

# STAFF REPORT

DATE: October 8, 2020

RE: **727 Fort Street (project number #TP2020-0007)**

FROM: Karen DeMaria, City of Key West Urban Forestry Manager

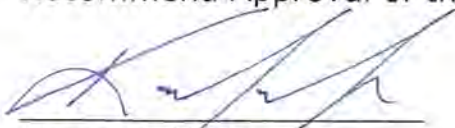
A Final Landscape Plan review has been requested for a major development plan at 727 Fort Street. The building on the property is being redeveloped/remodeled for the creation of a medical clinic. None of the existing trees will be disturbed and are to be protected and will remain.

City Code allows for the Urban Forestry manager to submit a memo to the file regarding the conceptual landscape plan review to allow the project to be reviewed by the Planning board and HARC. A Conceptual Landscape Plan review was done by the Urban Forester and submitted to the Planning Department on September 15, 2020 (see attached). Planning Board approved the major development plan with landscape waivers on September 17, 2020 (see attached resolution). The project was staff approved by HARC in June 2020.

No new vegetation is proposed to be planted along the property line with the residential areas (northeast and northwest boundaries). Opaque fences exist in these areas and pea rock will be placed on the ground. One large Strangler Fig tree and the canopy of a neighboring Mango tree exist in the northwest area. A Bottlebrush tree also exists in the northwest boundary area close to Fort Street. Landscape waivers were approved by the Planning Board for these two areas (Sec 108-347, 348, and 350).

New vegetation is proposed to be planted along Petronia Street and the front of the property and building along Fort Street. There is a large existing mahogany tree on the property along Petronia Street that is to remain. A row of clusia shrubs will be planted along the property line of Petronia and Fort Street except for the two driveway areas along Fort Street. Planting bed areas are being created in the front of the building and will be planted with firebush and firecracker plants. Three tall thatch will also be planted along the driveway near Petronia Street. Therefore, the plan dated 10-6-20 does incorporate the 70% native plant requirement and is in compliance with Sec 108-412 and 413 except that gravel is being placed instead of sod or groundcover. The landscaper has stated that gravel is preferred due to the amount of shade area from the existing mahogany tree. Sec 108-416 does not apply as the entire open space area outside of the structure is considered buffer or streetscape area.

Recommend Approval of the Final Landscape Plan



Karen DeMaria  
Urban Forestry Manager  
City of Key West



ALL TREES SHALL BE PRUNED AS NEEDED  
PER ANSI-300 STD'S. ALL PRUNING SHALL BE  
DONE BY A CERTIFIED ARBORIST

| EXISTING TREE INVENTORY |                       |                     |                     |           |             |
|-------------------------|-----------------------|---------------------|---------------------|-----------|-------------|
| TREE NO.                | BOTANICAL NAME        | COMMON NAME         | SIZE DBH. HT.X SPR. | CONDITION | DISPOSITION |
| ④ 1.                    | CALLISTEMON VIMINALIS | WEeping BOTTLEBRUSH | 11" 12'X18'         | FAIR      | REMAIN      |
| ④ 2.                    | FICUS AUREA           | STRANGLER FIG       | 34" 40'X48'         | GOOD      | REMAIN      |
| ④ 3.                    | SWIETENIA MAHOGANII   | MAHOGANY            | 40" 40'X45'         | GOOD      | REMAIN      |
| ④ 4.                    | PLUMERIA PUDICA       | BRIDAL BOUQUET      | MULTI-STEM 8'X5'    | GOOD      | REMAIN      |

| MASTER PLANT LIST |            |               |          |
|-------------------|------------|---------------|----------|
| KEY               | PLANT NAME | SPECIFICATION | QUANTITY |

|              |  |   |   |
|--------------|--|---|---|
| <u>THR12</u> | THRINAX RADIATA KEY<br>THATCH PALM<br>ALT: SILVER PALM | 12' OA., MIN. 8' CT. SINGLE<br>TRUNK<br>NATIVE, HIGH DROUGHT<br>TOLERANCE | 3 |
|--------------|--|---|---|

| KEY | PLANT NAME | SPECIFICATION | QUANTITY |
|-----|------------|---------------|----------|
|     |            |               |          |

|             |   |  |    |
|-------------|---|--|----|
| <u>CLR7</u> | CLUSIA ROSEA NANA<br>SMALL LEAF PITCH APPLE | 36" X 24" 24" O.C.<br>NATIVE<br>HIGH DROUGHT TOLERANCE | 61 |
| HP3         | HAMELIA PATENS<br>FIRE BUSH                 | 24" X 24" 24" O.C.<br>NATIVE<br>HIGH DROUGHT TOLERANCE | 66 |

|                   |  |  |           |
|-------------------|--|--|-----------|
| <b><u>RE3</u></b> | <b>RUSELLIA EQUSETIFORMIS<br/>FIRECRACKER BUSH</b> | <b>24"X24" 24" O.C.<br/>HIGH DROUGHT TOLERANCE</b> | <b>25</b> |
|-------------------|--|--|-----------|

|            |                                |  |   |
|------------|--------------------------------|--|---|
| <u>SR7</u> | SERENOA REPENS<br>SAW PALMETTO | 24 "X 24" 30" O.C.<br>NATIVE<br>HIGH DROUGHT TOLERANCE | 3 |
|------------|--------------------------------|--|---|

1-STORY FRAME  
HOUSE

PEA ROCK  
3" DEPTH

1/2" PEA ROCK COLOR- WHITE  
4" DEPTH

EXISTING SUBGRADE


The diagram shows a cross-section of a road construction. At the top is a layer of 1/2 inch pea rock, 4 inches deep, colored white. Below this is the existing subgrade, which is shown as a series of horizontal lines. The subgrade is labeled 'EXISTING SUBGRADE'.

— EXISTING COCONUT PALM  
ON ADJ. PROPERTY

EXISTING SILVER BUTTONWOOD  
TREE ON ADJ. PROPERTY

% OF PALMS ALLOWED:  
REQUIRED TREES = 10 X 20%  
REQUIRED = 2 (MAX.)  
PROPOSED = 3:1

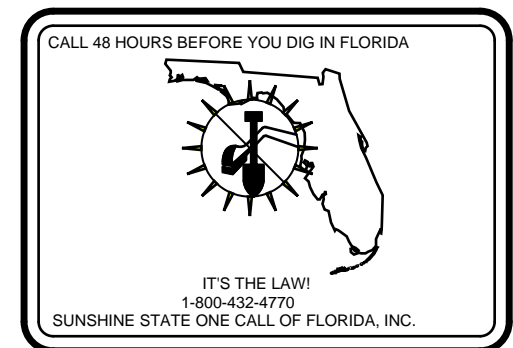
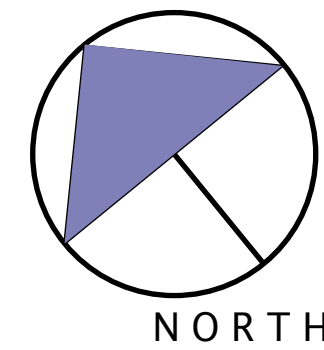
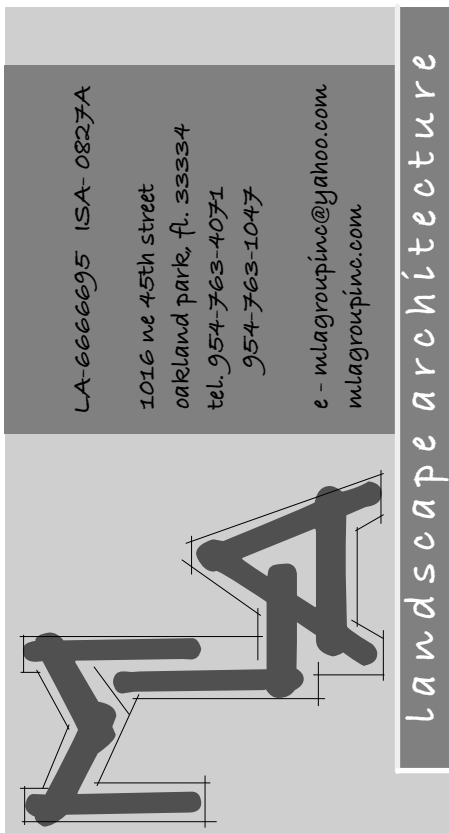
CHI KEY WEST Medical  
Center  
RENOVATION  
727 FORT STREET, KEY  
WEST, FL 33040



