



## **Historic Architectural Review Commission Staff Report for Item 12**

To: Chairman Bryan Green and Historic Architectural Review Commission Members

From: Enid Torregrosa-Silva, MSHP  
Historic Preservation Planner

Meeting Date: January 26, 2021

Applicant: William Shepler, Architect

Application Number: H2020-44

Address: 727 Emma Street

### **Description of Work:**

Completion of a one-story frame accessory structure in rear yard.

### **Site Facts:**

The site under review has a one-story frame vernacular house listed as a contributing resource to the historic district. The house was built circa 1920. There is a non-historic accessory structure at the rear of the main house. A building permit was issued for some work on the accessory structure, but the permit expired. New work was done with the expired permit, which required after the fact side yard variances. On December 17, 2020 the Planning Board approved such variance.

### **Guidelines Cited on Review:**

- New Construction (pages 38a-q), specifically guidelines 1, 2, 6, 7, 8, 9, 11, 12, 14, 16, 18, 22, 23, 24, and 25.
- Outbuildings (pages 40-41), specifically guidelines 1, 3, 4, and 9.

### **Staff Analysis:**

The Certificate of Appropriateness under review is for the enclosure of portions of an existing non-historic accessory structure. The building has a front gable roof and sits in the rear portion of the lot. The plan includes removal of T1-11 siding and replacement with hardie board. Also, current open areas under the

roof will be enclosed. Windows and doors will be metal impact units. The existing roof configuration will not be changed, but the end rafters will be removed in order to meet Planning Board requirements.

**Consistency with Cited Guidelines:**

It is staff's opinion that the proposed design meets the cited guidelines. The current structure is not historic, and the proposed changes will not have any effect in the scale of the structure.

# APPLICATION

# HARC MAJOR PROJECTS CERTIFICATE OF APPROPRIATENESS

\$420 NON-REFUNDABLE BASE APPLICATION FEE - OTHER FEES MAY BE APPLICABLE Rev 12/14/2020ET



City of Key West

1300 WHITE STREET  
KEY WEST, FLORIDA 33040

HARC COA # H-2020-0044	REVISION #	INITIAL & DATE
FLOOD ZONE	ZONING DISTRICT	BLDG PERMIT #

**A PRE-APPLICATION MEETING WITH HARC STAFF IS REQUIRED PRIOR TO SUBMITTAL**

ADDRESS OF PROPOSED PROJECT:

727 Emma Street, Key West , FL

NAME ON DEED:

Lisa Rivard

PHONE NUMBER 631-383-6838

OWNER'S MAILING ADDRESS:

727 Emma Street, Key West , FL

EMAIL Lisa.Rivard@KeysSchools.com

APPLICANT NAME:

William Shepler

PHONE NUMBER 305-890-6191

APPLICANT'S ADDRESS:

201 Front Street, Suite 201

EMAIL Will@wshepler.com

APPLICANT'S SIGNATURE:

WILLIAM B SHEPLER

Digitally signed by WILLIAM B SHEPLER  
Date: 2020.12.28 16:31:25 -05'00'

DATE 12-28-2020

**ANY PERSON THAT MAKES CHANGES TO AN APPROVED CERTIFICATE OF APPROPRIATENESS MUST SUBMIT A NEW APPLICATION.**

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083. THE APPLICANT FURTHER HEREBY ACKNOWLEDGES THAT THE SCOPE OF WORK AS DESCRIBED IN THE APPLICATION SHALL BE THE SCOPE OF WORK THAT IS CONTEMPLATED BY THE APPLICANT AND THE CITY. THE APPLICANT FURTHER STIPULATES THAT SHOULD FURTHER ACTION BE TAKEN BY THE CITY FOR EXCEEDING THE SCOPE OF THE DESCRIPTION OF WORK, AS DESCRIBED HEREIN, AND IF THERE IS CONFLICTING INFORMATION BETWEEN THE DESCRIPTION OF WORK AND THE SUBMITTED PLANS, THE AFOREMENTIONED DESCRIPTION OF WORK SHALL BE CONTROLLING.

PROJECT INCLUDES: REPLACEMENT OF WINDOWS ☐ RELOCATION OF A STRUCTURE ☐ ELEVATION OF A STRUCTURE ☐

PROJECT INVOLVES A CONTRIBUTING STRUCTURE: YES ☐ NO ☒ INVOLVES A HISTORIC STRUCTURE: YES ☐ NO ☒

PROJECT INVOLVES A STRUCTURE THAT IS INDIVIDUALLY LISTED ON THE NATIONAL REGISTER: YES ☐ NO ☒

DETAILED PROJECT DESCRIPTION INCLUDING MATERIALS, HEIGHT, DIMENSIONS, SQUARE FOOTAGE, LOCATION, ETC.

GENERAL: Completion of a a one story wood frame accessory structure at rear of property that was previously approved and permitted for construction but never finished. A Variance has been granted for non-conforming setbacks and rear yard coverage.

MAIN BUILDING: No Work

DEMOLITION (PLEASE FILL OUT AND ATTACH DEMOLITION APPENDIX):

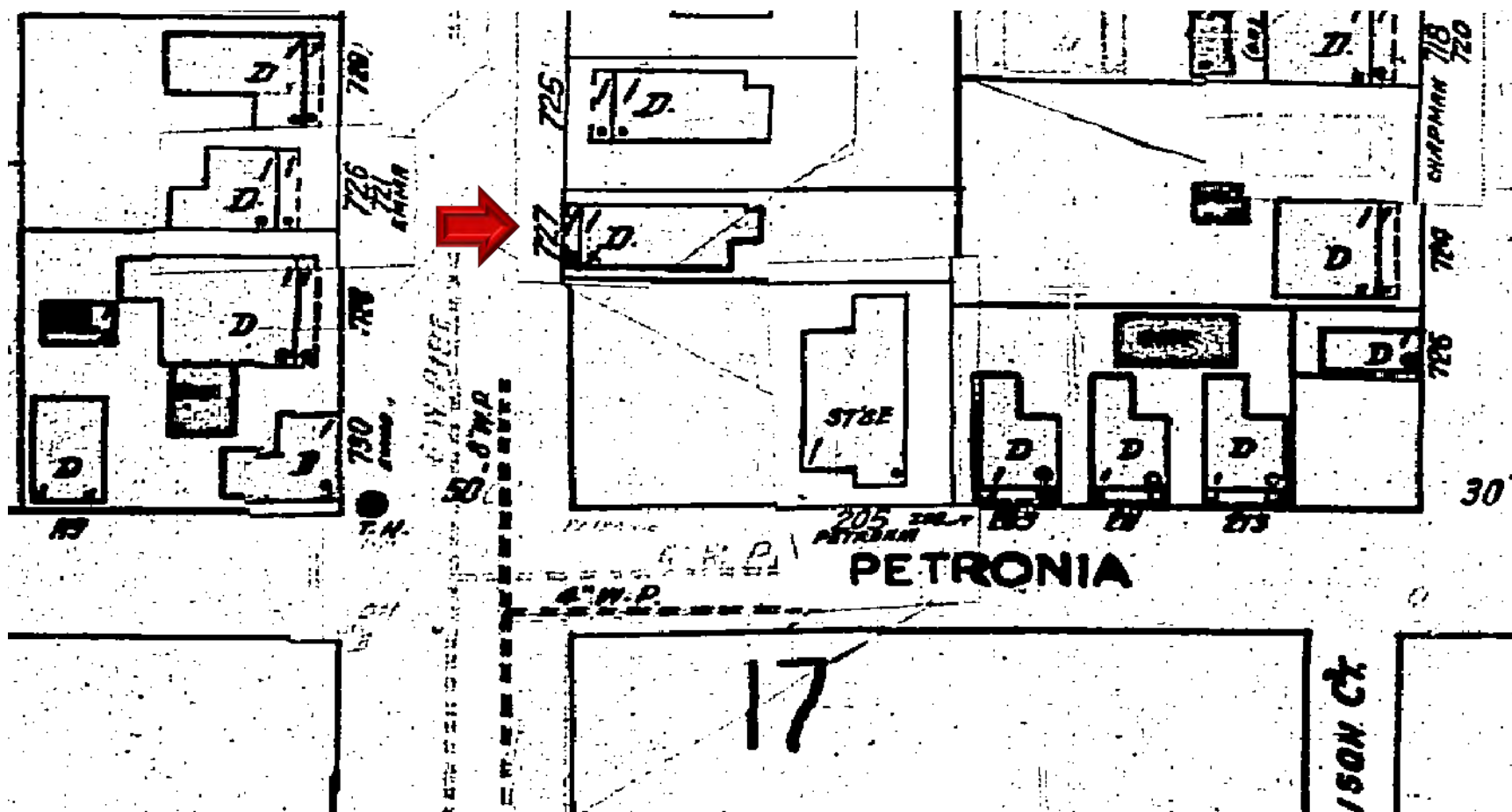
APPLICATIONS MUST BE SUBMITTED IN PERSON WITH HARD COPIES BY 3PM ON THE SCHEDULED DEADLINE  
PLEASE SEND AN ELECTRONIC COPY OF ALL DOCUMENTS TO HARC@CITYOFKEYWEST-FL.GOV

