



Historic Architectural Review Commission Staff Report for Item 8

To: Chairman Bryan Green and Historic Architectural Review Commission Members

From: Kathleen McDonald, MHP
Historic Preservation Planner II

Meeting Date: April 28, 2021

Applicant: SALT Energy - Caleb Mandile

Address: #210 Olivia Street

Description of Work:

New 30 solar panels to be mounted on roof and associated infrastructure.

Site Facts:

The site under review is located at 210 Olivia Street, on the corner of Olivia Street and Hutchinson Lane. According to our survey, the primary structure at 210 Olivia is historic and contributing to the historic district, with a year built circa 1920.

Guidelines Cited on Review:

- Guidelines for Solar Collectors (page 28).

Staff Analysis:

The Certificate of Appropriateness under review proposes the installation of a grid-tied solar photovoltaic system with seamless whole-home battery backup for the residence at 210 Olivia Street. The system is designed to offset a large portion of the property's energy consumption and power the home during a grid outage. The proposed system consists of 30 SunPower A410 solar panels, which would maximize efficiency if installed on south-facing portions of the roof. See adjacent map referencing roof locations according to direction, with SS indicating a sunshade structure in the rear yard.

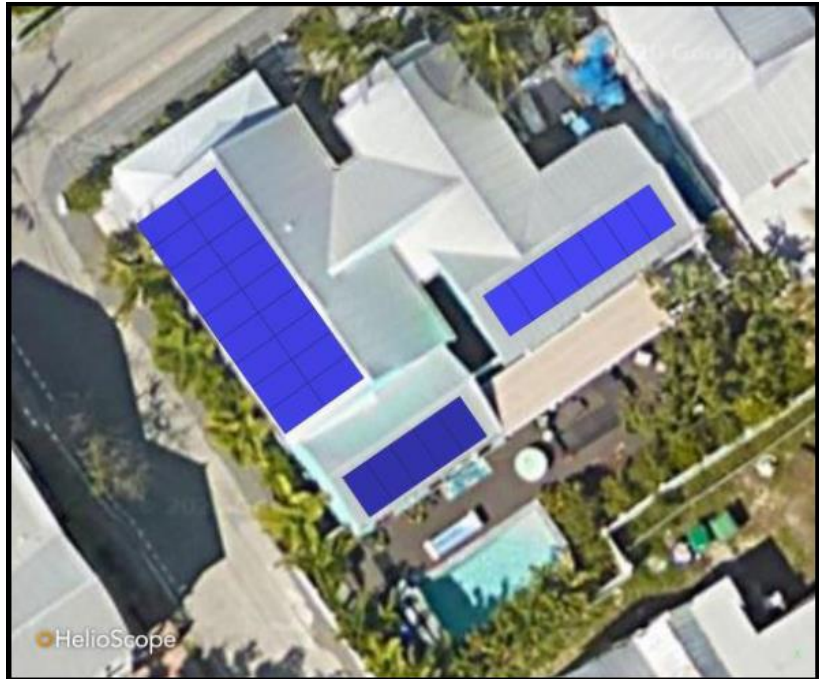


The applicant has provided 4 layouts for consideration, with Layout 4 being their preferred layout.

Layout 1

Includes 18 panels on the SW facing Hutchinson Lane, 5 panels on the SE, and 7 panels on SE2. This layout is the most efficient option, but the panels on the SW would be highly visible from both Olivia Street and Hutchinson Lane.

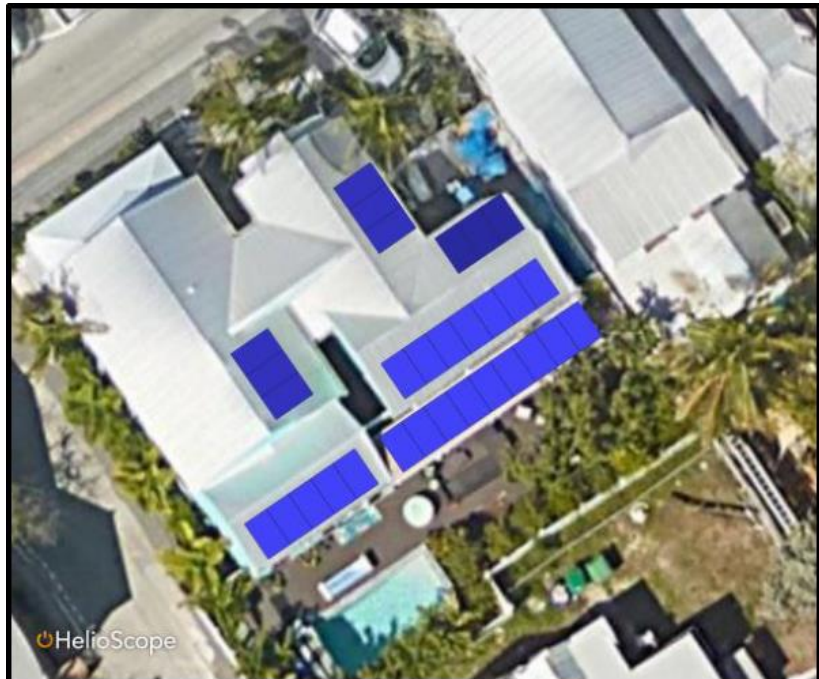
Energy generation for Layout 1:
20.59 MWh produced per year,
1673.6 kWh/kWp



Layout 2

Includes 3 panels on the NE, 3 panels on NE2, 3 panels on the NW, 5 panels on the SE, 7 panels on SE2, and 9 panels on the SS. This layout avoids placing panels on highly visible portions of the roof, but the arrays appear more disjointed. This layout also sacrifices efficiency, with over 9% lower annual production compared with the other 3 layouts, due to the 9 panels mounted on north-facing surfaces.

Energy generation for Layout 2:
19.07 MWh produced per year,
1550.1 kWh/kWp



Layout 3

Includes 9 panels on the SW, 5 panels on the SE, 7 panels on SE2, and 9 panels on the SS. This layout is the second-most efficient, but the 9 panels on the SW would be highly visible from the right-of-way.