LANDSCAPE ARCHITECT  
JAMES McCLURE  
SEAL:  
No. LA-6666696  
STATE OF  
FLORIDA

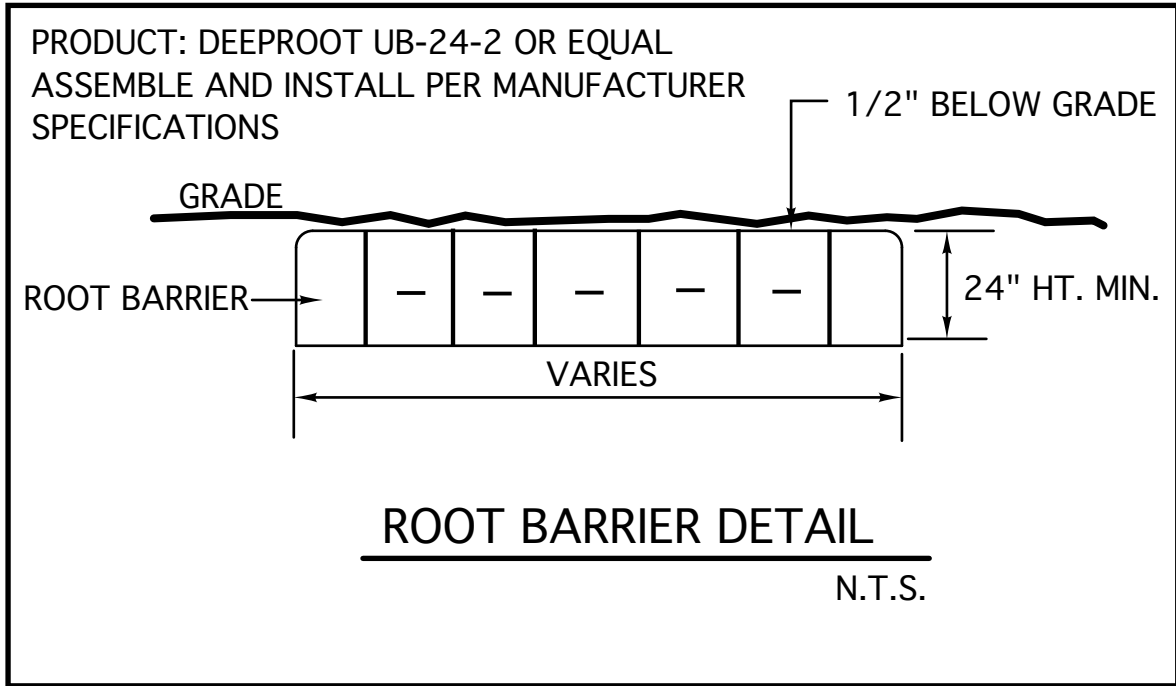
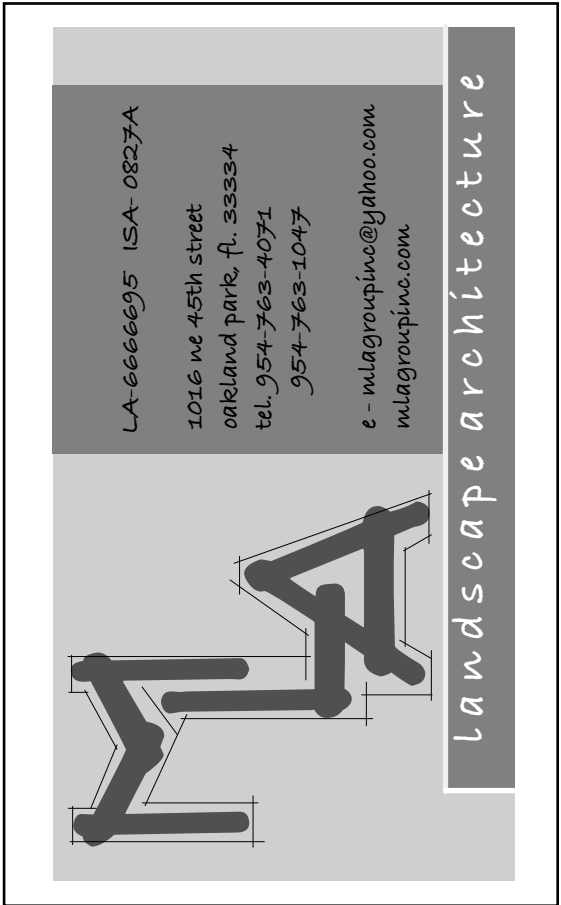
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of-2





# GENERAL LANDSCAPE NOTES



## LANDSCAPE SPECIFICATIONS

- CONTRACTOR SHOULD MAKE HIS OWN TAKE OFF TO ELIMINATE DISCREPANCIES. IN CASE THEY OCCUR, THE PLAN WILL TAKE PRECEDENCE OVER THE PLANT LIST.
- EXACT LOCATION OF PLANT MATERIAL MAY VARY SLIGHTLY. COORDINATE FIELD LOCATIONS WITH OTHER TRADES PRIOR TO COMMENCEMENT OF WORK.
- ALL PLANT MATERIAL FURNISHED BY THE LANDSCAPE CONTRACTOR SHALL BE "FLORIDA #1" OR BETTER AND SHALL BE INSTALLED AS SPECIFIED IN "FLORIDA DEPT. OF AGRICULTURAL GRADES AND STANDARDS", CURRENT EDITION RESPECTIVELY.
- ALL PLANTING TO BE DONE ACCORDING TO GOOD NURSERY PRACTICE AND ADHERE TO ALL MUNICIPAL REQUIREMENTS.
- ALL PLANTING MATERIAL SHALL BE GUARANTEED 365 DAYS (1 YEAR) FROM TIME OF FINAL INSPECTION & APPROVAL.
- ALL SOD TO BE ST. AUGUSTIN FLORATAM SOLID UNLESS OTHERWISE SPECIFIED. DIFFERENT SOD TYPES SHALL BE SEPARATED BY EDGING, PLANT MATERIAL OR OTHER PHYSICAL BARRIER.
- ALL BED AREAS TO RECEIVE A 3" LAYER OF ARSENIC FREE EUCALYPTUS MULCH/FLORIMULCH & SHALL BE A MIN. OF 1'-0" WIDER THAN PLANTS (MEASURED FROM OUTSIDE OF FOLIAGE)
- ALL TREES MEET THE MINIMUM TRUNK DBH. AS SHOWN ON THE LANDSCAPE SPECIFICATIONS
- LANDSCAPER TO FURNISH ALL MATERIAL AND LABOR INCLUDING, PLANTS MULCH, TOP DRESSING, SOIL PREPARATION, DECORATIVE ITEMS (IF SHOWN), INSPECTIONS, TRANSPORTATION, WARRANTY, PERMIT, ETC. NECESSARY FOR COMPLETION OF ALL LANDSCAPING REQUIRED HEREIN EXCEPT IF DESIGNATED TO BE OTHERS.
- ALL PRINCIPALS OF FLORIDA FRIENDLY LANDSCAPING AND DESIGN STANDARDS SHALL BE UTILIZED, ANY CHANGES TO MATERIALS, SIZES OR SPECIFICATIONS SHALL BE FIRST APPROVED BY THE LANDSCAPE ARCHITECT OF RECORD.
- OWNER RESERVES THE RIGHT TO REJECT ANY OR ALL BIDS.
- LANDSCAPER SHALL HAVE A COMPETENT ENGLISH SPEAKING SUPERINTENDENT PRESENT ON THE JOB WHO SHALL BE AUTHORIZED TO REPRESENT THE LANDSCAPER IN HIS ABSENCE.
- PLANTS SHOULD BE TYPICAL FOR THEIR VARIETY AND SPECIES. PLANTS SHALL BE SOUND, HEALTHY VIGOROUS, FREE FROM PLANT DISEASE, INSECT OR THEIR EGGS. THEY SHALL HAVE HEALTHY NORMAL ROOTS AND SHALL NOT BE ROOT BOUND. QUALITY AND SIZE: ALL PLANT MATERIALS SHALL BE NURSERY GROWN UNLESS OTHERWISE NOTED.
- ALL PLANT MATERIAL SHALL BE HANDLED IN A CAREFUL MANNER DURING TRANSPORTATION AND INSTALLATION.
- PLANTS SHALL NOT BE PRUNED OR TOPPED BEFORE DELIVERY. ALL TREE PRUNING SHALL BE DONE IN ACCORDANCE WITH CURRENT ANSI-300 STANDARDS.
- OWNER RESERVES THE RIGHT TO APPROVE ALL PLANTS MATERIALS. OWNER OR OWNERS AGENT SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE LANDSCAPING.
- LANDSCAPER SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE DAILY. THE PREMISES SHALL BE KEPT NEAT AND ORDERLY AT ALL TIMES WHILE WORK IS IN PROGRESS.
- THE LANDSCAPE CONTRACTOR SHALL LAY OUT HIS WORK ACCORDING TO THE PLANS AND SPECIFICATIONS AND WILL BE RESPONSIBLE FOR ALL MEASUREMENTS EXERCISING SPECIAL CARE IN LAYING OUT WORK TO KEEP WITHIN PROPERTY LINES AND RECOGNIZING EASEMENTS AND UTILITIES. THE LANDSCAPE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY ERRORS. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN LAYOUT.
- METHODS OF PROTECTION SHALL BE MAINTAINED AT ALL TIMES, AS REQUIRED TO INSURE ALL PERSONS AND PROPERTY AGAINST INJURY, AND SHALL BE MAINTAINED UNTIL THE COMPLETION OF ALL WORK. THE LANDSCAPE CONTRACTOR SHALL PROVIDE AN ENGLISH SPEAKING FORMAN ON THE JOB AT ALL TIMES.
- PLANT MATERIAL ABBREVIATIONS ON THE PLANT LIST: FG (FIELD GROWN); CT (INDICATES CLEAR TRUNK MEASUREMENT FROM THE TOP OF BALL TO FIRST BRANCHING OR BASE OF THE LOWER FRONDS); GAL (GALLON CAN); 3 GAL (3 GALLON CAN); OA (INDICATES OVERALL HEIGHT FROM TOP OF BALL TO MID POINT OF CURRENT SEASON'S GROWTH); SPR (INDICATES SPREAD); HVY (INDICATES HEAVY); MIN (INDICATES MINIMUM).
- SUBSTITUTION: PLANT SUBSTITUTION REQUESTS, FOR PLANT MATERIAL NOT OBTAINABLE IN THE TYPE AND SIZE SPECIFIED SHALL BE MADE PRIOR TO SUBMISSION OF BIDS. ALL SUBSTITUTION REQUESTS SHALL BE DIRECTED TO THE LANDSCAPE ARCHITECT AND THE GOVERNING MUNICIPALITY FOR CONSIDERATION AND APPROVAL. IT IS THE LANDSCAPE CONTRACTORS OBLIGATION TO KNOW WHERE THEY CAN OBTAIN ALL MATERIAL AT THE TIME OF BIDDING AND AT THE TIME A CONTRACT IS EXECUTED.
- THE CONTRACTOR'S GUARANTEE SHALL NOT APPLY IN THE EVENT OF FIRE, FLOOD, HURRICANE, WINDSTORM, OR OTHER ACTS OF NATURE OR DAMAGES TO LANDSCAPING IN PROGRESS CAUSED BY ANY PERSONS OTHER THAN THOSE PERSONS UNDER THE DOMINION AND CONTROL OF THE CONTRACTOR.

24. ALL TREES, PALMS AND OTHER PLANTS SHALL BE PLANTED WITH THE TOP OF THEIR ROOTBALLS 10% ABOVE FINAL GRADE SURROUNDING THE PLANTING AREA. ALL WIRE BASKETS, BURLAP, STRING AND ROPE MUST BE REMOVED. ALL TREE OR PALMS IN LAWN AREAS SHALL RECEIVE A 2 FOOT DIAMETER MULCH RING. MULCH SHALL BE PULLED AWAY FROM THE TRUNKS 3". ALL PLANTING PITS SHALL BE A MIN. OF 3X THE ROOTBALL SIZE. ALL TREES AND PALMS SHALL BE BRACED OR GUIED. ALL NYLON STRAPS AND WOOD BRACING SHALL BE REMOVED WITHIN ONE YEAR OF FINAL INSPECTION.

