



Historic Architectural Review Commission Staff Report for Item 8

To: Chairman Bryan Green and Historic Architectural Review Commission Members

From: Kathleen McDonald, MHP
Historic Preservation Planner II

Meeting Date: June 29, 2021

Applicant: Stan Shaw

Address: #615 Grinnell Street (rear)

Description of Work:

Construction of new roof structure over rear deck.

Site Facts:

The site under review is an interior lot, located behind the house fronting the street at 615 Grinnell Street. 615 Grinnell Street (rear) is not specifically listed on our survey, but staff was able to determine from Sanborn maps that the existing structure at this address is historic and dates back to 1892.

Guidelines Cited on Review:

- Guidelines for Additions and Alterations on Contributing, Non-Contributing, and Non-Historic Buildings and Structures (pages 37a-37k), specifically guidelines 1, 6, 12, 13, 19 and 26.

Staff Analysis:

The Certificate of Appropriateness under review proposes the construction of a roof structure over an existing wood deck on the North corner of the house at 615 Grinnell Street (rear). The proposed roof material is membrane roofing over wood roof rafters, which is to be supported by six by six wood posts. The height of the new roof is to be just under 10 feet above grade.

Consistency with Cited Guidelines:

Staff finds the proposal to be consistent with the cited guidelines for additions and alterations. The new roof structure will not alter any character-defining features and will not be on a publicly visible elevation. The proposed massing and form will not dominate any adjacent historic properties, and staff finds that the scale, form, massing, and materials proposed are in line with the guidelines and are appropriate for the historic district.

APPLICATION

HARC MAJOR PROJECTS CERTIFICATE OF APPROPRIATENESS

\$420 NON-REFUNDABLE BASE APPLICATION FEE - OTHER FEES MAY BE APPLICABLE Rev 12/14/2020 ET



City of Key West

1300 White Street
Key West, Florida 33040

HARC COA # 2021-0027	REVISION #	INITIAL & DATE
FLOOD ZONE	ZONING DISTRICT	BLDG PERMIT # 2021-1342

A PRE-APPLICATION MEETING WITH HARC STAFF IS REQUIRED PRIOR TO SUBMITTAL

ADDRESS OF PROPOSED PROJECT:

NAME ON DEED:

OWNER'S MAILING ADDRESS:

APPLICANT NAME:

APPLICANT'S ADDRESS:

APPLICANT'S SIGNATURE:

615 GRINNELL R KEY WEST, FL. 33040	
TODD LEFF	PHONE NUMBER 215-939-0263
615 GRINNELL ST.	EMAIL TLEFF@GMAIL.COM
STANLEY SHAW	
615 GRINNELL ST.	PHONE NUMBER 305-8964435
P.O. Box 2929 KEY WEST, FL. 33040	EMAIL STANIMAL KW@yahoo.com
<i>[Signature]</i>	DATE 5/24/21

ANY PERSON THAT MAKES CHANGES TO AN APPROVED CERTIFICATE OF APPROPRIATENESS MUST SUBMIT A NEW APPLICATION.

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND-DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083. THE APPLICANT FURTHER HEREBY ACKNOWLEDGES THAT THE SCOPE OF WORK AS DESCRIBED IN THE APPLICATION SHALL BE THE SCOPE OF WORK THAT IS CONTEMPLATED BY THE APPLICANT AND THE CITY. THE APPLICANT FURTHER STIPULATES THAT SHOULD FURTHER ACTION BE TAKEN BY THE CITY FOR EXCEEDING THE SCOPE OF THE DESCRIPTION OF WORK, AS DESCRIBED HEREIN, AND IF THERE IS CONFLICTING INFORMATION BETWEEN THE DESCRIPTION OF WORK AND THE SUBMITTED PLANS, THE AFOREMENTIONED DESCRIPTION OF WORK SHALL BE CONTROLLING.

PROJECT INCLUDES: REPLACEMENT OF WINDOWS ____ RELOCATION OF A STRUCTURE ____ ELEVATION OF A STRUCTURE ____
PROJECT INVOLVES A CONTRIBUTING STRUCTURE: YES ____ NO ☒ INVOLVES A HISTORIC STRUCTURE: YES ☒ NO ____
PROJECT INVOLVES A STRUCTURE THAT IS INDIVIDUALLY LISTED ON THE NATIONAL REGISTER: YES ____ NO ☒

DETAILED PROJECT DESCRIPTION INCLUDING MATERIALS, HEIGHT, DIMENSIONS, SQUARE FOOTAGE, LOCATION, ETC.	
GENERAL:	BUILDING OF NEW 12.5' X 12.5' ROOF STRUCTURE OVER REAR DECK.
MAIN BUILDING:	1-STORY WOOD STRUCTURE
DEMOLITION (PLEASE FILL OUT AND ATTACH DEMOLITION APPENDIX):	

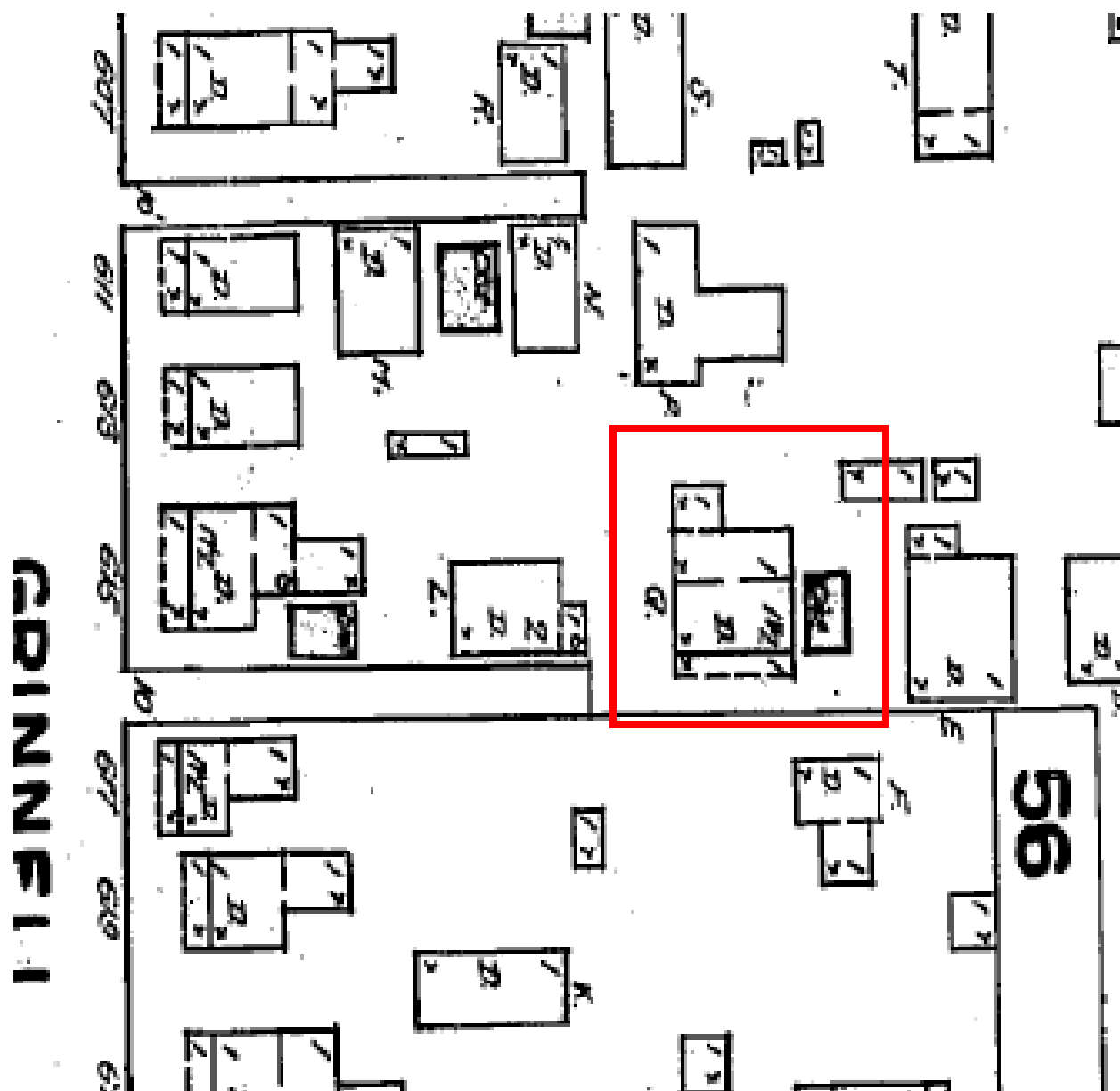
APPLICATIONS MUST BE SUBMITTED IN PERSON WITH HARD COPIES BY 3PM ON THE SCHEDULED DEADLINE
PLEASE SEND AN ELECTRONIC COPY OF ALL DOCUMENTS CITY_HARC@CITYOFKEYWEST-FL.GOV

ACCESSORY STRUCTURE(S):	
PAVERS:	FENCES:
DECKS:	PAINTING:
SITE (INCLUDING GRADING, FILL, TREES, ETC):	POOLS (INCLUDING EQUIPMENT):
ACCESSORY EQUIPMENT (GAS, A/C, VENTS, ETC):	OTHER:

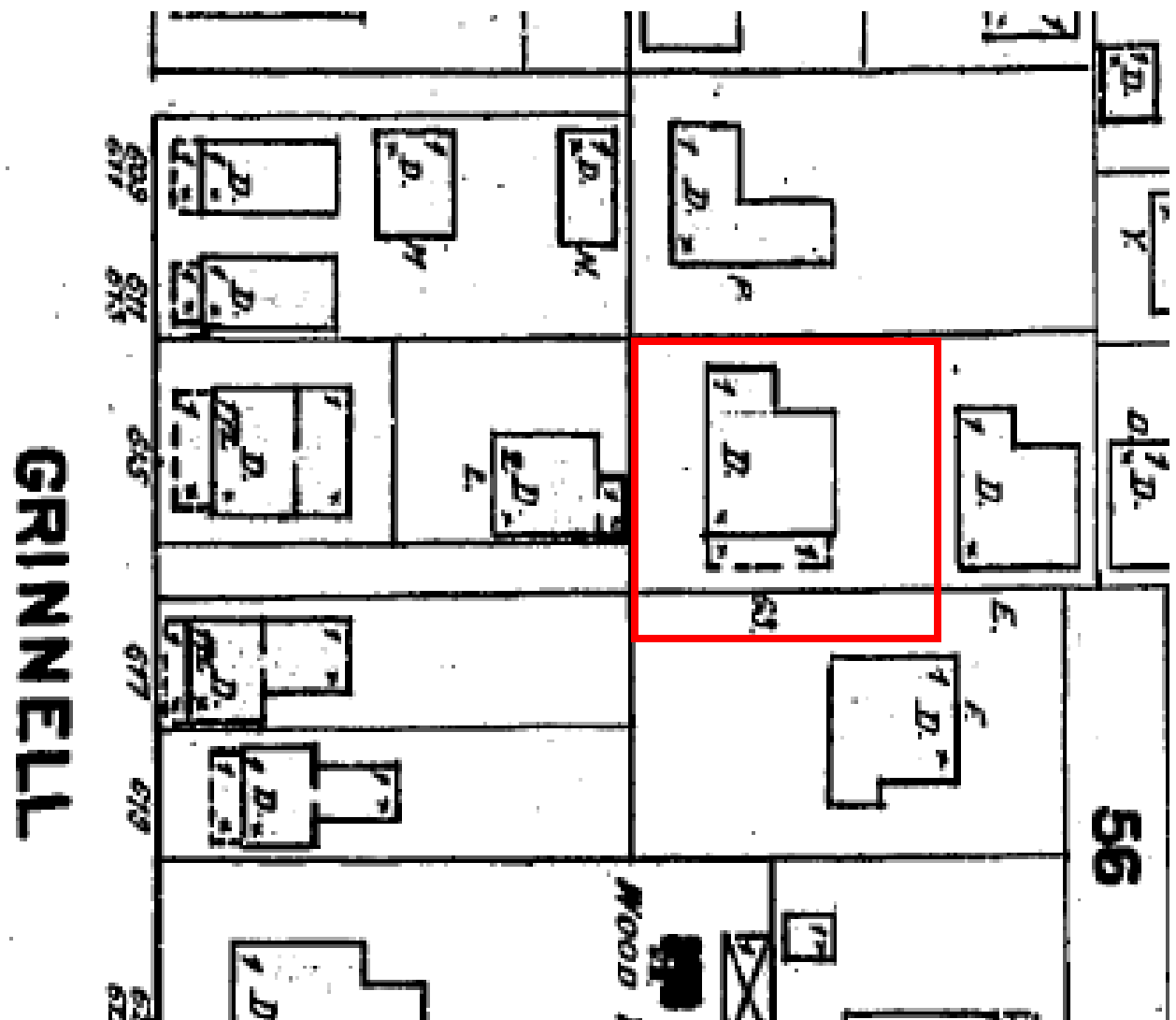
OFFICIAL USE ONLY:	HARC COMMISSION REVIEW	EXPIRES ON:
MEETING DATE:	___APPROVED ___NOT APPROVED ___DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
MEETING DATE:	___APPROVED ___NOT APPROVED ___DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
MEETING DATE:	___APPROVED ___NOT APPROVED ___DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
REASONS OR CONDITIONS:		
STAFF REVIEW COMMENTS:		
FIRST READING FOR DEMO:	SECOND READING FOR DEMO:	
HARC STAFF SIGNATURE AND DATE:	HARC CHAIRPERSON SIGNATURE AND DATE:	

THIS APPLICATION MAY BE REVIEWED BY PLANNING DEPARTMENT STAFF.

