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## Historic Architectural Review Commission Staff Report for Item 12

To: Chairman Bryan Green and Historic Architectural Review Commission Members

From: Enid Torregrosa-Silva, MSHP  
Historic Preservation Planner

Meeting Date: January 26, 2021

Applicant: William Shepler, Architect

Application Number: H2020-44

Address: 727 Emma Street

### **Description of Work:**

Completion of a one-story frame accessory structure in rear yard.

### **Site Facts:**

The site under review has a one-story frame vernacular house listed as a contributing resource to the historic district. The house was built circa 1920. There is a non-historic accessory structure at the rear of the main house. A building permit was issued for some work on the accessory structure, but the permit expired. New work was done with the expired permit, which required after the fact side yard variances. On December 17, 2020 the Planning Board approved such variance.

### **Guidelines Cited on Review:**

- New Construction (pages 38a-q), specifically guidelines 1, 2, 6, 7, 8, 9, 11, 12, 14, 16, 18, 22, 23, 24, and 25.
- Outbuildings (pages 40-41), specifically guidelines 1, 3, 4, and 9.

### **Staff Analysis:**

The Certificate of Appropriateness under review is for the enclosure of portions of an existing non-historic accessory structure. The building has a front gable roof and sits in the rear portion of the lot. The plan includes removal of T1-11 siding and replacement with hardie board. Also, current open areas under the

roof will be enclosed. Windows and doors will be metal impact units. The existing roof configuration will not be changed, but the end rafters will be removed in order to meet Planning Board requirements.

**Consistency with Cited Guidelines:**

It is staff's opinion that the proposed design meets the cited guidelines. The current structure is not historic, and the proposed changes will not have any effect in the scale of the structure.

# APPLICATION

# HARC MAJOR PROJECTS CERTIFICATE OF APPROPRIATENESS

\$420 NON-REFUNDABLE BASE APPLICATION FEE - OTHER FEES MAY BE APPLICABLE Rev 12/14/2020ET



**City of Key West**  
 1300 WHITE STREET  
 KEY WEST, FLORIDA 33040

HARC COA # <i>H-2020-0044</i>	REVISION #	INITIAL & DATE
FLOOD ZONE	ZONING DISTRICT	BLDG PERMIT #

**A PRE-APPLICATION MEETING WITH HARC STAFF IS REQUIRED PRIOR TO SUBMITTAL**

ADDRESS OF PROPOSED PROJECT:	727 Emma Street, Key West , FL		
NAME ON DEED:	Lisa Rivard	PHONE NUMBER	631-383-6838
OWNER'S MAILING ADDRESS:	727 Emma Street, Key West , FL	EMAIL	Lisa.Rivard@KeysSchools.com
APPLICANT NAME:	William Shepler	PHONE NUMBER	305-890-6191
APPLICANT'S ADDRESS:	201 Front Street, Suite 201	EMAIL	Will@wshepler.com
APPLICANT'S SIGNATURE:	WILLIAM B SHEPLER	Digitally signed by WILLIAM B SHEPLER Date: 2020.12.28 16:31:25 -05'00'	DATE 12-28-2020

**ANY PERSON THAT MAKES CHANGES TO AN APPROVED CERTIFICATE OF APPROPRIATENESS MUST SUBMIT A NEW APPLICATION.**

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083. THE APPLICANT FURTHER HEREBY ACKNOWLEDGES THAT THE SCOPE OF WORK AS DESCRIBED IN THE APPLICATION SHALL BE THE SCOPE OF WORK THAT IS CONTEMPLATED BY THE APPLICANT AND THE CITY. THE APPLICANT FURTHER STIPULATES THAT SHOULD FURTHER ACTION BE TAKEN BY THE CITY FOR EXCEEDING THE SCOPE OF THE DESCRIPTION OF WORK, AS DESCRIBED HEREIN, AND IF THERE IS CONFLICTING INFORMATION BETWEEN THE DESCRIPTION OF WORK AND THE SUBMITTED PLANS, THE AFOREMENTIONED DESCRIPTION OF WORK SHALL BE CONTROLLING.

PROJECT INCLUDES: REPLACEMENT OF WINDOWS  RELOCATION OF A STRUCTURE  ELEVATION OF A STRUCTURE   
 PROJECT INVOLVES A CONTRIBUTING STRUCTURE: YES  NO  INVOLVES A HISTORIC STRUCTURE: YES  NO   
 PROJECT INVOLVES A STRUCTURE THAT IS INDIVIDUALLY LISTED ON THE NATIONAL REGISTER: YES  NO

DETAILED PROJECT DESCRIPTION INCLUDING MATERIALS, HEIGHT, DIMENSIONS, SQUARE FOOTAGE, LOCATION, ETC.	
GENERAL:	Completion of a a one story wood frame accessory structure at rear of property that was previously approved and permitted for construction but never finished. A Variance has been granted for non-conforming setbacks and rear yard coverage.
MAIN BUILDING:	No Work
DEMOLITION (PLEASE FILL OUT AND ATTACH DEMOLITION APPENDIX):	

