



Historic Architectural Review Commission Staff Report for Item 3

To: Chairman Bryan Green and Historic Architectural Review Commission Members

From: Enid Torregrosa-Silva, MSHP
Historic Preservation Planner

Meeting Date: November 24, 2020

Applicant: Shift Construction

Application Number: Bldg. 2019-2202

Address: 819 White Street

Description of Work:

After-the Fact – New covered open porch and entry stair facing Pine Street.

Site Facts:

This property contains two buildings that first appear on the 1948 Sanborn map – 819 White Street and 1202 Pine Street. Neither are listed as contributing resources in the survey. These two structures have been renovated, and work done included a new connector between both structures. The new covered porch under review sits in the portion of the building located in the corner of the lot.

Guidelines Cited on Review:

- Entrances, porches and doors (pages 32-33), specifically guideline 8.
- Additions and alterations (pages 37a-37k), specifically guidelines 1, 6, 11, 12, 13, and 14.
- New Construction (pages 38a-q), specifically guidelines 1, 2, 3, 8, 9, 12, 14, 16, 17, 18, 22, and 23.

Staff Analysis:

The Certificate of Appropriateness under review is for an after the fact construction of a covered street side porch on a historic and non-contributing structure. In September 27, 2018 the Commission approved plans

for renovations to the existing house, which included, among others, a new addition between two structures and a wood deck on the corner building, facing Pine Street. This new covered side porch received Planning Board approval under Resolution 2020-37 for street side yard variance and building coverage, as the new structure exceeded both land development regulations restrictions.

The new covered porch covers the depth of the corner building. The frame structure has a hipped roof covered with metal V-crimp panels. No railings are proposed for the side porch, but only for the entry stoops. The new roof encroaches 1.9 feet to the required street side yard.

Consistency with Cited Guidelines:

It is staff's opinion that the proposed one-story street side porch meets the cited guidelines. Although it is an addition to an existing historic building and it is visible from the street, the new covered porch does not overshadow nor obscures character defining features of the building and site. As the house is non-contributing, specific cited guidelines for additions and porches do not apply to this building as those guidelines are more restrictive to new visible porches on contributing resources.

APPLICATION

COMBINATION APPLICATION: FLOODPLAIN, CONSTRUCTION AND HARC

\$50.00 APPLICATION FEE NON-REFUNDABLE



City of Key West

1300 WHITE STREET
KEY WEST, FLORIDA 33040

Phone: 305.809.3956

BLDG@CITYOFKEYWEST-FL.GOV

HARC PERMIT NUMBER		BUILDING PERMIT NUMBER		INITIAL & DATE
		BLD2019-2202		PDM
FLOODPLAIN PERMIT		ZONING		REVISION #
FLOOD ZONE	PANEL #	ELEV. L. FL.	SUBSTANTIAL IMPROVEMENT	
			<input type="radio"/> YES <input checked="" type="radio"/> NO 0.0% %	

ADDRESS OF PROPOSED PROJECT:

819 PINE ST.

OF UNITS

RE # OR ALTERNATE KEY:

NAME ON DEED:

BARB & BOB

PHONE NUMBER

207 222 5071

OWNER'S MAILING ADDRESS:

819 PINE ST

EMAIL

CONTRACTOR COMPANY NAME:

STREET CONSTRUCTION CO.

PHONE NUMBER

305.304 9082

CONTRACTOR'S CONTACT PERSON:

MARK MAYOR

EMAIL

MARK.MCSTREETCONSTRUCTION.COM

ARCHITECT / ENGINEER'S NAME:

SNYDER

PHONE NUMBER

ARCHITECT / ENGINEER'S ADDRESS:

EMAIL

HARC: PROJECT LOCATED IN HISTORIC DISTRICT OR IS CONTRIBUTING: ☐ YES ☒ NO (SEE PART C FOR HARC APPLICATION.)

CONTRACT PRICE FOR PROJECT OR ESTIMATED TOTAL FOR MAT'L., LABOR & PROFIT:

\$

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083.

DETAILED Project Description...(The applicant further hereby acknowledges that the scope of work as described shall be the scope of work that is considered by the City. Should further action be taken by the City for exceeding the scope of the description of work as described herein versus the scope of work shown on the plans or other documents submitted with the application, the aforementioned description of work shall be controlling.)

COMPLETION OF COVERED, OPEN PORCH AS A REASONABLE MODIFICATION MADE TO SATISFY A DISABILITY.

Printed name of property owner or licensed contractor.

Nailyn Snyder

Signature.

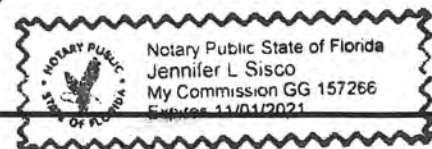
Nailyn Snyder

Notary Signature as to applicant. State of Florida, County of Monroe, Sworn to and subscribed before me.

Personally known or produced

as identification.

Official Use Only:



PART B: SUPPLEMENTARY PROJECT DETAILS TO AVOID DELAYS / CALL-BACKS

PROPERTY STRUCTURES AFFECTED BY PROJECT: ☒ MAIN STRUCTURE ☐ ACCESSORY STRUCTURE ☐ SITE

ACCESSORY STRUCTURES: ☐ GARAGE / CARPORT ☐ DECK ☐ FENCE ☐ OUTBUILDING / SHED

FENCE STRUCTURES: ☐ 4 FT. ☐ 6 FT. SOLID ☐ 6 FT. / TOP 2 FT. 50% OPEN

POOLS: ☐ INGROUND ☐ ABOVE GROUND ☐ SPA / HOT TUB ☐ PRIVATE ☐ PUBLIC

PUBLIC POOLS REQUIRE BD. OF HEALTH LICENSE APPLICATION AT TIME OF CITY APPLICATION.

PUBLIC POOLS REQUIRE BD. OF HEALTH LICENSE PRIOR TO RECEIVING THE CITY CERTIFICATE OF OCCUPANCY.

ROOFING: ☐ NEW ☐ ROOF-OVER ☐ TEAR-OFF ☐ REPAIR ☐ AWNING

☐ 5 V METAL ☐ ASPLT. SHGLS. ☐ METAL SHGLS. ☐ BLT. UP ☐ TPO ☐ OTHER

FLORIDA ACCESSIBILITY CODE: ☐ 20% OF PROJECT FUNDS INVESTED IN ACCESSIBILITY FEATURES.

SIGNAGE: ☐ # OF SINGLE FACE ☐ # OF DOUBLE FACE ☐ REPLACE SKIN ONLY ☐ BOULEVARD ZONE

☐ POLE ☐ WALL ☐ PROJECTING ☐ AWNING ☐ HANGING ☐ WINDOW

SQ. FT. OF EACH SIGN FACE:

SUBCONTRACTORS / SPECIALTY CONTRACTORS SUPPLEMENTARY INFORMATION:

☐ MECHANICAL: ☐ DUCTWORK ☐ COMMERCIAL EXH. HOOD ☐ INTAKE / EXH. FANS ☐ LPG TANKS

A/C: ☐ COMPLETE SYSTEM ☐ AIR HANDLER ☐ CONDENSER ☐ MINI-SPLIT

☐ ELECTRICAL: ☐ LIGHTING ☐ RECEPTACLES ☐ HOOK-UP EQUIPMENT ☐ LOW VOLTAGE

SERVICE: ☐ OVERHEAD ☐ UNDERGROUND ☐ 1 PHASE ☐ 3 PHASE _____ AMPS

☐ PLUMBING: ☐ ONE SEWER LATERAL PER BLDG. ☐ INGROUND GREASE INTCPTRS ☐ LPG TANKS

RESTROOMS: ☐ MEN'S ☐ WOMEN'S ☐ UNISEX ☐ ACCESSIBLE

PART C: HARC APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS

APPLICATION FEES: PAINTING SINGLE FAMILY: \$10 STAFF APPROVAL: \$50 COMMISSION REVIEW \$100

PLEASE ATTACH APPROPRIATE VARIANCES / RESOLUTIONS FROM HARC, PLANNING BOARD OR TREE COMMISSION.

ATTENTION: NO BUILDING PERMITS WILL BE ISSUED PRIOR TO HARC APPROVAL.

PLEASE SEND ELECTRONIC SUBMISSIONS TO: harc@cityofkeywest-fl.gov

INDICATE TYPE OF CERTIFICATE OF APPROPRIATENESS: ☐ GENERAL ☐ DEMOLITION ☐ SIGN ☐ PAINTING ☐ OTHER

ADDITIONAL INFORMATION: _____

PROJECT SPECIFICATIONS: PLEASE PROVIDE PHOTOS OF EXISTING CONDITIONS, PLANS, PRODUCT SAMPLES, TECHNICAL DATA		
ARCHITECTURAL FEATURES TO BE ALTERED:	ORIGINAL MATERIAL:	PROPOSED MATERIAL:

DEMOLITION: PLEASE FILL OUT THE HARC APPENDIX FOR PROPOSED DEMOLITION.

DEMOLITION OF HISTORIC STRUCTURES IS NOT ENCOURAGED BY THE HISTORIC ARCHITECTURAL REVIEW COMMISSION.

SIGNAGE: (SEE PART B) ☐ BUSINESS SIGN ☐ BRAND SIGN ☐ OTHER: _____

BUSINESS LICENSE #

IF FAÇADE MOUNTED, SQ. FT. OF FAÇADE _____

SIGN SPECIFICATIONS		
SIGN COPY:	PROPOSED MATERIALS:	SIGNS WITH ILLUMINATION:
		TYPE OF LTG.:
		LTG. LINEAL FTG.:
MAX. HGT. OF FONTS:		COLOR AND TOTAL LUMENS:
IF USING LIGHT FIXTURES PLEASE INDICATE HOW MANY: INCLUDE SPEC. SHEET WITH LOCATIONS AND COLORS.		

OFFICIAL USE ONLY:			HARC STAFF OR COMMISSION REVIEW		
<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION <input type="checkbox"/> TABLED FOR ADD'L. INFO.					
HARC MEETING DATE:		HARC MEETING DATE:		HARC MEETING DATE:	
REASONS OR CONDITIONS:					
STAFF REVIEW COMMENTS:					
HARC PLANNER SIGNATURE AND DATE:			HARC CHAIRPERSON SIGNATURE AND DATE:		

PART D: STATE OF FLORIDA OFFICIAL NOTIFICATIONS AND WARNINGS

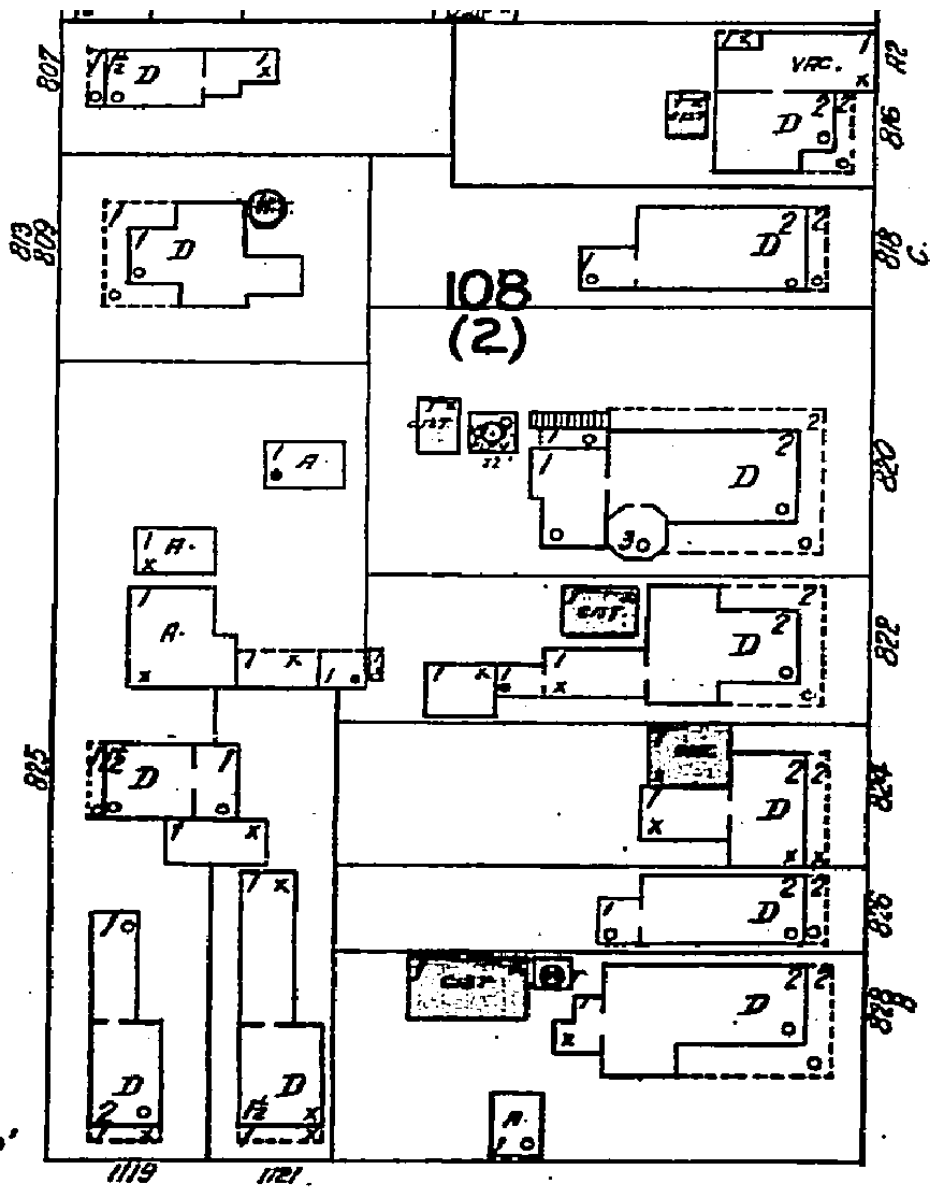
FLORIDA STATUTE 713.135: WARNING TO OWNER: YOUR FAILURE TO RECORD A 'NOTICE OF COMMENCEMENT' MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED WITH THE COUNTY RECORDER AND A COPY POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING A NOTICE.

FLORIDA STATUTE 469: ABESTOS ABATEMENT. AS OWNER / CONTRACTOR / AGENT OF RECORD FOR THE CONSTRUCTION APPLIED FOR IN THIS APPLICATION, I AGREE THAT I WILL COMPLY WITH THE PROVISIONS F. S. 469.003 AND TO NOTIFY THE FLORIDA D. E. P. OF MY INTENT TO DEMOLISH / REMOVE ASBESTOS. IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT APPLICATION, THERE MAY BE DEED RESTRICTIONS AND / OR ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF MONROE COUNTY AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENT ENTITIES SUCH AS AQUADUCT AUTHORITY, FLORIDA DEP OR OTHER STATE AGENCIES; ARMY CORPS OF ENGINEERS OR OTHER FEDERAL AGENCIES.

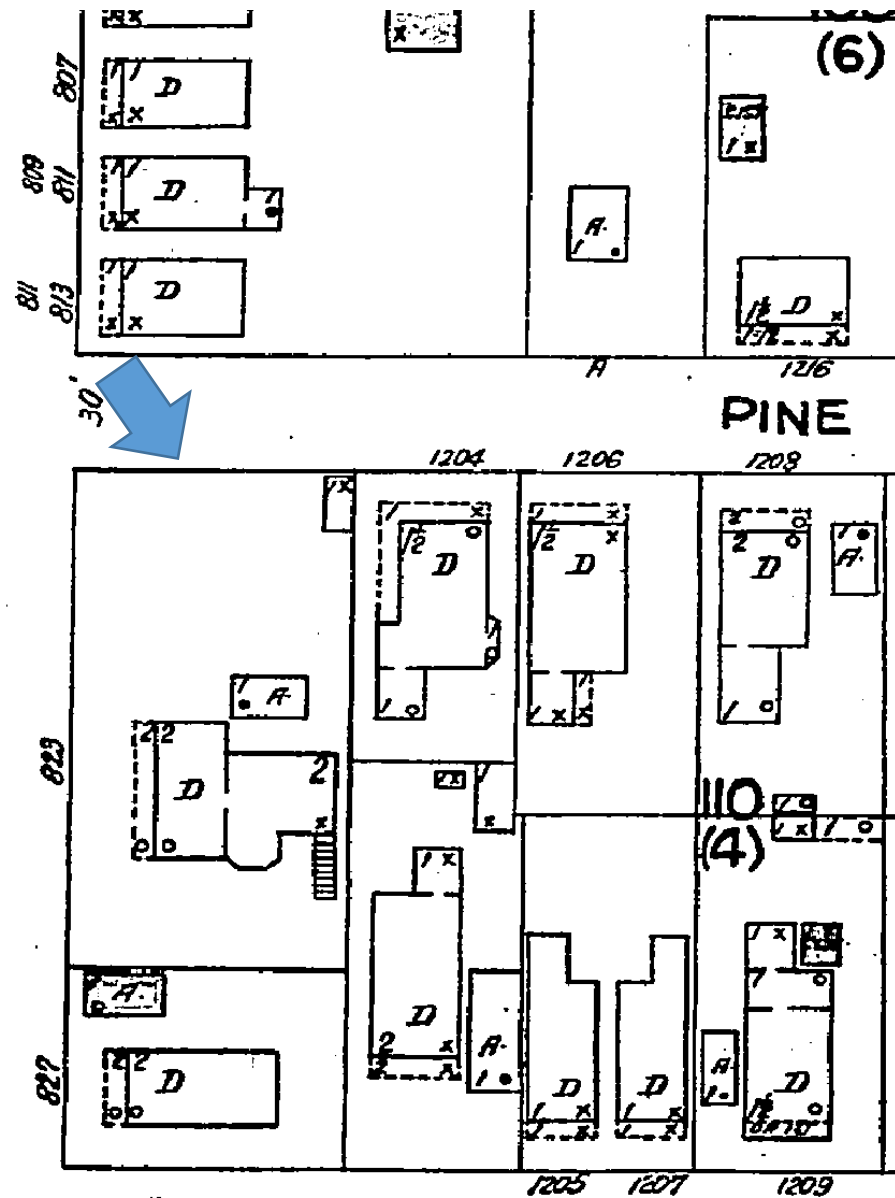
FEDERAL LAW REQUIRES LEAD PAINT ABATEMENT PER THE STANDARDS OF THE USDEP ON STRUCTURES BUILT PRIOR TO 1978.

ALL NECESSARY APPROVALS FROM ASSOCIATIONS, GOV'T. AGENCIES, AND OTHER PARTIES ARE THE APPLICANT'S RESPONSIBILITY.