ACCESSORY STRUCTURE(S): The completion of 450 s.f. accessory structure shall include enclosing area under gable roof at front, adding a bathroom an small wet bar. Wood framing, plywood sheathing and fiber cement siding. Windows and doors to be impact rated alum and glass.	
PAVERS:	FENCES:
DECKS:	PAINTING:
SITE (INCLUDING GRADING, FILL, TREES, ETC.):	POOLS (INCLUDING EQUIPMENT):
ACCESSORY EQUIPMENT (GAS, A/C, VENTS, ETC.):	OTHER:

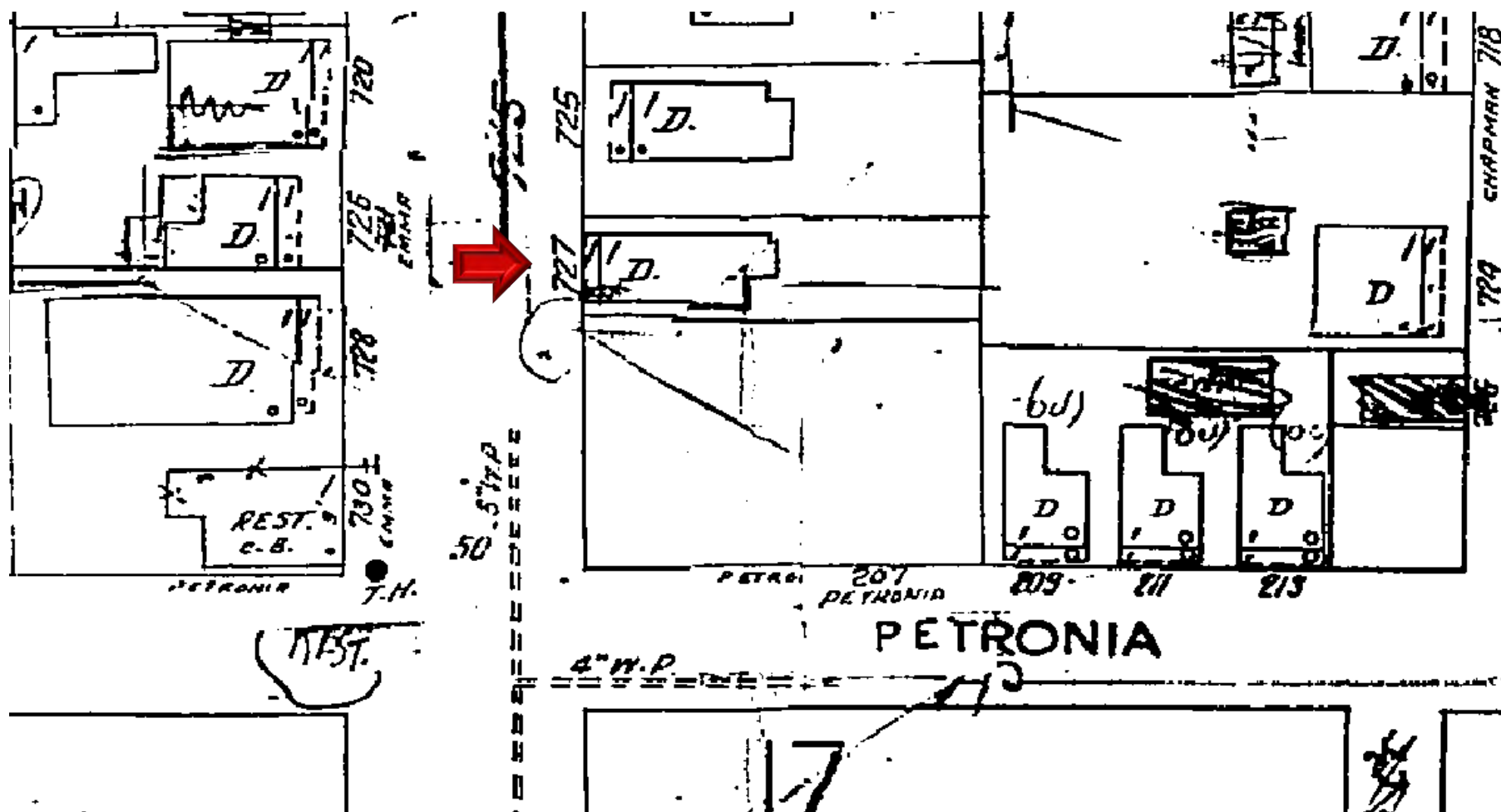
OFFICIAL USE ONLY:		HARC COMMISSION REVIEW		EXPIRES ON:	
MEETING DATE:	___ APPROVED ___ NOT APPROVED ___ DEFERRED FOR FUTURE CONSIDERATION			INITIAL:	
MEETING DATE:	___ APPROVED ___ NOT APPROVED ___ DEFERRED FOR FUTURE CONSIDERATION			INITIAL:	
MEETING DATE:	___ APPROVED ___ NOT APPROVED ___ DEFERRED FOR FUTURE CONSIDERATION			INITIAL:	
REASONS OR CONDITIONS:					
STAFF REVIEW COMMENTS:					
FIRST READING FOR DEMO:			SECOND READING FOR DEMO:		
HARC STAFF SIGNATURE AND DATE:			HARC CHAIRPERSON SIGNATURE AND DATE:		

THIS APPLICATION MAY BE REVIEWED BY PLANNING DEPARTMENT STAFF.