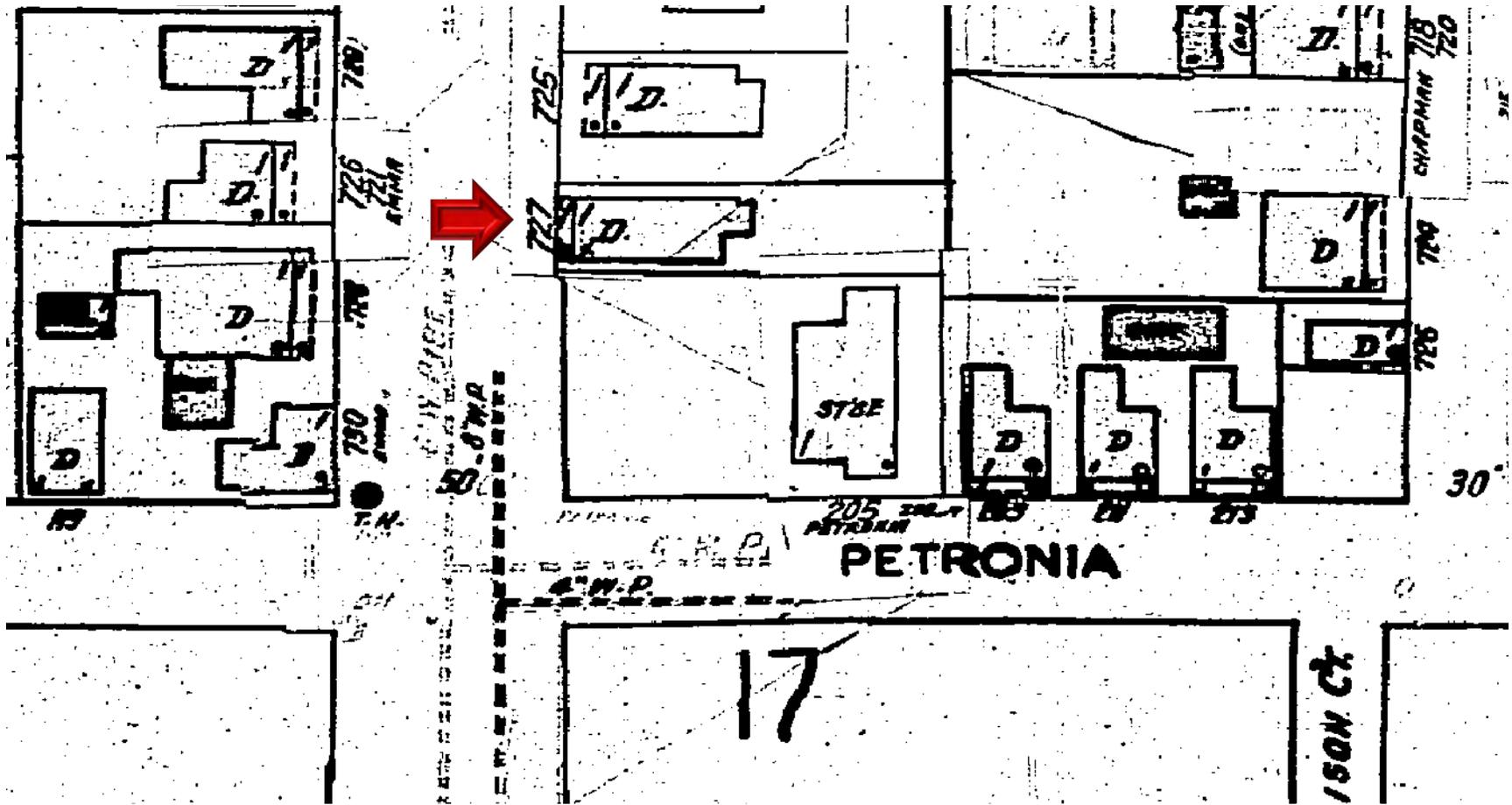
APPLICATIONS MUST BE SUBMITTED IN PERSON WITH HARD COPIES BY 3PM ON THE SCHEDULED DEADLINE  
 PLEASE SEND AN ELECTRONIC COPY OF ALL DOCUMENTS TO HARC@CITYOFKEYWEST-FL.GOV

<b>ACCESSORY STRUCTURE(S):</b> The completion of 450 s.f. accessory structure shall include enclosing area under gable roof at front, adding a bathroom an small wet bar. Wood framing, plywood sheathing and fiber cement siding. Windows and doors to be impact rated alum and glass.	
<b>PAVERS:</b>	<b>FENCES:</b>
<b>DECKS:</b>	<b>PAINTING:</b>
<b>SITE (INCLUDING GRADING, FILL, TREES, ETC.):</b>	<b>POOLS (INCLUDING EQUIPMENT):</b>
<b>ACCESSORY EQUIPMENT (GAS, A/C, VENTS, ETC.):</b>	<b>OTHER:</b>

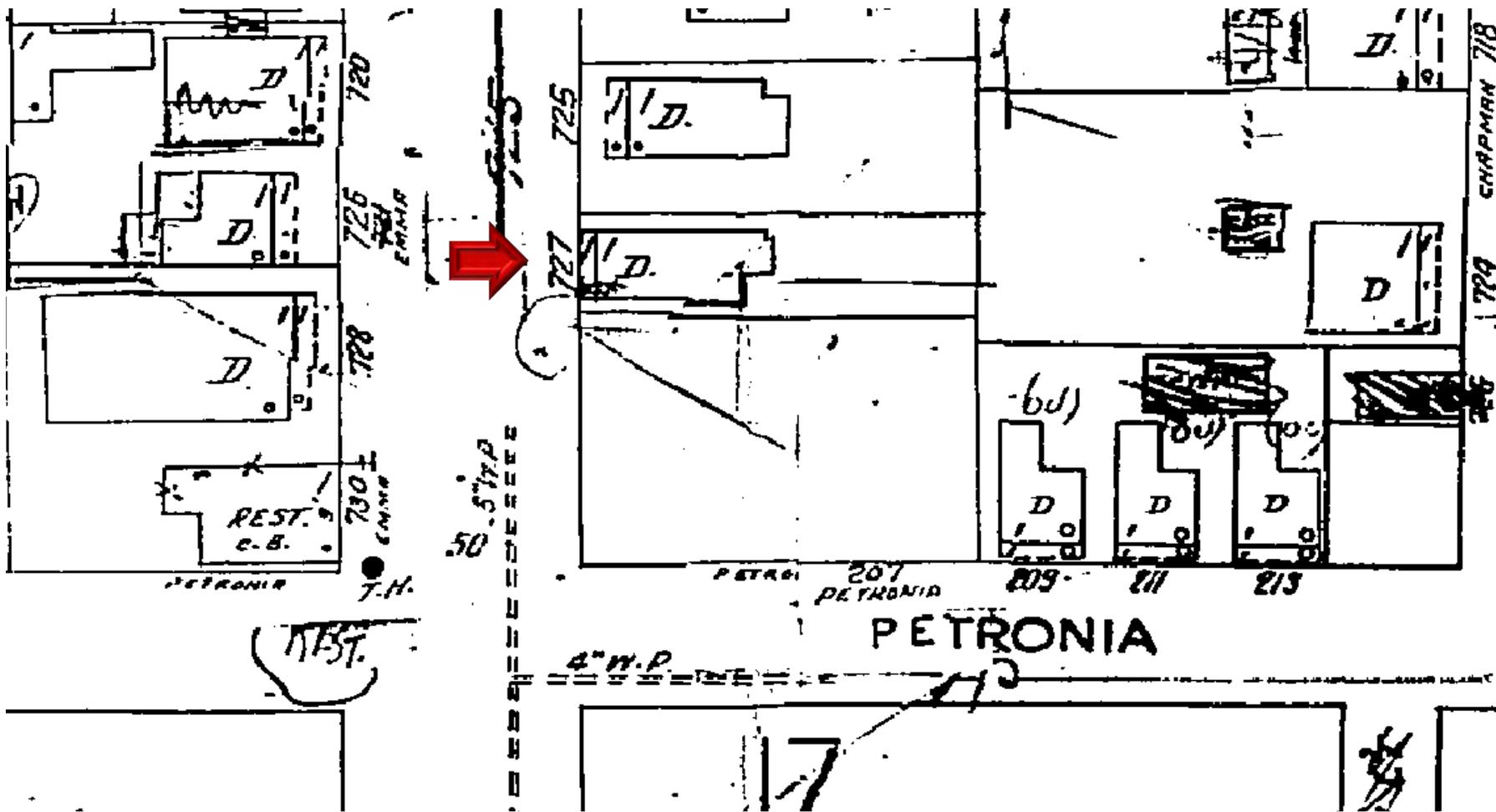
<b>OFFICIAL USE ONLY:</b>	<b>HARC COMMISSION REVIEW</b>	<b>EXPIRES ON:</b>
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
REASONS OR CONDITIONS:		
STAFF REVIEW COMMENTS:		
FIRST READING FOR DEMO:	SECOND READING FOR DEMO:	
HARC STAFF SIGNATURE AND DATE:	HARC CHAIRPERSON SIGNATURE AND DATE:	

