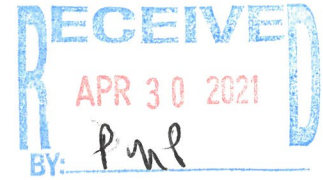


Application



Application for Future Land Use Map & Zoning Map Amendment

City of Key West, Florida • Planning Department

1300 White Street • Key West, Florida 33040 • 305-809-3764 • www.cityofkeywest-fl.gov

FUTURE LAND USE MAP AND ZONING MAP AMENDMENT APPLICATION

Application Fee: \$7,665.00

(includes \$210.00 advertising/noticing fee and \$105.00 fire review fee)

All applications must be deemed complete and in compliance with the City code prior to the item being scheduled. The city commission, the planning board, the city manager or the owner of real property within the city or the agent of the owner may propose amendments to the zoning map. Applications for amendments to the Future Land Use Map may only be filed by the City Manager, City Commission, a City Commissioner, Planning Director or owner of property subject to the amendment.

Please note the timeframes for processing. With the exception of items pertaining directly to affordable housing, the City can only send Future Land Use Map amendments twice a year to the State Department of Community Affairs (DCA) for review. The City sends these amendments to the DCA in February and August of each year. Depending on the time an application is submitted to the City, a proposed Future Land Use Map amendment may be subject to processing in accordance with the twice year transmittal dates. Because of the submittal restrictions, an approved change to the Future Land Use and Official Zoning Maps may take as long as 18 months for an application without objections or appeal. Amendments to the Official Zoning Map may take upwards of nine (9) months to become effective without objections or appeal. Please see attached Comprehensive Plan Process sheet for Future Land Use Map amendment process.

PROPERTY OWNER NAME: FOD Marina 1 LLC, Benicia Partners LLC, Smith Family Fund 1 LLC

Mailing Address: 709 Shrimp Rd, Ste 4, Key West, FL 33040 & 10 S La Salle St Ste 2660 Chicago, IL 60603

Phone Number:(Home) c/o Agent (Other) _____

Email Address: c/o Agent

The application shall include a verified statement showing each and every individual person having a legal and/or equitable ownership interest in the property upon which the application for amendment is sought, except publicly held corporations, in which case the names and addresses of the corporate officers shall be sufficient.

AGENT NAME/TITLE: Smith Hawks, PL

Mailing Address: 138 Simonton St., Key West, FL 33040

Phone Number: (Office/Fax) (305) 296-7227

Email Address: bart@smithhawks.com / aj@smithhawks.com

Note: Applicant must submit a notarized letter authorizing the agent to act on their behalf and stating the agent's name, address and phone number.

Tab A

LEGAL DESCRIPTION OF PROPERTY:

Subdivision: See attached Lot: _____ Block: _____

If in metes and bounds, attach warranty deed and legal description on separate sheet.

Real Estate Number(s): 00000210-000000

Has an Application Been Submitted for This Site Within the Past Two Years? If Yes, please provide the following information: Type of application, name of applicant and date of application:
No

PROPERTY DESCRIPTION

1. Street Address of Property: 700 Front St.
2. Current Future Land Use Map Category: Historic Commercial
3. Proposed Future Land Use Map Category: Historic Commercial
4. Current Land Use District Map Designation: HRCC-2
5. Proposed Land Use District Map Designation: HRCC-1
6. Size of Parcel (acres): 1.31 total acres, 1.23 acres upland

Existing Use: If the property is developed, describe, in general terms, the existing use of the property such as the type of use, number of residential units, or the gross floor area of the commercial development. (If the property contains structures, submit a site plan in addition to your verbal description).

Future Land Use Map Amendment. All Future Land Use Map amendments are evaluated based on the consistency with the City of Key West Comprehensive Plan and compatibility with Florida Administrative Code, Chapter 28-36, Principles for Guiding Development (Key West Area of

Critical State Concern). The Principles for Guiding Development are attached to this application. Please explain how Future Land Use Map Amendment Application your application meets these.

Rezoning. The purpose of a rezoning is not intended to relieve particular hardships, nor to confer special privileges or rights on any person, nor to permit a change in community character, as analyzed in the comprehensive plan, but only to make necessary adjustments in light of changed conditions. In determining whether to grant a requested amendment, the City Commission shall consider, in addition to the factors set forth in this division, the consistency of the proposed amendment with the provisions and intent of the comprehensive plan.

In evaluating proposed changes to the comprehensive plan future land use map, the city shall consider the following criteria:

- (1) *Consistency with plan.* Whether the proposal is consistent with the overall purpose of the comprehensive plan and relevant policies within the comprehensive plan, including the adopted infrastructure minimum levels of service standards and the concurrency management program.
- (2) *Conformance with ordinances.* Whether the proposal is in conformance with all applicable requirements of the Code of Ordinances.
- (3) *Changed conditions.* Whether, and the extent to which, land use and development conditions have changed since the comprehensive plan's effective date and whether such conditions support or work against the proposed change.
- (4) *Land use compatibility.* Whether, and the extent to which, the proposal would result in any incompatible land uses, considering the type and location of uses involved.
- (5) *Adequate public facilities.* Whether, and the extent to which, the proposal would result in demands on public facilities and services, exceeding the capacity of such facilities and services, existing or programmed, including transportation, water and wastewater services, solid waste disposal, drainage, recreation, education, emergency services, and similar necessary facilities and services. Approval of a plan amendment does not constitute a concurrency determination, and the applicant will be required to a concurrency determination pursuant to chapter 94.
- (6) *Natural environment.* Whether, and to the extent to which, the proposal would result in adverse impacts on the natural environment, including consideration of wetlands protection, preservation of groundwater aquifer, wildlife habitats, and vegetative communities.
- (7) *Economic effects.* Whether, and the extent to which, the proposal would adversely affect the property values in the area or the general welfare.
- (8) *Orderly development.* Whether the proposal would result in an orderly and compatible land use pattern. Any negative effects on such pattern shall be identified.
- (9) *Public interest; enabling act.* Whether the proposal would be in conflict with the public interest, and whether it is in harmony with the purpose and interest of this subpart B and its enabling legislation.
- (10) *Other matters.* Other matters which the planning board and the city commission may deem appropriate.

Please provide an explanation of how your application satisfies these.

Submittal Requirements. The following information is required to be submitted with this completed application (**20 copies of each for a FLUM and Rezoning Application,**

15 copies of each for a Rezoning Application):

1. Property survey. **Tab B**
2. Include photographs of the subject parcel(s). Only original photos or color copies will be accepted. Aerial photos may not be used to meet this requirement but may be used for support information. **Tab C**
3. A copy of the zoning map, clearly marking the boundaries of the property being considered. The Planning Department will be able to assist you in obtaining a copy of the zoning map. **Tab D**
4. Attach proof of ownership (i.e. copy of deed or tax bill). Include a copy of the property record card from the property appraiser's office. **Tab E**
5. Justification as required by Section 90-554 of the City of Key West City Code. The need and justification for the proposed change. The evaluation shall address but shall not be limited to the following issues: **See Letter Provided**
 - a. *Comprehensive plan consistency.* Identifying impacts of the proposed change in the comprehensive plan future land use map on the overall purpose of the comprehensive plan and consistency with applicable policies within the comprehensive plan.
 - b. *Impact on surrounding properties and infrastructure.* The effect of the change, if any, on the particular property and all surrounding properties. Identify potential land use incompatibility and impacts on infrastructure.
 - c. *Avoidance of special treatment.* The proposed change shall not:
 1. Single out a small piece of land and confer special and privileged treatment not provided to abutting properties with similar characteristics and land use relationships; and
 2. Provide for land use activities which are not in the overall public interest but only for the benefit of the landowner.
 - d. *Undeveloped land with similar comprehensive plan future land use map designation.* The amount of undeveloped land in the general area and in the city having the same zoning classification as that requested shall be stated.

I certify that I am familiar with the information contained in this application, and that to the best of my knowledge such information is true, complete and accurate. I certify that all information required, as listed on Attachment A has been provided.

[Handwritten Signature]

Signature of Applicant or Agent

4.30.2021
Date

STATE OF FLORIDA NOTARY PUBLIC

The foregoing signature was acknowledged before me this 30th day of April,
20 21

by BARTON W. SMITH, who is personally known to me

_____ or has produced _____

_____ as identification.

[Handwritten Signature: Brandi Green]

Notary Public Signature

My Commission Expires 6.29.24

Seal:



**City of Key Area of Critical State Concern - Principles for Guiding Development.
Florida Administrative Code, Annotated, Chapter 28-36.003.**

(1) Objectives to Be Achieved.

- (a) Strengthen local government capabilities for managing land use and development;
- (b) Protection of tidal mangroves and associated shoreline and marine resources and wildlife;
- (c) Minimize the adverse impacts of development of the quality of water in and around the City of Key West and throughout the Florida Keys;
- (d) Protection of scenic resources of the City of Key West and promotion of the management of unique, tropical vegetation;
- (e) Protection of the historical heritage of Key West and the Key West Historical Preservation District;
- (f) Protection of the value, efficiency, cost-effectiveness and amortized life of existing and proposed major public investments, including:
 - 1. The Florida Keys Aqueduct and water supply facilities,
 - 2. Sewage collection and disposal facilities,
 - 3. Solid waste collection and disposal facilities,
 - 4. Key West Naval Air Station,
 - 5. The maintenance and expansion of transportation facilities, and
 - 6. Other utilities, as appropriate;
- (g) Minimize the adverse impacts of proposed public investments on the natural and environmental resources of the City of Key West; and
- (h) Protection of the public health, safety, welfare and economy of the City of Key West, and the maintenance of Key West as a unique Florida resource.

(2) Elements Requiring Regulation.

(a) Planning and Administration.

- 1. The City of Key West shall modify the Comprehensive Plan which guides development within its boundaries to be consistent with these principles. The Comprehensive Plan shall be implemented through development regulations, including zoning ordinances and maps, which are kept current and made available for reasonable public distribution and

- inspection. Development orders shall be issued only in conformance with the policies and standards of the Comprehensive Plan, development regulations and maps.
2. The City of Key West shall prepare and implement Capital Improvement Plans based on viable funding sources to provide adequate infrastructure for existing and future development.
 3. Issuance of development orders shall be coordinated with and contingent upon provisions contained within the Capital Improvement Plan. Development shall not be approved which is inconsistent with or exceeds the services specified in the Plan.
 4. Special planning and zoning districts shall be created for:
 - a. Environmentally sensitive areas including, without limitation, mangrove communities. Such areas shall be zoned with a maximum use density of one dwelling unit per acre. Site alteration in these areas shall be limited to 10% of the total site size. Density credit should be considered by local governments as an incentive for the preservation of environmentally sensitive areas.
 - b. Noise and hazard zones of the Key West Naval Air Station as delineated by the U. S. Navy Office of the Chief of Naval Operations. Development within such zones should be limited to that compatible with air operations. Implementation of this section should be closely coordinated with the Office of the Chief of Naval Operations. Similar districts should be created around civilian airfields in cooperation with the Florida Department of Transportation and the Federal Aviation Administration. Codes for airfield districts should clearly specify height limits for structures and other appropriate restrictions on development necessary to protect air operations and public health and safety.
 5. A community impact statement shall be designed to enable local governmental officials to determine the proposed development's favorable or unfavorable impact on the environment, natural resources, economy and the potential of the project to meet local or regional housing needs. The statement shall also require information relative to the project's potential impact on public facilities, including without limitation, water, sewer, solid waste disposal and transportation facilities. A community impact assessment statement shall be submitted and approved prior to the issuance of development orders or site plan approval for the following developments:
 - a. Any development which includes building(s) in excess of 45 feet in height;
 - b. Any intensive land uses including residential uses of 10 or more dwelling units per acre or 50 or more total dwelling units; and
 - c. Intensive business, commercial, or industrial uses.
 6. Developments shall be encouraged in the Comprehensive Plan and development regulations to use clustering and other design techniques which would reduce public

facilities costs, produce energy savings, and improve the scenic quality of the development. In addition, they shall conform to appropriate setback and open space requirements, stringent landscaping and land use compatibility requirements. Building and siting requirements shall reduce hurricane and fire damage potential and control access to City thoroughfares.

7. An evacuation plan consistent with regional and County plans shall be prepared and adopted which provides an opportunity for residents and visitors to evacuate to a place of safety during a natural disaster.

(b) Site Alteration Regulations.

Site alteration and landscaping regulations shall provide for:

1. A land clearing permit of limited duration issued upon approval of a site plan which includes a natural vegetation map, excepting minimal clearing required for survey.
2. Limitation of the size and species of trees allowed to be removed in clearing, including reasonable exceptions for structure sites and public safety. The ordinance shall provide protection for native tropical vegetation and tree species characteristic of West Indian tropical hardwood hammocks.
3. Revegetation and landscaping of cleared sites after construction.

(c) Waste Control and Water Quality Protection.

1. The City of Key West, in cooperation with the Monroe County Waste Collection and Disposal District, shall establish criteria and regulations for the methods and location of the disposal of all solid waste and waste-water effluents and residuals.
2. Site alteration and subdivision regulations shall provide for:
 - a. Retention of runoff or discharge of such runoff into adequately sized natural vegetative filtration areas in a manner approximating the natural runoff regime.
 - b. Permanent drainage systems which make maximum use of natural drainage patterns, vegetative retention and filtration.
 - c. Maintenance of habitat for wildlife species, prevent the introduction of noxious vegetation, and minimize the alteration of transitional wetlands.

(d) Protection of Public Facilities and Investments.

1. The City of Key West, in cooperation with the Florida Keys Aqueduct Authority, shall amend all applicable plumbing codes to provide for the mandatory installation of water conserving fixtures in all new development and redevelopment.

2. Business, commercial and industrial development shall provide off street parking and limited controlled access points to City thoroughfares.
3. Existing and future waste treatment and disposal sites shall be protected from encroachment by land uses which would endanger their functions or existence.

(e) Historical Resource Protection.

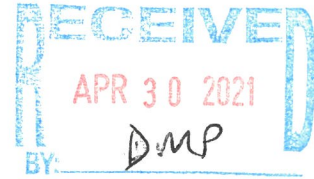
1. A management and enforcement plan and ordinance shall be adopted by the City of Key West providing that designs and uses of development reconstruction within the Key West Historical Preservation District shall be compatible with the existing unique architectural styles and shall protect the historical values of the District.
2. The City of Key West shall maintain an architectural review board established pursuant to [Section 266.207\(2\), Florida Statutes](#). Furthermore, the architectural review board shall receive notice of all applications for development within the City of Key West and participate in hearings as appropriate.

SMITH/HAWKS
ATTORNEYS AT LAW

Barton W. Smith, Esq
Telephone: (305) 296-7227
Facsimile: (305) 296-8448
Email: Bart@smithhawks.com

VIA HAND DELIVERY and E-MAIL

April 30, 2021



Katie Halloran, Planning Director
City of Key West Planning Department
1300 White Street
Key West, FL 33040
Katie.halloran@cityofkeywest-fl.gov

Re: **FOD Marina 1 LLC, Benicia Partners, LLC, and Smith Family Fund 1 LLC
(all together, the “Applicant”) – Application for Zoning Map Amendment**

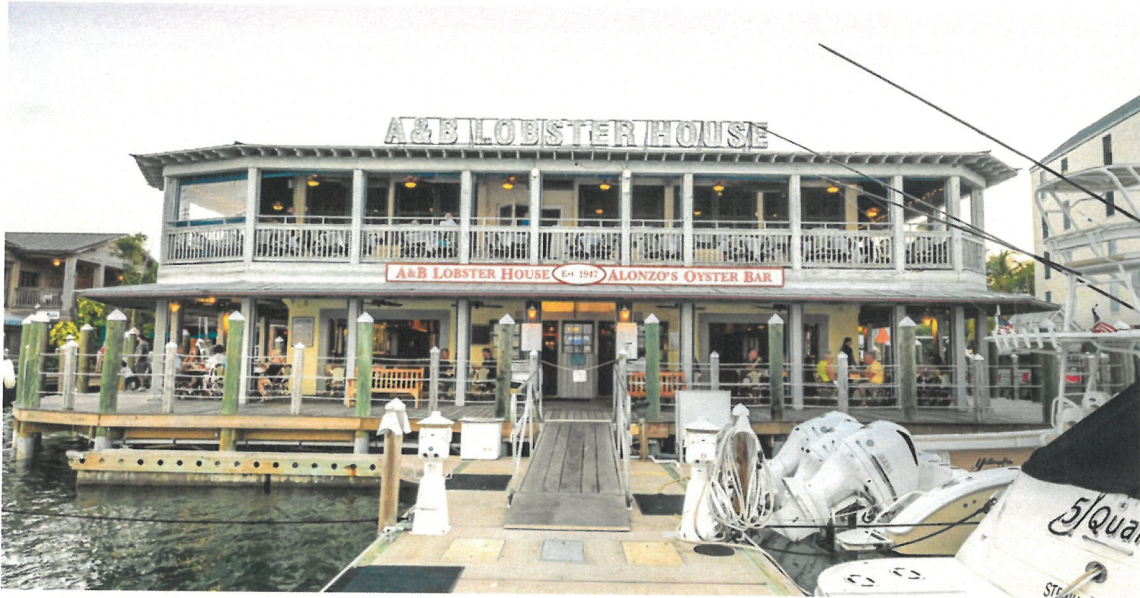
Dear Katie,

Please find below and enclosed Applicant’s Application for Zoning Map Amendment (“Application”) pursuant to Article V, Division 2 of the City of Key West Land Development Regulations of the Code of Ordinances of the City of Key West (“LDRs”). The property proposed to be rezoned has an address of 700 Front Street with Monroe County RE No. 00000210-000000 and more particularly described in **Exhibit A** (the “Property”). The Application is to amend the official zoning map and the Property’s zoning district from the current HRCC-2 district to the requested HRCC-1 district to allow additional outdoor seating at the Property.

Property Background



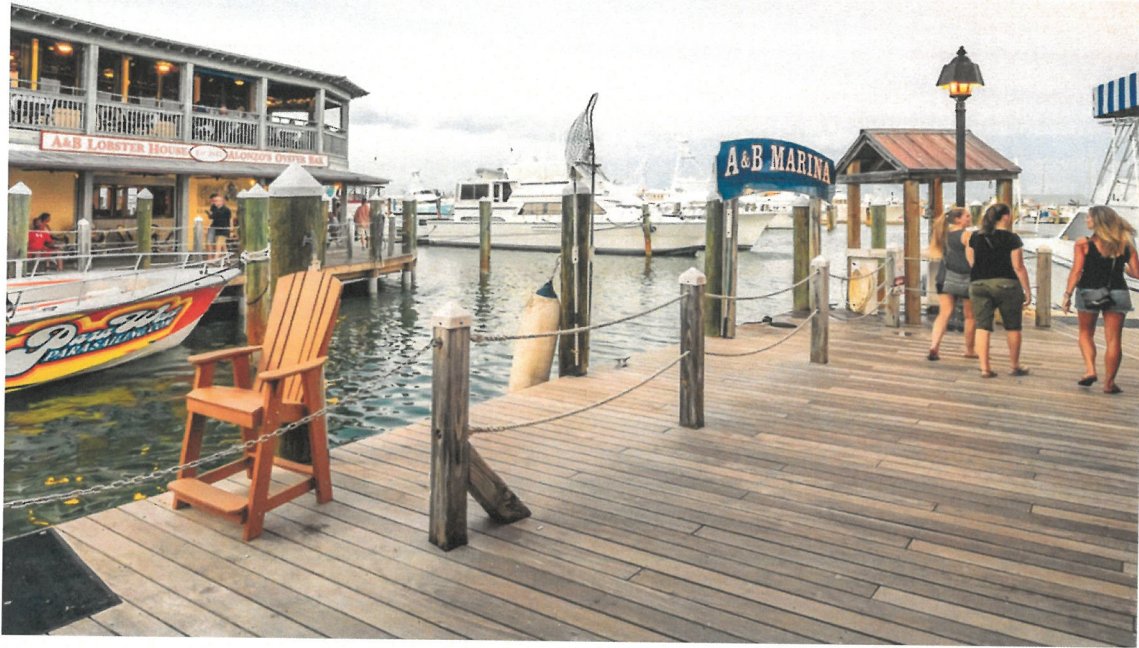
Located on the North East end of Front Street, the Property consists of approximately 1.23 acres (53,552 sf) of upland and is developed with two 2-story buildings, a 3-story dockmaster tower, and a marina with 50 slips for vessel mooring and marina facilities. The Property is currently home to A&B Lobster House, Alonzo's Oyster Bar, Berlin's Lounge, The White Tarpon, Whalburgers, Bel Mare, A&B Marina and a boardwalk open to the public.