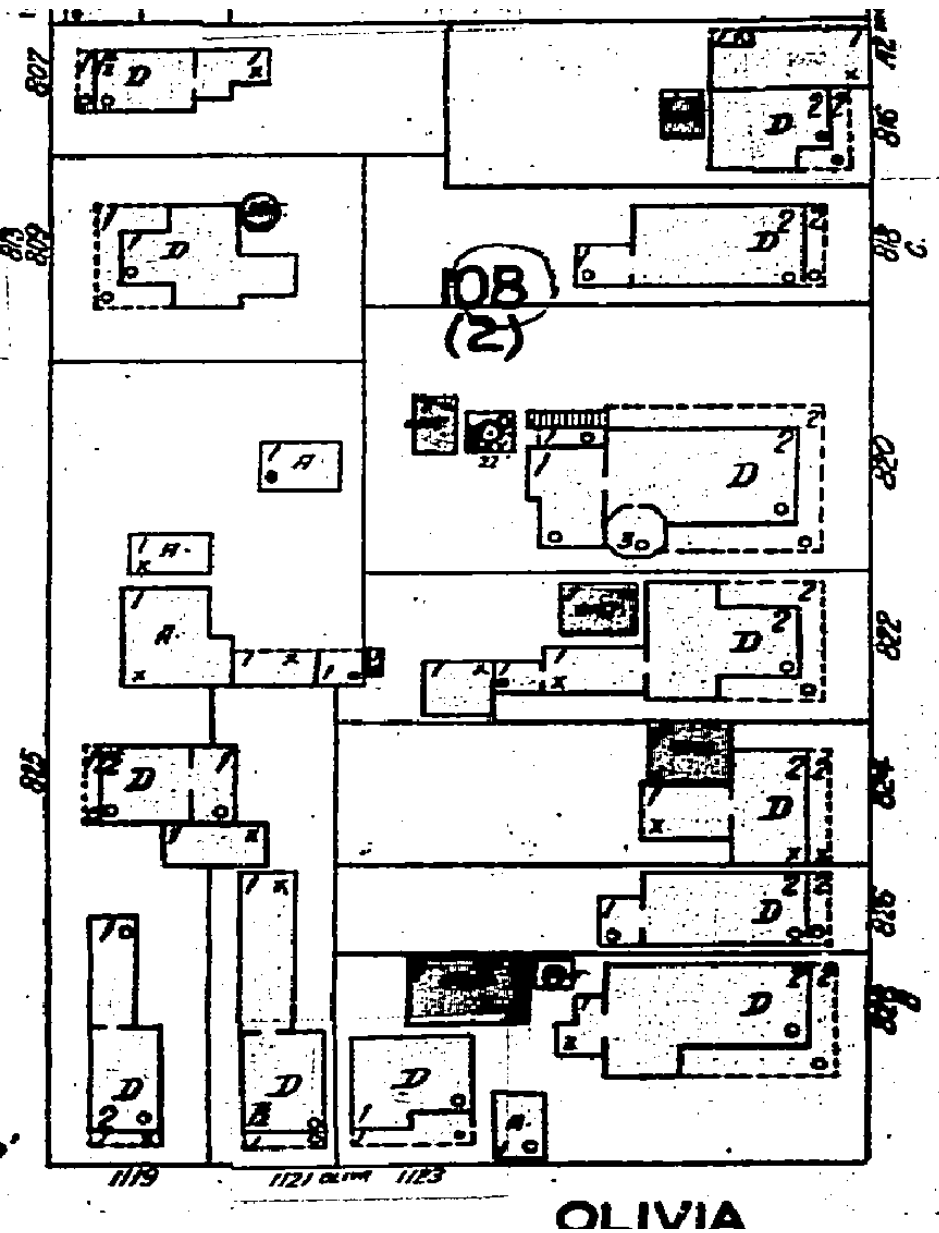
SANBORN MAPS



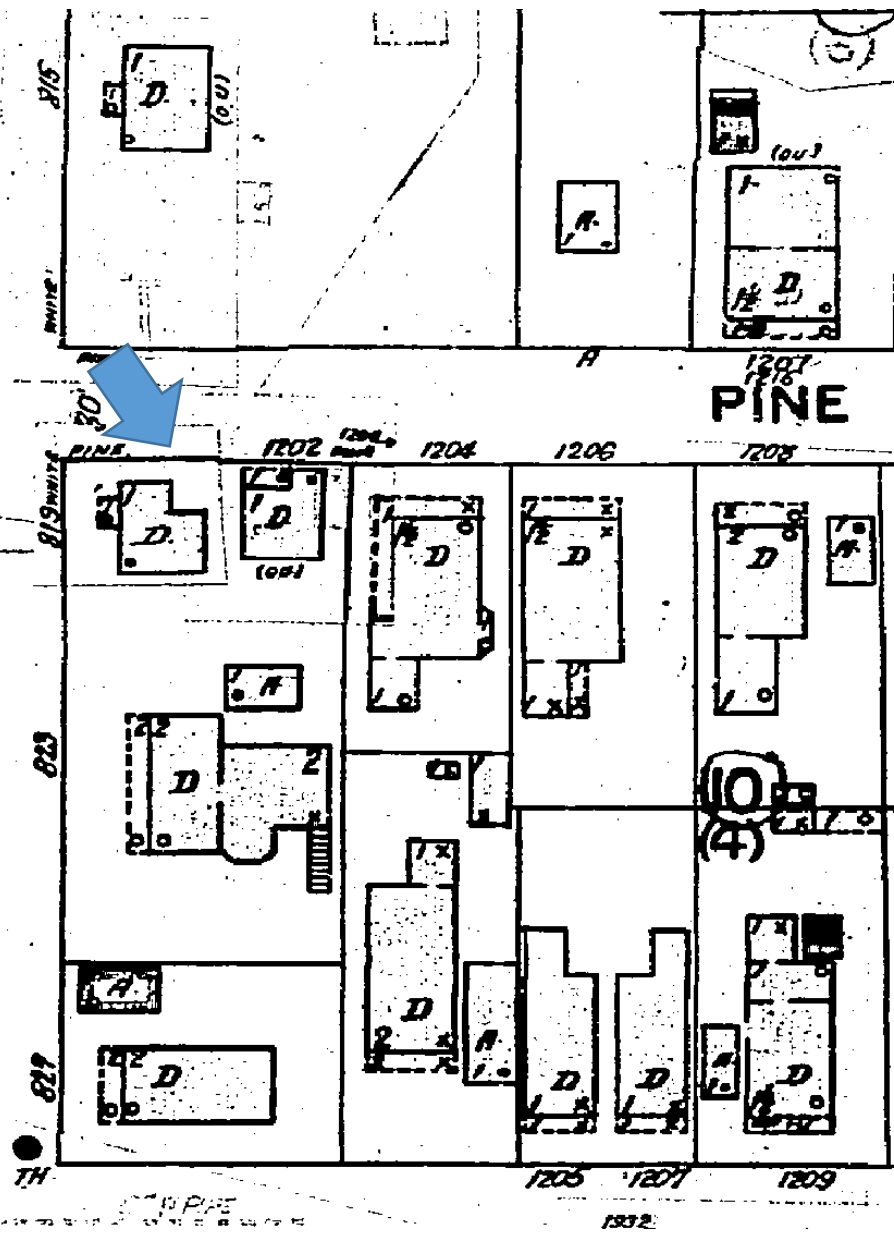
WHITE



1926 Sanborn Map



WHITE



1948 Sanborn Map



PROJECT PHOTOS



819 White Street. Property Appraiser's Photograph, c.1965. Monroe County Public Library.



1202 Pine Street. Property Appraiser's Photograph, c.1965. Monroe County Public Library.





PINE ST. WHITE ST.

ONE WAY
→





**BERKSHIRE
HATHAWAY**
HomeServices

Knight & Gardner Realty
305-509-2122
HeatherKeysRealEstate.com

FOR SALE
Heather Carruthers
305-509-2122

Public
Notice

SURVEY

1" = 10'
Assumed



- NOTE:
This Survey Map is not
full and complete without
the attached Survey Report.

3430 Duck Ave., Key West, FL 33040
(305) 296-7422 FAX (305) 296-2244

Boundary Survey Report of part of Tract 7. Island of Key West

NOTES:

1. The legal descriptions shown hereon were furnished by the client or their agent.
2. Underground foundations and utilities were not located.
3. All angles are 90° (Measured & Record) unless otherwise noted.
4. Street address: 819 White Street, Key West, FL.
5. This survey is not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
6. Lands shown hereon were not abstracted for rights-of-way, easements, ownership, or other instruments of record.
7. North Arrow is assumed and based on the legal description.
8. All concrete and bricking is not shown.
9. Date of field work: April 6, 2018.
10. This Survey Report is not full and complete without the attached Survey Map.
11. The ownership of fences is undeterminable unless otherwise noted.

BOUNDARY SURVEY OF: In the City of Key West, and known as Part of Tract Seven (7) according to Plat or map of the Island of Key West, delineated in February, 1829, but more particularly described by metes and bounds as follows:
Commencing at the corner of Pine and White Streets, and running thence along White Street in a Southeasterly direction Forty (40) feet; thence at right angles in a Northeasterly direction Forty (40) feet; thence at right angles in a Northwesterly direction Five (5) feet; thence at right angles in a Northeasterly direction Twenty-three (23) feet; thence at right angles in a Northwesterly direction Thirty-five (35) feet; thence at right angles in a Southwesterly direction Sixty-three (63) feet; back to the point of beginning.

BOUNDARY SURVEY FOR: Albert Hall, IV;
Richard M. Klitenick, PA;
Old Republic National Title Insurance Company;

I HEREBY CERTIFY that this survey was made under my responsible charge and meets the Standard of Practice as set forth by the Florida Board of Professional Surveyors & Mappers in Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

J. LYNN O'FLYNN, INC.

J. Lynn O'Flynn, PSM
Florida Reg. #6298

April 13, 2018

THIS SURVEY
IS NOT
ASSIGNABLE

Sheet Two of Two Sheets

J. LYNN O'FLYNN, Inc.



Professional Surveyor & Mapper
PSM #6298

3430 Duck Ave., Key West, FL 33040
(305) 296-7422 FAX (305) 296-2244

PROPOSED DESIGN

CONSTRUCTION PLANS FOR 819 WHITE ST AND 1202 PINE ST

SITE LOCATION



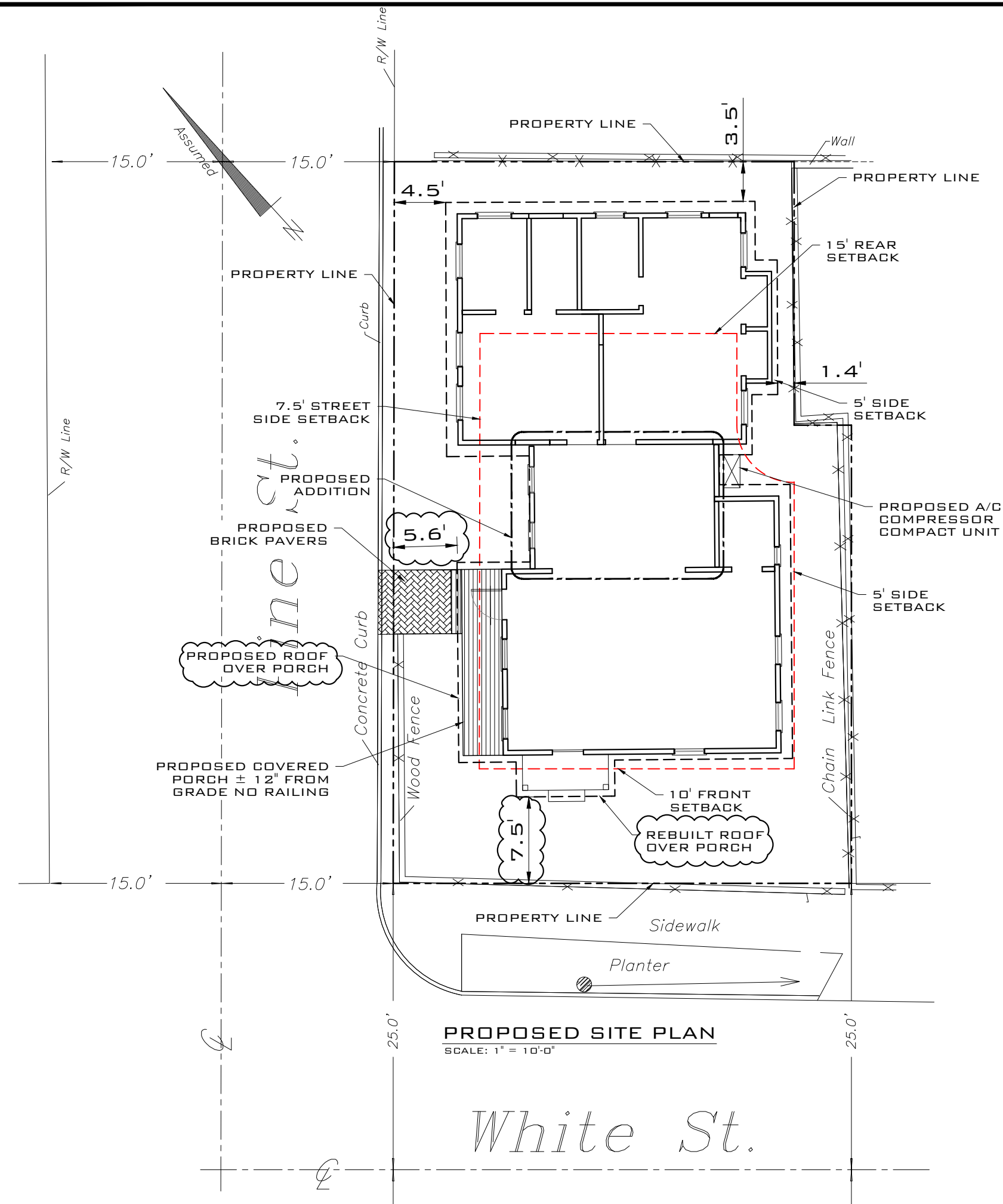
LOCATION MAP:

PROJECT LOCATION:
819 WHITE ST AND 1202 PINE ST,
KEY WEST, FL 33040

CLIENT:
BUD HALL

THIS DRAWING IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL SEAL			
SIGNATURE:			
DATE:			
SERGE MASHTAKOV PROFESSIONAL ENGINEER STATE OF FLORIDA LICENSE NO 71480			

REV:	DESCRIPTION:	BY:	DATE:
STATUS: FINAL			
 ARTIBUS DESIGN ENGINEERING AND PLANNING			
ARTIBUS DESIGN 3710 N. ROOSEVELT BLVD KEY WEST, FL 33040 (305) 304-3512 WWW.ARTIBUSDESIGN.COM CA # 30835			
CLIENT: BUD HALL			
PROJECT: 819 WHITE ST/ 1202 PINE ST			
SITE: 819 WHITE ST/1202 PINE ST KEY WEST, FL 33040			
TITLE: COVER			
SCALE AT 11x17: AS SHOWN	DATE: 03/09/20	DRAWN: MNS	CHECKED: SAM
PROJECT NO: 1806-09	DRAWING NO: G-100	REVISION: 1	



PROPOSED SITE PLAN
SCALE: 1" = 10'-0"

SITE DATA:

TOTAL SITE AREA: ±2,401.70 SQ.FT

LAND USE: HMDR

FLOOD ZONE: 0.2%

SETBACKS

FRONT:
REQUIRED 10 FT
EXISTING ±7.9 FT
PROPOSED ±7.5 FT
INCREASE IN NONCONFORMITY

STREET SIDE:
REQUIRED 7.5 FT
EXISTING ±4'-5"
PROPOSED NO CHANGE
INCREASE IN NONCONFORMITY

SIDE:
REQUIRED 5 FT
EXISTING ±1'-4"
PROPOSED NO CHANGE

REAR:
REQUIRED 15 FT
EXISTING ±0'-0"
PROPOSED ±3'-5"
IMPROVEMENT

MAXIMUM IMPERVIOUS SURFACE RATIO:

REQUIRED: 60% (1,441.02 SQ.FT.)
EXISTING 61.30% (±1,472.35 SQ.FT.)
PROPOSED 55.88% (±1,390.30 SQ.FT.)
IMPROVEMENT

MAXIMUM BUILDING COVERAGE:

REQUIRED 40.00% (960.68 SQ.FT.)
EXISTING 59.45% (±1,427.82 SQ.FT.)
PROPOSED 56.49% (±1,356.83 SQ.FT.)
IMPROVEMENT

OPEN SPACE MINIMUM:

REQUIRED 35% (840.59 SQ.FT.)
EXISTING 39.03% (±937.32 SQ.FT.)
PROPOSED 42.11% (±1,011.40 SQ.FT.)
IMPROVEMENT

MAXIMUM HEIGHT: 30 FT

EXISTING N/A
PROPOSED NO CHANGE

THIS DRAWING IS NOT VALID WITHOUT THE
SIGNATURE AND ORIGINAL SEAL

SIGNATURE:
DATE:

SERGE MASHTAKOV
PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO 71480

REV:	DESCRIPTION:	BY:	DATE:
STATUS:		FINAL	

ARTIBUS DESIGN
ENGINEERING AND PLANNING

ARTIBUS DESIGN
3710 N. ROOSEVELT BLVD
KEY WEST, FL 33040
(305) 304-3512
WWW.ARTIBUSDESIGN.COM
CA # 30835

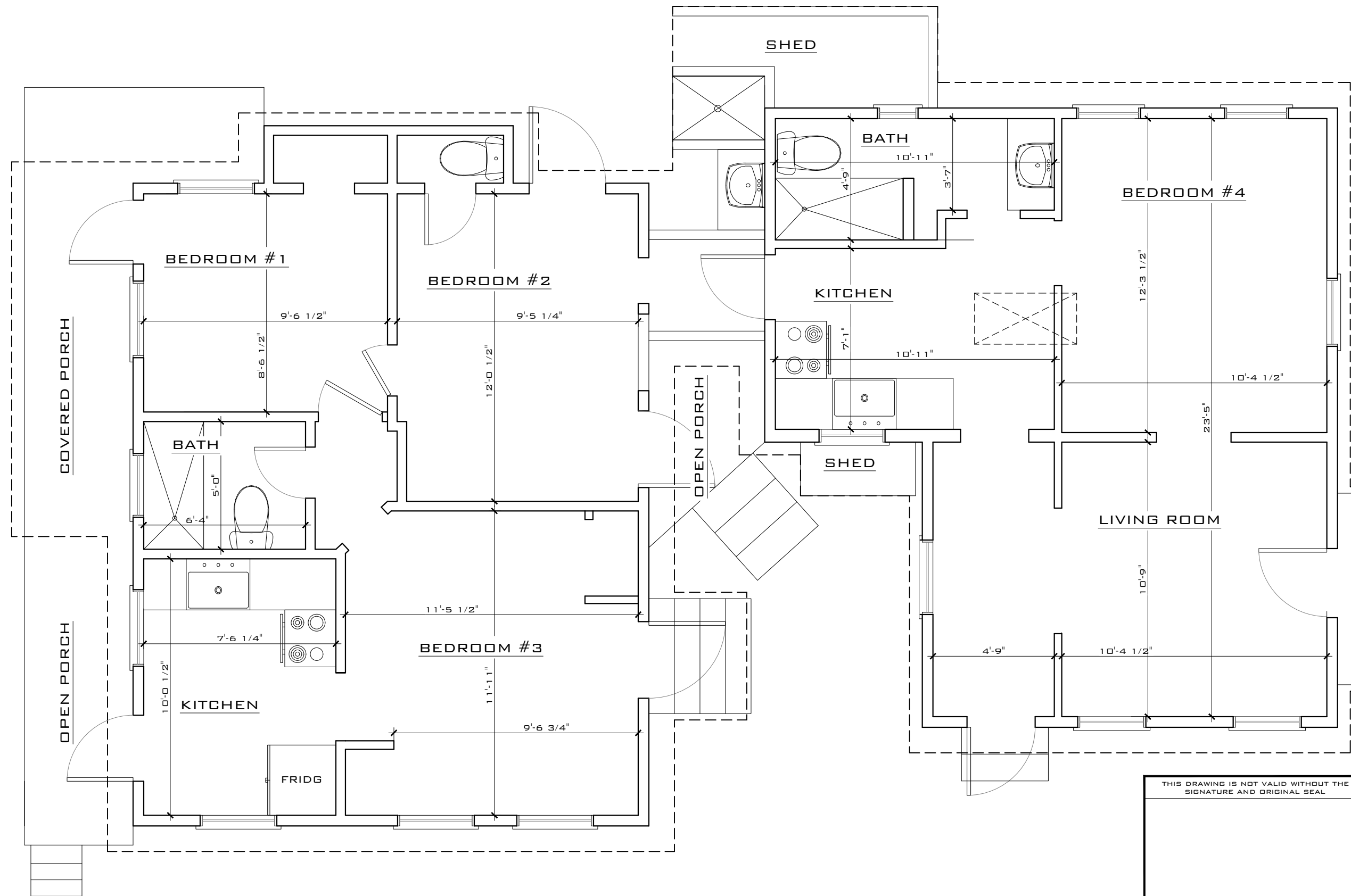
CLIENT: **BUD HALL**

PROJECT: **819 WHITE ST/
1202 PINE ST**

SITE: **819 WHITE ST/1202 PINE ST
KEY WEST, FL 33040**

TITLE: **PROPOSED SITE PLAN**

SCALE AT 11x17:	DATE:	DRAWN:	CHECKED:
AS SHOWN	03/09/20	JPM	SAM
PROJECT NO:	DRAWING NO:	REVISION:	
1806-09	C-102	1	



EXISTING FLOOR PLAN

SCALE: 1/4" = 1'-0"