# SANBORN MAPS



1948 Sanborn Map



1962 Sanborn Map



# PROJECT PHOTOS



**727 Emma Street circa 1965. Monroe County Library.**













WELCOME  
FRIENDS

WM  
WASTE MANAGEMENT

95 285388

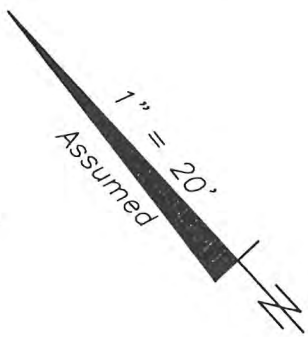






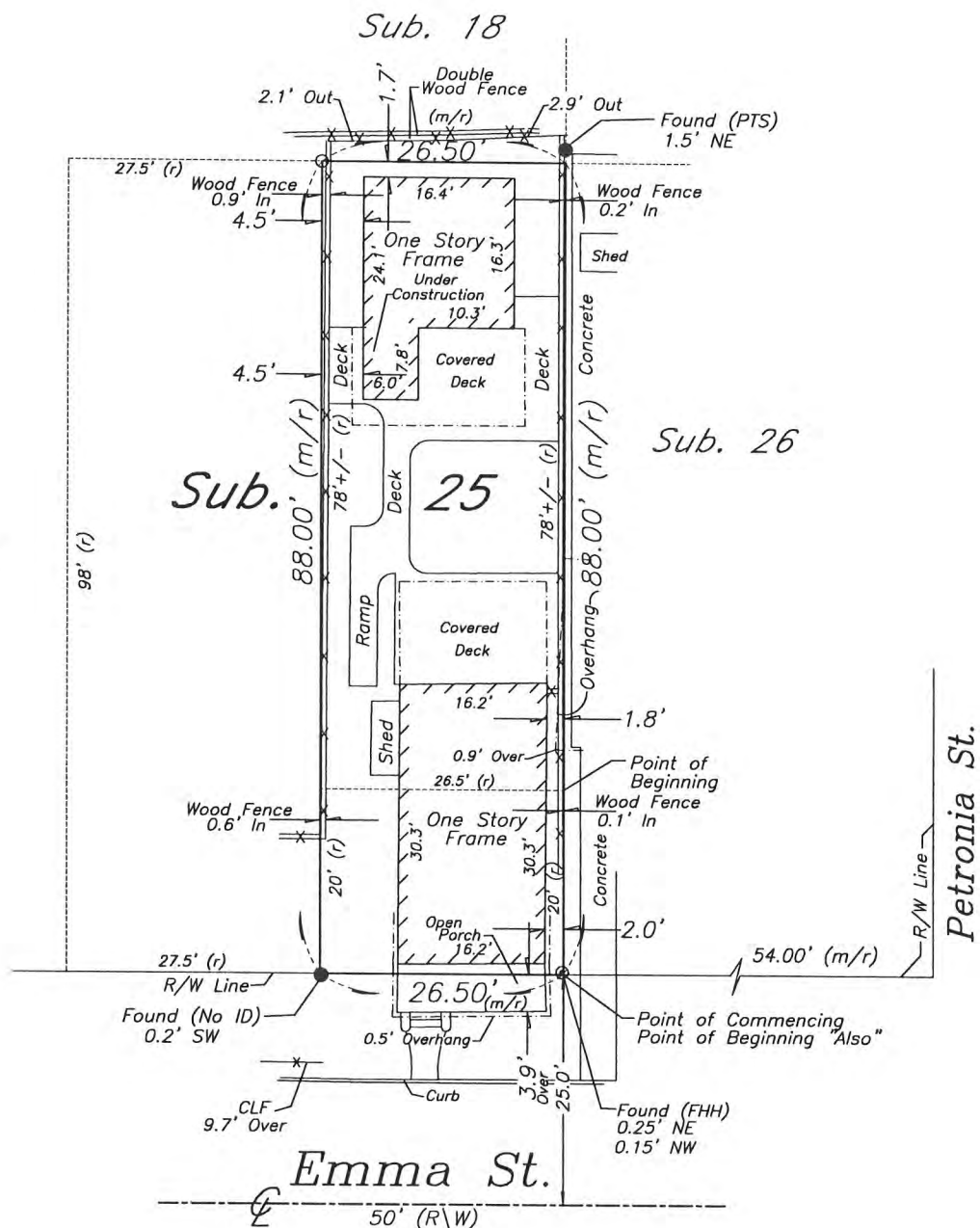
# SURVEY

# Boundary Survey Map of part of Square 2, Tract 3, Island of Key West, Florida



## LEGEND

- ⊙ Found 1/2" Iron Pipe (FHH)
- Set 3/4" Iron Pipe w/cap (6298)
- Found 1/2" Iron Rod (PTS) (No ID)
- ▲ Found Nail & Disc (PTS)
- △ Set Nail & Disc (6298)
- (M) Measured
- (R) Record
- (M/R) Measured & Record
- C.B.S. Concrete Block Structure
- R\W Right of Way
- CLF Chain Link Fence
- ⊕ Centerline
- ⊗ Wood Utility Pole
- ⊠ Concrete Utility Pole
- P- Overhead Power Lines



### NOTES:

1. The legal description shown hereon was furnished by the client or their agent. This survey does not determine or imply ownership.
2. Underground foundations and utilities were not located.
3. All angles are 90° (Measured & Record) unless otherwise noted.
4. Street address: 727 Emma Street, Key West, FL.
5. This survey is not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
6. Lands shown hereon were not abstracted for rights-of-way, easements, ownership, or other instruments of record.
7. North Arrow is assumed and based on the legal description.
8. Date of field work: September 15, 2020
9. Ownership of fences is undeterminable, unless otherwise noted.
10. Adjoiners are not furnished.

**BOUNDARY SURVEY OF:** A portion of the Southeasterly 26.5 feet of Subdivision 25 Square 2 of Tract 3 according to Thomas J. Ashe's subdivision as the same is recorded in Deed Book "I" at page 77 of the Public Records of Monroe County, Florida, more particularly described as follows, to wit:

Beginning at the most Southerly corner of Subdivision 25 in Square 2 of Tract 3 according to Thomas J. Ashe's Subdivision as the same is recorded in Deed Book "I" at page 77 of the Public Records of Monroe County, Florida; thence in a Northeasterly direction along the Southeasterly boundary line of said Subdivision 25 for a distance of 20 feet to the point of beginning of the parcel of land herein described; thence continue in a Northeasterly direction along the Southeasterly boundary line of said Subdivision 25 for a distance of 78.0 feet to the Northeasterly boundary of said Subdivision 25; thence in a Northwesterly direction along the Northeasterly boundary line of said Subdivision 25 for a distance of 26.5 feet to a point; thence in a Southwesterly direction along a line 26.5 feet from the Southeasterly boundary line of said Subdivision 25 and parallel thereto for a distance of 78.0 feet to a point; thence in a Southeasterly direction along a line 20 feet from the Southwesterly boundary line of said Subdivision 25 and parallel thereto for a distance of 26.5 feet to the point of beginning.

### ALSO

A portion of the Southeasterly 26.5 feet of Subdivision 25 Square 2 of Tract 3 according to Thomas J. Ashe's subdivision as the same is recorded in Deed Book "I" at page 77 of the Public Records of Monroe County, Florida, more particularly described as follows, to wit:

Beginning at the most Southerly corner of Subdivision 25 in Square 2 of Tract 3 according to Thomas J. Ashe's Subdivision as the same is recorded in Deed Book "I" at page 77 of the Public Records of Monroe County, Florida; thence in a Northeasterly direction along the Southeasterly boundary line of said Subdivision 25 for a distance of 20 feet; thence at right angles in a Northwesterly direction 26.5 feet; thence at right angles in a Southwesterly direction 20 feet to Emma Street; thence Southeasterly along the Northeasterly side of Emma Street 26.5 feet to the point of beginning.

**BOUNDARY SURVEY FOR:** Lisa Rivard;

I HEREBY CERTIFY that this survey was made under my responsible charge and meets the Standard of Practice as set forth by the Florida Board of Professional Surveyors & Mappers in Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

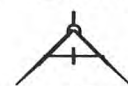
J. LYNN O'FLYNN, INC.

J. Lynn O'Flynn, PSM  
Florida Reg. #6298

September 15, 2020

THIS SURVEY  
IS NOT  
ASSIGNABLE

J. LYNN O'FLYNN, Inc.



Professional Surveyor & Mapper  
PSM #6298

3430 Duck Ave., Key West, FL 33040  
(305) 296-7422 FAX (305) 296-2244



# PROPOSED DESIGN



NOTES:

SCOPE OF DEMOLITION

1. THE EXISTING CONDITION/DEMOLITION DRAWINGS ARE INTENDED AS A GENERAL GUIDE TO THE DEMOLITION REQUIRED FOR THIS PROJECT. DEMOLITION IS NOT SHOWN IN COMPLETE DETAIL AND IT SHALL BE THE RESPONSIBILITY OF THE DEMOLITION CONTRACTORS TO REMOVE EXISTING CONSTRUCTION AS REQUIRED TO ACCOMPLISH THE NEW DESIGN INTENT AND/OR WORK SHOWN OR REASONABLY IMPLIED FOR CONSTRUCTION OF THE FLOOR PLAN.

2. THE CONTRACTOR SHALL REFER TO THE WORK SHOWN ON ALL OTHER DRAWINGS IN THE SET FOR THE EXTENT OF DEMOLITION REQUIRED TO PERFORM WORK INTENT.

GENERAL CONDITIONS:

1. ALL CONTRACTORS ARE REQUIRED TO VISIT THE JOB SITE TO VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO BEGINNING ANY WORK. NOTIFY ARCHITECT AS SOON AS POSSIBLE OF ANY DISCREPANCIES FOR RESOLUTION OF THE ISSUE(S) PRIOR TO THE BEGINNING OF ANY WORK.

2. IT IS NOT THE INTENT OF THESE DRAWINGS TO SHOW EACH AND EVERY DETAIL.

3. THE CONTRACTOR SHALL DO ALL WORK IN STRICT CONFORMANCE TO THE PLANS, FLORIDA BUILDING CODE 2017, CURRENT NEC, LOCAL CODES AND ORDINANCES, MANUFACTURERS RECOMMENDATIONS AND INSTRUCTIONS, AND ACCEPTABLE TRADE PRACTICES. IN THE EVENT OF CONFLICT BETWEEN THE ABOVE MENTIONED, THE MOST STRINGENT REQUIREMENTS SHALL GOVERN THE WORK.

