

KEY WEST HISTORIC SEAPORT PHASE II

WILLIAM P. HORN
ARCHITECT, P.A.

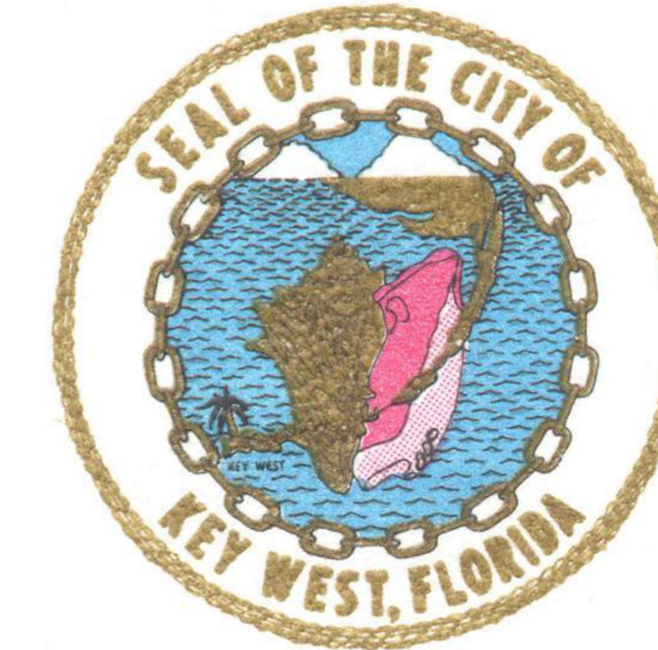
915 EATON ST.
KEY WEST,
FLORIDA
33040

TEL (305) 296-8302
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LICENSE NO.
AA 0003040

KEY WEST
HISTORIC
SEAPORT
PHASE II

KEY WEST BIGHT
KEY WEST, FL. 33040



KEY WEST CITY OFFICIALS

MAYOR TERI JOHNSTON

COMMISSIONER JIMMY WEEKLEY, DISTRICT I

COMMISSIONER SAMUEL KAUFMAN, DISTRICT II

COMMISSIONER BILLY WARDLOW, DISTRICT III

COMMISSIONER GREGORY DAVILA, DISTRICT IV

COMMISSIONER MARY LOU HOOVER, DISTRICT V

COMMISSIONER CLAYTON LOPEZ, DISTRICT VI

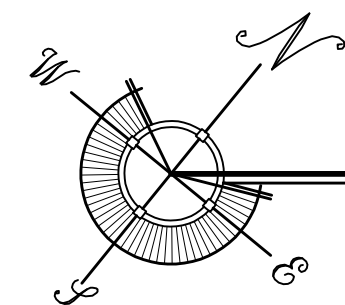
CITY MANAGER PATTI MCLAUHLIN

SEAL _____

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WILLIAM P. HORN

DATE _____

08-24-2018 HARC SUBMITTAL
10-08-2019 FINAL TREE COMM.
02-01-2020 100% CD SUBMISSION
09-15-2021 BIGHT BOARD MEET



PROPOSED HISTORIC SEAPORT HARBORWALK - SITE PLAN

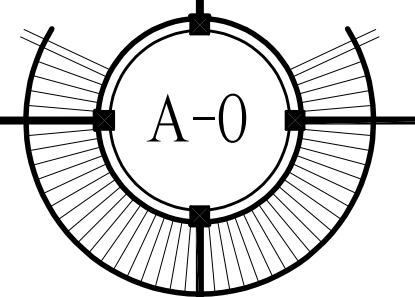
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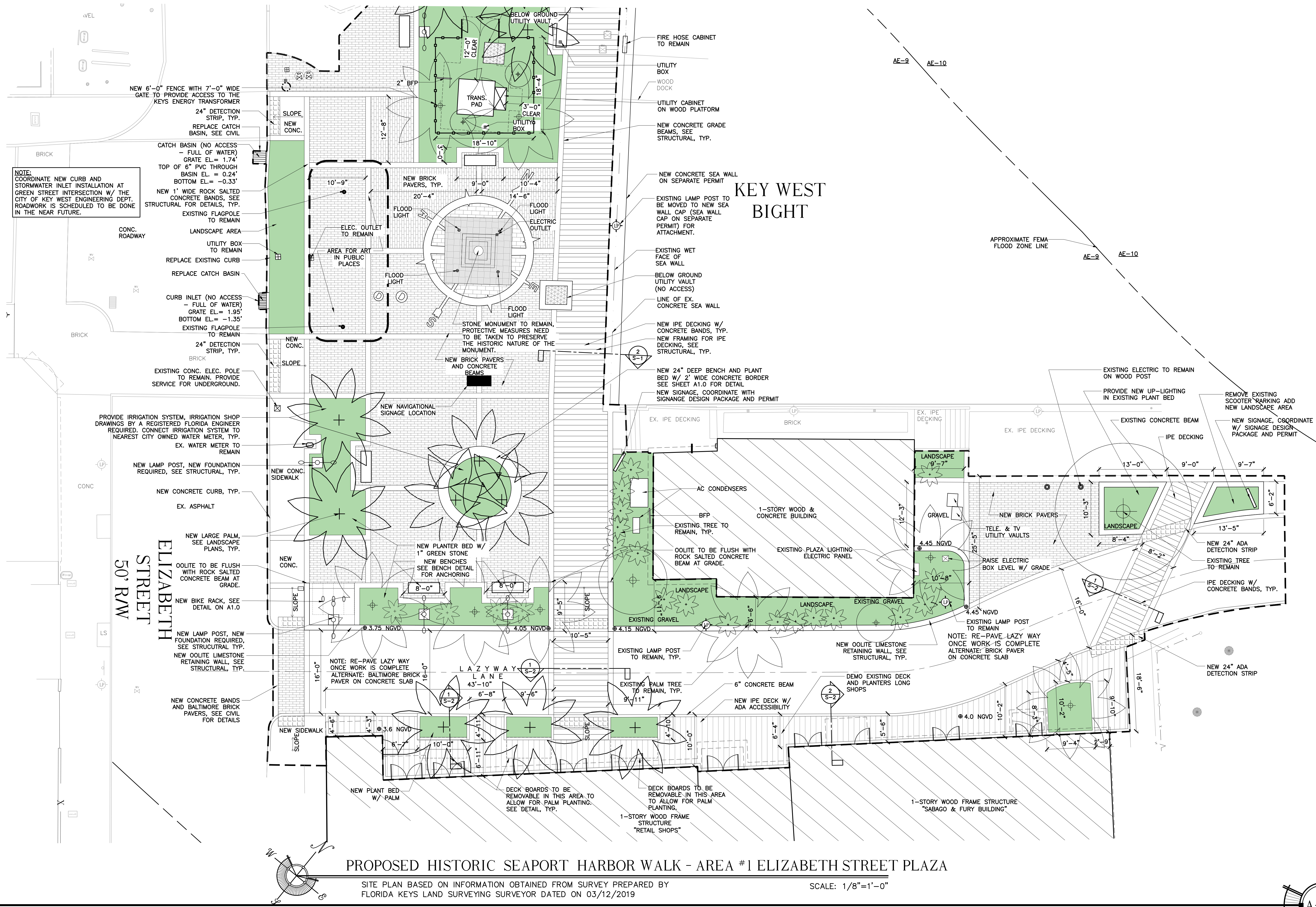
INDEX OF SHEETS									
PAGE	DESCRIPTION	PAGE	DESCRIPTION	PAGE	DESCRIPTION	PAGE	DESCRIPTION	PAGE	DESCRIPTION
A-0	COVER SHEET	E-1.0	SITE DETAILS	AD-2.0	DEMOLITION ELIZABETH STREET PLAZA	L-1.0	EXISTING TREES AREA #1	C-100	CIVIL ELIZABETH STREET PLAZA
A-1.0	SITE DETAILS	E-2.0	PROPOSED ELIZABETH STREET PLAZA	AD-2.1	DEMOLITION ELIZABETH STREET PLAZA	L-1.1	LANDSCAPE PLAN AREA #1	C-200	CIVIL WILLIAM STREET PLAZA
A-2.0	PROPOSED ELIZABETH STREET PLAZA	E-2.1	PROPOSED ELIZABETH STREET PLAZA	AD-3.0	DEMOLITION WILLIAM STREET PLAZA	L-2.0	EXISTING TREES AREA #2	C-300	CIVIL DETAILS
A-2.1	PROPOSED ELIZABETH STREET PLAZA	E-3.0	PROPOSED WILLIAM STREET PLAZA	AD-4.0	DEMOLITION MARGARET STREET PLAZA	L-2.1	LANDSCAPE PLAN AREA #2		
A-2.2	PROPOSED IPE DECKING LAYOUT	E-4.0	PROPOSED MARGARET STREET PLAZA	EX-2.0	EXISTING ELIZABETH STREET PLAZA	L-3.0	EXISTING TREES AREA #3	SU-1	SURVEY ELIZABETH STREET PLAZA
A-3.0	PROPOSED WILLIAM STREET PLAZA	E-5.0	SPECIFICATIONS	EX-2.1	EXISTING ELIZABETH STREET PLAZA	L-3.1	LANDSCAPE PLAN AREA#3	SU-2	SURVEY WILLIAM STREET PLAZA
A-4.0	PROPOSED MARGARET STREET PLAZA			EX-3.0	EXISTING ELIZABETH STREET PLAZA			SU-3	SURVEY MARGARET STREET PLAZA
A-5.0	SPECIFICATIONS			EX-4.0	EXISTING ELIZABETH STREET PLAZA				
S-1	DECK STRUCTURAL								