REV:	DESCRIPTION:	BY:	DATE:
	FINAL		



ARTIBUS DESIGN
3710 N. ROOSEVELT BLVD
KEY WEST, FL 33040
(305) 304-3512
WWW.ARTIBUSDESIGN.COM
CA # 30835

CLIENT: **BUD HALL**

PROJECT: **819 WHITE ST/
1202 PINE ST**

SITE: **819 WHITE ST/1202 PINE ST
KEY WEST, FL 33040**

TITLE: **EXISTING FLOOR PLAN**

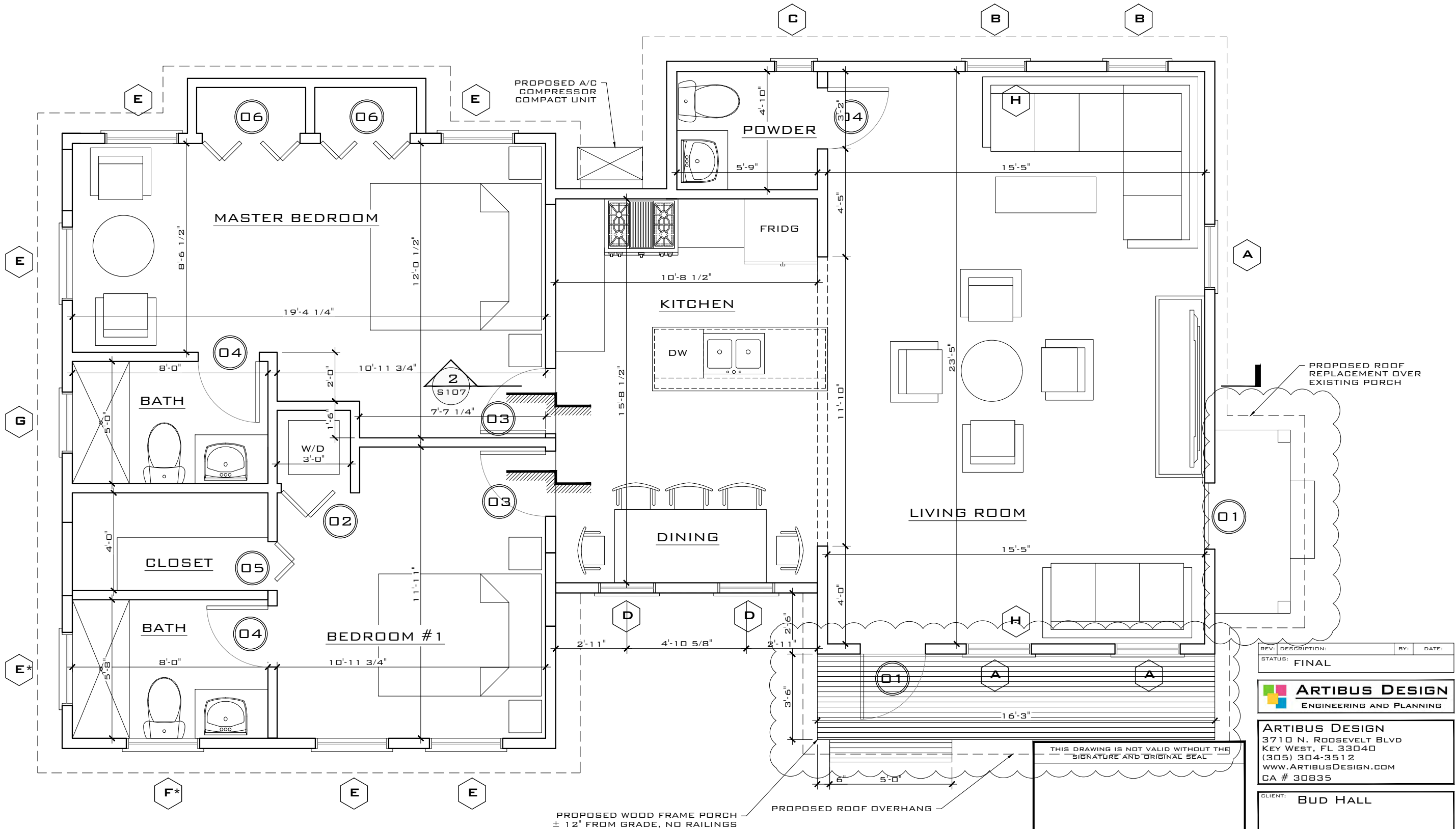
SCALE AT 11x17:	DATE:	DRAWN:	CHECKED:
AS SHOWN	03/09/20	MNS	SAM
PROJECT NO:	DRAWING NO:	REVISION:	
1806-09	A-101	1	

THIS DRAWING IS NOT VALID WITHOUT THE
SIGNATURE AND ORIGINAL SEAL

SIGNATURE:

DATE:

SERGE MASHTAKOV
PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO 71480



PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"

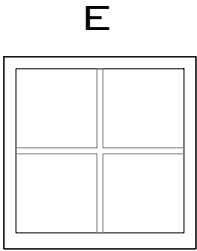
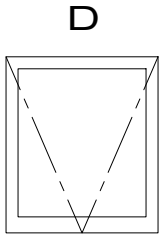
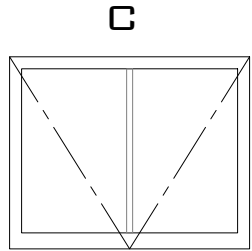
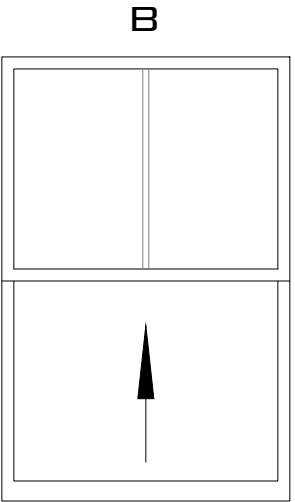
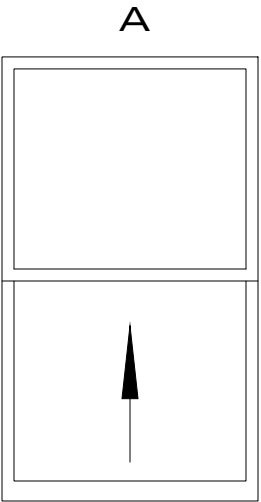
THIS DRAWING IS NOT VALID WITHOUT THE
SIGNATURE AND ORIGINAL SEAL

SIGNATURE:
DATE:
SERGE MASHTAKOV
PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO 71480

REV:	DESCRIPTION:	BY:	DATE:
STATUS: FINAL			
 ARTIBUS DESIGN ENGINEERING AND PLANNING			
ARTIBUS DESIGN 3710 N. ROOSEVELT BLVD KEY WEST, FL 33040 (305) 304-3512 WWW.ARTIBUSDESIGN.COM CA # 30835			
CLIENT: BUD HALL			
PROJECT: 819 WHITE ST/ 1202 PINE ST			
SITE: 819 WHITE ST/1202 PINE ST KEY WEST, FL 33040			
TITLE: PROPOSED FLOOR PLAN			
SCALE AT 11x17: AS SHOWN	DATE: 03/09/20	DRAWN: MNS	CHECKED: SAM
PROJECT NO: 1806-09	DRAWING NO: A-102	REVISION: 1	

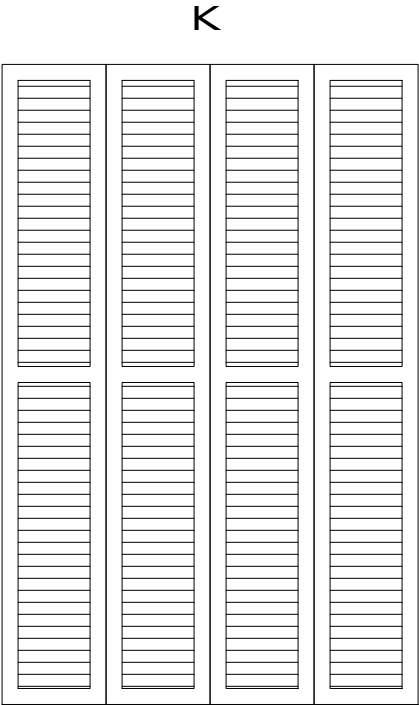
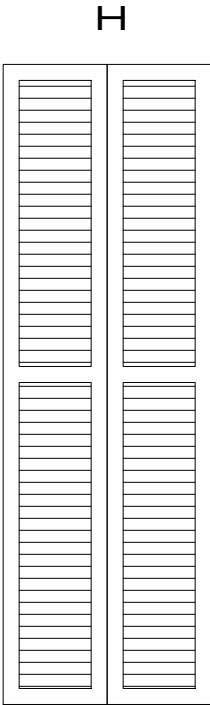
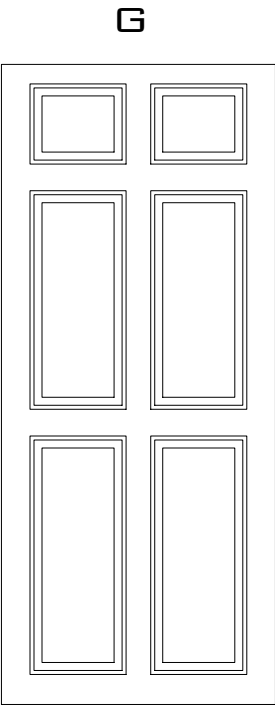
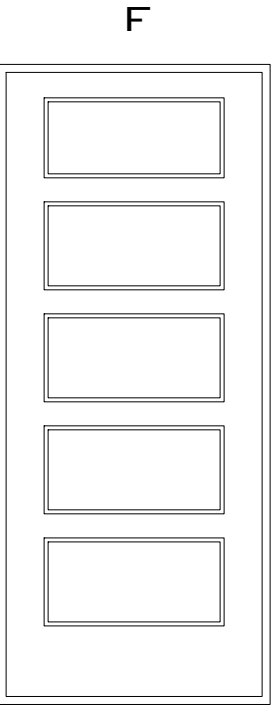
WINDOW SCHEDULE										
SYMBOL	WIDTH	HEIGHT	DESCRIPTION	TYPE	MATERIALS	U VALUE	SHGC	MANUFACTURER	+(PSF)	-(PSF)
A	2'-8"	4'-7"	SINGLE HUNG	A	WOOD	PER ENERGY CALCS		AS APPROVED BY HARC	+50.75	-55.11
B	2'-6"	4'-4"	SINGLE, HUNG	A	WOOD	PER ENERGY CALCS		AS APPROVED BY HARC	+51.16	-55.52
C C*	1'-7 "	1'-10"	CASEMENT *FROSTED	D	WOOD	PER ENERGY CALCS		AS APPROVED BY HARC	+51.42	-55.78
D	2'-4"	4'-7"	SINGLE HUNG	A	WOOD	PER ENERGY CALCS		AS APPROVED BY HARC	+51.21	-55.57
E E*	3'-0"	4'-7 "	SINGLE HUNG EGRESS *FROSTED	B	WOOD	PER ENERGY CALCS		AS APPROVED BY HARC	+50.36	-54.72
F	3'-0"	2'-8"	CASEMENT *FROSTED	C	WOOD	PER ENERGY CALCS		AS APPROVED BY HARC	+51.42	-55.78
G*	2'-6"	2'-0"	CASEMENT *FROSTED	C	WOOD	PER ENERGY CALCS		AS APPROVED BY HARC	+51.42	-55.78
H	2'-2"	2'-2"	FIXED	E	WOOD	PER ENERGY CALCS		AS APPROVED BY HARC	+51.42	-55.78

DOOR SCHEDULE										
SYMBOL	WIDTH	HEIGHT	DESCRIPTION	TYPE	MATERIALS	U VALUE	SHGC	MANUFACTURER	+(PSF)	-(PSF)
01	2'-8"	6'-8"	IMPACT RATED. SWING. SOLID CORE. ENTRY	F	WOOD	PER ENERGY CALCS		AS APPROVED BY HARC	+49.50	-53.85
02	2'-10"	6'-8"	INTERIOR. LOUVER BI-FOLD.	H	WOOD	N/A	N/A	OWNER SELECTED	N/A	N/A
03	2'-8"	6'-8"	INTERIOR. SOLID CORE.SWING DOOR	G	WOOD	N/A	N/A	OWNER SELECTED	N/A	N/A
04	2'-6"	6'-8"	INTERIOR. SOLID CORE.SWING DOOR	G	WOOD	N/A	N/A	OWNER SELECTED	N/A	N/A
05	2'-0"	6'-8"	INTERIOR. LOUVER BI-FOLD.	H	WOOD	N/A	N/A	OWNER SELECTED	N/A	N/A
06	4'-0"	6'-8"	INTERIOR. LOUVER. DOUBLE BI-FOLD.	K	WOOD	N/A	N/A	OWNER SELECTED	N/A	N/A



WINDOWS AND DOORS:

1. ALL EXTERIOR WINDOWS SHALL BE LARGE AND SMALL MISSILE IMPACT RATED.
2. ALL EXTERIOR WINDOWS SHALL HAVE FLORIDA PRODUCT APPROVAL AND NOA. PRODUCT APPROVAL LABELS SHALL BE PERMANENTLY ATTACHED TO THE FRAME.
3. WIND PRESSURE ON COMPONENTS AND CLADDING (GH 30 PART 1)
4. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION MEASUREMENTS OF ALL EXISTING OPENINGS PRIOR ORDERING.
5. ALL WINDOW SILLS CLEAR OPENINGS SHALL BE MINIMUM 24" FROM FINISHED FLOOR. FOR EGRESS WINDOWS CLEAR OPENING SILL MAXIMUM SHALL BE 44".
6. AT LEAST ONE WINDOW IN EACH BEDROOM SHALL MEET EMERGENCY ESCAPE REQUIREMENTS PER FBC R310.2



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PROJECT: 819 WHITE ST/
1202 PINE ST

SITE: 819 WHITE ST/1202 PINE ST
KEY WEST, FL 33040

TITLE: PROPOSED FLOOR PLAN

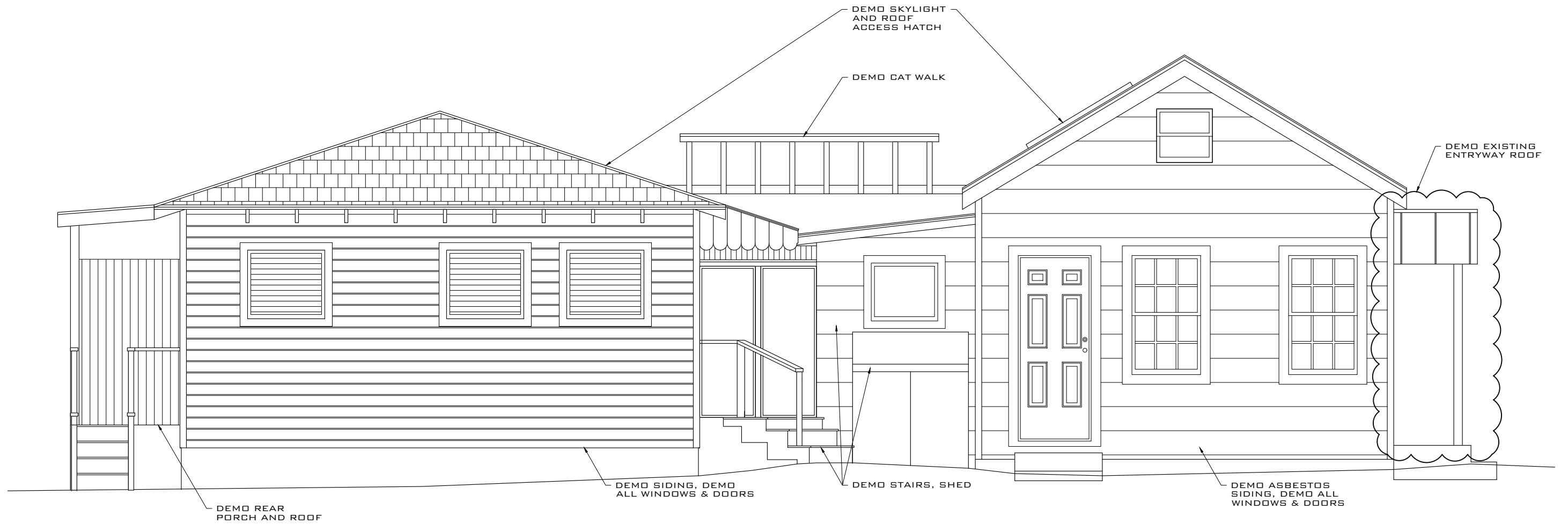
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PROJECT NO: 1806-09	DRAWING NO: A-103	REVISION: 1	

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PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO 71480



EXISTING STREET SIDE ELEVATION
SCALE: 1/4" = 1'-0"