The A&B Lobster House building from 1947 until the year 2000 was on and overhanging the water leaving no public access or view of the water.



In 2000, the boardwalk over the water at the edge of the Key West Bight was constructed that links the end of Front Street to the end of Greene Street. It is now open to the public and walked millions of times each year.



The Property is currently zoned HRCC-2. To the North of the Property is zoned HRCC-1 and contains the Galleon and Hyatt resorts. To the West of the Property is zoned HRCC-1 and leads to Simonton Street. To the South of the Property is zoned HRCC-2 and HRCC-1 with Conch Republic Seafood Company directly to the South. To the East of the Property is the Key West Bight.



Request

Generally.

Applicant is requesting to rezone the Property from HRCC-2 to HRCC-1, a zoning district that has land development regulations more aligned with the current and historic development on the Property. The Property has several longstanding legal nonconformities and non-compliances within the HRCC-2 district and Applicant would like to rectify the nonconformities by rezoning the Property. The Property is in the Historic Commercial Future Land Use district according to the City of Key West 2030 Future Land Use Map. The Historic Commercial Future Land Use District is compatible with the HRCC-1 zoning district and, therefore, no Future Land Use Map Amendment is required or requested.

Due in part to COVID-19, consumer preferences have shifted more toward outdoor and open-air seating. Applicant has noticed and documented that the restaurants on the Property have higher occupancy in their outdoor seating areas than the enclosed seating areas. Applicant in exploring options to provide more outdoor seating at the Property discovered that the floor area already provided on the Property was far in excess of the allowed square footage under the HRCC-2 district and that expanding legal non-compliances is discouraged in the LDRs. The HRCC-2 district also disallows any use that is not water-related within 100 ft from the mean high water line. *Section 122-717 of the LDRs*. Therefore, the entire development on the Property is non-conforming and a zoning change to HRCC-1 would bring the Property into compliance with the LDRs.

Legal Noncomplying Development and Nonconforming Uses in HRCC-2.

Historic and current uses and dimensions on the Property are not allowed under the current applicable LDRs in the HRCC-2 district. The long-standing structures on the Property are significantly noncomplying as to the size, dimensional, and height regulations imposed by the LDRs. Additionally, the use of the Property as a restaurant that was established at least as of 1947 is nonconforming to the current permitted uses in the HRCC-2 district.

The HRCC-2 district is described in Chapter 122, Article IV., Division 7, Subdivision III of the LDRs. The regulations for the HRCC-2 district restrict the development in the district within 100 ft of the mean high water line to one story and a minimum open space ratio of 0.5. The maximum floor area ratio for the district is 0.5 and the minimum setbacks are 10 ft from the front of the lot, 7.5 ft from the sides of the lot, and 15 ft from the rear of the lot.

The development currently on the Property is significantly noncomplying as to almost all the applicable LDRs. The current development is all multi-story and has no setback from the mean high water line. The current floor area ratio is approximately 0.7, more than the 0.5 floor area ratio allowed in the district. A chart comparing the current development to the regulations in the HRCC-1 and HRCC-2 districts is attached as **Exhibit B**. The chart shows that the current development is not compatible with the HRCC-2 district while it is compatible with the HRCC-1 regulations.

HRCC-2 significantly restricts the uses allowed within 100 ft of the mean high water line. Pursuant to Section 122-717 of the LDRs, only *water-dependent* uses, defined as “activities which

can be carried out only on, in or immediately adjacent to water areas because the use requires access to the water body for: waterborne transportation, including ports or marinas; recreation; electrical generating facilities; or water supply”, are allowed within 30 ft of the mean high water line. Within 30 ft to 100 ft of the mean high water line, only *water-related* uses are allowed. Water-related uses are defined as “activities which are not directly dependent upon access to a water body, but which provide goods and services that are directly associated with water-dependent or waterway uses and/or provide supportive services to persons using a duly permitted marina.”

Under the current LDRs, no restaurant in the HRCC-2 district is permitted to be within 100 feet of the mean high water line. A restaurant with no setback from the water has existed on the Property since 1947. The Property is the home to water-dependent uses in the marina but also has restaurants that offer the public dining on the water. Should anything happen to the current structures on the property, the long-established restaurant use could not be renewed in conformity the LDRs.

Compliance with HRCC-1.

The Property’s current and historical development and use is closer aligned with HRCC-1 regulations than HRCC-2 regulations, as shown in **Exhibit B**. A&B Lobster House and Belin’s Lounge has been two stories and on the water for over seven decades. A zoning amendment to HRCC-1 brings the Property into substantial compliance with the zoning regulations whereas the current HRCC-2 regulations, imposed well after the historic development and use on the Property, render each of the structures and uses (except the marina) nonconforming or noncompliant.

Multi-story buildings are permitted in the HRCC-1 district, which would bring the historic building into compliance with height regulations. **Exhibit B** shows that setback nonconformities will be largely remedied by the requested zoning change. The building height of the two story A&B Lobster House building existing since 1947 would come into compliance with the LDRs with the zoning change. Finally, the development on the Property would be under the maximum floor area ratio with the requested rezoning.

Nearby parcels near the water and/or with multiple stories historically were appropriately zoned HRCC-1 to not create structures that are entirely noncompliant and uses that are nonconforming. Nearby parcels that were zoned HRCC-2 did not historically have multiple stories. The Property was uniquely given a zoning classification that did not match the history of the parcel and created significant nonconformities and noncompliances on the Property.

Inability to Rebuild in Compliance with the LDRs.

The Property is home to one of the most important and historic commercial properties in the City of Key West.



*A&B sign and building still standing following devastating tornado from Hurricane Agnes in 1972

With the increasing intensity of tropical storms, the Applicant would like to protect the uses and structures that have been on the Property for any decades. The Property is on the water and near hundreds of boats that could become unsecured and significantly damage the property in a tropical storm. The HRCC-2 district allows only one story and water related uses within 100 feet of the water. The LDRs do not provide sufficient protection for reconstruction and the LDRs are always subject to change. Amending to the zoning district that is in line with the development on the Property would provide further protection of the historic property.

Additional Outdoor Floor Area.

Applicant wishes to provide additional outdoor dining area at the Property to meet a market demand. Since the Property has substantial noncomplying aspects in the HRCC-2 district, any alteration of the Property would require a variance. Variances include a hardship requirement and other standards in the text of the LDRs that create a very high bar for approval. Because of the variance standards, variances are frequently denied even when everyone agrees the proposal is a good idea that would benefit the community.

With the noncomplying nature of the Property because of the HRCC-2 district, variances will always be required and there is no flexibility to address changing conditions of the area or the City. An important standard for zoning amendments is changing conditions, which is why this request is being made instead of a variance to increase floor area. A zoning change to HRCC-1

would allow the Property to be altered to provide more seating for their guests that prefer and insist on dining outdoors.

Criteria for Approval

The following is given as support for the criteria of approval approving amendments to official zoning map listed in Section 90-521 of the LDRs:

(1) *Consistency with plan.* Whether the proposal is consistent with the comprehensive plan, including the adopted infrastructure minimum levels of service standards and the concurrency management program.

Both the current zoning district of HRCC-2 and the requested zoning district of HRCC-1 are in the Historic Commercial Future Land Use District described in the City of Key West Comprehensive Plan (“Comp Plan”) so the request is consistent with the Future Land Use Map. The proposal is consistent with the overall purpose of the Comp Plan to protect and maintain natural resources, preserve the community character and quality of life, ensure public safety and direct development and redevelopment in an appropriate manner. The request helps to preserve an important structure and area of the community to preserve the community character and way of life.

The proposal will not generate any public facility needs or effect the level of service.

(2) *Conformance with requirements.* Whether the proposal is in conformance with all applicable requirements of the Code of Ordinances.

The Applicant will ensure that the request procedurally is in conformance with the applicable requirements in the LDRs.

(3) *Changed conditions.* Whether, and the extent to which, land use and development conditions have changed since the effective date of the existing regulations, and whether such changes support or work against the proposed rezoning.

There are several changed conditions since the imposition of the current zoning that support the proposed rezoning. The first factor was the change in consumer preferences caused by COVID-19. Key West residents and visitors, because of the virus, are more interested in dining and lounging outside while less willing to dine in doors. It is unknown exactly how long the effects of the virus will last but many expect the effects on in vs. outdoor preferences to last at least a few years. Outdoor floor area under the LDRs is treated the same as encloses development even though outdoor floor area generally creates less intense effects on and around the area.

One large factor that has changed since the imposition of the current zoning maps in 1997 is the construction and use of the boardwalk that wraps around the Property and buffers the structures from the ocean. The regulations of the HRCC-2 district were designed to prohibit structures near the water and multistory buildings to preserve the water views and access. The boardwalk constructed in 2000 beautifully preserves access and views of the Key West Bight for

the public. The regulations prohibiting construction and non-water-dependent uses near the water are less justified because of the popular boardwalk around the Property.

Tropical water temperatures and hurricane intensity have steadily increased since the imposition of the current zoning maps. The probability of a storm causing great destruction is higher now than ever before. As discussed herein, the Property has multiple significant uses and dimensions that are not in line with the LDRs so the Property would be better protected from destruction by a zoning change to HRCC-1, which would alleviate nearly all nonconformities and noncomplying uses.

(4) *Land use compatibility.* Whether, and the extent to which, the proposal would result in any incompatible land uses, considering the type and location of uses involved.

The proposal would not result in any incompatible land uses at the Property. By far, the most prevalent land use in the area and along the Key West Bight is restaurant, and restaurant is not an allowed use in the HRCC-2 district within 100 feet of the shoreline. The Property almost entirely surrounded by HRCC-1 zoned properties showing that the requested zoning district is compatible with the area.

(5) *Adequate public facilities.* Whether, and the extent to which, the proposal would result in demands on public facilities and services, exceeding the capacity of such facilities and services, existing or programmed, including transportation, water and wastewater services, solid waste disposal, drainage, recreation, education, emergency services, and similar necessary facilities and services. Rezoning does not constitute a concurrency determination, and the applicant will be required to obtain a concurrency determination pursuant to [chapter 94](#).

The impacts of the proposal would not generate additional public facility needs.

(6) *Natural environment.* Whether, and to the extent to which, the proposal would result in adverse impacts on the natural environment, including consideration of wetlands protection, preservation of groundwater aquifer, wildlife habitats, and vegetative communities.

The proposal would not create adverse impacts on the natural environment.

(7) *Economic effects.* Whether, and the extent to which, the proposal would adversely affect the property values in the area or the general welfare.

The proposal does not have any qualities that would decrease property values in the area or the general welfare. Additional outdoor seating would improve general welfare by giving more of the public the ability to dine outdoors. Additional outdoor seating will also generate increased tax revenues.

(8) *Orderly development.* Whether the proposal would result in an orderly and compatible land use pattern. Any negative effects on such pattern shall be identified.

The proposal if approved would result in an orderly and compatible land use pattern. The Property is currently surrounded almost entirely by HRCC-1 zoned properties.

(9) *Public interest; enabling act.* Whether the proposal would be in conflict with the public interest, and whether it is in harmony with the purpose and interest of the land development regulations in this subpart B and the enabling legislation.

The proposal would not conflict with the public interest. The proposal is in harmony with the purpose of the LDRs, which is to implement the land use and public facilities matters of the Comp Plan.

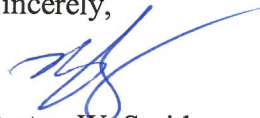
(10) *Other matters.* Other matters which the planning board and the city commission may deem appropriate.

None anticipated.

Conclusion

The Applicant respectfully requests approval of the rezoning of the Property from HRCC-2 to HRCC-1. Thank you for your consideration and work on this matter.

Sincerely,



Barton W. Smith

Enclosures

EXHIBIT A

Legal Description

PARCEL A: IN THE CITY OF KEY WEST, MONROE COUNTY, FLORIDA, AND BEING PART OF LOT 1, SQUARE 5, ACCORDING TO THE MAP OF SAID CITY OF KEY WEST, COMMENCING AT A POINT 129 FEET FROM THE CORNER OF FRONT AND SIMONTON STREETS AND RUNNING THENCE IN A NORTHEASTERLY DIRECTION 273 FEET TO THE WATERS AND HARBOR OF KEY WEST; THENCE ALONG THE WATERS OF SAID ISLAND IN A SOUTHEASTERLY DIRECTION 216 FEET; THENCE IN A SOUTHWESTERLY DIRECTION 328 FEET; THENCE IN A NORTHWESTERLY DIRECTION 108 FEET; THENCE AT RIGHT ANGLES IN A NORTHEASTERLY DIRECTION 55 FEET; THENCE AT RIGHT ANGLES IN A NORTHWESTERLY DIRECTION 108 FEET TO THE POINT OF BEGINNING.

EXCEPTING:

PARCEL B:

COMMENCING AT A POINT ON FRONT STREET WHICH IS 129 FEET NORTHEASTERLY FROM THE SOUTHEASTERLY CORNER OF FRONT AND SIMONTON STREETS, AND RUNNING THENCE IN A NORTHEASTERLY DIRECTION 75 FEET; THENCE AT RIGHT ANGLES IN A SOUTHEASTERLY DIRECTION AND PARALLEL WITH SIMONTON STREET 216 FEET; THENCE AT RIGHT ANGLES IN A SOUTHWESTERLY DIRECTION AND PARALLEL WITH FRONT STREET 130 FEET; THENCE AT RIGHT ANGLES IN A NORTHWESTERLY DIRECTION AND PARALLEL WITH SIMONTON STREET 108 FEET; THENCE AT RIGHT ANGLES IN A NORTHEASTERLY DIRECTION AND PARALLEL WITH FRONT STREET 55 FEET; THENCE AT RIGHT ANGLES IN A NORTHWESTERLY DIRECTION AND PARALLEL WITH SIMONTON STREET 108 FEET OUT TO THE POINT OR PLACE OF BEGINNING.

TOGETHER THE FOLLOWING DESCRIBED PROPERTY:

PARCEL C: A PARCEL OF FILLED SOVEREIGNTY SUBMERGED LANDS IN SECTION 31, TOWNSHIP 67 SOUTH, RANGE 25 EAST, CITY OF KEY WEST, MONROE COUNTY, FLORIDA, LYING IN KEY WEST BIGHT AND ADJOINING LOT 1, SQUARE 5, ACCORDING TO THE MAP OF SAID CITY OF KEY WEST AS RECORDED IN O.R. BOOK 524, PAGES 4 AND 5, OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED BY "METES AND BOUNDS" AS FOLLOWS:

COMMENCE AT THE INTERSECTION OF SOUTHEASTERLY RIGHT-OF-WAY LINE OF FRONT STREET WITH THE NORTHEASTERLY RIGHT-OF-WAY LINE OF SIMONTON STREET AS SHOWN ON SAID MAP; THENCE NORTH 56°03'25" EAST ALONG SAID SOUTHEASTERLY RIGHT-OF-WAY LINE OF FRONT STREET FOR 402.00 FEET TO THE MOST NORTHERLY CORNER OF SAID LOT 1, SQUARE 5, AND THE POINT OF BEGINNING OF THE HEREINAFTER DESCRIBED PARCEL; THENCE CONTINUE NORTH 56°03'25" EAST ALONG SAID SOUTHEASTERLY RIGHT-OF-WAY LINE FOR 13.00 FEET TO AN INTERSECTION WITH THE MEAN HIGH WATER LINE AS LOCATED BY POST, BUCKLEY, SCHUH & JERNIGAN, INC., ON NOVEMBER 1, 1983, SAID INTERSECTION BEING ON THE OUTSIDE FACE OF AN EXISTING STEEL/CONCRETE BULKHEAD; THENCE MEANDER SAID MEAN HIGH WATER LINE FOR THE FOLLOWING TWENTY-SEVEN (27) COURSES (THE FIRST 23 COURSES BEING COINCIDENT WITH THE OUTSIDE FACE OF SAID BULKHEAD):

(1) S 33° 53' 14" E FOR 9.29 FEET; (2) N 56° 52' 00" E FOR 19.11 FEET; (3) N 56° 36' 14" E FOR 21.80 FEET (4) N 57° 03' 46" E FOR 29.23 FEET; (5) S 34° 35' 53" E FOR 31.92 FEET; (6) S 31° 27' 12" E FOR 24.03 FEET; (7) S 26° 13' 19" E FOR 5.33 FEET, (8) S 25° 18' 04" W FOR 9.14 FEET (9) S 71° 03' 14" W FOR 4.63 FEET; (10) S 65° 46' 50" W FOR 9.83 FEET, (11) S 51° 19' 07" W FOR 6.00 FEET; (12) S 56° 41' 19" W FOR 26.10 FEET; (13) S 57° 24' 58" W FOR 15.03 FEET; (14) S 19° 44' 24" W FOR 4.79 FEET; (15) S 10° 19' 49" E FOR 4.10 FEET; (16) S 41° 48' 42" E FOR 13.18 FEET, (17) S 28° 56' 34" E FOR 18.75 FEET; (18) N 85° 55' 13" E FOR 13.60 FEET (19) S 85° 37' 56" E for 16.02 feet; (20) N 76° 23' 21" E FOR 7.11 FEET; (21) N 80° 15' 29" E FOR 9.45 FEET; (22) S 45° 32' 14" E FOR 9.88 FEET; (23) S 35° 41' 04" E FOR 20.35 FEET, (24) S 45° 54' 55" E FOR 16.83 FET; (25) S 55° 46' 47" E FOR 15.46 FEET; (26) S 33° 32' 13" E FOR 14 .14 FEET; (27) S09° 51' 47" E FOR 7.04 FEET TO AN INTERSECTION WITH THE NORTHEASTERLY PROLONGATION OF THE SOUTHEASTERLY LINE OF SAID LOT 1, SQUARE 5, SAID INTERSECTION BEING ALSO THE POINT OF TERMINATION OF SAID MEAN HIGH WATER LINE; THENCE S 56° 03' 25" W ALONG SAID NORTHEASTERLY PROLONGATION FOR 55.90 FEET TO THE MOST EASTERLY CORNER OF SAID LOT 1, THENCE N 33° 56' 33" W ALONG THE NORTHEASTERLY LINE OF SAID LOT 1 FOR 216.00 FEET TO THE POINT OF BEGINNING.

AND

PARCEL D: TOGETHER WITH THE FOLLOWING DESCRIBED PROPERTY DESCRIBED IN THAT CERTAIN DISCLAIMER RECORDED IN OFFICIAL RECORDS BOOK 2331, PAGE 862, OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA:

A PARCEL OF SUBMERGED LAND LAYING IN THE KEY WEST BIGHT, MONROE COUNTY, FLORIDA AND BEING ADJACENT TO LOT 1, SQUARE 5, ACCORDING TO WILLIAM A. WHITEHEAD'S MAP OF THE CITY OF KEY WEST, DELINEATED IN FEBRUARY, 1829, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE INTERSECTION OF THE NORTHEASTERLY RIGHT -OF-WAY LINE OF SIMONTON STREET AND THE SOUTHEASTERLY RIGHT-OF-WAY LINE OF FRONT STREET; THENCE N 56° 03'25" E ALONG THE SAID SOUTHEASTERLY RIGHT -OF -WAY LINE OF FRONT STREET AND THE EXTENDED SOUTHEASTERLY RIGHT-OF-WAY LINE OF FRONT STREET FOR 486 .50 FEET; THENCE S 22°04'05" W ALONG AN EXTENDED PART OF A CONCRETE DOCK FOR A DISTANCE OF 36 .08 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE S 22°04'05" W ALONG SAID DOCK FOR A DISTANCE OF 10.00 FEET; THENCE S 67°23'02" E ALONG THE SOUTHEAST SIDE OF A CONCRETE DOCK FOR A DISTANCE OF 362.78 FEET; THENCE N 22°36'58" E FOR A DISTANCE OF 10 .00 FEET; THENCE N 67°23'02" W ALONG THE NORTHWEST SIDE OF SAID DOCK FOR A DISTANCE OF 362.88 FEET BACK TO THE POINT OF BEGINNING.

