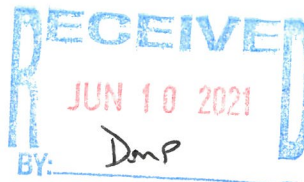


# **Application**



## Application for Variance

City of Key West, Florida • Planning Department

1300 White Street • Key West, Florida 33040 • 305-809-3764 • www.cityofkeywest-fl.gov

**Application Fee: \$2,415.00 / After-the-Fact: \$4,515.00**

(includes \$210.00 advertising/noticing fee and \$105.00 fire review fee)

Please complete this application and attach all required documents. This will help staff process your request quickly and obtain necessary information without delay. If you have any questions, please call 305-809-3764.

### PROPERTY DESCRIPTION:

Site Address: 1708 Catherine St.

Zoning District: 3F

☒ Real Estate (RE) #: \_\_\_\_\_

Property located within the Historic District.

☐ Yes

☒ No

### APPLICANT:

☒ Owner

☐ Authorized Representative

Name: \_\_\_\_\_ Mailing Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_ Home/Mobile \_\_\_\_\_ Phone: \_\_\_\_\_

Office: \_\_\_\_\_ Fax: \_\_\_\_\_

Email: \_\_\_\_\_

### PROPERTY OWNER: (if different than above)

Name: Kurt Becker Mailing Address: 1708 Catherine St

City: Key West FL State: \_\_\_\_\_ Zip: 33040 Home/Mobile \_\_\_\_\_ Phone: \_\_\_\_\_

340-474-0812 Office: SAM Fax: \_\_\_\_\_

Email: keywestbecker@gmail.com

### Description of Proposed Construction, Development, and Use:

Bathroom on right hand side of house

### List and describe the specific variance(s) being requested:

Building Coverage + impervious surface

Are there any easements, deed restrictions or other encumbrances attached to the property? ☐ Yes

☒ No

If yes, please describe and attach relevant documents: \_\_\_\_\_

Will any work be within the dripline (canopy) of any tree on or off the property?  
If yes, provide date of landscape approval, and attach a copy of such approval.

☐ Yes ☒ No

Is this variance request for habitable space pursuant to Section 122-1078?

☒ Yes ☐ No

Please fill out the relevant Site Data in the table below. For Building Coverage, Impervious Surface, Open Space and F.A.R. **provide square footages and percentages.**

Site Data Table				
	Code Requirement	Existing	Proposed	Variance Request
Zoning	SF			
Flood Zone	N/A			
Size of Site	5,279 <sup>sq</sup>			
Height	/	/	/	/
Front Setback	20-30'	18'-6"	18'-6"	-
Side Setback	5	3' 10"	3' 10"	-
Side Setback	5	10' 1"	5	-
Street Side Setback	-	/	/	-
Rear Setback	25'	27' 1"	27' 1"	-
F.A.R.	/	/	/	-
Building Coverage	35%	35.6 / 1877	37.1 / 1958	2.1 %
Impervious Surface	50%	52.1% / 2748	53.8% / 2838	3.8%
Parking	/	/	/	/
Handicap Parking	/	/	/	/
Bicycle Parking	/	/	/	/
Open Space/ Landscaping	35%	44.3%	42.5%	/
Number and type of units	/	/	/	/
Consumption Area or Number of seats	/	/	/	/

This application is reviewed pursuant to Section 90-391 through 90-397 of the City of Key West Land Development Regulations (LDRs). The City's LDRs can be found in the Code of Ordinances online at under Subpart B.

**\*Please note, variances are reviewed as quasi-judicial hearings, and it is improper for the owner or applicant to speak to a Planning Board member or City Commissioner about the hearing.**

## Standards for Considering Variances

Before any variance may be granted, the Planning Board and/or Board of Adjustment must find all of the following requirements are met: Please print your responses.

1. Existence of special conditions or circumstances. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other land, structures or buildings in the same zoning district.

no special conditions

2. Conditions not created by applicant. That the special conditions and circumstances do not result from the action or negligence of the applicant.

no special conditions

3. Special privileges not conferred. That granting the variance(s) requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings or structures in the same zoning district.

no special privileges

4. Hardship conditions exist. That literal interpretation of the provisions of the land development regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant.

would not present any hardship

5. Only minimum variance(s) granted. That the variance(s) granted is/are the minimum variance(s) that will make possible the reasonable use of the land, building or structure.

minimal variance (5x11 ft bathroom)  
It is a reasonable use of the land



6. Not injurious to the public welfare. That granting of the variance(s) will be in harmony with the general intent and purpose of the land development regulations and that such variances will not be injurious to the area involved or otherwise detrimental to the public interest or welfare.

would not interfere with the general public

7. Existing nonconforming uses of other property shall not be considered as the basis for approval. That no other nonconforming use of neighboring lands, structures, or buildings in the same district, and that no other permitted use of lands, structures or buildings in other districts shall be considered grounds for the issuance of a variance.

no other basis for variance except to  
have a second bathroom

**The Planning Board and/or Board of Adjustment shall make factual findings regarding the following:**

- That the standards established in Section 90-395 have been met by the applicant for a variance.
- That the applicant has demonstrated a "good neighbor policy" by contacting or attempting to contact all noticed property owners who have objected to the variance application, and by addressing the objections expressed by these neighbors. Please describe how you have addressed the "good neighbor policy."

# Verification Form

City of Key West  
Planning Department



Verification Form  
(Where Owner is the applicant)

I, Kurt Becker, being duly sworn, depose and say that I am the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

1708 Catherine st Key West Fl 33091  
Street address of subject property

I, the undersigned, declare under penalty of perjury under the laws of the State of Florida that the information on all plans, drawings and sketches attached hereto and all the statements and answers contained herein are in all respects true and correct.

In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.

Kurt Becker  
Signature of Owner

Subscribed and sworn to (or affirmed) before me on this June 10, 2021 by

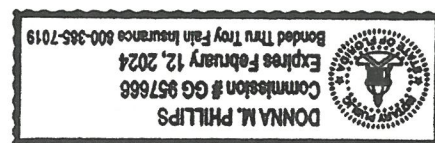
Kurt Becker  
Name of Owner

He/She is personally known to me or has presented FI AL B 260-501-58-286-0 as identification.

Donna M. Phillips  
Notary's Signature and Seal

Donna M. Phillips  
Name of Acknowledger typed, printed or stamped

GG 957666  
Commission Number, if any



# **Boundary Survey**



BEARING BASE:  
ALL BEARINGS ARE BASED  
ON N70°00'00"E ASSUMED ALONG  
THE CENTERLINE OF CATHERINE  
STREET.

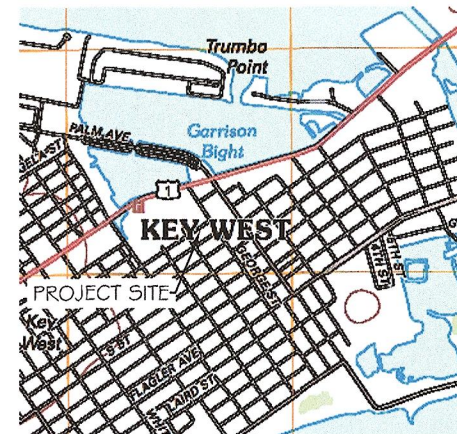
ALL ANGLES DEPICTED  
ARE 90 DEGREES UNLESS  
OTHERWISE INDICATED

ALL UNITS ARE SHOWN IN  
U.S. SURVEY FEET

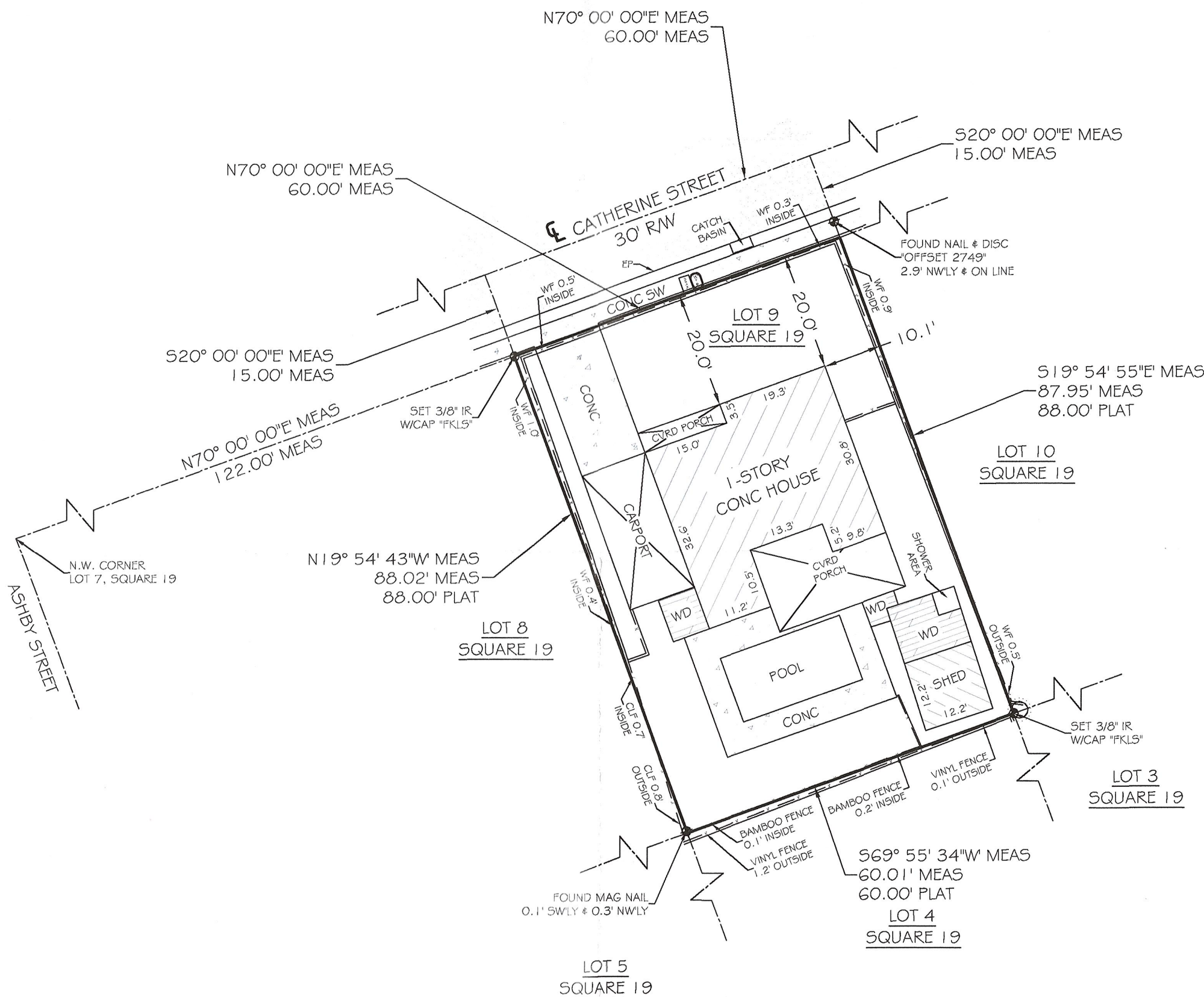
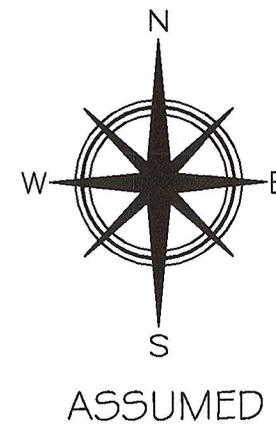
ADDRESS:  
1708 CATHERINE STREET  
KEY WEST, FL 33040

COMMUNITY NO.: 120168  
MAP NO.: 12087C-1516K  
MAP DATE: 02-18-2005  
FLOOD ZONE: AE  
BASE FLOOD ELEVATION: 6

# MAP OF BOUNDARY SURVEY



LOCATION MAP - NTS  
SEC. 05-T685-R25E



CERTIFIED TO -

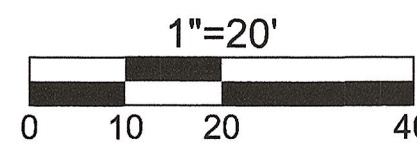
KURT BECKER AND KIMBERLY BECKER;  
WELLS FARGO BANK N.A. ITS SUCCESSORS AND/OR ASSIGNS;  
OROPEZA STONES & CARDENAS, PLLC;  
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY;

NOTE: FOUNDATIONS BENEATH THE SURFACE ARE NOT SHOWN. MEASURED DIMENSIONS EQUAL PLATTED OR DESCRIBED DIMENSIONS UNLESS INDICATED OTHERWISE.  
THE FOLLOWING IS A LIST OF ABBREVIATIONS THAT MAY BE FOUND ON THIS SHEET.

BFF = BACK-FLOW PREVENTER	GUY = GUY WIRE	PCC = POINT OF COMMENCEMENT
BO = BLOW OUT	HIS = HOSE BIB	REC = POINT OF REVERSE CURVE
C & S = 2" CONCRETE CURB & GUTTER	IP = IRON PIPE	PRM = PERMANENT REFERENCE MONUMENT
CBW = CONCRETE BLOCK WALL	IR = IRON ROD	PT = POINT OF TANGENT
CL = CENTERLINE	L = ARC LENGTH	RA = RADIUS
CLF = CHAINLINK FENCE	LS = LANDSCAPING	RW = RIGHT OF WAY LINE
CM = CONCRETE MONUMENT	MB = MAILBOX	SSCO = SANITARY SEWER CLEAN-OUT
CONC = CONCRETE	MEAS = MEASURED	SW = SIDE WALK
CPF = CONCRETE POWER POLE	MT = METAL FENCE	TBM = TEMPORARY BENCHMARK
CVD = COVERED	MTWL = MEAN HIGH WATER LINE (SEE NOTE)	TOS = TOP OF BANK
DELTA = CENTRAL ANGLE	NGVD = NATIONAL GEODETIC VERTICAL DATUM (1929)	TOS = TOP OF SLOPE
A = DELTA	NTS = NOT TO SCALE	TS = TRAFFIC SIGN
EL = ELEVATION	OH = ROOF OVERHANG	UR = UNREADABLE
ENCL = ENCLOSURE	OWW = OVERHEAD WIRES	UE = UTILITY ENCUMBRANCE
EP = EDGE OF PAVEMENT	PC = POINT OF CURVE	WD = WOOD DECK
FF = FINISHED FLOOR ELEVATION	PM = PARKING METER	WF = WOOD FENCE
FI = FIRE HYDRANT	PCC = POINT OF COMPOUND CURVE	WL = WOOD LANDING
FI = FENCE INSIDE	PCP = PERMANENT CONTROL POINT	WM = WATER METER
FND = FOUND	PK = PARKER SALON NAIL	WPP = WOOD POWER POLE
FO = FENCE OUTSIDE	POB = POINT OF BEGINNING	WRACK LINE = LINE OF DEBRIS ON SHORE
FOL = FENCE ON LINE	PI = POINT OF INTERSECTION	WV = WATER VALVE

## LEGEND

- - WATER METER
- - SANITARY SEWER CLEAN OUT
- - MAILBOX
- - WOOD POWER POLE
- ⊗ - CONCRETE POWER POLE
- - SPOT ELEVATION (TYPICAL)



TOTAL AREA = 5,279.39 SQFT ±

SCALE: 1"=20'  
FIELD WORK DATE: 01/25/2021  
MAP DATE: 02/01/2021  
REVISION DATE: XX/XX/XXXX  
SHEET: 1 OF 1  
DRAWN BY: GBF  
JOB NO.: 21-116

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTERS 2014-147 & 53-17.05, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES AND COMPLIES WITH CHAPTER 177, PART II FLORIDA STATUTES.

SIGNED

ERIC A. ISAACS, PSM #6783, PROFESSIONAL SURVEYOR AND MAPPER, LB# 7847

NOT VALID WITHOUT THE SIGNATURE AND THE RAISED SEAL OF A FLORIDA SURVEYOR AND MAPPER



FLORIDA KEYS  
LAND SURVEYING  
19960 OVERSEAS HIGHWAY  
SUGARLOAF KEY, FL 33042  
PHONE: (305) 394-3690  
EMAIL: FKL5email@Gmail.com

## LEGAL DESCRIPTION -

ON THE ISLAND OF KEY WEST AND KNOWN AS LOT NINE (9) OF SQUARE NINETEEN (19), OF A RE-SUBDIVISION OF SQUARES 17, 18, 19, 20 AND PART OF SQUARES 21 AND 23, TRACT TWENTY (20), ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 3, PAGES 10, OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA.