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CLIENT: **BUD HALL**

PROJECT: **819 WHITE ST/
1202 PINE ST**

SITE: **819 WHITE ST/1202 PINE ST
KEY WEST, FL 33040**

TITLE: **EXISTING STREET
SIDE ELEVATION**

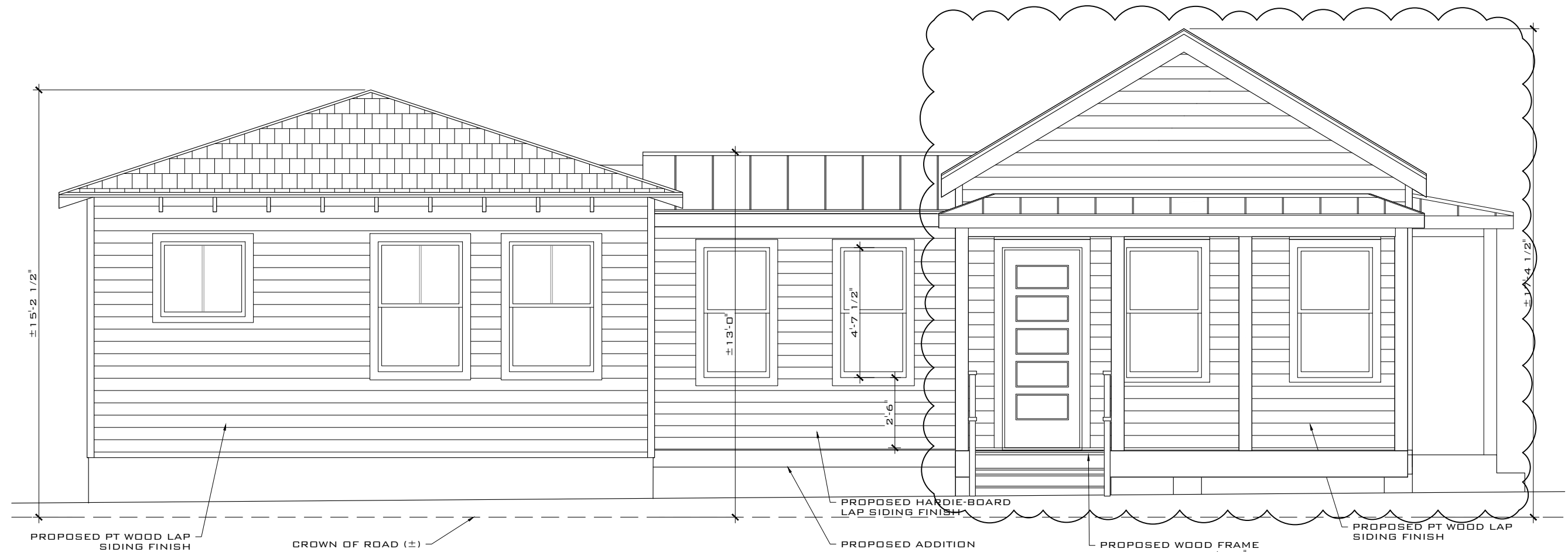
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PROPOSED STREET SIDE ELEVATION
SCALE: 1/4" = 1'-0"

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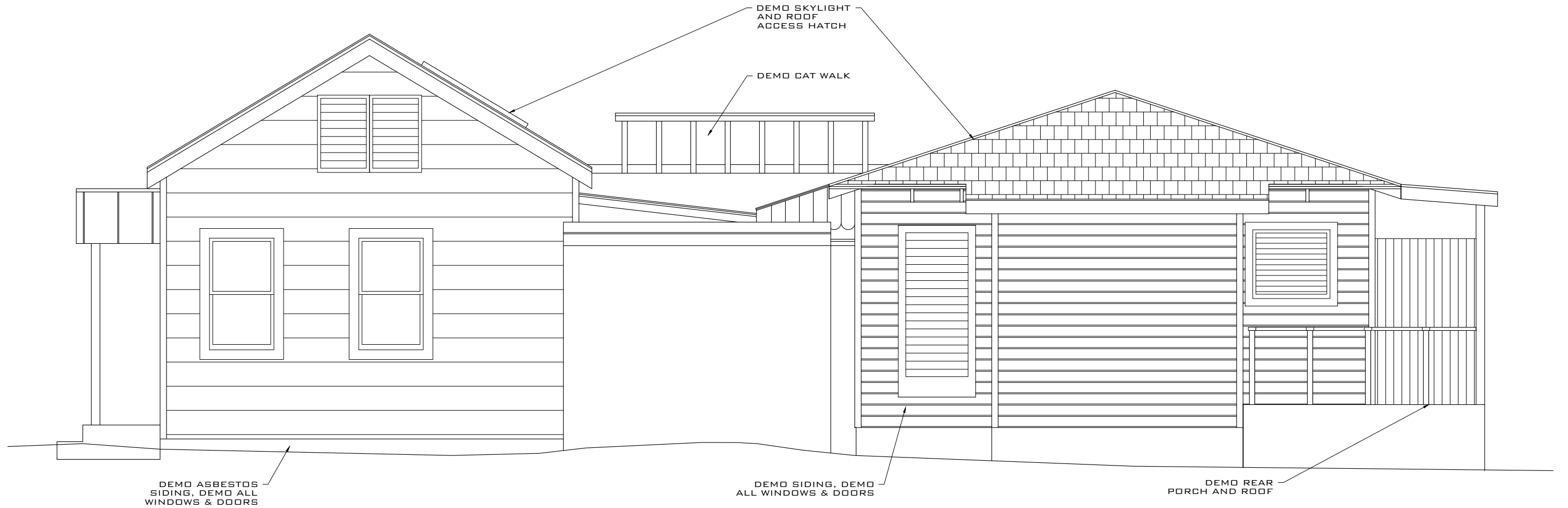
CLIENT: **BUD HALL**

PROJECT: **819 WHITE ST/
1202 PINE ST**

SITE: **819 WHITE ST/1202 PINE ST
KEY WEST, FL 33040**

TITLE: **PROPOSED STREET
SIDE ELEVATION**

SCALE AT 11x17: AS SHOWN	DATE: 03/09/20	DRAWN: MNS	CHECKED: SAM
PROJECT NO: 1806-09	DRAWING NO: A-105	REVISION: 1	



EXISTING SIDE ELEVATION
SCALE: 1/4" = 1'-0"

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PROJECT:	819 WHITE ST/ 1202 PINE ST

SITE: 819 WHITE ST/1202 PINE ST KEY WEST, FL 33040			
TITLE: EXISTING SIDE ELEVATION			
SCALE AT 1/4"=1'-0": AS SHOWN	DATE: 03/09/20	DRAWN: MNS	CHECKED: SAM
PROJECT NO: 1806-09	DRAWING NO: A-106	REVISION: 1	



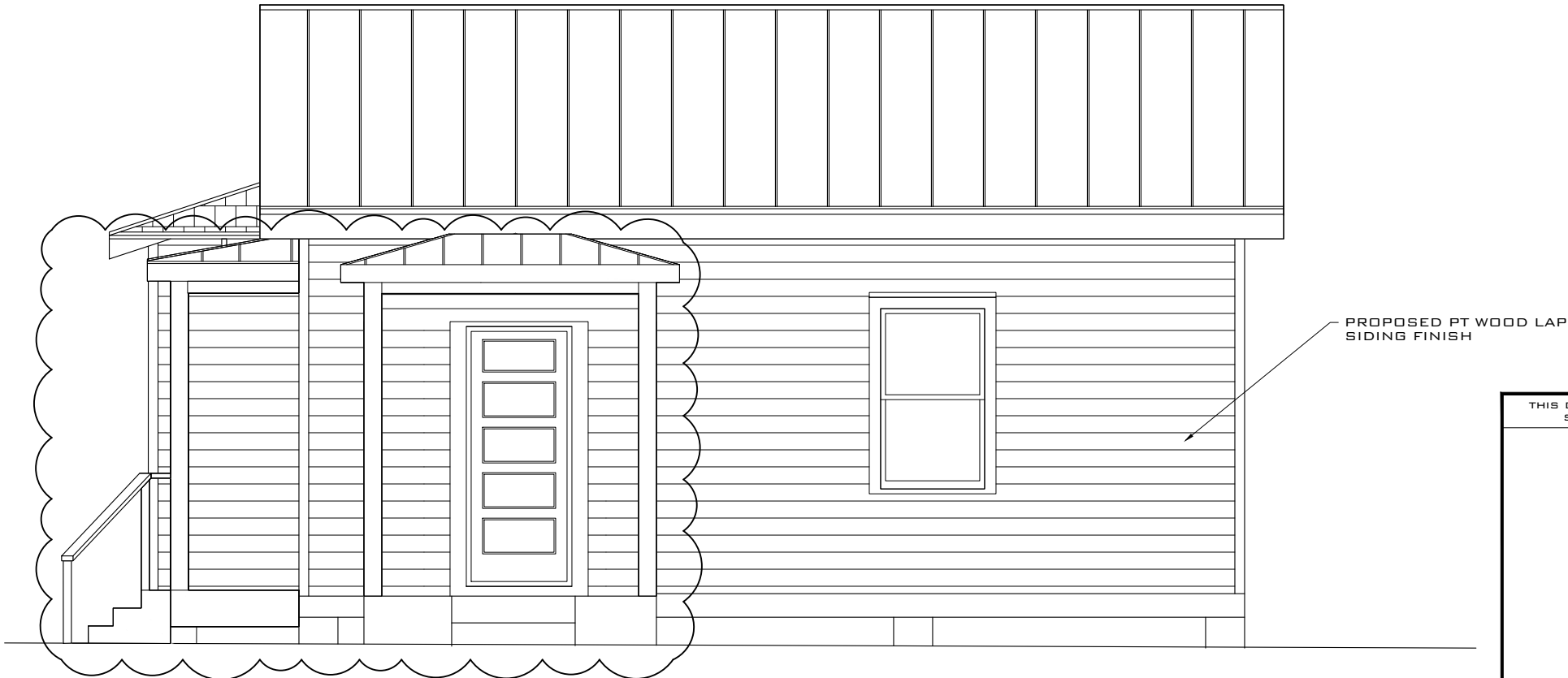
SITE:			
B19 WHITE ST/1202 PINE ST KEY WEST, FL 33040			
TITLE:			
PROPOSED SIDE ELEVATION			
SCALE AT 1/16"=1'-0"	DATE:	DRAWN:	CHECKED:
AS SHOWN	03/09/20	MNS	SAM
PROJECT NO:	DRAWING NO:		REVISION:
1806-09	A-107		1

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EXISTING FRONT ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED FRONT ELEVATION

SCALE: 1/4" = 1'-0"

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PROJECT: **819 WHITE ST/
1202 PINE ST**

SITE: **819 WHITE ST/1202 PINE ST
KEY WEST, FL 33040**

TITLE: **EXISTING/PROPOSED
FRONT ELEVATION**

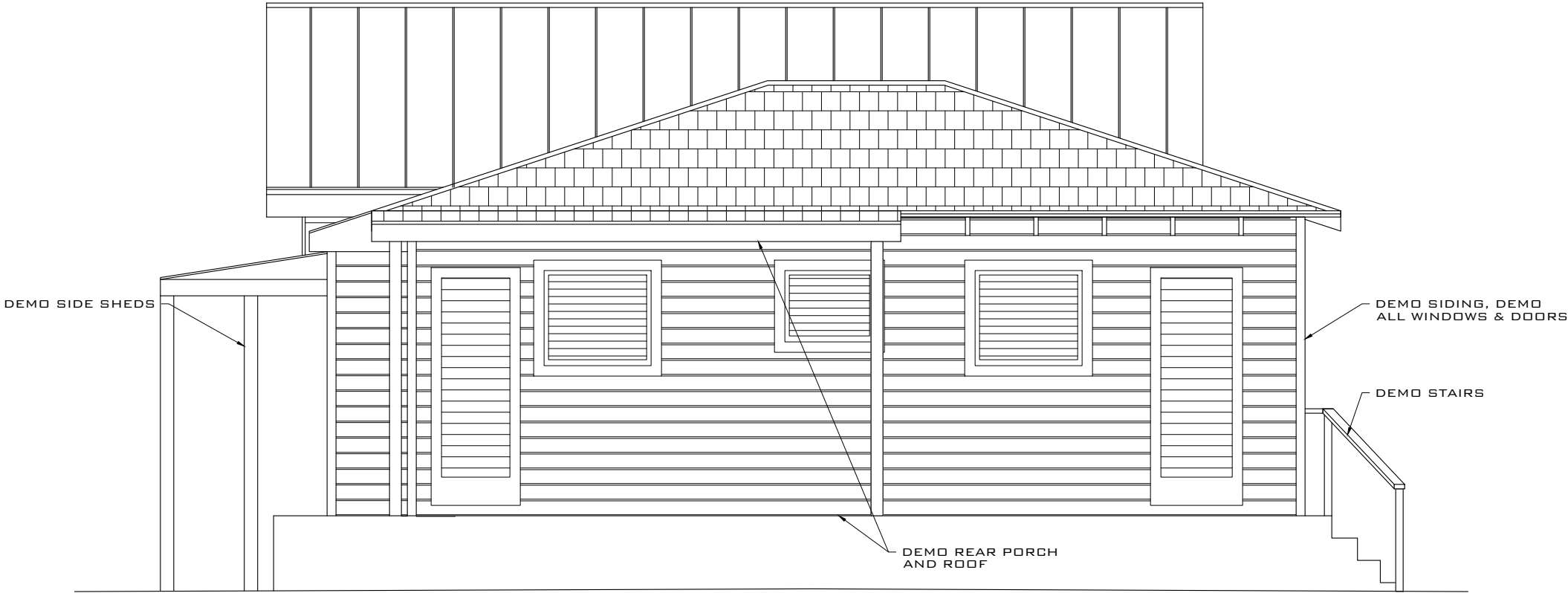
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AS SHOWN	03/09/20	MNS	SAM
PROJECT NO:	DRAWING NO:	REVISION:	
1806-09	A-108	1	

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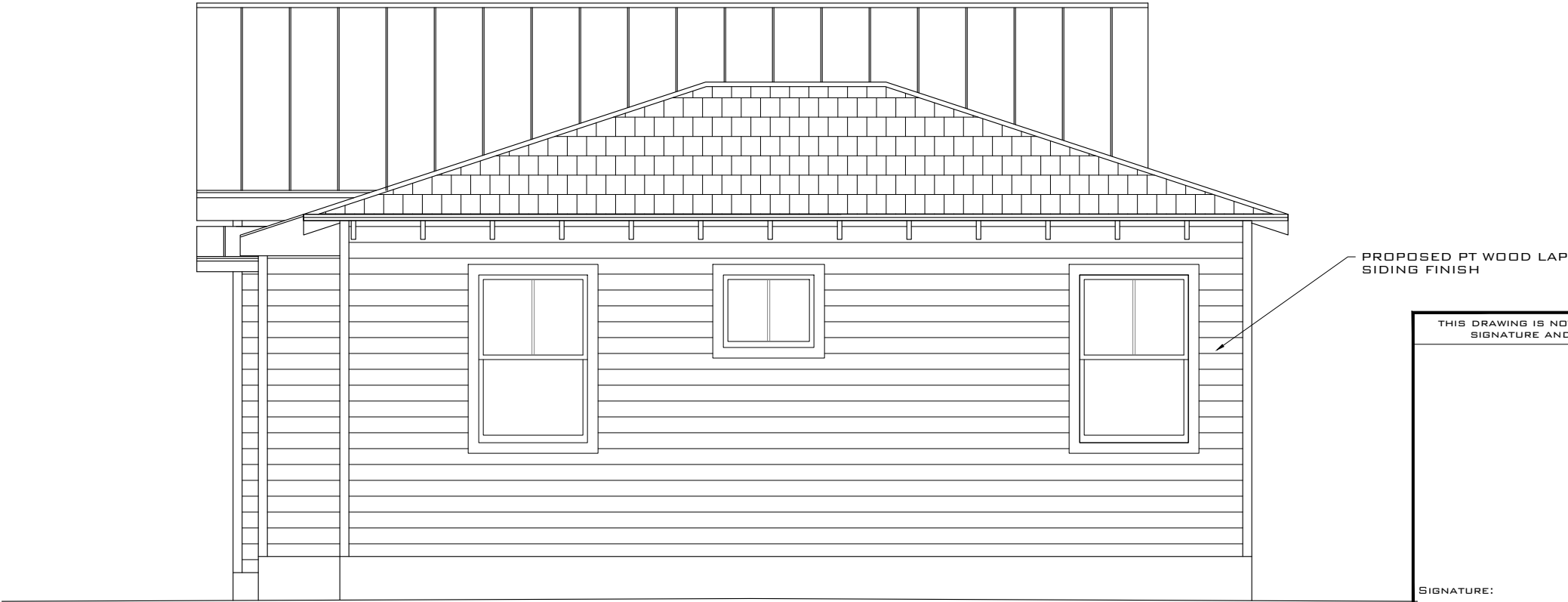
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EXISTING REAR ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED REAR ELEVATION
SCALE: 1/4" = 1'-0"

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PROJECT: **819 WHITE ST/
1202 PINE ST**

SITE: **819 WHITE ST/1202 PINE ST
KEY WEST, FL 33040**

TITLE: **EXISTING/PROPOSED
REAR ELEVATION**

SCALE AT 11x17: AS SHOWN	DATE: 03/09/20	DRAWN: MNS	CHECKED: SAM
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GENERAL REQUIREMENTS:

1. PRIOR TO STARTING ANY WORK THE CONTRACTOR SHALL REVIEW THESE PLANS AND SITE CONDITIONS AND NOTIFY THE ENGINEER IF ANY DISCREPANCIES ARE DISCOVERED.
2. THE ENGINEER IS NOT RESPONSIBLE FOR THE SUPERVISION OF THE CONTRACTOR NOR HIS EMPLOYEES DURING THE CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE MEANS AND ESTABLISH METHODS OF THE CONSTRUCTION TO MEET REQUIREMENTS OF ALL APPLICABLE CODES, INDUSTRY STANDARDS AND REQUIREMENTS OF THESE PLANS.
3. QUALITY OF THE WORK SHALL MEET OR EXCEED INDUSTRY STANDARD PRACTICES.
4. ANY DEVIATIONS FROM THESE PLANS SHALL BE REVIEWED AND APPROVED BY THE ENGINEER.

DESIGN DATA:

1. APPLICABLE BUILDING CODE: FBC RESIDENTIAL/EXISTING BUILDING 6TH EDITION (2017)
 2. APPLICABLE DESIGN LOADS: PER ASCI/SEI 7-10
 - FLOOR LIVE LOAD: 40 PSF
 - ROOF LIVE LOAD: 20 PSF (300 LB CONC.)
 - BASIC WIND SPEED: 180 MPH
 - EXPOSURE: D
 - STRUCTURAL CATEGORY: II
- FLOOD ZONE: 0.2 PCT
ALL PRESSURES SHOWN ARE BASED ON ASD DESIGN, WITH A LOAD FACTOR OF 0.6

3.ASCE 24-14 FLOOD RESISTANT DESIGN AND CONSTRUCTION

SOILS AND FOUNDATIONS:

PRESUMPTIVE LOAD-BEARING VALUES OF FOUNDATION MATERIALS ARE USED IN LIEU OF A COMPLETE GEOTECHNICAL EXPLORATION.
FOUNDATIONS SHALL BE PLACED ON A "SEDIMENTARY AND FOLIATED ROCK" WITH AN ALLOWABLE LOAD BEARING PRESSURE OF 4,000 PSF. NOTIFY THE ENGINEER IF SOIL CONDITIONS ARE DIFFERENT.