EXHIBIT B

Regulation	Currently	HRCC-2	HRCC-1
Use	Restaurant	Only water-dependent uses within 30' from ocean only water-related uses within 100' from ocean Sec. 122-717	Restaurant
Height/Stories	Mostly 2-story buildings 0' from ocean 3-story tower	Only one-story allowed within 100' from ocean Sec. 122-720(3)	35'
Max Floor Area Ratio	0.69	0.5	1
Front Setback	0	10'	0
Side Setback	0	7.5'	2.5'
Minimum Open Space	Approximately 10%	50% within 100' from ocean 30% excepting first 100' from ocean Sec. 122-720(4)	30%
Ocean Setback	0	Only water related uses within 100' Sec. 122-717	0

Verification Form



**City of Key West
Planning Department
Verification Form**
(Where Applicant is an entity)

I, BARTON W. SMITH, in my capacity as AUTHORIZED MEMBER
(print name) (print position; president, managing member)
 of SMITH HAWKS, PL
(print name of entity)

being duly sworn, depose and say that I am the Authorized Representative of the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

700 FRONT STREET, KEY WEST, FLORIDA 33040
Street address of subject property

I, the undersigned, declare under penalty of perjury under the laws of the State of Florida that I am the Authorized Representative of the property involved in this application; that the information on all plans, drawings and sketches attached hereto and all the statements and answers contained herein are in all respects true and correct.

In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.


Signature of Applicant

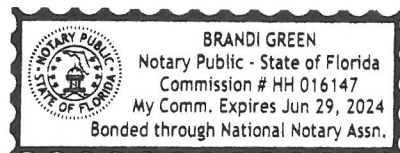
Subscribed and sworn to (or affirmed) before me on this 30th day of April by 2021
date
Barton W. Smith
Name of Applicant

He/She is personally known to me or has presented _____ as identification.


Notary's Signature and Seal

Brandi Green
Name of Acknowledger typed, printed or stamped

HH 016147
Commission Number, if any



Authorization Form



**City of Key West
Planning Department**

Authorization Form
(Where Owner is a Business Entity)

Please complete this form if someone other than the owner is representing the property owner in this matter.

I, MATTHEW STRUNK as
Please Print Name of person with authority to execute documents on behalf of entity

AUTHORIZED PERSON of FOD MARINA 1, LLC
Name of office (President, Managing Member) *Name of owner from deed*
authorize SMITH HAWKS, PL / BARTON W. SMITH, ESQ.
ANTHONY J. DAVILA, ESQ.
Please Print Name of Representative

to be the representative for this application and act on my/our behalf before the City of Key West.

Matthew Strunk
Signature of person with authority to execute documents on behalf of entity owner

Subscribed and sworn to (or affirmed) before me on this 4/23/21
Date

by Matthew Strunk
Name of person with authority to execute documents on behalf of entity owner

He/She is personally known to me or has presented _____ as identification.

Marie Cerulli
Notary's Signature and Seal

Marie Cerulli
Name of Acknowledger typed, printed or stamped

MARIE CERULLI
NOTARY PUBLIC-STATE OF NEW YORK
No. 01CE5015137
Qualified in Suffolk County
My Commission Expires 07-12-2023

Commission Number, if any



**City of Key West
Planning Department**

Authorization Form
(Where Owner is a Business Entity)

Please complete this form if someone other than the owner is representing the property owner in this matter.

I, William L. Smith, Jr. as
Please Print Name of person with authority to execute documents on behalf of entity

Authorized Member of Benicia Partners, LLC
Name of office (President, Managing Member) *Name of owner from deed*

authorize Smith Hawks, PL
Please Print Name of Representative

to be the representative for this application and act on my/our behalf before the City of Key West.

[Signature]
Signature of person with authority to execute documents on behalf of entity owner

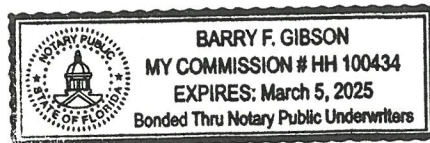
Subscribed and sworn to (or affirmed) before me on this 4/30/21
Date

by William L. Smith, Jr.
Name of person with authority to execute documents on behalf of entity owner

He/She is personally known to me or has presented _____ as identification.

[Signature]
Notary's Signature and Seal

Barry Gibson
Name of Acknowledger typed, printed or stamped



Commission Number, if any



**City of Key West
Planning Department**

Authorization Form
(Where Owner is a Business Entity)

Please complete this form if someone other than the owner is representing the property owner in this matter.

I, Barton W. Smith as
Please Print Name of person with authority to execute documents on behalf of entity

Manager of Smith Family Fund 1, LLC
Name of office (President, Managing Member) Name of owner from deed

authorize Smith Hawks, PL
Please Print Name of Representative

to be the representative for this application and act on my/our behalf before the City of Key West.

[Signature]
Signature of person with authority to execute documents on behalf of entity owner

Subscribed and sworn to (or affirmed) before me on this 30th day of April, 2021
Date

by Barton W. Smith
Name of person with authority to execute documents on behalf of entity owner

He/She is personally known to me or has presented _____ as identification.

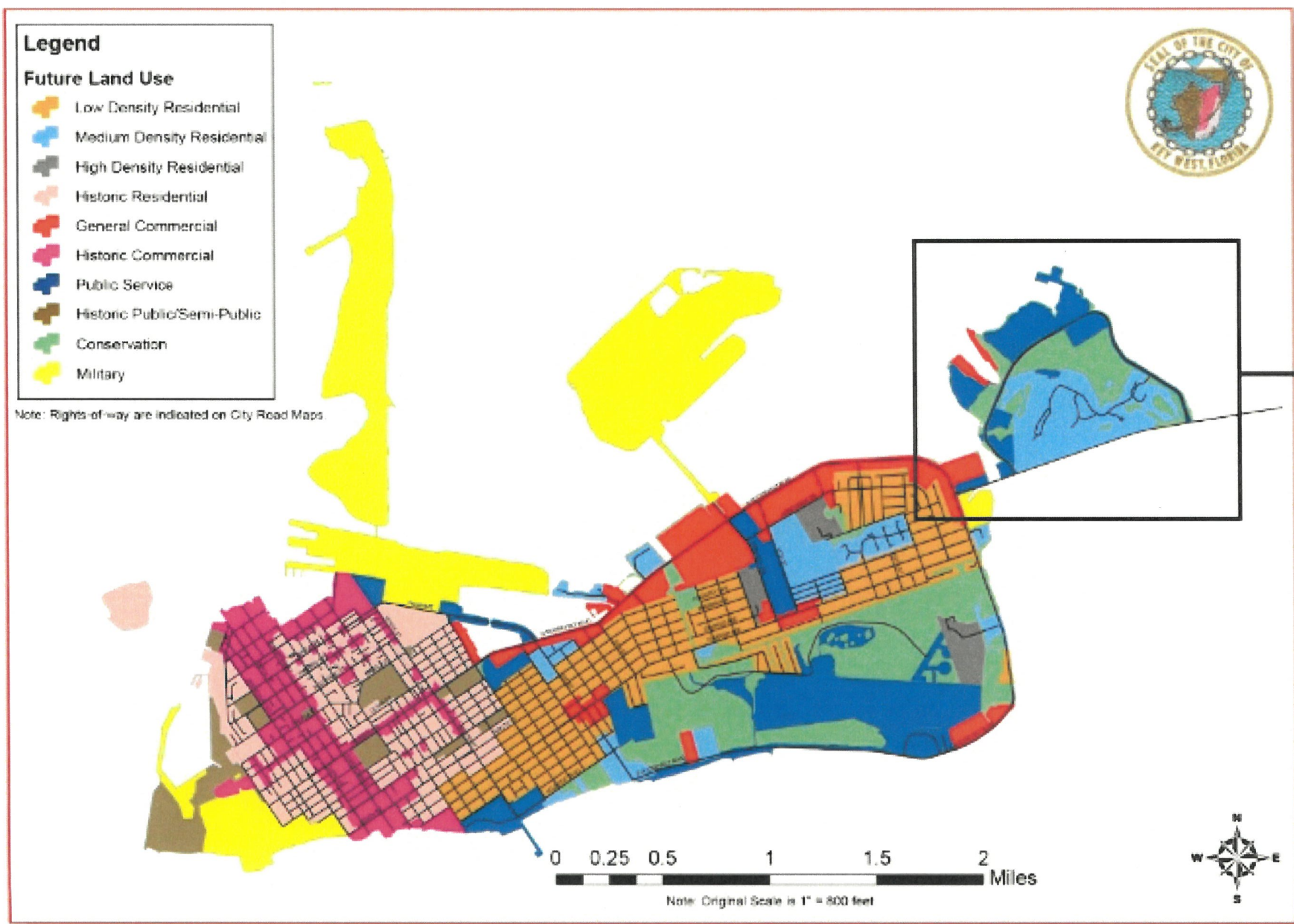
Brandi Green
Notary's Signature and Seal