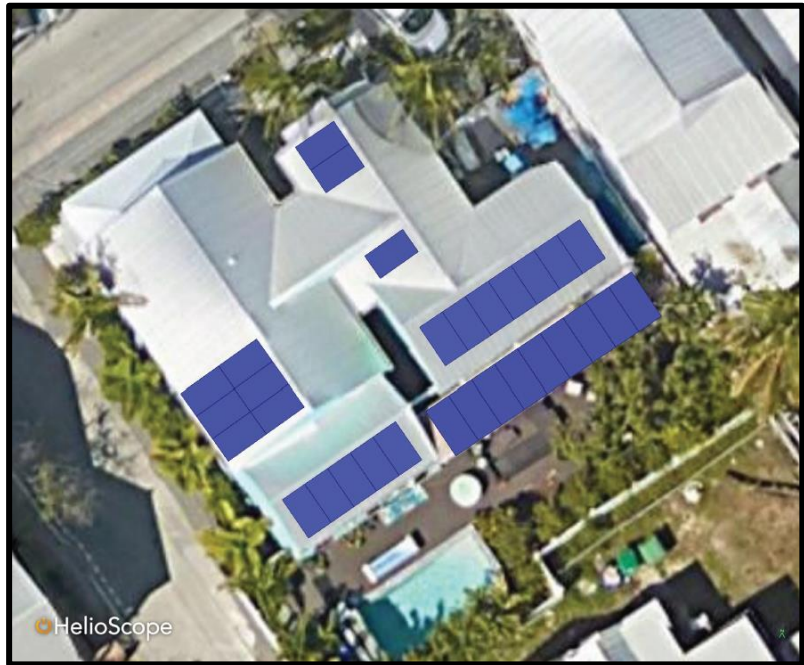
Energy generation for Layout 3:
20.35 MWh produced per year,
1654.7 kWh/kWp



Layout 4 (Preferred Option)

Includes 6 panels on the SW, 2 panels on SW2, 1 panel on SW3, 5 panels on the SE, 7 panels on SE2, and 9 panels on the SS. This layout is the third-most efficient, but its energy generation is very similar to that of Layout 3. This option minimizes visibility as much as possible, without sacrificing too much efficiency. This is the applicant's preferred layout option.

Energy generation for Layout 4:
20.30 MWh produced per year,
1650.8 kWh/kWp



Consistency with Cited Guidelines:

As Guideline 1 under Solar Collectors states, “HARC’s goal is high performance conservation with low public visibility.” Staff feels that the applicant’s preferred layout, Layout 4, minimizes visibility as much as possible, without sacrificing too much efficiency.

The applicant has provided multiple layouts for consideration, in order to establish a hierarchy of preferred locations. Layout 2 provides an option that would be least visible, but would not be viable for the applicant, due to north-facing orientations that would lead to over 9% lower annual production compared with the other 3 layouts. Layout 1 has the highest energy generation, but would also be the most visible option. Layout 3 generates a similar amount of energy to Layout 4, but Layout 3 would be more visible.

210 Olivia Street utilized 21,043 kWh of electricity between November 2019 and November 2020, according to Keys Energy records provided in the applicant’s submission. Layout 4, the preferred layout, would produce approximately 20,300 kWh of energy per year. Any excess energy produced by the solar would be stored in the batteries for use during the night.

Character defining features of the building will not be damaged or obscured, as the panels will be installed at a minimum of 10 inches from all roof edges. The solar arrays will run parallel to the original roofline and will not rise above the roof peak. Necessary conduit and electrical equipment would be mounted on exterior walls out of public view.

Staff feels that Layout 4 is the best option to retain efficiency while keeping visibility from the right-of-way as low as possible.

APPLICATION

HARC MAJOR PROJECTS CERTIFICATE OF APPROPRIATENESS

\$420 NON-REFUNDABLE BASE APPLICATION FEE - OTHER FEES MAY BE APPLICABLE Rev 12/14/2020 ET



City of Key West

1300 White Street
Key West, Florida 33040

HARC COA #	REVISION #	INITIAL & DATE
FLOOD ZONE	ZONING DISTRICT	BLDG PERMIT #

A PRE-APPLICATION MEETING WITH HARC STAFF IS REQUIRED PRIOR TO SUBMITTAL

ADDRESS OF PROPOSED PROJECT:	210 Olivia Street, Key West Florida 33040	
NAME ON DEED:	Richard and Margaret Holtz	PHONE NUMBER 703-473-8870
OWNER'S MAILING ADDRESS:	210 Olivia Street	EMAIL margeholtz@holtznet.com
	Key West Florida 33040	
APPLICANT NAME:	Caleb Mandile (SALT Energy)	PHONE NUMBER 305-289-1150
APPLICANT'S ADDRESS:	2992 Overseas Highway	EMAIL calebm@saltenergy.net
	Marathon Florida 33050	
APPLICANT'S SIGNATURE:		DATE 3/26/21

ANY PERSON THAT MAKES CHANGES TO AN APPROVED CERTIFICATE OF APPROPRIATENESS MUST SUBMIT A NEW APPLICATION.
 FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND-DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083. THE APPLICANT FURTHER HEREBY ACKNOWLEDGES THAT THE SCOPE OF WORK AS DESCRIBED IN THE APPLICATION SHALL BE THE SCOPE OF WORK THAT IS CONTEMPLATED BY THE APPLICANT AND THE CITY. THE APPLICANT FURTHER STIPULATES THAT SHOULD FURTHER ACTION BE TAKEN BY THE CITY FOR EXCEEDING THE SCOPE OF THE DESCRIPTION OF WORK, AS DESCRIBED HEREIN, AND IF THERE IS CONFLICTING INFORMATION BETWEEN THE DESCRIPTION OF WORK AND THE SUBMITTED PLANS, THE AFOREMENTIONED DESCRIPTION OF WORK SHALL BE CONTROLLING.

