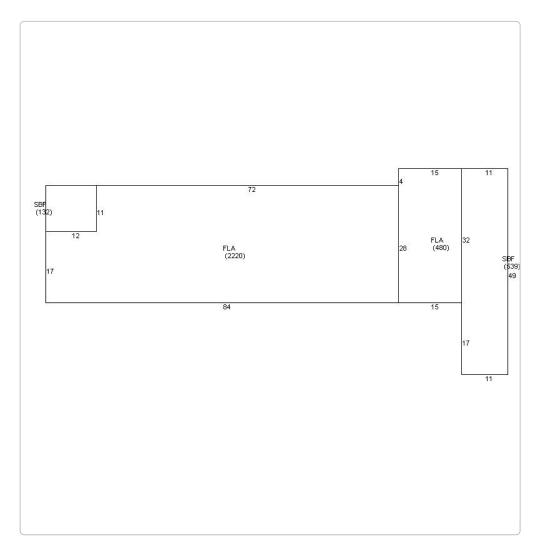
Number 🗘	Date Issued 🗢	Date Completed 🗢	Amount 🗘	Permit Type 🗘	Notes 🗢
11-1095	4/4/2011	6/4/2019	\$900		EMERGENCY REPAIR: DAMAGED RISER AND METER CAN FOR 200AMP SERVICE.
03-3327	9/15/2003	12/1/2003	\$500		REPLACE BURNED RISER
9702079	7/1/1997	7/1/1997	\$1,500		AWNINGS & DOORS
9602722	7/1/1996	10/1/1996	\$400		RENOVATIONS
B952361	7/1/1995	9/1/1995	\$1,300		SEAL ASPHALT

View Tax Info

View Taxes for this Parcel

Sketches (click to enlarge)





Photos



AK 1036943 1300 DUVAL STREET 6/29/2012



Мар



TRIM Notice



2019 Notices Only

GDPR Privacy Notice

No data available for the following modules: Buildings, Mobile Home Buildings, Exemptions.

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the User Privacy Policy



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