SANBORN MAPS



1892 Sanborn with 615 Grinnell Street (rear) indicated in red.

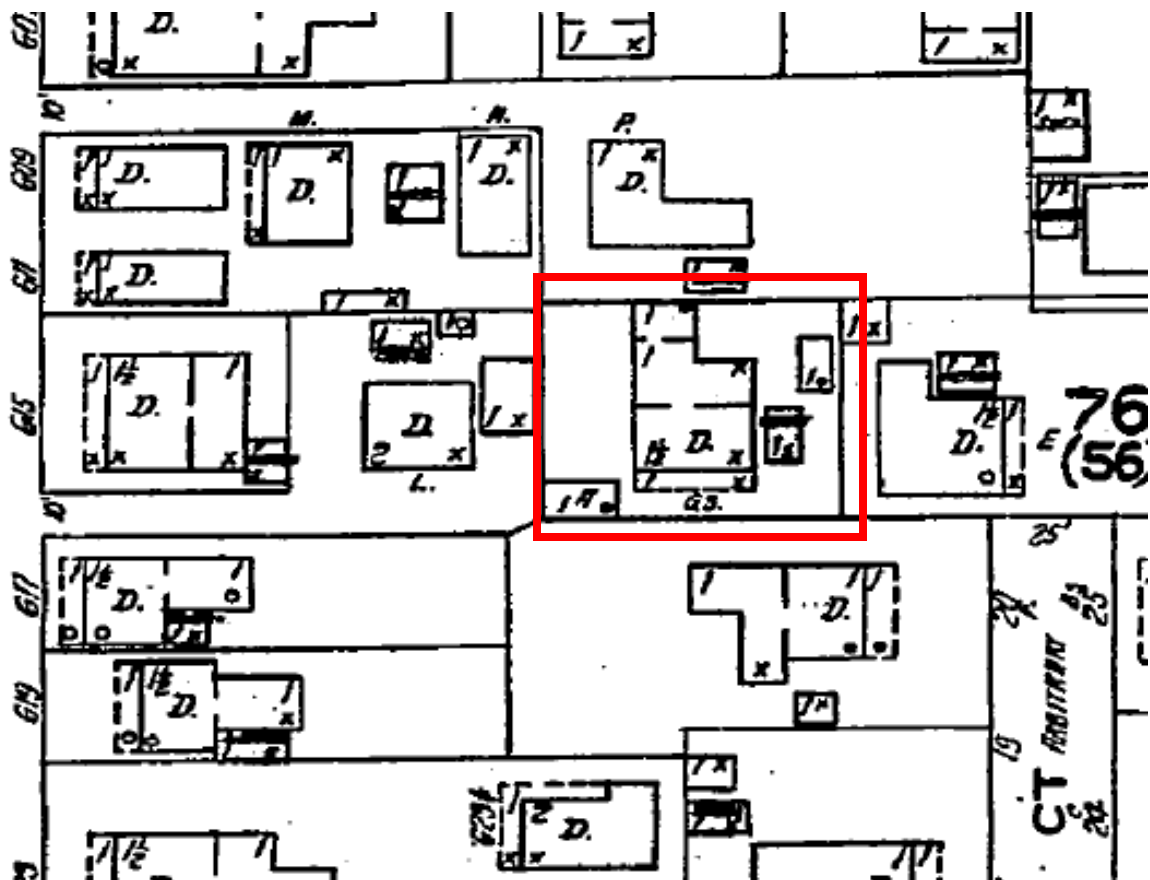


1899 Sanborn with 615 Grinnell Street (rear) indicated in red.

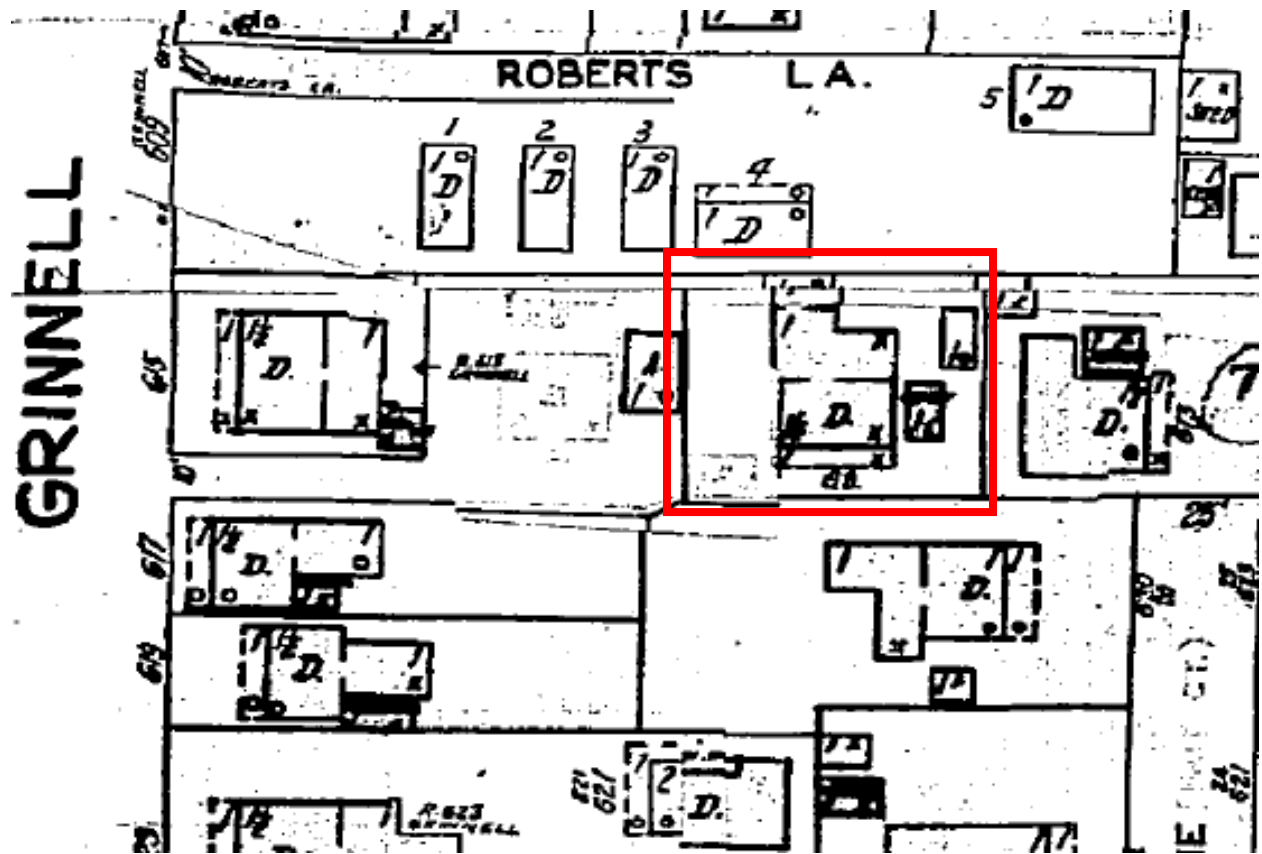


1912 Sanborn with 615 Grinnell Street (rear) indicated in red.

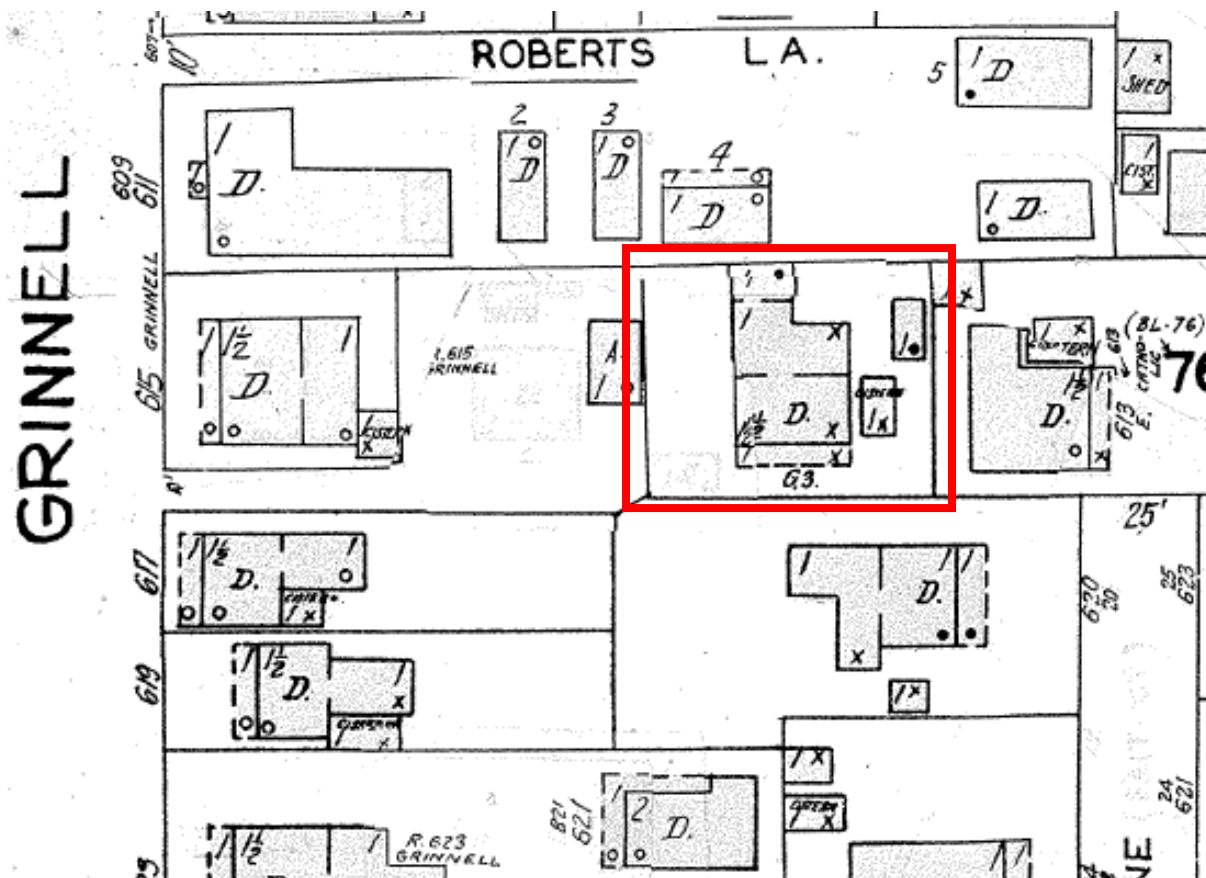
GRINNELL



1926 Sanborn with 615 Grinnell Street (rear) indicated in red.



1948 Sanborn with 615 Grinnell Street (rear) indicated in red.



1962 Sanborn with 615 Grinnell Street (rear) indicated in red.

PROJECT PHOTOS



1965 photo of the structure at 615 Grinnell Street (rear).