PROJECT INCLUDES: REPLACEMENT OF WINDOWS ☐ RELOCATION OF A STRUCTURE ☐ ELEVATION OF A STRUCTURE ☐
 PROJECT INVOLVES A CONTRIBUTING STRUCTURE: YES ☒ NO ☐ INVOLVES A HISTORIC STRUCTURE: YES ☒ NO ☐
 PROJECT INVOLVES A STRUCTURE THAT IS INDIVIDUALLY LISTED ON THE NATIONAL REGISTER: YES ☐ NO ☒

DETAILED PROJECT DESCRIPTION INCLUDING MATERIALS, HEIGHT, DIMENSIONS, SQUARE FOOTAGE, LOCATION, ETC.
GENERAL:
30 Solar PV Panels and associated racking mounted on roof. Array Dimensions below
9 panels on SW face: 205" x 144". 5 panels on SE face: 205" x 72".
7 panels on SE face 287"x 72". 9 panels on shade structure: 369" x 72"
MAIN BUILDING:
Necessary conduit and electrical equipment to be mounted on exterior walls out of public view
DEMOLITION (PLEASE FILL OUT AND ATTACH DEMOLITION APPENDIX):

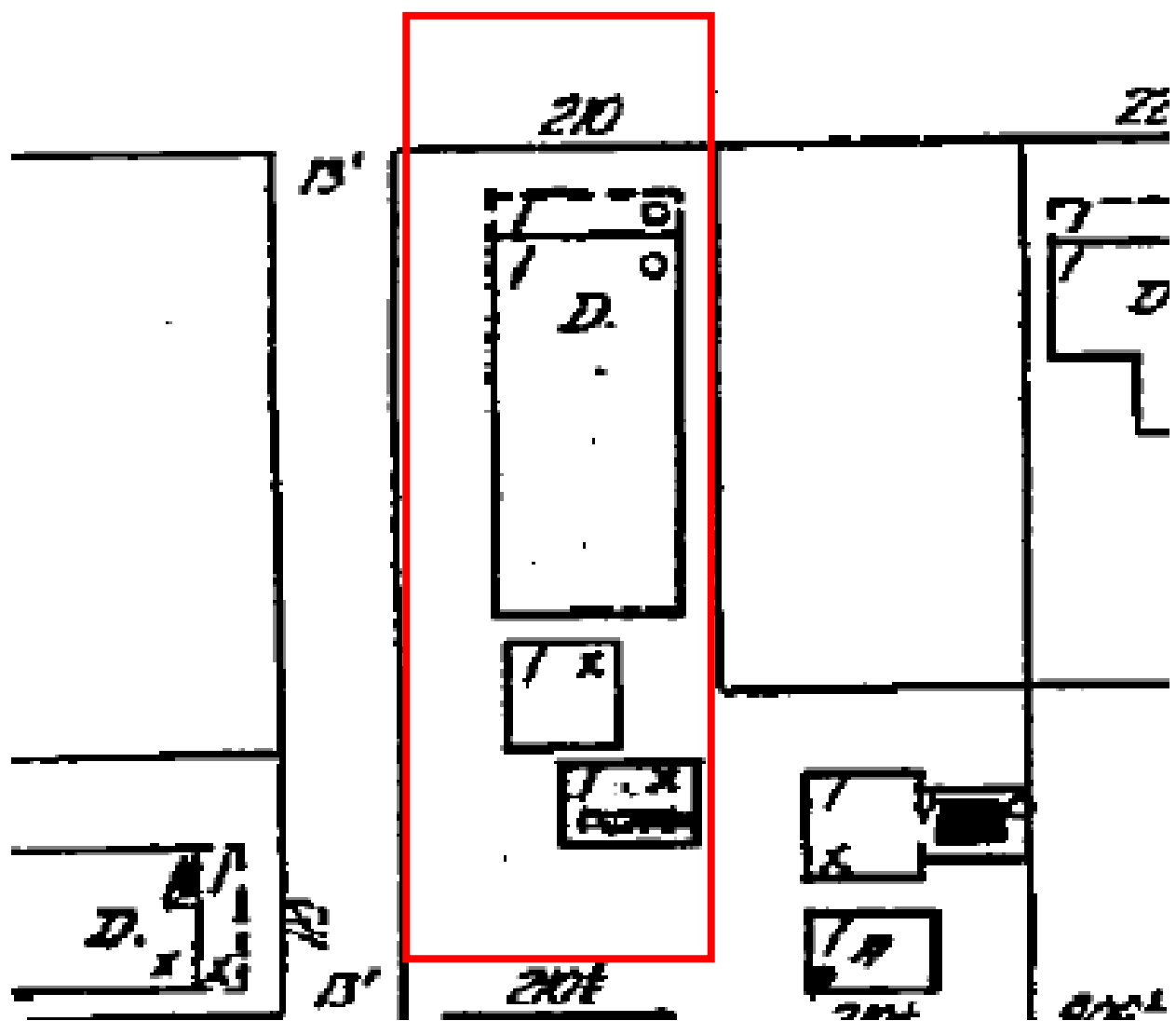
APPLICATIONS MUST BE SUBMITTED IN PERSON WITH HARD COPIES BY 3PM ON THE SCHEDULED DEADLINE
PLEASE SEND AN ELECTRONIC COPY OF ALL DOCUMENTS CITY_HARC@CITYOFKEYWEST-FL.GOV

ACCESSORY STRUCTURE(S):	
Solar PV Panels: Black aluminum frame, tempered glass, 66x monocrystalline SPWR silicon solar cell	
Racking Equipment: Black aluminum, stainless steel. Conduit: PVC, stainless steel hardware	
PAVERS:	FENCES:
DECKS:	PAINTING:
SITE (INCLUDING GRADING, FILL, TREES, ETC):	POOLS (INCLUDING EQUIPMENT):
ACCESSORY EQUIPMENT (GAS, A/C, VENTS, ETC):	OTHER:

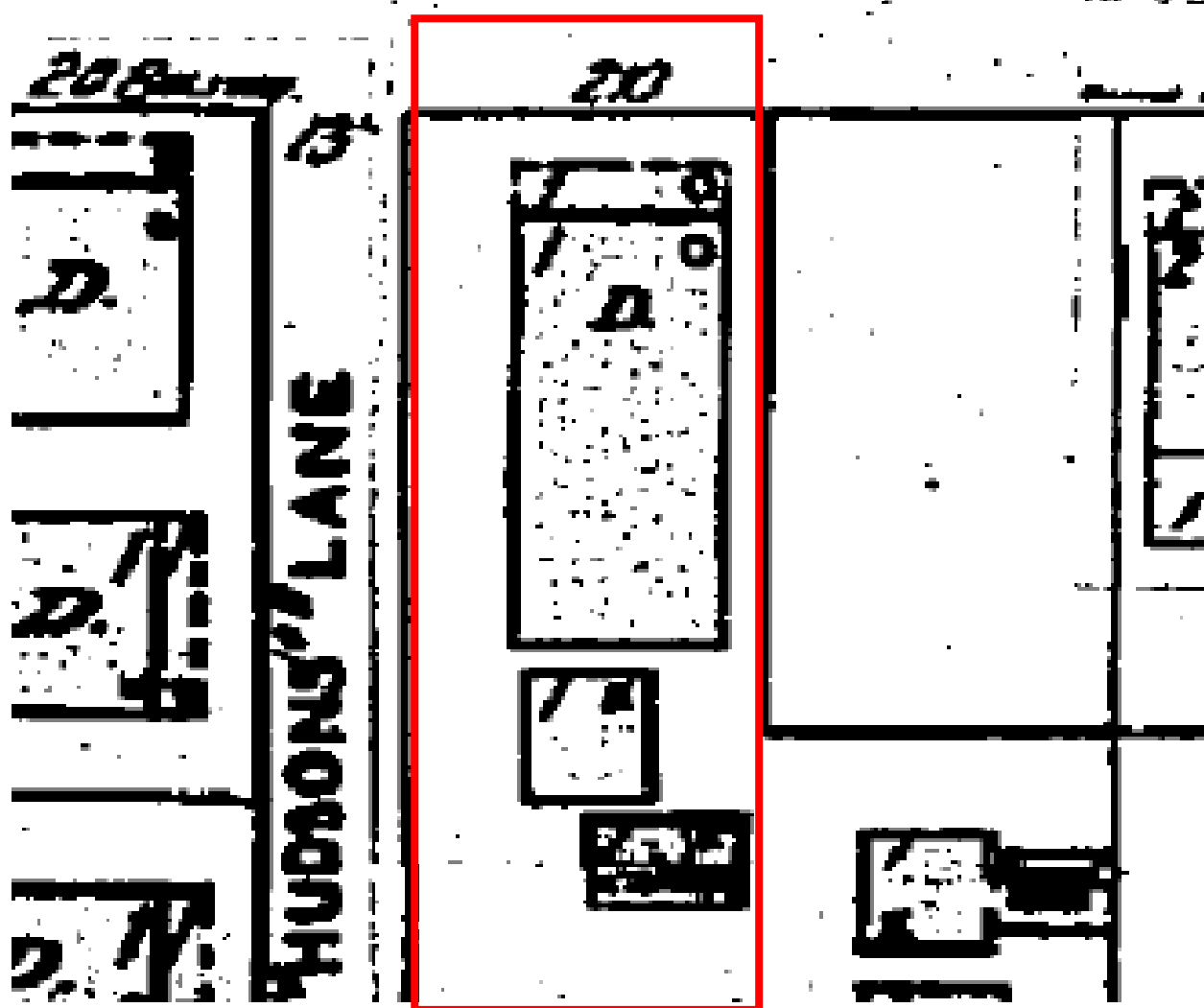
OFFICIAL USE ONLY:	HARC COMMISSION REVIEW	EXPIRES ON:
MEETING DATE:	☐ APPROVED ☐ NOT APPROVED ☐ DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
MEETING DATE:	☐ APPROVED ☐ NOT APPROVED ☐ DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
MEETING DATE:	☐ APPROVED ☐ NOT APPROVED ☐ DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
REASONS OR CONDITIONS:		
STAFF REVIEW COMMENTS:		
FIRST READING FOR DEMO:	SECOND READING FOR DEMO:	
HARC STAFF SIGNATURE AND DATE:	HARC CHAIRPERSON SIGNATURE AND DATE:	

THIS APPLICATION MAY BE REVIEWED BY PLANNING DEPARTMENT STAFF.