REVISIONS _____

DRAWN BY
JW

PROJECT
NUMBER
1609







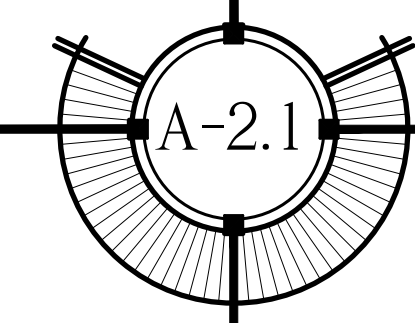
GREENE STREET
50' R/W

PROPOSED HISTORIC SEAPORT HARBOR WALK - AREA #1 ELIZABETH STREET PLAZA

SITE PLAN BASED ON INFORMATION OBTAINED FROM SURVEY PREPARED BY
FLORIDA KEYS LAND SURVEYING SURVEYOR DATED ON 03/12/2019

SCALE: 1/8"=1'-0"

KEY WEST HISTORIC SEAPORT
PHASE II
KEY WEST, FLORIDA



SEAL

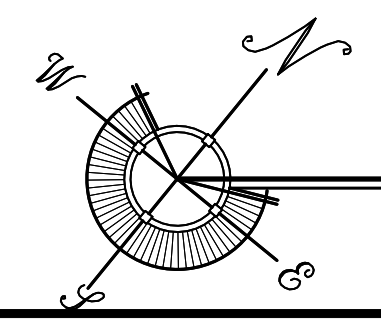
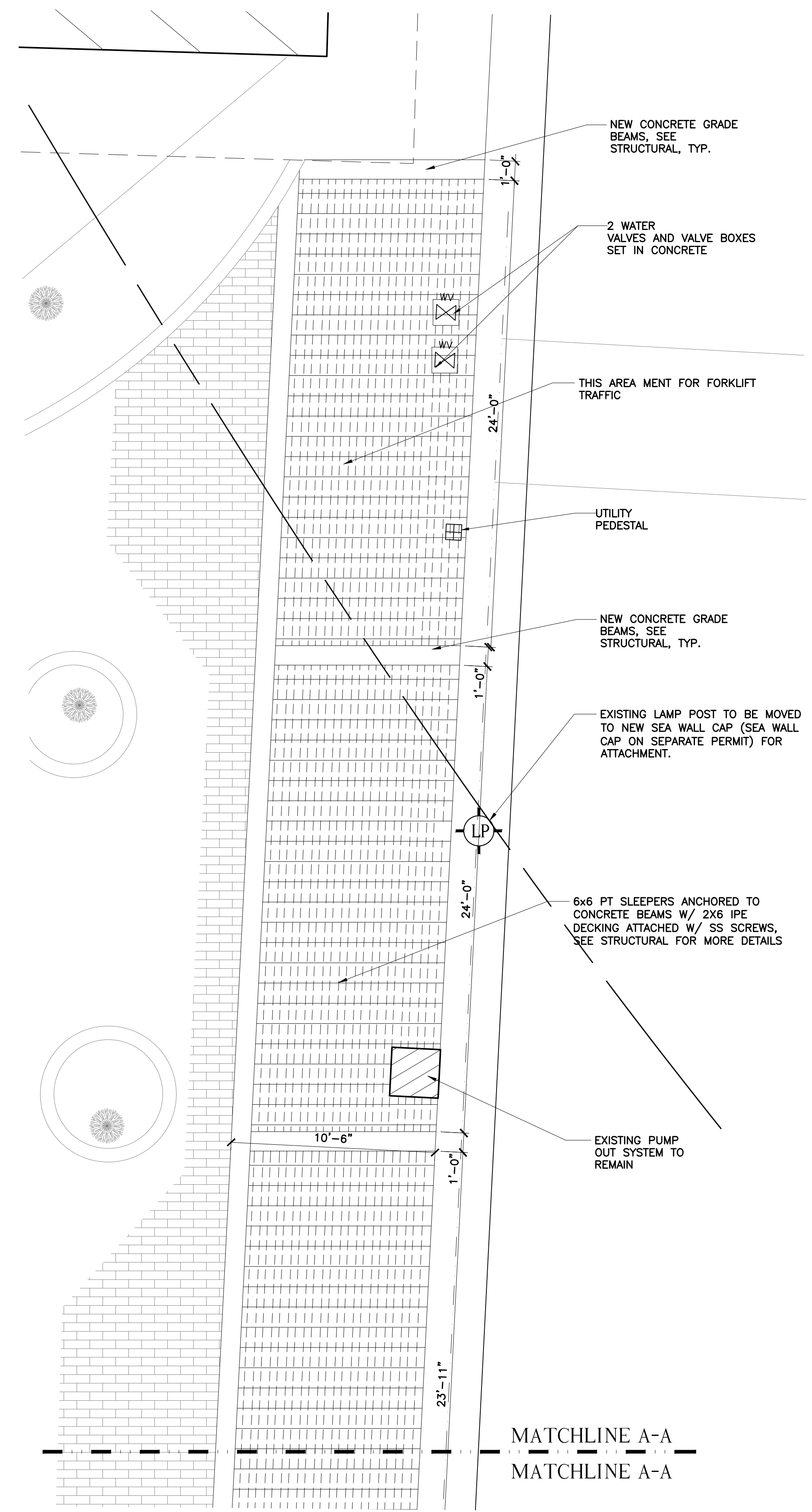
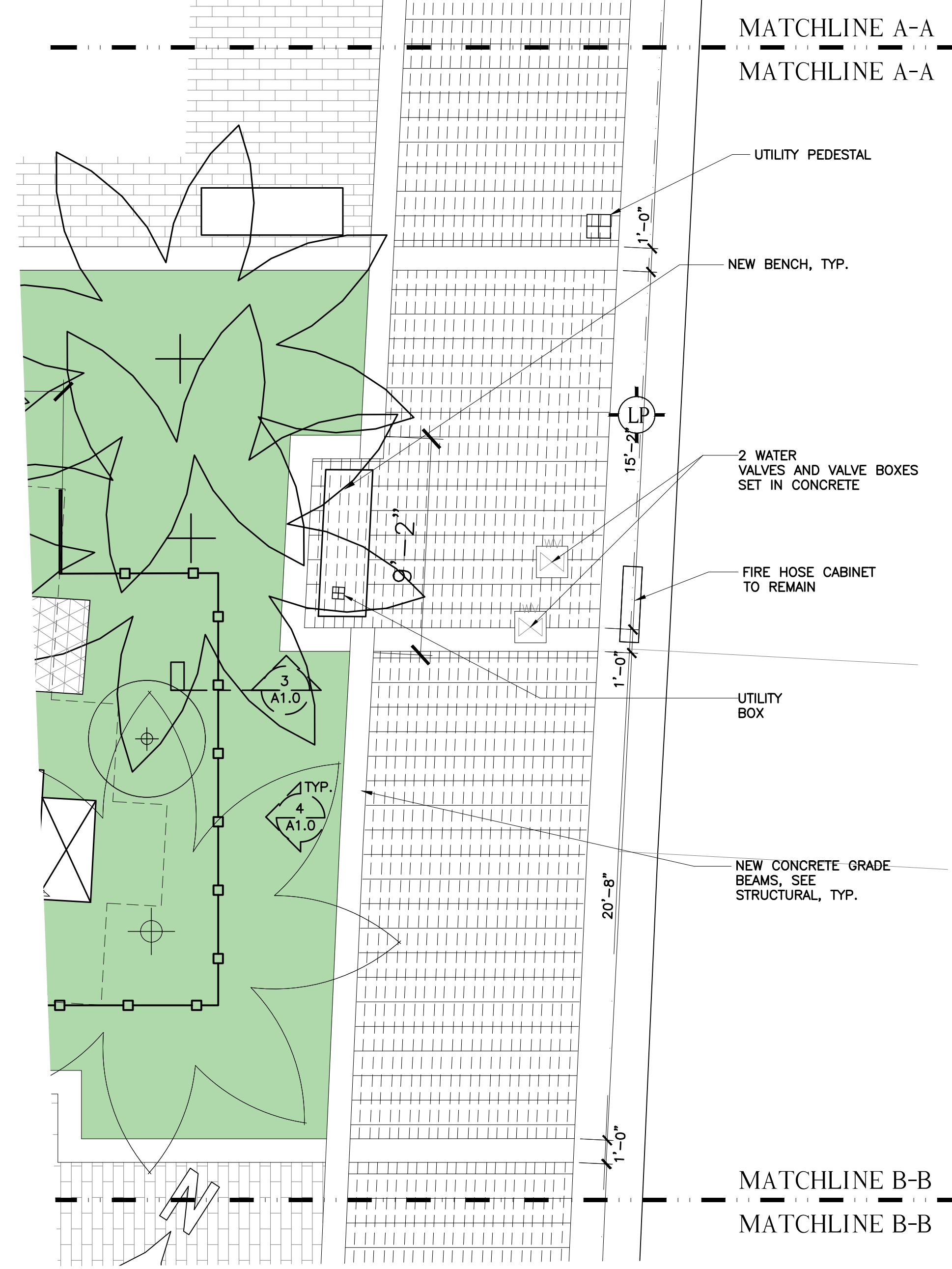
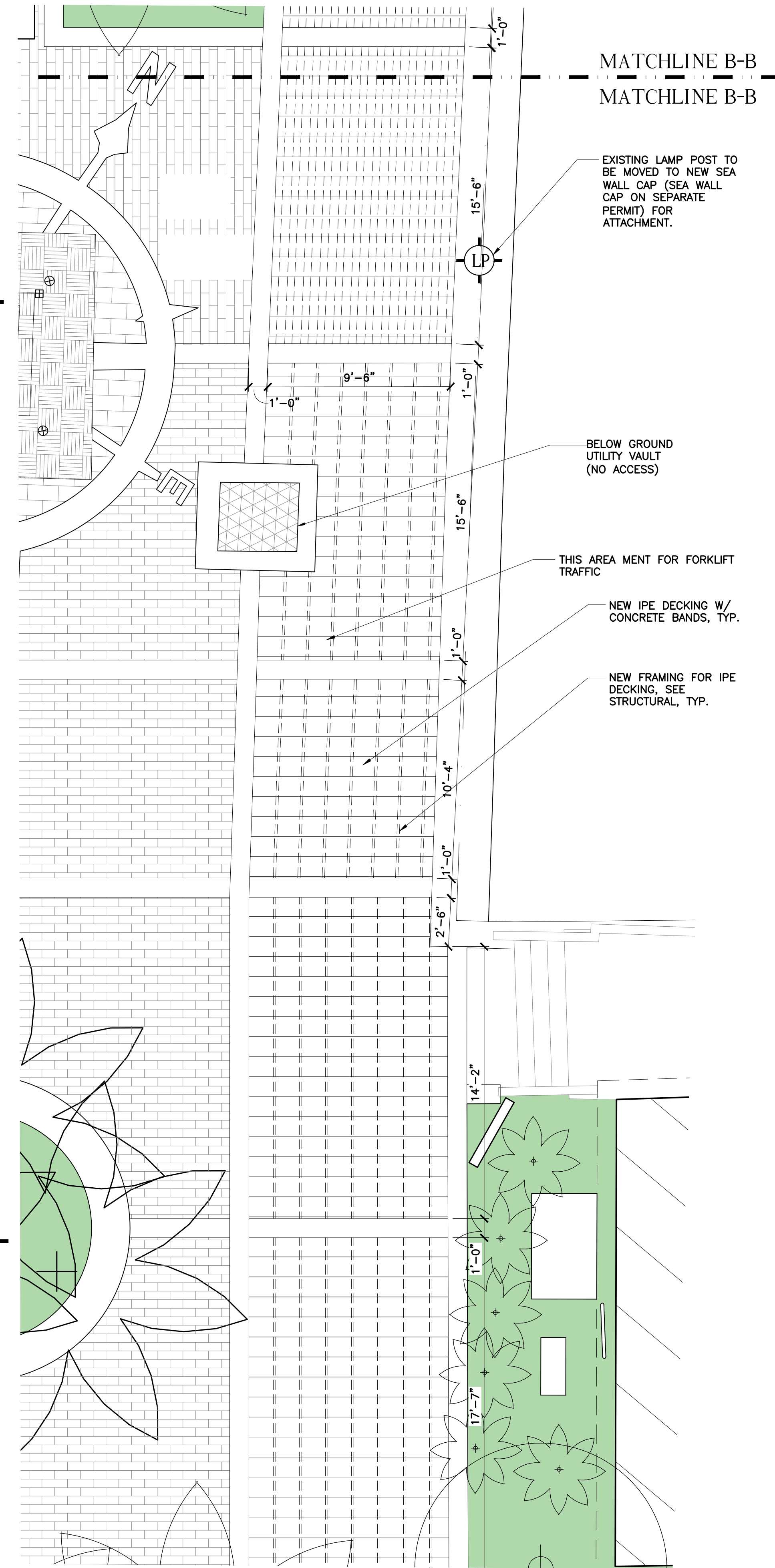
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02-01-2020 1007 CD SUBMISSION
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REVISIONS