1. ALL FOUNDATIONS, SLABS AND FOOTERS SHALL BE PLACED ON STABILIZED UNDISTURBED SUBGRADE SOIL.
2. MINIMUM FOUNDATION DEPTH SHALL BE 24" UNLESS OTHERWISE IS SPECIFIED ON THE PLANS. IF OVER-EXCAVATED - FILL SHALL NOT BE PLACED BACK INTO THE TRENCH UNLESS APPROVED BY THE ENGINEER.
3. FILL UNDER THE FOUNDATIONS SHALL BE USED ONLY IF APPROVED BY THE ENGINEER. CLEAN FILL MATERIAL SHALL BE PLACED IN 6"-8" LAYERS AND COMPACTED TO 98% DENSITY USING THE MODIFIED PROCTOR TEST.
4. FILL MATERIAL SHALL BE CLEAN GRANULAR SAND OR LIMEROCK MIX WITHOUT ANY ORGANIC MATERIALS, CLAY, MUCK AND ROCKS LARGER THAN 4". BACKFILL SHALL NOT CONTAIN ANY WOOD OR CELLULOSE DEBRIS.

AUGERCAST PILES

1. AUGERCAST PILES SHALL BE 16" DIAMETER WITH MINIMUM EMBEDMENT OF 3FT INTO THE CAP ROCK UNLESS OTHERWISE SHOWN ON THE PLANS.
2. CONCRETE FOR PILES SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 5000 PSI. WATER/CEMENT RATIO SHALL NOT EXCEED W/C=0.40.
3. REINFORCEMENT SHALL BE FOUR (4) #5 REBAR VERTICALLY WITH #3 STIRRUPS AT 12" O.C. CONTRACTOR SHALL USE PLASTIC CHARS OR CENTRALIZERS TO PROVIDE A 3" COVER ON ALL SIDES OF THE REINFORCEMENT.

CONCRETE:

1. APPLICABLE CODE ACI 318 LATEST EDITION AND ACI 301.
 2. ALL CONCRETE ELEMENTS SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 4000 PSI UNLESS OTHERWISE IS SHOWN ON THE PLANS. WATER/CEMENT RATIO SHALL NOT EXCEED W/C=0.40.
 3. ALL CAST-IN-PLACE CONCRETE SHALL BE CURED AND PROTECTED FROM OVERDRYING PER ACI 305R-10 "HOT WEATHER CONCRETING".
 4. ALL EXPOSED EDGES SHALL HAVE 1/2" CHAMFERS.
 5. NO COLD JOINTS ARE ALLOWED UNLESS OTHERWISE APPROVED BY THE ENGINEER.
 6. TESTING: ALL FIELD AND LABORATORY TESTING SHALL BE PERFORMED BY AN INDEPENDENT SPECIALIZED COMPANY. THE CONTRACTOR IS RESPONSIBLE FOR ALL SCHEDULING, COORDINATION AND COST OF THE TESTING COMPANY. THREE (3) SAMPLES SHALL BE TAKEN AND TESTED EACH TIME. MINIMUM SAMPLING FREQUENCY:
 - A) EACH DAY OF CONCRETING FOR EVERY CONCRETE MIX;
 - B) EVERY 50 CUBIC YARDS;
 - C) EVERY 2000 SQ.FT. OF SLAB AREA.
- ALL TESTING SHALL BE PER LATEST ACI AND ASTM REQUIREMENTS.
LABORATORY SHALL SUPPLY THREE (3) ORIGINAL SIGNED&SEALED REPORT RESULTS TO THE ENGINEER.

7. CAST-IN-PLACE AND PRECAST MEMBER ERECTION TOLERANCES SHALL BE AS SPECIFIED IN THE TABLE 8.2.2 OR IN SECTION 8.3 OF "PCI DESIGN HANDBOOK/SIXTH EDITION".

REINFORCEMENT:

1. ALL REBAR SHALL BE DEFORMED CARBON-STEEL ASTM A615/A615M-13 GRADE 60 UNLESS OTHERWISE SPECIFIED ON THE PLANS.
* ADD ALTERNATE REINFORCEMENT OPTION: ASTM A1035 GRADE 100 (MMFX2) AS CORROSION RESISTANT ALTERNATIVE FOR ALL REINFORCEMENT.
2. ALL REQUIREMENTS FOR PLACEMENT, COVER, TOLERANCES, ETC. SHALL BE PER ACI 318-11.
3. ALL HOOKS AND BENDS SHALL BE FACTORY MADE UNLESS FIELD BENDS ARE APPROVED BY THE ENGINEER.
4. ONLY PLASTIC CHAIRS AND CENTRALIZERS SHALL BE USED FOR REBAR SUPPORT.

ALUMINUM COMPONENTS:

1. TYPE 6061-T6 ALUMINUM.
2. MIG WELD ALL JOINTS W/ CONTINUOUS 1/8" WELD. USE 5356 FILLER WIRE ALLOY.
3. ALL ALUMINUM IN CONTACT WITH CONCRETE, PT WOOD, DISSIMILAR METALS AND OTHER CORROSIVE MATERIALS SHALL COATED WITH COAL-TAR EPOXY OR PROTECTED BY OTHER ENGINEER APPROVED METHOD.

HARDWARE:

1. HARDWARE SHALL BE 304 STAINLESS STEEL OR BETTER OR ZMAX GALVANIZED FOR NON EXPOSED SIMPSON PRODUCTS, UNLESS OTHERWISE SPECIFIED.

STRUCTURAL LUMBER:

1. ALL WOOD MEMBERS SHALL MEET OR EXCEED REQUIREMENTS SPECIFIED IN "ANSI/AF&PA NATIONAL DESIGN SPECIFICATION (NDS) FOR WOOD CONSTRUCTION" AND ALL REFERENCED STANDARDS.
2. ALL WOOD MEMBERS SHALL BE PRESSURE TREATED SOUTHER PINE NO2 OR GREATER KILN DRIED AS SPECIFIED IN THE STANDARDS, UNLESS OTHERWISE SPECIFIED.
3. ALL WOOD MEMBERS EXPOSED TO EXTERIOR, IN DIRECT CONTACT WITH CONCRETE OR STEEL SHALL BE PRESSURE-TREATED (PT) UC3B GRADE PER AWWA STANDARDS.
4. ALL FIELD CUTS IN PT LUMBER SHALL BE TREATED ON SITE.
5. NAILING SHALL BE IN ACCORDANCE WITH FBC 6TH EDITION (2017). NAILS AND OTHER FASTENERS FOR PT WOOD SHALL BE STAINLESS STEEL OR AQQ APPROVED TREATED.
6. SHEATHING SHALL BE 19/32" CDX PLYWOOD SHEATHING GRADE, UNLESS OTHERWISE IS SPECIFIED ON THE PLANS. USE 8D RING-SHANK NAILS WITH SPACING OF 4" O.C. ON ALL EDGES AND 6" O.C. IN THE FIELD.

STRUCTUAL STEEL:

1. STRUCTURAL STEEL COMPONENTS SHALL BE AS DESCRIBED IN "SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS" AISC 2005 OR LATER EDITION.
2. HSS SHAPES (STRUCTURAL TUBING) SHALL BE ASTM A500 (FY=46 ksi).
3. STEEL PLATES, FLANGES AND MISCELEANIOUS ELEMENTS SHALL BE ASTM A36 (FY=36 ksi) UNLESS NOTED OTHERWISE ON THE PLANS.
4. W-SHAPES, C-SHAPES AND OTHER FORMED STEEL SHALL BE ASTM A992 (FY=50 ksi).
5. ALL WELDING SHALL BE IN CONFORMANCE WITH THE LATEST SPECIFICATIONS AWS D1.1/D1.1M:2010, STRUCTURAL WELDING CODE - STEEL.

STRUCTURAL STEEL COATING:

1. ALL SURFACES SHALL BE ABRASIVE BLAST CLEANED TO NEAR-WHITE METAL (PER SSPC-SP10) EXPOSED STEEL:
2. ALL SURFACES SHALL BE PRIMED WITH POLYAMIDE EPOXY - ONE COAT (8.0 MILS DFT).
3. APPLY SEALANT AT ALL LOCATIONS WHERE STEEL IS WELDED, LAPPED, ETC. SEALANT MATERIAL SHALL BE COMPATIBLE WITH THE PAINTING SYSTEM.
4. TOP LAYER SHALL BE TWO (2) COAT POLYURETHANE (3.0 MILS DFT EACH).
5. TOP PAINT SHALL BE UV RESISTANT OR HAVE A UV RESISTANT COATING.
6. COLORS SHALL MATCH EXISTING OR TO BE SELECTED BY THE OWNER.
7. 2 COATS OF "SUMTER COATINGS" UNIVERSAL PRIMER (6.0 MILS DFT) OR APPROVED EQUAL. NON-EXPOSED STEEL (INTERIOR):

REINFORCED MASONRY (CMU):

1. ALL MASONRY SHALL BE REINFORCED CONCRETE MASONRY UNIT IN ACCORDANCE WITH THE LATEST EDITION OF ACI 530/ASCE 5/TMS 402.
2. INSTALL ALL BLOCKS IN RUNNING BOND.
3. MINIMUM MASONRY BLOCK (ASTM C90) STRENGTH SHALL (F'm) BE 2000 PSI.
4. TYPE "S" MORTAR (ASTM C270) SHALL BE USED USING 3/8" FULL BEDDING REINFORCED W/ 9 GAGE GALVANIZED LADDER WIRE EVERY 2ND ROW.
5. FILLED CELLS SHALL BE REINFORCED WITH #5 REBARS @ 24" O.C. (UNLESS OTHERWISE IS SPECIFIED ON THE PLANS).
6. GROUT SHALL BE PEA ROCK PUMP MIX (ASTM C476) WITH A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI (28 DAY) (ASTM C1019). TARGETED SLUMP SHALL BE 8"-11".
6. EACH GROUTED CELL SHALL HAVE CLEANOUT OPENINGS AT THE BOTTOM. THERE SHALL BE NO LOOSE MORTAR OR OTHER DEBRIS IN THE BOTTOM OF THE CELL. USE BLAST PRESSURE WASHING FOR SURFACE PREPARATION.

WINDOWS & DOORS:

1. ALL EXTERIOR WINDOWS SHALL BE LARGE AND SMALL MISSILE IMPACT RATED.
2. ALL EXTERIOR WINDOWS SHALL HAVE FLORIDA PRODUCT APPROVAL AND NOA. PRODUCT APPROVAL LABELS SHALL BE PERMANENTLY ATTACHED TO THE FRAME.
3. WIND PRESSURE ON COMPONENTS AND CLADDING (CH 30 PART 1)

TYPE AND # OF OPENING

NOMINAL WIDTH

D1	3.00FT	+49.2
	6.50FT	-53.6

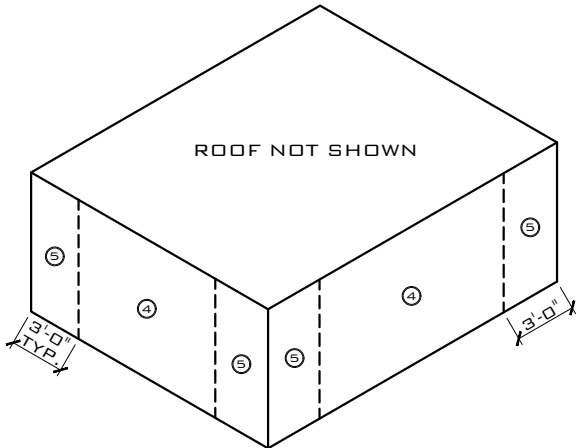
MAX PRESSURE (PSF)

MIN PRESSURE (PSF)

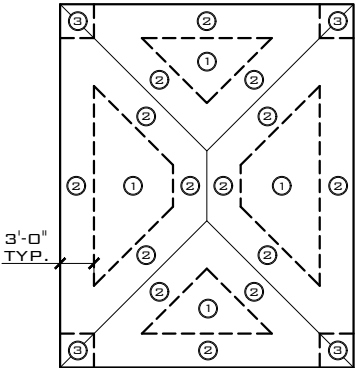
NOMINAL HEIGHT

ENCLOSED - BUILDING - GABLE ROOF					
WIND PRESSURE ON COMPONENTS AND CLADDING (CH 30 PART 1)					
DESCRIPTION	WIDTH, FT	SPAN, FT	AREA, FT2	MAX P, PSF	MIN P, PSF
ZONE 1	1	1	1	+47.07	-51.42
ZONE 2	1	1	1	+47.07	-60.14
ZONE 3	1	1	1	+47.07	-60.14
ZONE 4	1	1	1	+51.42	-55.78
ZONE 5	1	1	1	+51.42	-68.86

ENCLOSED - BUILDING - HIP ROOF					
WIND PRESSURE ON COMPONENTS AND CLADDING (CH 30 PART 1)					
DESCRIPTION	WIDTH, FT	SPAN, FT	AREA, FT2	MAX P, PSF	MIN P, PSF
ZONE 1	1	1	1	+29.63	-47.07
ZONE 2	1	1	1	+29.63	-81.93
ZONE 3	1	1	1	+29.63	-81.93
ZONE 4	1	1	1	+51.42	-55.78
ZONE 5	1	1	1	+51.42	-68.86



WALLS WIND PRESSURES DIAGRAM
SCALE: NTS



ROOF WIND PRESSURES DIAGRAM
SCALE: NTS

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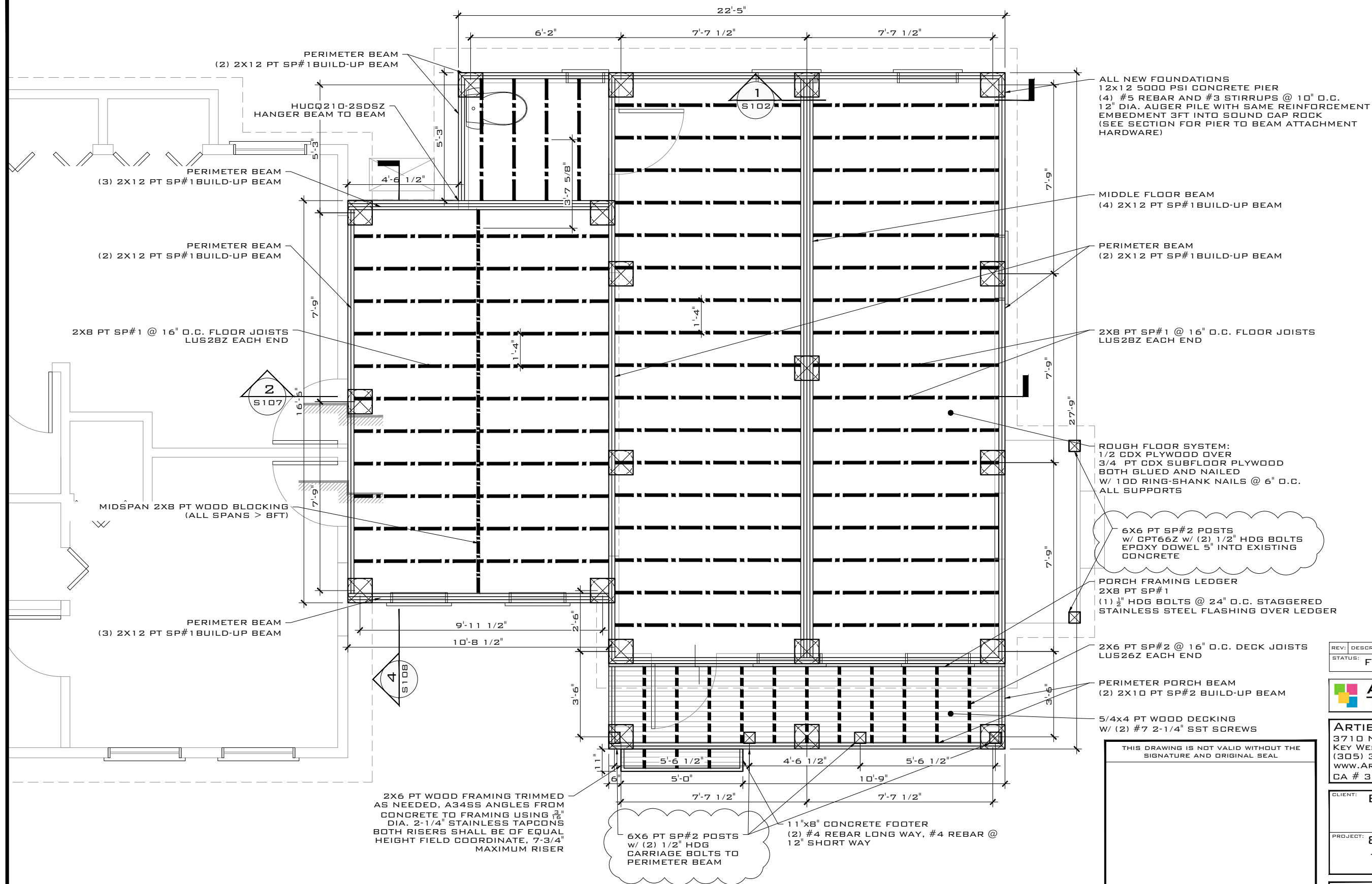
CLIENT: BUD HALL

PROJECT: 819 WHITE ST/
1202 PINE ST

SITE: 819 WHITE ST/1202 PINE ST
KEY WEST, FL 33040

TITLE: NOTES

SCALE AT 11x17: AS SHOWN	DATE: 03/09/20	DRAWN: MNS	CHECKED: SAM
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PROPOSED FOUNDATIONS PLAN
AND FLOOR FRAMING