4. CONTRACTOR SHALL NOT SCALE DRAWINGS. ANY INFORMATION THAT CANNOT BE OBTAINED FROM THE DIMENSIONS, DETAILS OR SCHEDULES SHALL BE OBTAINED FROM ARCHITECT

5. CONTRACTOR SHALL FURNISH ALL SUBCONTRACTORS WITH A COMPLETE SET OF PLANS.

6. SHOP DRAWINGS OF ALL PREFABRICATED STRUCTURAL AND MECHANICAL SYSTEMS SHALL BEAR THE SEAL OF A REGISTERED FLORIDA PROFESSIONAL ENGINEER AS REQUIRED BY APPLICABLE CODES AND SHALL BE SUBMITTED TO THE ARCHITECT BY THE GENERAL CONTRACTOR FOR REVIEW AND APPROVAL PRIOR TO ORDER CONFIRMATION AND CONSTRUCTION.

7. TYPICAL: DEMOLITION CONTRACTOR AND/OR GENERAL CONTRACTOR ARE TO REMOVE ALL EXISTING ITEMS SHOWN ON PLANS, AND ALL NOTED ITEMS INCLUDING ALL ITEMS SHOWN ON MECHANICAL, PLUMBING, FIRE PROTECTION, AND ELECTRICAL DEMOLITION DRAWINGS IN THE SET UNLESS OTHERWISE NOTED TO REMAIN OR TO BE REUSED (SEE MECHANICAL, PLUMBING, FIRE PROTECTION, AND ELECTRICAL DEMOLITION DRAWINGS AND NOTES).

A. ITEMS FOUND WITHIN WALLS AND CEILING THAT RUN THROUGH THE SPACE FEEDING AND/OR CONNECTING AN ADJACENT AREA(S) ARE REQUIRED TO REMAIN UNLESS OTHERWISE NOTED ON DRAWINGS.

B. FOR QUESTIONABLE ITEMS INCLUDING, BUT NOT LIMITED TO FOUND/UNKNOWN CONDITIONS AND ITEMS NOT SHOWN/LISTED ON THE ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS THE CONTRACTOR WILL COORDINATE WITH THE ARCHITECT BEFORE REMOVING THE ABOVE MENTIONED ITEM.

C. CONTRACTOR TO REMOVE ALL ABANDONED CONDUIT, DUCTWORK, HANGERS, CEILING TILE, GRID, FRAMING, PIPING, ETC. THROUGHOUT WORK AREA.

D. GENERAL CONTRACTOR SHALL RELOCATE ANY EXISTING J-BOXES, SWITCHES, ETC. THAT ARE BEING REUSED AND REQUIRED TO BE MOVED TO ACCOMMODATE NEW WALL CONSTRUCTION OR NEW FURRING.

3. GENERAL CONTRACTOR SHALL COORDINATE ALL DEMOLITION WITH OTHER TRADES AND AS NOTED IN THE MECHANICAL, PLUMBING, FIRE PROTECTION, AND ELECTRICAL DEMOLITION DRAWINGS AND NOTES.

4. CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE POLICE FOR ALL TRAFFIC CONTROL, BARRIERS, OR NOTICES. WORK SHALL BE PERFORMED ONLY DURING HOURS AND DAYS ALLOWED BY LAW.

5. CONTRACTOR SHALL COORDINATE ALL WORK, BOTH INTERIOR AND EXTERIOR WITH DRAWINGS BY ENGINEERS FOR ELECTRICAL, MECHANICAL, PLUMBING, STRUCTURAL, CIVIL, AND ALL AFFECTED DISCIPLINES.

6. THESE PLANS ARE FOR THE CONSTRUCTION OF THE BUILDING AT THE LOCATION SO DESIGNATED HERON. THESE PLANS ARE NO TO BE REPRODUCED OR USED FOR ANY OTHER LOCATION.

7. THERE SHALL BE NO DEVIATION FROM THE INTENT OF THESE PLANS WITHOUT PRIOR APPROVAL FROM THE ARCHITECT.

8. ALL WORK SHALL BE PERFORMED TO THE BEST TRADE STANDARDS. ALL CONSTRUCTION IS TO BE PLUMB, SQUARE, LEVEL, AND FREE OF DEFECTS OR OBTRUSIONS UNLESS OTHERWISE NOTED ON THE PLANS. ALL MATERIAL IS TO BE NEW, ALL WOOD IS TO BE PRESSURE TREATED, AND ALL CONNECTORS ARE TO BE GALVANIZED, UNLESS OTHERWISE STATED ON THE DRAWINGS.

9. BUILDER IS RESPONSIBLE FOR COORDINATING THE SHUTOFF AND CAPPING OF ALL UTILITIES PROVIDED TO THE SITE. BUILDER SHALL DISPOSE OF ALL RUBBLE AND DEBRIS IN A SAFE MANNER AND IN ADHERENCE TO ALL APPLICABLE LAWS. BUILDER IS RESPONSIBLE FOR ENSURING THAT SUBCONTRACTORS ARE FULLY AWARE OF THE REQUIREMENTS OF THIS PROJECT AND ARE SUPPLIED WITH ALL REQUIRED DRAWINGS.

10. PRIOR TO COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR SHALL FULLY FAMILIARIZE HIMSELF WITH THE SITE CONDITIONS AND COMPARE THEM TO THE CONSTRUCTION DRAWINGS FOR ACCURACY AND COMPLETENESS. ANY DISCREPANCIES OR CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. WORK SHALL STOP IN THAT AREA UNTIL THE ISSUE IS RESOLVED.

11. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE JOB SITE AND REPORT ANY DISCREPANCIES OR CONDITIONS THAT ARE UNSATISFACTORY OR UNSAFE BEFORE PROCEEDING WITH THE WORK.

12. THE CONTRACTOR SHALL PROVIDE FOR THE SAFETY, PREVENTION OF INJURY OR LOSS AT THE JOB TO ALL PERSONS EMPLOYED ON THE WORK, PERSONS VISITING THE WORK AND THE GENERAL PUBLIC. HE SHALL ALSO BE RESPONSIBLE FOR THE PREVENTION OF DAMAGE DUE TO THE WORK, TO MATERIALS OR EQUIPMENT AND OTHER PROPERTY AT THE SITE OR ADJACENT THERETO.

13. THE GENERAL CONTRACTOR SHALL PROVIDE AN ON SITE DUMPSTER IN A LOCATION COORDINATED WITH THE OWNER FOR THE DISPOSAL OF REMOVED MATERIAL AND CONSTRUCTION DEBRIS. THE DUMPSTER SHALL BE EMPTIED AT APPROPRIATE INTERVALS TO PREVENT OVERFLOW AND UNSIGHTLY CONDITIONS.

14. THE CONTRACTOR SHALL DO ALL WORK IN STRICT CONFORMANCE WITH THE PLANS, FLORIDA BUILDING CODE, LOCAL CODES AND ORDINANCES, MANUFACTURERS RECOMMENDATIONS AND ACCEPTABLE TRADE PRACTICES. IF ANY CONFLICT AMONG THE ABOVE, THE MOST STRINGENT REQUIREMENT SHALL GOVERN THE WORK.

15. ANY CHANGES MADE PRIOR TO APPROVAL BY THE OWNER AND/OR ARCHITECT ARE DISALLOWED AS EXTRAS AND THE CONTRACTOR MAY HAVE TO RESTORE ALL CHANGES TO CONFORM TO PLANS WITHOUT ADDITIONAL COMPENSATION.

16. SHOP DRAWINGS OF ALL PREFABRICATED STRUCTURAL FLOOR AND ROOF SYSTEMS SHALL BEAR THE SEAL OF THE REGISTERED FLORIDA PROFESSIONAL ENGINEER AS REQUIRED BY THE BUILDING CODE AND SHALL BE SUBMITTED TO THE ARCHITECT BY THE GENERAL CONTRACTOR FOR APPROVAL PRIOR TO CONSTRUCTION.

17. THE CONTRACTOR SHALL NOT SCALE DRAWINGS. ANY INFORMATION THAT CANNOT BE OBTAINED BY DIMENSIONS, DETAIL OR SCHEDULE, SHALL BE OBTAINED FROM THE ARCHITECT.

18. THE CONTRACTOR SHALL CHECK AND COORDINATE THE WORK OF VARIOUS TRADES TO PREVENT ANY CONFLICTS.

19. THE CONTRACTOR SHALL FURNISH ALL SUBCONTRACTORS WITH A COMPLETE SET OF PLANS.

20. THESE PLANS AS DRAWN AND NOTED COMPLY WITH THE BUILDING ENVELOPE ENERGY REQUIREMENTS OF THE FLORIDA MODEL ENERGY CODE. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE GOVERNING CODE IN ITS ENTIRETY AND BUILD IN ACCORDANCE WITH ALL PROVISIONS OF THIS CODE WHICH MAY BE SPECIFICALLY ADDRESSED ON THE PLANS AND NOTES.