**THIS APPLICATION MAY BE REVIEWED BY PLANNING DEPARTMENT STAFF.**

# SANBORN MAPS



1948 Sanborn Map



1962 Sanborn Map

# PROJECT PHOTOS



**727 Emma Street circa 1965. Monroe County Library.**



Lonnie's





WELCOME FRIENDS

WM WASTE MANAGEMENT





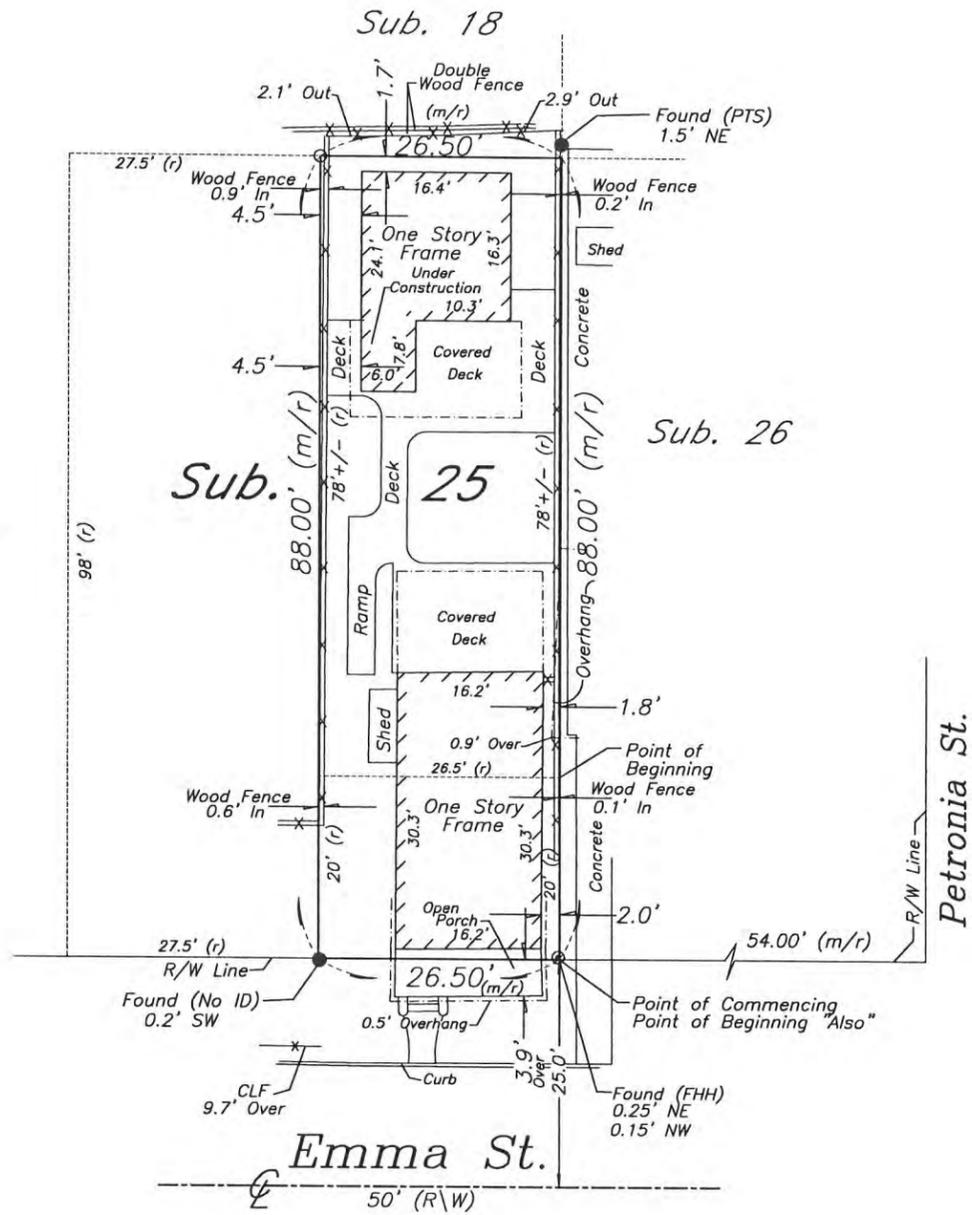
# SURVEY

# Boundary Survey Map of part of Square 2, Tract 3, Island of Key West, Florida



## LEGEND

- ⊙ Found 1/2" Iron Pipe (FHH)
- Set 3/4" Iron Pipe w/cap (6298)
- Found 1/2" Iron Rod (PTS) (No ID)
- ▲ Found Nail & Disc (PTS)
- △ Set Nail & Disc (6298)
- (M) Measured
- (R) Record
- (M/R) Measured & Record
- C.B.S. Concrete Block Structure
- R\W Right of Way
- CLF Chain Link Fence
- ⊕ Centerline
- ⊗ Wood Utility Pole
- ⊗ Concrete Utility Pole
- P- Overhead Power Lines