**Ukg'Rnc p**



SITE DATA

ZONING DISTRICT: SF

FLOOD ZONE: AE8  
F.I.R.M. - COMMUNITY 120168; PANEL #1516; SUFFIX "K"; DATED: 02-18-2005

LEGAL DESCRIPTION: RESUB OF SQS-17-18-19-20 AND PT OF 21 AND 23 TRACT 20 PB3-10

DESIGN DATA

THE WORK DEPICTED HEREIN WAS DESIGNED TO MEET THE REQUIREMENTS OF THE FLORIDA BUILDING CODE, 7TH EDITION (2020) - RESIDENTIAL BUILDING CODE & EXISTING BUILDING CODE ASCE 7-16, ASCE 24-14

OCCUPANCY CLASSIFICATION: R3  
CONSTRUCTION TYPE: V

THE FOLLOWING LOADINGS WERE USED:  
DESIGN FLOOD ELEVATION (D.F.E.) 6.0 + 1.0 = 7.0 NGVD29  
WIND LOAD: 180 MPH (ASCE 7-16) 3 SECOND GUST, EXPOSURE D, RISK CATEGORY II  
FLOOR LIVE LOAD: 40 PSF

INDEX OF DRAWINGS

T-1 - SITE PLAN/SITE DATA  
A-1 - DEMOLITION PLAN / PROPOSED FLOOR PLAN  
A-2 - EXISTING ELEVATIONS / PROPOSED ELEVATIONS  
S-1 - STRUCTURAL DETAILS  
MEP - SCHEMATIC DETAILS

GENERAL NOTES

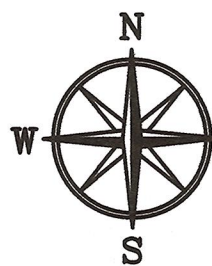
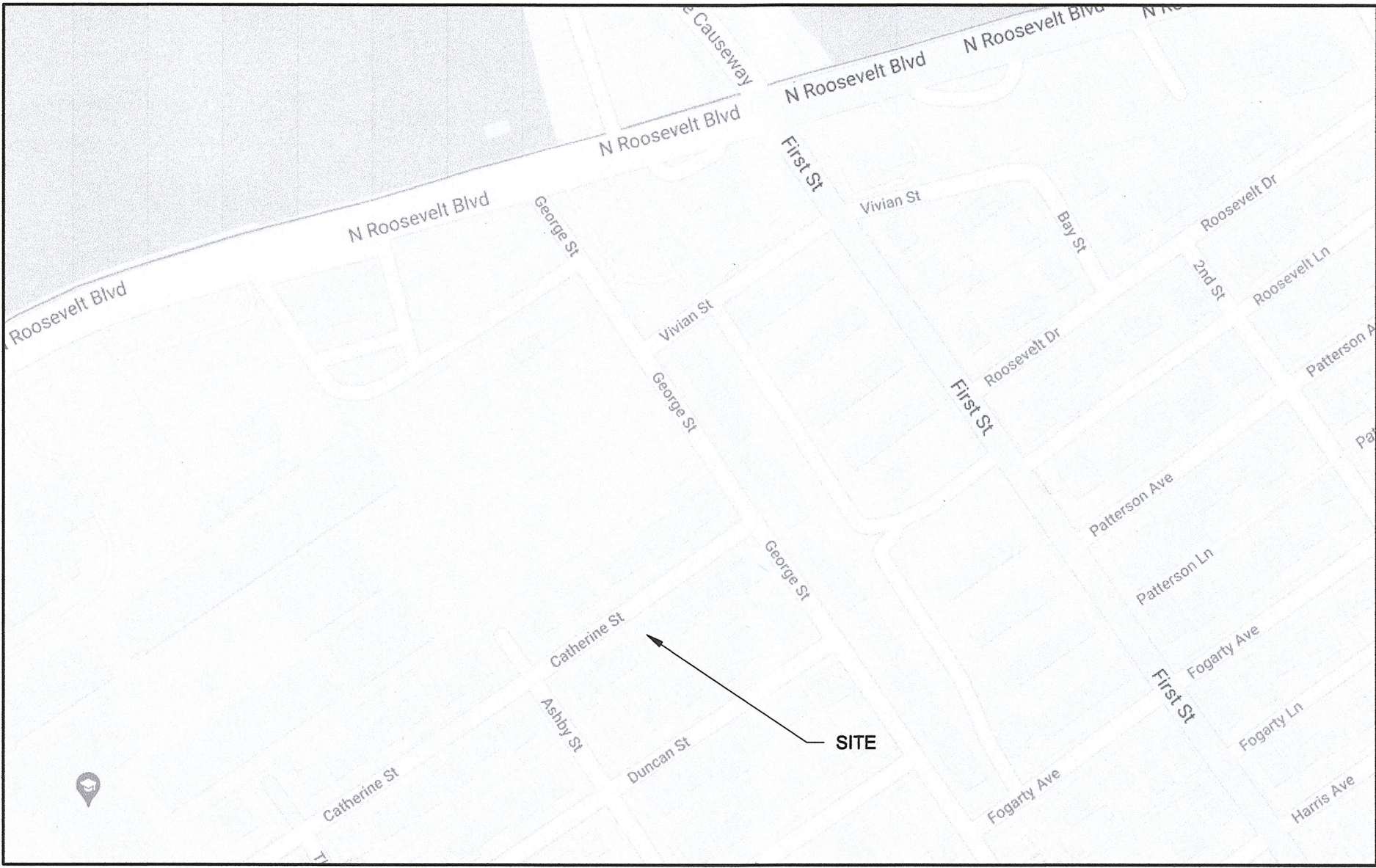
- THESE PLANS ARE FOR THE WORK AT THE LOCATION SO DESIGNATED HEREIN.
- THE CONTRACTOR SHALL PROVIDE ALL MATERIAL, LABOR, EQUIPMENT AND SUPERVISION NECESSARY TO COMPLETE THE WORK AND MAKE STRUCTURE READY FOR USE.
- THERE SHALL BE NO DEVIATION FROM THESE PLANS WITHOUT PRIOR APPROVAL FROM THE ENGINEER OF RECORD.
- THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS BEFORE BID. CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK SITE AND REPORT ANY DISCREPANCIES, DIFFERENCES OR CONDITIONS THAT ARE UNSATISFACTORY OR UNSAFE.
- NOTIFY THE ENGINEER OF RECORD IMMEDIATELY OF ANY DISCREPANCIES, DIFFERENCES, UNSATISFACTORY OR UNSAFE CONDITIONS. ANY MODIFICATIONS OR CHANGES MADE WITHOUT PRIOR WRITTEN APPROVAL FROM THE OWNER AND ENGINEER OF RECORD SHALL NOT BE ALLOWED. ANY REWORK, RESTORATION OR OTHER IMPACT AS A RESULT OF NOT OBTAINING SUCH PRIOR APPROVAL WILL BE MADE BY THE CONTRACTOR WITHOUT ADDITIONAL COST OR COMPENSATION FROM THE OWNER.
- THE CONTRACTOR SHALL PROVIDE FOR THE SAFETY, PREVENTION OF INJURY OR OTHER LOSS AT THE JOB TO ALL PERSONS EMPLOYED IN THE WORK, PERSONS VISITING THE WORK AND THE GENERAL PUBLIC. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE PREVENTION OF DAMAGE, DUE TO THE WORK, TO MATERIALS OR EQUIPMENT AND OTHER PROPERTY AT THE SITE OR ADJACENT THERETO.
- NO RESEARCH AS TO THE PRESENCE OF UNDERGROUND UTILITIES HAS BEEN INCLUDED ON OR PERFORMED FOR THIS PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING SUNSHINE UTILITY LOCATE SERVICE PRIOR TO ANY CONSTRUCTION WITHIN ANY PUBLIC RIGHT-OF-WAY OR OTHER AREAS WHERE UNDERGROUND UTILITIES MAY BE PRESENT (I.E. IN AND AROUND UTILITY EASEMENTS, ETC.)
- THE GENERAL CONTRACTOR SHALL PROVIDE AN ON-SITE DUMPSTER IN A LOCATION COORDINATED WITH THE OWNER FOR THE DISPOSAL OF REMOVED MATERIAL AND CONSTRUCTION DEBRIS. THE DUMPSTER SHALL BE EMPTIED AT APPROPRIATE INTERVALS TO PREVENT OVERFLOW AND UNSIGHTLY CONDITIONS.
- THE CONTRACTOR SHALL PERFORM ALL WORK IN STRICT CONFORMANCE WITH THE PLANS, THE FLORIDA BUILDING CODE, 7TH EDITION (2020), LOCAL CODES AND ORDINANCES, MANUFACTURER RECOMMENDATIONS AND ACCEPTABLE TRADE PRACTICES. ANY CONFLICT BETWEEN THESE REQUIREMENTS AND THE MOST STRINGENT REQUIREMENTS SHALL GOVERN THE WORK.
- SHOP DRAWINGS OF ALL PREFABRICATED STRUCTURAL FLOOR AND ROOF SYSTEMS AND MECHANICAL SYSTEMS SHALL BEAR THE SEAL OF A FLORIDA PROFESSIONAL ENGINEER AS REQUIRED BY THE FLORIDA BUILDING CODE, 7TH EDITION (2020) AND SHALL BE SUBMITTED TO THE ENGINEER OF RECORD BY THE CONTRACTOR FOR APPROVAL PRIOR TO FABRICATION AND INSTALLATION.
- THE CONTRACTOR SHALL NOT SCALE DRAWINGS. ANY INFORMATION THAT THE CONTRACTOR CANNOT OBTAIN FROM DIMENSIONS, DETAIL OR SCHEDULE SHALL BE OBTAINED FROM THE ENGINEER OF RECORD.
- THE CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES TO PREVENT ANY CONFLICTS.
- THE CONTRACTOR SHALL FURNISH ALL SUBCONTRACTORS WITH A COMPLETE SET OF PLANS. ALL CHANGES SHALL BE NOTED ON THE DRAWINGS AND (2) COMPLETE AS-BUILT SETS SHALL BE DELIVERED TO THE OWNER AFTER COMPLETION OF WORK.

SITE DATA TABLE				
	EXISTING CONDITIONS	ALLOWABLE CONDITIONS	PROPOSED CONDITIONS	COMMENTS
DISTRICT	SF	N/A	SF	
LOT SIZE	5,279	N/A	5,279	
BUILDING AREA	1,877	1847.65	1,958	
BUILDING COVERAGE	35.6%	35.0%	37.1%	
IMPERVIOUS COVERAGE	2,748	2639.5	2,838	
IMPERVIOUS COVERAGE (%)	52.1%	50.0%	53.8%	
OPEN SPACE	2,336	1847.65	2,246	
OPEN SPACE (%)	44.3%	35.0%	42.5%	
BUILDING HEIGHT	± 12'	25'-0"	± 12'	ABOVE ADJACENT GRADE
FRONT YARD SETBACK <sup>1</sup>	18'-6"	20'-0"	18'-6"	
WEST SIDE YARD SETBACK	3'-10"	5'-0"	3'-10"	
EAST SIDE YARD SETBACK	10'-1"	5'-0"	5'-0"	
REAR YARD SETBACK	27'-1"	25'-0"	27'-1"	

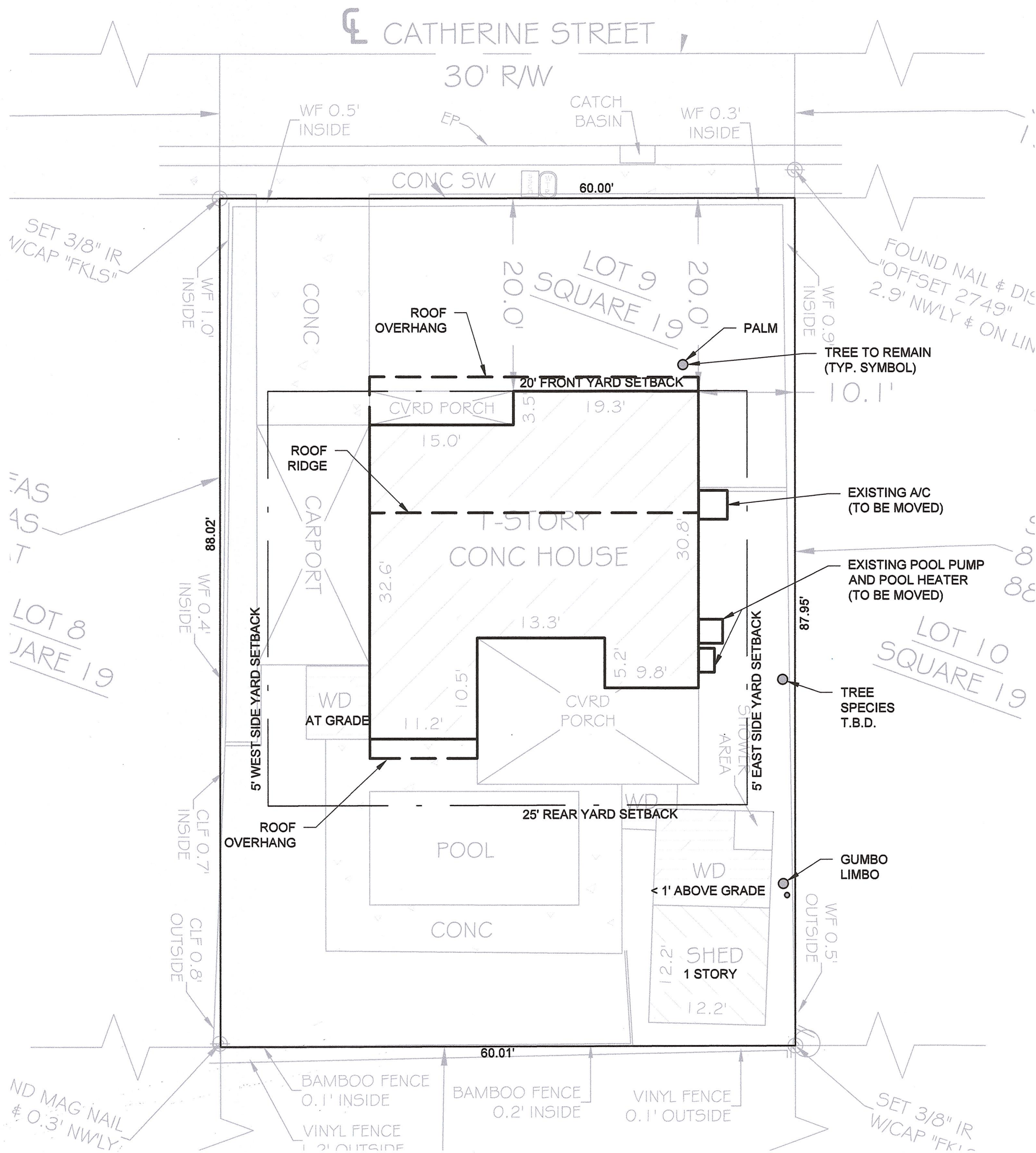
<sup>1</sup>AVERAGE DEPTH OF FRONT YARDS ON DEVELOPED LOTS WITHIN 100 FEET EACH SIDE, BUT NOT LESS THAN 20FT