615 Grinnell Street (rear) – View looking towards existing deck with canvas covering.



615 Grinnell Street (rear) – View looking at existing deck with canvas covering.

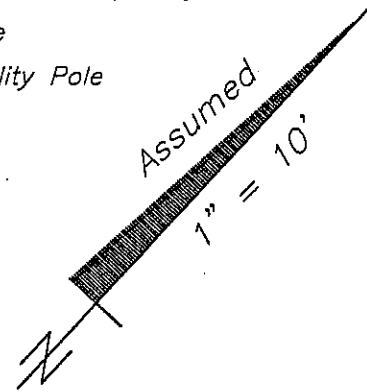


615 Grinnell Street (rear) – View taken from existing deck with canvas covering.

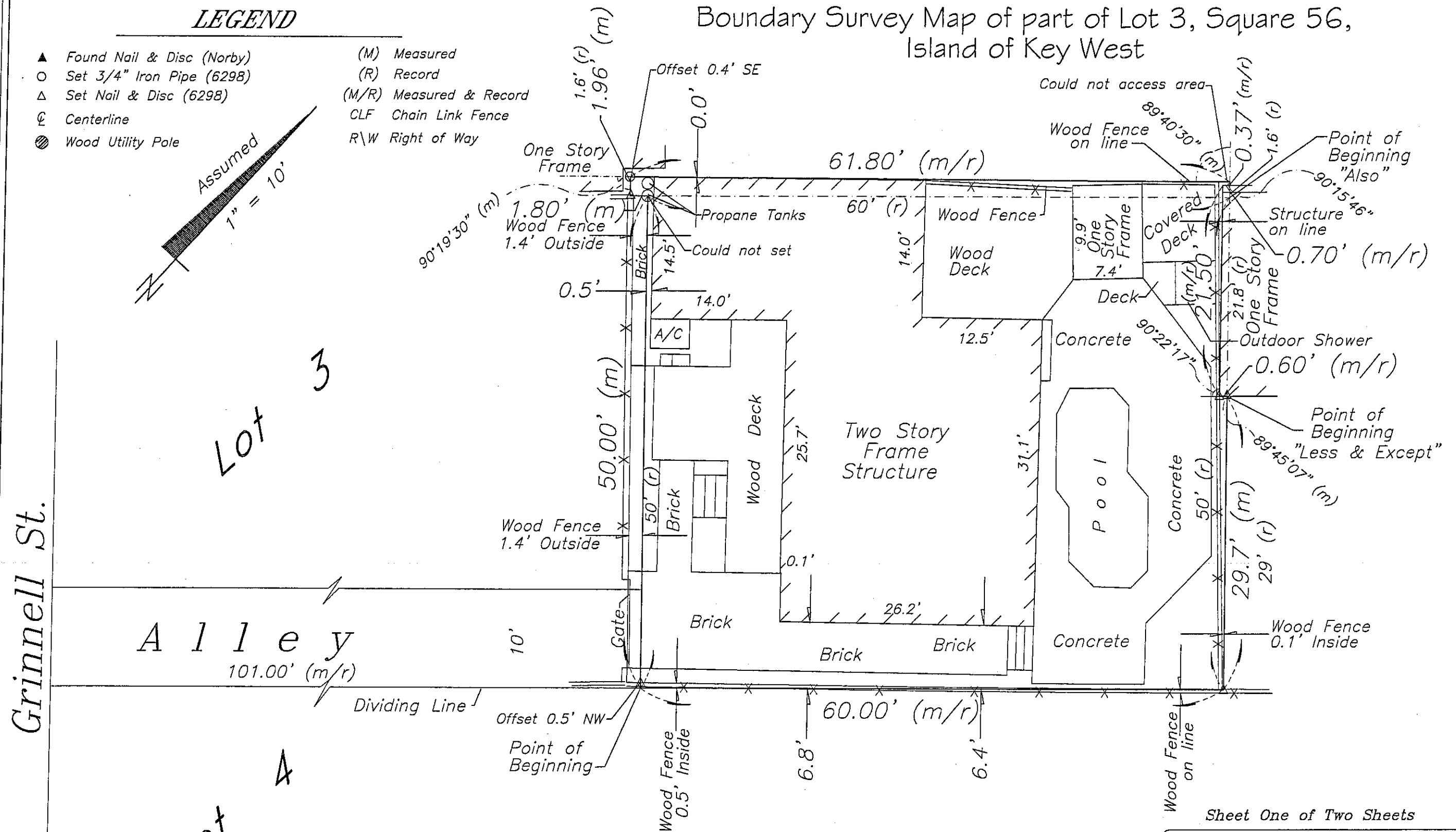
SURVEY

LEGEND

- ▲ Found Nail & Disc (Norby)
- Set 3/4" Iron Pipe (6298)
- △ Set Nail & Disc (6298)
- ⊕ Centerline
- ⊙ Wood Utility Pole
- (M) Measured
- (R) Record
- (M/R) Measured & Record
- CLF Chain Link Fence
- R\W Right of Way



Boundary Survey Map of part of Lot 3, Square 56, Island of Key West



Sheet One of Two Sheets

J. LYNN O'FLYNN, Inc.



Professional Surveyor & Mapper
PSM #6298

3430 Duck Ave., Key West, FL 33040
(305) 296-7422 FAX (305) 296-2244

Boundary Survey Report of part of Lot 3, Square 56, Island of Key West

NOTES:

1. The legal descriptions shown hereon were furnished by the client or their agent. This survey does not determine or imply ownership.
2. Underground foundations and utilities were not located.
3. All angles are 90° (Measured & Record) unless otherwise noted.
4. Street address: 615 Grinnell Street Rear, Key West, FL.
5. This survey is not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
6. Lands shown hereon were not abstracted for rights-of-way, easements, ownership, or other instruments of record.
7. North Arrow is assumed and based on the legal description.
8. Adjoiners are not furnished.
9. Date of field work: October 28, 2020.
10. This Survey Report is not full and complete without the attached Survey Map.
11. The ownership of fences is undeterminable unless otherwise noted.

BOUNDARY SURVEY OF: On the Island of Key West, Lot Three (3), Square Fifty-six (56), according to William A. Whitehead's Map of the Island of Key West, delineated in February 1829, and more particularly described as follows:

COMMENCING at a point One Hundred and One (101) feet from the Northeasterly side of Grinnell Street on the dividing line of Lots Three (3) and Four (4) and running thereon Sixty (60) feet; thence at right angles in a Northwesterly direction Fifty (50) feet; thence at right angles in a Southwesterly direction Sixty (60) feet; thence at right angles in a Southeasterly direction and parallel with Grinnell Street Fifty (50) feet to the Point of Beginning. **TOGETHER** with a nonexclusive easement for the right-of-way through a ten (10) feet alley leading to Grinnell street, on the Easterly side of the lot of land formerly belonging to John A. Roberts.

ALSO;

A parcel of land on the Island of Key West, Monroe County, Florida, and being a part of Lot 3, Square 56, according to William Whitehead's map of the Island of Key West, delineated in February, 1829, being more particularly described as follows: **COMMENCE** at the intersection of the NE'y right of way line of Grinnell street with the dividing line of Lots 3 and 4 of said Square 56; thence run NE'y along said dividing line, 161.0 feet; thence run at right angles in a NW'y direction 50.0 feet to the Point of Beginning; thence continue NW'y along the previously described line 1.6 feet to a point on an existing wood fence; thence run a right angles in a SW'y direction along the SE'y face of said wood fence, 61.8 feet to a point on an existing chain link fence; thence run at a right angle in a SE'y direction 1.6 feet; thence run at right angles in a NE'y direction 61.8 feet back to the said Point of Beginning.

LESS AND EXCEPT;

A parcel of land on the Island of Key West, and known as a part of Lot 3, Square 56, according to W.A. Whitehead's Map delineated in February, A.D. 1829; said parcel being more particularly described as follows:

COMMENCE at the intersection of the NE'y right of way line of Grinnell Street with the dividing line of Lots 3 and 4 of said Square 56 and run thence NE'y along the said dividing line for a distance of 161.0 feet; thence NW'y and at right angles for a distance of 29 feet to the SE'y face of an existing one story frame structure, said point being the Point of Beginning; thence continue NW'y along the previously mentioned course for a distance of 21.8 feet to the NW'y face of an overhang on said structure; thence SW'y with a deflection angle of 90 degrees 15'46" to the left and along said overhang for a distance of 0.7 of a foot to the SW'y face of said overhang; thence SE'y and at right angles along the said overhang and face of said structure for a distance of 21.8 feet; thence NE'y and at right angles for a distance of 0.6 of a foot back to the Point of Beginning.

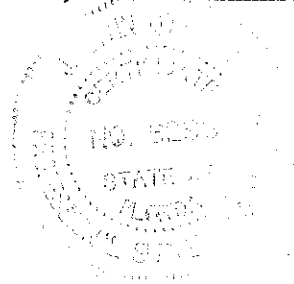
BOUNDARY SURVEY FOR: Todd & Cynthia Leff;

I HEREBY CERTIFY that this survey was made under my responsible charge and meets the Standard of Practice as set forth by the Florida Board of Professional Surveyors & Mappers in Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

J. LYNN O'FLYNN, INC.

J. Lynn O'Flynn, PSM
Florida Reg. #6298

November 5, 2020



THIS SURVEY
IS NOT
ASSIGNABLE

Sheet Two of Two Sheets

J. LYNN O'FLYNN, Inc.

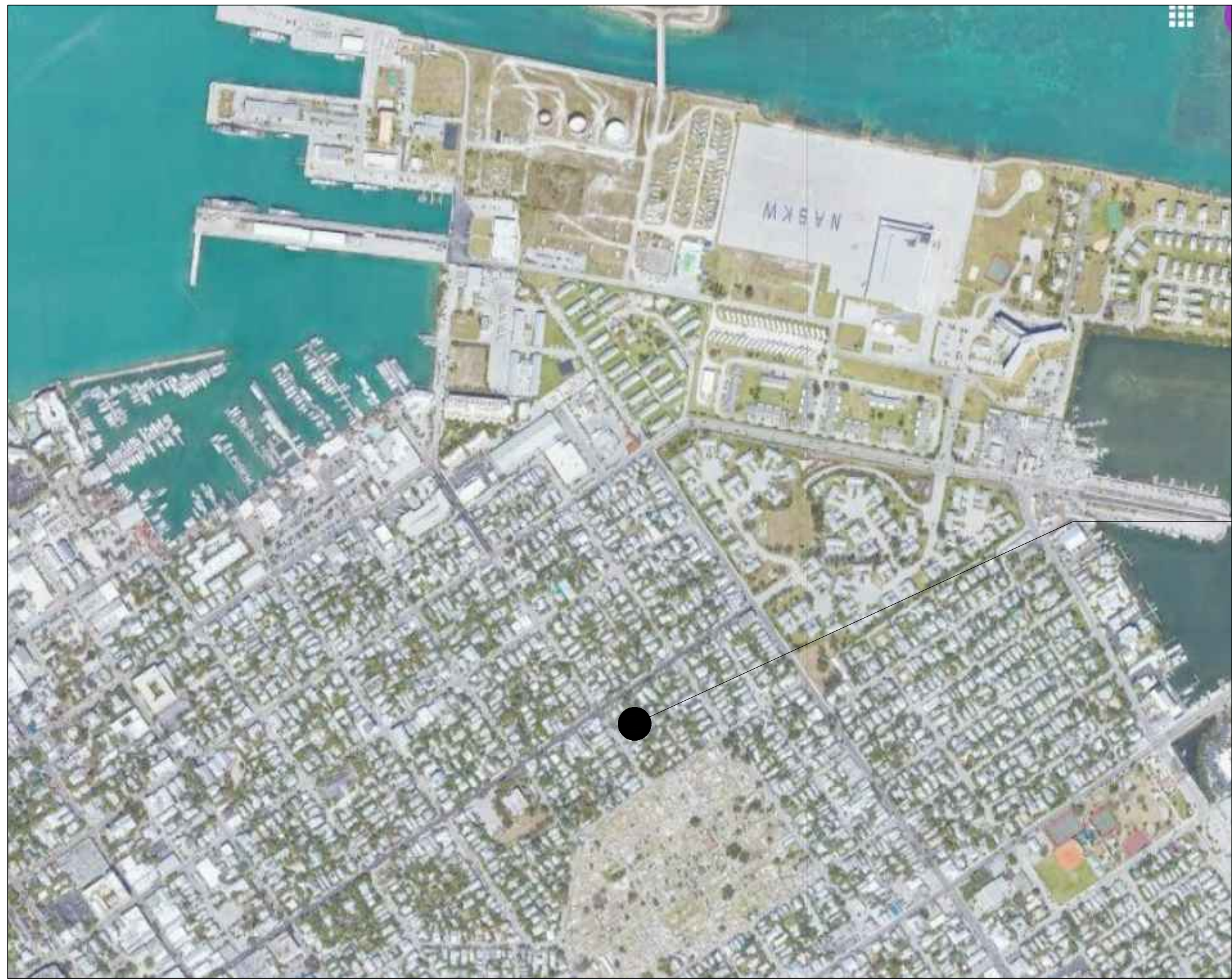


Professional Surveyor & Mapper
PSM #6298

3430 Duck Ave., Key West, FL 33040
(305) 296-7422 FAX (305) 296-2244

PROPOSED DESIGN

CONSTRUCTION DRAWINGS
FOR
615 R GRINNELL ST



SITE LOCATION

PROJECT LOCATION:
615 R GRINNELL STREET
KEY WEST, FL. 33040

CLIENT:
TODD & CYNTHIA LEFF

REV:	DESCRIPTION:	BY:	DATE:
STATUS:			