**NOTES:**

1. The legal description shown hereon was furnished by the client or their agent. This survey does not determine or imply ownership.
2. Underground foundations and utilities were not located.
3. All angles are 90° (Measured & Record) unless otherwise noted.
4. Street address: 727 Emma Street, Key West, FL.
5. This survey is not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
6. Lands shown hereon were not abstracted for rights-of-way, easements, ownership, or other instruments of record.
7. North Arrow is assumed and based on the legal description.
8. Date of field work: September 15, 2020
9. Ownership of fences is undeterminable, unless otherwise noted.
10. Adjoiners are not furnished.

**BOUNDARY SURVEY OF:** A portion of the Southeasterly 26.5 feet of Subdivision 25 Square 2 of Tract 3 according to Thomas J. Ashe's subdivision as the same is recorded in Deed Book "I" at page 77 of the Public Records of Monroe County, Florida, more particularly described as follows, to wit:

Beginning at the most Southerly corner of Subdivision 25 in Square 2 of Tract 3 according to Thomas J. Ashe's Subdivision as the same is recorded in Deed Book "I" at page 77 of the Public Records of Monroe County, Florida; thence in a Northeasterly direction along the Southeasterly boundary line of said Subdivision 25 for a distance of 20 feet to the point of beginning of the parcel of land herein described; thence continue in a Northeasterly direction along the Southeasterly boundary line of said Subdivision 25 for a distance of 78.0 feet to the Northeasterly boundary of said Subdivision 25; thence in a Northwesterly direction along the Northeasterly boundary line of said Subdivision 25 for a distance of 26.5 feet to a point; thence in a Southwesterly direction along a line 26.5 feet from the Southeasterly boundary line of said Subdivision 25 and parallel thereto for a distance of 78.0 feet to a point; thence in a Southeasterly direction along a line 20 feet from the Southwesterly boundary line of said Subdivision 25 and parallel thereto for a distance of 26.5 feet to the point of beginning.

**ALSO**

A portion of the Southeasterly 26.5 feet of Subdivision 25 Square 2 of Tract 3 according to Thomas J. Ashe's subdivision as the same is recorded in Deed Book "I" at page 77 of the Public Records of Monroe County, Florida, more particularly described as follows, to wit:

Beginning at the most Southerly corner of Subdivision 25 in Square 2 of Tract 3 according to Thomas J. Ashe's Subdivision as the same is recorded in Deed Book "I" at page 77 of the Public Records of Monroe County, Florida; thence in a Northeasterly direction along the Southeasterly boundary line of said Subdivision 25 for a distance of 20 feet; thence at right angles in a Northwesterly direction 26.5 feet; thence at right angles in a Southwesterly direction 20 feet to Emma Street; thence Southeasterly along the Northeasterly side of Emma Street 26.5 feet to the point of beginning.

**BOUNDARY SURVEY FOR:** Lisa Rivard;

I HEREBY CERTIFY that this survey was made under my responsible charge and meets the Standard of Practice as set forth by the Florida Board of Professional Surveyors & Mappers in Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

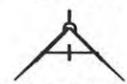
J. LYNN O'FLYNN, INC.

J. Lynn O'Flynn, PSM  
Florida Reg. #6298

September 15, 2020

THIS SURVEY  
IS NOT  
ASSIGNABLE

**J. LYNN O'FLYNN, Inc.**



Professional Surveyor & Mapper  
PSM #0298

3430 Duck Ave., Key West, FL 33040  
(305) 296-7422 FAX (305) 296-2244

# PROPOSED DESIGN





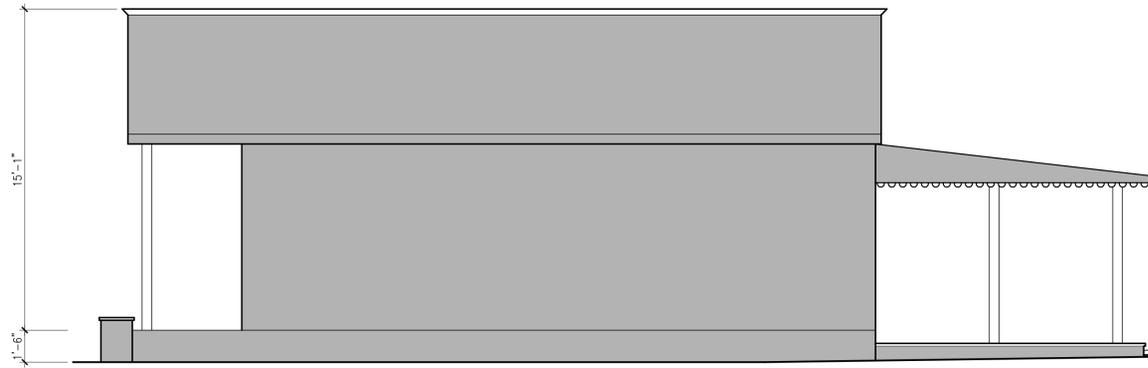
Seal:

Consultants:

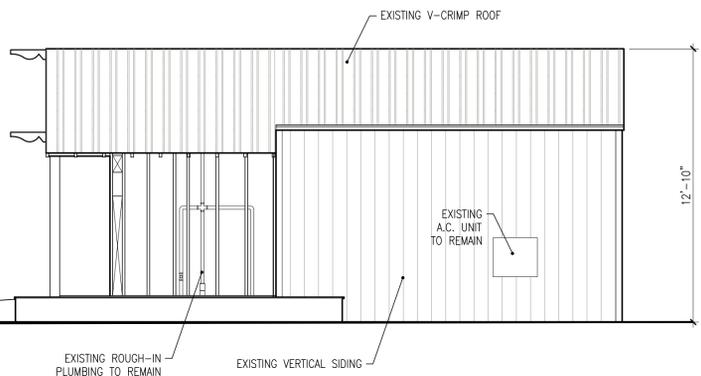
Submissions / Revisions:

PLANNING SUBMISSION: 9.25.20

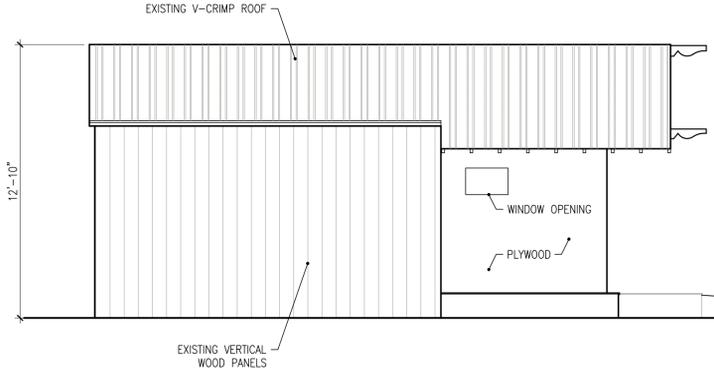
H.A.R.C. SUBMISSION: 12.28.20



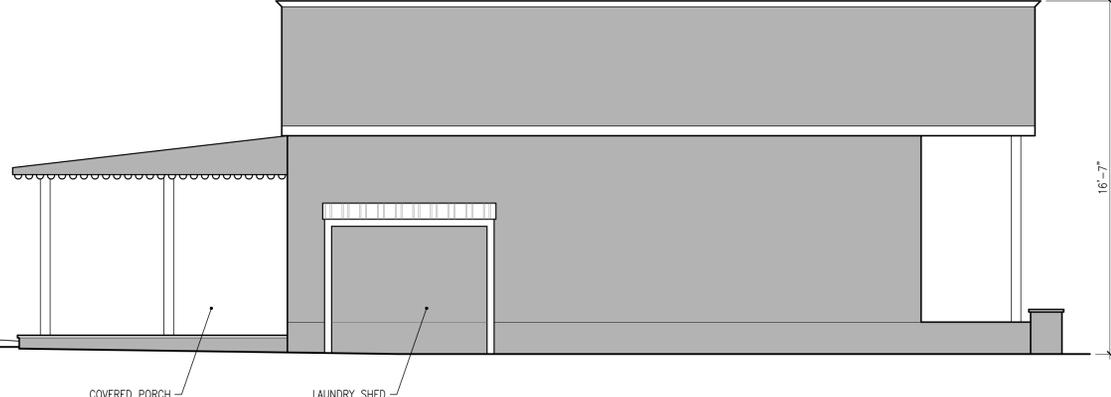
4 MAIN HOUSE EAST ELEVATION  
SCALE: 1/4"=1'-0"



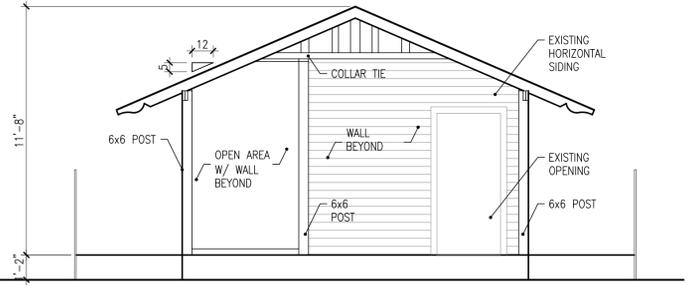
3 EXISTING ACCESSORY EAST ELEVATION  
SCALE: 1/4"=1'-0"



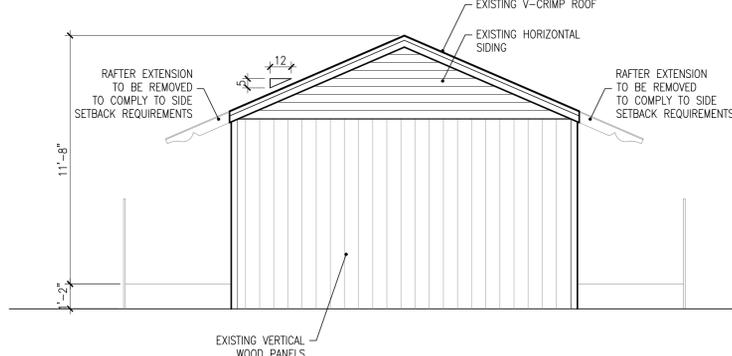
5 EXISTING ACCESSORY WEST ELEVATION  
SCALE: 1/4"=1'-0"



2 MAIN HOUSE WEST ELEVATION  
SCALE: 1/4"=1'-0"



6 EXISTING ACCESSORY SOUTH ELEVATION  
SCALE: 1/4"=1'-0"



1 EXISTING ACCESSORY NORTH ELEVATION  
SCALE: 1/4"=1'-0"

727 EMMA STREET  
KEY WEST, FL  
ACCESSORY STRUCTURE

Drawing Size: 24x36 Project #: 19011

Title:

EXISTING ELEVATIONS

Sheet Number:

AE-3.1

Date: - AUGUST 3, 2020

© 2019 by WILLIAM SHEPLER & ASSOCIATES ARCHITECTURE LLC

Seal:

Consultants:

Submissions / Revisions:  
PLANNING SUBMISSION: 9.25.20  
H.A.R.C. SUBMISSION: 12.28.20

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KEY WEST, FL  
**ACCESSORY STRUCTURE**