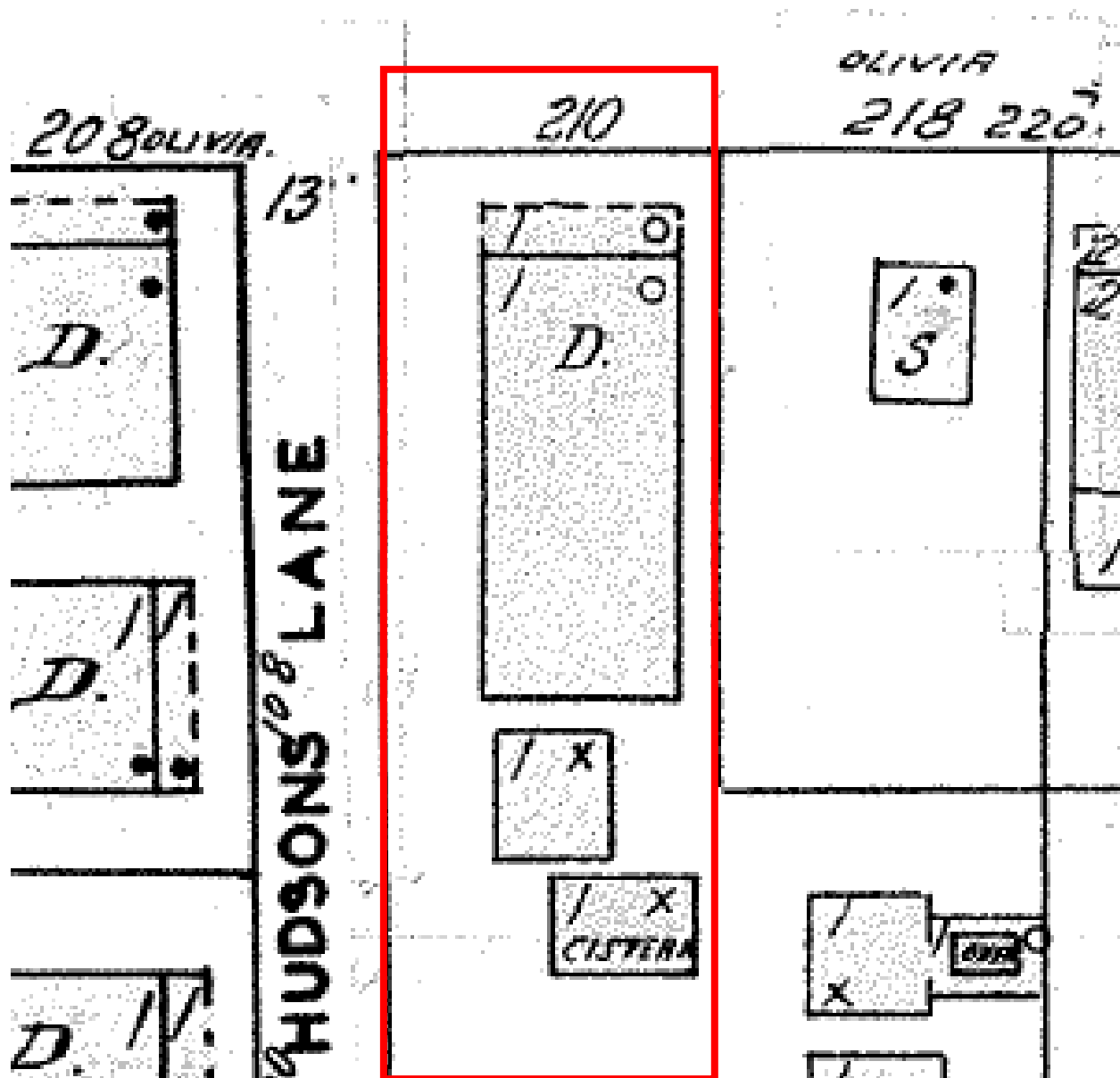
SANBORN MAPS



1926 Sanborn with the property at 210 Olivia Street indicated in red.



1948 Sanborn with the property at 210 Olivia Street indicated in red.

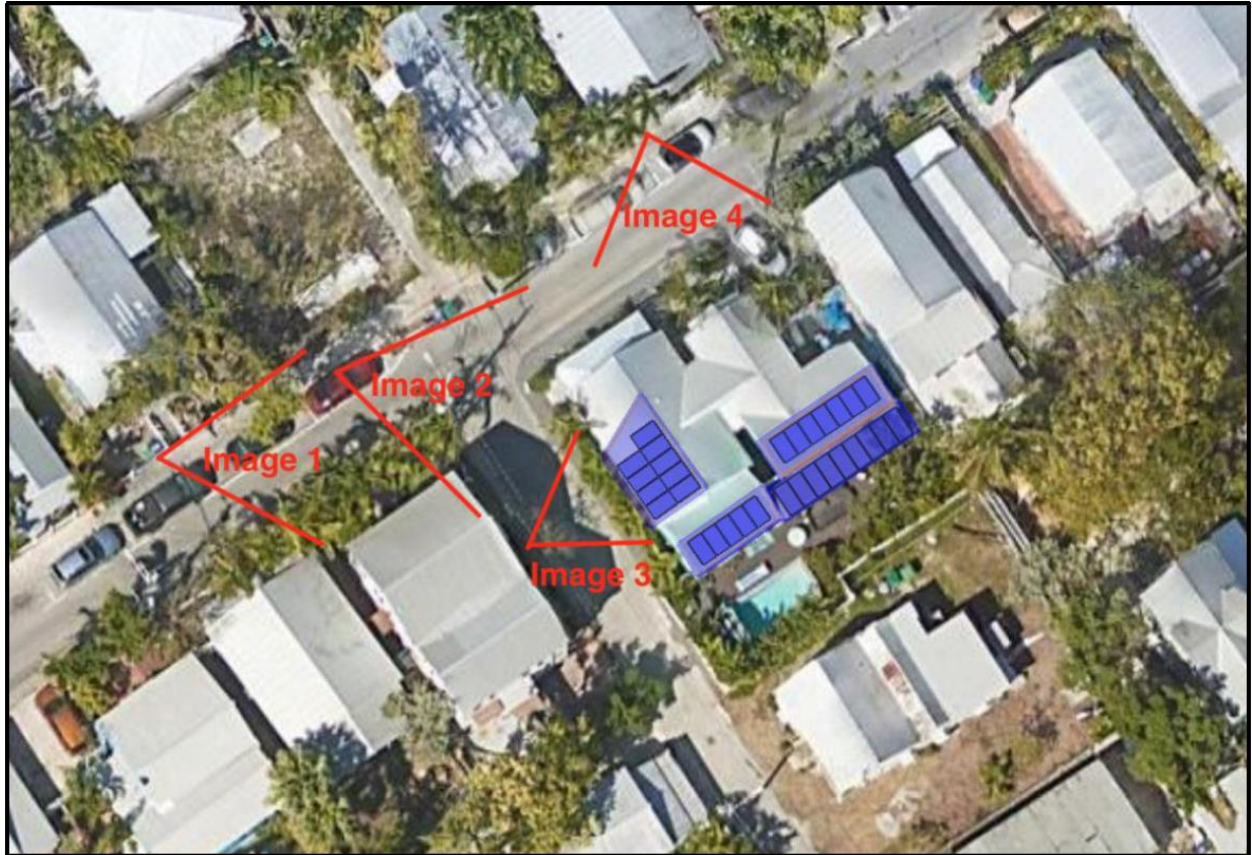


1962 Sanborn with the property at 210 Olivia Street indicated in red.

PROJECT PHOTOS



Historic photo of 210 Olivia Street from 1965.



Aerial View. Street Visibility, Image Locations.



Image 1. From Olivia Street Looking Northeast towards 210 Olivia Street.