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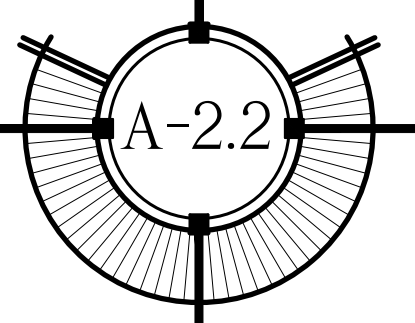


PROPOSED IPE DECK ALONG SEA WALL

SITE PLAN BASED ON INFORMATION OBTAINED FROM SURVEY PREPARED BY
FLORIDA KEYS LAND SURVEYING SURVEYOR DATED ON 3/12/2019

SCALE: 1/8"=1'-0"

KEY WEST HISTORIC SEAPORT
PHASE II
KEY WEST, FLORIDA



DESIGN DATA

THE WORK DEPICTED HEREIN WAS DESIGNED TO MEET THE REQUIREMENTS OF THE FLORIDA BUILDING CODE, 6TH EDITION (2017) - BUILDING CODE ASCE 7-10, ASCE 24-14

CONSTRUCTION TYPE: V

THE FOLLOWING LOADINGS WERE USED:
DESIGN VEHICLE: CLARK C25L FORKLIFT (6.2 KIP HEAVY AXLE WHEEL LOAD)
FLOOR LIVE LOAD: 100 PSF

GENERAL NOTES

1. THESE PLANS ARE FOR THE WORK AT THE LOCATION SO DESIGNATED HEREIN.
2. THE CONTRACTOR SHALL PROVIDE ALL MATERIAL, LABOR, EQUIPMENT AND SUPERVISION NECESSARY TO COMPLETE THE WORK AND MAKE STRUCTURE READY FOR USE.
3. THERE SHALL BE NO DEVIATION FROM THESE PLANS WITHOUT PRIOR APPROVAL FROM THE ENGINEER OF RECORD.
4. THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS BEFORE BID. CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK SITE AND REPORT ANY DISCREPANCIES, DIFFERENCES OR CONDITIONS THAT ARE UNSATISFACTORY OR UNSAFE.
5. NOTIFY THE ENGINEER OF RECORD IMMEDIATELY OF ANY DISCREPANCIES, DIFFERENCES, UNSATISFACTORY OR UNSAFE CONDITIONS. ANY MODIFICATIONS OR CHANGES MADE WITHOUT PRIOR WRITTEN APPROVAL FROM THE OWNER AND ENGINEER OF RECORD SHALL NOT BE ALLOWED. ANY REWORK, RESTORATION OR OTHER IMPACT AS A RESULT OF NOT OBTAINING SUCH PRIOR APPROVAL WILL BE MADE BY THE CONTRACTOR WITHOUT ADDITIONAL COST OR COMPENSATION FROM THE OWNER.
6. THE CONTRACTOR SHALL PROVIDE FOR THE SAFETY, PREVENTION OF INJURY OR OTHER LOSS AT THE JOB TO ALL PERSONS EMPLOYED IN THE WORK, PERSONS VISITING THE WORK AND THE GENERAL PUBLIC. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE PREVENTION OF DAMAGE, DUE TO THE WORK, TO MATERIALS OR EQUIPMENT AND OTHER PROPERTY AT THE SITE OR ADJACENT THERETO.
7. NO RESEARCH AS TO THE PRESENCE OF UNDERGROUND UTILITIES HAS BEEN INCLUDED ON OR PERFORMED FOR THIS PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING SUNSHINE UTILITY LOCATE SERVICE PRIOR TO ANY CONSTRUCTION.
8. THE GENERAL CONTRACTOR SHALL PROVIDE AN ON-SITE DUMPSTER IN A LOCATION COORDINATED WITH THE OWNER FOR THE DISPOSAL OF REMOVED MATERIAL AND CONSTRUCTION DEBRIS. THE DUMPSTER SHALL BE EMPTIED AT APPROPRIATE INTERVALS TO PREVENT OVERFLOW AND UNSIGHTLY CONDITIONS.
9. THE CONTRACTOR SHALL PERFORM ALL WORK IN STRICT CONFORMANCE WITH THE PLANS, THE FLORIDA BUILDING CODE, 6TH EDITION (2017), LOCAL CODES AND ORDINANCES, MANUFACTURER RECOMMENDATIONS AND ACCEPTABLE TRADE PRACTICES. ANY CONFLICT BETWEEN THESE REQUIREMENTS AND THE MOST STRINGENT REQUIREMENTS SHALL GOVERN THE WORK.
10. SHOP DRAWINGS OF ALL PREFABRICATED STRUCTURAL FLOOR AND ROOF SYSTEMS AND MECHANICAL SYSTEMS SHALL BEAR THE SEAL OF A FLORIDA PROFESSIONAL ENGINEER AS REQUIRED BY THE FLORIDA BUILDING CODE, 6TH EDITION (2017) AND SHALL BE SUBMITTED TO THE ENGINEER OF RECORD BY THE CONTRACTOR FOR APPROVAL PRIOR TO FABRICATION AND INSTALLATION.
11. THE CONTRACTOR SHALL NOT SCALE DRAWINGS. ANY INFORMATION THAT THE CONTRACTOR CANNOT OBTAIN FROM DIMENSIONS, DETAIL OR SCHEDULE SHALL BE OBTAINED FROM THE ENGINEER OF RECORD.
12. THE CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES TO PREVENT ANY CONFLICTS.
13. THE CONTRACTOR SHALL FURNISH ALL SUBCONTRACTORS WITH A COMPLETE SET OF PLANS. ALL CHANGES SHALL BE NOTED ON THE DRAWINGS AND (2) COMPLETE AS-BUILT SETS SHALL BE DELIVERED TO THE OWNER AFTER COMPLETION OF WORK.