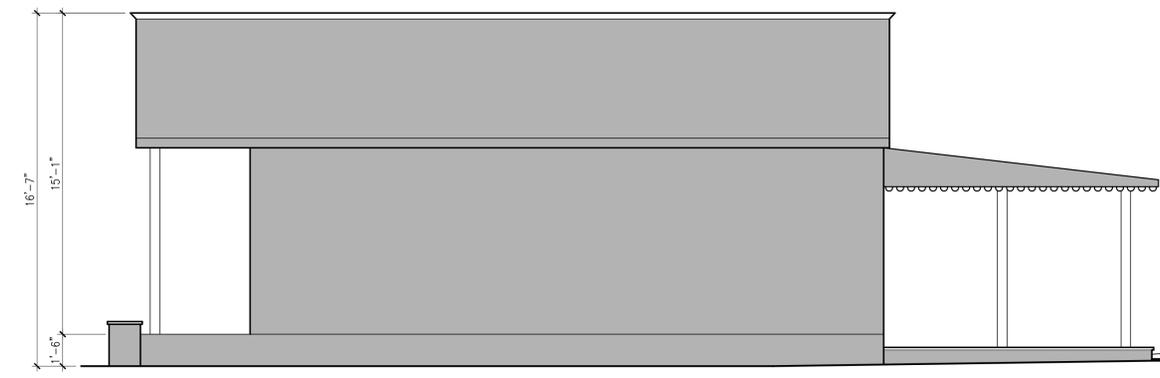
Drawing Size: 24x36 | Project #: 19011  
Title:

**PROPOSED ELEVATIONS**

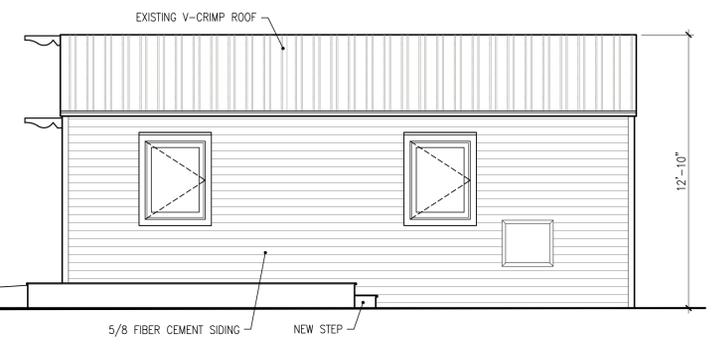
Sheet Number:

**A-3.1**

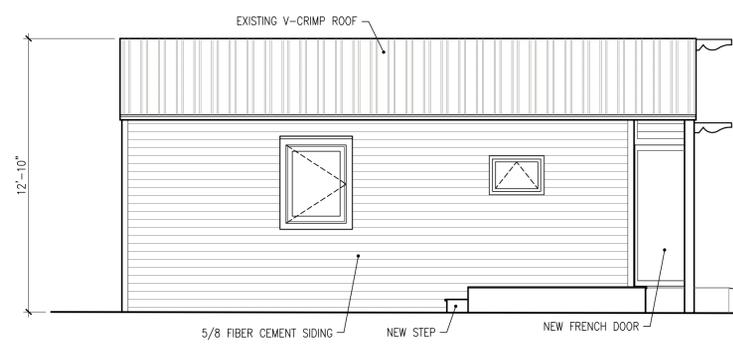
Date: - AUGUST 3, 2020  
© 2019 by WILLIAM SHEPLER & ASSOCIATES ARCHITECTURE LLC



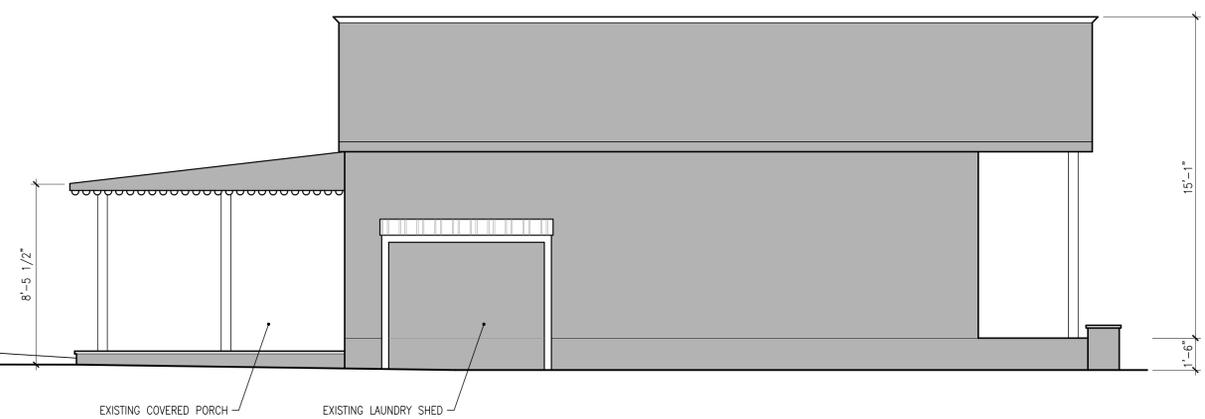
**4 MAIN HOUSE EAST ELEVATION**  
A3.1 SCALE: 1/4"=1'-0"



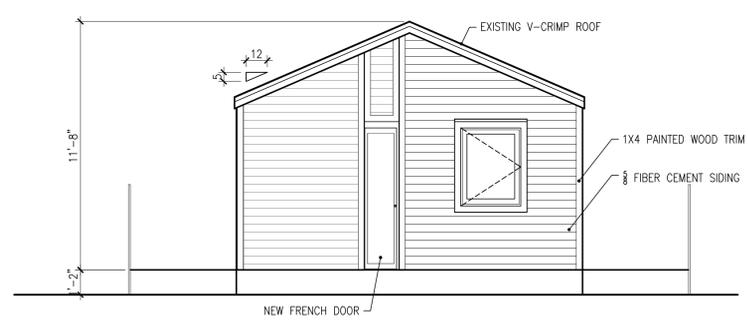
**3 PROPOSED ACCESSORY EAST ELEVATION**  
A3.1 SCALE: 1/4"=1'-0"