BATHROOM ADDITION

1708 CATHERINE STREET  
KEY WEST, FLORIDA

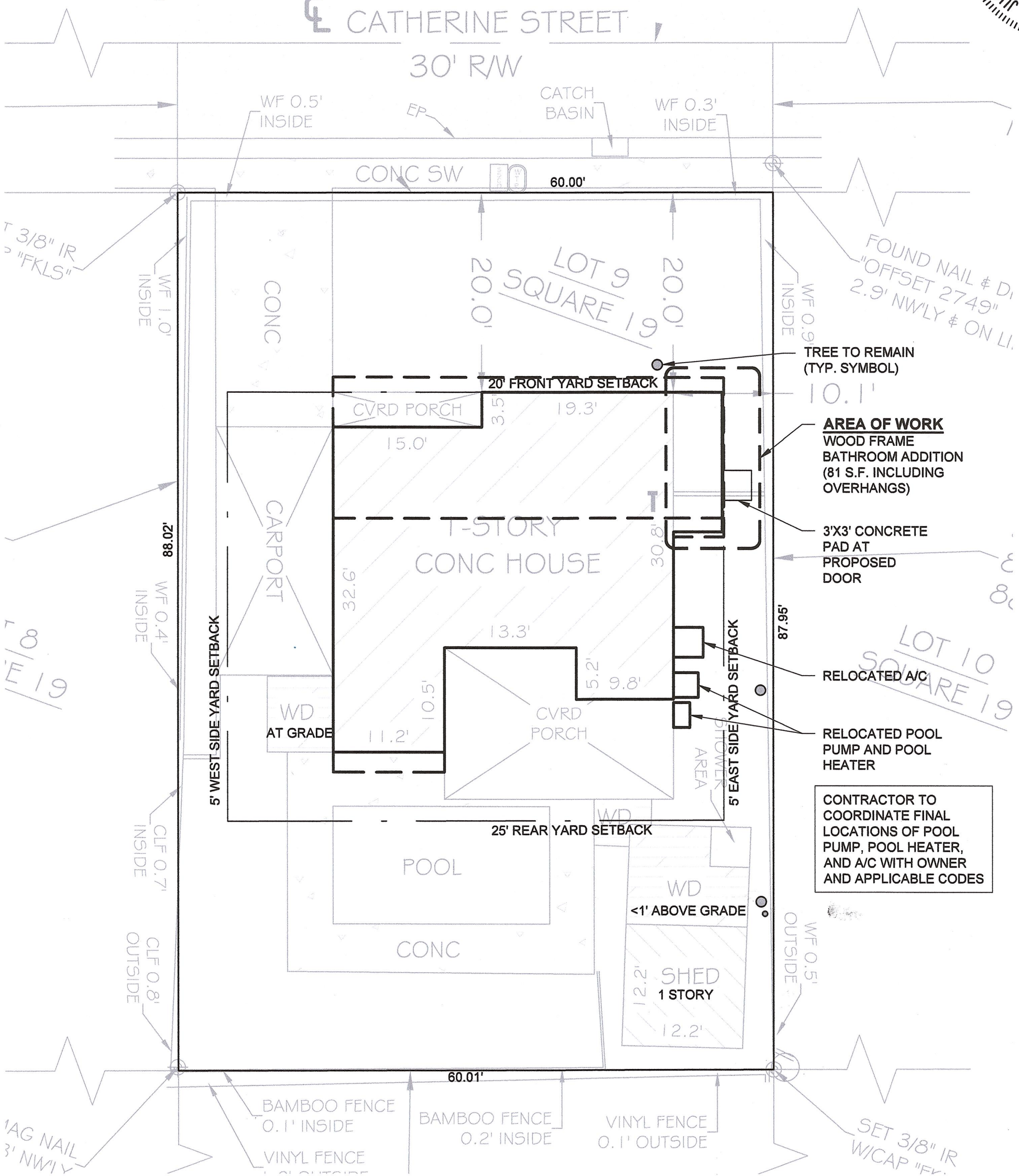


LOCATION MAP



SITE PLAN - EXISTING

SCALE: 1"=10'-0"



SITE PLAN - PROPOSED

SCALE: 1"=10'-0"

ADDITIONAL IMPERVIOUS AREA = 90 S.F.  
NOTE: A STORMWATER MANAGEMENT PLAN IS NOT REQUIRED FOR ALTERATIONS THAT DO NOT EXCEED 500 S.F. LAND DEVELOPMENT CODE (Sec. 108-716(3))

CIVIL ENGINEERING • REGULATORY PERMITTING • CONSTRUCTION MANAGEMENT

**PEREZ ENGINEERING**  
& DEVELOPMENT, INC.

Key West Office  
1010 East Kennedy Drive, Suite 202  
Key West, Florida 33040  
Tel: (305) 293-9440

CERTIFICATE OF AUTHORIZATION No. 879

JUSTIN D. HENKA  
Florida P.E. NO. 88478  
June 4, 2021

ORIGINAL	MAY 2021
REVISIONS	
1	
2	
3	
4	
5	
6	

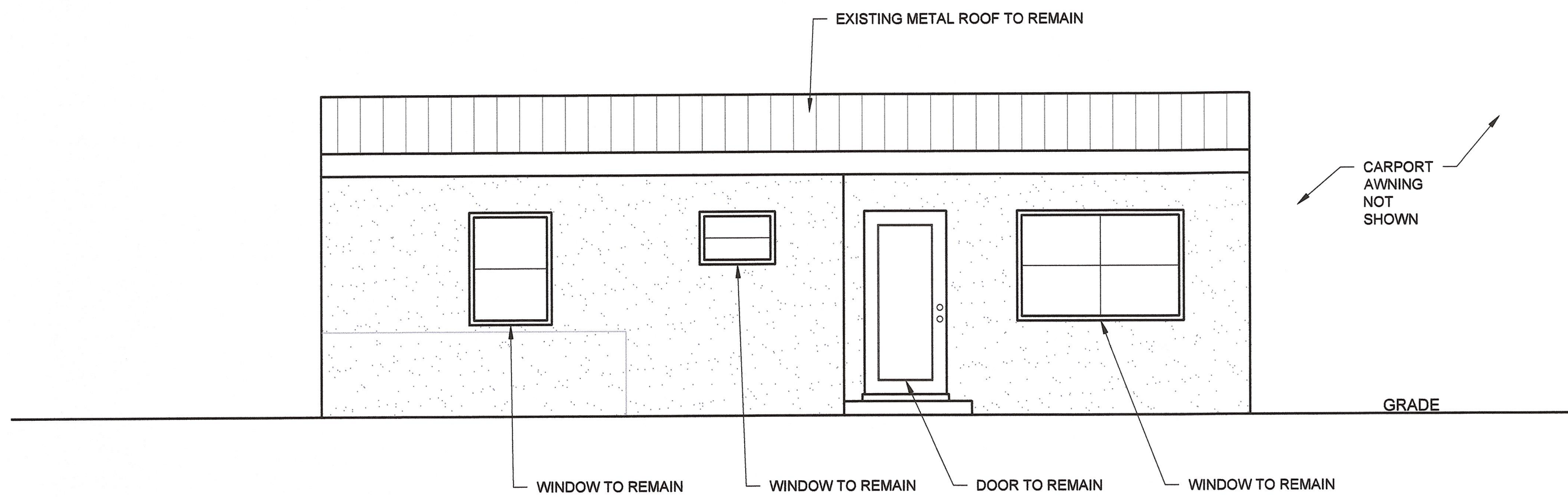
BATHROOM ADDITION  
1708 CATHERINE STREET  
KEY WEST, FL 33040

KURT BECKER  
1708 CATHERINE STREET  
KEY WEST, FL 33040

JOB NO. 211027  
DRAWN SAR  
DESIGNED JDH  
CHECKED JDH

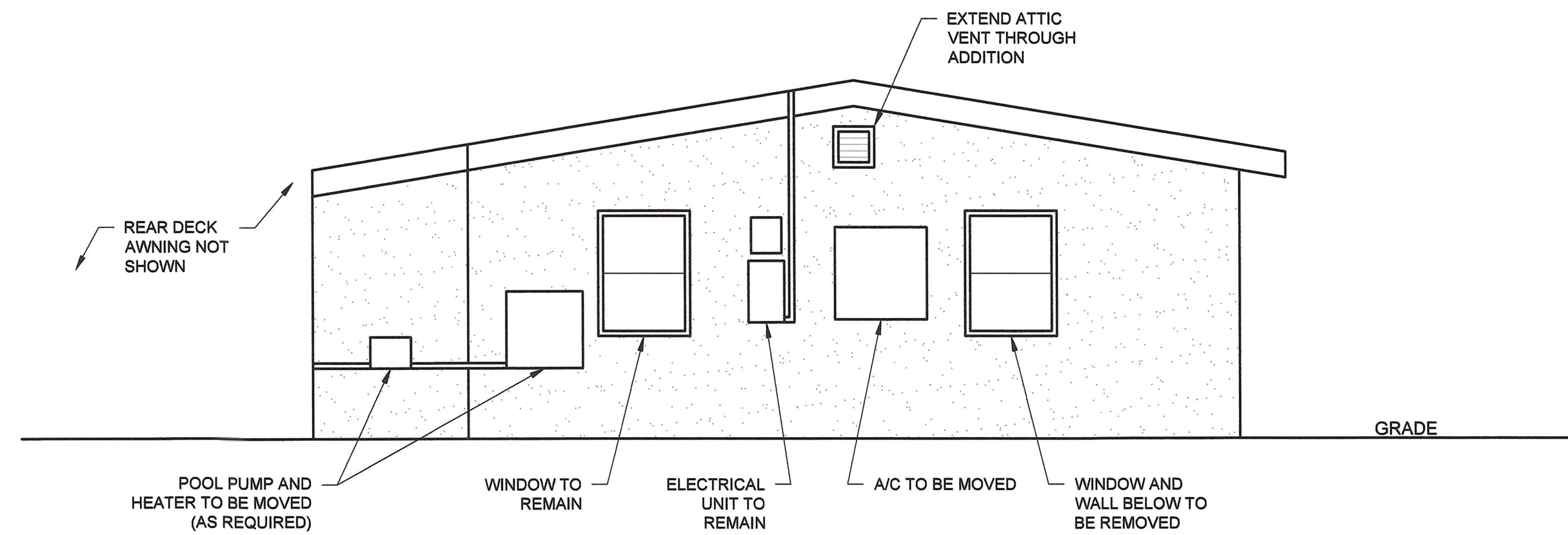
SHEET T-1





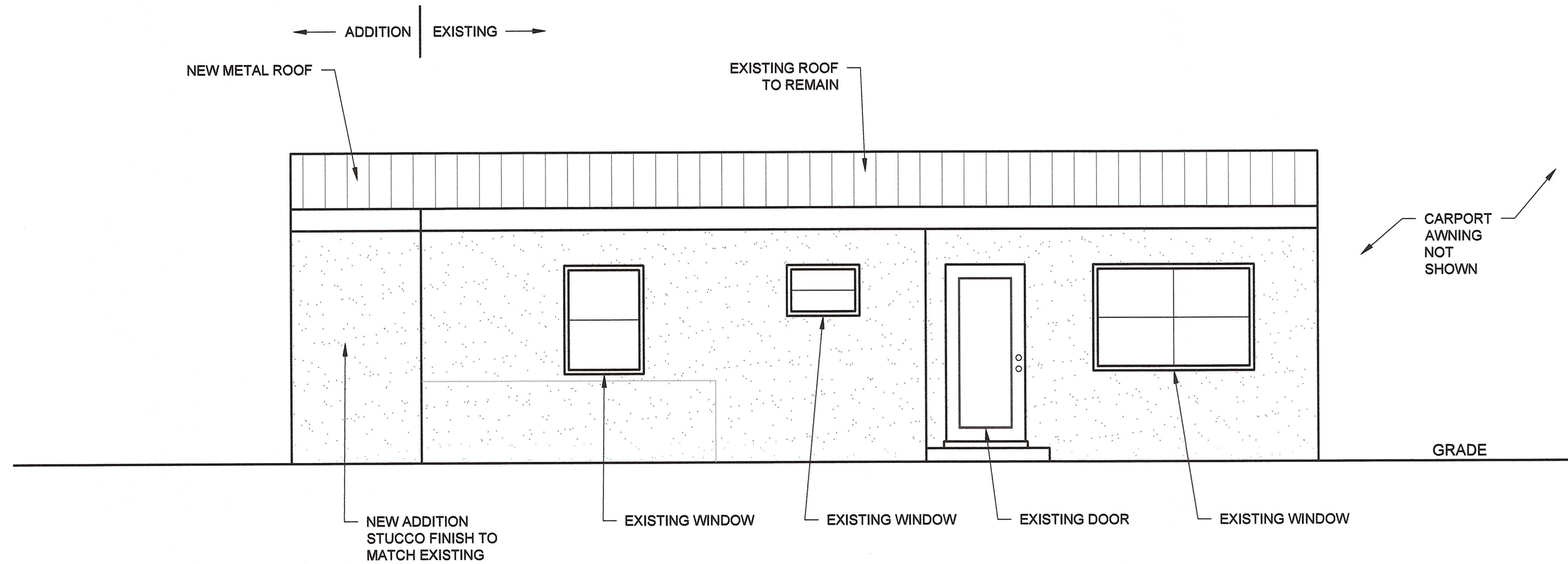
**NORTH ELEVATION - EXISTING**

SCALE: 1/4"=1'-0"



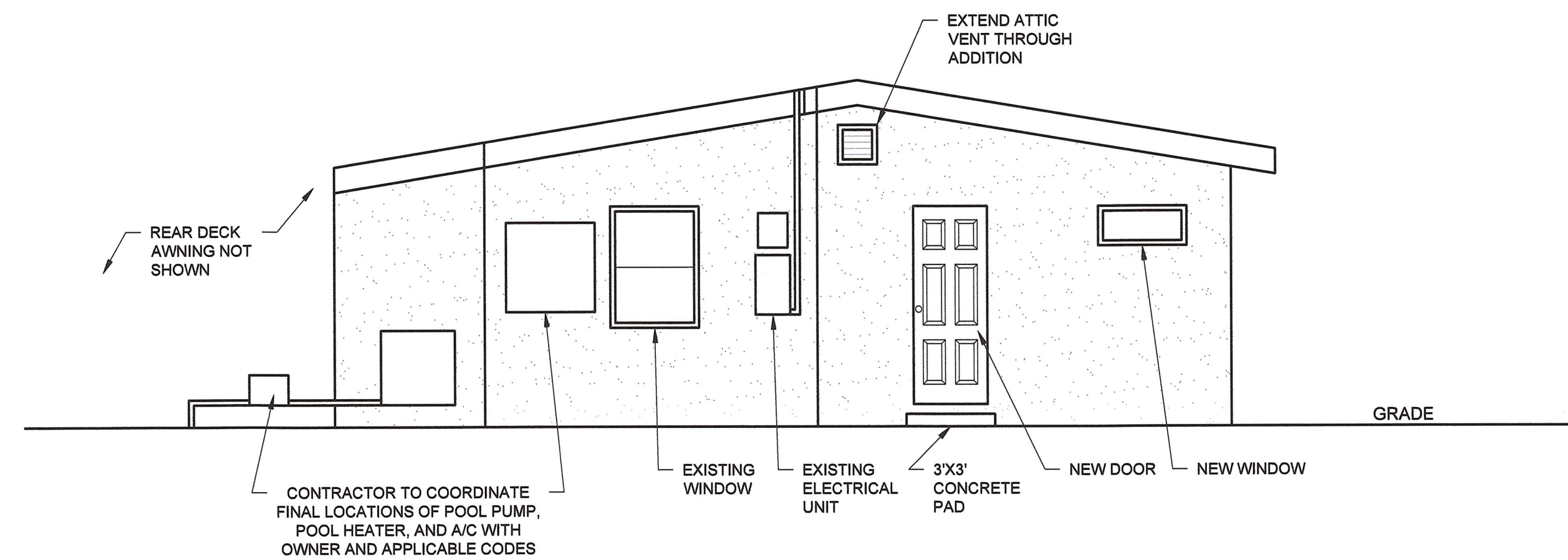
**EAST ELEVATION - EXISTING**

SCALE: 1/4"=1'-0"



**NORTH ELEVATION - PROPOSED**

SCALE: 1/4"=1'-0"



**EAST ELEVATION - PROPOSED**

SCALE: 1/4"=1'-0"



JUSTIN D. HENIKA  
Florida P.E. NO. 86478  
June 4, 2021

CIVIL ENGINEERING • REGULATORY PERMITTING • CONSTRUCTION MANAGEMENT  
**PEREZ ENGINEERING & DEVELOPMENT, INC.**  
1010 East Kennedy Drive, Suite 202  
Key West, FL 33040  
TEL: (305) 293-3440

REVISIONS:	ORIGINAL	DATE
1		
2		
3		
4		
5		
6		

**BATHROOM ADDITION**  
1708 CATHERINE STREET  
**KEY WEST, FL 33040**

**KURT BECKER**  
1708 CATHERINE STREET  
**KEY WEST, FL 33040**

JOB NO. 211027  
DRAWN SAR  
DESIGNED JDH  
CHECKED JDH



DEMOLITION NOTES

1. PRIOR TO SUBMITTING A BID, VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS ON THE JOB SITE, AND ALSO AFTER AWARD, BUT PRIOR TO THE START OF CONSTRUCTION.
2. ALL DEMOLISHED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR, UNLESS SPECIFICALLY NOTED OTHERWISE, AND SHALL BE PROPERLY REMOVED FROM THE SITE. COMPLY WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE PROJECT.
3. ALL COST OF DEMOLITION INCLUDING PERMIT FEES, DISPOSAL FEES, ETC. ARE THE RESPONSIBILITY OF THE CONTRACTOR.
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE AWARE OF AND TO CONFORM WITH ALL APPLICABLE DEMOLITION AND DISPOSAL CODES, SAFETY REQUIREMENT, AND ENVIRONMENTAL PROTECTION REGULATIONS OF ANY GOVERNMENTAL BODY HAVING JURISDICTION OVER THE WORK.
5. PROVIDE SAFETY BARRICADES AS REQUIRED TO PROTECT THE SAFETY OF THE GENERAL PUBLIC AND WORKERS ASSOCIATED WITH THE PROJECT.
6. PROVIDE BRACING AND SHORING AS REQUIRED TO TEMPORARILY SUPPORT STRUCTURAL MEMBERS DURING CONSTRUCTION. BRACING & SHORING OF STRUCTURAL MEMBERS SHALL BE DESIGNED BY A LICENSED PROFESSIONAL ENGINEER.
7. DEMOLISHED MATERIAL CLASSIFIED AS CLEAN FILL MAY BE DISTRIBUTED ONSITE WHEN SPECIFICALLY APPROVED BY THE ENGINEER.