Image 2. From Oliva Street looking at 210 Olivia on the corner of Olivia Street and Hutchinson Lane.



Image 3. From Hutchinson Lane looking at the Southwest portion of the roof.



Image 4. From Olivia Street looking at the front elevation of the house at 210 Olivia.

PROPOSED DESIGN

Layout 4

Layout 4 Marge Holtz, 210 Olivia St, key west

Report

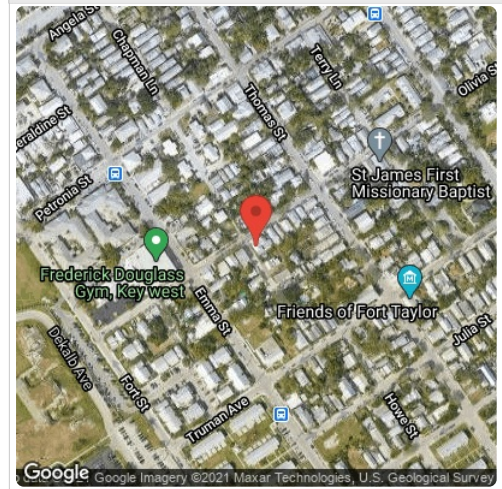
Project Name	Marge Holtz
Project Description	Co-op Customer
Project Address	210 Olivia St, key west
Prepared By	Bob Williams bobw@saltservice.net



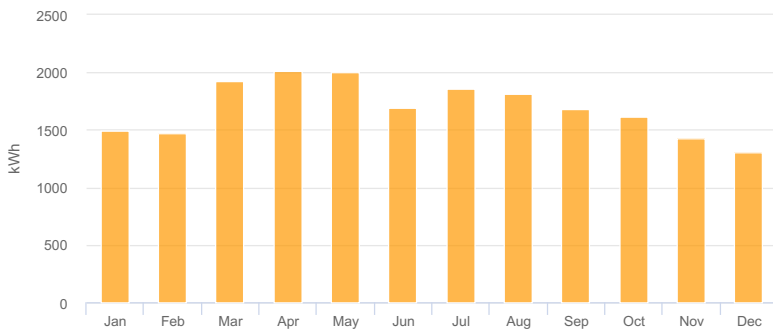
System Metrics

Design	Layout 4
Module DC Nameplate	12.3 kW
Inverter AC Nameplate	9.80 kW Load Ratio: 1.25
Annual Production	20.30 MWh
Performance Ratio	78.8%
kWh/kWp	1,650.8
Weather Dataset	TMY, 10km Grid (24.55,-81.85), NREL (prospector)
Simulator Version	453f41678c-09260645b7-b0bd33bbd8-a9fb6c4b03

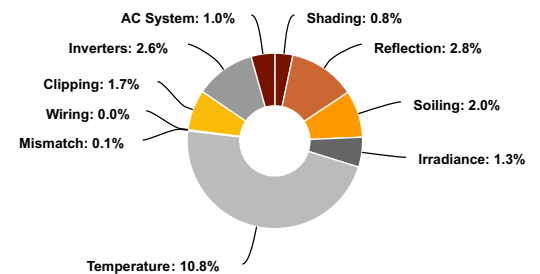
Project Location



Monthly Production



Sources of System Loss



Annual Production

	Description	Output	% Delta
Irradiance (kWh/m ²)	Annual Global Horizontal Irradiance	2,047.1	
	POA Irradiance	2,095.0	2.3%
	Shaded Irradiance	2,079.0	-0.8%
	Irradiance after Reflection	2,019.8	-2.8%
	Irradiance after Soiling	1,979.4	-2.0%
	Total Collector Irradiance	1,979.6	0.0%
Energy (kWh)	Nameplate	24,346.4	
	Output at Irradiance Levels	24,036.3	-1.3%
	Output at Cell Temperature Derate	21,430.8	-10.8%
	Output After Mismatch	21,419.7	-0.1%
	Optimal DC Output	21,419.7	0.0%
	Constrained DC Output	21,051.2	-1.7%
	Inverter Output	20,511.6	-2.5%
	Energy to Grid	20,304.7	-1.0%
Temperature Metrics			
	Avg. Operating Ambient Temp		25.5 °C
	Avg. Operating Cell Temp		46.2 °C
Simulation Metrics			
	Operating Hours	4660	
	Solved Hours	4660	

☁ Condition Set													
Description	Condition Set 1												
Weather Dataset	TMY, 10km Grid (24.55,-81.85), NREL (prospector)												
Solar Angle Location	Meteo Lat/Lng												
Transposition Model	Perez Model												
Temperature Model	Sandia Model												
Temperature Model Parameters	Rack Type			a		b			Temperature Delta				
	Fixed Tilt			-3.56		-0.075			3°C				
	Flush Mount			-2.81		-0.0455			0°C				
	East-West			-3.56		-0.075			3°C				
	Carport			-3.56		-0.075			3°C				
Soiling (%)	J	F	M	A	M	J	J	A	S	O	N	D	
	2	2	2	2	2	2	2	2	2	2	2	2	
Irradiation Variance	5%												
Cell Temperature Spread	4° C												
Module Binning Range	-2.5% to 2.5%												
AC System Derate	0.50%												
Module Characterizations	Module				Uploaded By			Characterization					
	SPR-A410-G-AC (SunPower)				Folsom Labs			Sunpower_SPR_A410_G_AC.PAN, PAN					
Component Characterizations	Device			Uploaded By					Characterization				

🗂 Components		
Component	Name	Count
Inverters	IQ7X-96-x-240 (Enphase)	23 (7.36 kW)
Inverters	IQ7A-72-2-US (240V) (error) (Enphase)	7 (2.44 kW)
AC Panels	1 input AC Panel	1
AC Panels	2 input AC Panel	1
AC Home Runs	500 MCM (Copper)	2 (128.8 ft)
AC Branches	10 AWG (Copper)	3 (109.3 ft)
Module	SunPower, SPR-A410-G-AC (410W)	30 (12.3 kW)

🔌 Wiring Zones			
Description	Combiner Poles	String Size	Stringing Strategy
Wiring Zone	-	1-1	Along Racking
Wiring Zone 2	-	1-1	Along Racking