ARTIBUS DESIGN
3710 N. ROOSEVELT BLVD
KEY WEST, FL 33040
(305) 304-3512
WWW.ARTIBUSDESIGN.COM
CA # 30835

CLIENT: TODD & CYNTHIA LEFF

PROJECT: 615 R GRINNELL STREET

SITE: 615 R GRINNELL STREET
KEY WEST, FL 33040

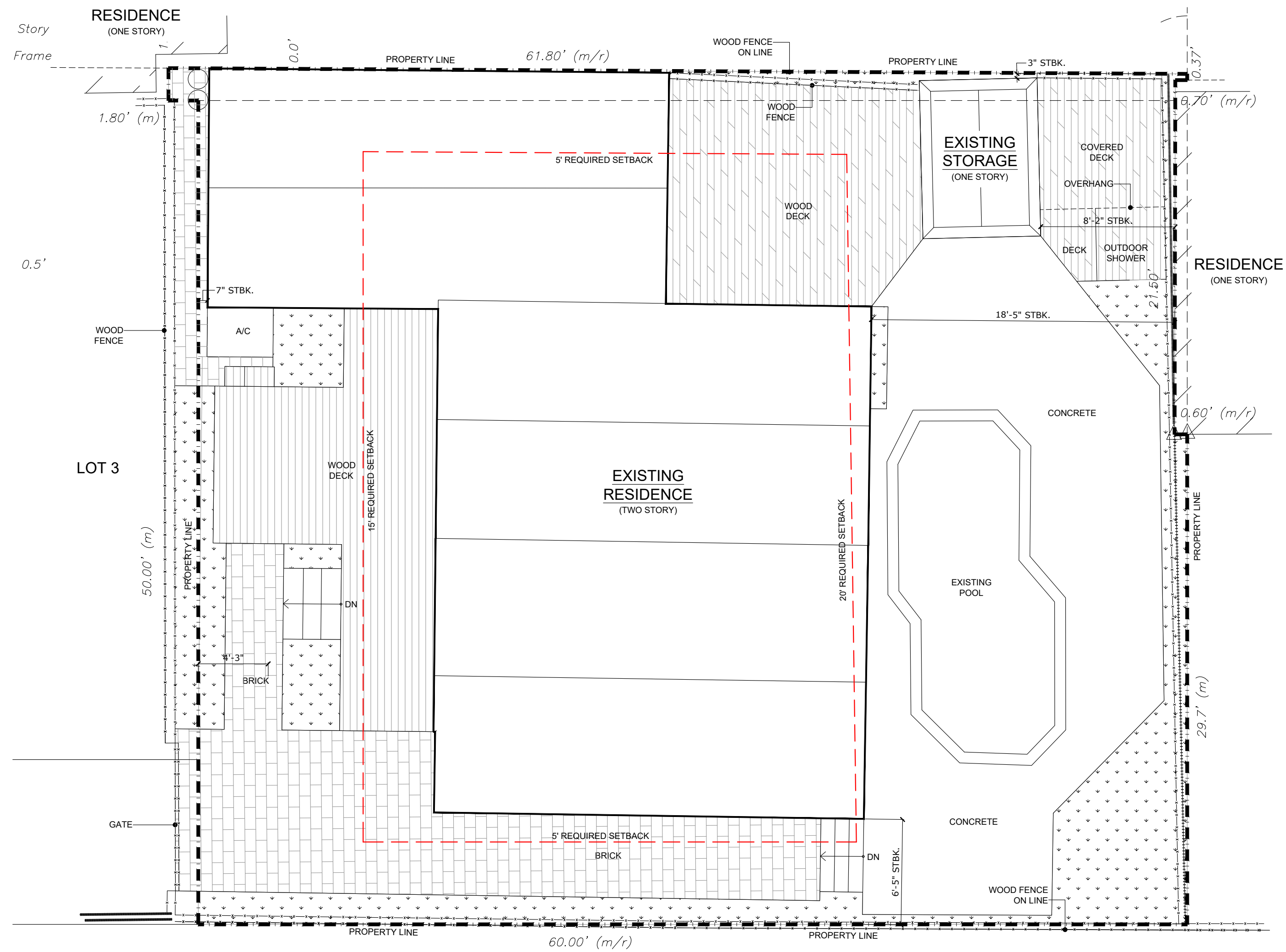
TITLE: PROPOSED SITE PLAN

SCALE AT 11X17: AS SHOWN	DATE: 12/08/20	DRAWN: VF	CHECKED: SM
PROJECT NO: 2012-02	DRAWING NO: G-100	REVISION: 1	

THIS DRAWING IS NOT VALID WITHOUT THE
SIGNATURE AND ORIGINAL SEAL

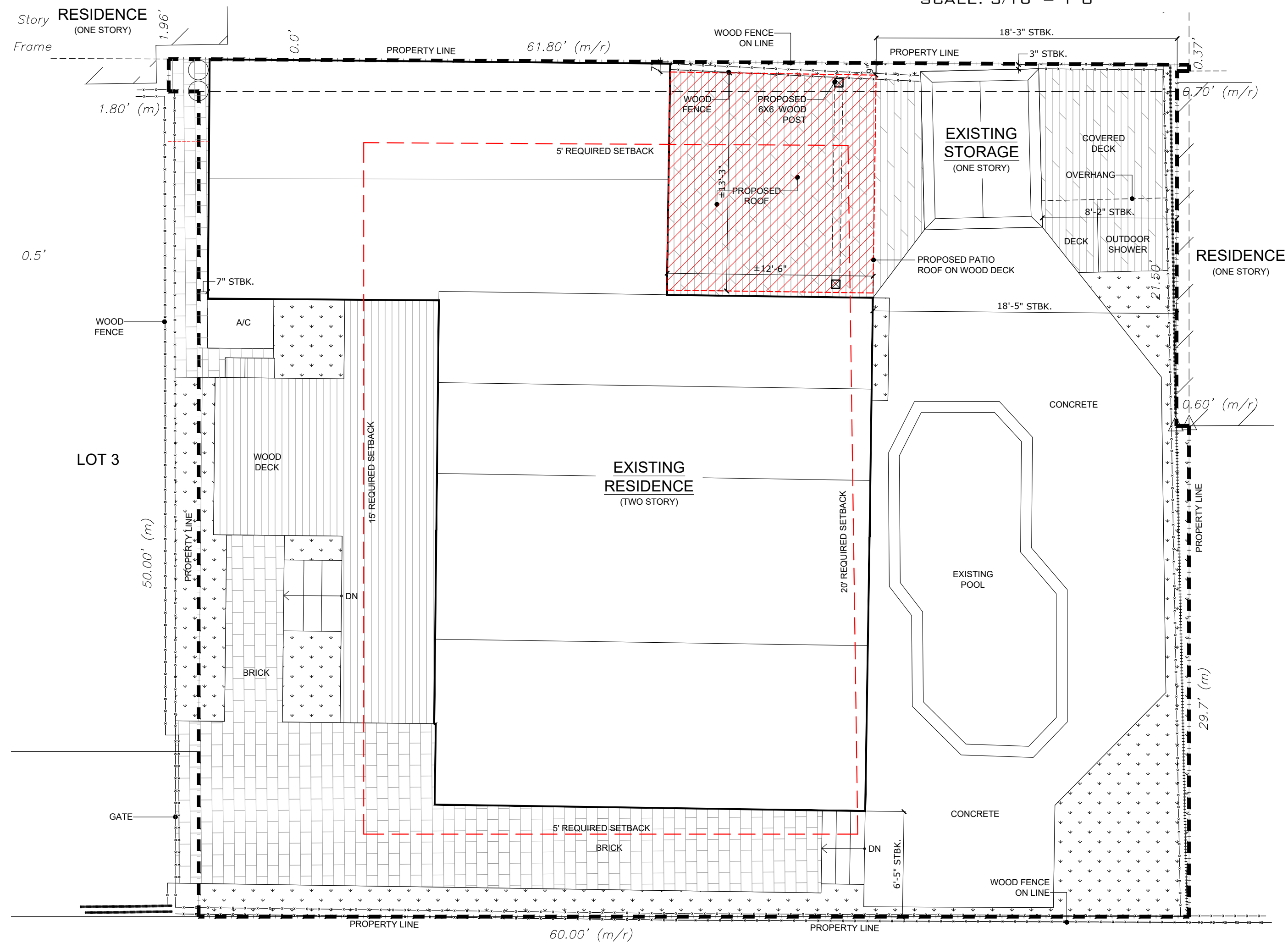
SIGNATURE:
DATE:

SERGE MASHTAKOV
PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO 77480



EXISTING SITE PLAN

SCALE: 3/16" = 1'-0"



PROPOSED SITE PLAN

SCALE: 3/16" = 1'-0"

SITE DEVELOPMENT SUMMARY

SITE DATA:	
TOTAL SITE AREA:	±3,094.57 SQ.FT
LAND USE:	HHDR - HISTORIC HIGH DENSITY RESIDENTIAL
FLOOD ZONE:	AE6
SETBACKS	
FRONT:	
REQUIRED	10'-0"
EXISTING	±0'-7"
PROPOSED	NO CHANGE
SIDE:	
REQUIRED	5'-0" OR 10% OF LOT WIDTH= 6'-3"
EXISTING	±0'-0"
PROPOSED	NO CHANGE ±0'-7" TO NEW ROOF LINE INCREASE OF NON-CONFORMITY VARIANCE REQUIRED
SIDE:	
REQUIRED	5'-0" OR 10% OF LOT WIDTH= 6'-0"
EXISTING	±6'-5"
PROPOSED	NO CHANGE INCREASE OF NON-CONFORMITY VARIANCE REQUIRED
REAR:	
REQUIRED	20'-0"
EXISTING	±18'-5"
PROPOSED	±18'-3" INCREASE OF NON-CONFORMITY VARIANCE REQUIRED
MAXIMUM IMPERVIOUS SURFACE RATIO:	
REQUIRED:	60.00% (1,856.74 SQ.FT.)
EXISTING	72.90% (±2,256 SQ.FT.)
PROPOSED	78.23% (±2,421 SQ.FT.) INCREASE OF NONCONFORMITY VARIANCE REQUIRED
MAXIMUM BUILDING COVERAGE:	
REQUIRED	50.00% (±1,547.29 SQ.FT.)
EXISTING	44.30% (± 1,371 SQ.FT.)
PROPOSED	49.64% (± 1,536 SQ.FT.)
MINIMUM OPEN SPACE:	
REQUIRED	35.00% (±1,083.09 SQ.FT)
EXISTING	9.15% (±283 SQ.FT.)
PROPOSED	9.15% (±574 SQ.FT.) NO CHANGE
MAXIMUM HEIGHT:	30 FT
PROPOSED	NO CHANGE
REAR SETBACK COVERAGE:	< 60% (619.8 SQ.FT.)
TOTAL AREA:	±1,033 SQ.FT.
COVERED BY BUILDING:	±98 SQ.FT.
COVERED BY ROOF:	±99 SQ.FT.
COVERED BY POOL:	±187 SQ.FT.
COVERED BY DECKING:	±505 SQ.FT.
TOTAL COVERAGE:	±889 SQ.FT. (86.06%) INCREASE OF NONCONFORMITY VARIANCE REQUIRED

REV:	DESCRIPTION:	BY:	DATE:
STATUS:			