DOOR & WINDOW NOTES

1. ALL DOORS AND WINDOWS SHALL BE RATED TO WITHSTAND PRESSURES ASSOCIATED WITH 180 MPH WINDS IN ACCORDANCE WITH ASCE 7-16. DOORS AND WINDOWS SHALL BE MANUFACTURED UNITS DESIGNED AND INSTALLED TO MEET AIR LEAKAGE REQUIREMENTS OF F.B.C. - ENERGY CONSERVATION SECTIONS R402.4.3 AND C402.5.2. UNITS SHALL BE GASKETED, WEATHER-STRIPPED OR OTHERWISE SEALED.
2. PROVIDE ONE EGRESS SIZED WINDOW IN EACH BEDROOM UNLESS THERE IS A SECOND EXIT SUCH AS A SLIDING GLASS OR SIDE HINGED DOOR TO THE EXTERIOR. EGRESS WINDOWS SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" ABOVE FLOOR LEVEL AND MUST HAVE A MINIMUM NET CLEAR OPENING WIDTH OF 20" AND A HEIGHT OF 24". NET CLEAR OPENING AREA SHALL BE NO LESS THAN 5.7 SF.
3. ALL EXTERIOR DOORS SHALL BE SOLID CORE, 1-3/4" THICK, WEATHER-PROOF TYPE. ALL INTERIOR DOORS SHALL BE 1-3/4" THICK. UNITS SHALL BE GLAZED OR RAISED PANEL BOTH SIDES. UNITS SHALL HAVE PATTERNS OR DIVIDED LITES UNLESS OTHERWISE NOTED. UNITS SHALL BE OF THE SIZE AND TYPE INDICATED ON THE DRAWINGS WITH SURFACES PREPARED TO ACCEPT PAINT OR OTHER FINISH AS SPECIFIED. DOORS SHALL MEET NWMA STANDARD TOLERANCES FOR EACH TYPE.
4. FURNISH AND INSTALL COMPLETE HARDWARE SETS: SCHLAGE, YALE OR EQUAL, ANSI GRADE 2 OR BETTER FOR HEAVY RESIDENTIAL/MEDIUM COMMERCIAL USE. FINISH AND STYLE TO BE SELECTED BY THE OWNER. ALL EXTERIOR HARDWARE TO BE SALT RESISTANT.
5. ALL SLIDING GLASS DOORS AND SHOWER ENCLOSURES SHALL HAVE TEMPERED GLASS.
6. WINDOW UNITS SHALL DISPLAY LABELS INDICATING COMPLIANCE WITH THE STATE OF FLORIDA MODEL ENERGY CODE, SECTION 902.4. FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION.
7. PROVIDE CLEAR GLAZING, GASKETED OR OTHERWISE SEALED. PROVIDE SAFETY GLASS AS REQUIRED AND/OR SHOWN ON THE DRAWINGS.
8. FASTEN DOOR AND WINDOW FRAMES IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS AND/OR PRODUCT APPROVAL DETAILS. PROVIDE SEPARATION BARRIER WITH DOOR AND WINDOW FRAMES THAT ARE INSTALLED AGAINST NON-COMPATIBLE PRESSURE-TREATED WOOD FRAMING.

WOOD AND FRAMING NOTES

1. EXCEPT WHERE NOTED OTHERWISE, ALL FRAMING LUMBER SHALL BE SOUTHERN PINE, MC <19%, NO. 2 DENSE.
2. ALL WOOD SHALL BE PRESSURE TREATED WITH CHEMICALS TO PROTECT FROM INSECTS AND DECAY AS REQUIRED. ALLOW TO DRY AFTER TREATMENT. PROVIDE CONNECTORS AND FASTENERS COMPATIBLE WITH PRESSURE TREATED WOOD FRAMING. PROVIDE SEPARATION BARRIER SUCH AS BUILDING PAPER FOR NON-COMPATIBLE COMPONENTS SUCH AS ALUMINUM WINDOW FRAMES.
3. ALL WOOD CONNECTORS SHALL BE SIMPSON STRONG-TIE CO. OR APPROVED EQUAL. ALL CONNECTORS SHALL BE INSTALLED WITH MANUFACTURER SPECIFIED FASTENERS BEFORE LOADING.
4. WOOD FRAMING MEMBERS SHALL BE FASTENED PER F.B.C. TABLE 2304.10.1, UNLESS NOTED OTHERWISE. DO NOT USE STAPLES AS FRAMING FASTENERS.
5. CUTTING AND NOTCHING OF FLOOR JOISTS SHALL CONFORM TO THE FOLLOWING:
- A. NOTCH DEPTH IN THE TOP OR BOTTOM OF THE JOISTS AND BEAMS SHALL NOT EXCEED ONE-SIXTH OF THE DEPTH OF THE MEMBER AND SHALL NOT BE LOCATED IN THE MIDDLE ONE-THIRD OF THE SPAN. (INCLUDING BIRDS MOUTH CUTS).
- B. NOTCH DEPTH AT THE ENDS OF THE MEMBER SHALL NOT EXCEED ONE-FOURTH THE DEPTH OF THE MEMBER.
- C. THE TENSION SIDE OF BEAMS, JOISTS AND RAFTERS OF FOUR INCHES OR GREATER NOMINAL THICKNESS SHALL NOT BE NOTCHED, EXCEPT AT ENDS OF MEMBERS.
- D. HOLES BORED OR CUT INTO JOISTS SHALL NOT BE CLOSER THAN TWO INCHES TO THE TOP OR BOTTOM OF THE JOISTS. THE DIAMETER OF THE HOLE SHALL NOT EXCEED ONE-THIRD THE MEMBER DEPTH.
6. HOLES BORED IN BEARING WALL STUDS SHALL NOT EXCEED ONE-THIRD OF STUD.
7. PROVIDE BLOCKING BETWEEN ALL JOISTS 2 X 6 OR GREATER AT INTERVALS NOT TO EXCEED 8 FEET AND AT ALL SUPPORTS.
8. PROVIDE SOLID BLOCKING AT MID HEIGHT ON CENTER BETWEEN STUDS. (MINIMUM).
9. SEE PLANS FOR WALL STUD SIZE AND SPACING.
10. ALL STUD BEARING WALLS SHALL BE PROVIDED WITH 2 CONTINUOUS TOP PLATES AND CONTINUOUS BOTTOM PLATE WITH A MINIMUM OF ONE ROW OF HORIZONTAL BRIDGING AT MID-HEIGHT OF WALL UNLESS NOTED OTHERWISE. SPLICES OF TOP PLATE SHALL OCCUR OVER STUD. SPLICES SHALL BE STAGGERED A MINIMUM OF FOUR FEET.
11. HEADER BEAMS OVER ALL FRAMED OPENINGS SHALL BE AS SHOWN BELOW, UNLESS NOTED OTHERWISE.
- (2) 2 X 8 FOR INTERIOR OPENINGS UP TO 4'-0", (3) 2 X 8 FOR EXTERIOR OPENINGS UP TO 4'-0"
- (2) 2 X 8 FOR INTERIOR OPENINGS UP TO 6'-0", (3) 2 X 8 FOR EXTERIOR OPENINGS UP TO 6'-0"
- (2) 2 X 10 FOR INTERIOR OPENINGS UP TO 8'-0", (3) 2 X 10 FOR EXTERIOR OPENINGS UP TO 8'-0"
- (2) 2 X 12 FOR INTERIOR OPENINGS UP TO 10'-0", (3) 2 X 12 FOR EXTERIOR OPENINGS UP TO 10'-0"
12. EXTERIOR WALL STUDS SHALL BE STRAPPED TO ROOF TRUSSES OR RAFTERS WITH SIMPSON CONNECTORS OR EQUAL. PROVIDE 3 STUDS (MIN.) FOR GIRDER TRUSS AND BEAM BEARING POINTS.
13. FIRESTOPPING SHALL BE PROVIDED IN ALL WALLS AND PARTITIONS TO SEAL ALL CONCEALED DRAFT OPENINGS BOTH HORIZONTAL AND VERTICAL AND TO FORM A FIRE BARRIER BETWEEN FLOORS AND BETWEEN THE UPPER FLOOR AND THE ROOF SPACE.
14. FIRESTOPPING SHALL BE INSTALLED IN WOOD FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:
- A. IN CONCEALED SPACE OF STUD WALLS AND PARTITIONS INCLUDING FURRED SPACES AT CEILING AND FLOOR LEVELS.
- B. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS, COVER CEILINGS, ETC.
- C. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN.
- D. IN CONCEALED SPACES CREATED BY AN ASSEMBLY OF FLOOR JOISTS, FIRESTOPPING SHALL BE PROVIDED OF THE FULL DEPTH OF THE JOISTS AT THE ENDS AND OVER THE SUPPORTS.
15. FIRESTOPPING SHALL CONSIST OF TWO (2) INCH NOMINAL LUMBER, OR TWO (2) THICKNESS OF ONE (1) INCH NOMINAL LUMBER WITH BROKEN LAP JOISTS, OR ONE (1) THICKNESS OF THREE-FOURTHS (3/4) INCH PLYWOOD WITH JOINTS BACKED BY THREE-FOURTHS (3/4) INCH PLYWOOD, OR OTHER APPROVED MATERIALS.
16. PLYWOOD DECKING SHALL BE IN ACCORDANCE WITH RECOMMENDATIONS OF THE AMERICAN PLYWOOD ASSOCIATION (APA). PLYWOOD SHEATHING SHALL BE APA STRUCTURAL I, IDENTIFIED WITH APA GRADE-TRADEMARK AND SHALL MEET THE REQUIREMENTS OF US PRODUCT STANDARD PSI OR APA PRP-108. ALL PLYWOOD WITH AN EDGE EXPOSED TO THE EXTERIOR SHALL BE EXTERIOR GRADE. FLOOR DECKING SHALL BE 3/4" MINIMUM. GLUE AND FASTEN FLOOR DECKING TO FLOOR FRAMING WITH A MINIMUM OF 6d COMMON NAILS AT 6" O.C. ALONG PANEL EDGES AND IN THE FIELD.
17. BOLTS AND THREADED ROD SHALL BE A MINIMUM OF A307 GRADE A, GALVANIZED. UNLESS NOTED OTHERWISE. SUPPLY ALL BOLTS W/ NUTS AND WASHERS MEETING ASTM A563 AND F844.
18. WHEN STAINLESS STEEL BOLTS AND THREADED ROD IS SPECIFIED, THEY SHALL BE TYPE 304 OR 316, Fy=30ksi MIN.; PROVIDED WITH TYPE 304 OR 316 NUTS AND WASHERS. [DO NOT ALLOW CONTACT BETWEEN STAINLESS STEEL AND GALVANIZED PARTS]
19. 10d NAILS SPECIFIED IN THIS PLAN REFER TO 10d BOX NAILS (3"x0.128"), AND CAN BE SUBSTITUTED FOR 3"x0.131" GUN NAILS (ROUND HEAD NAILS ONLY). NAILS SHALL HAVE A MIN. SPACING AND EDGE DISTANCE OF 2".

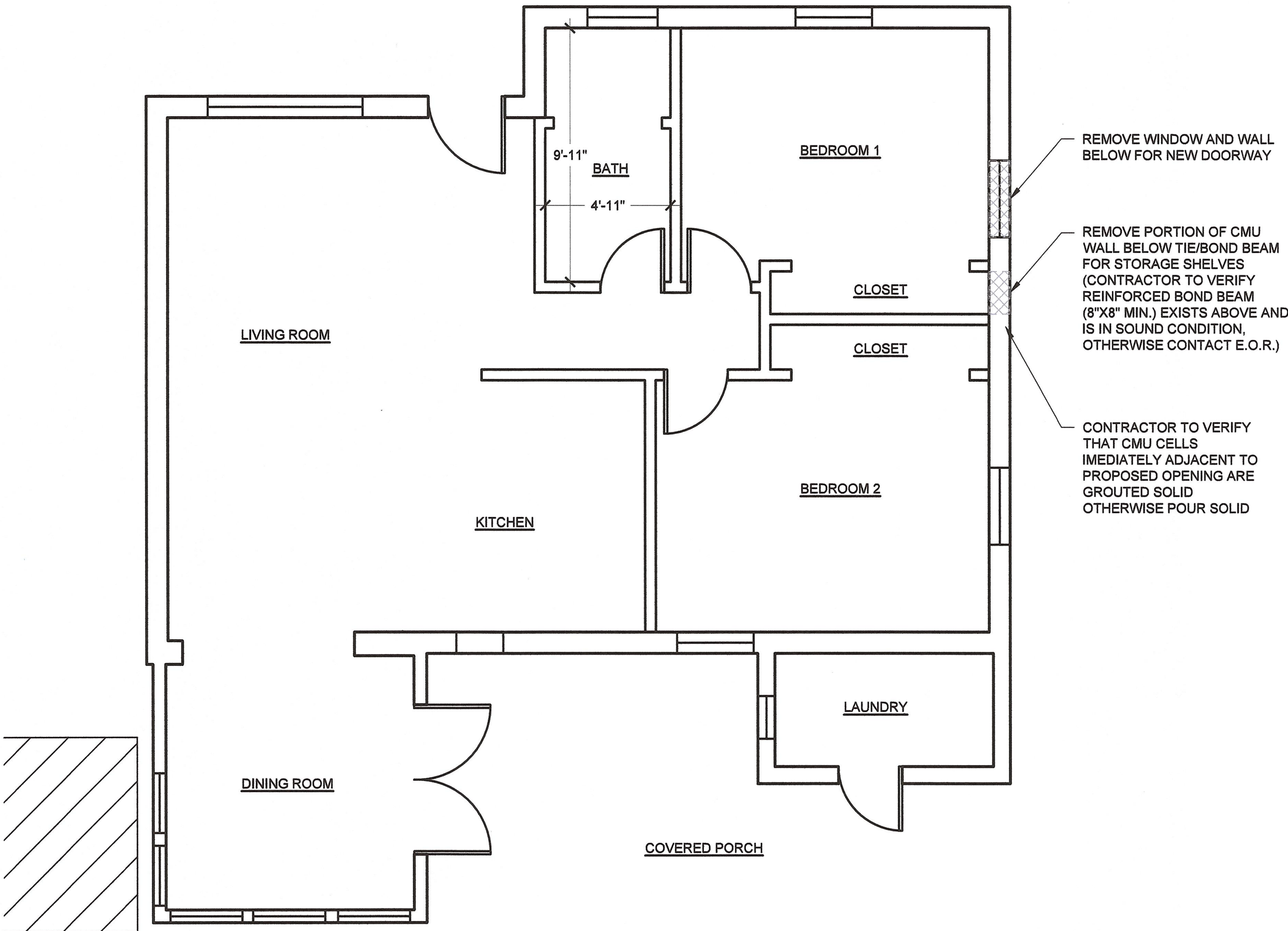
WINDOW SCHEDULE			
MARK	NOMINAL SIZE (WxH)	TYPE	WINDLOAD REQUIREMENTS (ASCE7-16) V <sub>asd</sub>
A	3'-0" x 1'-4"	FIXED (OBSCURE GLASS)	-63.0 / +47.0 (5)

DOOR SCHEDULE			
MARK	NOMINAL SIZE (WxH)	TYPE	WINDLOAD REQUIREMENTS (ASCE7-16) V <sub>asd</sub>
01	2'-6" x 6'-8"	OUTSWING	-49.4 / +45.5

(5) - WINDLOAD REQUIREMENT FOR WINDOWS/DOORS LOCATED IN THE (5) ZONE / CORNER ZONE. SEE FLOOR PLAN FOR LOCATIONS.