Brandi Green
Name of Acknowledger typed, printed or stamped

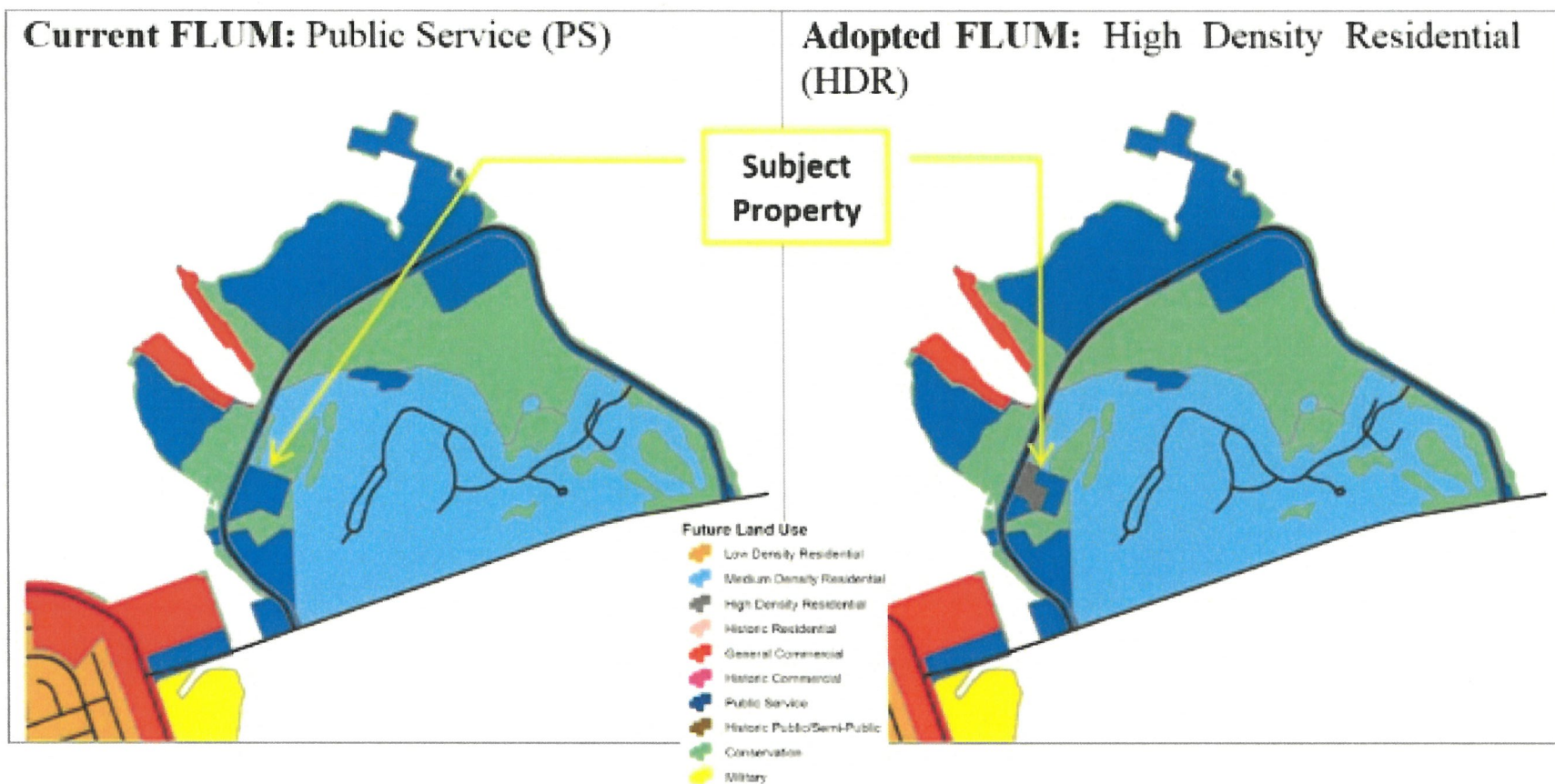
HH 016147
Commission Number, if any

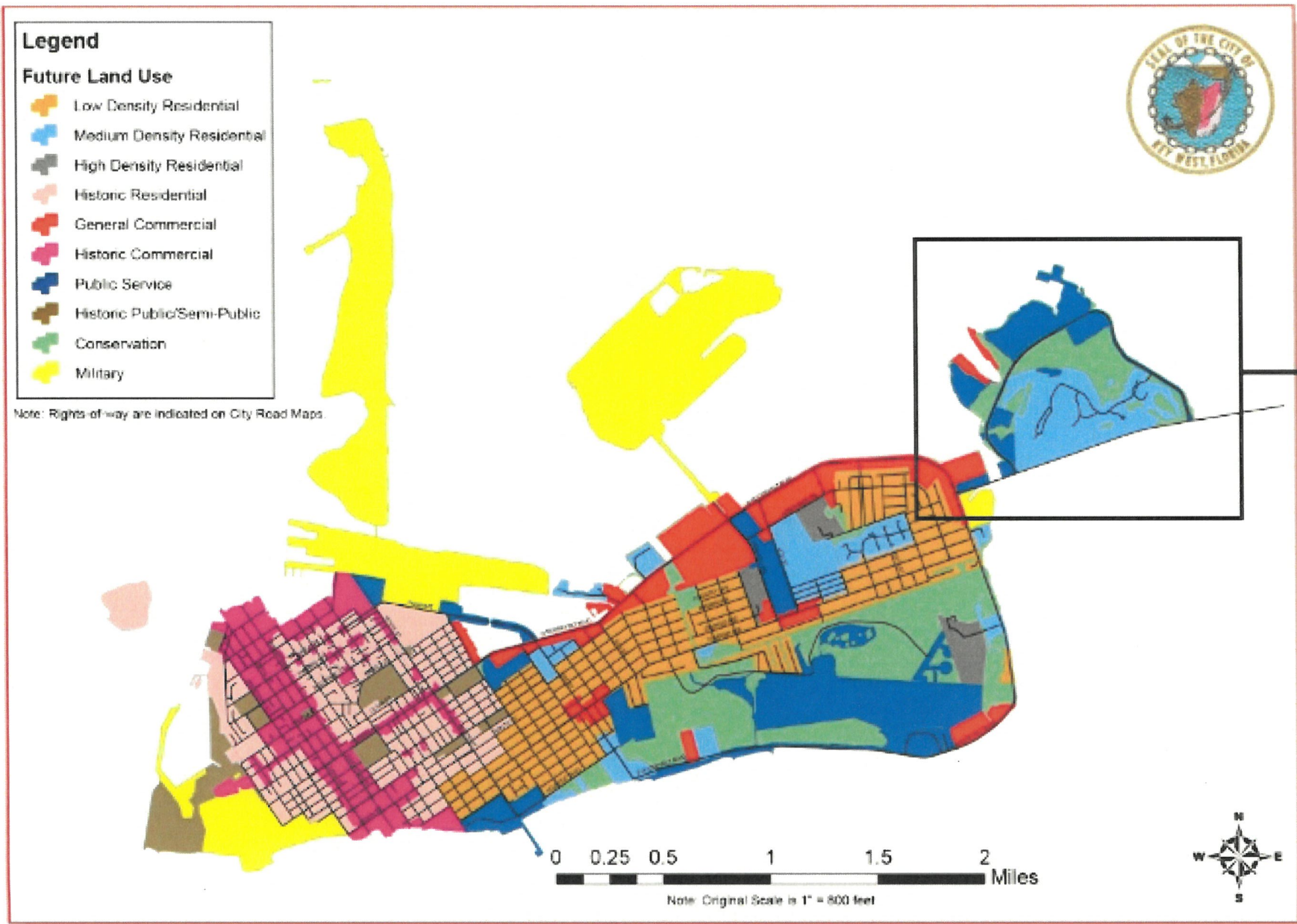


Boundary Survey

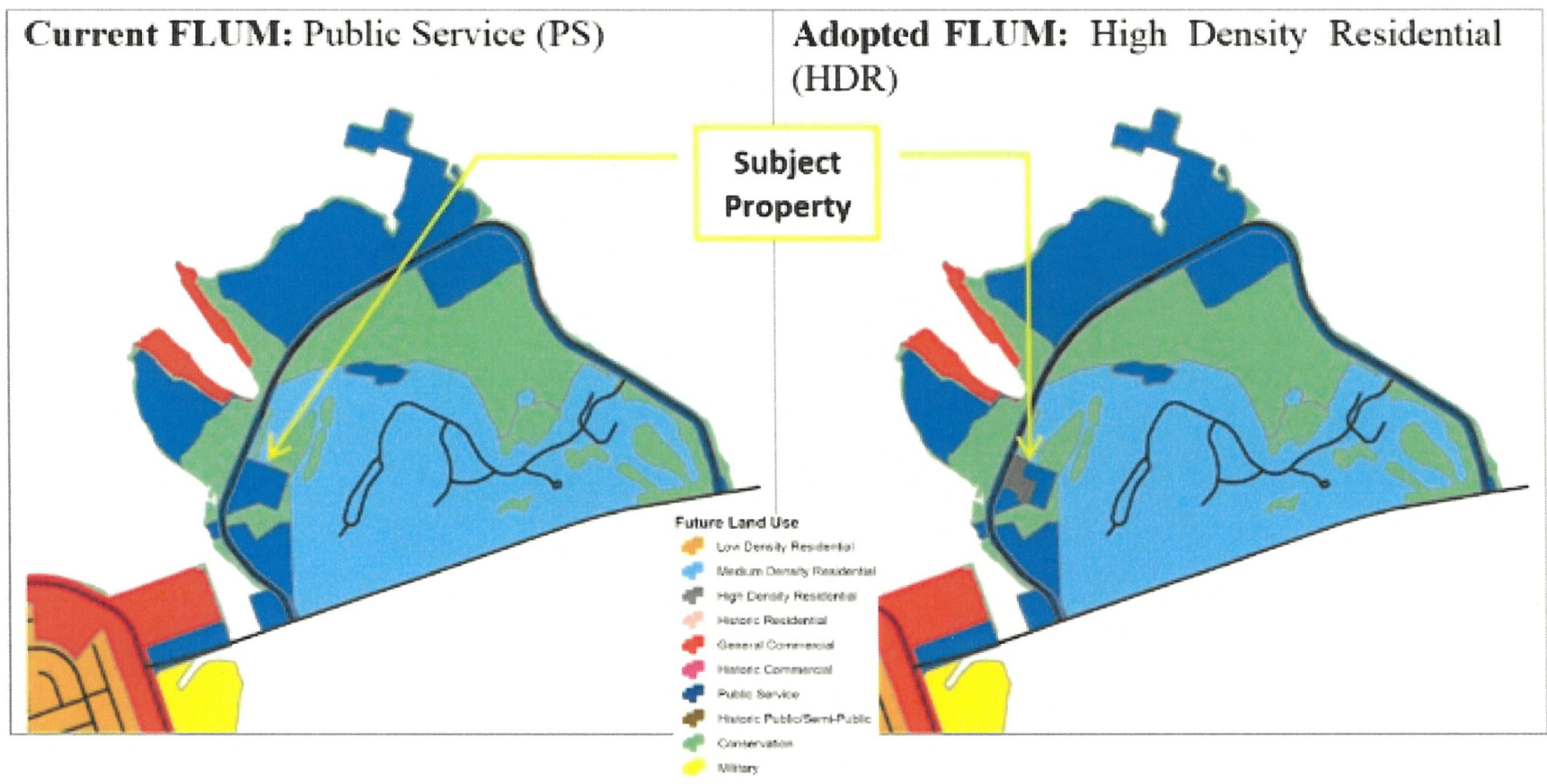


MAP FLU - 1, CITY OF KEY WEST - 2030 FUTURE LAND USE MAP



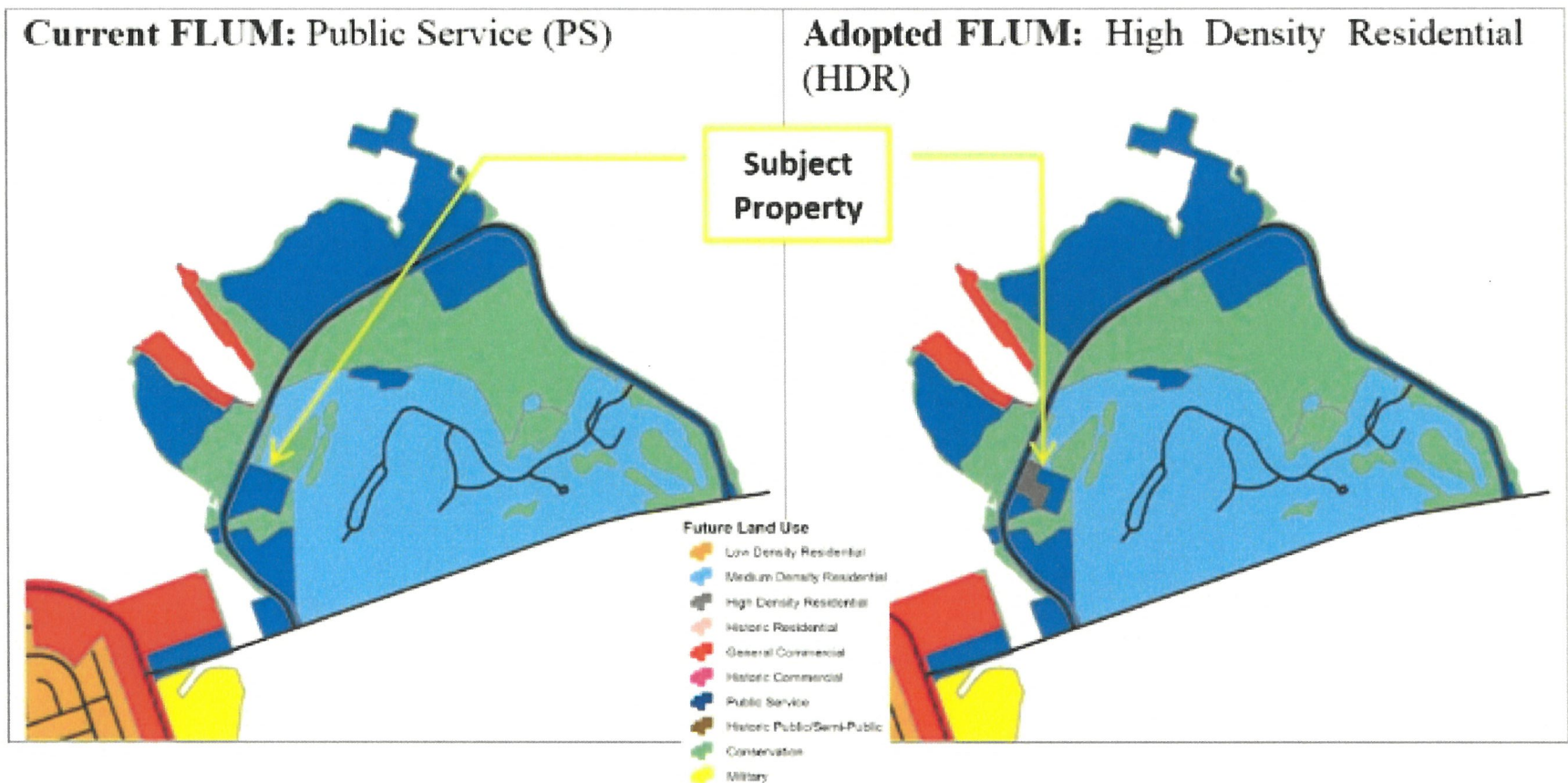


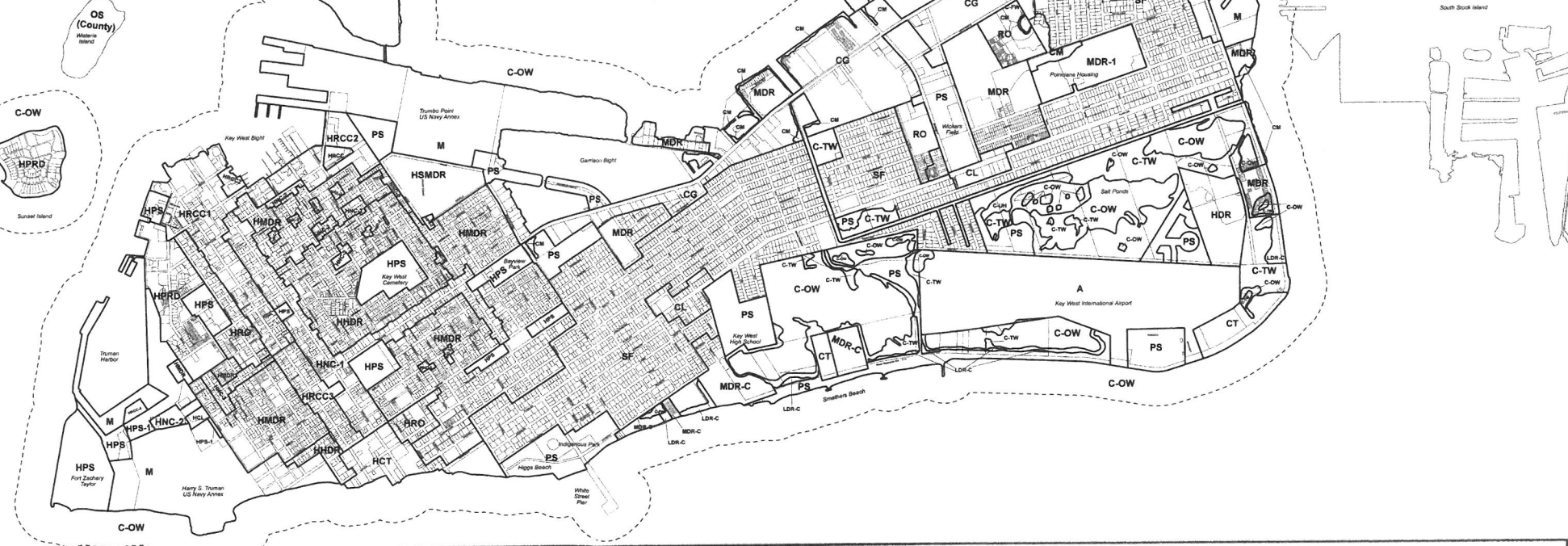
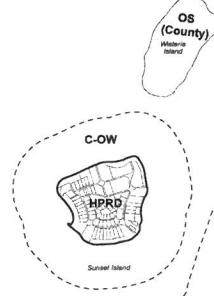
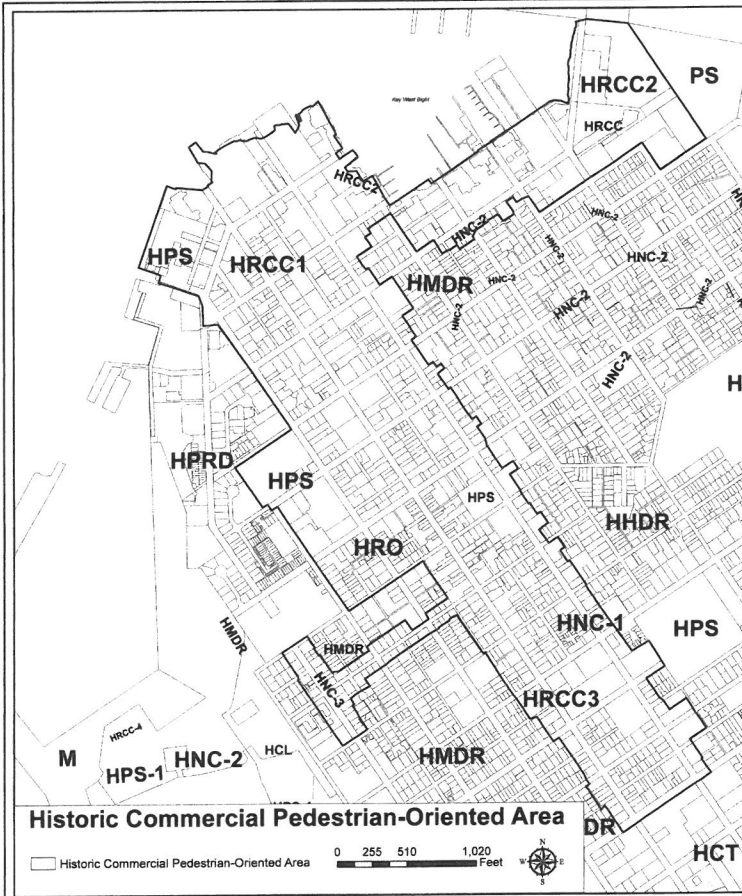
MAP FLU - 1, CITY OF KEY WEST - 2030 FUTURE LAND USE MAP





MAP FLU - 1, CITY OF KEY WEST - 2030 FUTURE LAND USE MAP





OFFICIAL ZONING MAP OF THE CITY OF KEY WEST, FLORIDA

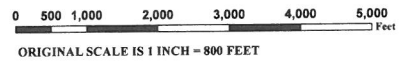
LEGEND

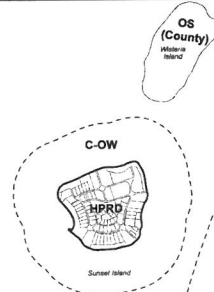
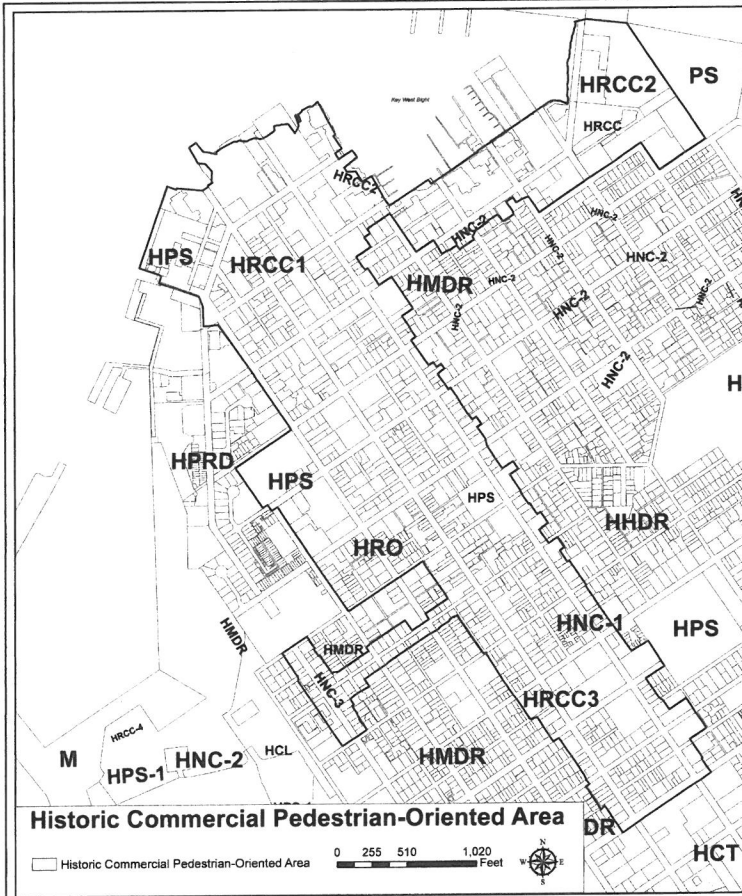
A	Airport	HNC (1 - 3)	Historic Neighborhood Commercial 1 - 3	MDR	Medium Density Residential
C-FW	Conservation- Freshwater Wetlands	HPRD	Historic Planned Redevelopment and Development District	MDR-1	Medium Density Residential 1
C-OW	Conservation- Outstanding Waters of the State	HPS	Historic Public and Semi-public Services	MDR-C	Coastal Medium Density Residential
C-TW	Conservation- Tidal Wetlands of the State	HPS (1)	Historic Public and Semi-public Services 1	PRD	Planned Redevelopment and Development District
CAH	Conservation- Upland Hammock	HPS (2)	Historic Public and Semi-public Services 2	PS	Public Services
CG	General Commercial	HRC (1)	Historic Residential Commercial Core 1	RO	Residential / Office
CL	Limited Commercial	HRC (2)	Historic Residential Commercial Core 2	SF	Single Family
CM	Conservation- Mangrove	HRC (3)	Historic Residential Commercial Core 3		
CT	Salt Pond Commercial Tourist	HRC (4)	Historic Residential Commercial Core 4		
HCL	Historic Limited Commercial	HRO	Historic Residential / Office		
HCT	Historic Commercial Tourist	HMDR	Historic Medium Density Residential		
HDR	High Density Residential	LDR-C	Coastal Low Density Residential		
HMDR	Historic Medium Density Residential	M	Military		

Zoning delineations based on Future Land Use Map (FLUM) Adopted October 24, 2012.
 Zoning designation Historic Special Medium Density Residential (HSMDR) adopted September 19, 2012.
 Parcel map updated on April, 2014.
 THIS PROPERTY LOCATION MAP HAS BEEN COMPILED FOR PURPOSES OF IDENTIFYING ZONING DISTRICTS.
 IT IS NOT A SURVEY.
 UPON FOR TITLE PURPOSES. NEITHER THE CITY OF KEY WEST NOR THE OFFICE OF THE PROPERTY APPRAISER ASSUMES RESPONSIBILITY FOR ANY ERRORS OR OMISSIONS

ATTESTED:
 Donald Leland Craig, AICP, City Planner _____ Date _____

REVISIONS:
 1. _____
 2. _____
 3. _____
 4. _____
 5. _____





OFFICIAL ZONING MAP OF THE CITY OF KEY WEST, FLORIDA

LEGEND

A	Airport	HNC (1 - 3)	Historic Neighborhood Commercial 1 - 3	MDR	Medium Density Residential
C-FW	Conservation - Outstanding Wetlands of the State	HPRD	Historic Planned Redevelopment and Development District	MDR (1)	Medium Density Residential 1
C-OW	Conservation - Outstanding Wetlands of the State	HPS	Historic Public and Semi-public Services	MDR-C	Coastal Medium Density Residential
C-TW	Conservation - Total Wetlands of the State	HPS (1)	Historic Public and Semi-public Services 1	PRD	Planned Redevelopment and Development District
CAH	Conservation - Upland Wetlands	HPS (2)	Historic Public and Semi-public Services 2	PS	Public Services
CG	General Commercial	HPS (3)	Historic Public and Semi-public Services 3	RO	Residential / Office
CL	Limited Commercial	HRCC (1)	Historic Residential Commercial Core 1	SF	Single Family
CM	Conservation - Mangrove	HRCC (2)	Historic Residential Commercial Core 2		
CT	Salt Pond Commercial Tourist	HRCC (3)	Historic Residential Commercial Core 3		
HCL	Historic Limited Commercial	HRCC (4)	Historic Residential Commercial Core 4		
HCT	Historic Commercial Tourist	HRO	Historic Residential / Office		
HDR	High Density Residential	HSMDR	Historic Special Medium Density Residential		
HHDR	Historic High Density Residential	LDR-C	Coastal Low Density Residential		
HMDR	Historic Medium Density Residential	M	Military		

Zoning delineations based on Future Land Use Map (FLUM) Adopted October 24, 2012.

Zoning designation Historic Special Medium Density Residential (HSMDR) adopted September 19, 2012.

Parcel map updated on April, 2014

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ATTESTED:

Donald Leland Craig, AICP, City Planner _____ Date _____

REVISIONS:

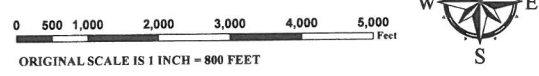
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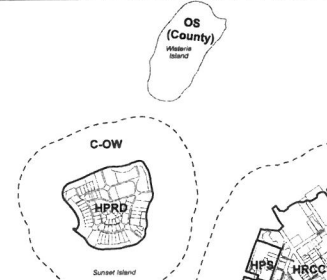
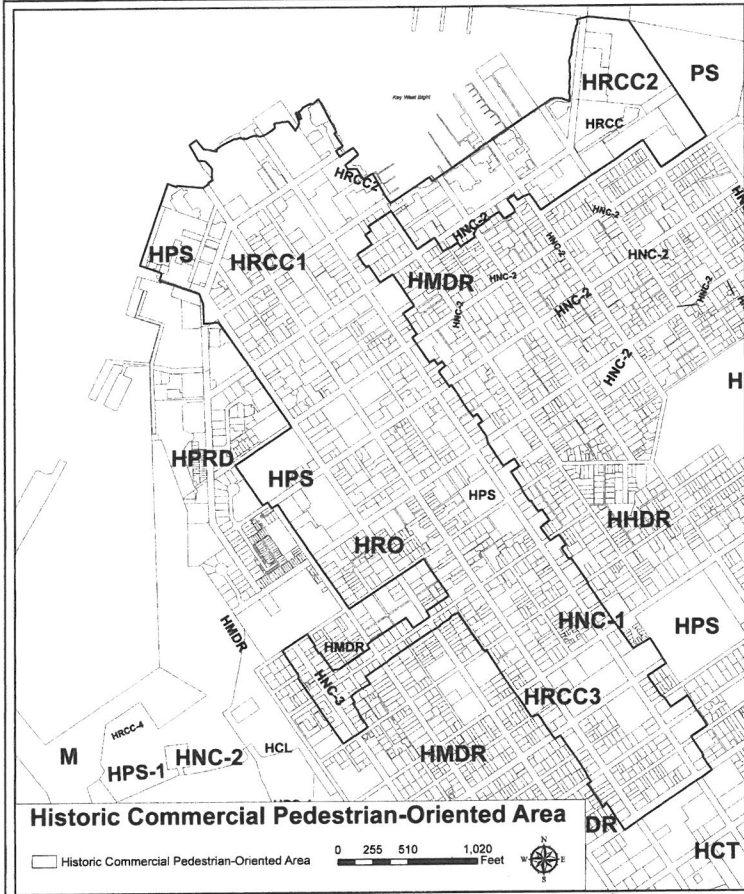
2. _____

3. _____

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5. _____





OFFICIAL ZONING MAP OF THE CITY OF KEY WEST, FLORIDA

LEGEND

A	Airport	HNC (1-3)	Historic Neighborhood Commercial 1-3	MDR	Medium Density Residential
C-FW	Conservation-Freshwater Wetlands	HPRD	Historic Planned Redevelopment and Development District	MDR (1)	Medium Density Residential 1
C-OW	Conservation-Outstanding Waters of the State	HPS	Historic Public and Semi-public Services	MDR-C	Coastal Medium Density Residential
C-TW	Conservation-Tidal Wetlands of the State	HPS (1)	Historic Public and Semi-public Services 1	PRD	Planned Redevelopment and Development District
C-UH	Conservation-Upland Hammock	HPS (2)	Historic Public and Semi-public Services 2	PS	Public Services
CG	General Commercial	HPS (3)	Historic Public and Semi-public Services 3	PS (1)	Public Services 1
CL	Limited Commercial	HRCC	Historic Residential Commercial Core	PS (2)	Public Services 2
CM	Conservation-Mangrove	HRCC (1)	Historic Residential Commercial Core 1	PS (3)	Public Services 3
CT	Salt Pond Commercial Tourist	HRCC (2)	Historic Residential Commercial Core 2	PS (4)	Public Services 4
HCL	Historic Limited Commercial	HRCC (3)	Historic Residential Commercial Core 3	PS (5)	Public Services 5
HCT	Historic Commercial Tourist	HRCC (4)	Historic Residential Commercial Core 4	PS (6)	Public Services 6
HDR	High Density Residential	HRO	Historic Residential / Office	PS (7)	Public Services 7
HHDR	Historic High Density Residential	HSMDR	Historic Special Medium Density Residential	PS (8)	Public Services 8
HMDR	Historic Medium Density Residential	LDR-C	Coastal Low Density Residential	PS (9)	Public Services 9
		M	Military	PS (10)	Public Services 10

Zoning designations based on Future Land Use Map (FLUM) Adopted October 24, 2012.

Zoning designation Historic Special Medium Density Residential (HSMDR) adopted September 19, 2012.

Parcel map updated on: April, 2014

THIS PROPERTY LOCATION MAP HAS BEEN COMPILED FOR PURPOSES OF IDENTIFYING ZONING DISTRICTS.

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UPON FOR TITLE PURPOSES, NEITHER THE CITY OF KEY WEST NOR THE OFFICE OF THE PROPERTY APPRAISER ASSUMES RESPONSIBILITY FOR ANY ERRORS OR OMISSIONS.