DEMOLITION NOTES

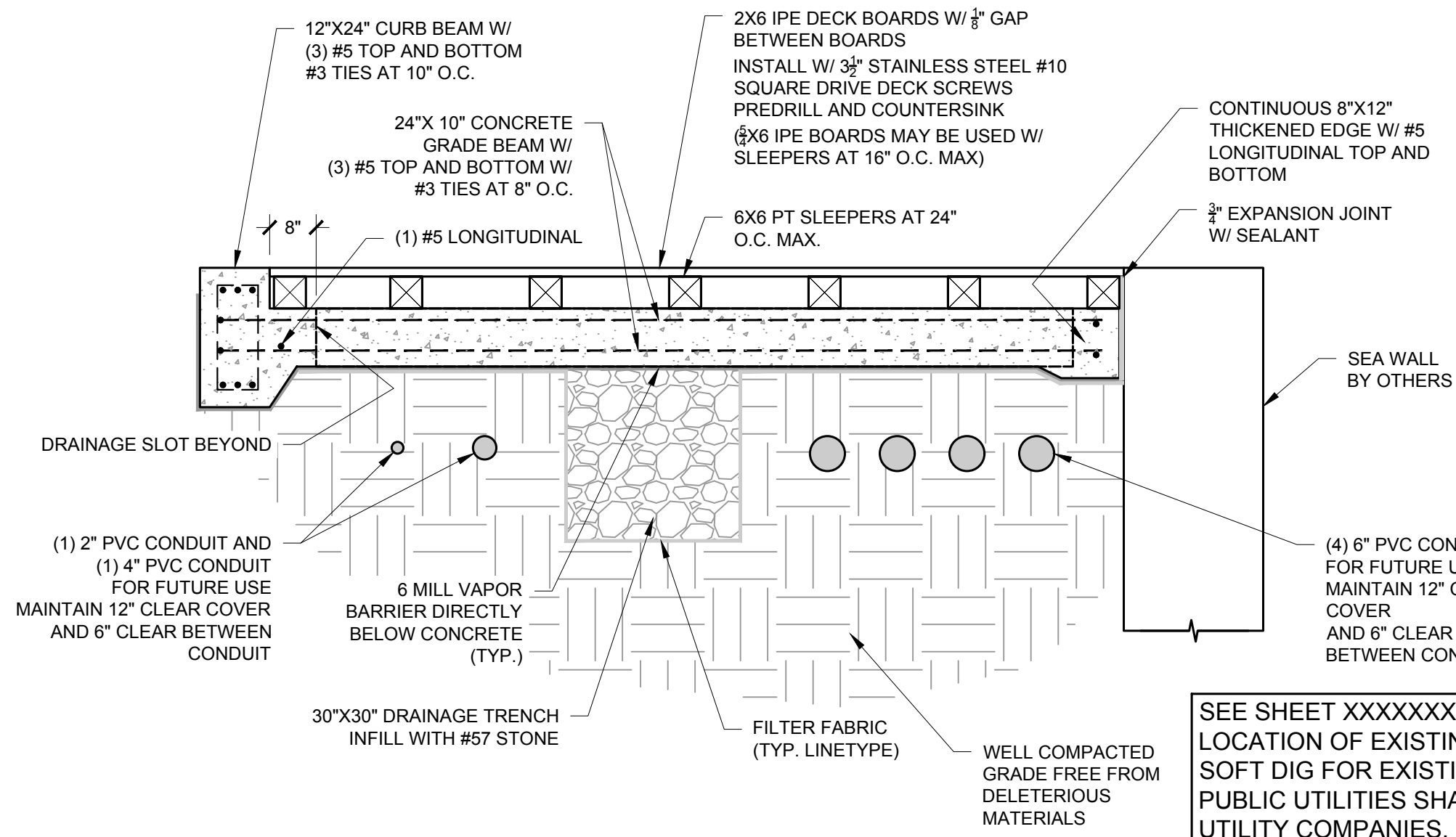
1. PRIOR TO SUBMITTING A BID, VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS ON THE JOB SITE, AND ALSO AFTER AWARD, BUT PRIOR TO THE START OF CONSTRUCTION.
2. ALL DEMOLISHED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR, UNLESS SPECIFICALLY NOTED OTHERWISE, AND SHALL BE PROPERLY REMOVED FROM THE SITE. COMPLY WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE PROJECT.
3. ALL COST OF DEMOLITION INCLUDING PERMIT FEES, DISPOSAL FEES, ETC. ARE THE RESPONSIBILITY OF THE CONTRACTOR.
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE AWARE OF AND TO CONFORM WITH ALL APPLICABLE DEMOLITION AND DISPOSAL CODES, SAFETY REQUIREMENT, AND ENVIRONMENTAL PROTECTION REGULATIONS OF ANY GOVERNMENTAL BODY HAVING JURISDICTION OVER THE WORK.
5. PROVIDE SAFETY BARRICADES AS REQUIRED TO PROTECT THE SAFETY OF THE GENERAL PUBLIC AND WORKERS ASSOCIATED WITH THE PROJECT.
6. PROVIDE BRACING AND SHORING AS REQUIRED TO TEMPORARILY SUPPORT STRUCTURAL MEMBERS DURING CONSTRUCTION. BRACING & SHORING OF STRUCTURAL MEMBERS SHALL BE DESIGNED AND/OR APPROVED BY A PROFESSIONAL ENGINEER.
7. DEMOLISHED MATERIAL CLASSIFIED AS CLEAN FILL MAY BE DISTRIBUTED ONSITE WHEN SPECIFICALLY APPROVED BY THE ENGINEER.

WOOD AND FRAMING NOTES

1. EXCEPT WHERE NOTED OTHERWISE, ALL FRAMING LUMBER SHALL BE SOUTHERN PINE, MC 19%, NO. 2 DENSE.
2. ALL WOOD SHALL BE PRESSURE TREATED WITH CHEMICALS TO PROTECT FROM INSECTS AND DECAY AS REQUIRED. ALLOW TO DRY AFTER TREATMENT. PROVIDE CONNECTORS AND FASTENERS COMPATIBLE WITH PRESSURE TREATED WOOD FRAMING. PROVIDE SEPARATION BARRIER SUCH AS BUILDING PAPER FOR NON-COMPATIBLE COMPONENTS SUCH AS ALUMINUM WINDOW FRAMES.
3. WOOD FRAMING MEMBERS SHALL BE FASTENED PER F.B.C. TABLE 2304.10.1, UNLESS NOTED OTHERWISE.
4. BOLTS SHALL BE A MINIMUM OF A307 GRADE A, GALVANIZED, UNLESS NOTED OTHERWISE.