ARTIBUS DESIGN
3710 N. ROOSEVELT BLVD
KEY WEST, FL 33040
(305) 304-3512
WWW.ARTIBUSDESIGN.COM
CA # 30835

CLIENT: TODD & CYNTHIA LEFF

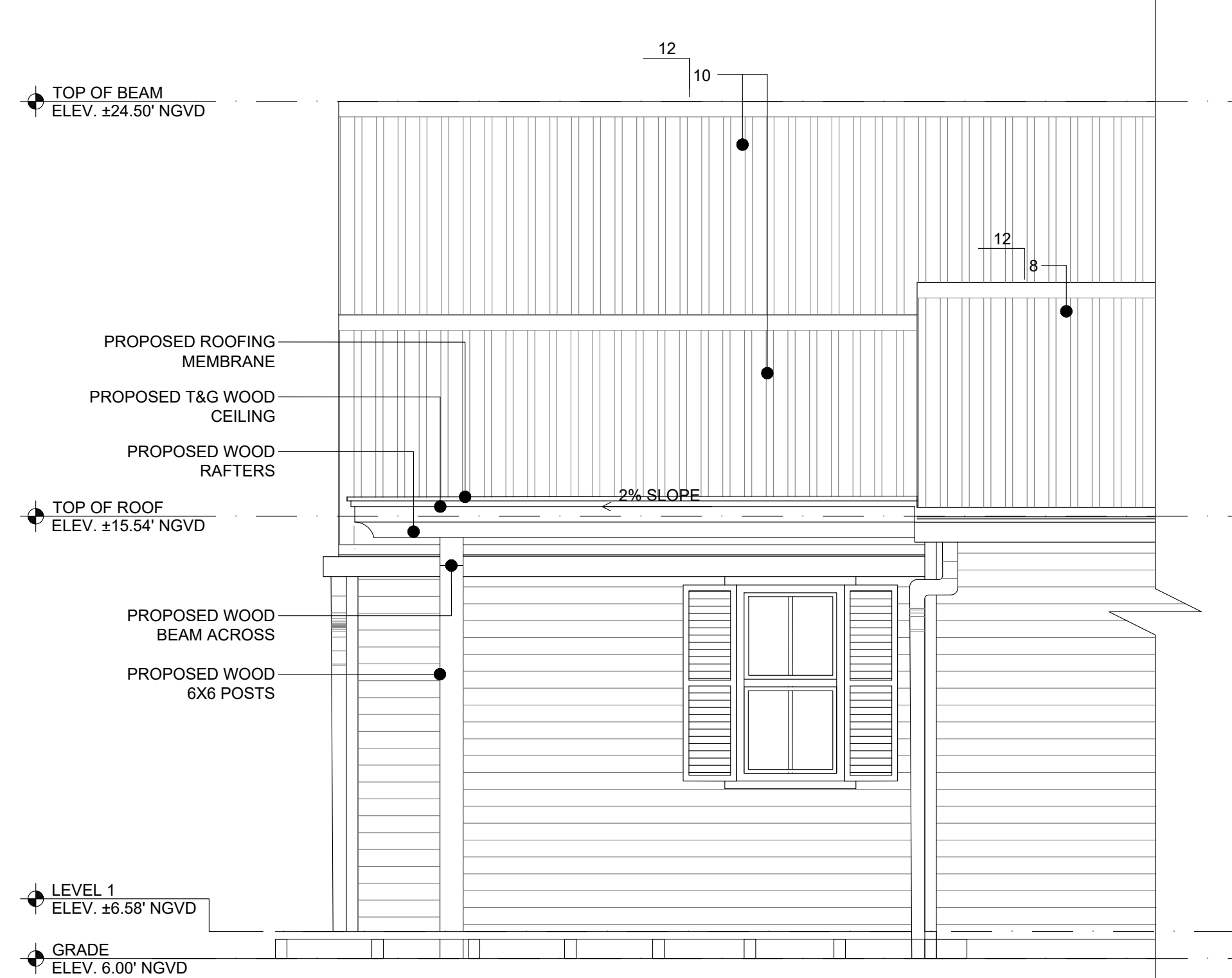
PROJECT: 615 R GRINNELL STREET

SITE: 615 R GRINNELL STREET
KEY WEST, FL 33040
TITLE: PROPOSED SITE PLAN

SCALE AT 11X17:	DATE:	DRAWN:	CHECKED:
AS SHOWN	12/08/20	VF	SM
PROJECT NO:	DRAWING NO:	REVISION:	
2012-02	C-101	1	



PROPOSED REAR ELEVATION
SCALE: 3/8" = 1'-0"

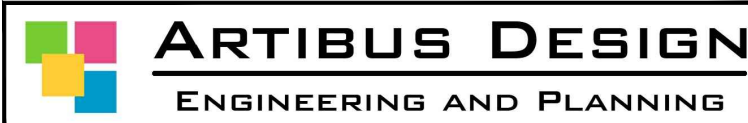


**PROPOSED PARTIAL
SIDE ELEVATION**
SCALE: 3/8" = 1'-0"



EXISTING REAR ELEVATION
SCALE: 3/8" = 1'-0"

REV.	DESCRIPTION:	BY:	DATE:



ARTIBUS DESIGN
3710 N. ROOSEVELT BLVD
KEY WEST, FL 33040
(305) 304-3512
WWW.ARTIBUSDESIGN.COM
CA # 30835

CLIENT: TODD & CYNTHIA LEFF

PROJECT: 615 R GRINNELL STREET

SITE: 615 R GRINNELL STREET
KEY WEST, FL 33040

TITLE: ELEVATIONS

SCALE AT 1/16" = 1'-0": AS SHOWN	DATE: 12/08/20	DRAWN: VF	CHECKED: SM
PROJECT NO: 2011-02	DRAWING NO: A-201	REVISION: 1	

THIS DRAWING IS NOT VALID WITHOUT THE
SIGNATURE AND ORIGINAL SEAL.

SIGNATURE:
DATE:
SERGE NABITKOV
PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO. 77480

GENERAL REQUIREMENTS:

1. PRIOR TO STARTING ANY WORK THE CONTRACTOR SHALL REVIEW THESE PLANS AND SITE CONDITIONS AND NOTIFY THE ENGINEER IF ANY DISCREPANCIES ARE DISCOVERED.
2. THE ENGINEER IS NOT RESPONSIBLE FOR THE SUPERVISION OF THE CONTRACTOR NOR HIS EMPLOYEES DURING THE CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE MEANS AND ESTABLISH METHODS OF THE CONSTRUCTION TO MEET REQUIREMENTS OF ALL APPLICABLE CODES, INDUSTRY STANDARDS AND REQUIREMENTS OF THESE PLANS.
3. QUALITY OF THE WORK SHALL MEET OR EXCEED INDUSTRY STANDARD PRACTICES.
4. ANY DEVIATIONS FROM THESE PLANS SHALL BE REVIEWED AND APPROVED BY THE ENGINEER.

SUBMITTALS:

1. THE CONTRACTOR SHALL PROVIDE 5 ORIGINAL SUBMITTALS FOR ALL MATERIALS, PRODUCTS, AND ACCESSORIES USED FOR THIS PROJECT (NO EXCEPTIONS).
2. ALL SUBMITTALS SHALL BE REVIEWED, APPROVED, DATED AND SIGNED BY THE GENERAL CONTRACTOR REPRESENTATIVE PRIOR SUBMITTING FOR ENGINEERS REVIEW.
3. THE CONTRACTOR SHALL PREPARE AND MAINTAIN SUBMITTAL LOG FOR ALL PRODUCT WITH LIST OF ALL SUBMITTALS, THEIR STATUS AND DATES OF SUBMITTAL AND APPROVAL.
4. THE CONTRACTOR SHALL PLAN IN ADVANCE FOR TIMELY PREPARATION OF ALL SUBMITTALS AND ALLOW 2-3 WEEKS FOR REVIEW AND CORRECTION PROCESS.

DESIGN DATA:

1. APPLICABLE BUILDING CODE: FBC 7TH EDITION (2020)
2. APPLICABLE DESIGN LOADS: PER ASCE/SEI 7-16
 - FLOOR LIVE LOAD: 40 PSF
 - ROOF LIVE LOAD: 20 PSF (300 LB CONC.)
 - BASIC WIND SPEED: 180 MPH
 - EXPOSURE: C
 - STRUCTURAL CATEGORY: II
- FLOOD ZONE: X
- FLOOD RESISTANT DESIGN AND CONSTRUCTION PER ASCE 24-14
- FLOOD DESIGN CLASS 2

ALL PRESSURES SHOWN ARE BASED ON ASD DESIGN WITH A LOAD FACTOR OF 0.6

SOILS AND FOUNDATIONS:

FOUNDATIONS SHALL BE PLACED ON A "SEDIMENTARY AND FOLIATED ROCK" WITH A ALLOWABLE LOAD BEARING PRESSURE OF 3,000 PSF. NOTIFY THE ENGINEER OF SOIL CONDITIONS ARE DIFFERENT.

1. ALL FOUNDATIONS, SLABS AND FOOTERS SHALL BE PLACED ON STABILIZED UNDISTURBED SUBGRADE SOIL.
2. MINIMUM FOUNDATION DEPTH SHALL BE 24" UNLESS OTHERWISE IS SPECIFIED ON THE PLANS. IF OVER-EXCAVATED - FILL SHALL NOT BE PLACED BACK INTO THE TRENCH UNLESS APPROVED BY THE ENGINEER.
3. FILL UNDER THE FOUNDATIONS SHALL BE USED ONLY IF APPROVED BY THE ENGINEER. CLEAN FILL MATERIAL SHALL BE PLACED IN 6"-8" LAYERS AND COMPACTED TO 98% DENSITY USING THE MODIFIED PROCTOR TEST.
4. FILL MATERIAL SHALL BE CLEAN GRANULAR SAND OR LIMEROCK MIX WITHOUT ANY ORGANIC MATERIALS, CLAY, MUCK AND ROCKS LARGER THAN 4". BACKFILL SHALL NOT CONTAIN ANY WOOD OR CELLULOSE DEBRIS.

AUGERCAST PILES

1. AUGERCAST PILES SHALL BE 16" DIAMETER WITH MINIMUM EMBEDMENT OF 3FT INTO THE CAP ROCK UNLESS OTHERWISE SHOWN ON THE PLANS.
2. CONCRETE FOR PILES SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 5000 PSI. WATER CEMENT RATIO SHALL NOT EXCEED W/C=0.40.
3. REINFORCEMENT SHALL BE FOUR (4) #6 REBAR VERTICALLY WITH #3 HOOPS AT 10" O.C. CONTRACTOR SHALL USE PLASTIC CHAIRS OR CENTRALIZERS TO PROVIDE A 3" COVER ON ALL SIDES OF THE REINFORCEMENT.

CONCRETE

1. APPLICABLE CODE ACI 318 LATEST EDITION AND ACI 301.
 2. ALL CONCRETE ELEMENTS SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 4000 PSI UNLESS OTHERWISE IS SHOWN ON THE PLANS. WATER CEMENT RATIO SHALL NOT EXCEED W/C=0.40.
 3. ALL CAST-IN-PLACE CONCRETE SHALL BE CURED AND PROTECTED FROM OVERDRYING PER ACI 305R-10 "HOT WEATHER CONCRETING".
 4. ALL EXPOSED EDGES SHALL HAVE 1/2" CHAMFERS.
 5. NO COLD JOINTS ARE ALLOWED UNLESS OTHERWISE APPROVED BY THE ENGINEER.
 6. TESTING: ALL FIELD AND LABORATORY TESTING SHALL BE PERFORMED BY THE INDEPENDENT SPECIALIZED COMPANY.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL SCHEDULING, COORDINATION AND COST OF TESTING COMPANY.
- THREE (3) SAMPLES SHALL BE TAKEN AND TESTED EACH TIME.
- MINIMUM SAMPLING FREQUENCY:
- A) EACH DAY OF CONCRETING FOR EVERY CONCRETE MIX;
 - B) EVERY 50 CUBIC YARDS;
 - C) EVERY 2000 SQ.FT. OF SLAB AREA.

ALL TESTING SHALL BE PER LATEST ACI AND ASTM REQUIREMENTS. LABORATORY SHALL SUPPLY THREE (3) ORIGINAL SIGNED&SEALED REPORT RESULTS TO THE ENGINEER.

7. CAST-IN-PLACE AND PRECAST MEMBERS ERECTION TOLERANCES SHALL BE AS SPECIFIED IN TABLE 8.2.2 OR IN SECTION 8.3 OF "PCI DESIGN HANDBOOK/SIXTH EDITION".

REINFORCEMENT

1. ALL REBAR SHALL BE ASTM A1035 GRADE 100 (CHROMX 9100) AS CORROSION RESISTANT REINFORCEMENT.
2. ALL REQUIREMENTS FOR PLACEMENT, COVER, TOLERANCES, ETC. SHALL BE PER ACI 318-11.
3. ALL HOOKS AND BENDS SHALL BE FACTORY MADE UNLESS FIELD BENDS ARE APPROVED BY THE ENGINEER.
4. ONLY PLASTIC CHAIRS AND CENTRALIZERS SHALL BE USED FOR REBAR SUPPORT.

STRUCTURAL LUMBER

1. ALL WOOD MEMBERS SHALL MEET OR EXCEED REQUIREMENTS SPECIFIED IN "ANSI/AF&PA NATIONAL DESIGN SPECIFICATION (NDS) FOR WOOD CONSTRUCTION" AND ALL REFERENCED STANDARDS.
2. ALL WOOD MEMBERS SHALL BE SOUTHER PINE No2 OR GREATER KILN DRIED AS SPECIFIED IN THE STANDARDS, UNLESS OTHERWISE SPECIFIED.
3. ALL WOOD MEMBERS EXPOSED TO EXTERIOR, IN DIRECT CONTACT WITH CONCRETE OR STEEL SHALL BE PRESSURE-TREATED (PT) UC4B GRADE PER AWWA STANDARDS.
4. ALL FIELD CUTS IN PT LUMBER SHALL TREATED ON SITE.
5. NAILING SHALL BE IN ACCORDANCE WITH FBC 2020. NAILS AND OTHER FASTENERS FOR PT WOOD SHALL BE STAINLESS STEEL OR ACQ APPROVED TREATED.
6. SHEATHING SHALL BE 5/8" CDX PLYWOOD SHEATHING GRADE, UNLESS OTHERWISE IS SPECIFIED ON THE PLANS. USE 10d RING-SHANK NAILS WITH SPACING OF 4" O.C. ON ALL EDGES AND 6" O.C. IN THE FIELD.

HARDWARE

1. HARDWARE SHALL BE 316 STAINLESS STEEL OR BETTER OR ZMAX GALVANIZED FOR NON EXPOSED SIMPSON PRODUCTS, UNLESS OTHERWISE SPECIFIED.
2. ALL CONNECTORS SHALL HAVE STAINLESS STEEL SCREWS AND FASTENERS OR ACQ APPROVED TREATED (FOR NON EXPOSED LOCATIONS).