25. DELIVERY RECEIPTS FOR TOP SOIL, PLANTING SOIL & MULCH SHALL BE SUPPLIED TO THE INSPECTOR OR LANDSCAPE ARCHITECT UPON REQUEST

26. COMMERCIAL FERTILIZER: COMMERCIAL FERTILIZER SHALL BE AN ORGANIC FERTILIZER CONTAINING NITROGEN, PHOSPHORIC ACID, MINOR TRACE ELEMENTS AND POTASH IN EQUAL PERCENTAGES OF AVAILABLE PLANT FOOD WEIGHT OR "MILORGANITE" NITROGEN SHALL BE NOT LESS THAN 100% FROM ORGANIC SOURCE. FERTILIZER SHALL BE DELIVERED TO THE SITE UNOPENED IN ORIGINAL CONTAINERS, EACH BEARING THE MANUFACTURER'S GUARANTEED ANALYSIS. INITIAL FERTILIZATION OF TREES SHRUBS, GROUND COVERS, SHALL BE WITH "MILORGANITE" OR AN APPROVED COMPLETE FERTILIZER. APPLY "MILORGANITE" IN A CIRCLE AROUND THE PLANT BEFORE MULCHING DO NOT TOUCH THE PLANT WITH THE FERTILIZER. WATER IN FERTILIZER AFTER MULCHING. APPLY "MILORGANITE" FERTILIZER AT THE FOLLOWING AT THE RATE:

5 LBS OR 14.5 CUPS / PALMS  
3 LBS OR 8.70 CUPS / 12-16" MATERIAL  
2 LBS OR 5.80 CUPS / 8-12" MATERIAL  
0.69 LBS OR 2.00 CUPS / 6-8" MATERIAL  
0.19 LBS OR . CUP 3 GAL. MATERIAL  
0.10 LBS OR . CUP 1 GAL. MATERIAL

FERTILIZERS SHALL BE SLOW TIME RELEASE, UNIFORM IN COMPOSITION DRY, AND FREE FLOWING AND SHALL MEET THE FOLLOWING REQUIREMENTS:

SIX (6) PERCENT NITROGEN, SIX (6) PERCENT PHOSPHOROUS, AND SIX (6) PERCENT POTASSIUM. FERTILIZER SHALL BE APPLIED TO ALL SHRUBS 1/3 LB PER 3 GAL. CONTAINER, 1 LB PER 1 GAL. CONTAINER AND GROUND COVER. THE SOD STARTER FERTILIZER MIXTURE SHALL BE 5-10-10 AT A RATE OF 20 LBS PER 1000 S.F. A 14-14-14 FERTILIZER IS REQUIRED ON ALL TREES AND SHRUBS OVER 5" IN HEIGHT (1/2 LB PER 5' OF SPREAD). AGRIFORM TABLETS WITH TWENTY (20) PERCENT NITROGEN, TEN (10) PERCENT PHOSPHOROUS, FIVE (5) PERCENT POTASSIUM IN 31 GRAM SIZES & SHALL BE APPLIED AT THE FOLLOWING RATE: 1 PER GAL. PLANT 2 PER 3 GAL. PLANTS AND 2 TABLETS PER 1" OF TREE TRUNK CALIPER APPLY PALM SPECIAL FERTILIZER AS PER MANUFACTURER'S RECOMMENDATION.

27. SUPER ABSORBENT POLYMER: "TERRA SORB" OR APPROVED EQUAL AS PACKAGED IN 3 OZ. HANDY PAC COMPOSED OF SYNTHETIC ACRYLAMIDE COLLOIDYMER, POTASSIUM, AND ACRYLATE. PARTICLE SIZE OF 1.0 MM TO 3.0 MM AND ABSORPTION RATE OF 300 TIMES ITS WEIGHT IN WATER. APPLY DRY USING THE FOLLOWING AMOUNT:

1 PAC PER TREE - 36" BALL SIZE  
2 PAC PER TREE - OVER 36" BALL SIZE  
1 PAC PER 20 GAL. CONTAINER  
0.5 PACS PER 7-10 GAL. CONTAINER  
0.25 PACS PER 3 GAL. CONTAINER  
0.12 PACS PER 1 GAL. CONTAINER

28. LANDSCAPE CONTRACTOR WILL BE RESPONSIBLE FOR HAVING UTILITIES LOCATED BY CALLING SUNSHINE ONE CALL SERVICE OR EQUAL. CARE SHALL BE TAKEN NOT TO DISTURB ANY UNDERGROUND CONSTRUCTION AND UTILITIES. ANY DAMAGE TO THESE FACILITIES DURING THE PLANTING OPERATIONS WILL BE REPAIRED AT THE EXPENSE OF THE LANDSCAPE CONTRACTOR IN A MANNER APPROVED BY THE OWNER.

29. PLANTING SOIL: PLANTING SHALL BE COMPOSED OF 50% SAND AND 50% MUCK. ANY VARIATIONS IN THIS COMPOSITION SHALL BE APPROVED BY THE OWNER PRIOR TO USE. PLANTING SOIL SHALL BE FREE OF STONE, PLANTS, ROOTS AND OTHER FOREIGN MATERIALS WHICH MIGHT BE HINDRANCE TO PLANTING OPERATIONS OR BE DETRIMENTAL TO GOOD PLANT GROWTH. SOIL SHALL BE DELIVERED IN A LOOSE FRABLE CONDITION AND APPLIED IN ACCORDANCE WITH THE PLANTING SPECIFICATION.

30. WATER FOR PLANTING SHALL BE AVAILABLE AT THE SITE AND SHALL BE PROVIDED BY THE OWNER GC. AN AUTOMATIC UNDERGROUND RUST FREE IRRIGATION SYSTEM SHALL BE PROVIDED WITH A RAIN SENSOR. THE IRRIGATION SHALL COVER 100% WITH 100% OVERLAP PRIOR TO FINAL INSPECTION.

31. PRUNING: REMOVE DEAD AND BROKEN BRANCHES FROM ALL PLANT MATERIAL. PRUNE TO RETAIN TYPICAL GROWTH HABIT OF INDIVIDUAL SPECIES, RETAINING AS MUCH HEIGHT AND SPREAD AS POSSIBLE. MAKE ALL PRUNING CUTS WITH A SHARP INSTRUMENT. FLUSH WITH THE TRUNK OR ADJACENT BRANCH IN SUCH A MANNER AS TO ENSURE ELIMINATION OF STUBS. "HEADBACK" CUTS, RIGHT ANGLE TO LINE OF GROWTH WILL NOT BE PERMITTED AND TREES WILL NOT BE POLED, TOPPED, OR HATRACKED.

32. SITE PREPARATION: IT SHALL BE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO FINISH (FINE) GRADE ALL LANDSCAPE AREAS TO BE SODDED PRIOR TO APPLICATION OF SOD ELIMINATING ALL BUMPS, DEPRESSIONS, STICKS, STONES AND OTHER DEBRIS TO THE SATISFACTION OF THE CITY/TOWN INSPECTOR.

33. MAINTENANCE: MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS PLANTED AND SHALL CONTINUE UNTIL ALL PLANTING HAS PASSED FINAL INSPECTION AND ACCEPTANCE. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, CULTIVATING, REMOVAL OF DEAD MATERIALS, RESETTING PLANTS TO PROPER GRADES OR UPRIGHT POSITION AND RESTORATION OF THE PLANTING SAUCEK AND ANY OTHER NECESSARY OPERATION. PROPER PROTECTION TO LAWN AREAS SHALL BE PROVIDED AND ANY DAMAGE RESULTING FROM PLANTING OPERATIONS, SHALL BE REPAIRED PROMPTLY. ALL TREE PALM TRIMMING SHALL BE DONE IN ACCORDANCE WITH ANSI-300 STANDARDS. ALL OWNERS OF THE LAND OR THEIR AGENTS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE LANDSCAPING.

34. (NOTE: SABAL PALMETTO CABBAGE PALM SPECIES TIE BRANCHES TOGETHER WITH BIO-DEGRADABLE TWINE TO TIGHT BUNDLE AROUND BID FOR PROTECTION.

35. MULCH: MULCH MAY BE USED WITHIN PLANTING BEDS IN CONJUNCTION WITH GROUND COVER. MULCH SHALL BE RENEVED AND MAINTAINED AS REQUIRED TO MAINTAIN A THREE- INCH DEPTH AT THE TIME OF FINAL INSPECTION. MULCH AROUND TREE ROOT BALLS NOT PLANTED IN PLANTING AREA SHALL BE THREE INCHES DEEP AT THE PERIMETER OF THE ROOT BALL. SEE FIGURES 1 AND 2 AT THE END OF THE CHAPTER.

36. GRASS: AREAS WITHIN THE LANDSCAPE EASEMENT NOT USED FOR TREES, SHRUBS, GROUND COVER, MULCH, OR OTHER LANDSCAPE ELEMENTS SHALL BE PLANTED WITH SOLID SOD OF ST. AUGUSTINE FLORATAM OR PALMETTO AND SHALL BE IRRIGATED. SOD SHALL BE WEED/PEST FREE INCLUDING FUNGUS AND DISEASE, LAID SMOOTH WITH TIGHT JOINTS AND CUT TO CONFORM TO CURBS AND PLANTERS.

37. WHERE THE LANDSCAPE EASEMENT ABUTS ON SITE VEHICULAR USE AREAS SUCH AS TRAFFIC LANES, THE LANDSCAPE EASEMENT SHALL BE SEPARATED FROM THE TRAFFIC LANES BY CONTINUOUS CONCRETE CURBING WITH AN 18-INCH DEPTH BELOW GRADE. EXTRUDED CURBING INSTALLED ON TOP OF THE PAVING IS PROHIBITED.

38. EXCAVATION REQUIREMENT: REQUIRED: ISLANDS/MEDIAN SHALL BE EXCAVATED TO 30 INCHES, AND BACK FILLED WITH CLEAN FILL AND PLANTING SOIL, CONSISTING OF 50% MUCK AND 50% SAND AT LEAST 3" BELOW THE TOP OF CURB. MANIPULATION OF THE GRADE BEHIND THE CURBING TO CREATE SMALL SCALE MOUNDING IS ENCOURAGED. REQUIRED EXCAVATION AT BUILDING FOUNDATIONS SHALL BE 12 INCHES AND BACK FILLED WITH CLEAN FILL AND PLANTING SOIL. PLANTING SOIL SHALL BE FREE OF DEBRIS, WEED, ROCK, AND PH BETWEEN 6.5 AND 7.0.