NOTE:

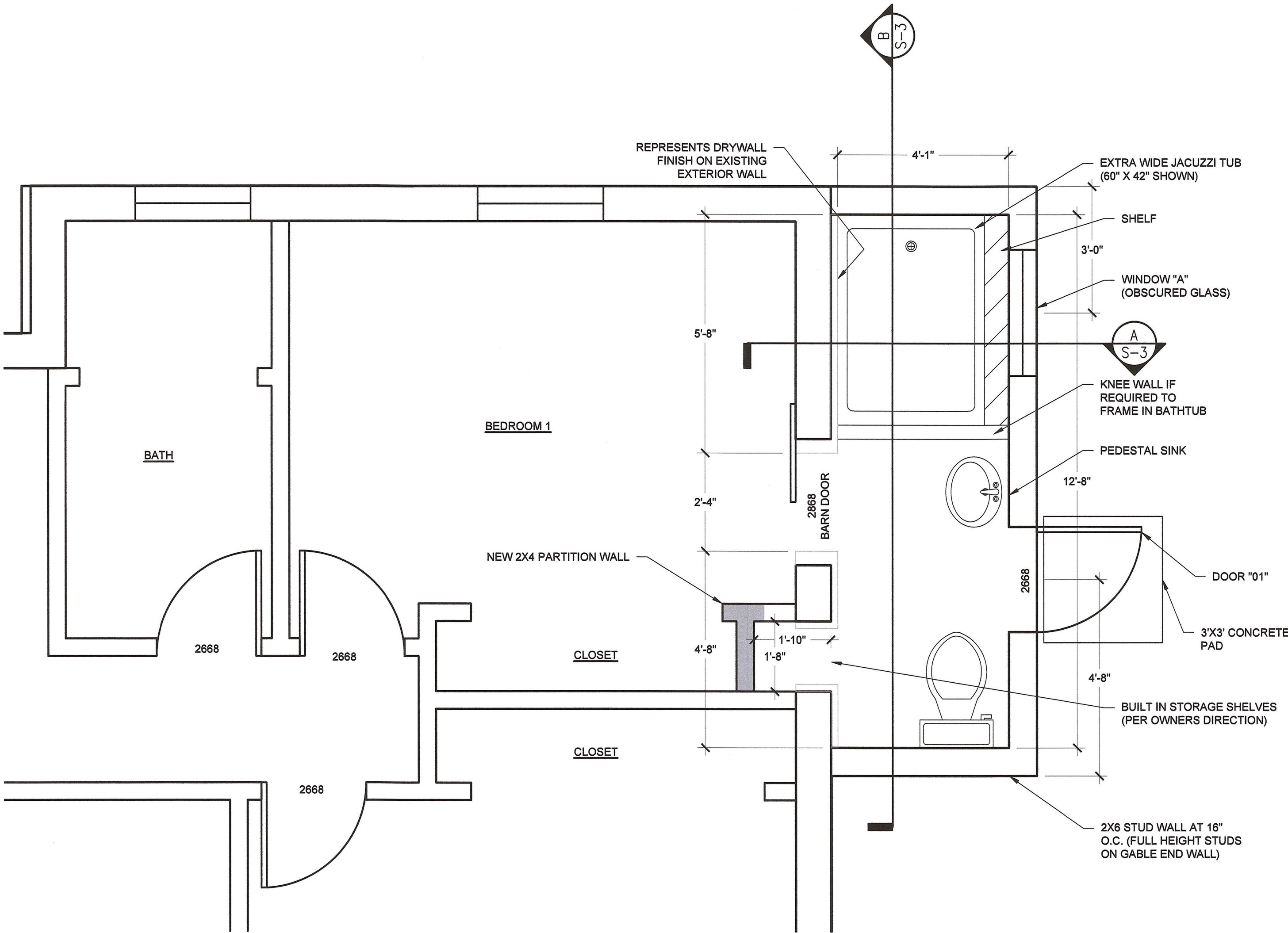
- DIMENSIONS SHOWN ARE NOMINAL. CONTRACTOR SHALL VERIFY ALL DOOR/WINDOW DIMENSIONS PRIOR TO ORDERING PRODUCTS AND STARTING WORK.
- CONTRACTOR SHALL COORDINATE WINDOW/DOOR MAKE, MODEL AND ACCESSORIES WITH OWNER.
- ALL WINDOWS/DOORS SHALL HAVE CURRENT FLORIDA PRODUCT APPROVAL, EXCEEDING THE WINDLOAD REQUIREMENTS LISTED ABOVE.
- ALL WINDOWS/DOORS SHALL BE RATED FOR LARGE MISSILE IMPACT UNLESS NOTED OTHERWISE



DEMOLITION PLAN

EXISTING CONDITIONS

SCALE: 1/4"=1'-0"



PROPOSED PARTIAL FLOOR PLAN

PARTIAL FLOOR PLAN

SCALE: 1/2"=1'-0"



JUSTIN D. HENIKA  
Florida P.E. NO. 86478  
June 4, 2021

ORIGINAL: MAY 2021

REVISIONS:

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2	
3	
4	
5	
6	

BATHROOM ADDITION  
1708 CATHERINE STREET  
KEY WEST, FL 33040

KURT BECKER  
1708 CATHERINE STREET  
KEY WEST, FL 33040

JOB NO. 211027  
DRAWN SAR  
DESIGNED JDH  
CHECKED JDH

SHEET A-1

CIVIL ENGINEERING • REGULATORY PERMITTING • CONSTRUCTION MANAGEMENT

PEREZ ENGINEERING & DEVELOPMENT, INC.  
CERTIFICATE OF AUTHORIZATION No. 8579

Key West Office  
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MECHANICAL NOTES

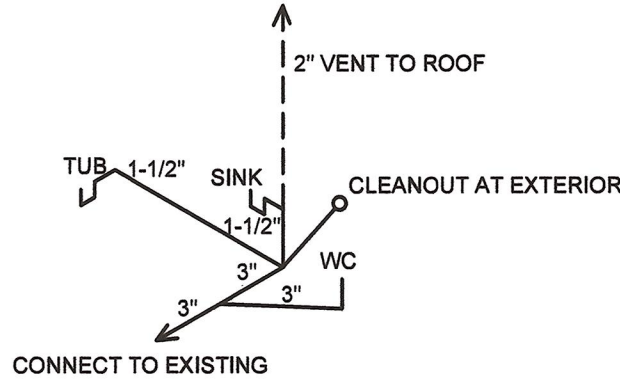
1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST MECHANICAL CODE, FLORIDA ENERGY EFFICIENCY CODE AND ALL LOCAL ORDINANCES.
2. THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, EQUIPMENT, SUPERVISION, PERMITS, FEES AND INSPECTIONS NECESSARY TO PROVIDE THE WORK COMPLETE AND READY FOR USE.
3. CONTRACTOR SHALL VERIFY SPACE CONDITIONS AND DIMENSIONS AND SHALL COORDINATE WORK WITH ALL OTHER TRADES PRIOR TO FABRICATING DUCTWORK OR INSTALLING EQUIPMENT OR PIPING.
4. PRIMARY DUCTWORK SHALL BE CONSTRUCTION OF ONE AND HALF-INCH THICK (R-6 MINIMUM) FIBERGLASS DUCTBOARD WITH REINFORCED ALUMINUM FOIL FACED COVERING FABRICATED AND INSTALLED PER SMACNA RECOMMENDATIONS.
5. ALL VENTILATION AND EXHAUST DUCTWORK SHALL BE OF GALVANIZED SHEET METAL CONSTRUCTION PER SMACNA RECOMMENDATIONS.
6. REFRIGERANT PIPING SHALL BE TYPE "L" COPPER TUBING SIZED AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. INSULATED SUCTION AND CONDENSATE PIPING WITH 1/4" THICK FOAM PLASTIC OF FIRE RETARDANT TYPE 25/30 MAXIMUM SMOKE DEVELOPED AND FLAME SPREAD RATINGS RESPECTIVELY PER TESTS IN MFPA-255. FINISH WHERE EXPOSED WITH TWO COATS OF ACRYLIC LACQUER IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
7. ALL EQUIPMENT, MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE. COMPRESSORS SHALL CARRY A FIVE-YEAR FACTORY GUARANTEE.
8. AIR CONDITION SYSTEM SHALL BE BALANCED TO OBTAIN COMFORT CONDITIONS IN ALL AREAS WITHOUT DRAFTING.
9. THERMOSTATS SHALL BE HEAT/COOL TYPE WITH FAN AND SYSTEM SELECTOR SWITCH ON SUB BASE. MOUNT FIVE FEET ABOVE FINISHED FLOOR WHERE SHOWN.
10. ALL DUCT ELBOWS GREATER THAN FORTY FIVE (45) DEGREES SHALL BE FITTED WITH TURNING VANES.
11. PROVIDE READY ACCESSIBILITY TO DAMPERS AND OTHER PARTS OF THE SYSTEM REQUIRED TO BE REACHED FOR MAINTENANCE AND OPERATIONS.
12. VERIFY ALL VOLTAGES WITH ELECTRICAL CONTRACTOR BEFORE ORDERING EQUIPMENT.
13. VIBRATION ISOLATION SHALL BE PROVIDED FOR ALL EQUIPMENT PER MANUFACTURER'S RECOMMENDATIONS.
14. ALL OUTSIDE EQUIPMENT SHALL BE SECURED TO WITHSTAND FORCES GENERATED BY 150 MPH WINDS.
15. FLEXIBLE DUCT SHALL BE FACTORY FABRICATED ROUND DUCTWORK COMPOSED OF CORROSION-RESISTANT REINFORCING WITH HELIX PERMANENTLY BONDED AND ENCLOSED IN POLYESTER FILM THEN COVERED WITH 1-1/2 INCH THICK 14 PCF (R-6 MINIMUM) DENSITY FIBERGLASS INSULATION BLANKET SHEATHED IN A VAPOR BARRIER OF ALUMINUM METALIZED POLYESTER FILM LAMINATED TO GLASS MESH, ELASTOMER BACK COATED. THE DUCT SHALL COMPLY WITH MFPA BULLETIN 90-A AND BE LISTED A CLASS 1 AIR DUCT. UL 181 DUCT SHALL BE "WIRE HOLD" TYPE WG OR EQUAL.

ELECTRICAL NOTES

1. THE CONTRACTOR SHALL PROVIDE ALL MATERIAL, LABOR, EQUIPMENT AND SUPERVISION NECESSARY TO PROVIDE THE WORK COMPLETE AND READY TO USE.
2. ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NEC) AND ALL OTHER APPLICABLE CODES AND STANDARDS.
3. NO PIPE, CONDUIT OR JUNCTION BOX SHALL BE INSTALLED IN STRUCTURAL SLABS, COLUMNS OR BEAMS UNLESS SPECIFICALLY SHOWN ON STRUCTURAL DRAWINGS.
4. THE CONTRACTOR IS RESPONSIBLE FOR EVALUATING EXISTING CONDITIONS AT THE SITE AND WITHIN THE BUILDING PRIOR TO BID.
5. THE CONTRACTOR SHALL COORDINATE WITH THE LOCAL UTILITY COMPANY FOR NEW SERVICE AND ANY SPECIAL REQUIREMENTS.
6. ELECTRICAL DRAWINGS (PLANS, DIAGRAMS, ETC.) ARE DIAGRAMMATIC AND SHOULD NOT BE SCALED. THE DRAWINGS DO NOT SHOW EVERY BEND, OFFSET, ELBOW AND OTHER FITTINGS WHICH MAY BE REQUIRED FOR PROPER INSTALLATION IN THE SPACE ALLOCATED OR AS REQUIRED TO COORDINATE WORK WITH THAT OF OTHER TRADES. ANY WORK NOT SHOWN BUT CONSIDERED NECESSARY FOR PROPER COMPLETION OF THE WORK SHALL BE PROVIDED WITHOUT ADDITIONAL CHARGES TO THE OWNER.
7. ALL WORK SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER.
8. THE CONTRACTOR SHALL SATISFACTORILY REPAIR AND/OR REPLACE EXISTING WORK, FEATURES AND EQUIPMENT DAMAGED AS A RESULT OF HIS WORK. SURFACES AND FINISHES SHALL BE RESTORED TO MATCH ADJACENT AREAS.
9. ALL CUTTING AND NOTCHING REQUIRED FOR THE INSTALLATION OF ELECTRICAL WORK SHALL BE ACCOMPLISHED IN AN APPROVED MANNER. APPROVAL SHALL BE OBTAINED FROM THE ENGINEER PRIOR TO CUTTING OR DRILLING STRUCTURAL MEMBERS UNLESS SPECIFICALLY ADDRESSED HEREIN.
10. EXISTING ELECTRICAL WORK, FEATURES AND EQUIPMENT INDICATED AND/OR REQUIRED TO BE REMOVED SHALL BE PROPERLY DISPOSED BY THE CONTRACTOR INCLUDING ABANDONED RACEWAYS, WIRING, BOXES, SWITCHES AND OTHER ELECTRICAL ITEMS NOT PLANNED TO REMAIN IN USE.
11. ALL DEVICE BOXES SHALL BE INSTALLED FLUSH AND CONDUITS RUN CONCEALED IN FINISHED AREAS EXCEPT AS SPECIFICALLY SHOWN OR NOTED OTHERWISE.
12. ALL WIRE SIZE SHALL BE #12 THHN/THWN UNLESS OTHERWISE NOTED ON DRAWINGS. CONDUCTORS #6 AND LARGER SHALL BE THW.
13. ALL CONDUCTORS SHALL BE COPPER.
14. ALL MATERIAL SHALL BE UL APPROVED.
15. A TYPEWRITTEN PANEL TALLY SHALL BE AFFIXED TO THE PANEL DOOR AFTER COMPLETION OF WORK THAT REFLECTS ALL CHANGES AND ADDITIONS.
16. ALL BRANCH CIRCUITS SHALL BE PROPERLY PHASE BALANCED.
17. ALL FLOOR PENETRATIONS SHALL BE SEALED WITH A FIRE SEAL SIMILAR TO 'OZ' FLAMESEAL.
18. ALL NON-POWER RELATED WIRING IN CEILING A/C PLENUM RUNNING WITHOUT CONDUIT SHALL BE TEFLON COATED CLASSIFIED FOR USE IN PLENUMS.
19. ALL OUTLETS, SWITCHES AND COVER PLATES SHALL HAVE WHITE FINISH OR OTHER COLOR SELECTED BY OWNER AND LEVITON 5350/5252 SERIES OR EQUAL.
20. ALL BRANCH CIRCUITS SHALL BE EQUIPPED WITH A GREEN EQUIPMENT GROUNDING CONDUCTOR SIZED IN ACCORDANCE WITH NEC 250.96.
21. ALL EMPTY CONDUITS SHALL BE PROVIDED WITH NYLON PULL STRINGS.
22. FUSES SHALL BE DUAL ELEMENT, TIME DELAY UNLESS OTHERWISE NOTED.
23. ALL LUMINARIES SHALL BE PROPERLY SUPPORTED IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS IF APPLICABLE AND LOCAL REQUIREMENTS. MOUNTING DEVICES MUST BE CAPABLE OF SUPPORTING CEILING FAN FIXTURES.
24. ALL RECESS CANS SHALL BE IC RATED, AND CONTROLLED BY DIMMER SWITCHES.
25. ALL CABLES SHALL BE RUN WITHOUT SPLICES UNLESS OTHERWISE NOTED.
26. PROVIDE REQUIRED CONNECTION FOR GARAGE DOOR OPENER(S), KITCHEN APPLIANCES, AND MECHANICAL EQUIPMENT.
27. BRANCH CIRCUITS SHALL BE ARC FAULT PROTECTED IN ACCORDANCE WITH NEC 210.12 AS APPLICABLE.
28. RECEPTACLE OUTLEST SHALL BE TAMPER PROOF IN ACCORDANCE WITH NEC 406.11. BATHROOM, GARAGE AND EXTERIOR RECEPTACLE OUTLETS AND KITCHEN RECEPTACLE OUTLETS WITHIN 6' OF WATER SOURCE SHALL BE GFI PROTECTED. EXTERIOR RECEPTACLE OUTLETS SHALL BE WATER-PROOF PROTECTED.
29. THE CONTRACTOR SHALL MAINTAIN ONE COMPLETE SET OF DRAWINGS TO INDICATE ALL CHANGES MADE TO THE ELECTRICAL DESIGN. THE AS-BUILT DRAWINGS SHALL BE DELIVERED TO THE OWNER AFTER COMPLETION OF THE WORK.