REINFORCED MASONRY (CMU)

1. ALL MASONRY SHALL BE REINFORCED CONCRETE MASONRY UNIT IN ACCORDANCE WITH THE LATEST EDITION OF ACI 530/ASCE 5/TMS 402.
2. INSTALL ALL BLOCKS IN RUNNING BOND.
3. MINIMUM MASONRY BLOCK (ASTM C90) STRENGTH SHALL (F'm) BE 1500 PSI.
4. TYPE "S" MORTAR (ASTM C270) SHALL BE USED USING 3/8" FULL BEDDING REINFORCED W/ 9 GAGE 304 STAINLESS STEEL LADDER WIRE EVERY 2ND ROW.
5. FILLED CELLS SHALL BE REINFORCED WITH #5 REBAR @ 24" O.C. (UNLESS OTHERWISE IS SPECIFIED ON THE PLANS).
6. GROUT SHALL BE PEA ROCK PUMP MIX (ASTM C476) WITH A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI (28 DAY) (ASTM C1019). TARGETED SLUMP SHALL BE 8"-11".
6. EACH GROUTED CELL SHALL HAVE CLEANOUT OPENINGS AT THE BOTTOM. THERE SHALL BE NO LOOSE MORTAR OR OTHER DEBRIS IN THE BOTTOM OF THE CELL. USE BLAST PRESSURE WASHING FOR SURFACE PREPARATION.

STRUCTURAL STEEL

1. STRUCTURAL STEEL COMPONENTS SHALL BE AS DESCRIBED IN "SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS" AISC 2005 OR LATER EDITION.
2. HSS SHAPES (STRUCTURAL TUBING) SHALL BE ASTM A500 (FY=46 KSI).
3. STEEL PLATES, FLANGES AND MISCELENIUS ELEMENTS SHALL BE ASTM A36 (FY=36 KSI) UNLESS NOTED OTHERWISE ON THE PLANS.
4. W-SHAPES, C-SHAPES AND OTHER FORMED STEEL SHALL BE ASTM A36 (FY=36 KSI).
5. ALL WELDING SHALL BE IN CONFORMANCE WITH THE LATEST SPECIFICATIONS AWS D1.1/D1.1M:2017, STRUCTURAL WELDING CODE - STEEL.
6. BOLTS: HOT DIP GALVANIZED. A325N, A563DH HEX NUTS, F436 WASHERS.
7. ANCHOR BOLTS: HOT DIP GALVANIZED. A307 GRADE A, A563DH HEX NUTS, F844 WASHERS.

STRUCTURAL STEEL COATING

1. ALL SURFACES SHALL BE ABRASIVE BLAST CLEANED TO NEAR-WHITE METAL (PER SSPC-SP10)
- EXPOSED STEEL:
2. ALL SURFACES SHALL BE PRIMED WITH POLYAMIDE EPOXY - ONE COAT (8.0 MILS DFT).
 3. APPLY SEALANT AT ALL LOCATIONS WHERE STEEL IS WELDED, LAPPED ETC. SEALANT MATERIAL SHALL BE COMPATIBLE WITH THE PAINTING SYSTEM.
 4. TOP LAYER SHALL BE TWO (2) COAT POLYURETHANE (3.0 MILS DFT EACH).
 5. TOP PAINT SHALL BE UV RESISTANT OR HAVE A UV RESISTANT COATING.
 6. COLORS SHALL MATCH EXISTING OR TO BE SELECTED BY THE OWNER.
- NON-EXPOSED STEEL (INTERIOR):
7. 2 COATS OF "SUMTER COATINGS" UNIVERSAL PRIMER (6.0 MILS DFT) OR APPROVED EQUAL.

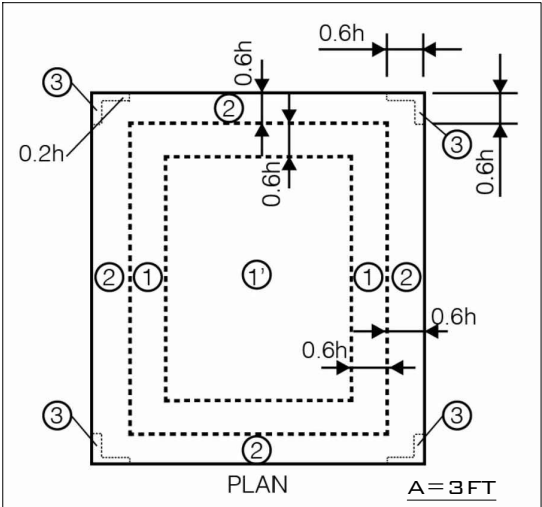
ALUMINUM COMPONENTS

1. TYPE 6061-T6 ALUMINUM.
2. MIG WELDED ALL JOINTS W/ CONTINUOUS 1/8" WELD. USE 5356 FILLER WIRE ALLOY.
3. ALL ALUMINUM IN CONTACT WITH CONCRETE, PT WOOD, DISSIMILAR METALS AND OTHER CORROSIVE MATERIALS SHALL COATED WITH COAL-TAR EPOXY OR PROTECTED BY OTHER ENGINEER APPROVED METHOD.

OPENINGS:

1. ALL EXTERIOR WINDOWS & DOORS SHALL BE LARGE AND SMALL MISSILE IMPACT RATED OR HAVE CODE COMPLIANT SHUTTERS.
2. ALL EXTERIOR WINDOWS AND DOORS SHALL HAVE FLORIDA PRODUCT APPROVAL AND NOA. PRODUCT APPROVAL LABELS SHALL BE PERMANENTLY ATTACHED TO THE FRAME.
3. WIND PRESSURE ON COMPONENTS AND CLADDING (CH 30 PART 1)

PARTIALLY ENCLOSED - BUILDING (LANAI)					
WIND PRESSURE ON COMPONENTS AND CLADDING (CH 30 PART 1)					
DESCRIPTION	WIDTH, FT	SPAN, FT	AREA, FT2	MAX P, PSF	MIN P, PSF
ZONE 1	1	1	1	+30.52	-80.80
ZONE 1	1	1	1	+30.52	-52.07
ZONE 2	1	1	1	+30.52	-102.34
ZONE 3	1	1	1	+30.52	-134.66



ROOF WIND PRESSURES DIAGRAM

SCALE: NTS

THIS DRAWING IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL SEAL

SIGNATURE:

DATE:

SERGE MASHTAKOV
PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO 71480

REV:	DESCRIPTION:	BY:	DATE:
	STATUS:	FINAL	

ARTIBUS DESIGN

ENGINEERING AND PLANNING

ARTIBUS DESIGN

3710 N. ROOSEVELT BLVD
KEY WEST, FL 33040
(305) 304-3512
WWW.ARTIBUSDESIGN.COM
CA # 30835

CLIENT: TODD & CYNTHIA LEFF

PROJECT: STRUCTURAL DETAILS

SITE: 615 R GRINNEL ST
KEY WEST, FL 33040

TITLE: NOTES

SCALE AT 11x17: AS SHOWN

DATE: 04/27/21

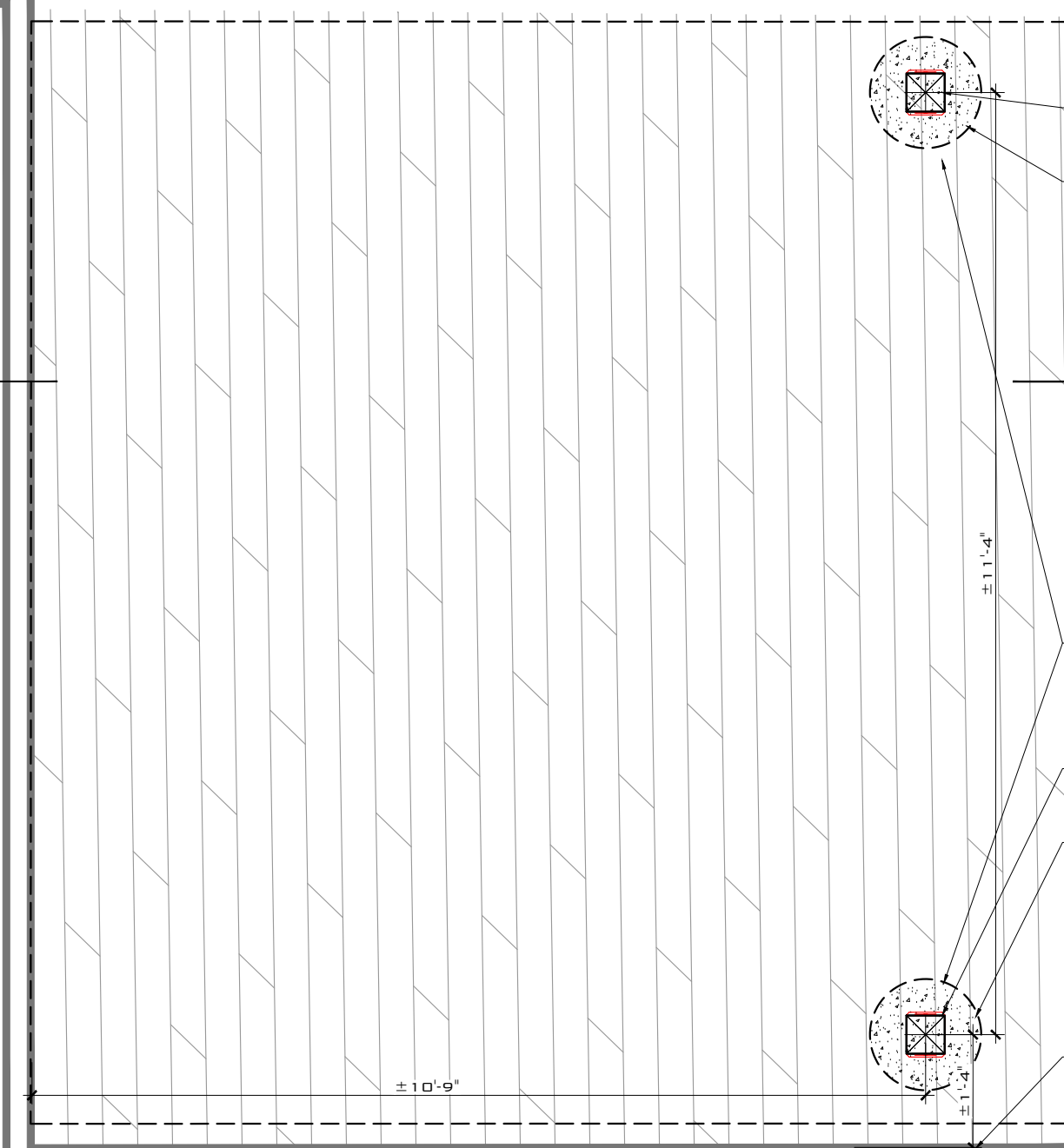
DRAWN: BN

CHECKED: SAM

PROJECT NO: 2012-02

DRAWING NO: S-100

REVISION: 1



6X6 PT SP#2 WOOD POST
W/ CB66 COLUMN BASE

16" DIA. AUGERCAST PILES 5000
PSI CONCRETE,
W/ (4) #5 REBAR
#3 HOOPS @ 12" O.C.
EMBEDMENT 2' INTO CAP ROCK.
(OR 3FT BELOW EXISTING GRADE)

REMOVE AND RESTORE DECKING
AS NEED TO PERFORM WORK ON
NEW FOUNDATION

6X6 PT SP#2 WOOD POST
W/ CB66 COLUMN BASE

16" DIA. AUGERCAST PILES 5000
PSI CONCRETE,
W/ (4) #5 REBAR
#3 HOOPS @ 12" O.C.
EMBEDMENT 2' INTO CAP ROCK.
(OR 3FT BELOW EXISTING GRADE)

EXISTING WOOD FRAMED HOUSE
TO REMAIN

FOUNDATION PLAN

SCALE: 1/2" = 1'-0"

THIS DRAWING IS NOT VALID WITHOUT THE
SIGNATURE AND ORIGINAL SEAL

SIGNATURE:

DATE:

SERGE MASHTAKOV
PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO 71480

REV:	DESCRIPTION:	BY:	DATE:
STATUS:	FINAL		



ARTIBUS DESIGN

3710 N. ROOSEVELT BLVD
KEY WEST, FL 33040
(305) 304-3512
WWW.ARTIBUSDESIGN.COM
CA # 30835

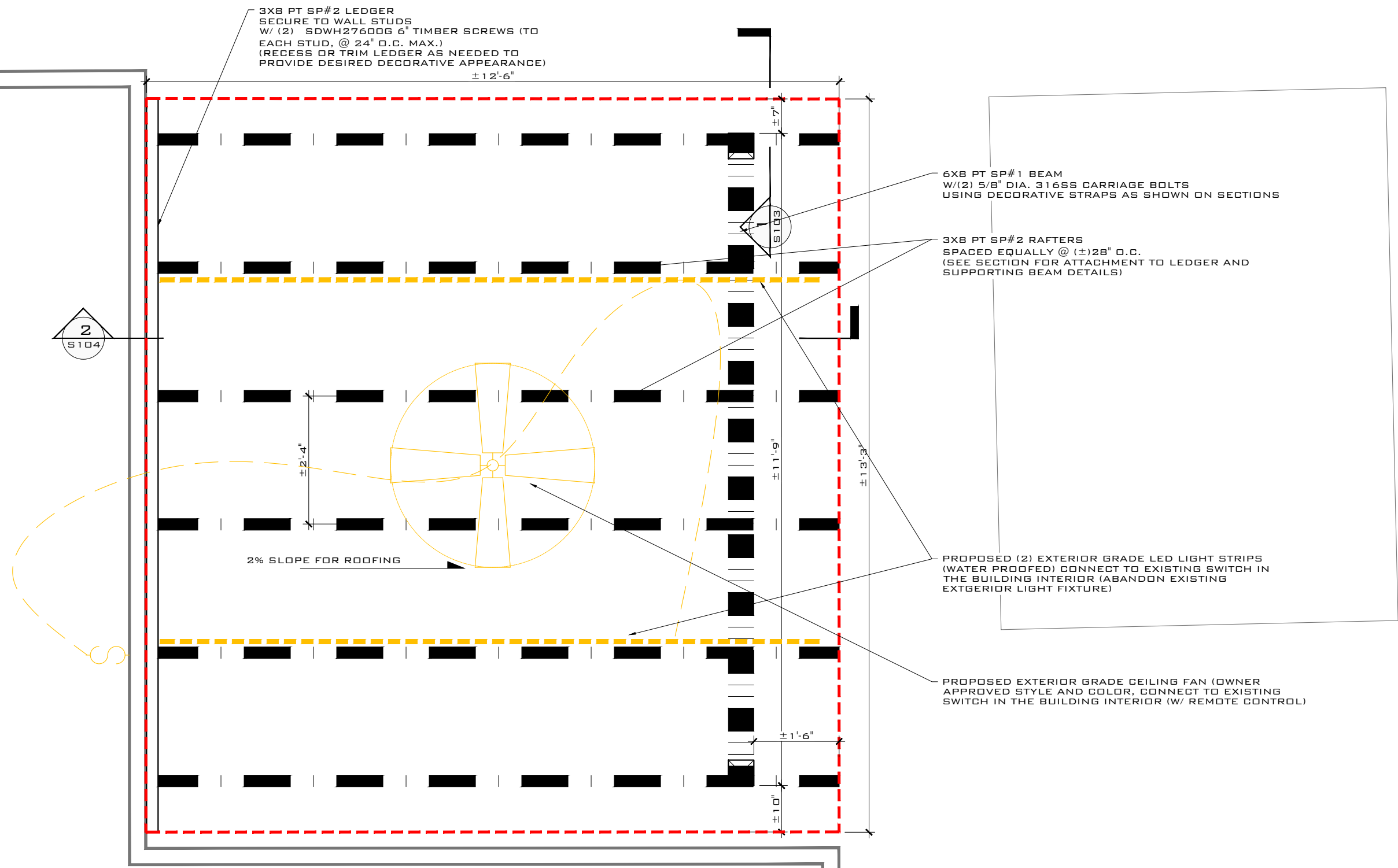
CLIENT: TODD & CYNTHIA LEFF

PROJECT: STRUCTURAL DETAILS

SITE: 615 R GRINNEL ST
KEY WEST, FL 33040

TITLE: FOUNDATION PLAN

SCALE AT 11X17: AS SHOWN	DATE: 04/27/21	DRAWN: BN	CHECKED: SAM
PROJECT NO: 2012-02	DRAWING NO: S-101	REVISION: 1	



ROOF FRAMING PLAN
SCALE: 1/2" = 1'-0"

THIS DRAWING IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL SEAL

SIGNATURE: _____

DATE: _____

SERGE MASHTAKOV
PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO 71480

REV:	DESCRIPTION:	BY:	DATE:
STATUS:	FINAL		

ARTIBUS DESIGN
ENGINEERING AND PLANNING

ARTIBUS DESIGN
3710 N. ROOSEVELT BLVD
KEY WEST, FL 33040
(305) 304-3512
WWW.ARTIBUSDESIGN.COM
CA # 30835

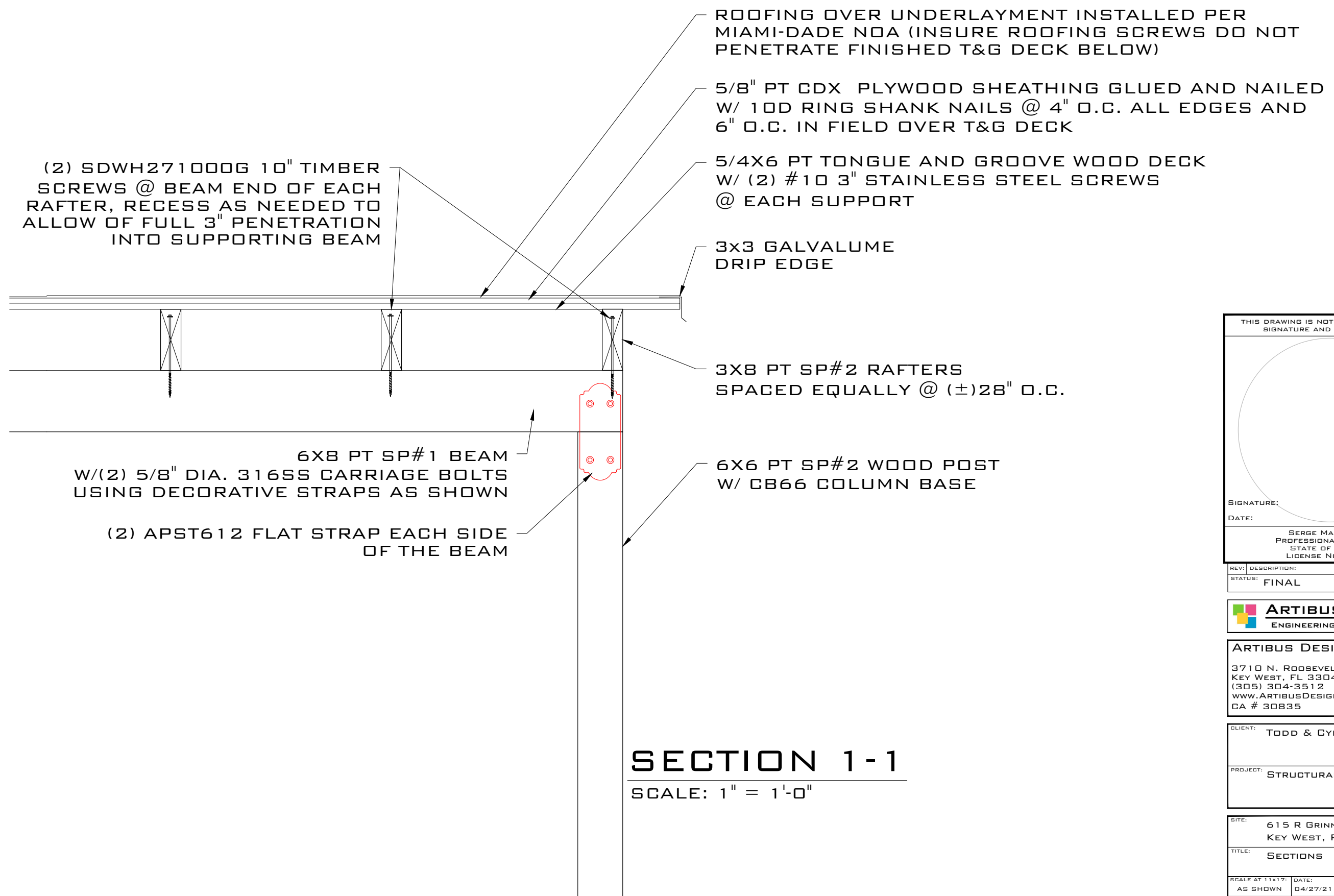
CLIENT: TODD & CYNTHIA LEFF

PROJECT: STRUCTURAL DETAILS

SITE: 615 R GRINNEL ST
KEY WEST, FL 33040

TITLE: ROOF FRAMING PLAN

SCALE AT 11X17:	DATE:	DRAWN:	CHECKED:
AS SHOWN	04/27/21	BN	SAM
PROJECT NO:	DRAWING NO:	REVISION:	
2012-02	S-102	1	



(2) SDWH271000G 10" TIMBER
SCREWS @ BEAM END OF EACH
RAFTER, RECESS AS NEEDED TO
ALLOW OF FULL 3" PENETRATION
INTO SUPPORTING BEAM

ROOFING OVER UNDERLAYMENT INSTALLED PER
MIAMI-DADE NOA (INSURE ROOFING SCREWS DO NOT
PENETRATE FINISHED T&G DECK BELOW)

5/8" PT CDX PLYWOOD SHEATHING GLUED AND NAILED
W/ 10D RING SHANK NAILS @ 4" O.C. ALL EDGES AND
6" O.C. IN FIELD OVER T&G DECK

5/4X6 PT TONGUE AND GROOVE WOOD DECK
W/ (2) #10 3" STAINLESS STEEL SCREWS
@ EACH SUPPORT

3X3 GALVALUME
DRIP EDGE

3X8 PT SP#2 RAFTERS
SPACED EQUALLY @ (±)28" O.C.

6X8 PT SP#1 BEAM
W/(2) 5/8" DIA. 316SS CARRIAGE BOLTS
USING DECORATIVE STRAPS AS SHOWN

(2) APST612 FLAT STRAP EACH SIDE
OF THE BEAM

6X6 PT SP#2 WOOD POST
W/ CB66 COLUMN BASE

SECTION 1-1

SCALE: 1" = 1'-0"

THIS DRAWING IS NOT VALID WITHOUT THE
SIGNATURE AND ORIGINAL SEAL

SIGNATURE:

DATE:

SERGE MASHTAKOV
PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO 71480

REV:	DESCRIPTION:	BY:	DATE:
STATUS: FINAL			



ARTIBUS DESIGN
3710 N. ROOSEVELT BLVD
KEY WEST, FL 33040
(305) 304-3512
WWW.ARTIBUSDESIGN.COM
CA # 30835

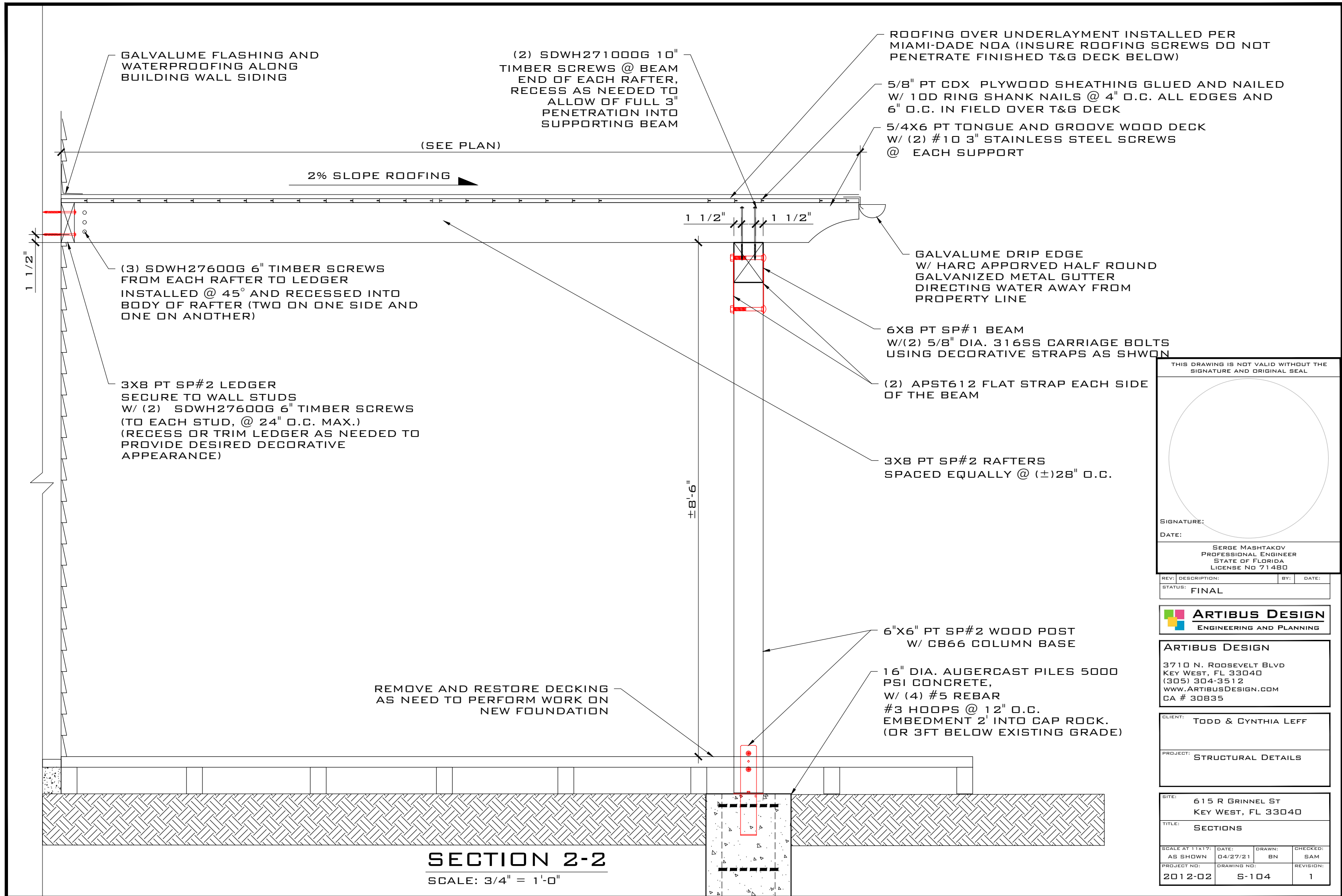
CLIENT: TODD & CYNTHIA LEFF

PROJECT: STRUCTURAL DETAILS

SITE: 615 R GRINNEL ST
KEY WEST, FL 33040

TITLE: SECTIONS

SCALE AT 11X17:	DATE:	DRAWN:	CHECKED:
AS SHOWN	04/27/21	BN	SAM
PROJECT NO:	DRAWING NO:	REVISION:	
2012-02	S-103	1	



THIS DRAWING IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL SEAL

SIGNATURE: _____

DATE: _____

SERGE MASHTAKOV
PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO 71480

REV.	DESCRIPTION:	BY:	DATE:
STATUS:	FINAL		



ARTIBUS DESIGN
3710 N. ROOSEVELT BLVD
KEY WEST, FL 33040
(305) 304-3512
WWW.ARTIBUSDESIGN.COM
CA # 30835

CLIENT: TODD & CYNTHIA LEFF

PROJECT: STRUCTURAL DETAILS

SITE:			
615 R GRINNEL ST KEY WEST, FL 33040			
TITLE:			
SECTIONS			
SCALE AT 11x17:	DATE:	DRAWN:	CHECKED:
AS SHOWN	04/27/21	BN	SAM
PROJECT NO:	DRAWING NO:		REVISION:
2012-02	S-104		1

NOTICING

Public Meeting Notice

The Historic Architectural Review Commission will hold a public meeting at **5:00 p.m., June 29, 2021 at City Hall, 1300 White Street**, Key West, Florida. In order to view the live feed of the meeting, you can tune in to Comcast channel 77, AT&T Uverse channel 99, or type this link into your browser:

http://keywestcity.granicus.com/MediaPlayer.php?publish_id=1&embed=1 If you wish to participate virtually, please contact HARC staff at 305-809-3975. The purpose of the hearing will be to consider a request for:

CONSTRUCTION OF NEW ROOF STRUCTURE OVER DECK.

#615R GRINNELL STREET

Applicant – Stan Shaw Application #H2021-0027

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 1300 White Street, call 305-809-3975 or visit our website at www.cityofkeywest-fl.gov.

THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION

ADA ASSISTANCE: It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 800-955-8771 or 800-955-8770 (Voice) or the ADA Coordinator at 305-809-3811 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.

HARC POSTING AFFIDAVIT

STATE OF FLORIDA:
COUNTY OF MONROE:

BEFORE ME, the undersigned authority, personally appeared _____, who, first being duly sworn, on oath, depose and says that the following statements are true and correct to the best of his/her knowledge and belief:

1. That a legal notice for Public Notice of Hearing of the Historic Architectural Review Commission (HARC) was placed on the following address:
615R GRINNELL ST KEYWEST, FL. 33040 on the 23 day of JUNE, 2021.

This legal notice(s) contained an area of at least 8.5"x11".

The property was posted to notice a public hearing before the Key West Historic Architectural Review Commission to be held on JUNE 29th, 2022.

The legal notice(s) is/are clearly visible from the public street adjacent to the property.

The Certificate of Appropriateness number for this legal notice is H2021-0027

2. A photograph of that legal notice posted in the property is attached hereto.

Signed Name of Affiant:

Stanley G. Shaw
Date: 6/23/21
Address: 2827 PATTERSON AVE.
City: KEYWEST, FL.
State, Zip: 33040

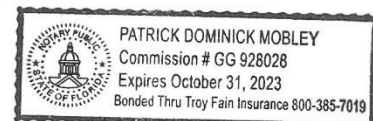
The forgoing instrument was acknowledged before me on this 24th day of JUNE, 2021.

By (Print name of Affiant) STANLEY G. SHAW who is personally known to me or has produced _____ as identification and who did take an oath.

NOTARY PUBLIC

Sign Name: Patrick Dominick Mobley
Print Name: Patrick Dominick Mobley

Notary Public - State of Florida (seal)
My Commission Expires: 10/31/2021





PROPERTY APPRAISER INFORMATION

**Disclaimer**

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID 00010860-000000
 Account# 1011151
 Property ID 1011151
 Millage Group 10KW
 Location 615 GRINNELL ST 2, KEY WEST
 Address
 Legal KW PT LOT 3 SQR 56 G4-512 OR506-1026 OR957-113 OR1291-2183/84 OR1372-1010/12 OR1498-531/34
 Description OR1494-2321/22 OR1578-1119/21 OR1674-1229/31 OR1771-140/42 OR2204-926/31 OR2445-871/73
 OR2593-1684/85 OR2617-230/31 OR2911-1714/15
 (Note: Not to be used on legal documents.)
 Neighborhood 6103
 Property Class SINGLE FAMILY RESID (0100)
 Subdivision
 Sec/Twp/Rng 06/68/25
 Affordable No
 Housing

**Owner**

LEFF TODD
 278 W Ashland St
 Doylestown PA 18901

LEFF CYNTHIA
 278 W Ashland St
 Doylestown PA 18901

Valuation

	2020	2019	2018	2017
+ Market Improvement Value	\$614,879	\$621,284	\$540,297	\$553,475
+ Market Misc Value	\$16,172	\$16,641	\$17,108	\$17,577
+ Market Land Value	\$427,920	\$403,981	\$371,064	\$371,064
= Just Market Value	\$1,058,971	\$1,041,906	\$928,469	\$942,116
= Total Assessed Value	\$1,058,971	\$1,041,906	\$928,469	\$942,116
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$1,058,971	\$1,041,906	\$928,469	\$942,116

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
RES SUPERIOR DRY (01SD)	3,065.00	Square Foot	50	59

Buildings

Building ID	748	Exterior Walls	CUSTOM
Style	1 STORY ELEV FOUNDATION	Year Built	1928
Building Type	S.F.R. - R1 / R1	Effective Year Built	2014
Gross Sq Ft	2704	Foundation	WD CONC PADS
Finished Sq Ft	988	Roof Type	GABLE/HIP
Stories	2 Floor	Roof Coverage	METAL
Condition	GOOD	Flooring Type	CONC S/B GRND
Perimeter	142	Heating Type	FCD/AIR DUCTED with 0% NONE
Functional Obs	0	Bedrooms	3
Economic Obs	0	Full Bathrooms	3
Depreciation %	5	Half Bathrooms	0
Interior Walls	WALL BD/WD WAL	Grade	600
		Number of Fire Pl	0

Code	Description	Sketch Area	Finished Area	Perimeter
FHS	FINISH HALF ST	416	0	84
CBF	FINISHED CABAN	63	0	32
FLA	FLOOR LIV AREA	988	988	194
OPU	OP PR UNFIN LL	351	0	118
PTO	PATIO	886	0	166
TOTAL		2,704	988	594

Yard Items

Description	Year Built	Roll Year	Quantity	Units	Grade
FENCES	1997	1998	1	282 SF	2
FENCES	1997	1998	1	300 SF	2
FENCES	1997	1998	1	93 SF	2
RES POOL	2002	2003	1	160 SF	5
BRICK PATIO	2002	2003	1	213 SF	2

6/21/2021

qPublic.net - Monroe County, FL - Report: 00010860-000000

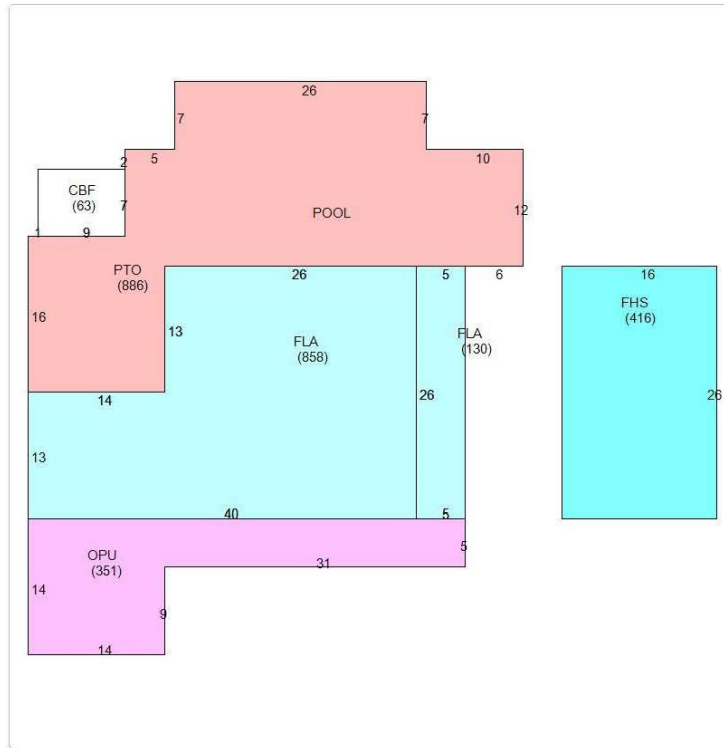
Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved
6/7/2018	\$1,250,000	Warranty Deed	2173457	2911	1714	01 - Qualified	Improved
3/7/2013	\$1,080,000	Warranty Deed		2617	230	02 - Qualified	Improved
10/10/2012	\$100	Quit Claim Deed		2593	1684	11 - Unqualified	Improved
12/9/2009	\$655,000	Warranty Deed		2445	871	02 - Qualified	Improved
4/20/2006	\$725,000	Warranty Deed		2204	926	Q - Qualified	Improved
3/22/2002	\$440,000	Warranty Deed		1771	0140	Q - Qualified	Improved
2/2/2001	\$420,000	Warranty Deed		1674	1229	Q - Qualified	Improved
5/13/1999	\$350,000	Warranty Deed		1578	1119	Q - Qualified	Improved
12/1/1993	\$74,100	Warranty Deed		1291	2183	U - Unqualified	Improved
2/1/1972	\$10,500	Conversion Code		506	1026	Q - Qualified	Improved

Permits

Number	Date Issued	Date Completed	Amount	Permit Type	Notes
18-3291	8/7/2018	12/27/2018	\$27,000	Residential	REMOVE INTERIOR NON STRUCTURAL WALL REPLACE WITH NEW WALL EXTENDING BATHROOM 4' LENGTH INSTALL POCKET DOOR ENCLOSE TOILET ADD CLOSET FOR W/D INSTALL NEW VANITY EXTEND STAND UP SHOWER, 96SF FLOOR TILE
06-6752	12/28/2006	7/6/2007	\$950	Residential	REPLACE 4SLF OF PORCH RAIL&6SLF OF SIDING
02-1405	5/30/2002	9/4/2002	\$26,500	Residential	POOL/DECK
99-2480	7/16/1999	8/18/1999	\$3,600	Residential	CENTRALAC
97-3142	11/7/1997	11/5/1998	\$3,000	Residential	CONSTRUCT 14X14 DECK
97-1562	7/29/1997	11/5/1998	\$6,000	Residential	4 SQS V-CRIMP ROOFING
97-2419	7/17/1997	11/5/1998	\$2,050	Residential	5 SQS V-CRIMP ROOF/2 VALL
97-2161	7/2/1997	11/5/1998	\$1	Residential	SEWER CONNECTION FEE
97-1562	6/16/1997	11/5/1998	\$6,000	Residential	INTERIOR RENOVATIONS
97-0791	3/17/1997	11/5/1998	\$400	Residential	UPGRADE ELECTRIC SERVICE
96-4830	12/28/1996	11/5/1999	\$3,000	Residential	RENOVATIONS

View Tax Info
[View Taxes for this Parcel](#)
Sketches (click to enlarge)



Photos



6/21/2021

qPublic.net - Monroe County, FL - Report: 00010860-000000

Map



TRIM Notice

[2020 TRIM Notice \(PDF\)](#)

2020 Notices Only

No data available for the following modules: Commercial Buildings, Mobile Home Buildings, Exemptions.

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the

[User Privacy Policy](#)
[GDPR Privacy Notice](#)

Last Data Upload: 6/21/2021, 2:07:16 AM

Developed by
 Schneider
GEOSPATIAL

Version 2.3.127