39. A LANDSCAPE PERMIT IS REQUIRED FOR ALL LANDSCAPE INSTALLATIONS INCLUDING NEW SINGLE FAMILY HOMES THAT ARE NOT PART OF A PLANNED COMMUNITY. NO TREES OR OTHER PLANT MATERIAL MAY BE PLANTED IN PUBLIC RIGHTS-OF-WAY (SWALE AREAS) WITHOUT PERMIT FROM THE CITY. NO SHRUB SPECIES WITH A MATURE HEIGHT THAT WILL BLOCK THE CLEAR SIGHT ZONE FROM 30 INCHES IN HEIGHT TO SIX FEET IN EIGHT WILL BE APPROVED IN SWALE AREAS.

40. TOPSOIL SHALL BE CLEAN AND FREE OF CONSTRUCTION DEBRIS, WEEDS, ROCKS, NOXIOUS PESTS AND DISEASES, AND EXHIBIT A PH OF 6.5 TO 7.0. THE TOPSOIL FOR PLANTING AREAS SHALL BE AMENDED WITH HORTICULTURALLY ACCEPTABLE ORGANIC MATERIAL. ALL SOIL USED SHALL BE SUITABLE FOR THE INTENDED PLANT MATERIAL. THE SOURCE OF THE TOPSOIL SHALL BE KNOWN TO THE APPLICANT AND SHALL BE ACCEPTABLE TO THE CITY.

MINIMUM SOIL DEPTH:  
REQUIRED: THE MINIMUM PLANTING SOIL DEPTH SHALL BE SIX INCHES FOR GROUND COVERS, FLOWERS, SHRUBS AND HEDGES.  
ROOTBALL SOIL:  
REQUIRED: TREES SHALL RECEIVE 12 INCHES OF PLANTING SOIL AROUND THE ROOT BALL.  
NATIVE SOIL:  
REQUIRED: NATIVE TOPSOIL ON THE SITE SHALL BE RETAINED ON-SITE AND USED WHEN THERE IS SUFFICIENT QUANTITY TO COVER AT LEAST SOME OF THE ON-SITE LANDSCAPED AREAS.  
ARID PLANTS:  
REQUIRED: CLEAN SAND SHALL BE USED TO BACKFILL ARID CLIMATE PALMS.

41. USE OF ORGANIC MULCHES: 1  
A TREE-INCH MINIMUM THICKNESS OF APPROVED ORGANIC ARSENIC FREE MULCH MATERIAL AT THE TIME OF FINAL INSPECTION, SHALL BE INSTALLED IN ALL LANDSCAPE AREAS NOT COVERED BY BUILDING, PAVEMENT, SOD, DECORATIVE STONES, PRESERVED AREAS AND ANNUAL FLOWER BEDS. EACH TREE SHALL HAVE A RING OF ORGANIC MULCH AT THE PERIMETER OF THE ROOT BALL.

42. ALL SHADE TREES INSTALLED WITHIN SIX FEET OF PUBLIC INFRASTRUCTURE SHALL UTILIZE A ROOT BARRIER SYSTEM AS APPROVED BY THE CITY.

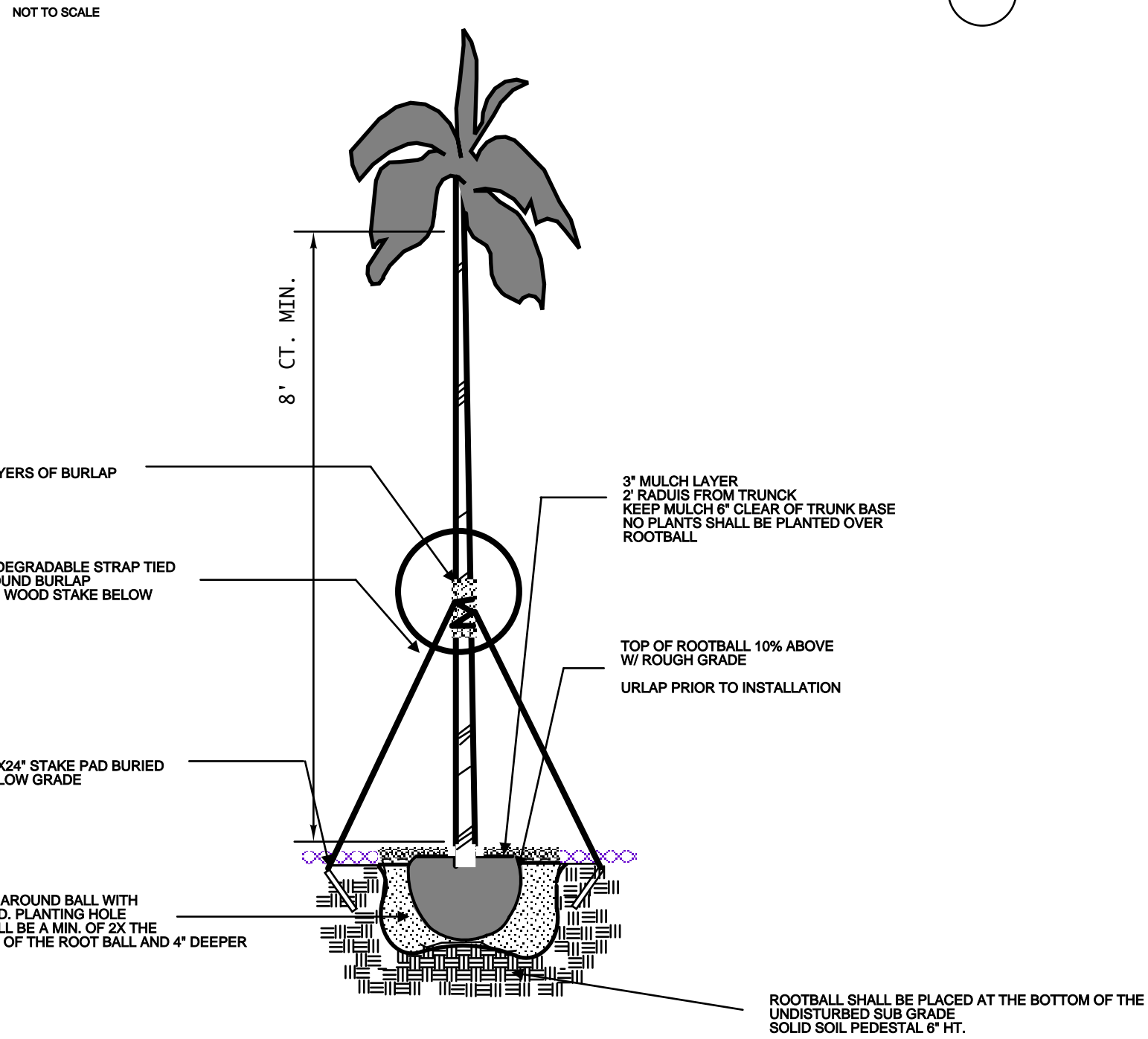
43. THE ERADICATION OF NUISANCE VEGETATION (EXOTICS) EXISTING ON SITE REQUIRED ON ALL SITES, INCLUDING ABUTTING RIGHTS-OF-WAY. PRIOR TO THE ISSUANCE OF CERTIFICATE OF OCCUPANCY PRIVATELY OWNED NATURAL AREAS SHALL BE INCLUDED IN THIS REQUIREMENT. FICUS BENJAMINA AND FICUS NITIDA MAY BE USED FOR HEDGE MATERIAL WITH A FIVE-FOOT SEPARATION FROM WATER LINES. FICUS HEDGES MAY NOT BE PLANTED IN UTILITY EASEMENTS

44. HEDGES: WHERE REQUIRED SHALL BE PLANTED SO AS TO BE TIP TO TIP WITHIN SIX MONTHS OF PLANTING AND MAINTAINED SO AS TO FORM A CONTINUOUS VISUAL SCREEN. SHRUBS USED AS HEDGES SHALL BE FLORIDA DEPARTMENT OF AGRICULTURE GRADE #1 OR BETTER WITH A MINIMUM HEIGHT OF 24 INCHES AND MINIMUM SPREAD OF 24 INCHES, WHEN MEASURED IMMEDIATELY AFTER PLANTING AND SHALL BE MINIMUM OF THREE FEET IN HEIGHT WITHIN TWO YEARS FROM THE DATE OF PLATING. HEDGES SHALL BE PLANTED WITH BRANCHES TOUCHING, WITHIN SIX MONTHS OF PLANTING SO AS TO CREATE A SOLID SCREEN WITH NO VISUAL SPACES BETWEEN PLANTS AT THIS TIME. PLANTS SPACING MAY BE ADJUSTED ACCORDING TO PLANT SIZES SO LONG A THE PRECEDING IS ACHIEVED. ALL GROUND COVER SHALL BE INSTALLED AT 75% COVERAGE AND 100% WITHIN 6 MONTHS AFTER FINAL ACCEPTANCE.