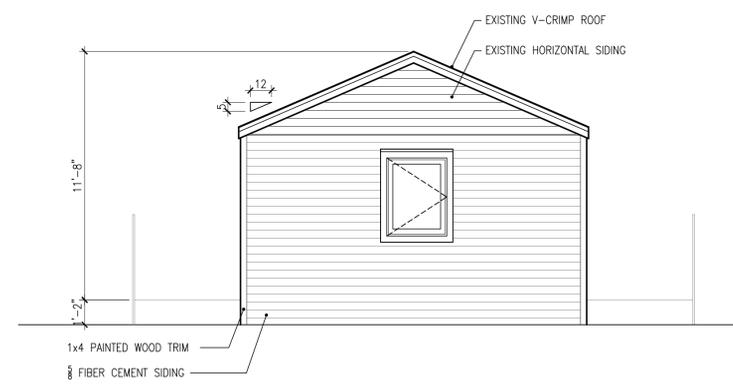
**5 PROPOSED ACCESSORY WEST ELEVATION**  
A3.1 SCALE: 1/4"=1'-0"



**2 MAIN HOUSE WEST ELEVATION**  
A3.1 SCALE: 1/4"=1'-0"



**6 PROPOSED ACCESSORY SOUTH ELEVATION**  
A3.1 SCALE: 1/4"=1'-0"



**1 PROPOSED ACCESSORY NORTH ELEVATION**  
A3.1 SCALE: 1/4"=1'-0"

# NOTICING

# Public Meeting Notice

The Historic Architectural Review Commission will hold a public meeting at **5:00 p.m., January 26, 2021 at City Hall, 1300 White Street**, Key West, Florida. In order to view the live feed of the meeting, you can tune in to Comcast channel 77, AT&T Uverse channel 99, or type this link into your browser:

[http://keywestcity.granicus.com/MediaPlayer.php?publish\\_id=1&embed=1](http://keywestcity.granicus.com/MediaPlayer.php?publish_id=1&embed=1) If you wish to participate virtually, please contact HARC staff at 305-809-3975. The purpose of the hearing will be to consider a request for:

## **COMPLETION OF A ONE-STORY FRAME ACCESSORY STRUCTURE IN THE REAR YARD.**

**#727 EMMA STREET**

**Applicant – William Shepler Application #H2020-0044**

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 1300 White Street, call 305-809-3973 or visit our website at [www.cityofkeywest-fl.gov](http://www.cityofkeywest-fl.gov).

**THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION**

ADA ASSISTANCE: It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 800-955-8771 or 800-955-8770 (Voice) or the ADA Coordinator at 305-809-3811 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.

7  
2  
7

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**HARC POSTING AFFIDAVIT**

**STATE OF FLORIDA:  
COUNTY OF MONROE:**

**BEFORE ME**, the undersigned authority, personally appeared Lisa Rivard, who, first being duly sworn, on oath, depose and says that the following statements are true and correct to the best of his/her knowledge and belief:

1. That a legal notice for Public Notice of Hearing of the Historic Architectural Review Commission (HARC) was placed on the following address: 727 Emma St on the 21 day of January, 2021.

This legal notice(s) contained an area of at least 8.5"x11".

The property was posted to notice a public hearing before the Key West Historic Architectural Review Commission to be held on January 26, 2021.

The legal notice(s) is/are clearly visible from the public street adjacent to the property.

The Certificate of Appropriateness number for this legal notice is H 2020-0044

2. A photograph of that legal notice posted in the property is attached hereto.

**Signed Name of Affiant:** Lisa Rivard  
**Date:** Jan. 21, 2021  
**Address:** 727 Emma St  
**City:** Key West FL  
**State, Zip:** Florida, 33040

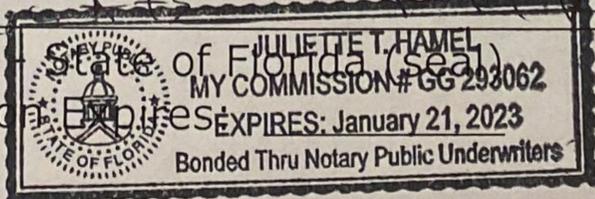
The forgoing instrument was acknowledged before me on this 21 day of January, 2021.

By (Print name of Affiant) LISA RIVARD who is personally known to me or has produced identification and who did take an oath.

**NOTARY PUBLIC**

Sign Name: Juliette Hamel  
Print Name: JULIETTE T. HAMEL

Notary Public  
My Commission Expires: January 21, 2023



# PROPERTY APPRAISER INFORMATION



**Disclaimer**

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

**Summary**

Parcel ID 00013730-000000  
 Account# 1014117  
 Property ID 1014117  
 Millage Group 11KW  
 Location 727 EMMA St, KEY WEST  
 Address  
 Legal KW PT LOT 25 SQR 2 TR 3 G38-99/100 G74-490/91 OR1020-1185/86 OR2182-1857/58 OR2668-486/89  
 Description (Note: Not to be used on legal documents.)  
 Neighborhood 6021  
 Property Class SINGLE FAMILY RESID (0100)  
 Subdivision  
 Sec/Twp/Rng 06/68/25  
 Affordable No  
 Housing



**Owner**

RIVARD LISA  
 727 Emma St  
 Key West FL 33040

**Valuation**

	2020	2019	2018	2017
+ Market Improvement Value	\$78,002	\$61,948	\$62,859	\$63,770
+ Market Misc Value	\$4,739	\$4,898	\$5,057	\$5,216
+ Market Land Value	\$376,565	\$401,237	\$401,237	\$401,237
= Just Market Value	\$459,306	\$468,083	\$469,153	\$470,223
= Total Assessed Value	\$289,692	\$283,179	\$277,899	\$272,184
- School Exempt Value	(\$25,000)	(\$25,000)	(\$25,000)	(\$25,000)
= School Taxable Value	\$264,692	\$258,179	\$252,899	\$247,184

**Land**

Land Use	Number of Units	Unit Type	Frontage	Depth
RESIDENTIAL DRY (010D)	2,597.00	Square Foot	27	98

**Buildings**

Building ID 970  
 Style 1 STORY ELEV FOUNDATION  
 Building Type S.F.R. - R1 / R1  
 Gross Sq Ft 793  
 Finished Sq Ft 480  
 Stories 1 Floor  
 Condition GOOD  
 Perimeter 92  
 Functional Obs 0  
 Economic Obs 0  
 Depreciation % 18  
 Interior Walls DRYWALL  
 Exterior Walls ABOVE AVERAGE WOOD  
 Year Built 1928  
 EffectiveYearBuilt 2005  
 Foundation WD CONC PADS  
 Roof Type GABLE/HIP  
 Roof Coverage METAL  
 Flooring Type PLYWD/PR BD  
 Heating Type NONE with 0% NONE  
 Bedrooms 2  
 Full Bathrooms 1  
 Half Bathrooms 0  
 Grade 450  
 Number of Fire Pl 0