PLUMBING NOTES

1. THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIAL, EQUIPMENT AND SUPERVISION NECESSARY TO PROVIDE THE WORK COMPLETE AND READY FOR USE. THE NEW WORK SHALL INCLUDE COMPLETE HOT AND COLD WATER SYSTEMS AND VENT, WASTE AND DRAIN SYSTEMS IN ACCORDANCE WITH ALL APPLICABLE CODES.
2. ALL PLUMBING WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST PLUMBING CODE, THE ENERGY CONSERVATION CODE AND ALL APPLICABLE LOCAL ORDINANCES.
3. CONTRACTOR SHALL PAY FOR ALL PERMITS, FEES, INSPECTIONS AND TESTING.
4. CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FOR ONE YEAR.
5. PLUMBING DRAWINGS (PLANS, DIAGRAMS, ETC.) ARE DIAGRAMMATIC AND SHOULD NOT BE SCALED. THE DRAWINGS DO NOT SHOW EVERY BEND, OFFSET, ELBOW AND OTHER FITTINGS WHICH MAY BE REQUIRED FOR PROPER INSTALLATION IN THE SPACE ALLOCATED NOR AS REQUIRED TO COORDINATE WORK WITH THAT OF OTHER TRADES. ANY WORK NOT SHOWN ON THE DRAWINGS BUT CONSIDERED NECESSARY FOR THE PROPER COMPLETION OF THE WORK SHALL BE PROVIDED WITHOUT ADDITIONAL CHARGE TO THE OWNER.
6. THE CONTRACTOR SHALL COORDINATE HIS WORK WITH ALL OTHER WORK UNDER THIS CONTRACT.
7. THE OWNER WILL NOT BE HELD LIABLE FOR ANY CHANGES THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER OR FIELD CHANGES THAT ARISE FROM CONTRACTOR ERROR OR OMISSION OF MATERIAL OR POOR WORKMANSHIP.
8. THE CONTRACTOR SHALL VERIFY EXISTING SITE CONDITIONS AND THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING MAIN, WATER AND SEWER CONNECTIONS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL NOTIFY AND RECEIVE CLEARANCE FROM THE APPROPRIATE UTILITY COMPANIES PRIOR TO EXCAVATING.
9. VERIFY ALL DIMENSIONS AND CLEARANCES AT THE SITE AND IN THE BUILDING PRIOR TO FABRICATION AND INSTALLATION.
10. THE CONTRACTOR SHALL SATISFACTORILY REPAIR AND/OR REPLACE EXISTING WORK, FEATURES AND EQUIPMENT DAMAGED AS A RESULT OF HIS WORK. SURFACES AND FINISHES SHALL BE RESTORED TO MATCH ADJACENT SURFACES AND FINISHES.
11. THE CONTRACTOR SHALL INSPECT EXISTING CONDITIONS PRIOR TO BID AND BECOME FAMILIAR WITH THE SCOPE OF WORK. NO EXTRAS WILL BE ALLOWED FOR THE CONTRACTORS FAILURE TO COMPLY WITH THIS REQUIREMENT.
12. PLUMBING FIXTURES SHALL BE SELECTED BY THE OWNER AND INSTALLED BY THE CONTRACTOR. (PLUMBING FIXTURES INDICATED ON DRAWING ARE FOR REFERENCE ONLY, FIXTURES OR EQUAL QUALITY, AND CRAFTSMANSHIP MAY BE USED AS DIRECTED).
13. ALL FIXTURES SHALL BE PROTECTED FROM WATER HAMMER WITH AIR CHAMBER SIZED IN ACCORDANCE WITH P.D.I. STANDARDS. (JOSAN OR EQUAL)
14. PROVIDE CONTROL VALVES TO ALL RISERS, BRANCHES, GROUPS OF FIXTURES AND EACH PIECE OF EQUIPMENT. CONTROL VALVES SHALL BE CAST BRASS OR BRONZE GATE VALVES.
15. PROVIDE FULLY ACCESSIBLE CLEANOUTS ON SANITARY PIPING AT THE BASE OF EACH SOIL AND WASTE PIPE AND AT EVERY CHANGE OF DIRECTION.
16. PROVIDE MINIMUM PITCH OF 1/4" PER FOOT FOR ALL HORIZONTAL BRANCHES AND SEWER TRADES.
17. ALL WATER PIPING SHALL BE TYPE M COPPER WITH WROUGHT COPPER SOLDERED JOINT FITTINGS.
18. PROVIDE DIELECTRIC FITTINGS FOR JOINING DISSIMILAR METALS.
19. SANITARY DRAIN PIPING WITHIN THE BUILDING AND BELOW THE GROUND SHALL BE SCHEDULE 40 PVC.
20. WATER HEATER SHALL BEAR LABEL INDICATING COMPLIANCE WITH ASHRAE STD. 90. WATER HEATER SHALL BE EQUIPPED WITH A DRAIN PAN WITH 2" MIN. SIDES AND 2" CLEARANCE ON ALL SIDES. PROVIDE 3/4" DRAIN OUTLET LOCATED 1/2" ABOVE BOTTOM OF PAN. P&T RELIEF VALVE AND DRAIN PAN PIPING SHALL BE TYPE M COPPER.
21. UNDERGROUND PIPING SHALL BE PROTECTED WITH A COAT OF BITUMINOUS COMPOUND.
22. ALL FLOOR DRAINS SHALL HAVE TRAP PRIMERS TO PROTECT TRAP SEAL.
23. ALL VENTS THROUGH ROOF SHALL MAINTAIN MINIMUM 10' HORIZONTAL CLEARANCE FROM ANY MECHANICAL AIR INTAKE.
24. ALL PIPING SHALL BE SUPPORTED RIGIDLY.
25. ALL CUTTING AND NOTCHING REQUIRED FOR THE INSTALLATION OF PLUMBING WORK SHALL BE ACCOMPLISHED IN AN APPROVED MANNER. APPROVAL SHALL BE OBTAINED FROM THE ENGINEER OF RECORD PRIOR TO CUTTING OR DRILLING STRUCTURAL MEMBERS UNLESS SPECIFICALLY ADDRESSED HEREIN.
26. WATER USAGE FOR PLUMBING FIXTURES SHALL NOT EXCEED THE FOLLOWING:  
WATER CLOSETS: 1.6 GALLONS PER FLUSH  
SHOWERS: 2.5 GALLONS PER MINUTE  
FAUCETS: 2.0 GALLONS PER MINUTE
27. HOSE BIBS SHALL BE PROTECTED BY APPROVED BACK-SIPHONAGE BACKFLOW PREVENTERS.
28. TEST ALL WATER PIPING AT 100 PSI HYDROSTATIC PRESSURE A MINIMUM OF 2 HOURS.
29. TEST ALL SOIL, WASTE AND VENT PIPING WITH A 10' HEAD OF WATER. WATER LEVEL TO REMAIN UNCHANGED FOR 2 HOURS MINIMUM.
30. THE CONTRACTOR SHALL MAINTAIN ONE COMPLETE SET OF DRAWINGS TO INDICATE ALL CHANGES MADE TO THE PLUMBING DESIGN. THE AS-BUILT DRAWINGS SHALL BE DELIVERED TO THE OWNER AFTER COMPLETION OF WORK.



PLUMBING RISER DIAGRAM

FOR SCHEMATIC PURPOSES ONLY

SCALE: N.T.S.

ELECTRICAL LEGEND

	WALL DUPLEX OUTLET
	G.F.I. WALL DUPLEX OUTLET
	WALL SWITCH
	RECESSED CAN CEILING FIXTURE
	EXHAUST

NOTE:  
ELECTRICIAN/CONTRACTOR TO COORDINATE FINAL FIXTURE  
LOCATIONS WITH OWNER PRIOR TO ORDERING AND  
INSTALLATION

HVAC LEGEND

	DESCRIPTION
	SUPPLY WALL TYPE

NOTE: COORDINATE FINAL LOCATIONS  
WITH MECHANICAL CONTRACTOR

BEDROOM 1

CLOSET

CLOSET

ELECTRICAL AND MECHANICAL PLAN

FOR SCHEMATIC PURPOSES ONLY

SCALE: NTS

THE ELECTRICIAN/HVAC/PLUMBER OF  
RECORD IS RESPONSIBLE FOR THE  
DESIGN AND INSTALLATION OF THE  
COMPONENTS SPECIFIED ON THIS  
SCHEMATIC LAYOUT. ALL MATERIALS  
AND INSTALLATION PRACTICES SHALL  
COMPLY WITH THE APPLICABLE FLORIDA  
BUILDING CODE AS WELL AS ANY LOCAL  
MUNICIPAL CODES.

CIVIL ENGINEERING • REGULATORY PERMITTING • CONSTRUCTION MANAGEMENT



Key West Office  
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Key West, Florida 33040  
Tel: (305) 297-9440

CERTIFICATE OF AUTHORIZATION No. 8579

ORIGINAL: MAY 2021

REVISIONS:

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3  
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BATHROOM ADDITION

1708 CATHERINE STREET

KEY WEST, FL 33040

KURT BECKER

1708 CATHERINE STREET

KEY WEST, FL 33040

JOB NO. 211027

DRAWN SAR

DESIGNED JDH

CHECKED JDH

SHEET MEP

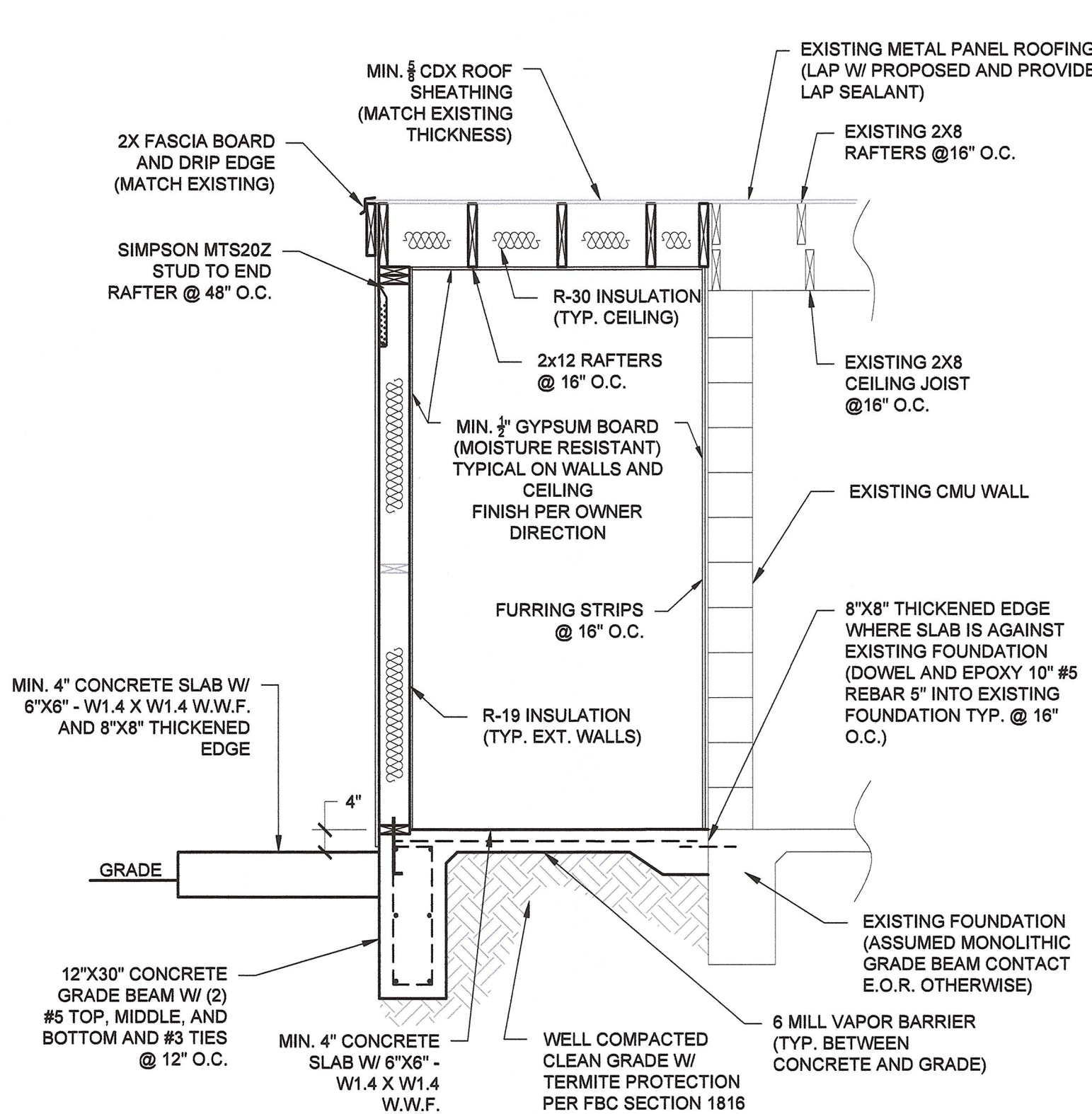


FOUNDATION & CONCRETE NOTES

1. ALL FOOTINGS ARE TO BE PLACED ON FIRM, UNDISTURBED, NATURAL ROCK UNLESS OTHERWISE NOTED.
2. CENTER ALL FOOTINGS UNDER WALLS, COLUMNS OR GRID LINES UNLESS OTHERWISE NOTED.
3. CONTRACTOR SHALL FURNISH FIELD DENSITY TESTS ON COMPACTED FILL UNDER FOOTINGS AND SLABS PRIOR TO PLACING CONCRETE. A MINIMUM OF 3 REPRESENTATIVE TESTS SHALL BE TAKEN FOR EACH FOOTING AND SLAB POUR.
4. FILL SHALL BE CLEAN EARTH FREE FROM ORGANIC MATTER, CAPABLE OF 2,000 PSF ALLOWABLE BEARING CAPACITY, COMPACTED IN MAX. 12" LIFTS.
5. ALL CAST-IN-PLACE CONCRETE SHALL BE MADE WITH TYPE III PORTLAND CEMENT, STONE AGGREGATE AND SHALL DEVELOP AT LEAST 4000 PSI COMPRESSIVE STRENGTH IN 28 DAYS. (UNLESS OTHERWISE NOTED.)
6. SLABS, TOPPING, FOOTINGS, BEAMS AND WALLS SHALL NOT HAVE JOINTS IN THE HORIZONTAL PLANE. ANY STOP IN CONCRETE WORK MUST BE MADE AT THE CENTER OF SPAN WITH VERTICAL BULKHEADS AND SHEAR KEYS UNLESS OTHERWISE NOTED. ALL CONSTRUCTION JOINTS SHALL BE AS DETAILED OR OTHERWISE APPROVED BY THE ENGINEER.
7. ALL CONCRETE WORK AND REINFORCING DETAILS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ACI 318. EXPOSED EDGES OF CONCRETE SHALL HAVE 1/2" CHAMFER. USE STANDARD REBAR HOOKS UNLESS OTHERWISE NOTED.
8. CONCRETE FORMS SHALL BE WETTED IMMEDIATELY PRIOR TO PLACING CONCRETE.
9. MIXING, PLACING AND CURING OF ALL CONCRETE MUST BE IN ACCORDANCE WITH ACI 305R. HOT WEATHER CONCRETING, NEW CONCRETE EXPOSED TO DIRECT SUNLIGHT SHALL BE SPRAYED OR MOPPED WITH A CURING COMPOUND AFTER THE FINISH HAS SET, OR THE CONCRETE SHALL COVERED AND WETTED.
10. PROVIDE PLASTIC SLEEVES IN MASONRY PARTITIONS AND CONCRETE FOUNDATIONS AS INDICATED AND REQUIRED FOR UTILITY SERVICES. NO OTHER PIPE, CONDUIT OR ACCESSORY SHALL BE PLACED IN STRUCTURAL SLABS, COLUMNS OR BEAMS UNLESS SPECIFICALLY SHOWN ON STRUCTURAL DRAWINGS.
11. PROVIDE MASONRY FILLED CELL OR CONCRETE COLUMN WITH (1) #5 REBAR FROM BEAM TO BEAM ON BOTH SIDES OF ALL EXTERIOR OPENINGS.
12. ALL REINFORCING SHALL BE HIGH STRENGTH DEFORMED BARS CONFORMING TO ASTM A-615, GRADE 60.
13. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185 AND SHALL BE LAPPED ONE FULL MESH AND AT SIDE AND END SPLICES COVERED TOGETHER.
14. REINFORCEMENT COVERAGE SHALL BE 2" MINIMUM WHEN FORMS ARE USED AND 3" MINIMUM WHEN POURED AGAINST THE EARTH, UNLESS OTHERWISE NOTED.
15. LAP SPLICES SHALL BE A MINIMUM OF 48 BAR DIAMETERS, UNLESS NOTED OTHERWISE. MAKE ALL BARS CONTINUOUS AROUND CORNERS.
16. PROVIDE ALL ACCESSORIES NECESSARY TO SECURE REINFORCING IN PROPER POSITION AS INDICATED ON THE DRAWINGS AND IN ACCORDANCE WITH ACI 318. ALL ACCESSORIES THAT DO NOT MEET REINFORCEMENT COVERAGE REQUIREMENTS SHALL BE NON-METALLIC.
17. ALL UNIT MASONRY CONSTRUCTION AND DETAILS SHALL BE IN ACCORDANCE WITH ACI 530.
18. ANCHOR BOLTS (INCL. ALL THREAD) SHALL BE MINIMUM 3/8" GALVANIZED STEEL AND EMBEDDED MINIMUM 7" INTO CONCRETE. UNLESS NOTED OTHERWISE, ANCHOR BOLTS SHALL MEET ASTM F1554, Fy=58ksi MIN. SUPPLY ALL ANCHOR BOLTS W/ NUTS AND WASHERS MEETING ASTM A563 AND F844.
19. MANUFACTURED STRAPS AND ANCHORS SHALL BE GALVANIZED (U.N.O.) AND SHALL BE FASTENED PER THE MANUFACTURER RECOMMENDATIONS. IN NO EVENT SHALL A STRUCTURAL MEMBER SUCH AS PIER, SILL, JOIST, PLATE, RAFTER OR TRUSS BE WITHOUT ANCHORAGE DEVICES FOR HURRICANE PROTECTION, UNLESS SPECIFICALLY NOTED AND ADDRESSED BY OTHER MEANS.
20. ANCHOR BOLT EPOXY SHALL BE SIMPSON SET-XP OR APPROVED EQUAL. CLEAN HOLES AND INSTALL PER MANUFACTURER SPECIFICATIONS.
21. CONCRETE REPAIR MORTAR SHALL BE FX-263, OR FX-225 WHEN A FORM AND POUR REPAIR IS REQUIRED (OR APPROVED EQUALS). PREPARE SURFACES AND APPLY REPAIR MORTAR PER MANUFACTURER SPECIFICATIONS. USE BONDING AGENTS COMPATIBLE WITH REPAIR MORTAR SPECIFICATIONS.