ATTESTED:

Donald Leland Craig, AICP, City Planner _____ Date _____

REVISIONS:

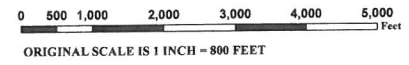
1. _____

2. _____

3. _____

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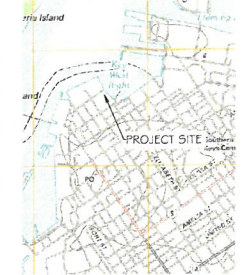


Line #	Length	Direction
L1	8.00' MEAS	N33°46'46"W MEAS
L2	1.71' MEAS	S89°59'08"W MEAS
L3	1.605' MEAS	N33°56'35"W MEAS
L4	11.87' MEAS	N9°40'23"W MEAS
L5	9.77' MEAS	N33°32'13"W MEAS
L6	1.646' MEAS	N55°12'30"W MEAS
L7	3.82' MEAS	S66°47'54"W MEAS
L8	8.00' MEAS	N60°14'15"W MEAS
L9	32.84' MEAS	N27°11'56"W MEAS
L10	5.25' MEAS	N56°24'25"W MEAS
L11	3.50' MEAS	N76°29'25"W MEAS
L12	5.86' MEAS	S78°35'42"W MEAS
L13	7.66' MEAS	S65°49'10"W MEAS
L14	23.94' MEAS	N85°11'00"W MEAS
L15	7.81' MEAS	S66°07'49"W MEAS
L16	3.10' MEAS	N12°27'49"E MEAS
L17	28.46' MEAS	N34°49'48"W MEAS
L18	4.87' MEAS	N18°57'53"W MEAS
L19	37.69' MEAS	N54°40'08"E MEAS
L20	26.20' MEAS	N61°47'47"E MEAS
L21	9.12' MEAS	N38°24'37"E MEAS
L22	4.21' MEAS	N3°58'31"E MEAS
L23	4.29' MEAS	N25°52'17"W MEAS
L24	55.74' MEAS	N33°59'20"W MEAS
L25	2.88' MEAS	S88°19'59"W MEAS
L26	3.99' MEAS	S73°40'41"W MEAS
L27	63.98' MEAS	S55°51'04"W MEAS

MAP OF ALTA / NSPS LAND TITLE SURVEY

KEY WEST BIGHT

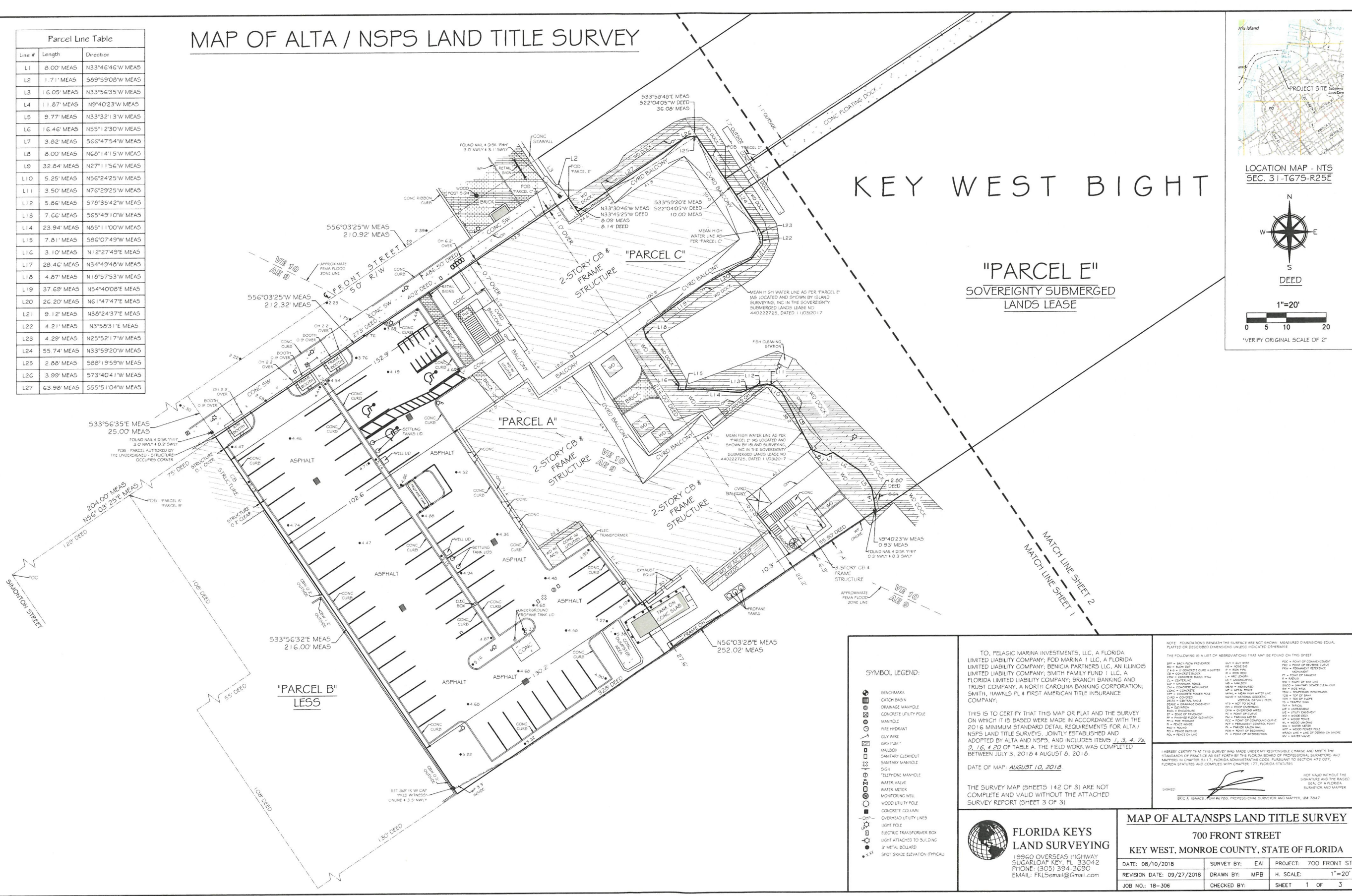
"PARCEL E" SOVEREIGNTY SUBMERGED LANDS LEASE



LOCATION MAP - NTS
SEC. 31-T675-R25E



1"=20'
0 5 10 20
*VERIFY ORIGINAL SCALE OF 2"



SYMBOL LEGEND:

- BENCHMARK
- CATCH BASIN
- DRAINAGE MANHOLE
- GROUNDWATER UTILITY POLE
- MANHOLE
- FIRE PROPAGANT
- GUY WIRE
- GAS FLAM
- MALBON
- SANITARY CLEANOUT
- SANITARY MANHOLE
- SICI
- TELEPHONE MANHOLE
- WATER VALVE
- WATER METER
- MONITORING WELL
- WOOD UTILITY POLE
- CONCRETE COLUMN
- OVERHEAD UTILITY LINES
- LIGHT POLE
- ELECTRIC TRANSFORMER BOX
- LIGHT ATTACHED TO BUILDING
- 3" METAL BOLLARD
- ● SPOT GRADE ELEVATION (TYPICAL)

TO, PELAGIC MARINA INVESTMENTS, LLC, A FLORIDA LIMITED LIABILITY COMPANY; FOD MARINA I, LLC, A FLORIDA LIMITED LIABILITY COMPANY; BENICIA PARTNERS LLC, AN ILLINOIS LIMITED LIABILITY COMPANY; SMITH FAMILY FUND I, LLC, A FLORIDA LIMITED LIABILITY COMPANY; BRANCH BANKING AND TRUST COMPANY, A NORTH CAROLINA BANKING CORPORATION; SMITH, HAWKINS PL & FIRST AMERICAN TITLE INSURANCE COMPANY;

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA / NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 3, 4, 7a, 9, 16, & 20 OF TABLE A. THE FIELD WORK WAS COMPLETED BETWEEN JULY 3, 2018 & AUGUST 8, 2018.

DATE OF MAP: AUGUST 10, 2018

THE SURVEY MAP (SHEETS 1 & 2 OF 3) ARE NOT COMPLETE AND VALID WITHOUT THE ATTACHED SURVEY REPORT (SHEET 3 OF 3)

NOTE: FOUNDATIONS BENEATH THE SURFACE ARE NOT SHOWN. MEASURED DIMENSIONS EQUAL PLATTED OR DESCRIBED DIMENSIONS UNLESS INDICATED OTHERWISE.

THE FOLLOWING IS A LIST OF ABBREVIATIONS THAT MAY BE FOUND ON THIS SHEET:

BM = BENCH MARK	CB = CONCRETE CURB	CD = CONCRETE DECK	CH = CHIMNEY	CI = CONCRETE INLET	CL = CONCRETE CURB	CM = CONCRETE MASONRY	CO = CONCRETE	CP = CONCRETE POLE	CS = CONCRETE SLAB	CU = CONCRETE UNDERLAYMENT	CV = CONCRETE VALVE	DC = DRAINAGE CURB	DF = DRAINAGE FLOW	DI = DRAINAGE INLET	DM = DRAINAGE MANHOLE	DS = DRAINAGE SUMP	DT = DRAINAGE TANK	DU = DRAINAGE UNDERLAYMENT	EW = ELECTRIC WIRE	FL = FLOOR	FR = FLOOR FINISH	FS = FLOOR SLAB	GA = GAS	GL = GROUND LEVEL	GR = GRADE	GS = GROUND SURFACE	GW = GROUNDWATER	HW = HIGH WATER	IC = INTERIOR CURB	IL = INTERIOR LIGHT	IS = INTERIOR SLAB	IT = INTERIOR TANK	IV = INTERIOR VALVE	LC = LIGHT CURB	LD = LIGHT DRAIN	LE = LIGHT EXTERIOR	LI = LIGHT INTERIOR	LS = LIGHT SLAB	LV = LIGHT VALVE	MC = MASONRY CURB	MD = MASONRY DECK	ME = MASONRY EXTERIOR	MI = MASONRY INTERIOR	MS = MASONRY SLAB	MT = MASONRY TANK	NC = NORTH CURB	ND = NORTH DECK	NE = NORTH EXTERIOR	NI = NORTH INTERIOR	NS = NORTH SLAB	NT = NORTH TANK	OC = OVERHEAD CURB	OD = OVERHEAD DECK	OE = OVERHEAD EXTERIOR	OI = OVERHEAD INTERIOR	OS = OVERHEAD SLAB	OT = OVERHEAD TANK	PC = PORTLAND CEMENT	PD = PORTLAND DECK	PE = PORTLAND EXTERIOR	PI = PORTLAND INTERIOR	PS = PORTLAND SLAB	PT = PORTLAND TANK	RC = REINFORCED CONCRETE	RD = REINFORCED DECK	RE = REINFORCED EXTERIOR	RI = REINFORCED INTERIOR	RS = REINFORCED SLAB	RT = REINFORCED TANK	SC = SAND CONCRETE	SD = SAND DECK	SE = SAND EXTERIOR	SI = SAND INTERIOR	SS = SAND SLAB	ST = SAND TANK	TC = TYPICAL CURB	TD = TYPICAL DECK	TE = TYPICAL EXTERIOR	TI = TYPICAL INTERIOR	TS = TYPICAL SLAB	TT = TYPICAL TANK	WC = WOOD CURB	WD = WOOD DECK	WE = WOOD EXTERIOR	WI = WOOD INTERIOR	WS = WOOD SLAB	WT = WOOD TANK
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MAP OF ALTA/NSPS LAND TITLE SURVEY

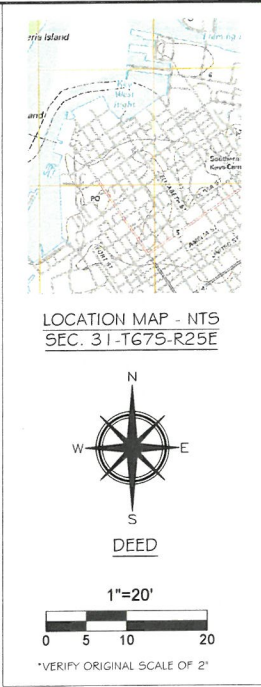
700 FRONT STREET

KEY WEST, MONROE COUNTY, STATE OF FLORIDA

DATE: 08/10/2018	SURVEY BY: EAI	PROJECT: 700 FRONT ST
REVISION DATE: 09/27/2018	DRAWN BY: MPB	H. SCALE: 1"=20'
JOB NO.: 18-306	CHECKED BY:	SHEET 1 OF 3

FLORIDA KEYS LAND SURVEYING
19960 OVERSEAS HIGHWAY
SUGARLOAF KEY, FL 33042
PHONE: (305) 394-3690
EMAIL: FKL5email@gmail.com

MAP OF ALTA / NSPS LAND TITLE SURVEY



KEY WEST BIGHT

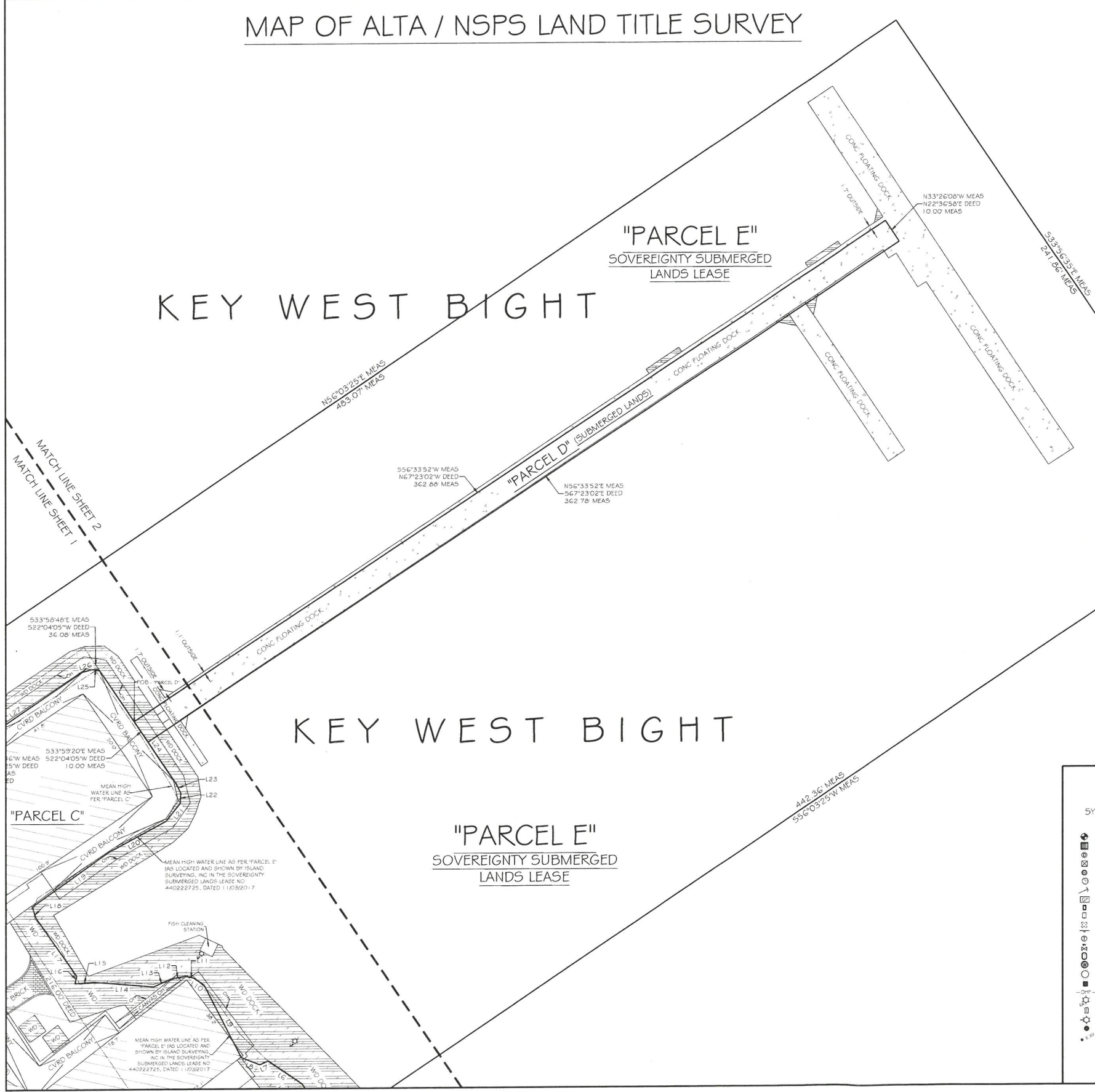
"PARCEL E"
SOVEREIGNTY SUBMERGED
LANDS LEASE

"PARCEL D" (SUBMERGED LANDS)

KEY WEST BIGHT

"PARCEL E"
SOVEREIGNTY SUBMERGED
LANDS LEASE

"PARCEL C"



<p>SYMBOL LEGEND:</p> <ul style="list-style-type: none"> □ BENCHMARK □ CATCH BASIN □ DRAINAGE MANHOLE □ CONCRETE UTILITY POLE □ MANHOLE □ FIRE HYDRANT □ GUY WIRE □ GAS PUMP □ VALVE □ SANITARY CLEANOUT □ SANITARY MANHOLE □ SIGN □ TELEPHONE MANHOLE □ WATER VALVE □ WATER METER □ MONITORING WELL □ WOOD UTILITY POLE □ CONCRETE COLUMN □ OVERHEAD UTILITY LINES □ LIGHT POLE □ ELECTRIC TRANSFORMER BOX □ LIGHT ATTACHED TO BUILDING □ METAL SQUARE □ SPOT GRADE ELEVATION (TYPICAL) 	<p>TO, PELAGIC MARINA INVESTMENTS, LLC, A FLORIDA LIMITED LIABILITY COMPANY; FOD MARINA I LLC, A FLORIDA LIMITED LIABILITY COMPANY; BENICIA PARTNERS LLC, AN ILLINOIS LIMITED LIABILITY COMPANY; SMITH FAMILY FUND I, LLC, A FLORIDA LIMITED LIABILITY COMPANY; BRANCH BANKING AND TRUST COMPANY, A NORTH CAROLINA BANKING CORPORATION; SMITH, HAWKLS PL & FIRST AMERICAN TITLE INSURANCE COMPANY;</p> <p>THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA / NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 3, 4, 7a, 9, 16, & 20 OF TABLE A. THE FIELD WORK WAS COMPLETED BETWEEN JULY 3, 2018 & AUGUST 8, 2018.</p> <p>DATE OF MAP: <u>AUGUST 10, 2018</u></p> <p>THE SURVEY MAP (SHEETS 1 & 2 OF 3) ARE NOT COMPLETE AND VALID WITHOUT THE ATTACHED SURVEY REPORT (SHEET 3 OF 3)</p>	<p>NOTE: FOUNDATIONS BENEATH THE SURFACE ARE NOT SHOWN. MEASURED DIMENSIONS EQUAL PLATTED OR DESCRIBED DIMENSIONS UNLESS INDICATED OTHERWISE.</p> <p>THE FOLLOWING IS A LIST OF ABBREVIATIONS THAT MAY BE FOUND ON THIS SHEET:</p> <table border="0"> <tr> <td>BR = BRICK</td> <td>CON = CONCRETE</td> <td>CONC = CONCRETE</td> <td>CONC = CONCRETE</td> </tr> <tr> <td>CP = CONCRETE PIER</td> <td>CS = CONCRETE SLAB</td> <td>CS = CONCRETE</td> <td>CS = CONCRETE</td> </tr> <tr> <td>CS = CONCRETE</td> <td>CS = CONCRETE</td> <td>CS = CONCRETE</td> <td>CS = CONCRETE</td> </tr> <tr> <td>CS = CONCRETE</td> <td>CS = CONCRETE</td> <td>CS = CONCRETE</td> <td>CS = CONCRETE</td> </tr> </table>	BR = BRICK	CON = CONCRETE	CONC = CONCRETE	CONC = CONCRETE	CP = CONCRETE PIER	CS = CONCRETE SLAB	CS = CONCRETE	CS = CONCRETE	CS = CONCRETE	CS = CONCRETE	CS = CONCRETE	CS = CONCRETE	CS = CONCRETE	CS = CONCRETE	CS = CONCRETE	CS = CONCRETE
	BR = BRICK	CON = CONCRETE	CONC = CONCRETE	CONC = CONCRETE														
CP = CONCRETE PIER	CS = CONCRETE SLAB	CS = CONCRETE	CS = CONCRETE															
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CS = CONCRETE	CS = CONCRETE	CS = CONCRETE	CS = CONCRETE															
<p>FLORIDA KEYS LAND SURVEYING 1996G OVERSEAS HIGHWAY SUGARLOAF KEY, FL 33042 PHONE: (305) 394-3690 EMAIL: FKLSEmail@Gmail.com</p>	<p>MAP OF ALTA/NSPS LAND TITLE SURVEY 700 FRONT STREET KEY WEST, MONROE COUNTY, STATE OF FLORIDA</p> <table border="1"> <tr> <td>DATE: 08/10/2018</td> <td>SURVEY BY: EAI</td> <td>PROJECT: 700 FRONT ST</td> </tr> <tr> <td>REVISION DATE: 09/27/2018</td> <td>DRAWN BY: MPB</td> <td>H. SCALE: 1"=20'</td> </tr> <tr> <td>JOB NO.: 18-306</td> <td>CHECKED BY:</td> <td>SHEET 2 OF 3</td> </tr> </table>	DATE: 08/10/2018	SURVEY BY: EAI	PROJECT: 700 FRONT ST	REVISION DATE: 09/27/2018	DRAWN BY: MPB	H. SCALE: 1"=20'	JOB NO.: 18-306	CHECKED BY:	SHEET 2 OF 3								
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JOB NO.: 18-306	CHECKED BY:	SHEET 2 OF 3																