Code	Description	Sketch Area	Finished Area	Perimeter
DUF	FIN DET UTILIT	233	0	0
FLA	FLOOR LIV AREA	480	480	0
OPF	OP PRCH FIN LL	80	0	0
TOTAL		793	480	0

**Yard Items**

Description	Year Built	Roll Year	Quantity	Units	Grade
WOOD DECK	2014	2015	1	432 SF	1
FENCES	2014	2015	1	792 SF	1

**Sales**

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved
1/15/2014	\$279,000	Warranty Deed		2668	486	38 - Unqualified	Improved
1/27/2006	\$400,000	Warranty Deed		2182	1857	Q - Qualified	Improved

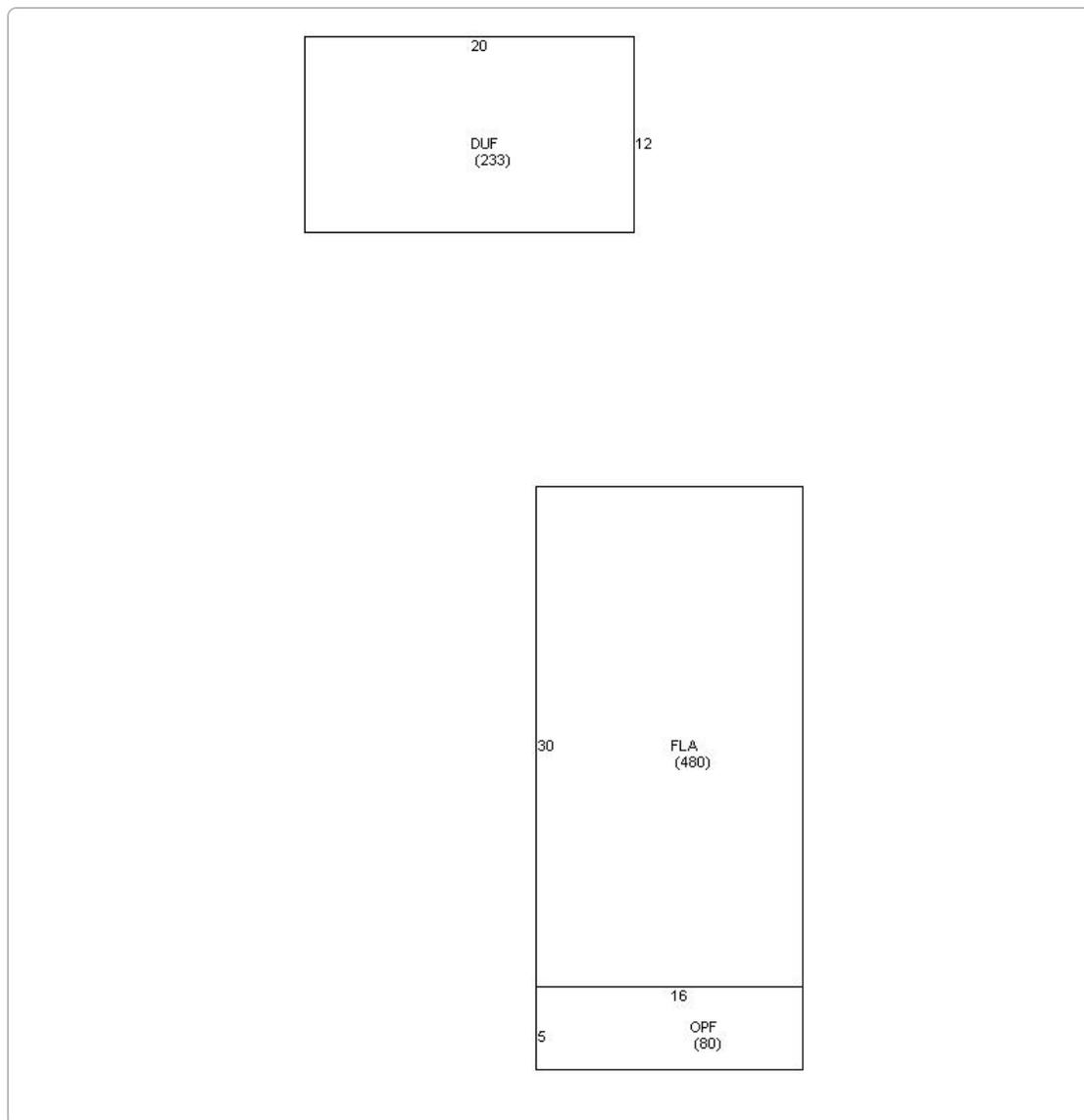
**Permits**

Number	Date Issued	Date Completed	Amount	Permit Type	Notes
14-1095	4/26/2014	7/30/2014	\$1,200		132 LF OF 6'H STOCKADE FENCE
14-1099	4/26/2014	7/30/2014	\$2,500		12X20 SHED WITH 12X20 WOOD DECK REAR OF PROPERTY. 12X16 WOOD DECK BACK OF HOUSE
06-2968	5/16/2006	7/24/2006	\$1,500	Residential	REPLACE DRYWALL INSTALL PLY SHEETING OVER FLOOR
06-2112	3/30/2006	7/24/2006	\$100	Residential	TEMPORARY SERVICE POLE
06-1239	3/2/2006	7/24/2006	\$1,500	Residential	REPAIR SERVICE & INSTALL TEMPOARY
B952885	9/1/1995	8/1/1996	\$1,000	Residential	RENOVATIONS

**View Tax Info**

[View Taxes for this Parcel](#)

**Sketches (click to enlarge)**



Photos



Map



TRIM Notice

[2020 TRIM Notice \(PDF\)](#)

**2020 Notices Only**

No data available for the following modules: Commercial Buildings, Mobile Home Buildings, Exemptions.

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Developed by  
 Schneider  
 GEOSPATIAL

Last Data Upload: [1/21/2021, 2:36:54 AM](#)

[Version 2.3.103](#)