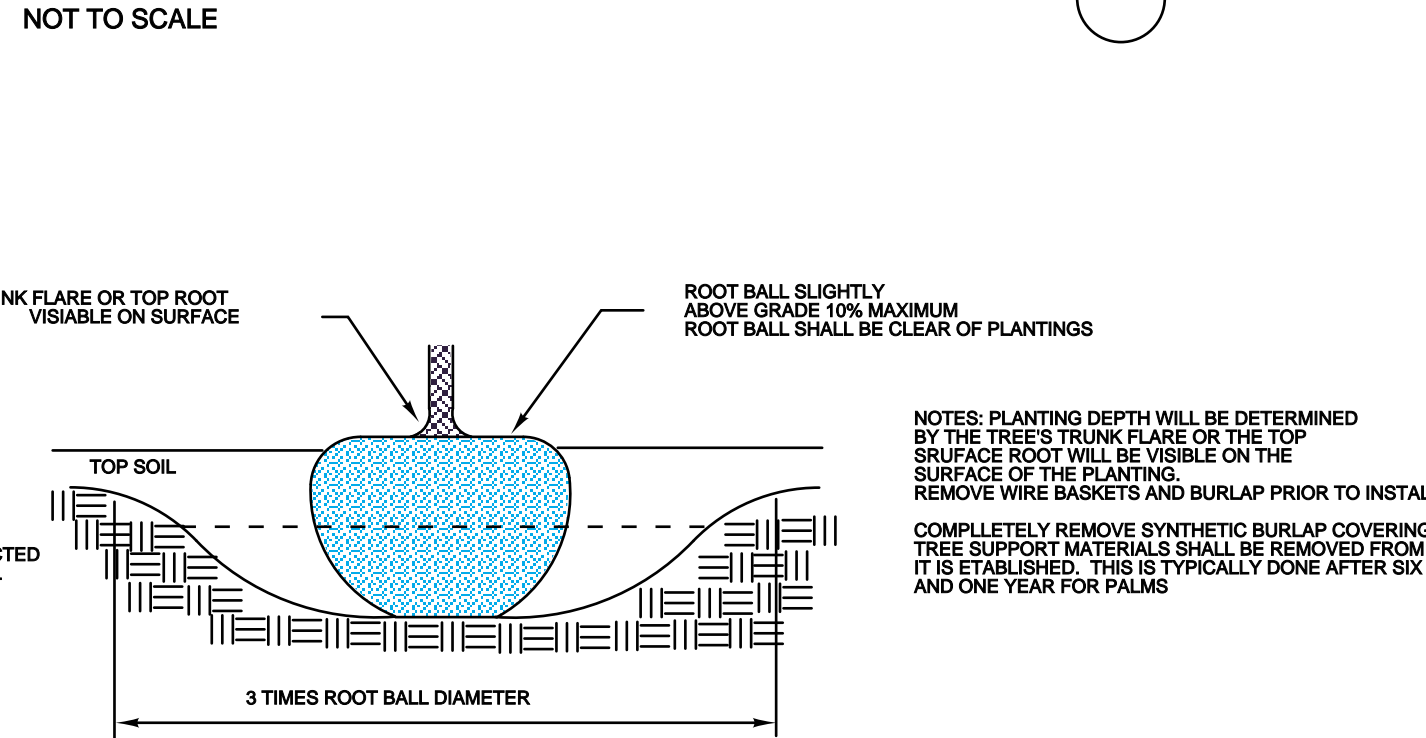
45. ALL ABOVE GROUND ELEMENTS INCLUDING BUT NOT LIMITED TO DUMPSTERS, FENCES, WALLS, A/C UNITS, IRRIGATION PUMPS, TRANSFORMERS AND GENERATORS SHALL BE SCREENED WITH LANDSCAPE MATERIAL TO A HEIGHT OF 36" MIN.

46. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED TO PROVIDE RUST FREE 100% COVERAGE & 100% OVERLAP. CONTRACTOR SHALL ENSURE THERE IS NO OVERSPRAY ONTO IMPERVIOUS AREAS. ALL IRRIGATION PVC RISERS SHALL BE PAINTED FLAT BLACK.

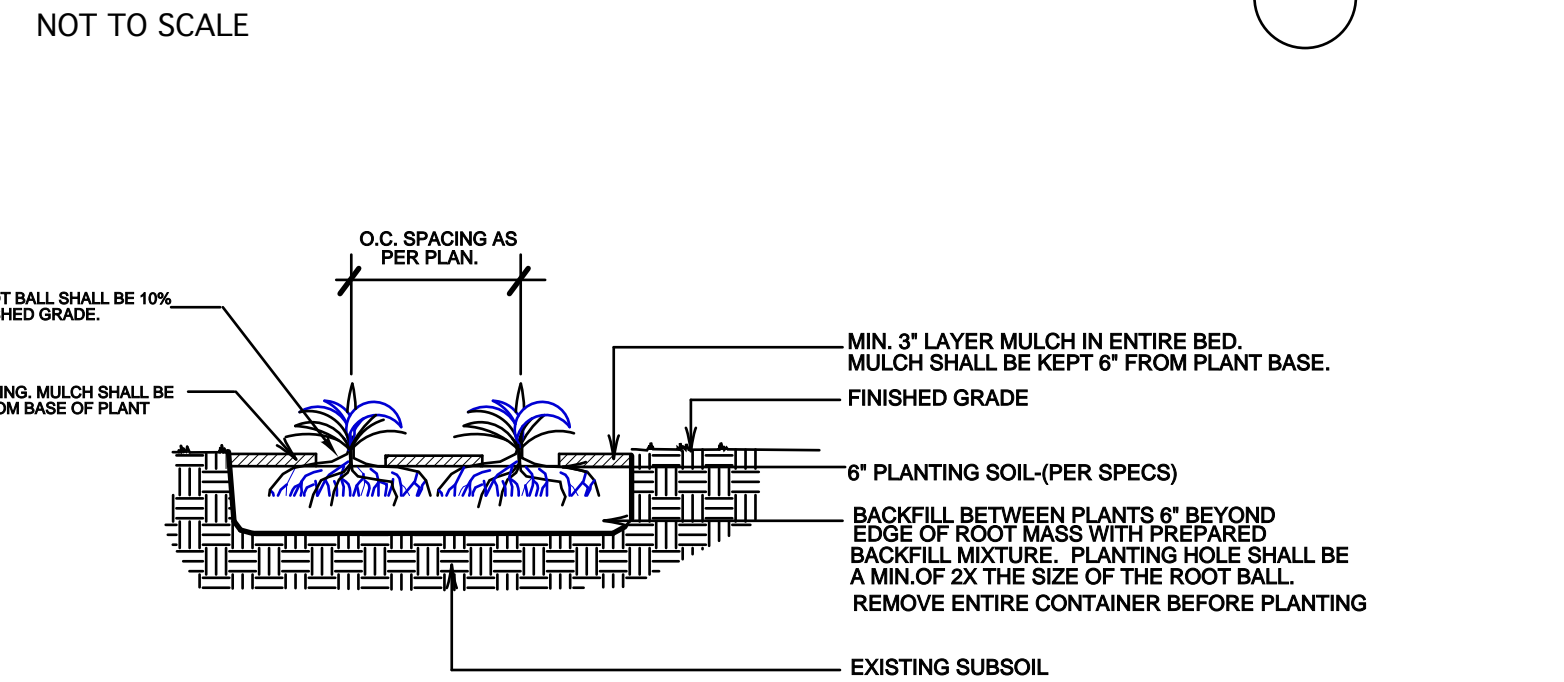
## SINGLE TRUNK GUYING AND PLANTING DETAIL



## SOLITAIR PALM PLANTING DETAIL

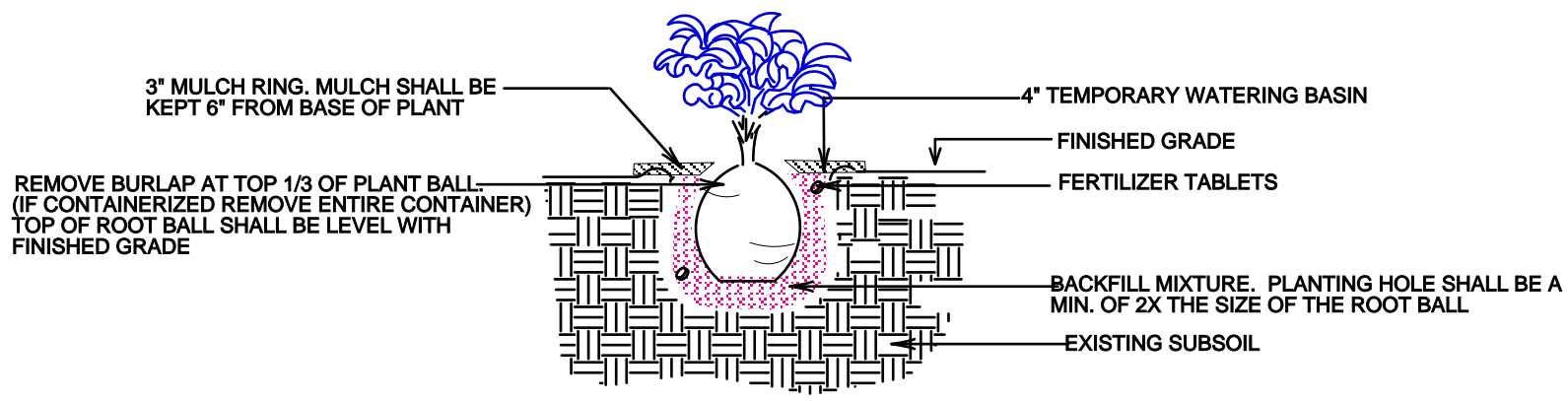


## ROOT BALL DETAIL



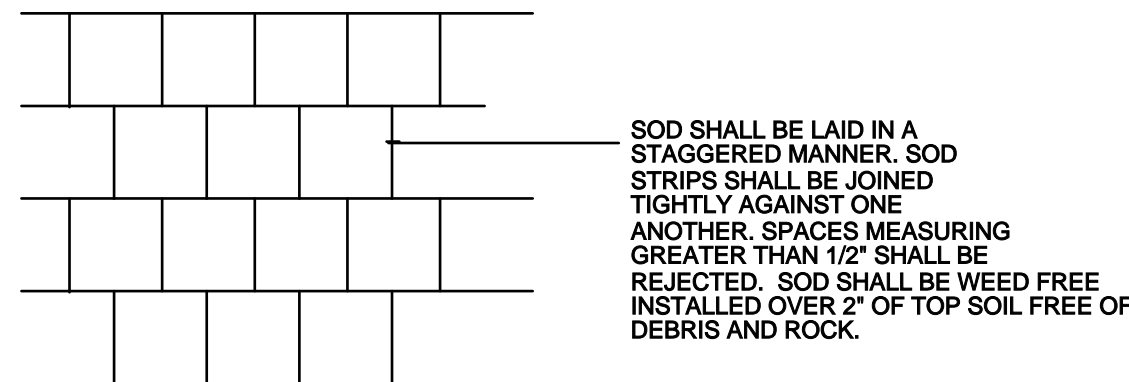
## GROUND COVER/ANNUALS PLANTING DETAIL

NOT TO SCALE



## SHRUB PLANTING DETAIL

NOT TO SCALE



## SOD PLANTING DETAIL

NOT TO SCALE

## REVISIONS:

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## SHEET TITLE:

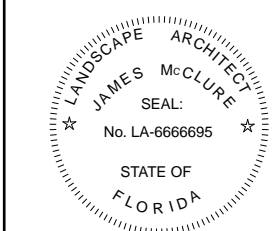
## LANDSCAPE DETAILS AND SPECIFICATIONS

CHI KEY WEST Medical Center RENOVATION

727 FORT STREET, KEY WEST, FL 33040

## PROJECT:

## SEAL:



DATE DRAWN: 9/17/2020

SHEET NO.