Parcel Line Table		
Line #	Length	Direction
L1	8.00' MEAS	N33°46'46"W MEAS
L2	1.71' MEAS	S89°59'08"W MEAS
L3	16.05' MEAS	N33°56'35"W MEAS
L4	11.87' MEAS	N9°40'23"W MEAS
L5	9.77' MEAS	N33°32'13"W MEAS
L6	16.46' MEAS	N55°12'30"W MEAS
L7	3.82' MEAS	S66°47'54"W MEAS
L8	8.00' MEAS	N68°14'15"W MEAS
L9	32.84' MEAS	N27°11'56"W MEAS
L10	5.25' MEAS	N56°24'25"W MEAS
L11	3.50' MEAS	N76°29'25"W MEAS
L12	5.86' MEAS	S78°35'42"W MEAS
L13	7.66' MEAS	S65°49'10"W MEAS
L14	23.94' MEAS	N85°11'00"W MEAS
L15	7.81' MEAS	S66°07'49"W MEAS
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L23	4.29' MEAS	N25°52'17"W MEAS
L24	55.74' MEAS	N33°59'20"W MEAS
L25	2.88' MEAS	S88°19'55"W MEAS
L26	3.89' MEAS	S73°40'41"W MEAS
L27	63.98' MEAS	S55°51'04"W MEAS

MAP OF ALTA / NSPS LAND TITLE SURVEY

LOCATION MAP - NTS
SEC. 31-T675-R25E

N
W E
S DEED

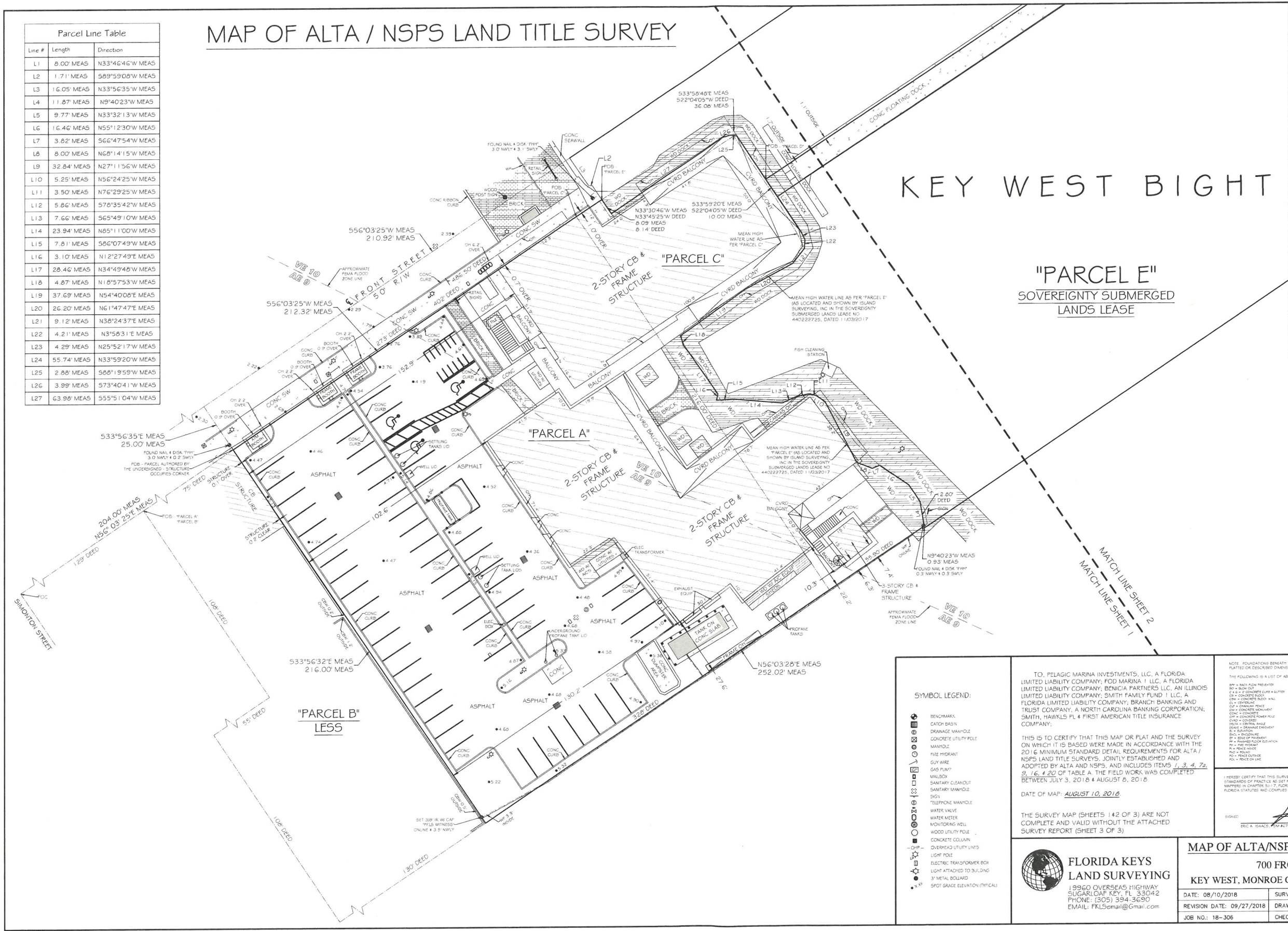
1"=20'

0 5 10 20

*VERIFY ORIGINAL SCALE OF 2"

KEY WEST BIGHT

"PARCEL E" SOVEREIGNTY SUBMERGED LANDS LEASE



SYMBOL LEGEND:

- BENCHMARK
- CATCH BASIN
- DRAINAGE MANHOLE
- CONCRETE UTILITY POLE
- MANHOLE
- PIPE HYDRANT
- GUY WIRE
- GAS PUMP
- MALBON
- SANITARY CLEANOUT
- SANITARY MANHOLE
- SIGN
- TELEPHONE MANHOLE
- WATER VALVE
- WATER METER
- WORKING WELL
- WOOD UTILITY POLE
- CONCRETE CULVERT
- OVERHEAD UTILITY LINES
- LIGHT POLE
- ELECTRIC TRANSFORMER BOX
- LIGHT ATTACHED TO BUILDING
- 3" METAL BOLLARD
- SPOT GRADE ELEVATION (TYPICAL)

TO, PELAGIC MARINA INVESTMENTS, LLC, A FLORIDA LIMITED LIABILITY COMPANY; FOD MARINA 1 LLC, A FLORIDA LIMITED LIABILITY COMPANY; BENICIA PARTNERS LLC, AN ILLINOIS LIMITED LIABILITY COMPANY; SMITH FAMILY FUND 1 LLC, A FLORIDA LIMITED LIABILITY COMPANY; BRANCH BANKING AND TRUST COMPANY, A NORTH CAROLINA BANKING CORPORATION; SMITH, HAWKLS PL 4 FIRST AMERICAN TITLE INSURANCE COMPANY;

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA / NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 3, 4, 7a, 9, 16, 17, 20 OF TABLE A. THE FIELD WORK WAS COMPLETED BETWEEN JULY 3, 2016 & AUGUST 8, 2016.

DATE OF MAP: AUGUST 10, 2016

THE SURVEY MAP (SHEETS 1 & 2 OF 3) ARE NOT COMPLETE AND VALID WITHOUT THE ATTACHED SURVEY REPORT (SHEET 3 OF 3)

**FLORIDA KEYS
LAND SURVEYING**
19960 OVERSEAS HIGHWAY
SUGARLOAF KEY, FL 33042
PHONE: (305) 394-3690
EMAIL: FKL5email@gmail.com

NOTE: FOUNDATIONS BENEATH THE SURFACE ARE NOT SHOWN. MEASURED DIMENSIONS EQUAL PLATED OR DESCRIBED DIMENSIONS UNLESS INDICATED OTHERWISE.

THE FOLLOWING IS A LIST OF ABBREVIATIONS THAT MAY BE FOUND ON THIS SHEET:

BM = BENCH MARK	CB = CONCRETE BLOCK	CB = CONCRETE BLOCK	CD = CONCRETE DIAPHRAGM WALL
CA = CONC. CURB	CC = CONC. CURB	CC = CONC. CURB	CH = CONCRETE HEAD
CH = CONCRETE HEAD	CH = CONCRETE HEAD	CH = CONCRETE HEAD	CH = CONCRETE HEAD
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I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES AND COMPLIED WITH CHAPTER 177, FLORIDA STATUTES.

DATE: AUGUST 10, 2016

NOT VALID WITHOUT THE SIGNATURE AND THE REASED SEAL OF A FLORIDA SURVEYOR AND MAPPER.

ERIC A. ISAACS, PLS #2765, PROFESSIONAL SURVEYOR AND MAPPER, LSA 7947

MAP OF ALTA/NSPS LAND TITLE SURVEY
700 FRONT STREET
KEY WEST, MONROE COUNTY, STATE OF FLORIDA

DATE: 08/10/2016	SURVEY BY: EAI	PROJECT: 700 FRONT ST
REVISION DATE: 09/27/2018	DRAWN BY: MPB	H. SCALE: 1"=20'
JOB NO.: 18-306	CHECKED BY:	SHEET 1 OF 3


Parcel Line Table

Line #	Length	Direction
L1	8.00' MEAS	N33°46'46"W MEAS
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L3	16.05' MEAS	N33°56'35"W MEAS
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L27	63.98' MEAS	S55°51'04"W MEAS


MAP OF ALTA / NSPS LAND TITLE SURVEY

KEY WEST BIGHT

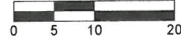
"PARCEL E" SOVEREIGNTY SUBMERGED LANDS LEASE



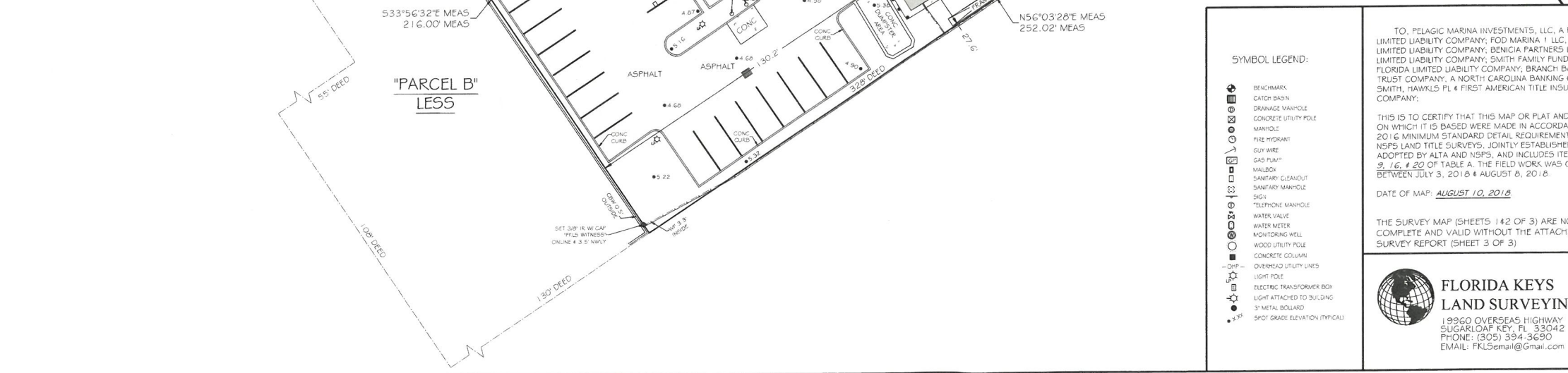
LOCATION MAP - NTS
SEC. 31-T675-R25E



DEED



1"=20'
VERIFY ORIGINAL SCALE OF 2"



SYMBOL LEGEND:

- BENCHMARK
- CATCH BASIN
- DRAINAGE MANHOLE
- CONCRETE UTILITY POLE
- MANHOLE
- FIRE HYDRANT
- GUY WIRE
- GAS FLUM
- MAILBOX
- SANITARY CLEANOUT
- SANITARY MANHOLE
- SIGN
- TELEPHONE MANHOLE
- WATER VALVE
- WATER METER
- WINDING WELL
- WOOD UTILITY POLE
- CONCRETE COLUMN
- OVERHEAD UTILITY LINES
- LIGHT POLE
- ELECTRIC TRANSFORMER BOX
- LIGHT ATTACHED TO BUILDING
- 3" METAL BOLLARD
- SPOT GRADE ELEVATION (TYPICAL)

TO, PELAGIC MARINA INVESTMENTS, LLC, A FLORIDA LIMITED LIABILITY COMPANY; FOD MARINA 1 LLC, A FLORIDA LIMITED LIABILITY COMPANY; BENICIA PARTNERS LLC, AN ILLINOIS LIMITED LIABILITY COMPANY; SMITH FAMILY FUND 1 LLC, A FLORIDA LIMITED LIABILITY COMPANY; BRANCH BANKING AND TRUST COMPANY, A NORTH CAROLINA BANKING CORPORATION; SMITH, HAWKLS PL & FIRST AMERICAN TITLE INSURANCE COMPANY;

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DATE OF MAP: **AUGUST 10, 2018**

THE SURVEY MAP (SHEETS 142 OF 3) ARE NOT COMPLETE AND VALID WITHOUT THE ATTACHED SURVEY REPORT (SHEET 3 OF 3)

NOTE: FOUNDATIONS BENEATH THE SURFACE ARE NOT SHOWN. MEASURED DIMENSIONS EQUAL PLATTED OR DESCRIBED DIMENSIONS UNLESS INDICATED OTHERWISE.

THE FOLLOWING IS A LIST OF ABBREVIATIONS THAT MAY BE FOUND ON THIS SHEET:

BM = BENCH MARK	CH = CONCRETE CURB	PC = POINT OF COMMENCEMENT
BS = BULL SITE	CI = CONCRETE CURB & GUTTER	PIC = POINT OF BEGINNING
C = CONCRETE	CL = CONCRETE CURB	PL = PERMANENT REFERENCE POINT
CLW = CONCRETE CURB WALL	CN = CONCRETE	PI = POINT OF INTERSECTION
CU = CONCRETE	CP = CONCRETE PIPE	PLU = POINT OF BEGINNING
CON = CONCRETE	CPI = CONCRETE INTERSECTION	PLW = POINT OF BEGINNING
COG = CONCRETE	CPW = CONCRETE CURB W/ WALKWAY	PLOT = POINT OF BEGINNING
COB = CONCRETE	CS = CONCRETE	PLT = POINT OF BEGINNING
COP = CONCRETE	CSW = CONCRETE	PLW = POINT OF BEGINNING
COW = CONCRETE	CSW = CONCRETE	PLW = POINT OF BEGINNING
COW = CONCRETE	CSW = CONCRETE	PLW = POINT OF BEGINNING

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND METS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPING IN CHAPTER 31.17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 475.017, FLORIDA STATUTES, AND COMPLIES WITH CHAPTER 177, FLORIDA STATUTES.

DATE OF MAP: **AUGUST 10, 2018**

THE SURVEY MAP (SHEETS 142 OF 3) ARE NOT COMPLETE AND VALID WITHOUT THE ATTACHED SURVEY REPORT (SHEET 3 OF 3)

DATE OF MAP: **AUGUST 10, 2018**

THE SURVEY MAP (SHEETS 142 OF 3) ARE NOT COMPLETE AND VALID WITHOUT THE ATTACHED SURVEY REPORT (SHEET 3 OF 3)



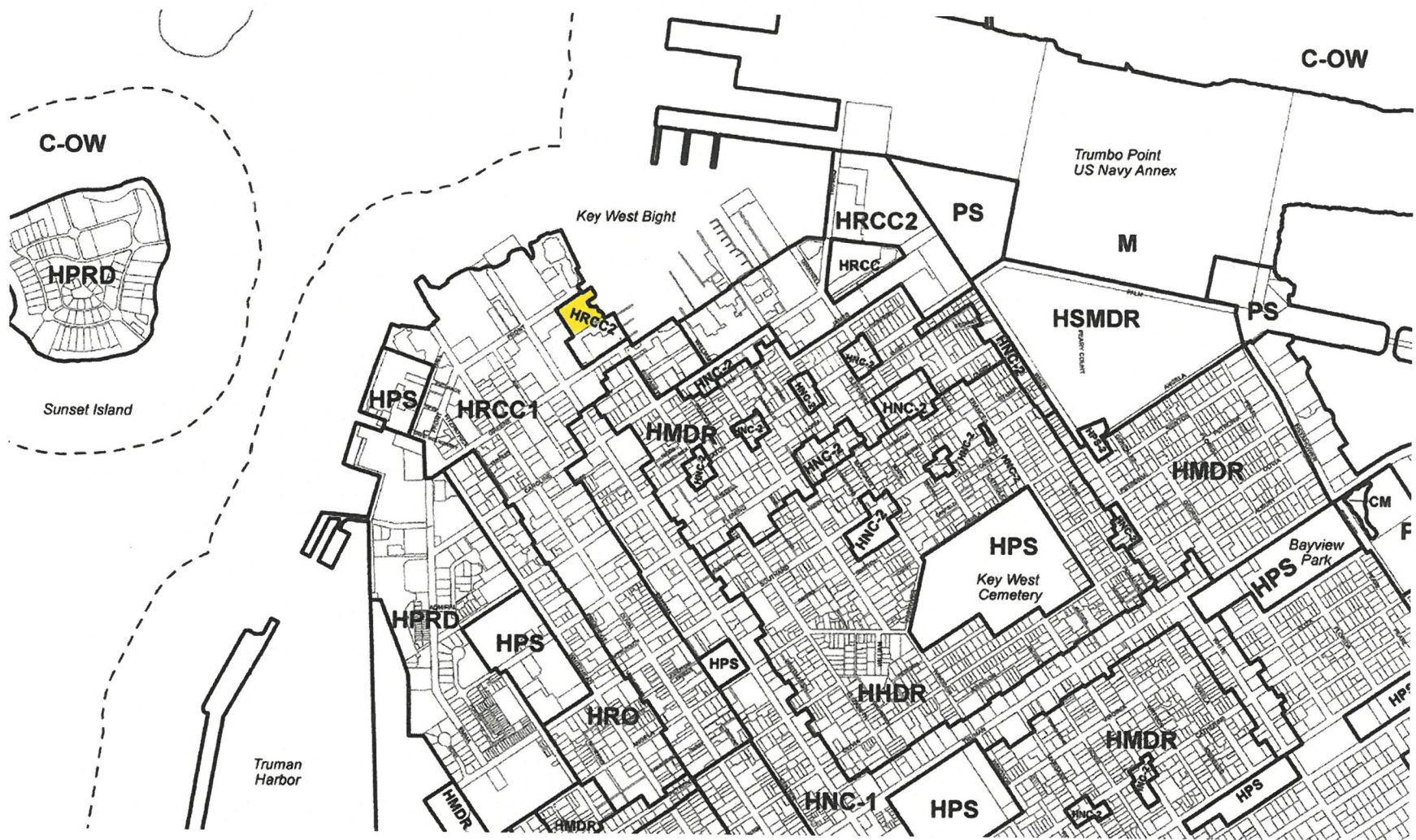
**FLORIDA KEYS
LAND SURVEYING**
19960 OVERSEAS HIGHWAY
SUZANNOPEA KEY, FL 33042
PHONE: (305) 394-3690
EMAIL: FKL5mail@gmail.com