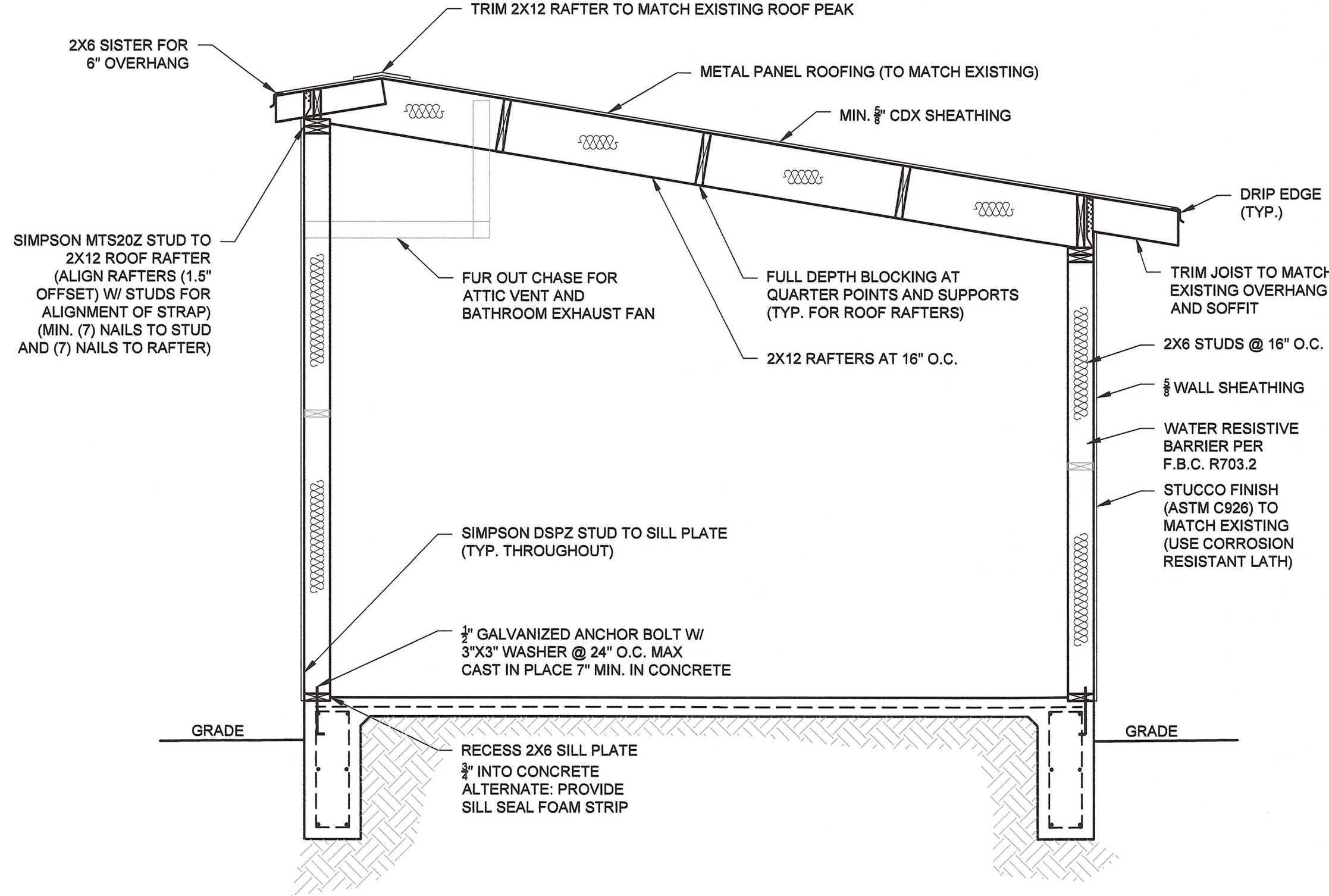
SHEATHING NOTES

1. ALL EXTERIOR SURFACES SHALL BE SHEATHED WITH CDX PLYWOOD UNLESS NOTED OTHERWISE
2. EXTERIOR WALL SHEATHING SHALL EXTEND FROM TOP OF TOP PLATE TO BOTTOM OF SILL PLATE (OR WOOD BEAM BELOW, IF PRESENT). ALL WALL SHEATHING JOINTS SHALL BE BLOCKED WITH 2X MATERIAL TO MATCH STUD DEPTH.
3. SHEATHING SHALL BE THE THICKNESS INDICATED ON THE DRAWINGS BUT NOT LESS THAN 1/2" FOR SIDING SHEATHING AND 5/8" FOR ROOF SHEATHING.
4. THE LONG DIMENSION OF THE PLYWOOD SHEATHING SHALL BE INSTALLED PERPENDICULAR TO THE FRAMING AND END JOINTS SHALL BE STAGGERED.
5. SHEATHING SHALL BE FASTENED TO ROOF FRAMING WITH 8d RING-SHANK NAILS AT 4" oc ALONG PANEL EDGES AND 6" oc IN THE FIELD. UNLESS OTHERWISE NOTED.
6. SHEATHING SHALL BE FASTENED TO WALL FRAMING WITH 10d NAILS AT 4" oc ALONG PANEL EDGES, 6" IN THE FIELD AND 4" STAGGERED ALONG TOP PLATES. UNLESS OTHERWISE NOTED.



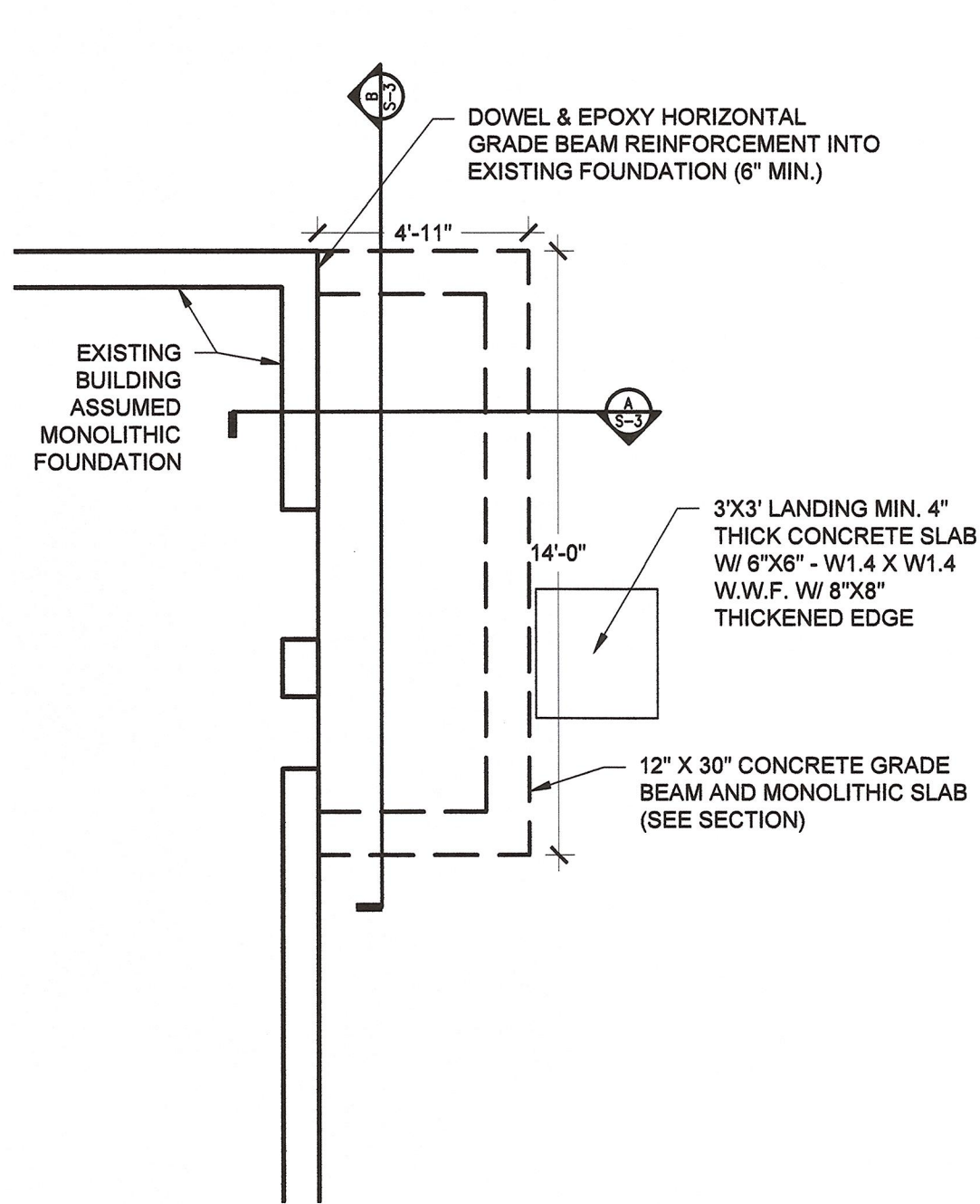
A BUILDING SECTION  
S-3

SCALE: 1/2"=1'-0"



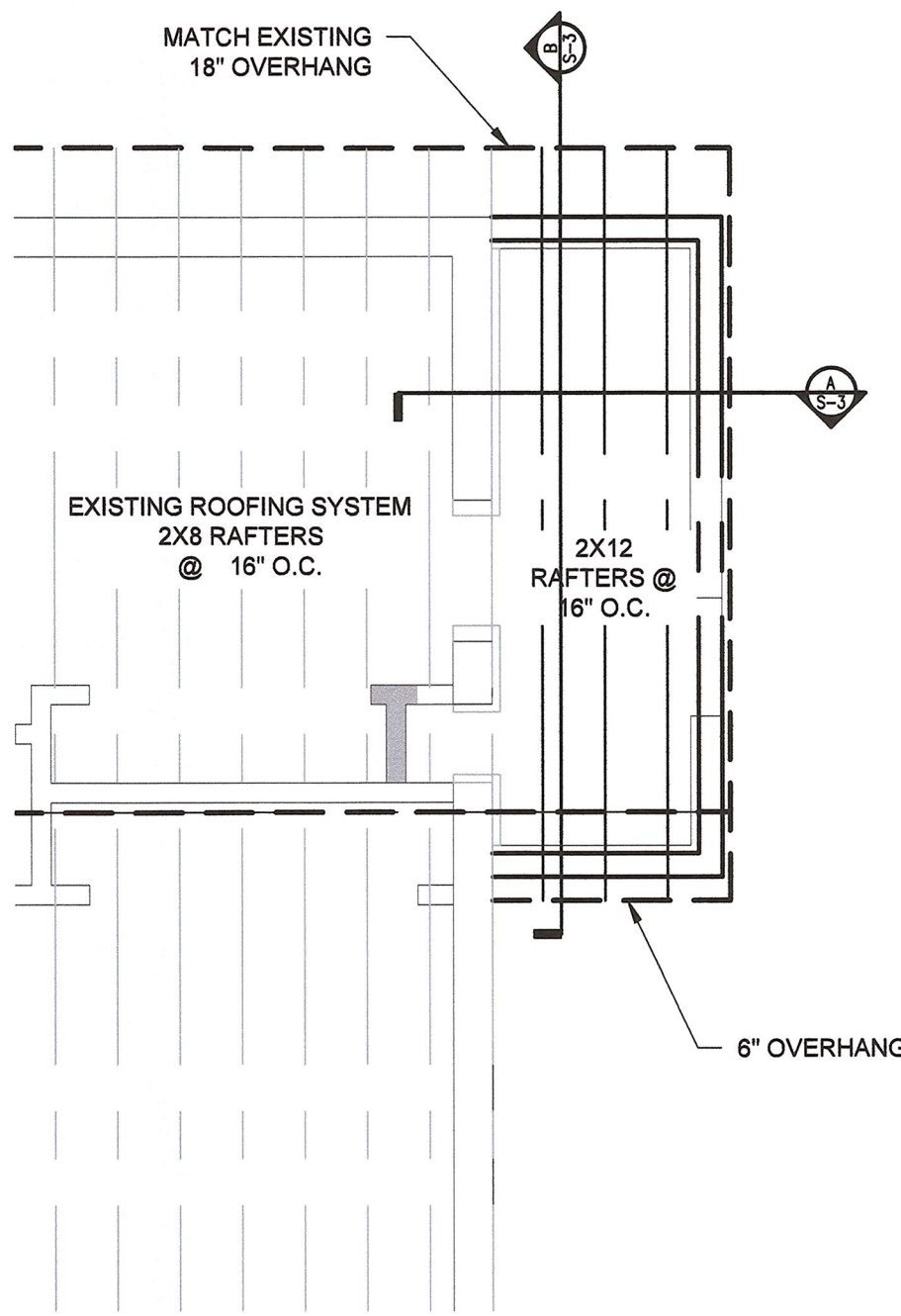
B BUILDING SECTION  
S-3

SCALE: 1/2"=1'-0"