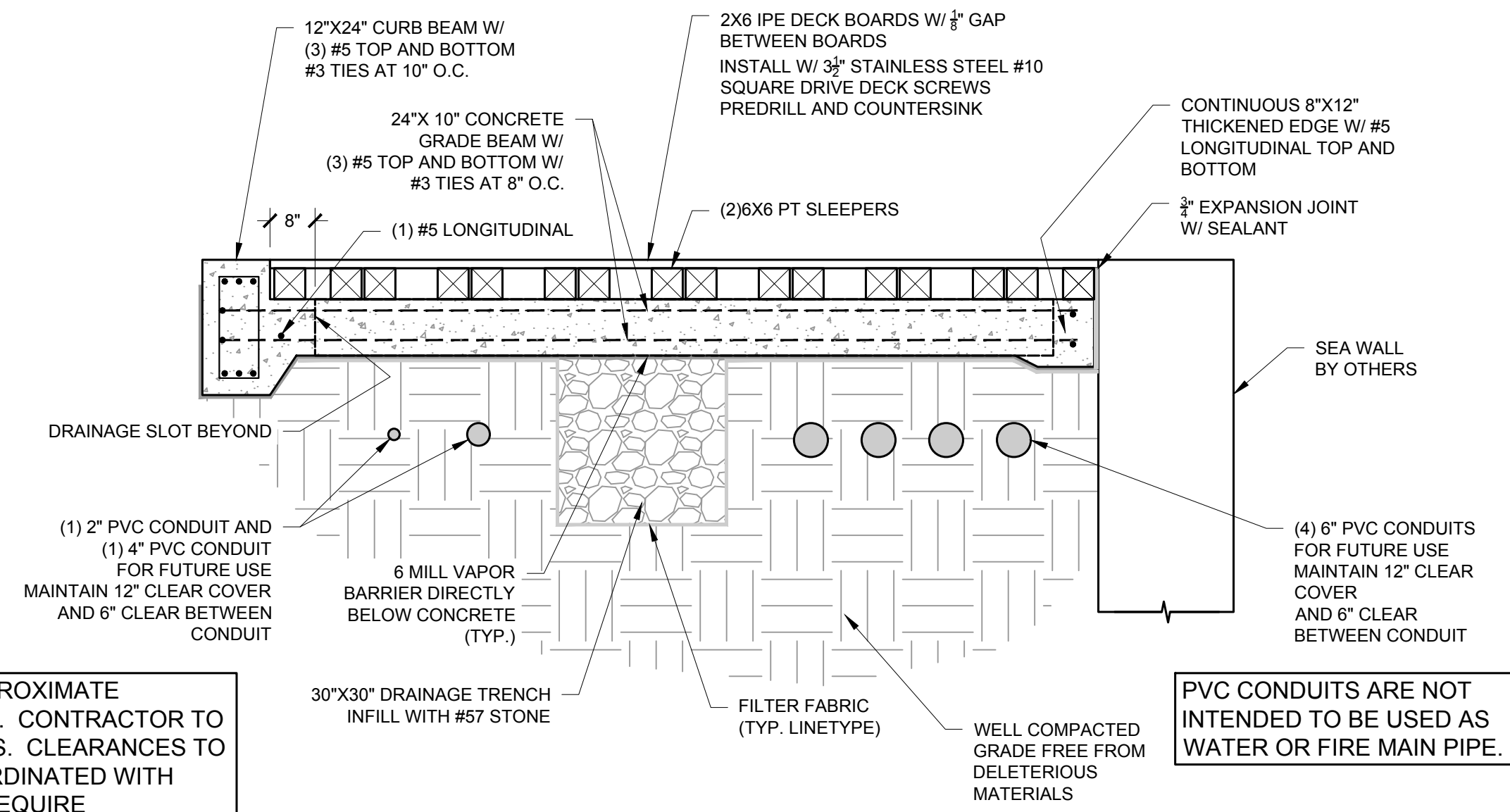
FOUNDATION & CONCRETE NOTES

1. ALL FOOTINGS ARE TO BE PLACED ON FIRM, UNDISTURBED, NATURAL ROCK UNLESS OTHERWISE NOTED.
2. CENTER ALL FOOTINGS UNDER WALLS, COLUMNS OR GRID LINES UNLESS OTHERWISE NOTED.
3. CONTRACTOR SHALL FURNISH FIELD DENSITY TESTS ON COMPACTED FILL UNDER FOOTINGS AND SLABS PRIOR TO PLACING CONCRETE. A MINIMUM OF 3 REPRESENTATIVE TESTS SHALL BE TAKEN FOR EACH FOOTING AND SLAB POUR.
4. ALL CAST-IN-PLACE CONCRETE SHALL BE MADE WITH TYPE III PORTLAND CEMENT, STONE AGGREGATE AND SHALL DEVELOP AT LEAST 4000 PSI COMPRESSIVE STRENGTH IN 28 DAYS. (UNLESS OTHERWISE NOTED.)
5. SLABS, TOPPING, FOOTINGS, BEAMS AND WALLS SHALL NOT HAVE JOINTS IN THE HORIZONTAL PLANE. ANY STOP IN CONCRETE WORK MUST BE MADE AT THE CENTER OF SPAN WITH VERTICAL BULKHEADS AND SHEAR KEYS, UNLESS OTHERWISE NOTED. ALL CONSTRUCTION JOINTS SHALL BE AS DETAILED OR OTHERWISE APPROVED BY THE ENGINEER.
6. ALL CONCRETE WORK AND REINFORCING DETAILS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ACI 318. EXPOSED EDGES OF CONCRETE SHALL HAVE 1/2" CHAMFER USE STANDARD HOOKS ON REBAR UNLESS OTHERWISE NOTED.
7. CONCRETE FORMS SHALL BE WETTED IMMEDIATELY PRIOR TO PLACING CONCRETE.
8. MIXING, PLACING AND CURING OF ALL CONCRETE MUST BE IN ACCORDANCE WITH ACI 305R. HOT WEATHER CONCRETING. NEW CONCRETE EXPOSED TO DIRECT SUNLIGHT SHALL BE SPRAYED OR MOPPED WITH A CURING COMPOUND AFTER THE FINISH HAS SET, OR THE CONCRETE SHALL COVERED AND WETTED.
9. PROVIDE PLASTIC SLIEVES IN MASONRY PARTITIONS AND CONCRETE FOUNDATIONS AS INDICATED AND REQUIRED FOR UTILITY SERVICES. NO OTHER PIPE, CONDUIT OR ACCESSORY SHALL BE PLACED IN STRUCTURAL SLABS, COLUMNS OR BEAMS UNLESS SPECIFICALLY SHOWN ON STRUCTURAL DRAWINGS.
10. ALL REINFORCING SHALL BE HIGH STRENGTH DEFORMED BARS CONFORMING TO ASTM A-615, GRADE 60.
11. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185 AND SHALL BE LAPPED ONE FULL MESH AND AT SIDE AND END SPLICES AND WIRED TOGETHER.
12. REINFORCEMENT COVERAGE SHALL BE 2" MINIMUM WHEN FORMS ARE USED AND 3" MINIMUM WHEN POURED AGAINST THE EARTH, UNLESS OTHERWISE NOTED.
13. LAP SPLICES SHALL BE A MINIMUM OF 48 BAR DIAMETERS. MAKE ALL BARS CONTINUOUS AROUND CORNERS.
14. PROVIDE ALL ACCESSORIES NECESSARY TO SECURE REINFORCING IN PROPER POSITION AS INDICATED ON THE DRAWINGS AND IN ACCORDANCE WITH ACI 318. ALL ACCESSORIES THAT DO NOT MEET REINFORCEMENT COVERAGE REQUIREMENTS SHALL BE NON-METALLIC.
15. ANCHOR BOLTS, NUTS AND WASHERS SHALL BE MINIMUM 1/2" GALVANIZED STEEL AND EMBEDDED MINIMUM 7" INTO CONCRETE, UNLESS NOTED OTHERWISE.
16. ANCHOR BOLT EPOXY SHALL BE SIMPSON SET-XP OR APPROVED EQUAL. INSTALL PER MANUFACTURER SPECIFICATIONS.