21. ALL ELECTRICAL WORK SHALL BE DONE IN COMPLIANCE WITH THE NATIONAL ELECTRIC CODE (CURRENT EDITION) AND THE MONROE COUNTY CODE.

22. PORTABLE REST ROOM FACILITIES TO BE PROVIDED AT THE SITE BY THE CONTRACTOR.

23. COMPLETE HOT AND COLD WATER SYSTEMS AND VENT WASTE AND DRAIN SYSTEMS ALL TO CODE, SHALL BE FURNISHED.

24. PROVIDE PLASTIC SLEEVE IN MASONRY, PARTITIONS, AND FOUNDATIONS, ETC. AS REQUIRED FOR UTILITY SERVICES.

25. ALL INTERIOR BATHROOM WALLS WILL HAVE SOUND ATTENUATION BLANKET BETWEEN STUDIOS.

26. ALL PLASTIC PIPES WILL HAVE SOUND INSULATION WRAP AND ALL PENETRATIONS AND STRAPS WILL BE INSULATED FOR SOUND.

27. ALL BOLTS, CLIPS, HANGERS ETC. SHALL BE GALVANIZED (G90 MINIMUM)

28. CAST IN PLACE CONCRETE SHALL BE IN ACCORDANCE WITH ACI 318, ACI 301, AND FLORIDA BUILDING CODE, FC'=4.0 KSI IN 28 DAYS OR AS INDICATED IN STRUCTURAL NOTES AND DETAILS.

29. ALL TIMBER CONSTRUCTION SHALL CONFORM TO AFTC LATEST EDITION.

30. NO PIPE, CONDUIT, OR JUNCTION BOXES TO BE PLACED IN THE SLAB OR COLUMNS UNLESS SPECIFICALLY SHOWN ON THE STRUCTURAL DRAWINGS.

31. NEW CONCRETE EXPOSED TO DIRECT SUN SHALL BE SPRAYED OR MOPPED WITH A CURING COMPOUND TO SEAL IN MOISTURE AFTER THE FINISH HAS SET, OR THE CONCRETE CAN BE COVERED AND SOAKED WITH WATER.

32. CONCRETE SHALL NOT BE MIXED IN PLACE IN A WET AUGER HOLE.

33. ALL WOOD WITHIN 18" OF GRADE IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.

34. ALL FORMS SHALL BE WET JUST PRIOR TO PLACING CONCRETE.

35. ALL SOILS TO BE TREATED FOR BUG INFESTATION PRIOR TO ANY POURS OR COVERINGS.

36. ALL FOUNDATION OPENINGS, WALL OPENINGS, FLOOR OPENINGS, ELECTRICAL BOXES, AND PENETRATIONS OF ANY KIND SHALL BE SEALED WITH NONFLAMMABLE, HIGH DENSITY FOAM.

37. THESE PLANS WERE DESIGNED TO MEET FLORIDA BUILDING CODE ASCE 7-98 AND WIND LOAD DESIGN IS BASED ON 180 MILES PER HOUR.

38. ALLOWANCES CONTRACTOR SHALL ENUMERATE IN HIS BIDS. BID THE TOTAL SUMS FOR ALL ALLOWANCES ITEMS. ALLOWANCES SUMS SHALL INCLUDE ITEMS SELECTED BY OWNER. QUANTITIES, PURCHASE, DELIVERY AND INSTALLATION SHALL BE BY CONTRACTOR. ALL OVERAGES OF ALLOWANCE AMOUNTS SHALL BE PAID FOR BY OWNER. ALL SAVINGS OF ALLOWANCE AMOUNTS SHALL BE CREDITED TO OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING, DELIVERY AND INSTALLATION DATES. ALLOWANCE ITEMS, IF ANY SHALL BE LISTED IN WRITING BY THE OWNER/ARCHITECT PRIOR TO BIDDING.

39. DESIGN: IN ACCORDANCE WITH THE FLORIDA BUILDING CODE 2017.

40. LIVE LOADS USED IN DESIGN: (SEE STRUCTURAL)

A. WIND VELOCITY.....180 MPH AS PER ASCE 7-10

BUILDING CONDITIONS:

1. ALL CONTRACTORS ARE TO PATCH ALL SURFACES OF EXISTING INTERIOR PARTITIONS THAT ARE NOT BEING DEMOLISHED OR WERE DAMAGED DUE TO DEMOLITION PROCEEDINGS.

2. REMOVE ALL EXISTING FLOOR FINISHES, ADHESIVE, ETC. AS SHOWN ON THE DRAWINGS (PATCH AND REPAIR) TO ACCOMMODATE NEW FLOOR FINISHES. PREPARE FLOOR SURFACE PER MANUFACTURER'S RECOMMENDATIONS. LEVEL AREAS AND FEATHER TO NEW AND DIFFERENT FINISHED TO AVOID TRIP HAZARDS > 1/2" (FEATHER SLOPE 1:12).

3. REMOVE ALL INDICATED WALLS, WALL FURRING, DOOR, FRAMES, ETC. THROUGHOUT THE AREA TO FACILITATE NEW CONSTRUCTION AS SHOWN IN THE CONSTRUCTION DOCUMENTS.

4. THE GENERAL CONTRACTOR SHALL REMOVE ALL EXISTING DRYWALL, CEILING(S), SUSPENDED CEILING TILE(S), AND GRID(S). THE GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL NEW CEILING(S) AS SHOWN IN SET. COORDINATE BRACING AND SUPPORT FOR LIGHT FIXTURES, ETC.

5. WHERE SMALL AREAS OF CEILING ARE AFFECTED BY DEMOLITION AND/OR ADJACENT TO EXISTING CEILING, REPAIR ADJOINING CEILINGS AND PAINT AND/OR INSTALL NEW TILE TO MATCH EXISTING. ROOM OR AREA SHOULD BE CONSISTENT WITH NEW CONSTRUCTION.

6. THE DEMOLITION CONTRACTOR SHALL EXERCISE CARE SO THAT ONLY THE CONSTRUCTION INDICATED OR REASONABLY IMPLIED TO BE REMOVED SHALL BE DEMOLISHED. THE EXISTING CONSTRUCTION TO REMAIN SHALL BE LEFT INTACT AND UNDAMAGED, TYPICAL. ANY DAMAGE(S) WILL BE REQUIRED TO BE REPAIRED BY THE CONTRACTOR(S) AT NOT COST TO THE PROJECT INCLUDING AREAS OUTSIDE OF THE EXTENTS OF WORK.

7. UTILITIES, WATER, AND SEWER LINES ARE TO BE IDENTIFIED, CUT, CAPPED AND CLEARLY IDENTIFIED AND FLAGGED.

HEALTH, SAFETY, AND WELFARE:

1. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS DURING DEMOLITION AND CONSTRUCTION TO PROTECT AND MAINTAIN THE INTEGRITY AND OPERATION OF EXISTING OR TEMPORARY LIFE SAFETY AND EMERGENCY EGRESS AREAS AND SYSTEMS AS REQUIRED BY LOCAL BUILDING CODES.

2. THE GENERAL CONTRACTOR WILL VERIFY WITH THE ARCHITECT ANY EXISTING SECURITY ITEMS TO BE REMOVED AND REUSED. THE GENERAL CONTRACTOR WILL REINSTALL AS DIRECTED.

3. THE CONTRACTORS ARE RESPONSIBLE FOR THE REMOVAL OF ALL DEMOLITION AND CONSTRUCTION DEBRIS GENERATED FROM WORK, TAKING CARE TO PREVENT OVERLOADING OF FLOOR ASSEMBLY AND PROTECTION OF ADJACENT EXISTING CONSTRUCTION.

4. DURING DEMOLITION, THE CONTRACTOR(S) SHALL TAKE ALL PRECAUTIONS NECESSARY TO PREVENT STRUCTURAL AND OTHER DAMAGE TO THE BUILDINGS EXISTING WALLS.

5. ALL ITEMS INDICATED TO BE REMOVED AND ITEMS NOT INDICATED TO BE REUSED SHALL BE DISPOSED OF PROPERLY BY THE CONTRACTORS AS AGREED UPON AND DIRECTED BY THE OWNER OR THEIR AGENT.

CONCRETE

1. ALL STRUCTURAL CONCRETE SHALL CONFORM TO ACI 318 LATEST, AND SHALL ATTAIN A MINIMUM OF 28 DAY ULTIMATE COMPRESSIVE STRENGTH OF 5,000 PSI UNLESS OTHERWISE NOTED ON PLANS.