L-2



NOTE: ALL IRRIGATION EQUIPMENT SHOWN OUTSIDE OF PROPERTY LINES OR GREEN AREAS IS FOR GRAPHIC CLARITY ONLY. ALL EQUIPMENT SHALL BE INSTALLED WITHIN THE PROPERTY LINE AND WITHIN GREEN AREAS WHEREVER POSSIBLE. THE IRRIGATION DESIGN IS DRAWN FROM THE INFORMATION SUPPLIED FROM THE SITE PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE ALL LANDSCAPED AREAS WILL RECIEVE 100% IRRIGATION COVERAGE WITH 50% OVERLAP. CONTRACTOR MAY ADD OR ADJUST HEADS WHERE NECESSARY TO ENSURE COVERAGE.

THE CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR ANY DAMAGE DONE TO THE LANDSCAPING AS A RESULT OF IRRIGATION INSTALLATION TO EQUAL OR BETTER CONDITION.

ALL EQUIPEMENT SHALL BE INSTALLED PER THE LATEST REVISED SOUTH FLORIDA BUILDING CODE APPENDIX F.






THERE SHALL BE NO MACHINE TRENCHING WITHIN THE DRIPLINE OF EXISTING OR PROPOSED TREES.  
ALL TRENCHES SHALL BE HAND DUG WITHIN THESE AREAS.  
CONTRACTOR SHALL REFER TO LANDSCAPE PLAN FOR PROPOSED AND EXISTING MATERIALS AS NOTED ON SHEET L-1 (LANDSCAPE PLAN)





CONTRACTOR SHALL VERIFY THE LOCATIONS OF EXISTING OR PROPOSED UTILITIES PRIOR TO STARTING WORK. CONTRACTOR SHALL ADJUST EQUIPMENT WHERE NECESSARY TO AVOID CONFLICTS. CONTRACTOR SHALL SITE ADJUST ADD OR REMOVE IRRIGATION HEADS TO TO ENSURE ALL GREEN AREAS RECIEVE 100% COVERAGE

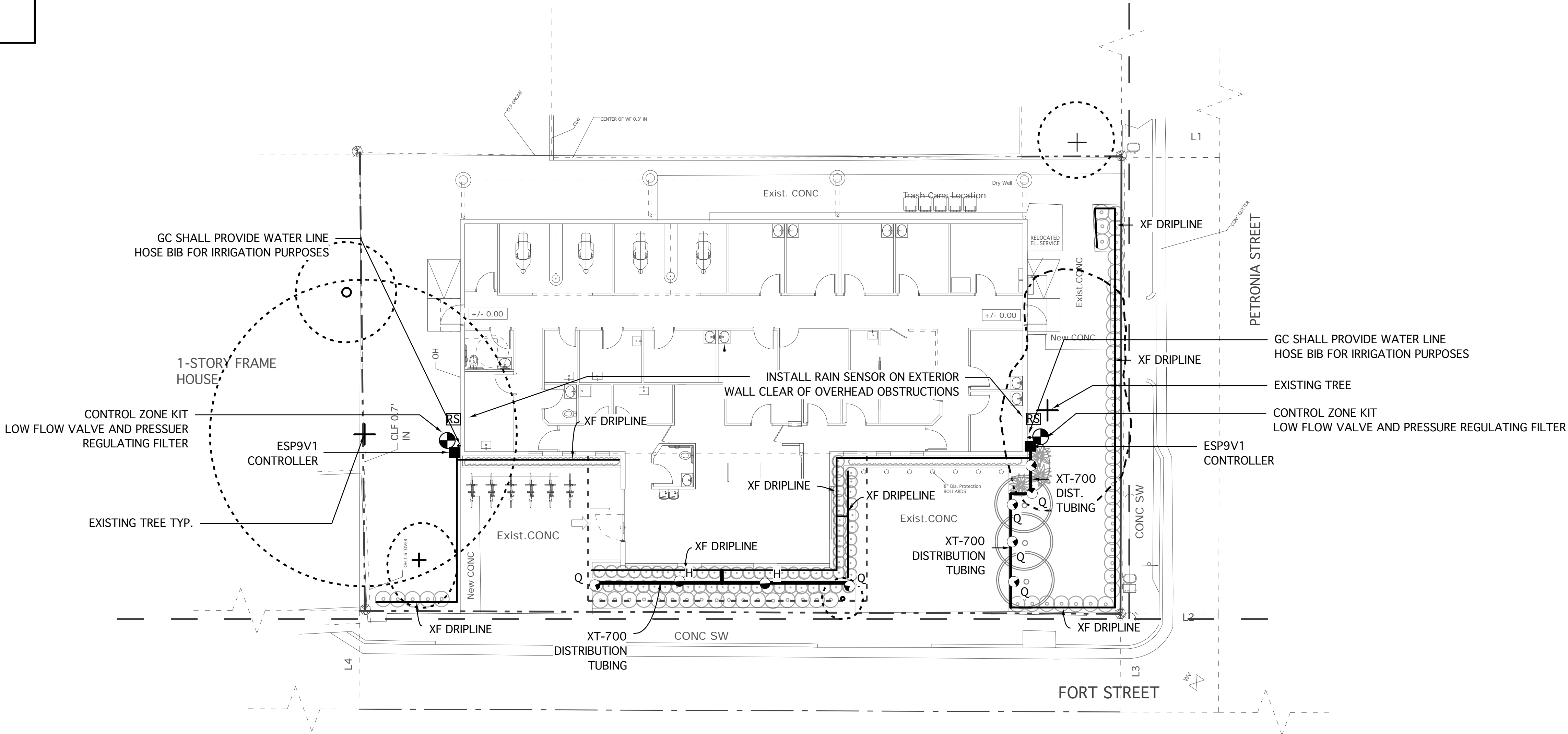
NOTE: THERE SHALL BE NO MACHINE TRENCHING AROUND EXISTING TREES FOR IRRIGATION LINES. ALL PIPE WITHIN DRIP LINE OF TREES SHALL BE HAND DUG TO AVOID DAMAGE TO ROOT SYSTEM

PIPE SLEEVING SCHEDULE

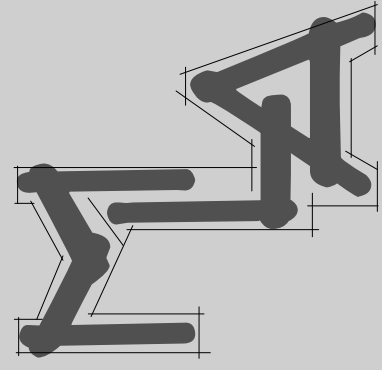
| PIPE SIZE | SLEEVE SIZE |
|-----------|-------------|
| 1"        | 2"          |
| 1 1/4"    | 2"          |
| 1 1/2"    | 3"          |
| 2"        | 4"          |
| 2 1/2"+   | 6"          |

| LEGEND  |                  |
|---|------------------|
|  | CONTROL ZONE KIT |
|  | XERI POP 180°    |
|  | XERIR POP, 90°   |
|  | 4' NOZZLE        |
|  | 4' NOZZLE        |

| LEGEND  |   |
|---|---|
|  | XCZ-075-PRF .2-5 GPM<br>INSTALL IN STANDAR VALVE<br>BOX         |
|  | RAINBIRD ESP9V1 BATTERY<br>OPERATED CONTROLLER<br>(1 ZONE)      |
|  | RSDBEX RAIN SENSOR<br>WITH BRACKET                              |
|  | RAIN BIRD XERIR POP<br>XP-1200 IN SHRUB BEDS<br>PSI RANGE 20-50 |



LA 666695 USA 0827A  
1016 W 45th Street  
Oakland Park, FL 33354  
Tel: 954-763-4091  
954-763-1047  
e - mlagraphics@ymail.com  
mlagraphics.com



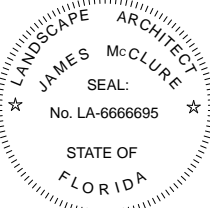
landscape architecture

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| REVISIONS: |
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SHEET TITLE:  
**MICRO SPRAY &  
DRIP IRRIGATION  
PLAN**

CHI KEY WEST Medical  
Center  
RENOVATION  
727 FORT STREET, KEY  
WEST, FL 33040

SEAL:



SCALE: 1"=10'  
DATE DRAWN: 9/17/2020  
SHEET NO.

**PLANNING BOARD  
RESOLUTION NO. 2020-32**

**A RESOLUTION OF THE KEY WEST PLANNING BOARD  
GRANTING A MAJOR DEVELOPMENT PLAN AND A  
LANDSCAPE WAIVER APPROVAL PURSUANT TO  
SECTIONS 108-91.A.2.(B) AND 108-517 OF THE LAND  
DEVELOPMENT REGULATIONS OF THE CODE OF  
ORDINANCES OF THE CITY OF KEY WEST, FLORIDA  
FOR THE CONSTRUCTION OF A 3,693 SQUARE FOOT ONE  
STORY COMMUNITY HEALTH CENTER CONTAINING  
PRIMARY CARE OFFICES, DENTAL OFFICES,  
LABORATORY TESTING, AND CLERICAL OFFICE SPACE  
ON PROPERTY LOCATED AT 727 FORT STREET (RE #  
00013990-000000) IN THE HISTORIC MEDIUM DENSITY  
RESIDENTIAL (HMDR) ZONING DISTRICT; PROVIDING  
FOR AN EFFECTIVE DATE**

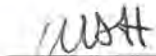
**WHEREAS**, Section 108-91 of the Code of Ordinances (the “Code”) of the City of Key West, Florida (the “City”) provides that within the Historic District, a Major Development Plan is required for the addition or reconstruction of equal to or greater than 2,500 square feet of gross floor area; and


**WHEREAS**, the proposed use of the property is medical services, which is an approved use within the Historic Neighborhood Commercial (HNC-4) zoning district pursuant to Code Section 122-872 (6) and

**WHEREAS**, waivers to the City’s landscaping requirements request are pursuant to City Code Section 108-517; and

**WHEREAS**, Code Section 108-196(a) require the Planning Board to review and approve, approve with conditions or deny the proposed Major Development Plan in an advisory capacity to the City Commission; and

**WHEREAS**, Code Section 108-517(a) requires the Planning Board to consider the landscape

 Chairman

 Planning Director



waiver request and render the final action; and

**WHEREAS**, this matter came before the Planning Board at a duly noticed public hearing on September 17, 2020; and

**WHEREAS**, the granting of a Major Development Plan and Landscape Waiver application is consistent with the criteria of the Code of Ordinances; and

**WHEREAS**, the Planning Board finds that the granting of a Major Development Plan and Landscape Waiver application is in harmony with the general purpose and intent of the Land Development Regulations, and will not be injurious to the neighborhood, or otherwise detrimental to the public welfare.