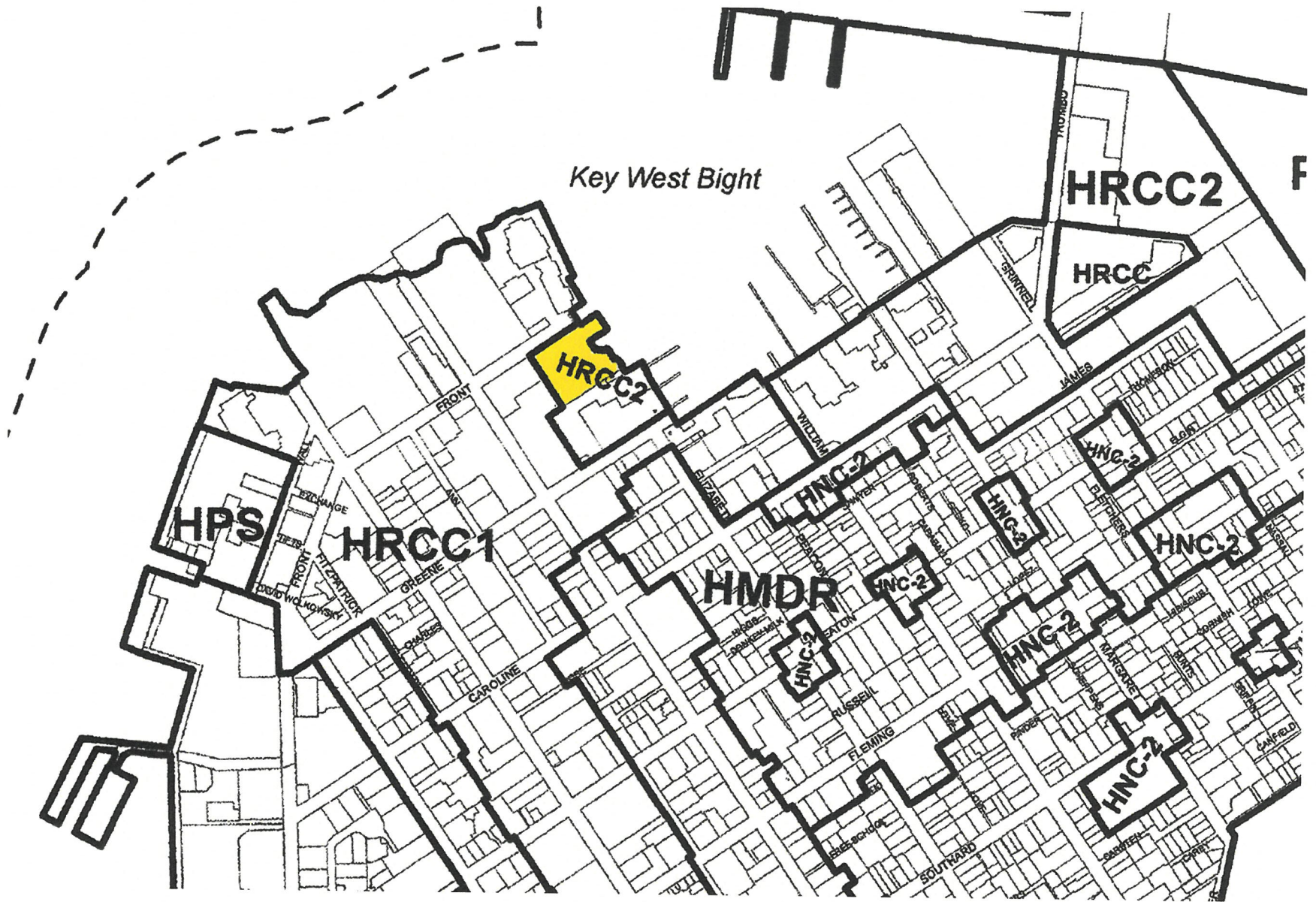
MAP OF ALTA/NSPS LAND TITLE SURVEY

700 FRONT STREET
KEY WEST, MONROE COUNTY, STATE OF FLORIDA

DATE: 08/10/2018	SURVEY BY: EAI	PROJECT: 700 FRONT ST
REVISION DATE: 09/27/2018	DRAWN BY: MPB	H. SCALE: 1"=20'
JOB NO.: 18-306	CHECKED BY:	SHEET 1 OF 3

Ukg' Rnc p





Deed

PREPARED BY:
Keith A Ross, Esq.
Levenfeld Pearlstein, LLC
2 North LaSalle Street
Suite 1300
Chicago, Illinois 60602

Doc# 2188428 09/27/2018 3:09PM
Filed & Recorded in Official Records of
MONROE COUNTY KEVIN MADOK

09/27/2018 3:09PM
DEED DOC STAMP CL: Brit \$165,620.00

Doc# 2188428
Bk# 2929 Pg# 260

WHEN RECORDED RETURN TO:

Bryan Hawks, Esq.
Smith Hawks, PL
138 Simonton
Key West, FL 33040

20,660,000

(Above Space for Recorder's use only)

Parcel Identification Number: 00000210-000000

SPECIAL WARRANTY DEED

THIS SPECIAL WARRANTY DEED made effective the 27th day of SEPTEMBER, 2018, made by and between Bayhaven Enterprises, L.C., a Florida limited liability company, whose principal address is 700 Front Street, Key West, Florida 33040, hereinafter called the Grantor, to FOD Marina 1 LLC, a Florida limited liability company, as to an undivided 50% interest, Benicia Partners, LLC, an Illinois limited liability company, as to an undivided 21.5% interest and Smith Family Fund 1 LLC, a Florida limited liability company, as to an undivided 28.5% interest, whose principal addresses are respectively 7009 Shrimp Road, Suite 4, Key West, FL 33040, 10 LaSalle #2660, Chicago, IL 60603 and 10 LaSalle #2660, Chicago, IL 60603, hereinafter collectively called the Grantee:

WITNESSETH, That the Grantor, for and in consideration of the sum of Ten and no/100 Dollars (\$10.00), receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and conforms unto the Grantee, all that certain land situate in Monroe County, Florida and legally described on Exhibit A attached hereto and made a part hereof (the "Property"), subject to (i) all real estate taxes and assessments not yet due and payable; (ii) all easements, covenants, conditions, restrictions and other matters of record; (iii) all unrecorded leases; and (iv) all matters that are or would be shown on an accurate plat of survey of the real estate conveyed pursuant to this Special Warranty Deed.

The Grantor hereby covenants with the Grantee that it is lawfully seized of the Property in fee simple; that it has good right and lawful authority to sell and convey the Property; that it hereby fully warrants the title to the Property and will defend the same against the lawful claims of all persons claiming by, through or under said Grantor, but against none other.

[Signatures begin on next page]

IN WITNESS WHEREOF, Grantor has executed this Special Warranty Deed as of the date first set forth above.

WITNESS:

GRANTOR:

Signed, sealed and delivered in the presence of:

Bayhaven Enterprises, L.C.,
 a Florida limited liability company

By: Cindy Church
 Printed Name: CINDY CHURCH

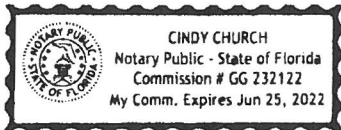
By: William Ashley Smith
 William Ashley Smith, President

By: Alison A. Griffith
 Printed Name: ALISON A. GRIFFITH

STATE OF FLORIDA)
) ss.
 COUNT OF MONROE)

I, the undersigned, a Notary Public in and for said County, in the State aforesaid, do hereby certify that William Ashley Smith, President of Bayhaven Enterprises, L.C., a Florida limited liability company, who is personally known to me to be the same person whose name is subscribed to the foregoing instrument in as such capacity, appeared before me this day in person and acknowledged that he signed and delivered the said instrument as his own free and voluntary act and as the free and voluntary act of said entity, for the uses and purposes therein set forth.

GIVEN under my hand and notarial seal, this 24 day of September 2018.



(Seal)

Cindy Church
 NOTARY PUBLIC

My Commission Expires: 6/25/22

EXHIBIT A

LEGAL DESCRIPTION

PARCEL A: IN THE CITY OF KEY WEST, MONROE COUNTY, FLORIDA, AND BEING PART OF LOT 1, SQUARE 5, ACCORDING TO THE MAP OF SAID CITY OF KEY WEST, COMMENCING AT A POINT 129 FEET FROM THE CORNER OF FRONT AND SIMONTON STREETS AND RUNNING THENCE IN A NORTHEASTERLY DIRECTION 273 FEET TO THE WATERS AND HARBOR OF KEY WEST; THENCE ALONG THE WATERS OF SAID ISLAND IN A SOUTHEASTERLY DIRECTION 216 FEET; THENCE IN A SOUTHWESTERLY DIRECTION 328 FEET; THENCE IN A NORTHWESTERLY DIRECTION 108 FEET; THENCE AT RIGHT ANGLES IN A NORTHEASTERLY DIRECTION 55 FEET; THENCE AT RIGHT ANGLES IN A NORTHWESTERLY DIRECTION 108 FEET TO THE POINT OF BEGINNING.

EXCEPTING:

PARCEL B:

COMMENCING AT A POINT ON FRONT STREET WHICH IS 129 FEET NORTHEASTERLY FROM THE SOUTHEASTERLY CORNER OF FRONT AND SIMONTON STREETS, AND RUNNING THENCE IN A NORTHEASTERLY DIRECTION 75 FEET; THENCE AT RIGHT ANGLES IN A SOUTHEASTERLY DIRECTION AND PARALLEL WITH SIMONTON STREET 216 FEET; THENCE AT RIGHT ANGLES IN A SOUTHWESTERLY DIRECTION AND PARALLEL WITH FRONT STREET 130 FEET; THENCE AT RIGHT ANGLES IN A NORTHWESTERLY DIRECTION AND PARALLEL WITH SIMONTON STREET 108 FEET; THENCE AT RIGHT ANGLES IN A NORTHEASTERLY DIRECTION AND PARALLEL WITH FRONT STREET 55 FEET; THENCE AT RIGHT ANGLES IN A NORTHWESTERLY DIRECTION AND PARALLEL WITH SIMONTON STREET 108 FEET OUT TO THE POINT OR PLACE OF BEGINNING.

TOGETHER THE FOLLOWING DESCRIBED PROPERTY:

PARCEL C: A PARCEL OF FILLED SOVEREIGNTY SUBMERGED LANDS IN SECTION 31, TOWNSHIP 67 SOUTH, RANGE 25 EAST, CITY OF KEY WEST, MONROE COUNTY, FLORIDA, LYING IN KEY WEST BIGHT AND ADJOINING LOT 1, SQUARE 5, ACCORDING TO THE MAP OF SAID CITY OF KEY WEST AS RECORDED IN O.R. BOOK 524, PAGES 4 AND 5, OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED BY "METES AND BOUNDS" AS FOLLOWS:

COMMENCE AT THE INTERSECTION OF SOUTHEASTERLY RIGHT-OF-WAY LINE OF FRONT STREET WITH THE NORTHEASTERLY RIGHT-OF-WAY LINE OF SIMONTON STREET AS SHOWN ON SAID MAP; THENCE NORTH 56°03'25" EAST ALONG SAID SOUTHEASTERLY RIGHT-OF-WAY LINE OF FRONT STREET FOR 402.00 FEET TO THE MOST NORTHERLY CORNER OF SAID LOT 1, SQUARE 5, AND THE POINT OF BEGINNING OF THE HEREINAFTER DESCRIBED PARCEL; THENCE CONTINUE NORTH 56°03'25" EAST ALONG SAID SOUTHEASTERLY RIGHT-OF-WAY LINE FOR 13.00 FEET TO AN INTERSECTION WITH THE MEAN HIGH WATER LINE AS LOCATED BY POST, BUCKLEY, SCHUH & JERNIGAN, INC., ON NOVEMBER 1, 1983, SAID INTERSECTION BEING ON THE OUTSIDE FACE OF AN EXISTING STEEL/CONCRETE BULKHEAD; THENCE MEANDER SAID MEAN HIGH WATER LINE FOR THE FOLLOWING TWENTY-SEVEN (27) COURSES (THE FIRST 23 COURSES BEING COINCIDENT WITH THE OUTSIDE FACE OF SAID BULKHEAD):

(1) S 33° 53' 14" E FOR 9.29 FEET; (2) N 56° 52' 00" E FOR 19.11 FEET; (3) N 56° 36' 14" E FOR 21.80 FEET (4) N 57° 03' 46" E FOR 29.23 FEET; (5) S 34° 35' 53" E FOR 31.92 FEET; (6) S 31° 27' 12" E FOR 24.03 FEET; (7) S 26° 13' 19" E FOR 5.33 FEET, (8) S 25° 18' 04" W FOR 9.14 FEET (9) S 71° 03' 14" W FOR 4.63 FEET; (10) S 65° 46' 50" W FOR 9.83 FEET, (11) S 51° 19' 07" W FOR 6.00 FEET; (12) S 56° 41' 19" W FOR 26.10 FEET; (13) S 57° 24' 58" W FOR 15.03 FEET; (14) S 19° 44' 24" W FOR 4.79 FEET; (15) S 10° 19' 49" E FOR 4.10 FEET; (16) S 41° 48' 42" E FOR 13.18 FEET, (17) S 28° 56' 34" E FOR 18.75 FEET; (18) N 85° 55' 13" E FOR 13.60 FEET (19) S 85° 37' 56" E for 16.02 feet; (20) N 76° 23' 21" E FOR 7.11 FEET; (21) N 80° 15' 29" E FOR 9.45 FEET; (22) S 45° 32' 14" E FOR 9.88 FEET; (23) S 35° 41' 04" E FOR 20.35 FEET, (24) S 45° 54' 55" E FOR 16.83 FET; (25) S 55° 46' 47" E FOR 15.46 FEET; (26) S 33° 32' 13" E FOR 14 .14 FEET; (27) S09° 51' 47" E FOR 7.04 FEET TO AN INTERSECTION WITH THE NORTHEASTERLY PROLONGATION OF THE SOUTHEASTERLY LINE OF SAID LOT 1, SQUARE 5, SAID INTERSECTION BEING ALSO THE POINT OF TERMINATION OF SAID MEAN HIGH WATER LINE; THENCE S 56° 03' 25" W ALONG SAID NORTHEASTERLY PROLONGATION FOR 55.90 FEET TO THE MOST EASTERLY CORNER OF SAID LOT 1, THENCE N 33° 56' 33" W ALONG THE NORTHEASTERLY LINE OF SAID LOT 1 FOR 216.00 FEET TO THE POINT OF BEGINNING.

AND

PARCEL D: TOGETHER WITH THE FOLLOWING DESCRIBED PROPERTY DESCRIBED IN THAT CERTAIN DISCLAIMER RECORDED IN OFFICIAL RECORDS BOOK 2331, PAGE 862, OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA:

A PARCEL OF SUBMERGED LAND LAYING IN THE KEY WEST BIGHT, MONROE COUNTY, FLORIDA AND BEING ADJACENT TO LOT 1, SQUARE 5, ACCORDING TO WILLIAM A. WHITEHEAD'S MAP OF THE CITY OF KEY WEST, DELINEATED IN FEBRUARY, 1829, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE INTERSECTION OF THE NORTHEASTERLY RIGHT -OF-WAY LINE OF SIMONTON STREET AND THE SOUTHEASTERLY RIGHT-OF-WAY LINE OF FRONT STREET; THENCE N 56° 03'25" E ALONG THE SAID SOUTHEASTERLY RIGHT -OF -WAY LINE OF FRONT STREET AND THE EXTENDED SOUTHEASTERLY RIGHT-OF-WAY LINE OF FRONT STREET FOR 486 .50 FEET; THENCE S 22°04'05" W ALONG AN EXTENDED PART OF A CONCRETE DOCK FOR A DISTANCE OF 36 .08 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE S 22°04'05" W ALONG SAID DOCK FOR A DISTANCE OF 10.00 FEET; THENCE S 67°23'02" E ALONG THE SOUTHEAST SIDE OF A CONCRETE DOCK FOR A DISTANCE OF 362.78 FEET; THENCE N 22°36'58" E FOR A DISTANCE OF 10 .00 FEET; THENCE N 67°23'02" W ALONG THE NORTHWEST SIDE OF SAID DOCK FOR A DISTANCE OF 362.88 FEET BACK TO THE POINT OF BEGINNING.

MONROE COUNTY
OFFICIAL RECORDS

Property Record Card

Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID 00000210-000000
 Account# 1000205
 Property ID 1000205
 Millage Group 12KW
 Location 700 FRONT St, KEY WEST
 Address
 Legal KW PT LOT 1 SQR 5 & .24 ACRES OF FILLED BAY BOTTOM G22/107 OR524-4 OR910-
 Description 852/53 OR1363-459/60 OR1363-461/62 OR1373-48/52 OR1450-915/16 OR1450-
 917/19 OR2331-862/63 OR2339-1923/41 OR2929-0260
 (Note: Not to be used on legal documents.)
 Neighborhood 32020
 Property Class RESTAURANT (2100)
 Subdivision
 Sec/Twp/Rng 31/67/25
 Affordable No
 Housing



Owner

FOD MARINA 1 LLC
 7009 Shrimp Rd
 Ste 4
 Key West FL 33040

BENICIA PARTNERS LLC
 10 S La Salle St
 Ste 2660
 Chicago IL 60603

SMITH FAMILY FUND 1 LLC
 10 S La Salle St
 Ste 2660
 Chicago IL 60603

Valuation

	2020	2019	2018	2017
+ Market Improvement Value	\$5,188,024	\$5,272,794	\$4,128,043	\$4,240,676
+ Market Misc Value	\$270,999	\$272,096	\$225,204	\$226,246
+ Market Land Value	\$14,412,384	\$14,412,384	\$13,071,594	\$13,071,594
= Just Market Value	\$19,871,407	\$19,957,274	\$17,424,841	\$17,538,516
= Total Assessed Value	\$19,871,407	\$19,957,274	\$17,424,841	\$17,538,516
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$19,871,407	\$19,957,274	\$17,424,841	\$17,538,516

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
COMMERCIAL WATERFRON (100W)	57,192.00	Square Foot	0	0

Commercial Buildings

Style REST/CAFET-A- / 21A
 Gross Sq Ft 19,275
 Finished Sq Ft 13,810
 Perimeter 0
 Stories 2
 Interior Walls
 Exterior Walls CUSTOM with 1% MIN WOOD SIDING
 Quality 450 ()
 Roof Type
 Roof Material
 Exterior Wall1 CUSTOM
 Exterior Wall2 MIN WOOD SIDING
 Foundation
 Interior Finish
 Ground Floor Area
 Floor Cover
 Full Bathrooms 7
 Half Bathrooms 1
 Heating Type
 Year Built 1953
 Year Remodeled

Effective Year Built 1999

Condition

Code	Description	Sketch Area	Finished Area	Perimeter
OPX	EXC OPEN PORCH	120	0	0
FLA	FLOOR LIV AREA	13,810	13,810	0
OOU	OP PR UNFIN UL	299	0	0
OPF	OP PRCH FIN LL	807	0	0
OUF	OP PRCH FIN UL	77	0	0
PDO	PATIO DIN OPEN	660	0	0
PDE	PTO DIN ENCL	3,200	0	0
SBF	UTIL FIN BLK	302	0	0
TOTAL		19,275	13,810	0

Style REST/CAFET-A- / 21A
 Gross Sq Ft 22,618
 Finished Sq Ft 18,981
 Perimeter 0
 Stories 6
 Interior Walls
 Exterior Walls CUSTOM
 Quality 450 ()
 Roof Type
 Roof Material
 Exterior Wall1 CUSTOM
 Exterior Wall2
 Foundation
 Interior Finish
 Ground Floor Area
 Floor Cover
 Full Bathrooms 0
 Half Bathrooms 8
 Heating Type
 Year Built 1999
 Year Remodeled
 Effective Year Built 2001
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
OPX	EXC OPEN PORCH	2,984	0	0
FLA	FLOOR LIV AREA	18,981	18,981	0
OOU	OP PR UNFIN UL	273	0	0
SBF	UTIL FIN BLK	380	0	0
TOTAL		22,618	18,981	0

Yard Items

Description	Year Built	Roll Year	Quantity	Units	Grade
CONC PATIO	1952	1953	1	235 SF	2
UTILITY BLDG	1959	1960	1	722 SF	5
CONC PATIO	1994	1995	1	420 SF	2
CONC PATIO	1996	1997	1	733 SF	2
UTILITY BLDG	1997	1998	1	48 SF	3
ASPHALT PAVING	1999	2000	1	24038 SF	2
SEAWALL	1986	1987	1	420 SF	4
WOOD DOCKS	1986	1987	1	4923 SF	5

Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved
9/24/2018	\$23,660,000	Warranty Deed	2188428	2929	0260	37 - Unqualified	Improved
3/1/1997	\$5,100,000	Warranty Deed		1450	0917	Q - Qualified	Improved

Permits

Number	Date Issued	Date Completed	Amount	Permit Type	Notes
BLD2019-3898	1/9/2020		\$337,500	Commercial	RENOVATION INTERIOR- DEMO OF EXISTING INTERIOR PARTITIONS, FIXTURES & FINISHES & KITCHEN EQUIPMENT. NEW PARTITIONS, KITCHENS EQUIPMENT ADA BATHROOMS, INTERIOR DOORS.
BLD2019-3899	1/9/2020		\$180,000	Commercial	RENOVATION EXTERIOR
BLD2019-3901	11/14/2019		\$82,000	Commercial	New lighting in new office & ADA bathroom
BLD2019-3766	11/4/2019	12/10/2019	\$1,836	Commercial	FIRE SUPPRESSION.