🏠 Field Segments									
Description	Racking	Orientation	Tilt	Azimuth	Intrarow Spacing	Frame Size	Frames	Modules	Power
Field Segment 1	Flush Mount	Portrait (Vertical)	30°	234.58295°	0.0 ft	1x1	6	6	2.46 kW
Field Segment 2	Flush Mount	Portrait (Vertical)	30°	146.12596°	1.6 ft	1x1	7	7	2.87 kW
Field Segment 3	Flush Mount	Portrait (Vertical)	30°	145.43814°	1.6 ft	1x1	5	5	2.05 kW
Field Segment 4	Flush Mount	Portrait (Vertical)	0°	146.04094°	1.6 ft	1x1	9	9	3.69 kW
Field Segment 5	Flush Mount	Portrait (Vertical)	30°	235.89873°	1.6 ft	1x1	2	2	820.0 W
Field Segment 6	Flush Mount	Portrait (Vertical)	30°	234.86581°	1.6 ft	1x1	1	1	410.0 W

Detailed Layout



Sample Installations



Sample of previous installation by SALT. View from street.



Sample of previous installation by SALT. Side view solar panel attachments.



Sample of previous installation by SALT. Roofline.



Sample of previous installation by SALT. Aerial view.

NOTICING

Public Meeting Notice

The Historic Architectural Review Commission will hold a public meeting at **5:00 p.m., April 28, 2021 at City Hall, 1300 White Street**, Key West, Florida. In order to view the live feed of the meeting, you can tune in to Comcast channel 77, AT&T Uverse channel 99, or type this link into your browser: http://keywestcity.granicus.com/MediaPlayer.php?publish_id=1&embed=1 If you wish to participate virtually, please contact HARC staff at 305-809-3975. The purpose of the hearing will be to consider a request for:

NEW 30 SOLAR PANELS TO BE MOUNTED ON ROOF AND ASSOCIATED INFRASTRUCTURE.

#210 OLIVIA STREET

Applicant – SALT Energy, Caleb Mandile Application #H2021-0014

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 1300 White Street, call 305-809-3975 or visit our website at www.cityofkeywest-fl.gov.

THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION

ADA ASSISTANCE: It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 800-955-8771 or 800-955-8770 (Voice) or the ADA Coordinator at 305-809-3811 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.

HARC POSTING AFFIDAVIT

STATE OF FLORIDA:
COUNTY OF MONROE:

BEFORE ME, the undersigned authority, personally appeared Caleb
Mandile, who, first being duly sworn, on oath,
depose and says that the following statements are true and correct to the best of
his/her knowledge and belief:

1. That a legal notice for Public Notice of Hearing of the Historic Architectural
Review Commission (HARC) was placed on the following address:
210 Olivia Street on the
20th day of April, 2021.

This legal notice(s) contained an area of at least 8.5"x11".

The property was posted to notice a public hearing before the Key West Historic
Architectural Review Commission to be held on April 28th,
2021.

The legal notice(s) is/are clearly visible from the public street adjacent to the
property.

The Certificate of Appropriateness number for this legal notice is H2021-0014.

2. A photograph of that legal notice posted in the property is attached hereto.

Signed Name of Affiant:

[Signature]
Date: 4/21/2021
Address: 2992 Overseas Highway
City: Marathon
State, Zip: FL 33050

The forgoing instrument was acknowledged before me on this 21st day of
April, 2021.

By (Print name of Affiant) Caleb Mandile who is
personally known to me or has produced _____ as
identification and who did take an oath.

NOTARY PUBLIC

Sign Name: [Signature]
Print Name: Lisa W. Kaul
Notary Public - State of Florida (seal)
My Commission Expires: March 2, 2022





PROPERTY APPRAISER INFORMATION

**Disclaimer**

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID 00015210-000000
 Account# 1015563
 Property ID 1015563
 Millage Group 11KW
 Location 210 OLIVIA St, KEY WEST
 Address
 Legal KW SUB 3 AND 4 AND PT SUB 7 PT LOT 3 SQR 4 TR 3 H1-474 OR66-160 OR437-345
 Description OR459-693 OR544-645 OR635-428/31 OR866-2432 OR1639-1384 OR2699-105 OR2742-143/45
 (Note: Not to be used on legal documents.)
 Neighborhood 6021
 Property Class SINGLE FAMILY RESID (0100)
 Subdivision
 Sec/Twp/Rng 06/68/25
 Affordable No
 Housing

**Owner**

HOLTZ JR RICHARD E
 210 Olivia St
 Key West FL 33040

HOLTZ MARGARET B
 210 Olivia St
 Key West FL 33040

Valuation

	2020	2019	2018	2017
+ Market Improvement Value	\$211,708	\$213,960	\$216,212	\$218,464
+ Market Misc Value	\$22,962	\$23,681	\$24,093	\$24,808
+ Market Land Value	\$496,013	\$528,511	\$528,511	\$528,511
= Just Market Value	\$730,683	\$766,152	\$768,816	\$771,783
= Total Assessed Value	\$730,683	\$766,152	\$768,816	\$771,783
- School Exempt Value	(\$25,000)	(\$25,000)	(\$25,000)	(\$25,000)
= School Taxable Value	\$705,683	\$741,152	\$743,816	\$746,783

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
RESIDENTIAL DRY (010D)	4,818.00	Square Foot	66	70

Buildings

Building ID	1114	Exterior Walls	CUSTOM
Style	1 STORY ELEV FOUNDATION	Year Built	1938
Building Type	S.F.R. - R1 / R1	EffectiveYearBuilt	2018
Gross Sq Ft	2314	Foundation	CONCR FTR
Finished Sq Ft	1544	Roof Type	GABLE/HIP
Stories	1 Floor	Roof Coverage	METAL
Condition	EXCELLENT	Flooring Type	SFT/HD WD
Perimeter	130	Heating Type	FCD/AIR DUCTED with 0% NONE
Functional Obs	0	Bedrooms	2
Economic Obs	0	Full Bathrooms	1
Depreciation %	1	Half Bathrooms	0
Interior Walls	DRYWALL	Grade	600
		Number of Fire Pl	0