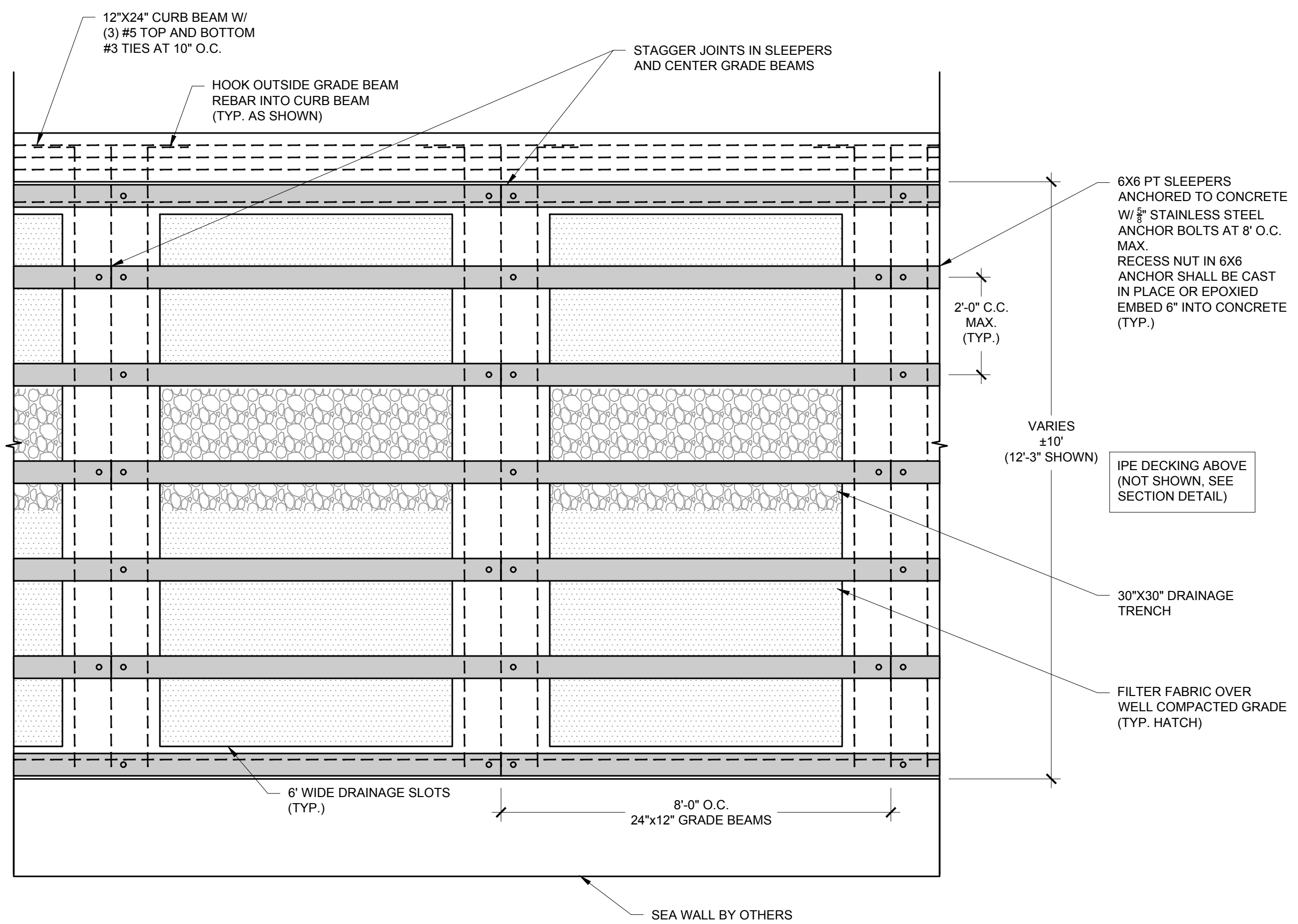
TYP. SECTION - PEDESTRIAN DECKING

SCALE: 1/4"=1'-0"