2. ALL REINFORCING STEEL SHALL CONFORM TO ASTM DESIGNATION A615 LATEST GRADE 60.

3. IN FLEXURAL MEMBER, SPLICES FOR CONTINUOUS TOP BARS SHALL BE MADE AT OR NEAR THE MID-SPAN OF THE MEMBER. SPLICES FOR CONTINUOUS BOTTOM BARS SHALL BE MADE OVER THE SUPPORT. LAP SPLICE LENGTHS SHAL BE IN ACCORDANCE WITH ACI 318 LATEST.

4. CONCRETE COVERAGE OR REINFORCING STEEL SHALL BE AS FOLLOWS:

A. CONCRETE PLACED DIRECTLY IN CONTACT WITH GROUND: 3"

B. CONCRETE EXPOSED DIRECTLY TO THE WEATHER OR IN CONTACT WITH GROUND AFTER REMOVAL OF FORMS: 3"

C. CONCRETE NOT EXPOSED DIRECTLY TO THE GROUND OR WEATHER:

I. WALLS & SLABS 3/4"

II. BEAMS AND GIRDERS 1-1/2"

III. RIBBED FLOOR SHALL BE CONSIDERED SLABS.

D. ALL OTHERS: 1-1/2"

5. WELDED WIRE FABRIC (W.W.F.) SHALL CONFORM TO ASTM DESIGNATION A1855 OR LATEST.

6. NO PIPE, CONDUIT OR JUNCTION BOXES ARE TO BE PLACED IN SLAB OR COLUMNS UNLESS SPECIFICALLY SHOWN ON THE STRUCTURAL DRAWINGS.

7. PIPE & CONDUIT OPENINGS THROUGH SLABS SHALL BE SLEEVED PRIOR TO POURING OF SLAB.

8. ALL EXTERIOR BEAM CORNERS TO HAVE 2-#5 CORNER BARS 2' X 2' TOP AND BOTTOM. ALL INTERMEDIATE BEAM BARS TO END WITH 6" HOOK TIED TO TOP AND BOTTOM CONTINUOUS BEAM BARS.

9. ONE #4 BAR SHALL BE PLACED IN GROUTED CELL, BEAM TO BEAM, BOTH SIDES OF ALL WALL OPENINGS, U.O.N.

10. HORIZONTAL CBS REINFORCEMENT TO BE DWR-A-WAL TRUSS STANDARD WITH #9 GAUGE SIZE AND CROSS WIRE, HOT DIPPED GALVANIZED AFTER FABRICATION.

11. CONTRACTOR TO VERIFY CONDITION OF STRUCTURAL CONCRETE BEFORE INSTALLING ANY STRUCTURAL ANCHORS.

WOOD

1. ALL LUMBER TO BE MINIMUM #2 SYP WITH STRESS PARAMETERS ACCORDING TO NDS LATEST U.O.N.

4. ALL FASTENINGS TO BE INSTALLED AS INDICATED IN THIS DESIGN PER LATEST FLORIDA BUILDING CODE 5. ALL WOOD CONSTRUCTION SHALL CONFORM TO AITC LATEST.

6. ALL WOOD TO BE PRESSURE TREATED.

7. TERMITE PROTECTION SHALL BE IN ACCORDANCE WITH FBC 2017

DRAWING INDEX

A11 SITE PLAN, SITE CALCS, DEMO & NOTES  
A21 EXISTING & PROPOSED 1<sup>ST</sup> FLOOR PLANS  
AE31 EXISTING ELEVATIONS  
A31 PROPOSED ELEVATIONS  
EP1 ELECTRICAL PLANS & PLUMBING RISER DIAG.  
DESIGN PRESSURE CALCS.

CODE INFORMATION

THIS PROJECT SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES INCLUDING:

1. CODE OF ORDINANCES – CITY OF KEY WEST, FL

2. FLORIDA BUILDING CODE 2017:

2.1. RESIDENTIAL BUILDING CODE 2017

2.1. EXISTING BUILDING CODE 2017

SCOPE OF WORK

THIS IS A MODIFICATION OF AN EXISTING ACCESSORY STRUCTURE RESIDENCE. IT WILL BE A ONE STORY WOOD STRUCTURE. ALSO THERE WILL BE SOME EXTERIOR DEMOLITION OR TRIMMING OF RAFTERS EXTENSION

ZONING INFORMATION

1. HNC-3 ZONING DISTRICT

2. NO CHANGE OF USE OR OCCUPANCY

ALL WORK SHALL COMPLY WITH ASCE 24-14

ZONING CALCULATIONS

	ALLOWED	EXISTING	PROPOSED	COMPLIANCE
HEIGHT	30'	16.6'	No Change	Yes
BUILDING COVERAGE	40%	1,213s.f. (52 %)*	1,159 s.f.(49.6 %)**	N/A*
IMPERVIOUS SURFACE RATIO	60%	1,213s.f. (52 %)*	1,159 s.f.(49.6 %)	Yes
LOT SIZE	Min. 4,000 s.f.	2,332 s.f.*	No Change	N/A*
LOT WIDTH	Min. 40'	26.5*	No Change	N/A*
LOT DEPTH	Min. 90'	98'	No Change	Yes
FRONT SETBACK	Min. 0'	0'	No Change	Yes
SIDE SETBACK (NORTH)	Min. 5'	1.5'	4.5**	No
SIDE SETBACK (SOUTH)	Min. 5'	2.4'	5.4'	Yes
REAR SETBACK	Min. 15'	1.7*	See below	Yes
OPEN SPACE	Min. 35%	1055.7s.f.(40.6%)	No Change	Yes
		ACCESSORY STRUCTURE		
REAR SETBACK	Min. 5'	1.7*	No Change	No*
REAR YARD COVERAGE	30%	55%*	55%*	No*

\*Existing Non-Conforming Condition

\*\* Improving Existing Non-Conforming Condition

NOTE: PLANNING APPROVAL OF VARIANCE FOR NON-CONFORMING CONDITIONS ON 12.17.2020

DRAINAGE CALCS

REQUIRED INFORMATION:

TOTAL LOT AREA = 2,332 S.F.

INCREASED IMPERVIOUS AREA= 448 S.F.

% IMPERVIOUS = 448/ 2,332 = .192%

SWALE VOLUME REQUIRED:

FOR A HOME WITH 40% OR GREATER IMPERVIOUS COVERAGE

LOT AREA \* 0.104 \* % IMPERVIOUS = SWALE VOLUME

2332\* 0.104 \* .192 = 46.5 C.F.

SWALE PROVIDED:

SWALE A = (3' X 16' X 0.5')= 24C.F.

SWALE B = (4' X 13' X 0.5')= 26C.F.





Seal:

Consultants:

Submissions / Revisions:

PLANNING SUBMISSION: 9.25.20

H.A.R.C. SUBMISSION: 12.28.20

**727 EMMA STREET**  
KEY WEST, FL  
**ACCESSORY STRUCTURE**Drawing Size | Project #:  
24x36 | 19011

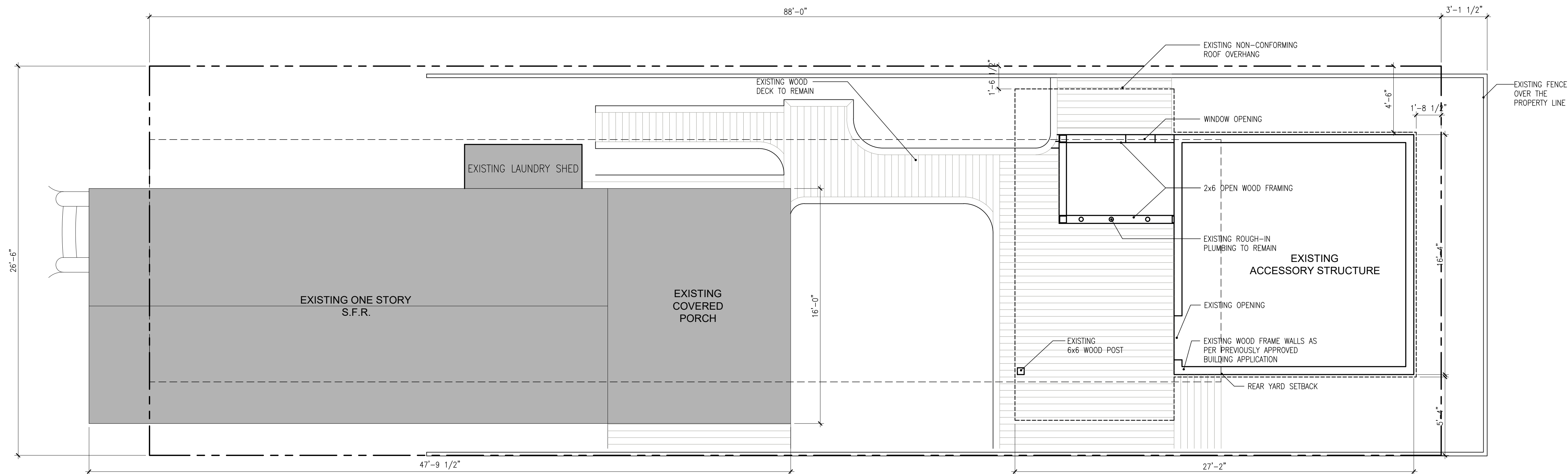
Title:

**EXISTING &  
PROPOSED  
FLOOR PLANS**

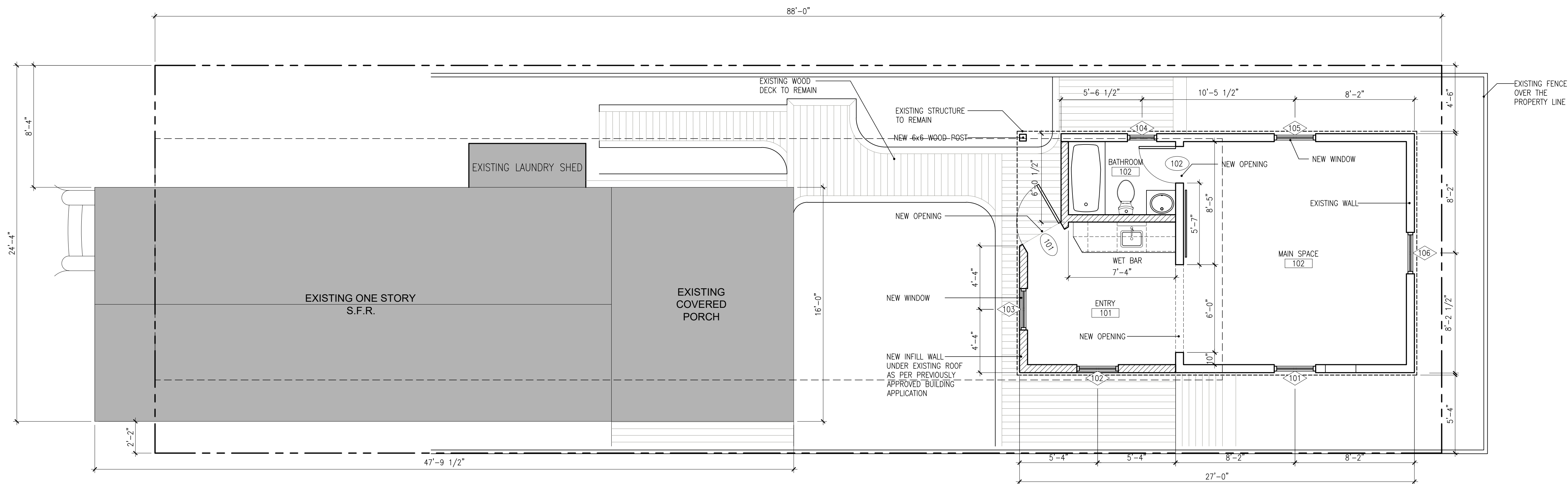
Sheet Number:

**A-2.1**

Date: - AUGUST 3, 2020

© 2019 by WILLIAM SHEPLER &  
ASSOCIATES ARCHITECTURE LLC

1  
A2.1  
**EXISTING FLOOR PLAN**  
SCALE: 1/4"=1'-0"



2  
A2.1  
**PROPOSED FLOOR PLAN**  
SCALE: 1/4"=1'-0"





# NOTICING

# Public Meeting Notice

The Historic Architectural Review Commission will hold a public meeting at **5:00 p.m., January 26, 2021 at City Hall, 1300 White Street**, Key West, Florida. In order to view the live feed of the meeting, you can tune in to Comcast channel 77, AT&T Uverse channel 99, or type this link into your browser:

[http://keywestcity.granicus.com/MediaPlayer.php?publish\\_id=1&embed=1](http://keywestcity.granicus.com/MediaPlayer.php?publish_id=1&embed=1) If you wish to participate virtually, please contact HARC staff at 305-809-3975. The purpose of the hearing will be to consider a request for:

## **COMPLETION OF A ONE-STORY FRAME ACCESSORY STRUCTURE IN THE REAR YARD.**

**#727 EMMA STREET**

**Applicant – William Shepler    Application #H2020-0044**

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 1300 White Street, call 305-809-3973 or visit our website at [www.cityofkeywest-fl.gov](http://www.cityofkeywest-fl.gov).

**THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION**

ADA ASSISTANCE: It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 800-955-8771 or 800-955-8770 (Voice) or the ADA Coordinator at 305-809-3811 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.



7  
2  
7

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## HARC POSTING AFFIDAVIT

STATE OF FLORIDA:  
COUNTY OF MONROE:

BEFORE ME, the undersigned authority, personally appeared X Lisa Rivard, who, first being duly sworn, on oath, depose and says that the following statements are true and correct to the best of his/her knowledge and belief:

1. That a legal notice for Public Notice of Hearing of the Historic Architectural Review Commission (HARC) was placed on the following address:

727 Emma St on the  
21 day of January, 2021.

This legal notice(s) contained an area of at least 8.5"x11".

The property was posted to notice a public hearing before the Key West Historic Architectural Review Commission to be held on January 26, 2021.

The legal notice(s) is/are clearly visible from the public street adjacent to the property.

The Certificate of Appropriateness number for this legal notice is H 2020-0044

2. A photograph of that legal notice posted in the property is attached hereto.

Signed Name of Affiant:

Date:

Address:

City:

State, Zip:

Lisa Rivard  
Jan. 21, 2021  
727 Emma St  
Key West FL  
Florida, 33040

The forgoing instrument was acknowledged before me on this 21 day of January, 2021.

By (Print name of Affiant) LISA RIVARD who is personally known to me or has produced identification and who did take an oath.

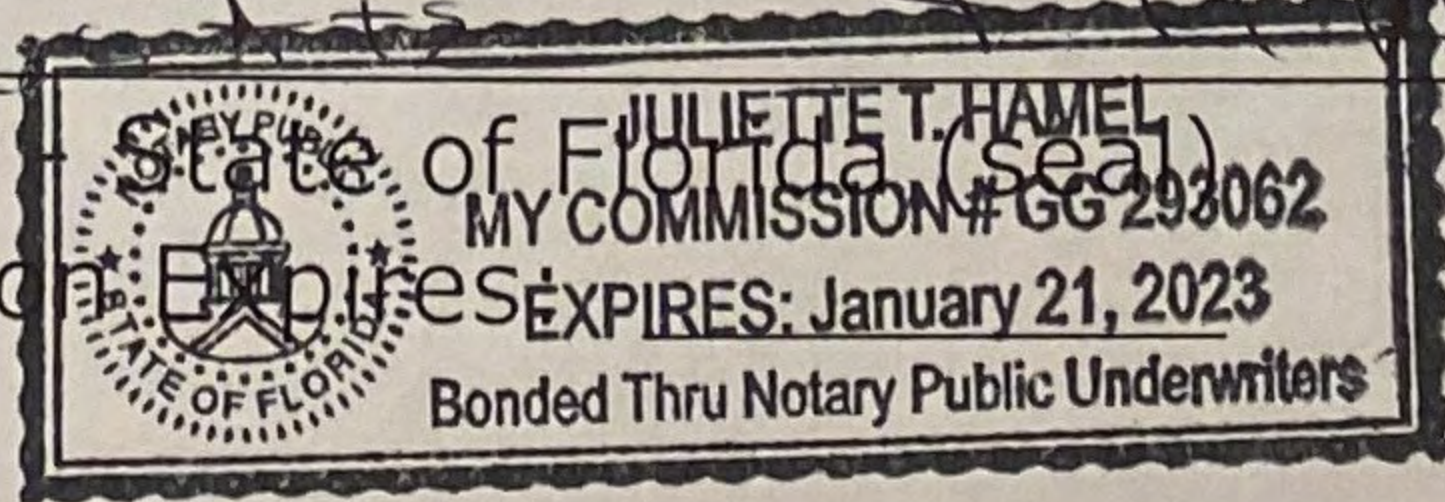
### NOTARY PUBLIC

Sign Name:

Print Name:

Notary Public

My Commission





# PROPERTY APPRAISER INFORMATION



# Monroe County, FL

## Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

## Summary

**Parcel ID** 00013730-000000  
**Account#** 1014117  
**Property ID** 1014117  
**Millage Group** 11KW  
**Location** 727 EMMA St, KEY WEST  
**Address**  
**Legal** KW PT LOT 25 SQR 2 TR 3 G38-99/100 G74-490/91 OR1020-1185/86 OR2182-1857/58 OR2668-486/89  
**Description** (Note: Not to be used on legal documents.)  
**Neighborhood** 6021  
**Property Class** SINGLE FAMILY RESID (0100)  
**Subdivision**  
**Sec/Twp/Rng** 06/68/25  
**Affordable** No  
**Housing**



## Owner

RIVARD LISA  
 727 Emma St  
 Key West FL 33040

## Valuation

	2020	2019	2018	2017
+ Market Improvement Value	\$78,002	\$61,948	\$62,859	\$63,770
+ Market Misc Value	\$4,739	\$4,898	\$5,057	\$5,216
+ Market Land Value	\$376,565	\$401,237	\$401,237	\$401,237
= Just Market Value	\$459,306	\$468,083	\$469,153	\$470,223
= Total Assessed Value	\$289,692	\$283,179	\$277,899	\$272,184
- School Exempt Value	(\$25,000)	(\$25,000)	(\$25,000)	(\$25,000)
= School Taxable Value	\$264,692	\$258,179	\$252,899	\$247,184

## Land

Land Use	Number of Units	Unit Type	Frontage	Depth
RESIDENTIAL DRY (010D)	2,597.00	Square Foot	27	98

## Buildings

**Building ID** 970  
**Style** 1 STORY ELEV FOUNDATION  
**Building Type** S.F.R. - R1 / R1  
**Gross Sq Ft** 793  
**Finished Sq Ft** 480  
**Stories** 1 Floor  
**Condition** GOOD  
**Perimeter** 92  
**Functional Obs** 0  
**Economic Obs** 0  
**Depreciation %** 18  
**Interior Walls** DRYWALL  
**Exterior Walls** ABOVE AVERAGE WOOD  
**Year Built** 1928  
**EffectiveYearBuilt** 2005  
**Foundation** WD CONC PADS  
**Roof Type** GABLE/HIP  
**Roof Coverage** METAL  
**Flooring Type** PLYWD/PR BD  
**Heating Type** NONE with 0% NONE  
**Bedrooms** 2  
**Full Bathrooms** 1  
**Half Bathrooms** 0  
**Grade** 450  
**Number of Fire Pl** 0

Code	Description	Sketch Area	Finished Area	Perimeter
DUF	FIN DET UTILIT	233	0	0
FLA	FLOOR LIV AREA	480	480	0
OPF	OP PRCH FIN LL	80	0	0
TOTAL		793	480	0

Yard Items

Description	Year Built	Roll Year	Quantity	Units	Grade
WOOD DECK	2014	2015	1	432 SF	1
FENCES	2014	2015	1	792 SF	1

Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved
1/15/2014	\$279,000	Warranty Deed		2668	486	38 - Unqualified	Improved
1/27/2006	\$400,000	Warranty Deed		2182	1857	Q - Qualified	Improved

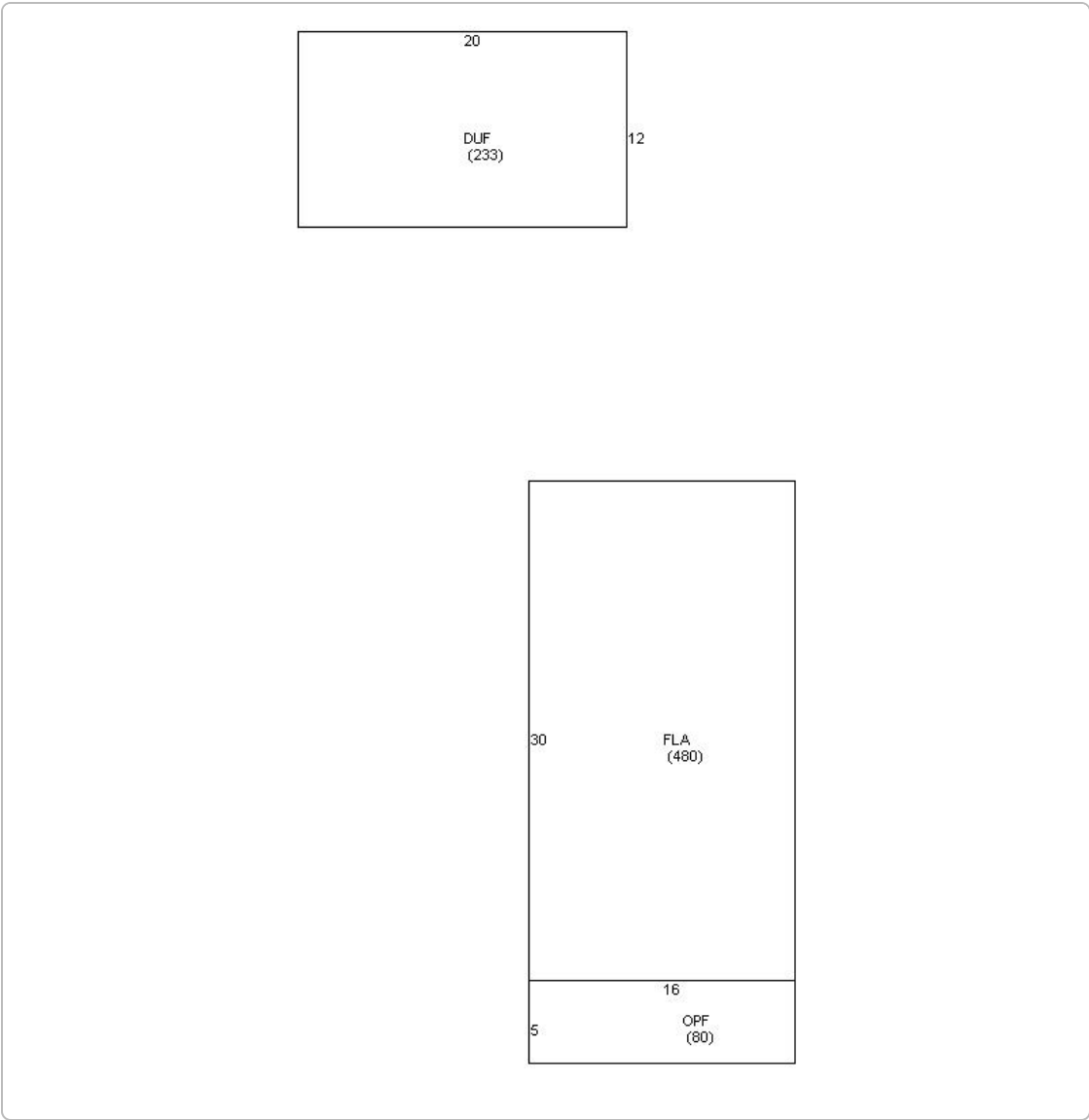
Permits

Number	Date Issued	Date Completed	Amount	Permit Type	Notes
14-1095	4/26/2014	7/30/2014	\$1,200		132 LF OF 6'H STOCKADE FENCE
14-1099	4/26/2014	7/30/2014	\$2,500		12X20 SHED WITH 12X20 WOOD DECK REAR OF PROPERTY. 12X16 WOOD DECK BACK OF HOUSE
06-2968	5/16/2006	7/24/2006	\$1,500	Residential	REPLACE DRYWALL INSTALL PLY SHEETING OVER FLOOR
06-2112	3/30/2006	7/24/2006	\$100	Residential	TEMPORARY SERVICE POLE
06-1239	3/2/2006	7/24/2006	\$1,500	Residential	REPAIR SERVICE & INSTALL TEMPOARY
B952885	9/1/1995	8/1/1996	\$1,000	Residential	RENOVATIONS

View Tax Info

[View Taxes for this Parcel](#)

Sketches (click to enlarge)



## Photos



## Map



## TRIM Notice

2020 TRIM Notice (PDF)

### 2020 Notices Only

No data available for the following modules: Commercial Buildings, Mobile Home Buildings, Exemptions.

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the

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[GDPR Privacy Notice](#)

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