**NOW, THEREFORE, BE IT RESOLVED** by the Planning Board of the City of Key West, Florida:

**Section 1.** That the above recitals are incorporated by reference as if fully set forth herein.

**Section 2.** The Major Development Plan and Landscape Waiver for the construction of a 3,693 square foot one story community health center containing primary care offices, dental offices, laboratory testing, and clerical office space on property located at 727 Fort Street (re # 00013990-000000) in The Historic Medium Density Residential (HMDR) zoning district pursuant to Sections 108-91.A.2.(b) and 108-517 of the Land Development Regulations of the Code of Ordinances of the City of Key West, Florida, as shown in the attached plans dated July 20, 2020, is hereby approved with the following conditions:

**General conditions:**

**Conditions of Approval:**

1. A stormwater management plan be submitted according to Sec. 108-777, that requires developments to provide a stormwater management plan that retains the greater of one inch of runoff based on the site upland area or 2.5 inches times percent of impervious coverage.

2. The applicant shall obtain final landscape plan approval from the Tree Commission and fully comply with the Urban Forester's recommendations on modified screening, buffering, and landscape requirements.

3. Building plans must comply with plans submitted by ARCHITECTURA GROUP MIAMI INC on 6/1/2020 and 7/20/20 and submitted with this Resolution.

4. The parking lot at 918 Fort Street is unmetered, owned by the City of Key West, and currently unencumbered. The Fort Street Parking Lot is located approximately 370 feet from the proposed community health clinic (the principal structure of the activity at 727 Fort Street). The City of Key West shall retain the unmetered public parking lot on Fort street for the duration of the principal use of the community health center. Signage indicating that off-site parking is available at the Fort Street Parking Lot shall be installed on the project site at 727 Fort Street. Proposed off-site parking signage shall be reviewed and approved in accordance with adopted Historic Architectural Review Commission guidelines.

**Conditions prior to issuance of a Certificate of Occupancy:**

1. The property must be rezoned to the Historic Neighborhood Commercial (HNC-4) zoning district, or another zoning district in which *Medical Services* is a permitted use, before a final certificate of occupancy can be granted.


2. All requirements per Section 2-487 for Art in Public Places be met unless waived per Section 2-487 (c) (1) c.


**Section 3.** Full, complete and final application for all permits required for which this resolution is wholly or partly necessary, shall be submitted in its entirety within 12 months after the date hereof.

**Section 4.** This Major Development Plan and Landscape Waiver application approval by the Planning Board does not constitute a finding as to ownership or right to possession of the property, and assumes, without finding, the correctness of the applicant's assertion of legal authority respecting the property.

**Section 5.** This resolution shall go into effect immediately upon its passage and adoption and authentication by the signatures of the presiding officer and the Clerk of the Board.

**Section 6.** This resolution is subject to appeal periods as provided by the City of Key West Code of Ordinances (including the Land Development Regulations). After the City appeal period has expired, this permit or development order shall be rendered to the Florida Department of Economic Opportunity. Pursuant to Chapter 73C-44, F.A.C., this permit or development order is not effective for 45 days after it has been properly rendered to the DEO with all exhibits and applications attached to or incorporated by reference in this approval; that within the 45-day review period, the DEO can appeal the permit or development order to the Florida Land and Water Adjudicatory Commission; and that such an appeal stays the effectiveness of the permit until the appeal is resolved by agreement or order.

  
Chairman

 Planning Director



Read and passed on first reading at a regularly scheduled meeting held this 17<sup>th</sup> day of September 2020.

Authenticated by the Chairman of the Planning Board and the Planning Director.

Sam Holland 9-23-20  
Sam Holland, Planning Board Chairman Date

**Attest:**

Katie P. Halloran 9/25/2020  
Katie P. Halloran, Planning Director Date

**Filed with the Clerk:**

Cheryl Smith 9-28-2020  
Cheryl Smith, City Clerk Date

CSH Chairman  
KPH Planning Director

# STAFF REPORT

DATE: September 15, 2020

RE: **727 Fort Street (project number #T2020-0006)**

FROM: Karen DeMaria, City of Key West Urban Forestry Manager

A Conceptual Landscape Plan review was requested for a major development plan at 727 Fort Street. The building on the property is being redeveloped/remodeled for the creation of a medical clinic. None of the existing trees will be disturbed and are to be protected and will remain. Therefore, Tree Commission approval is not needed at this time. City Code allows for the Urban Forestry manager to submit a memo to the file regarding the conceptual landscape plan review to allow the project to be reviewed by the Planning board and HARC. Final landscape plan approval must be reviewed by the Tree Commission.

A quick review was done on September 3, 2020 based on incomplete documents and an e-mail was sent to the representatives of the project requesting additional information. No additional information has been received. Therefore, a proper review, as per code, can not be made due to the lack of information and an accurate plan.

There were three documents used for the quick review (see attached). The first document is the submitted landscape plan. Please note that this plan does not reflect accurately the location of existing trees on or near the property and is not signed and sealed by a landscape architect as required by the City Code. The second document is a page from the building permit file. It shows a planter with plants next to the building along Fort Street. Information about this planter should be on the proposed landscape plan (size of planters, what is being planted-species name and plant count). The third item is a photo of the approved tree map that is also in the building permit file. This photo accurately shows all the trees in the area and should be on the plan that is used to base the landscape plan on.

Reviewing the landscape provisions of the code, the above stated documents, and a survey of the property the following information was noted for the file:

Plant Unit Counts: a canopy tree is valued at 10 plant units, an ornamental/sub canopy tree is valued at 5 units and shrubs are 1 plant unit. Credit is given for existing trees. Sec 108-451 does allow for a 2 tree plant unit credit for existing trees that are of exceptional quality. The large Mahogany tree along the Petronia Street area of the property and the Strangler Fig tree along the northwestern property line area would fall under this classification and therefore each tree is worth 20 plant units/2 trees.

Sec 108-347 and 348 Buffer Yard: The clinic would be a medium impact. It is bordered on two sides by predominately single family residences therefore the bufferyard is a "D" requirement. An opaque fence is required and 15-37 plants units are also required dependent on the width of the bufferyard (no bufferyard area has been proposed). Sec 108-352.2 allows the reduction of required landscaping based on the existence of abutting landscaping and fences.



Along the northwest bufferyard there is the strangler fig tree which counts for 2 trees and 20 plant units. There is also a mango tree on the neighboring property whose trunk is within 5 ft of the property line and whose canopy overhangs onto 727 Fort Street. Part of this property line area also contains a tall wooden (opaque) fence. There is a house whose exterior wall sits on the property line near Fort Street.

Along the northern property line there is no vegetation except weeds. The neighbor does have a tall wooden (opaque) fence along this property line.

Section 108-411 requires a proper landscape plan be submitted for development plans that include species name, number of plants and size as well as the dimensions. At this time, this information has not been submitted except for the plant species proposed to be planted along the property line with Petronia Street and part of Fort Street.

Sec 108-412 states minimum landscape requirements that include a minimum of 20% open space and that the plantings are 70% plant species. The species listed on the plan to be planted along Petronia and Fort Streets is considered a native species.

Sec 108-413 determines the landscaping required along the street scape. If the property is less than 0.5 acre, a 10 ft wide landscape area is required with 40 plant units per 100 linear ft. There is a plumeria/frangipani "tree" along the Fort Street required landscape area. This tree is worth 5 plant units.

Depending on their actual location on the property, there is an existing bottlebrush tree near Fort Street that is worth 10 plant units or one tree and along Petronia Street there is a mahogany tree that is worth 2 trees and 20 plant units. These trees are either within the required street landscape area or the interior landscape area (Sec 108-416).

Part b of this section of code states that all other areas of the property not covered by hardscape (building, sidewalk, parking utilities) must be covered by grass or a groundcover. Section 108-416 (B) also has this provision. No information has been provided at this time regarding what will be placed, if anything, in the rest of the land area.

Section 108-416 covers those interior areas not part of the bufferyard or street scape and if this area is less than 30% of the site, 4 trees are required to be planted for every 2,000 sq ft of land that meets this category. At this time information needed to evaluate this portion of the code has not been provided.

Therefore, the Urban Forester can not give an approval of the Conceptual Landscape Plan, as submitted, due to the lack of information.