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STATUS:	FINAL		

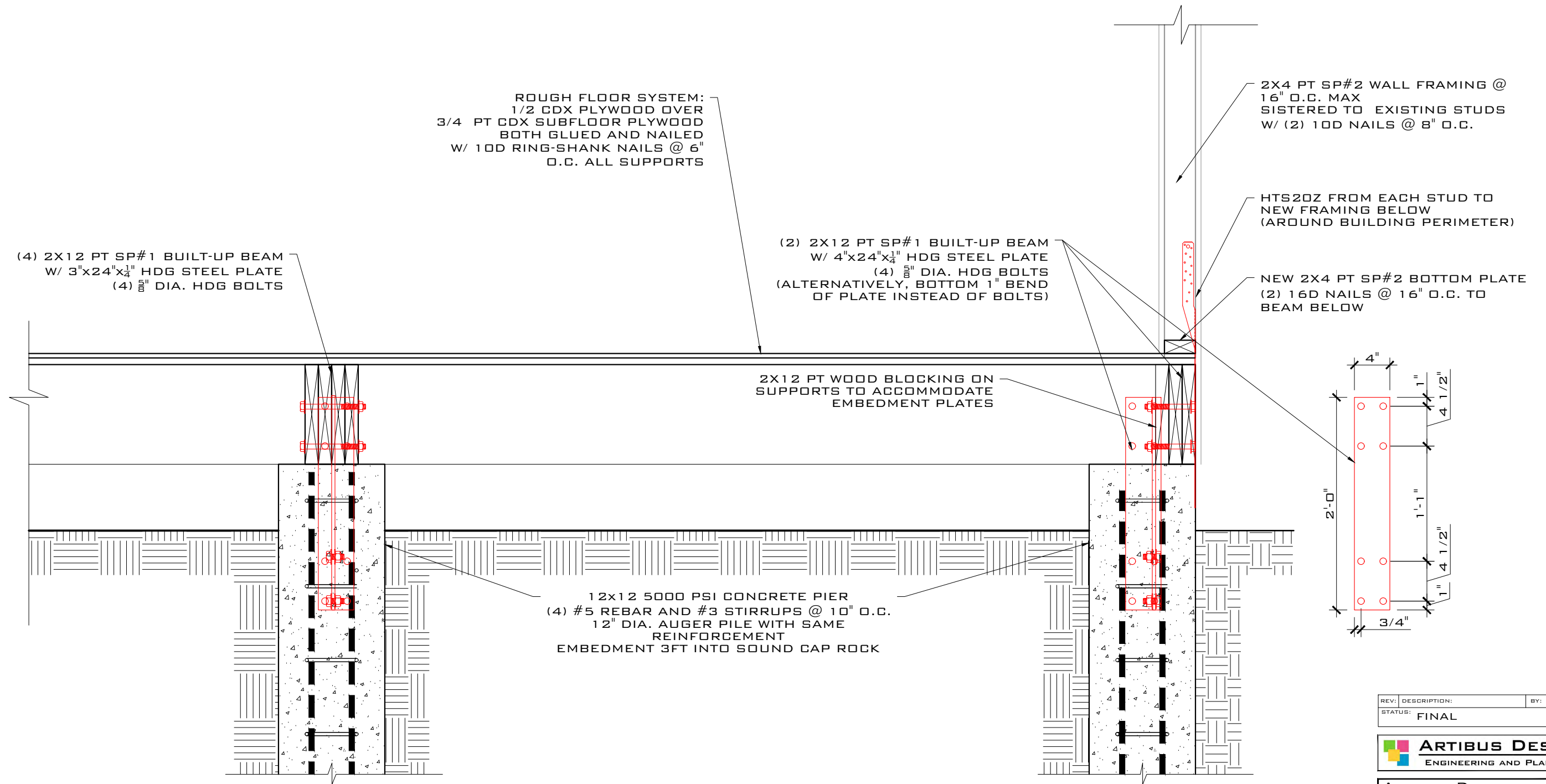


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CLIENT: BUD HALL

PROJECT: 819 WHITE ST/
1202 PINE ST

SITE:	819 WHITE ST/1202 PINE ST KEY WEST, FL 33040		
TITLE:	PROPOSED FOUNDATIONS/ FLOOR FRAMING PLAN		
SCALE AT 11X17: AS SHOWN	DATE: 03/09/20	DRAWN: MNS	CHECKED: SAM
PROJECT NO: 1806-09	DRAWING NO: S-101	REVISION: 1	



ROUGH FLOOR SYSTEM:
1/2 CDX PLYWOOD OVER
3/4 PT CDX SUBFLOOR PLYWOOD
BOTH GLUED AND NAILED
W/ 10D RING-SHANK NAILS @ 6"
O.C. ALL SUPPORTS

(4) 2X12 PT SP#1 BUILT-UP BEAM
W/ 3"x24"x $\frac{1}{4}$ " HDG STEEL PLATE
(4) $\frac{5}{8}$ " DIA. HDG BOLTS

(2) 2X12 PT SP#1 BUILT-UP BEAM
W/ 4"x24"x $\frac{1}{4}$ " HDG STEEL PLATE
(4) $\frac{5}{8}$ " DIA. HDG BOLTS
(ALTERNATIVELY, BOTTOM 1" BEND
OF PLATE INSTEAD OF BOLTS)

2X12 PT WOOD BLOCKING ON
SUPPORTS TO ACCOMMODATE
EMBEDMENT PLATES

2X4 PT SP#2 WALL FRAMING @
16" O.C. MAX
SISTERED TO EXISTING STUDS
W/ (2) 10D NAILS @ 8" O.C.

HTS20Z FROM EACH STUD TO
NEW FRAMING BELOW
(AROUND BUILDING PERIMETER)

NEW 2X4 PT SP#2 BOTTOM PLATE
(2) 16D NAILS @ 16" O.C. TO
BEAM BELOW

12X12 5000 PSI CONCRETE PIER
(4) #5 REBAR AND #3 STIRRUPS @ 10" O.C.
12" DIA. AUGER PILE WITH SAME
REINFORCEMENT
EMBEDMENT 3FT INTO SOUND CAP ROCK

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PROJECT: 819 WHITE ST/
1202 PINE ST

SITE: 819 WHITE ST/1202 PINE ST
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TITLE: SECTION 1-1

SCALE AT 11X17:	DATE:	DRAWN:	CHECKED:
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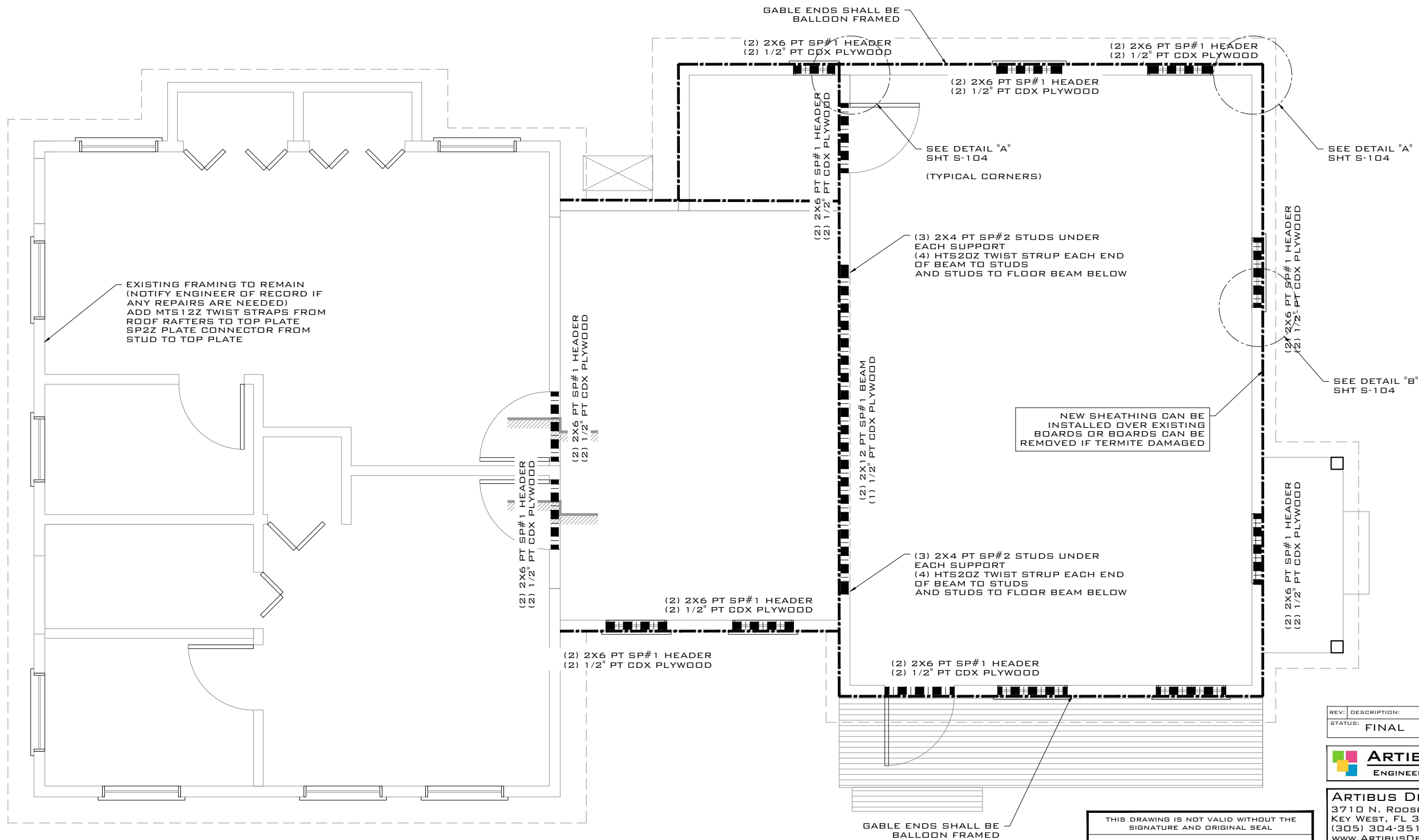
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DATE:

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PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO 71480

SECTION 1-1

SCALE: 1" = 1'-0"



SHEAR WALLS LEGEND	
SYMBOL	DESCRIPTION
	ONE WALL FACE - 5/8" PT CDX SHEATHING PLYWOOD W/ 10D RING-SHANK NAILS @ 4" EDGES AND 6" IN FIELD 2X4 PT SP#2 WALL FRAMING @ 16" O.C. MAX


SHEARWALLS AND STRUCTURAL PLAN
SCALE: 1/4" = 1'-0"

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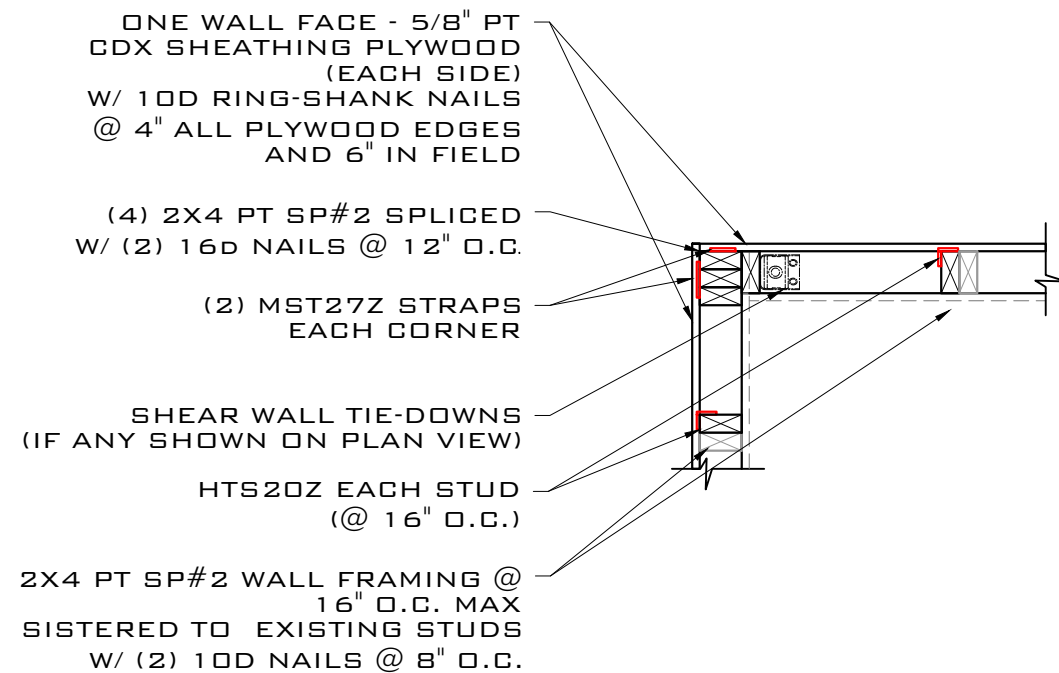
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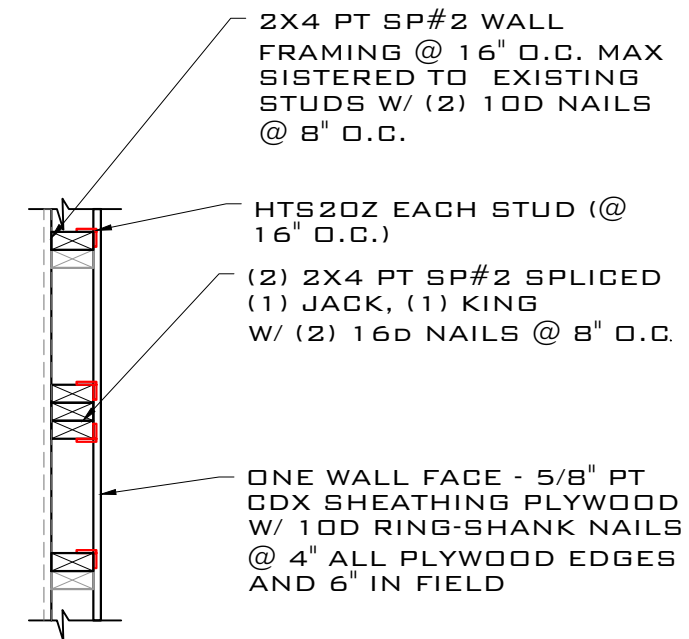
CLIENT:	BUD HALL		
PROJECT:	819 WHITE ST/ 1202 PINE ST		
SITE:	819 WHITE ST/1202 PINE ST KEY WEST, FL 33040		
TITLE:	SHEAR WALLS		

SCALE AT 11x17:	DATE:	DRAWN:	CHECKED:
AS SHOWN	03/09/20	MNS	SAM
PROJECT NO:	DRAWING NO:	REVISION:	
1806-09	S-103	1	



DETAIL A

SCALE: 1/2" = 1'-0"



DETAIL B

SCALE: 1/2" = 1'-0"

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SIGNATURE:	
DATE:	
SERGE MASHTAKOV PROFESSIONAL ENGINEER STATE OF FLORIDA LICENSE NO 71480	

REV:	DESCRIPTION:	BY:	DATE:
STATUS: FINAL			



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CLIENT: BUD HALL

PROJECT: 819 WHITE ST/
1202 PINE ST

SITE: 819 WHITE ST/1202 PINE ST
KEY WEST, FL 33040

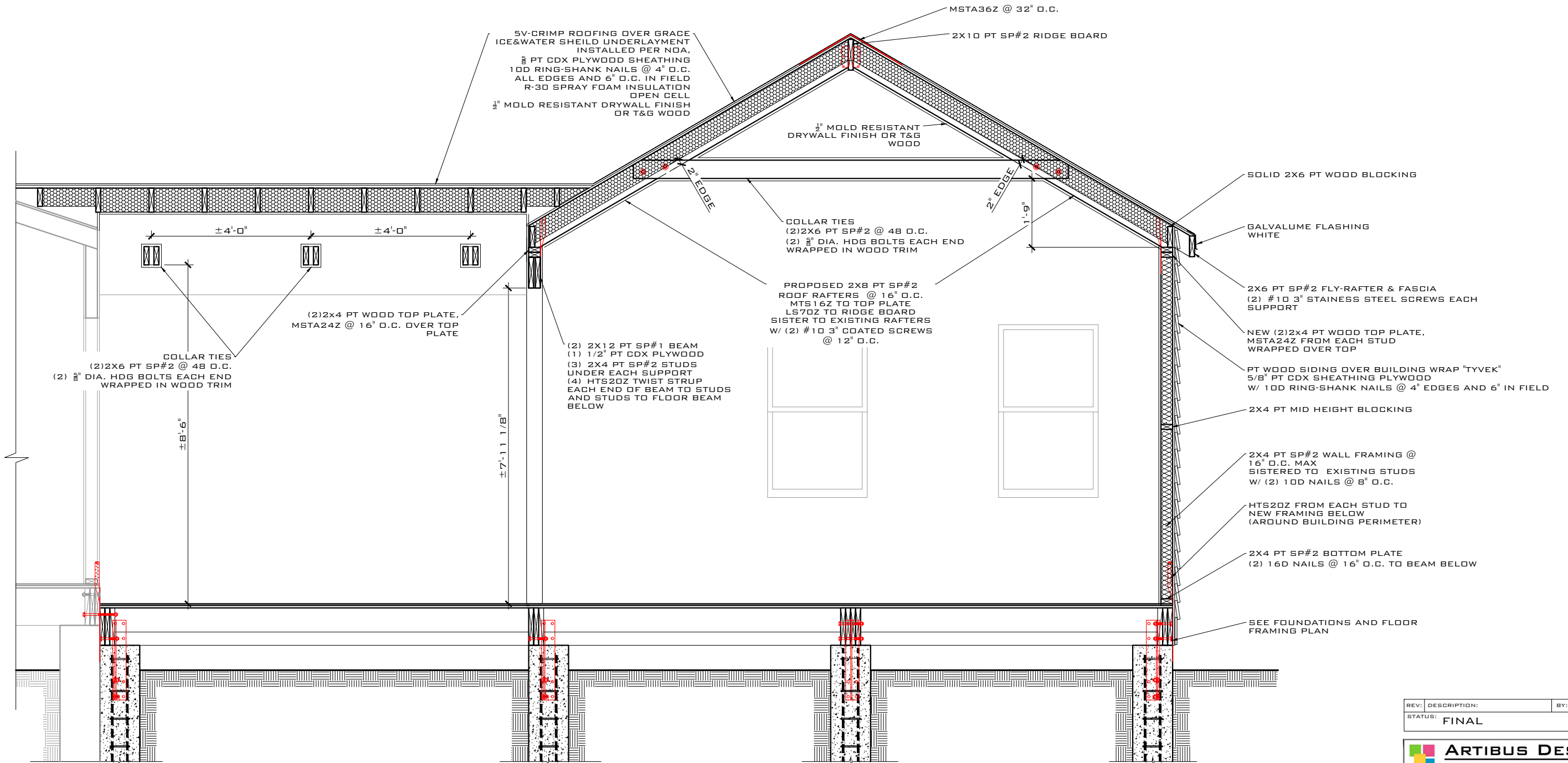
TITLE: SHEAR WALL DETAILS

SCALE AT 1/16": AS SHOWN	DATE: 03/09/20	DRAWN: MNS	CHECKED: SAM
PROJECT NO: 1806-09	DRAWING NO: S-104	REVISION: 1	



SCALE AT 11x17: AS SHOWN	DATE: 03/09/20	DRAWN: MNS	CHECKED: SAM
PROJECT NO: 1806-09	DRAWING NO: S-106		REVISION: 1

SIGNATURE:	
DATE:	
SERGE MASHTAKOV PROFESSIONAL ENGINEER STATE OF FLORIDA LICENSE NO 71480	



SECTION 2-2
SCALE: 3/8" = 1'-0"