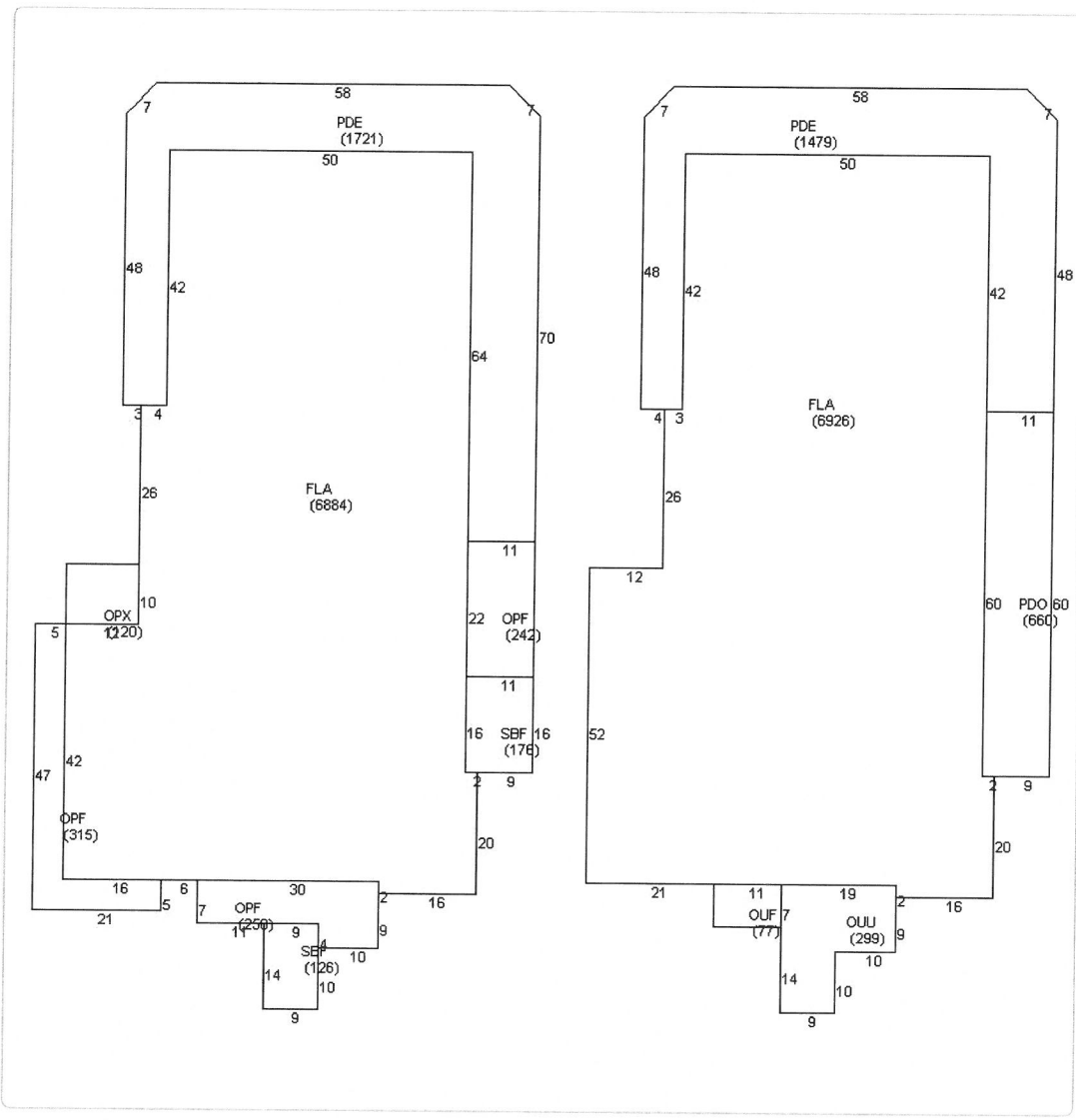
BLD2019-2127	8/27/2019	9/30/2019	\$23,735	Commercial	New floor sinks to replace existing floor sinks. Tie into existing sanitary waste system. New bar plumbing (waste & supply).
BLD2019-2816	8/27/2019	12/12/2019	\$32,000	Commercial	Installation of 1-15 Ton package unit. 2 Fresh Air Fans and One walk-in cooler condenser all installed on existing curbs and on roof meeting set backs.
BLD2019-2349	7/3/2019	10/1/2019	\$29,750	Commercial	Remove and replace 7 square 5V-Crimp Metal. Install 35 squares of HydroStop.
BLD2019-2086	6/7/2019	6/14/2019	\$800	Commercial	Electrical permit to go with Fuel Permit #BLD2019-1380. Disconnect existing fuel panel and reconnect new fuel pump 5HP
BLD2019-1380	5/28/2019	6/14/2019	\$62,280	Commercial	R/R existing 10,000 above ground storage tank with a new UL2085 5,000 fuel storage tank on existing concrete slab.
BLD2019-1016	4/10/2019		\$2,900	Commercial	Fire sprinklers for new office space and laundry room
BLD2019-1019	4/9/2019	3/26/2019	\$16,000	Commercial	Electrical installation plans dated
BLD2019-1020	4/9/2019	3/26/2019	\$2,400	Commercial	Removal of existing plumbing fixtures, capping off rough-in below finish surfaces. Installation of service to washer and dryers and sink
18-1633	4/24/2018	8/11/2018	\$1,435	Commercial	Build a 10'6" x 3'6" x 10' slab, set and secure (3)-420# tanks(100 gallons each) and run an underground line to existing system. *****n.o.c exempt*****harc inspection required*****
17-2153	6/19/2017	8/11/2018	\$140,000	Commercial	REMOVE EXISTING DECK BOARDS INSPECT AND REPAIR DECK FRAMING AS NEEDED REPLACE DECK BOARD WITH 1 X 6 IPE
16-2219	7/7/2016	8/11/2018	\$4,500	Commercial	RECONFIGURE OUTSIDE BAR, ADD APPROXIMATELY 25 LF OF BAR TOP.
14-3191	7/1/2014	8/11/2018	\$75,000	Commercial	Repair existing concrete floor where needed due to spalding approximately 900SF (Interior). **NOC received**
13-3617	9/2/2013	4/22/2017	\$2,400	Commercial	IN ALONZOS RESTAURANT, ELECTRICAL WORK IN SUPPORT OF BATHROOM RENOVATIONS TO INCLUDE: 1- RELOCATION OF 14 RECESSED CAN LIGHTS. 2- ADDITION OF 10 RECESSED CAN LIGHTS. 3- REPLACEMENT OF 2 EMERGENCY LIGHTS. 4- RECESS WIRING FOR 4 EXISTING ELECTRICAL HAND DRYERS.
13-2027	5/19/2013		\$1,975	Commercial	TWO FIRE SPRINKLER HEADS TO ALLOW FOR PROPER COVERAGE.
12-1351	4/13/2012		\$0	Commercial	IMPACT FEE PAYMENT FOR 32 EXTERIOR SEATS FOR WHITE TARPON.
11-3878	10/24/2011		\$500	Commercial	INSTALL OWNER PROVIDED SINKS AS PER PLANS. 1-ICE BIN, 1-HAND SINK.
11-3773	10/14/2011		\$2,250	Commercial	INSTALL 2 GFI RECEPTACLES AND 2 LIGHTS CONTROLLED BY A SINGLE POLE SWITCH IN NEW OUTSIDE BAR AREA. BEING CONSTRUCTED ON PERMIT #11-3416. INSTALL 10 LED ACCENT DOWN LIGHTS ON BRICK COLUMNS IN SAME AREA.
11-3416	9/16/2011		\$3,000	Commercial	BUILD NEW TIKI BAR UNDER 2ND FLOOR IN BREEZEWAY. ADD THATCH ROOF APPROX. 50 SQUARES.
10-2684	8/18/2010	7/8/2011	\$32,500	Commercial	REMODEL EXISTING RESTAURANT, BUILD NEW BAR, REPLACE WINDOWS AND DOORS, BUILD DECK AS PER PLANS.
10-2739	8/17/2010		\$3,800	Commercial	DOWNSTAIRS BAR NEW BAR COUNTER BEING INSTALLED; EXTEND EXISTING CIRCUIT POUR UNDERCOUNTER REC. & LIGHTS.
03-2368	7/2/2004	9/30/2004	\$24,000	Commercial	R&R FUEL LINE
04-1465	6/4/2004	9/30/2004	\$11,000	Commercial	DISHWASH HOODS
04-0928	3/26/2004	9/30/2004	\$4,350	Commercial	ROOF
04-0779	3/16/2004	9/30/2004	\$2,000	Commercial	3-PHASE 200 AMP
03-4322	1/9/2004	9/30/2004	\$58,975	Commercial	XTEND OBS DECK
02-3329	12/17/2002	10/7/2003	\$7,500	Commercial	REFURBISH EXISTING SIGN
02-3139	11/15/2002	10/7/2003	\$1	Commercial	14 BARS SEATS
02-2977	11/8/2002	10/7/2003	\$25,000	Commercial	INTERIOR REPAIRS
02-2794	10/10/2002	10/7/2003	\$2,000	Commercial	ELECTRICAL-DEMO FANS
0001896	7/10/2000	7/22/2000	\$1,000	Commercial	ELECTRICAL
9903676	4/12/2000	7/22/2000	\$2,500	Commercial	AWNINGS
0000063	2/4/2000	7/22/2000	\$1,525	Commercial	INSTALL SECURITY ALARM
9901511	1/26/2000	7/22/2000	\$350,000	Commercial	PLUMBING
0000203	1/25/2000	7/22/2000	\$3,500	Commercial	INSTALL AC
9903301	12/17/1999	7/22/2000	\$23,700	Commercial	7 SQS COPPER
9904029	12/13/1999	7/22/2000	\$1,800	Commercial	FIRE SUPPRESSION SYSTEM
9903701	11/30/1999	12/20/1999	\$5,000	Commercial	SIGNS
9903301	10/7/1999	12/20/1999	\$16,000	Commercial	ADD WOOD AWNINGS
9902517	7/19/1999	12/31/1999	\$25,000	Commercial	6 A/C'S, 20 DROPS
9902403	7/9/1999	12/31/1999	\$9,500	Commercial	PLUMBING
9902294	7/1/1999	12/31/1999	\$3,500	Commercial	EGRESS PLANS 2ND FLOOR
9902279	6/30/1999	12/31/1999	\$2,000	Commercial	STAIRS REPAIRS
9803933	6/15/1999	12/31/1999	\$102,000	Commercial	ROOF
9901414	6/10/1999	12/31/1999	\$161,000	Commercial	FRAMING AND DECKING
9901414	6/10/1999	12/31/1999	\$161,000	Commercial	WOOD FRAMING & DECKING
9901872	6/3/1999	12/31/1999	\$6,000	Commercial	DEMOLITION
9901667	5/14/1999	12/31/1999	\$15,000	Commercial	ELECTRICAL
9901630	5/12/1999	12/31/1999	\$6,400	Commercial	A/C DUCT WORK
9901511	5/3/1999	6/4/1999	\$350,000	Commercial	ADDITION "WHITE TARPON"
9900981	3/19/1999	12/31/1999	\$35,000	Commercial	FIRE PUMP
9900824	3/8/1999	12/31/1999	\$112,000	Commercial	ELECTRICAL

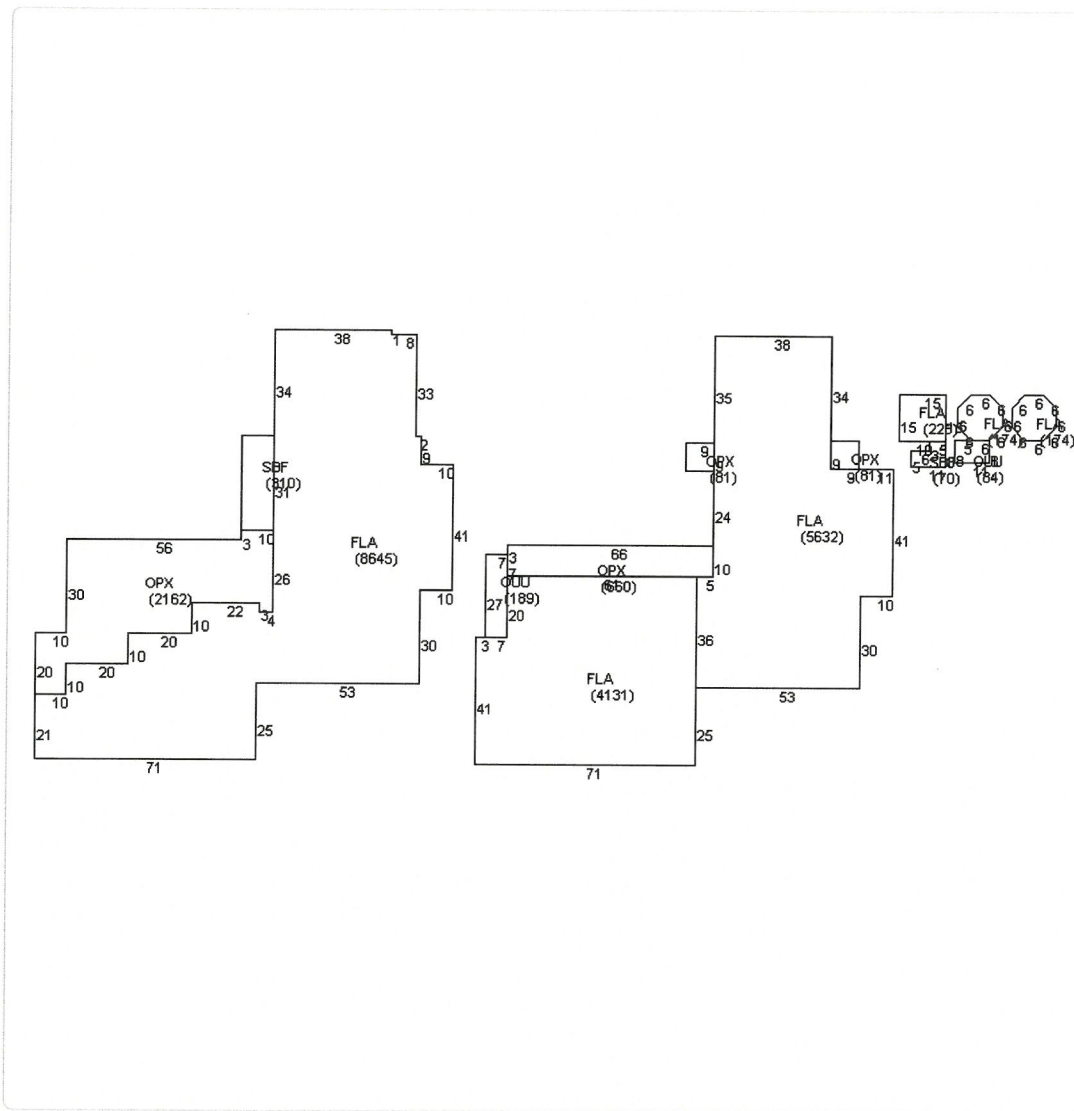
9900621	2/23/1999	12/31/1999	\$55,000	Commercial	SPRINKLERS & SINKS
9900331	1/27/1999	12/31/1999	\$2,500	Commercial	PLUMBING
9803985	12/13/1998	12/31/1999	\$8,000	Commercial	PLUMBING
9800964	7/20/1998	12/31/1998	\$375,000	Commercial	2 NEW COMM. BLDGS
9802100	7/7/1998	12/31/1999	\$800	Commercial	ELECTRICAL
9801605	6/5/1998	12/31/1999	\$57,290	Commercial	DOCKS AND PIERS
9801530	5/14/1998	6/1/1999	\$200,000	Commercial	ELECTRICAL + ALARMS
9801433	5/6/1998	12/31/1999	\$50,000	Commercial	FOUNDATION
9801118	5/4/1998	12/31/1998	\$150,000		STORM DAMAGE
9801371	5/4/1998	12/31/1999	\$5,200	Commercial	ROOF
9800808	3/12/1998	4/20/1998	\$38,000		ELECTRIC
9704327	2/10/1998	8/5/1998	\$1		REMODEL 4 BOOTHS
9800382	2/4/1998	8/5/1998	\$1,000		ROOFING
9800256	1/26/1998	8/5/1998	\$10,000		PLUMBING
9800242	1/22/1998	8/5/1998	\$2,500		ELECTRIC
9702728	12/1/1997	12/1/1997	\$14,000		SIGNS
9703330	10/1/1997	12/1/1997	\$1,000		SEWER CONNECTION
9703386	10/1/1997	12/1/1997	\$11,073		ROOFING
9703499	10/1/1997	12/1/1997	\$3,500		PLUMBING/ELECT FOR BAR
9703587	10/1/1997	12/1/1997	\$2,900		FIRE SUPPRESSION SYSTEM
9702719	8/1/1997	12/1/1997	\$1,200		ELECTRICAL 2-200 AMP SYST
9702731	8/1/1997	12/1/1997	\$1,100		SECURITY ALARM
9702758	8/1/1997	12/1/1997	\$7,500		DEMO/REPL ICE HOUSE
9702762	8/1/1997	12/1/1997	\$5,000		TRANSFORMER PAD/UNDERGROU
9702912	8/1/1997	12/1/1997	\$4,000		ALTERATIONS/UPGRADE SUBFE
9702066	7/1/1997	12/1/1997	\$28,000		RENOVATE KITCHEN
9702152	7/1/1997	12/1/1997	\$8,000		ELECTRICAL
9702395	7/1/1997	12/1/1997	\$12,000		INSTALL HOOD/ANSUL SYSTEM
9702526	7/1/1997	12/1/1997	\$1,000		SIGN
9701660	6/1/1997	12/1/1997	\$7,500		NEW WINDOWS
9701768	6/1/1997	12/1/1997	\$5,000		ELECTRICAL
9701934	6/1/1997	12/1/1997	\$60,000		NEW EXTERIOR FACADE
9701409	5/1/1997	12/1/1997	\$3,000		PLUMBING
9701535	5/1/1997	12/1/1997	\$23,000		AC/COOLERS/ETC
9701644	5/1/1997	12/1/1997	\$3,500		3.5 TON AC
9701130	4/1/1997	12/1/1997	\$3,500	Commercial	INTERIOR RENOVATIONS
9701189	4/1/1997	12/1/1997	\$5,250	Commercial	ELECTRICAL
9700878	3/1/1997	12/1/1997	\$1	Commercial	INTERIOR RENOVATIONS
9604433	11/1/1996	12/1/1996	\$5,000	Commercial	REMODELING/REPAIR
95-4196	11/1/1995	12/1/1995	\$35,000	Commercial	FUEL TANK CONCRETE SLAB
B954024	11/1/1995	12/1/1995	\$90,000	Commercial	FLOATING DOCKS
A951310	4/1/1995	10/1/1995	\$400	Commercial	ADD PAINTED LETTERS TO WA
M943597	11/1/1994	12/1/1994	\$1,000	Commercial	INSTALL 1 TON AC
B943213	10/1/1994	12/1/1994	\$80,000	Commercial	ADD ROOF 2ND FL/REP EXIST
B933532	12/1/1993	12/1/1994	\$1,000	Commercial	INSTALL 3 WINDOWS

View Tax Info

[View Taxes for this Parcel](#)

Sketches (click to enlarge)





Photos



Map



TRIM Notice

[2020 TRIM Notice \(PDF\)](#)

2020 Notices Only

No data available for the following modules: Buildings, Mobile Home Buildings, Exemptions.

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