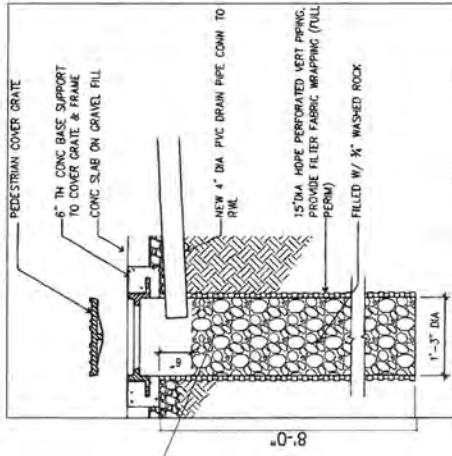


Karen DeMaria  
Urban Forestry Manager  
City of Key West





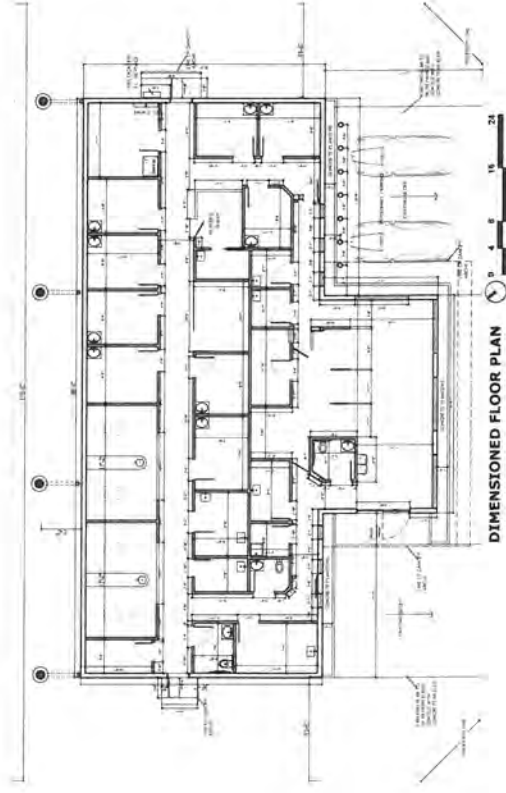
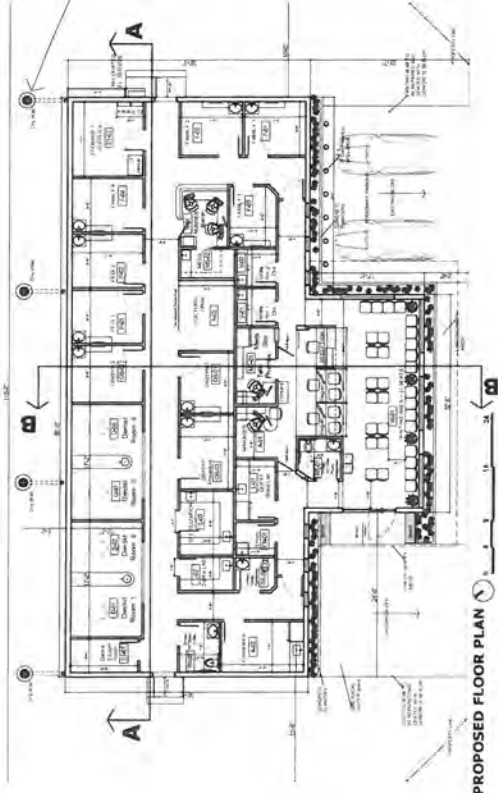




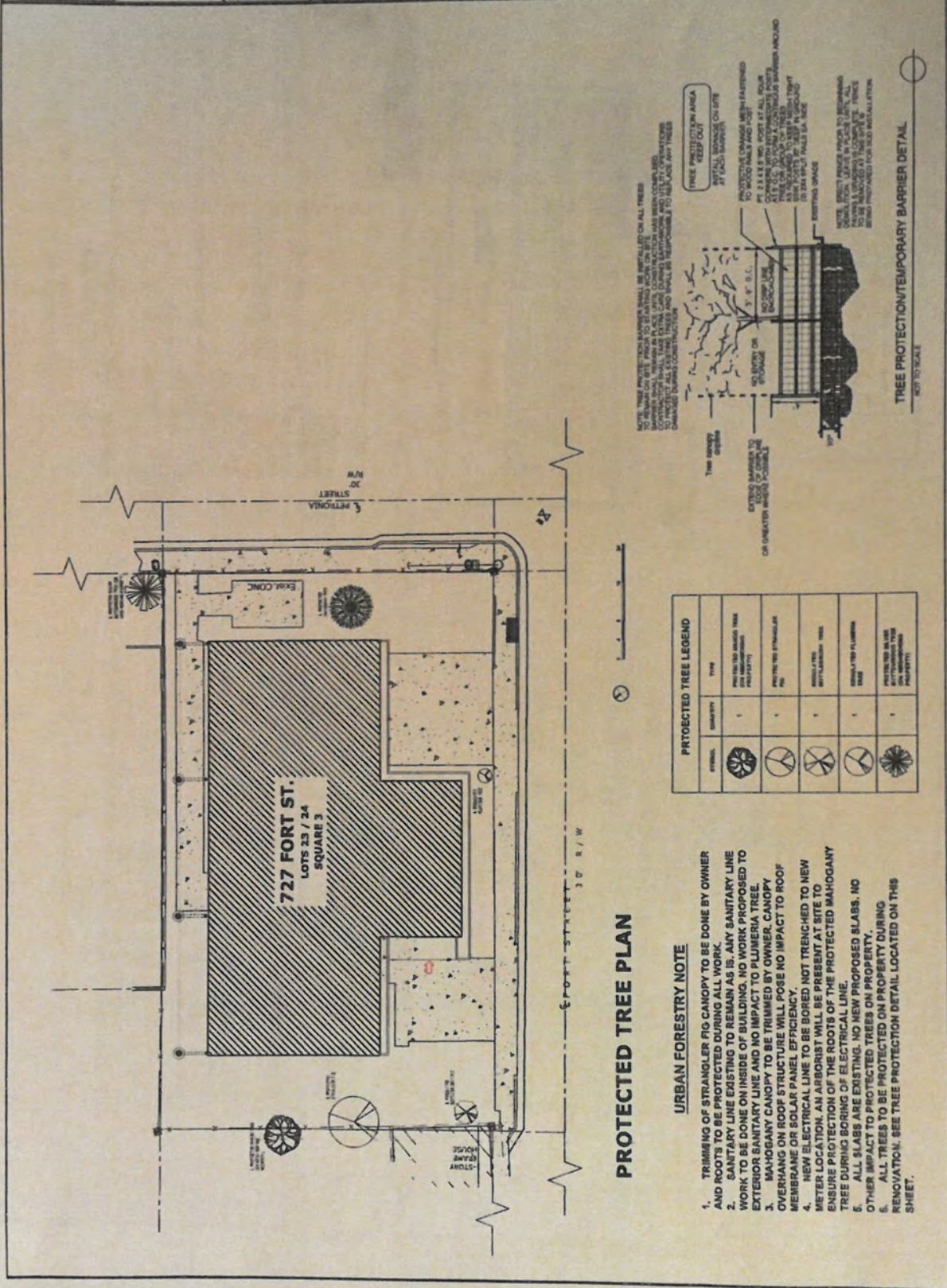
URBAN FORESTRY NOTE  
MAHOAGNY CANOPY TO BE TRIMMED BY OWNER.  
CANOPY TO BE TRIMMED TO MAINTAIN  
POSE NO IMPACT TO ROOF MINIMIZE OR SOLAR  
PANEL EFFICIENCY.



ROOF DRAIN CALCULATIONS  
AREA (Sq Ft) X 0.0104 X 5 (GPM/Sq Ft) = TOTAL AREA GPM  
ROOF AREA DRAIN BY 4 X 8 in Dia. Vertical Leaders to 4 Drywells :  
AREA : 3,550 Sq Ft  
PARAPET : 190' L X 18" H = 285 Sq Ft / 2 = 143 Sq Ft  
TOTAL = 3,693 x 0.0104 x 5 = 192 GPM  
192 GPM / 4 Vertical Leaders to 4 Drywells =  
48 GPM / per Drywell



























# Application





TP2020-0007

## Tree Permit Application

Please Clearly Print All Information unless indicated otherwise. Date: 9-21-20

Tree Address 727 Fort St  
Cross/Corner Street Petronia St  
List Tree Name(s) and Quantity Final Landscape Plan Approval  
Species Type(s) check all that apply ( ) Palm ( ) Flowering ( ) Fruit ( ) Shade ( ) Unsure

Reason(s) for Application:

- ( ) Remove ( ) Tree Health ( ) Safety ( ) Other/Explain below  
( ) Transplant ( ) New Location ( ) Same Property ( ) Other/Explain below  
( ) Heavy Maintenance Trim ( ) Branch Removal ( ) Crown Cleaning/Thinning ( ) Crown Reduction

Additional Information and Explanation Major Development Plan to remodel existing structure into a clinic. No tree removal proposed.

Property Owner Name City of Key West  
Property Owner email Address \_\_\_\_\_  
Property Owner Mailing Address PO Box 1409 KW FL 33041  
Property Owner Phone Number 305-809-3747  
Property Owner Signature [Signature]

Representative Name STEVE McALEARNY  
Representative email Address SMCALEARNY@CITYOFKEYWEST-FL.GOV  
Representative Mailing Address 1300 WHITE ST, KW, FL 33040  
Representative Phone Number 305-809-3747

NOTE: A Tree Representation Authorization form must accompany this application if someone other than the owner will be representing the owner at a Tree Commission meeting or picking up an issued Tree Permit. Tree Representation Authorization form attached ( )

Sketch location of tree in this area including cross/corner Street

Please identify tree(s) with colored tape

If this process requires blocking of a City right-of-way, a separate ROW Permit is required. Please contact 305-809-3740.

## Karen DeMaria

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**From:** Nicolae Popescu <architectura.group.miami@gmail.com>  
**Sent:** Tuesday, September 29, 2020 3:01 PM  
**To:** Karen DeMaria  
**Cc:** agmiami.inc@gmail.com; mfinizio@chisouthfl.org; kgould@chisouthfl.org; Katie P. Halloran; Steven P. McAlearney  
**Subject:** Re: FW: Landscaping for 727 Fort St Key West  
**Attachments:** 727 FORT ST. LANDSCAPE PLANS 09.29.20.pdf

Karen

Please see attached the updated landscape plans.

Here is the response from our landscape architect:

Response:

The dimensions were added where indicated on the plan.

The compaction and weed barrier was removed from the detail. Pea gravel is preferred due to the amount shade in these areas vs. sod.

Scott McClure, RLA  
M.L.A. Group, Inc.  
Landscape Architecture+Planning+Design  
1016 NE 45th Street Oakland Park, FL 33334  
Tel. 954-763-4071  
[www.mlagroupinc.com](http://www.mlagroupinc.com)

If you have any further questions or comments please let us know.

Thank you and regards.

**Nicolae Popescu**

VP of Operations / Managing Member

## **ARCHITECTURA GROUP MIAMI INC.**

**USA Office:** 1920 E Hallandale Beach Blvd, Suite PH 11, Hallandale Beach, Florida, 33009

Mobile: [1.954.401.5082](tel:19544015082) Ph: [1.954.674.5985](tel:19546745985)

EMAIL: [architectura.group.miami@gmail.com](mailto:architectura.group.miami@gmail.com) / [nick@architeturagroup.com](mailto:nick@architeturagroup.com)

**SKYPE:** architeturagroup

**EUROPE Office:** ASA Business Center - 24, Alexandru Campeanu Street, Bucharest, Romania

[www.ArchitecturaGroup.com](http://www.ArchitecturaGroup.com)

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