REV:	DESCRIPTION:	BY:	DATE:
STATUS:	FINAL		



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CLIENT: BUD HALL

PROJECT: 819 WHITE ST/
1202 PINE ST

SITE: 819 WHITE ST/1202 PINE ST
KEY WEST, FL 33040

TITLE: SECTION 2-2

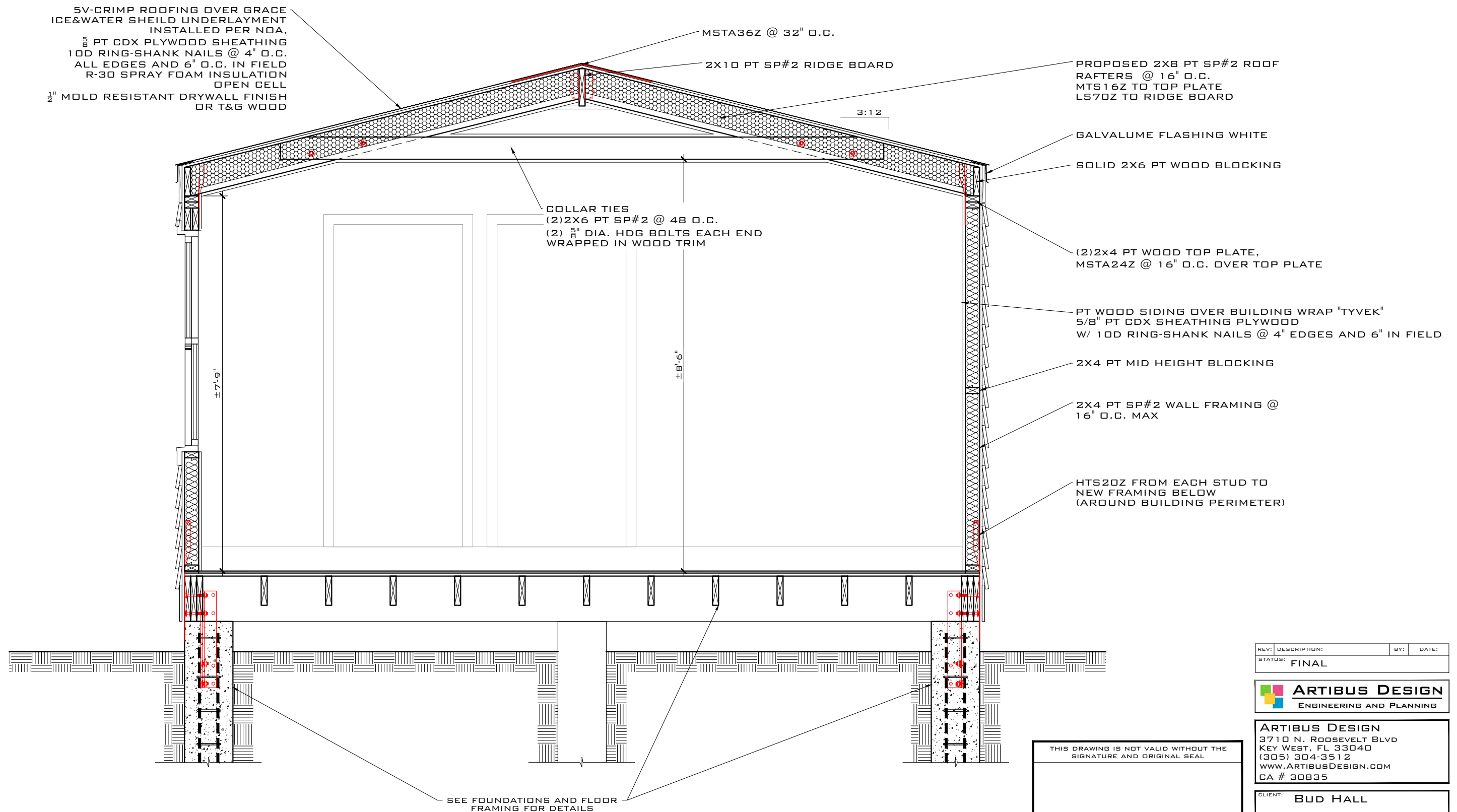
SCALE AT 11x17:	DATE:	DRAWN:	CHECKED:
AS SHOWN	03/09/20	MNS	SAM
PROJECT NO:	DRAWING NO:	REVISION:	
1806-09	S-107	1	

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SIGNATURE:

DATE:

SERGE MASHTAKOV
PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO 71480



SECTION 4-4
SCALE: 1/2" = 1'-0"

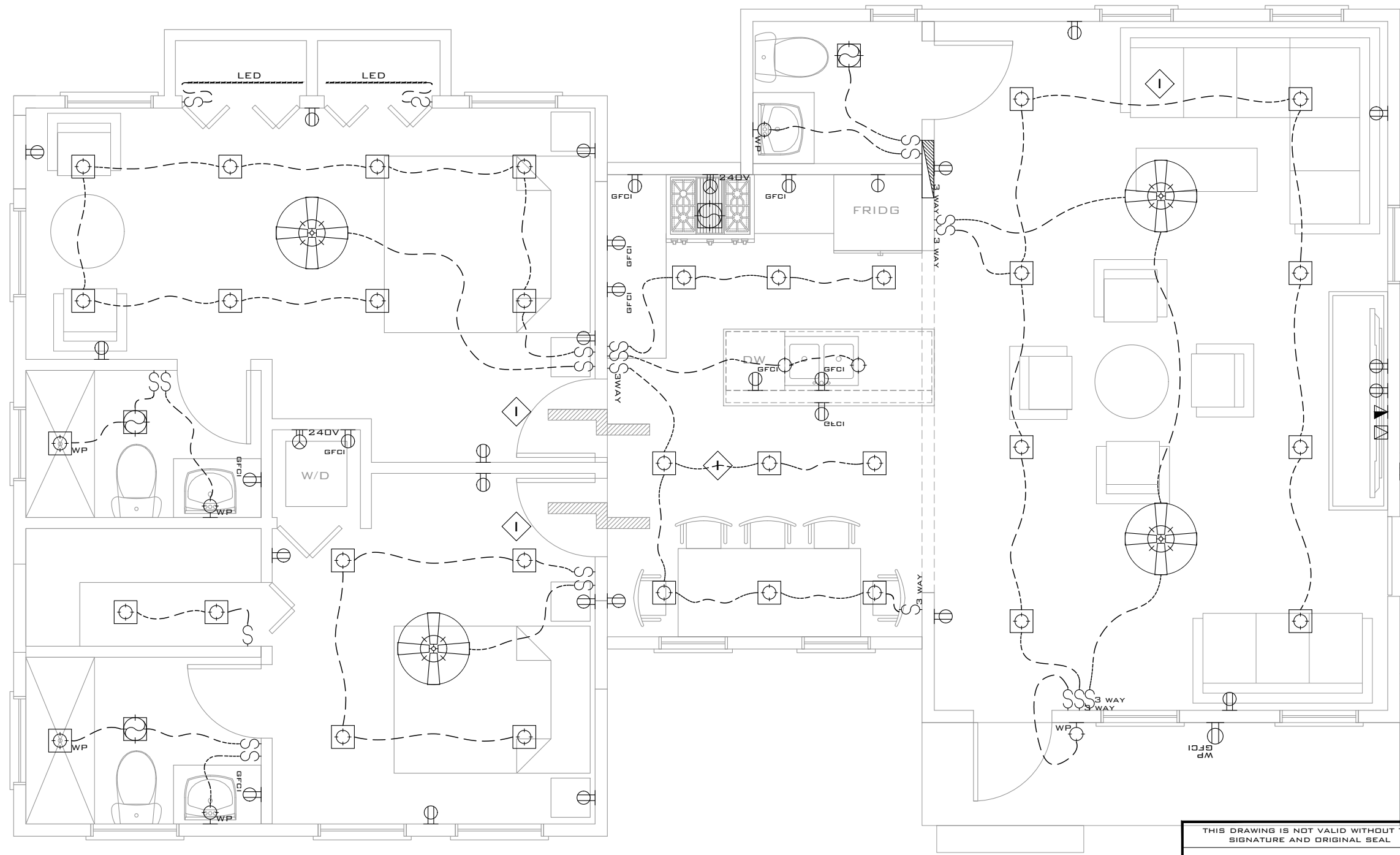
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DATE:

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PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO 71480

REV:	DESCRIPTION:	BY:	DATE:
STATUS: FINAL			
<div><div><div></div><div></div><div></div></div><div>ARTIBUS DESIGN</div><div>ENGINEERING AND PLANNING</div></div>			
ARTIBUS DESIGN 3710 N. ROOSEVELT BLVD KEY WEST, FL 33040 (305) 304-3512 WWW.ARTIBUSDESIGN.COM CA # 30835			
CLIENT: BUD HALL			
PROJECT: 819 WHITE ST/ 1202 PINE ST			
SITE: 819 WHITE ST/1202 PINE ST KEY WEST, FL 33040			
TITLE: SECTION 4-4			
SCALE AT 11x17: AS SHOWN	DATE: 03/09/20	DRAWN: MNS	CHECKED: SAM
PROJECT NO: 1806-09	DRAWING NO: S-108	REVISION: 1	






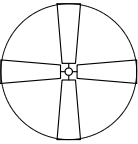




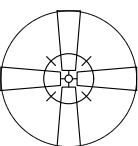






































PROPOSED ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

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SIGNATURE:
DATE:

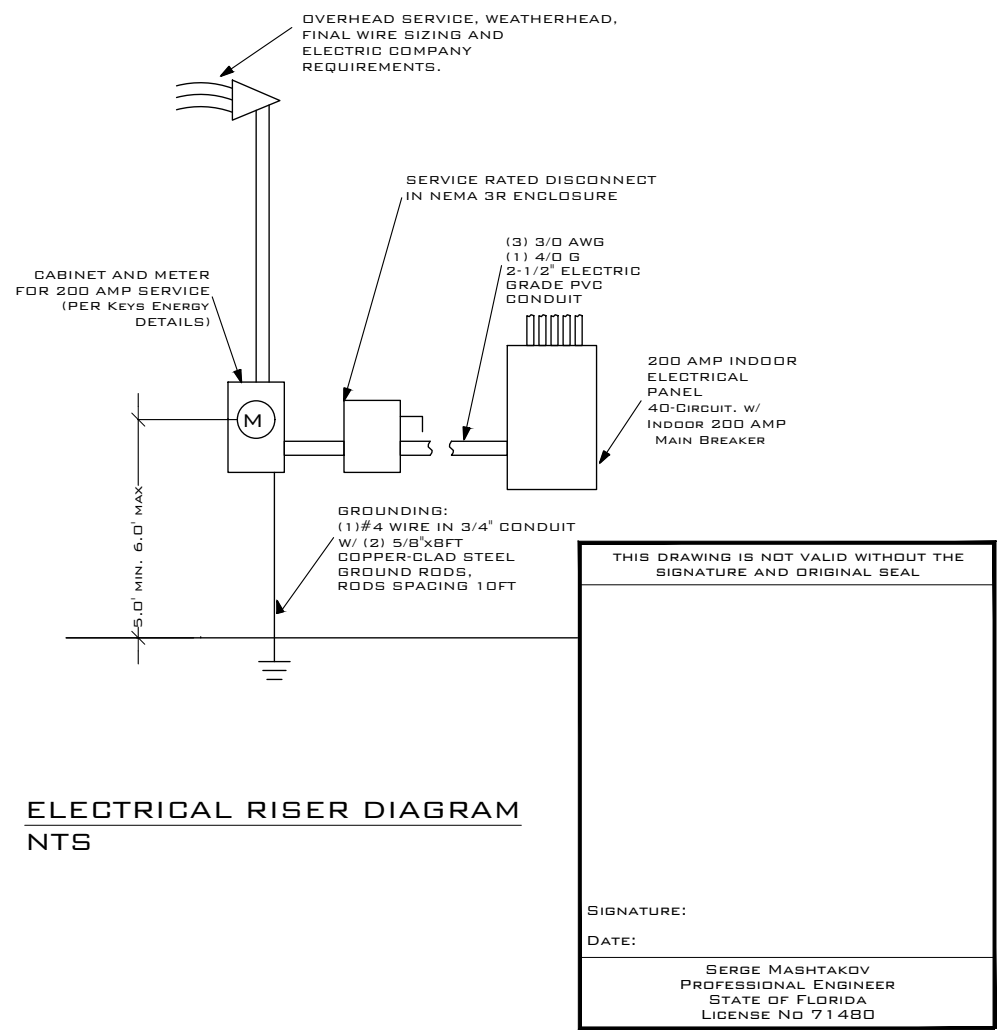
SERGE MASHTAKOV
PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO 71480

REV:	DESCRIPTION:	BY:	DATE:
STATUS:	FINAL		
 ARTIBUS DESIGN ENGINEERING AND PLANNING			
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CLIENT:	BUD HALL		
PROJECT:	819 WHITE ST/ 1202 PINE ST		
SITE:	819 WHITE ST/1202 PINE ST KEY WEST, FL 33040		
TITLE:	PROPOSED ELECTRICAL PLAN		
SCALE AT 11x17: AS SHOWN	DATE: 03/09/20	DRAWN: MNS	CHECKED: SAM
PROJECT NO: 1806-09	DRAWING NO: E-101	REVISION: 1	


ELECTRICAL SYMBOL LEGEND					
	20A/120V DUPLEX RECEPTACLE W/ GROUNDING		PHOTOCELL		CEILING FAN
	20A/120V SINGLE RECEPTACLE W/ GROUNDING		RECESSED LIGHT FIXTURE, SUBSCRIPT FOR FIXTURE GROUP DESIGNATION		
	20A/120V SPLIT WIRED DUPLEX RECEPTACLE W/ GROUNDING		CEILING MOUNT LIGHT FIXTURE, SUBSCRIPT FOR FIXTURE GROUP DESIGNATION		CEILING FAN W/LIGHT
	20A/120V GROUND FAULT CIRCUIT INTERRUPTER DUPLEX OUTLET		WALL MOUNT LIGHT FIXTURE, SUBSCRIPT FOR FIXTURE GROUP DESIGNATION		
	20A/120V GROUND FAULT CIRCUIT INTERRUPTER DUPLEX OUTLET W/ WATERPROOF COVER		WALL MOUNT LIGHT FIXTURE WATERPROOFED, SUBSCRIPT FOR FIXTURE GROUP DESIGNATION		POWER PANEL, SWITCHBOARD
	20A/120V FLOOR DUPLEX RECEPTACLE W/ GROUNDING		EMERGENCY LIGHT FIXTURE, RECHARGEABLE BATTERY TYPE		
	SPECIAL PURPOSE OUTLET, SUBSCRIPT FOR IDENTIFICATION		CEILING MOUNT EXIT SIGN		CEILING MOUNT FLUORESCENT LIGHT FIXTURE, SUBSCRIPT FOR FIXTURE GROUP DESIGNATION
	SINGLE POLE SWITCH, SUBSCRIPT FOR FIXTURE GROUP DESIGNATION		WALL MOUNT EXIT SIGN		
	2-WAY SWITCH, SUBSCRIPT FOR FIXTURE GROUP DESIGNATION		TWO SIDE EXIT SIGN		WALL MOUNT FLUORESCENT LIGHT FIXTURE, SUBSCRIPT FOR FIXTURE GROUP DESIGNATION
	3-WAY SWITCH, SUBSCRIPT FOR FIXTURE GROUP DESIGNATION		EXHAUST FAN		
	4-WAY SWITCH, SUBSCRIPT FOR FIXTURE GROUP DESIGNATION		EXHAUST FAN W/ LIGHT		PULL BOX
	DIMMER SWITCH, SUBSCRIPT FOR FIXTURE GROUP DESIGNATION		SERVICE RATED NON-FUSABLE DISCONNECT SWITCH		GROUND
	TIMER SWITCH, SUBSCRIPT FOR FIXTURE GROUP DESIGNATION		GENERATOR		IONIZATION SMOKE DETECTOR
	JUNCTION BOX, WALL MOUNT		TV CABLE OUTLET		CARBON MONOXIDE DETECTOR
	JUNCTION BOX, CEILING MOUNT		TELEPHONE OUTLET		POWER COMPANY METER
	DOOR BELL		TELEPHONE/DATA OUTLET		UTILITY POLE
	TANKLESS WATER HEATER		WATER HEATER		STAIR LIGHT W/ DUSK TO DAWN SENSOR

NOTES:

1. ALL WORK SHALL BE PER NATIONAL ELECTRIC CODE, FBC 6TH EDITION (2017), LOCAL POWER COMPANY RULES AND ANY OTHER APPLICABLE STANDARDS.
2. DRAWINGS SHOWN ARE DIAGRAMMATIC IN NATURE AND WILL NOT SHOW ALL FITTINGS, BENDS AND ACCESSORIES REQUIRED FOR THE CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR EVALUATING FIELD CONDITIONS PRIOR COMMENCING THE WORK.
3. CONTRACTOR SHALL VERIFY AND TEST GROUNDING AND INSURE IT COMPLIES WITH LATEST NEC.
4. ELECTRICAL CONDUIT SHALL BE BEDDED IN COMPACTED CLEAN PEA-ROCK 6" ALL SIDES MINIMUM.
5. ALL BACKFILL MATERIAL SHALL BE COMPACTED TO 95% OF STANDARD PROCTOR TEST.
6. ALL ELECTRICAL EQUIPMENT SHALL BE GROUNDED PER NEC.
7. ALL HARDWARE AND EQUIPMENT SHALL BE UL LABELED AND UV RATED FOR EXTERIOR USE.
8. CONTRACTOR SHALL NOT CUT ANY STRUCTURAL MEMBERS WITHOUT PRIOR APPROVAL BY THE ENGINEER.
9. MINIMUM WIRE SIZES SHALL BE #12 THHN/THWN UNLESS OTHERWISE IS SPECIFIED.
10. ALL CONDUCTORS SHALL BE COPPER RUN IN GALVANIZED METALLIC CONDUITS UNLESS OTHERWISE IS SPECIFIED.
11. ALL PULL AND JUNCTION BOXES SHALL BE ACCESSIBLE AT ALL TIMES.
12. ALL CONDUCTORS SHALL BE RAN WITHOUT SPLICES.
13. ALL FIXTURES SHALL BE SUPPORTED IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS AND PER NEC.
14. SMOKE DETECTORS SHALL BE HARDWIRED AND HAVE BATTERY BACK-UP. INTERCONNECTION OF THE DETECTORS SHALL ALLOW ALL TO SOUND AT ONCE.
15. ALL BREAKERS SHALL BE COMBINATION AFCI UNLESS OTHERWISE IS PERMITTED BY THE LATEST NEC.
16. ALL RECEPTACLES IN BATHROOMS, KITCHEN AND GARAGE SHALL BE GROUND FAULT CIRCUIT INTERRUPTED TYPE (GFCI).
17. ALL OUTDOOR RECEPTACLES SHALL BE WATER AND TAMPERPROOF GFCI TYPE.
18. BRANCH CIRCUITS SHALL BE PROPERLY BALANCED.
19. ELECTRICAL CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHER TRADES TO ELIMINATE CONFLICTS AND PROVIDE FUNCTIONAL SYSTEM.
20. FOUNDATION REINFORCEMENT SHALL BE BONDED WITH GROUNDING PER NEC.
21. ALL ELECTRICAL EQUIPMENT SHALL BE LOCATED ABOVE BASE FLOOD ELEVATION.
22. STYLES OF ALL ELECTRICAL FIXTURES, OUTLETS, SWITCHES SHALL BE REVIEWED AND APPROVED BY THE OWNER PRIOR ANY PURCHASING OR INSTALLATION.