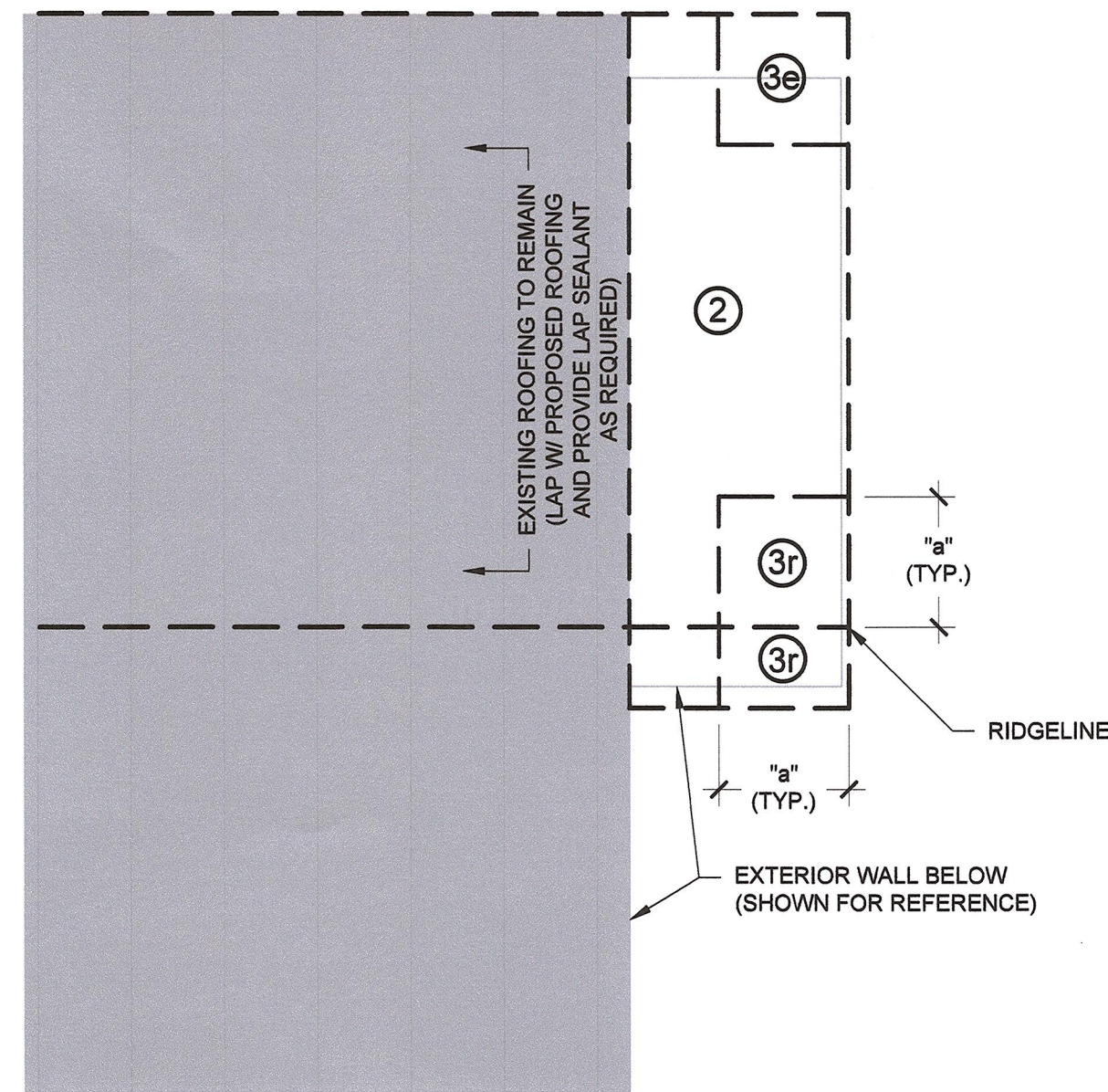
FOUNDATION PLAN

SCALE: 1/4"=1'-0"



ROOF FRAMING PLAN

SCALE: 1/4"=1'-0"



ROOF PRESSURE PLAN

SCALE: 1/4"=1'-0"

ROOF ZONE PRESSURES	
GABLE END ROOF	
$V_{ind}$	
ZONE 1:	N/A
ZONE 2 & 3e:	-138.6 psf
ZONE 3r:	-164.4 psf
EDGE ZONE	
$s = 3'$	
UNDERLAYMENT:	
GRACE ICE & WATER SHIELD - NDA 20-1008.04	
ROOF COVERING (MATCH EXISTING):	
METAL SALES, 5 V CRMP PANEL - NDA 18-0313.02	
OR AS REQUIRED TO MATCH EXISTING W/ FLORIDA	
PRODUCT APPROVAL MEETING WIND LOADS LISTED	

ROOFING AND UNDERLAYMENT SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS, INCLUDING ALL FLASHING AND ACCESSORIES.



JUSTIN D. HENKA  
Florida P.E. NO. 86478  
June 4, 2021

BATHROOM ADDITION  
1708 CATHERINE STREET  
KEY WEST, FL 33040

KURT BECKER  
1708 CATHERINE STREET  
KEY WEST, FL 33040

JOB NO. 211027  
DRAWN SAR  
DESIGNED JDH  
CHECKED JDH

SHEET S-1

CIVIL ENGINEERING • REGULATORY PERMITTING • CONSTRUCTION MANAGEMENT  
**PEREZ ENGINEERING**  
& DEVELOPMENT, INC.  
CERTIFICATE OF AUTHORIZATION No. 8579  
Key West Office  
1010 East Kennedy Drive, Suite 202  
Key West, FL 33040  
Tel: (305) 293-9440



**Deed**

Prepared by and return to:  
**Gregory S. Oropeza, Esq.**  
**Attorney at Law**  
**Oropeza Stones Cardenas, PLLC**  
**221 Simonton Street**  
**Key West, FL 33040**  
**305-294-0252**  
File Number: **21-09**  
Consideration: **\$699,000.00**

Parcel Identification No. **00044770-000000**

[Space Above This Line For Recording Data]

## Warranty Deed

(STATUTORY FORM - SECTION 689.02, F.S.)

**This Indenture** made this 1<sup>st</sup> day of **March, 2021** between **Deborah A. Buniski Inc., a Delaware corporation** whose post office address is **35432 Coastal Highway, Fenwick Island, DE 19944** of the County of **Sussex**, State of **Delaware**, grantor\*, and **Kurt Becker and Kimberly Sue Becker, husband and wife** whose post office address is **1708 Catherine Street, Key West, FL 33040** of the County of **Monroe**, State of **Florida**, grantee\*,

**Witnesseth** that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in **Monroe County, Florida**, to-wit:

**On the Island of Key West and known as Lot Nine (9) of Square Nineteen (19), of a Resubdivision of Squares 17, 19, 19, 20 and Part of Squares 21 and 23 of Tract 20, according to the map or plat thereof as recorded in Plat Book 3, Page 10, Public Records of Monroe County, Florida.**

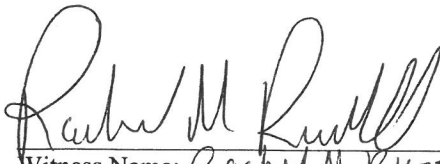
**Subject to taxes for 2021 and subsequent years; covenants, conditions, restrictions, easements, reservations and limitations of record, if any.**

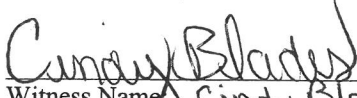
and said grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

\* "Grantor" and "Grantee" are used for singular or plural, as context requires.

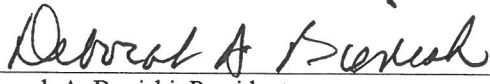
**In Witness Whereof**, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

  
Witness Name: Rachel M. Russell

  
Witness Name: Cindy Blades

Deborah A. Buniski, Inc., a Delaware corporation,

By:   
Deborah A. Buniski, President

State of Delaware  
County of Sussex

The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐ online notarization, this 25 day of February, 2021 by Deborah A. Buniski, President of Deborah A. Buniski, Inc., a Delaware corporation, on behalf of the corporation. He/she ☐ is personally known to me or ☒ has produced a driver's license as identification.

[Notary Seal]



  
Notary Public

Printed Name: Erica M Rayne

My Commission Expires: August 4, 2022



# **Property Record Card**



### Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

### Summary

**Parcel ID** 00044770-000000  
**Account#** 1045381  
**Property ID** 1045381  
**Millage Group** 10KW  
**Location** 1708 CATHERINE St, KEY WEST  
**Address**  
**Legal** RESUB OF SQS-17-18-19-20 AND PT OF 21 AND 23 TRACT 20 PB3-10  
**Description** OF MONROE INV CO PLAT PB1-41 LOT 9 SQR 19 OR16-125/26 OR444-634 OR1122-2250/52 OR1142-1488P/R OR1149-1239 OR1805-1135/37 OR1891-153 OR1989-880/81 OR2095-2319/20 OR2670-547/48 OR2688-1314/15 OR2767-2050/51 OR2867-261/62 OR3079-0476  
 (Note: Not to be used on legal documents.)  
**Neighborhood** 6181  
**Property Class** SINGLE FAMILY RESID (0100)  
**Subdivision** Re-Sub Sqrs 17, 18, 19, 20 & Pts of Sqrs 21 & 23 Monroe Investment Co  
**Sec/Twp/Rng** 05/68/25  
**Affordable** No  
**Housing**



### Owner

**BECKER KURT**  
 1708 Catherine St  
 Key West FL 33040

**BECKER KIMBERLY SUE**  
 1708 Catherine St  
 Key West FL 33040

### Valuation

	2020	2019	2018	2017	2016
+ Market Improvement Value	\$151,311	\$152,921	\$144,872	\$152,444	\$121,448
+ Market Misc Value	\$34,289	\$35,361	\$30,022	\$31,044	\$9,052
+ Market Land Value	\$291,720	\$295,680	\$324,720	\$311,520	\$262,013
= Just Market Value	\$477,320	\$483,962	\$499,614	\$495,008	\$392,513
= Total Assessed Value	\$477,320	\$483,962	\$499,614	\$431,764	\$392,513
- School Exempt Value	\$0	\$0	\$0	\$0	\$0
= School Taxable Value	\$477,320	\$483,962	\$499,614	\$495,008	\$392,513

### Land

Land Use	Number of Units	Unit Type	Frontage	Depth
RESIDENTIAL DRY (010D)	5,280.00	Square Foot	60	88

### Buildings

<b>Building ID</b>		3536	<b>Exterior Walls</b>		C.B.S.
<b>Style</b>		GROUND LEVEL	<b>Year Built</b>		1952
<b>Building Type</b>		S.F.R. - R1/ R1	<b>EffectiveYearBuilt</b>		2012
<b>Gross Sq Ft</b>		1490	<b>Foundation</b>		CONCR FTR
<b>Finished Sq Ft</b>		1003	<b>Roof Type</b>		GABLE/HIP
<b>Stories</b>		1 Floor	<b>Roof Coverage</b>		METAL
<b>Condition</b>		GOOD	<b>Flooring Type</b>		CONC ABOVE GRD
<b>Perimeter</b>		138	<b>Heating Type</b>		FCD/AIR NON-DC with 0% NONE
<b>Functional Obs</b>		0	<b>Bedrooms</b>		2
<b>Economic Obs</b>		0	<b>Full Bathrooms</b>		1
<b>Depreciation %</b>		7	<b>Half Bathrooms</b>		0
<b>Interior Walls</b>		PLYWOOD PANEL	<b>Grade</b>		550
			<b>Number of Fire Pl</b>		0
<b>Code</b>	<b>Description</b>	<b>Sketch Area</b>	<b>Finished Area</b>	<b>Perimeter</b>	
CPF	COVERED PARKING FIN	264	0	70	

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	1,003	1,003	176
OPF	OP PRCH FIN LL	163	0	80
SBF	UTIL FIN BLK	60	0	32
TOTAL		1,490	1,003	358

## Yard Items

Description	Year Built	Roll Year	Quantity	Units	Grade
CONC PATIO	1990	1991	1	540 SF	2
AIR COND	2015	2016	1	2 UT	1
RES POOL	2016	2017	1	264 SF	3
FENCES	2016	2017	1	816 SF	2
CONC PATIO	2016	2017	1	680 SF	2

## Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved
3/1/2021	\$699,000	Warranty Deed	2306642	3079	0476	01 - Qualified	Improved
7/7/2017	\$580,000	Warranty Deed	2133565	2867	261	01 - Qualified	Improved
10/29/2015	\$450,000	Warranty Deed		2767	2050	02 - Qualified	Improved
4/25/2014	\$253,100	Warranty Deed		2688	1314	12 - Unqualified	Improved
2/6/2014	\$100	Certificate of Title		2670	547	12 - Unqualified	Improved
3/21/2005	\$690,000	Warranty Deed		2095	2319	Q - Qualified	Improved
10/1/1990	\$99,000	Warranty Deed		1149	1239	Q - Qualified	Improved
2/1/1969	\$13,500	Conversion Code		444	634	Q - Qualified	Improved

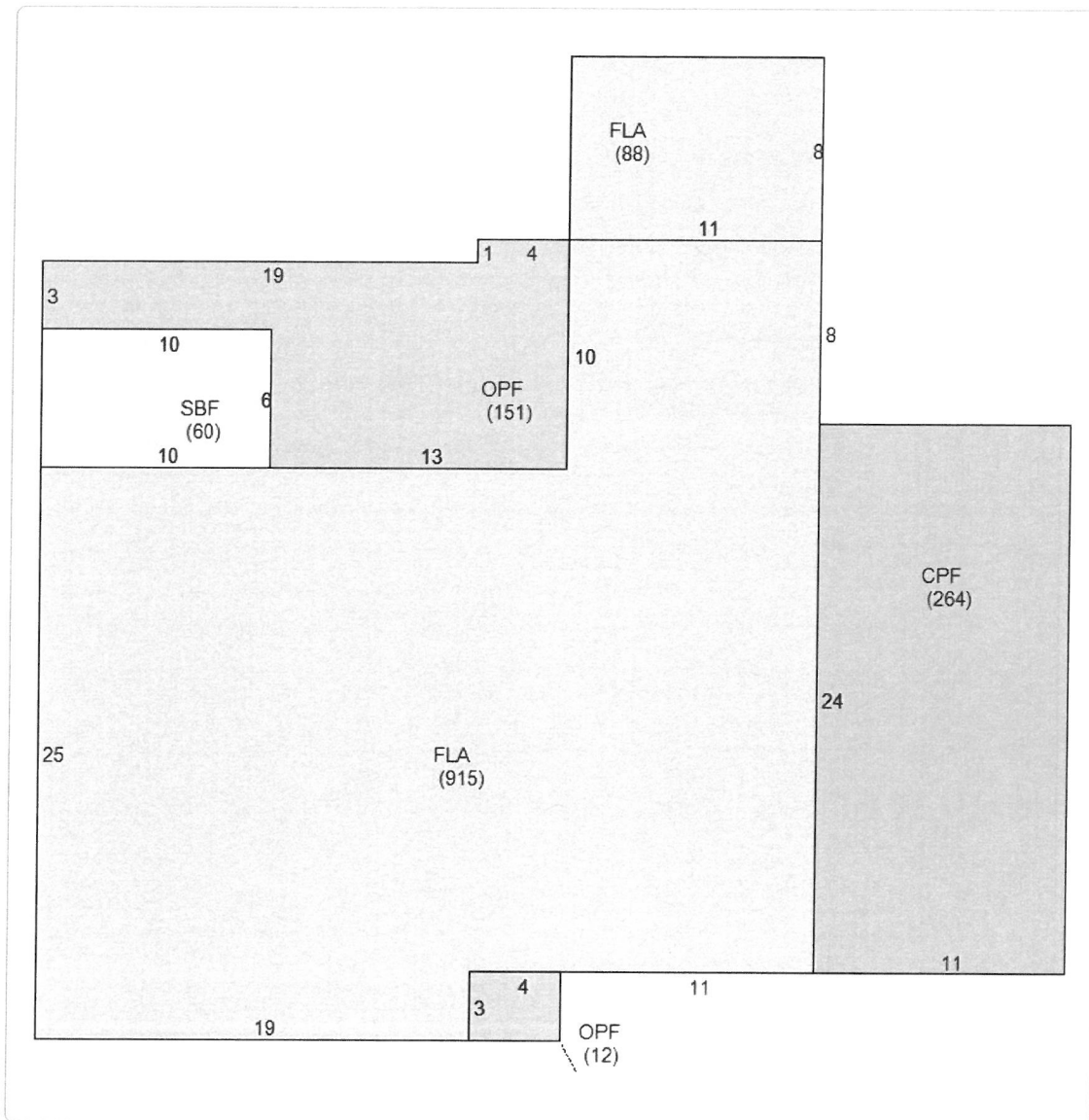
## Permits

Number	Date Issued	Date Completed	Amount	Permit Type	Notes
16-1621	5/12/2016	10/21/2016	\$2,000		INSTALL 136 X 6 FENCE
15-5035	12/17/2015	3/1/2016	\$40,300		CONSTRUCT 12X22 CONCRETE POOL
15-3217	8/3/2015	4/22/2016	\$2,000		INSTALL 131 LF OF 6' H FENCE. 78' ON EAST, 18' ON NORTH, 15 ON WEST
15-2527	6/19/2015	7/16/2015	\$8,750		REMOVE EXISTING ASPHALT SHINGLE ROOF. INSTALL 26 G 5 V-CRIMP METAL ROOFING SYSTEM.
05-0937	3/26/2005	10/14/2005	\$1,650		REPLACE OLD SERVICE WITH A 200 AMP
04-0972	3/31/2004	7/23/2004	\$1,500		REPLACE SEWER LINE
9700355	2/1/1997	12/1/1997	\$1,200		ROOF

## View Tax Info

[View Taxes for this Parcel](#)

Sketches (click to enlarge)



Photos



## Map



## TRIM Notice

[2020 TRIM Notice \(PDF\)](#)

2020 Notices Only

**No data available for the following modules: Commercial Buildings, Mobile Home Buildings, Exemptions.**

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