Code	Description	Sketch Area	Finished Area	Perimeter
OPX	EXC OPEN PORCH	176	0	94
FLA	FLOOR LIV AREA	1,544	1,544	278
OPU	OP PR UNFIN LL	594	0	152
TOTAL		2,314	1,544	524

Yard Items

Description	Year Built	Roll Year	Quantity	Units	Grade
FENCES	2016	2017	0	1188 SF	2
CUSTOM PATIO	2016	2017	0	80 SF	4
WATER FEATURE	2016	2017	0	1 UT	1
RES POOL	2016	2017	1	144 SF	3

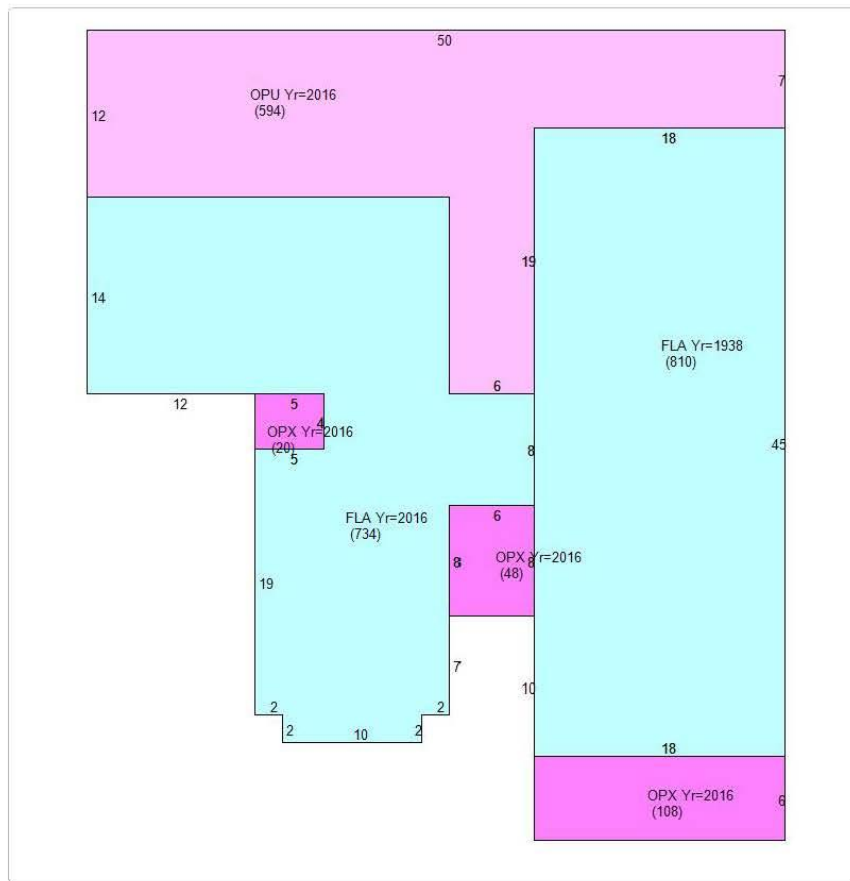
Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved
5/15/2015	\$576,000	Warranty Deed		2742	143	Q3 - Qualified	Improved
2/1/1973	\$3,500	Conversion Code		544	645	Q - Qualified	Improved

Permits

Number	Date Issued	Date Completed	Amount	Permit Type	Notes
16-1561	5/5/2016	2/16/2017	\$9,500	Residential	INSTALL 2 TON CENTRAL AC
16-1114	4/11/2016	2/16/2017	\$2,000	Residential	6'H FENCE NO DIMENSION GIVEN
16-890	4/1/2016	2/16/2017	\$13,500	Residential	RE ROOFING VCRIMP ON 1100SF, INSTALL ROOF 200SF VIC METAL SHINGLES FRONT PORCH ONLY, NEW ADDITION 1000SF PORTION OF ROOF
16-427	2/9/2016	2/16/2017	\$16,000	Residential	WIRE AS PER PLANS REWIRE OLD HOUSE WIRE NEW HOUSE
16-567	2/9/2016	2/16/2017	\$10,000	Residential	RE ROUGH AND TRIM OUT 3 TOILETS, 1 TUB 2 SHOWERS 3 LAVS 1 KITCH SINK
15-4803	12/4/2015	2/16/2017	\$39,000	Residential	CONSTRUCT INGROUND POOL WITH WATER FALL
15-3892	10/2/2015	2/16/2017	\$150,000	Residential	REMODEL/REHAB OF EXISTING HISTORIC HOME AND ADDITION OF 2 BEDROOMS TOTAL 1780SF
15-3575	9/9/2015	2/16/2017	\$17,000	Residential	
15-2032	5/26/2015	2/16/2017	\$300	Residential	PARTIAL DEMOLITION OF INTERIOR TO REMOVE WALL AND FLOOR COVERINGS 880 SF.
13-1075	4/17/2013	2/16/2017	\$300	Residential	INSTALL 6' HI FENCE, 16' INSIDE OF PROPERTY LINE AS PER PLOT PLAN 30 L.F. & PAINT FENCE WHITE.
07-5362	12/21/2007	1/24/2008	\$1,500		REPLACE DECK IN FRONT PORCH AND PAINT
97-1462	5/9/1997	12/31/1997	\$400	Residential	RELOCATE ELECTRIC PANEL
97-0193	1/27/1997	12/31/1997	\$100	Residential	PLUMBING
96-1761	4/26/1996	12/31/1996	\$250	Residential	REPAIR/REMODELING

View Tax Info
[View Taxes for this Parcel](#)
Sketches (click to enlarge)



Photos



Map



TRIM Notice

[2020 TRIM Notice \(PDF\)](#)

2020 Notices Only

No data available for the following modules: Commercial Buildings, Mobile Home Buildings, Exemptions.

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[User Privacy Policy](#)
[GDPR Privacy Notice](#)

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GEOSPATIAL

Version 2.3.117