REV:	DESCRIPTION:	BY:	DATE:
STATUS: FINAL			

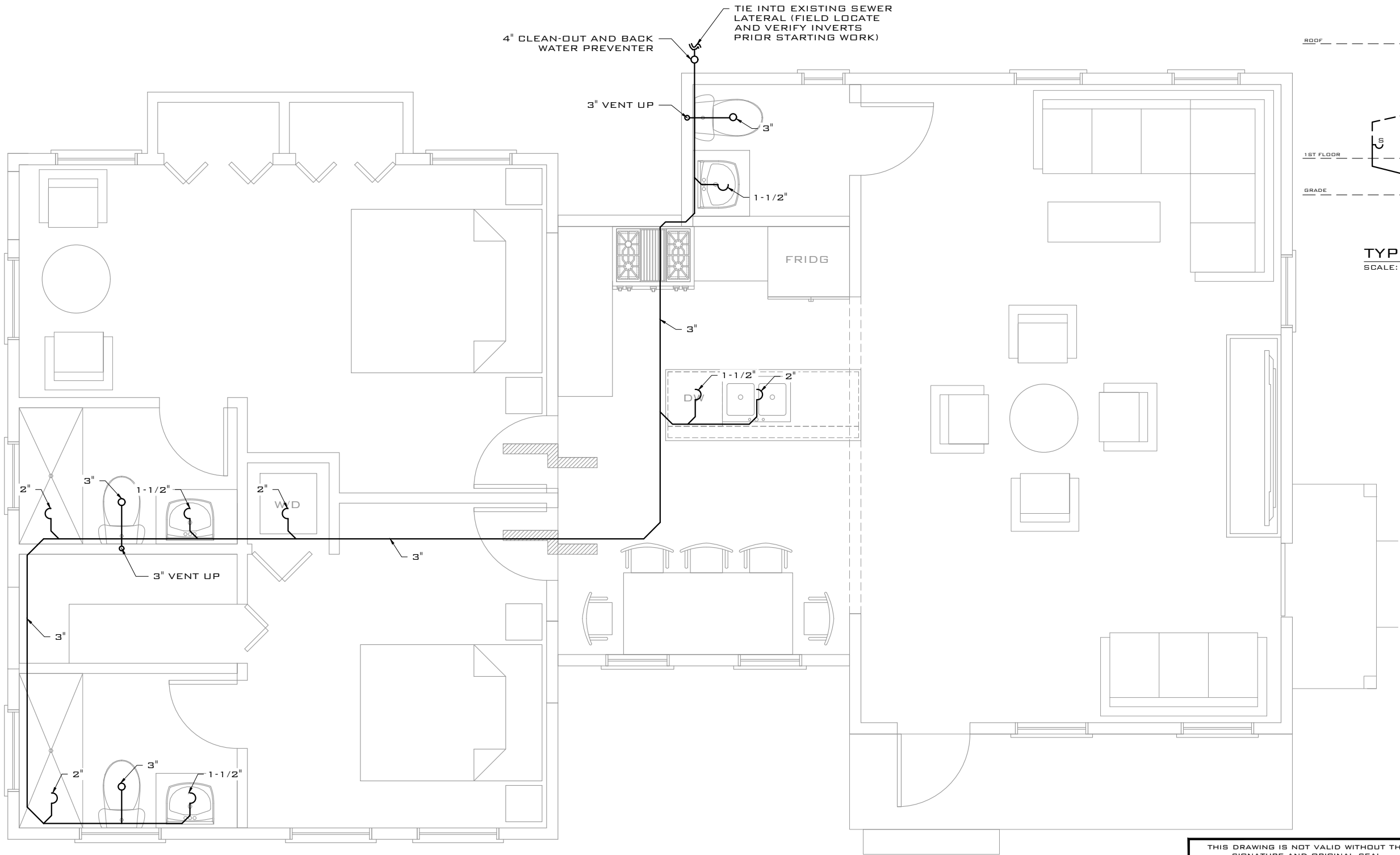


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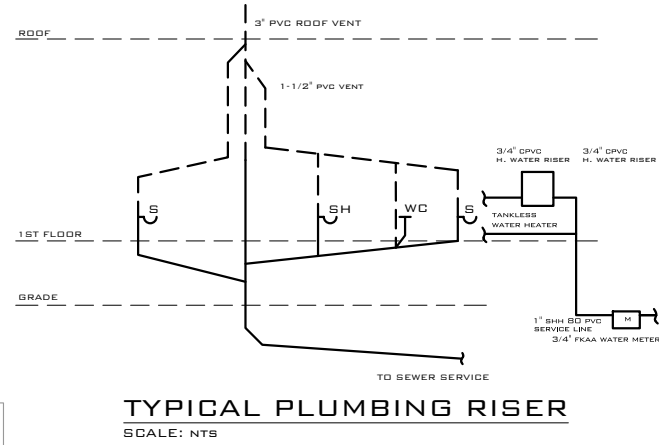
CLIENT:	BUD HALL		
PROJECT:	819 WHITE ST/ 1202 PINE ST		
SITE:	819 WHITE ST/1202 PINE ST KEY WEST, FL 33040		
TITLE:	ELECTRICAL SYMBOL LEGEND		

SCALE AT 11x17:	DATE:	DRAWN:	CHECKED:
AS SHOWN	03/09/20	MNS	SAM
PROJECT NO:	DRAWING NO:	REVISION:	
1806-09	E-102	1	



- PLUMBING NOTES:
1. ALL WORK AND MATERIALS SHALL BE IN COMPLIANCE WITH FBC 6TH EDITION (2017) PLUMBING AND LOCAL STANDARDS.
 2. ALL SANITARY SEWER PIPING SHALL BE SCH 40 PVC.
 3. ALL INTERIOR WATER SUPPLY PIPING SHALL BE CPVC. 1" DIA. FOR PIPING LINES AND 3/4" DIA. MIN FOR SERVICES.
 4. PLUMBING CONTRACTORS SCOPE OF WORK INCLUDES ALL MATERIALS, VALVES, FITTINGS, VENTS ETC. REQUIRED FOR A COMPLETE AND OPERATIONS SYSTEM.
 5. ALL PLUMBING FIXTURES SHALL BE APPROVED BY OWNER PRIOR PURCHASING AND INSTALLATION.
 6. THE SYSTEM SHALL BE FLUSHED AND TESTED BY THE CONTRACTOR IN ACCORDANCE WITH FBC PLUMBING 2017 SECTION 312. ALL TESTS SHALL BE WITNESSED BY THE ENGINEER, UTILITY REPRESENTATIVE AND BUILDING INSPECTOR (UNLESS APPROVED OTHERWISE).
 7. WATER HEATER SHALL BE INSTALLED WITH ALL NECESSARY VACUUM BREAKERS AND PRESSURE RELIEVE VALVES AS RECOMMENDED BY THE MANUFACTURER AND REQUIRED BY CODE.

PROPOSED PLUMBING PLAN
SCALE: 1/4" = 1'-0"



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SIGNATURE:
DATE:

SERGE MASHTAKOV
PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO 71480

REV:	DESCRIPTION:	BY:	DATE:
STATUS: FINAL			



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KEY WEST, FL 33040

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CA # 30835

CLIENT:	BUD HALL
PROJECT:	819 WHITE ST/ 1202 PINE ST

SITE:	819 WHITE ST/1202 PINE ST KEY WEST, FL 33040		
TITLE:	PROPOSED PLUMBING PLAN		
SCALE AT 11x17: AS SHOWN	DATE: 03/09/20	DRAWN: MNS	CHECKED: SAM
PROJECT NO: 1806-09	DRAWING NO: P-101	REVISION: 1	

NOTICING

Public Meeting Notice

The Historic Architectural Review Commission will hold a public meeting at **5:00 p.m., November 24, 2020 at City Hall, 1300 White Street**, Key West, Florida. In order to view the live feed of the meeting, you can tune in to Comcast channel 77, AT&T Uverse channel 99, or type this link into your browser: http://keywestcity.granicus.com/MediaPlayer.php?publish_id=1&embed=1 If you wish to participate virtually, please contact HARC staff at 305-809-3973. The purpose of the hearing will be to consider a request for:

**AFTER THE FACT- NEW COVERED PORCH AND ENTRY STAIR
FACING PINE STREET.
#819 WHITE STREET**

Applicant – Shift Construction Application #BLD2019-2202

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 1300 White Street, call 305-809-3973 or visit our website at www.cityofkeywest-fl.gov.

THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION

ADA ASSISTANCE: It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 800-955-8771 or 800-955-8770 (Voice) or the ADA Coordinator at 305-809-3811 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.

HARC POSTING AFFIDAVIT

STATE OF FLORIDA:
COUNTY OF MONROE:

BEFORE ME, the undersigned authority, personally appeared Albert Hall III, who, first being duly sworn, on oath, depose and says that the following statements are true and correct to the best of his/her knowledge and belief:

1. That a legal notice for Public Notice of Hearing of the Historic Architectural Review Commission (HARC) was placed on the following address:

819 White Street on the 18th day of November, 2020.

This legal notice(s) contained an area of at least 8.5"x11".

The property was posted to notice a public hearing before the Key West Historic Architectural Review Commission to be held on November 24, 2020.

The legal notice(s) is/are clearly visible from the public street adjacent to the property.

The Certificate of Appropriateness number for this legal notice is 131d. 2019-2202.

2. A photograph of that legal notice posted in the property is attached hereto.

Signed Name of Affiant:

Albert Hall III Albert Hall III
Date: 11/18/20
Address: 1204 Pine St
City: Key West
State, Zip: FL 33040

The forgoing instrument was acknowledged before me on this 18th day of November, 2020.

By (Print name of Affiant) Albert Hall III who is personally known to me or has produced Florida Drivers Licence as identification and who did take an oath.

NOTARY PUBLIC

Sign Name: Janel Jeselskis
Print Name: Janel Jeselskis
Notary Public - State of Florida (seal)
My Commission Expires: 9/25/2021



Janel K. Jeselskis
NOTARY PUBLIC
STATE OF FLORIDA
Comm# GG130129
Expires 9/25/2021

PROPERTY APPRAISER INFORMATION



Monroe County, FL

Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID 00024890-000000
 Account# 1025674
 Property ID 1025674
 Millage Group 10KW
 Location 819 WHITE St, KEY WEST
 Address
 Legal KW W C MALONEY DIAGRAM PB1-22 PT LOT 1 SQR 4 TR 7 D2-209 OR162-577/78 OR503-682 OR1873-768/69 OR2901-2316/17
 Description (Note: Not to be used on legal documents.)
 Neighborhood 6284
 Property Class SINGLE FAMILY RESID (0100)
 Subdivision
 Sec/Twp/Rng 05/68/25
 Affordable No
 Housing



Owner

[HALL IV ALBERT](#)
 1204 Pine St
 Key West FL 33040

Valuation

	2020	2019	2018	2017
+ Market Improvement Value	\$407,548	\$70,371	\$84,387	\$160,796
+ Market Misc Value	\$0	\$721	\$721	\$265
+ Market Land Value	\$300,567	\$267,628	\$287,186	\$332,832
= Just Market Value	\$708,115	\$338,720	\$372,294	\$493,893
= Total Assessed Value	\$708,115	\$338,720	\$372,294	\$372,759
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$708,115	\$338,720	\$372,294	\$493,893

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
RES SUPERIOR DRY (01SD)	2,405.00	Square Foot	40	63

Buildings

Building ID 1926
 Style 1 STORY ELEV FOUNDATION
 Building Type S.F.R. - R1 / R1
 Gross Sq Ft 1187
 Finished Sq Ft 1115
 Stories 1 Floor
 Condition EXCELLENT
 Perimeter 188
 Functional Obs 0
 Economic Obs 0
 Depreciation % 1
 Interior Walls WALL BD/WD WAL

Exterior Walls CUSTOM
 Year Built 1938
 EffectiveYearBuilt 2019
 Foundation CONCR FTR
 Roof Type GABLE/HIP
 Roof Coverage MIN/PAINT CONC
 Flooring Type SFT/HD WD
 Heating Type FCD/AIR NON-DC with 0% NONE
 Bedrooms 2
 Full Bathrooms 3
 Half Bathrooms 0
 Grade 600
 Number of Fire Pl 0

Code	Description	Sketch Area	Finished Area	Perimeter
OPX	EXC OPEN PORCH	72	0	60
FLA	FLOOR LIV AREA	1,115	1,115	242
TOTAL		1,187	1,115	302

Yard Items

Description	Year Built	Roll Year	Quantity	Units	Grade
FENCES	2020	2021	1	280 SF	2

Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved
4/16/2018	\$493,900	Warranty Deed	2164893	2901	2316	30 - Unqualified	Improved
2/1/1972	\$7,000	Conversion Code		503	682	Q - Qualified	Improved

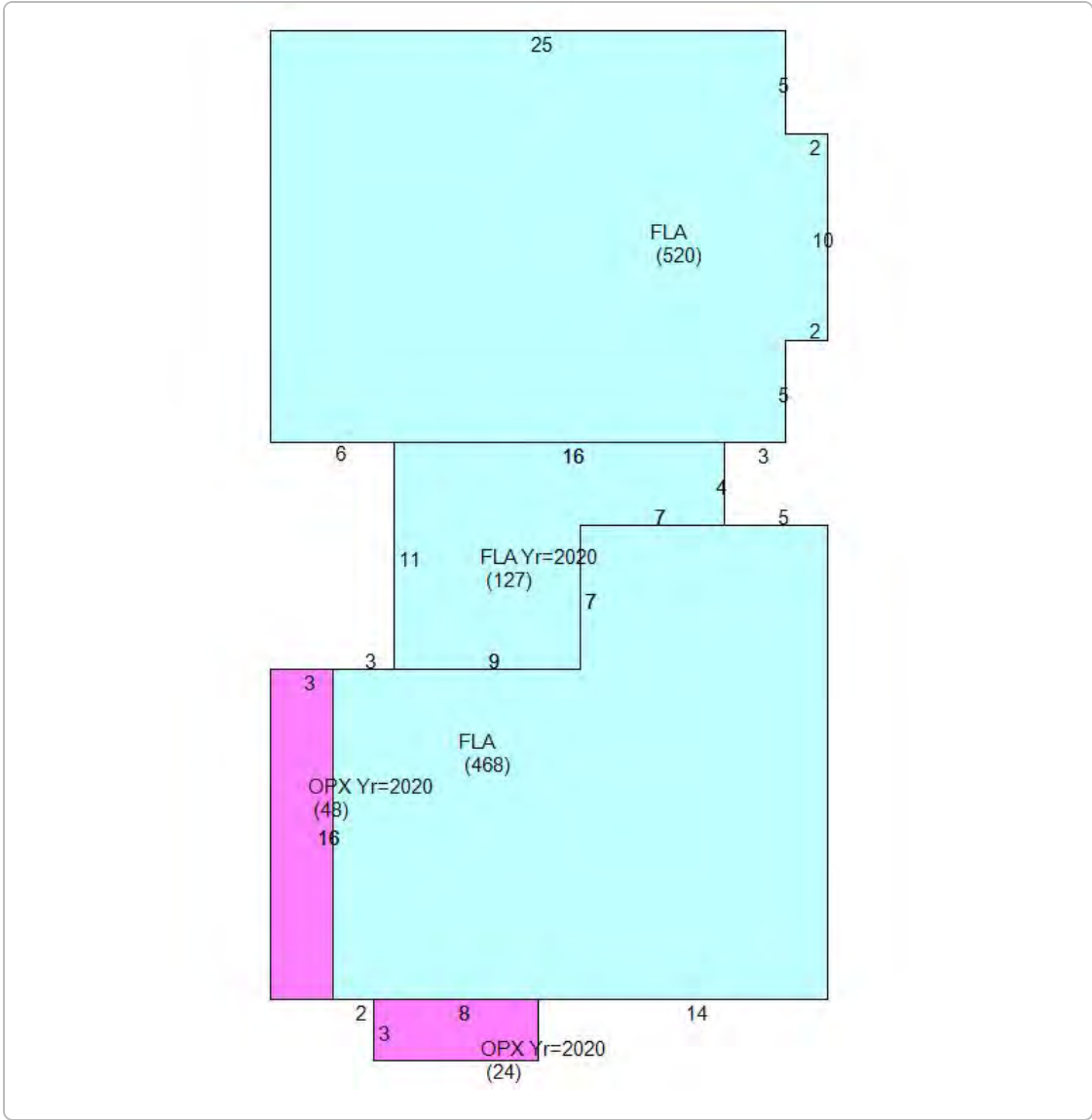
Permits

Number	Date Issued	Date Completed	Amount	Permit Type	Notes
19-2202	12/11/2019	11/29/2019	\$65,000	Residential	Renovation - new windows and doors, new siding, new trim, construct new front porch, new insulation new framing, new drywall, new kitchen and bath, new paint (white on white) hardwood flooring and tile *NOC required* *HARC required
19-2478	12/11/2019	11/29/2019	\$0	Residential	We will tear existing room, we will install Poly glass peel & stick base sheet and we will install 5V-Crimp metal. (1378 SQ FT Total) We will tear off 800sf of existing metal shingles. Install polyglass peel and stick. Also new metal shingles and 5 V-Crimp on the house in front. ****NOC Required & HARC Inspection ****
19-2483	12/11/2019	11/29/2019	\$15,600	Residential	To rough and install 3 toilets, 4 lavatory sinks, 2 showers, 1 washer box and 1 ice maker box
19-3856	12/11/2019	11/29/2019	\$15,500	Residential	Wire existing house, per electrical plans. Install outlets, lights, ceiling fans, can lights and 200 amp, indoor panel 42 circuit, smoke detectors per NEC. **NOC RECV'D 11/13/19
19-3869	12/11/2019	11/29/2019	\$13,500	Residential	Install 13Sq Grace & Berridge Metal Shingle Roof and 1/2 Sq Hydrostop
19-4189	12/11/2019	11/29/2019	\$0	Residential	Install a 3 ton Tri Zone mini split system Mitsubishi - MXZ4C36 & MSZGL18 & (2) 09 Condenser on bracket.
18-0361	3/6/2019	11/29/2019	\$0	Residential	REPLACE 4 SHINGLES ON 1202 P9INE REPLACE ON SECTION OF VCRIMP ON 819 WHITE
18-1537	1/14/2019	9/17/2019	\$20,000	Residential	COMPLETE AUGER PILES (20) AND FRAMMIG PER PLANS APPROX 653SF
18-1943	5/8/2018		\$2,000	Residential	DEMO INTERIOR KITCHEN, BATHROOMS, AND SUB FLOOR, CONDUCT EXPLORATORY OF CONCRETE FOOTES
18-0179	1/16/2018	7/10/2018	\$0	Residential	INSTALL WOOD PICKET FENCE AT FRONT OF HOUSE 4'H
17-1151	3/21/2017	12/4/2017	\$0	Residential	REMOVE ALUMINUM WINDOWS REPLACE WITH WOOD WINDWOS AND NEW EXTERIOR WOOD DOORS AND TRIM NEW 2ND FLR JOISTS AND SIMPSON MONEMT FRAME WITH NEW FOUNDATIONS PER PLANS NEW IPE DECKING AR REAR 100SF NEW KITCHEN AND BATHROOMS PER PLANS NEW ALL WOOD STAIR CASE
17-1012	3/9/2017	6/6/2017	\$0	Residential	ALL ROOFING REMOVE EXSTING INSTALL VCRIMP
17-0851	2/28/2017	12/8/2017	\$0	Residential	RE ROUGH TRIM OUT 3 TOILETS 2 SHOERS 3 LAVS 1 KITCH SINK
17-0248	1/23/2017	12/8/2017	\$0	Residential	REMOVE CABINETS FLOORING UPSTAIRS BATH 2ND FLR JOISTS WALLS TO GROUND FLOOR BATHROOM AND FIXT
05-2891	7/12/2005	12/31/2005	\$500	Residential	RISER & SERVICE REPAIR HURRICANE DENNIS DAMAGE
9800088	1/12/1998	12/31/1998	\$1,200	Residential	INSTALL NEW METER & BOX

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Sketches (click to enlarge)



Photos



Map



TRIM Notice

2020 TRIM Notice(PDF)

2020 Notices Only

No data available for the following modules: Commercial Buildings, Mobile Home Buildings, Exemptions.

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the [User Privacy Policy](#) [GDPR Privacy Notice](#)

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