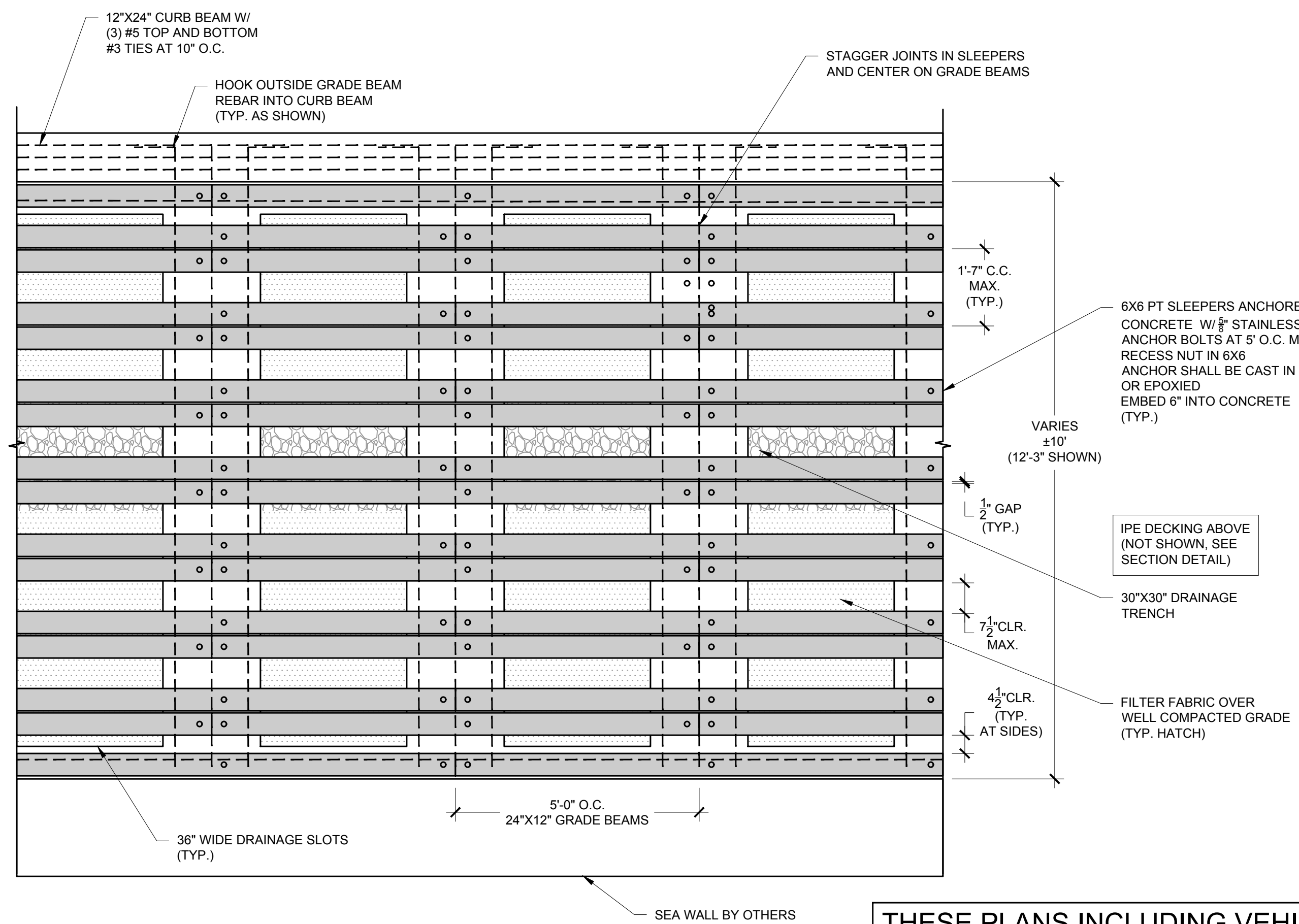
TYP. SECTION - VEHICLE DECKING

SCALE: 1/4"=1'-0"



TYP. FOUNDATION PLAN - PEDESTRIAN DECKING

SCALE: 1/4"=1'-0"



TYP. FOUNDATION PLAN - VEHICLE DECKING

SCALE: 1/4"=1'-0"

THESE PLANS INCLUDING VEHICLE LOADING AND COMPACTION OF EARTH BEHIND SEA WALL MUST BE APPROVED BY SEA WALL E.O.R. PRIOR TO PERMITTING AND CONSTRUCTION

PRELIMINARY NOT FOR CONSTRUCTION

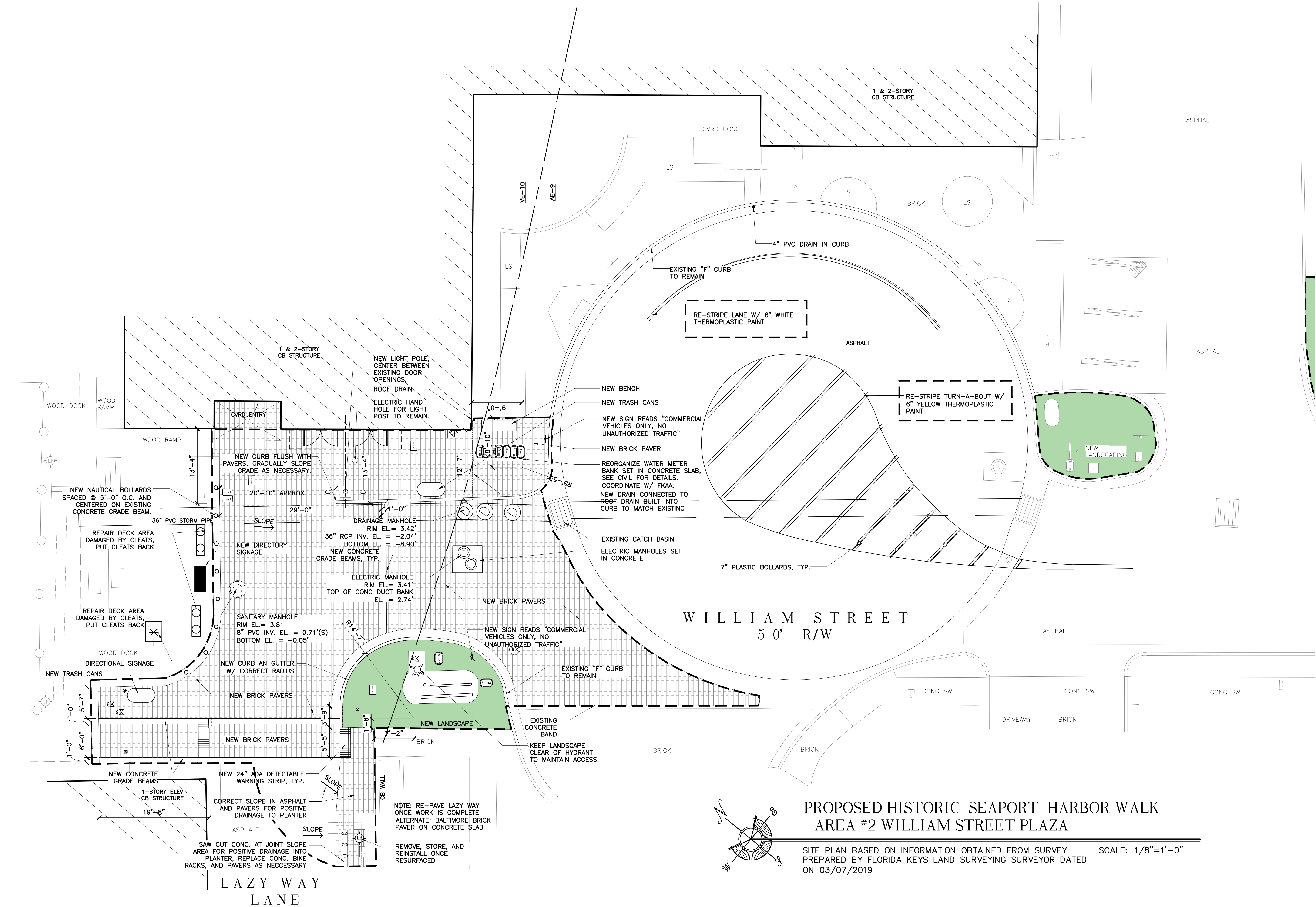
REVISIONS:	ORIGINAL:	AUGUST 2019
1		
2		
3		
4		
5		
6		

PEDESTRIAN DECKING
HISTORIC SEAPORT, PHASE II
KEY WEST, FL 33040

CITY OF KEY WEST
1300 WHITE STREET
KEY WEST, FL 33040

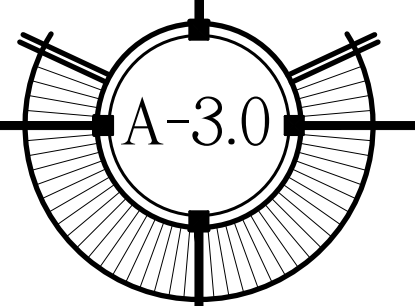
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DRAWN	JDH
DESIGNED	JDH
CHECKED	PRS
SHEET	S-1

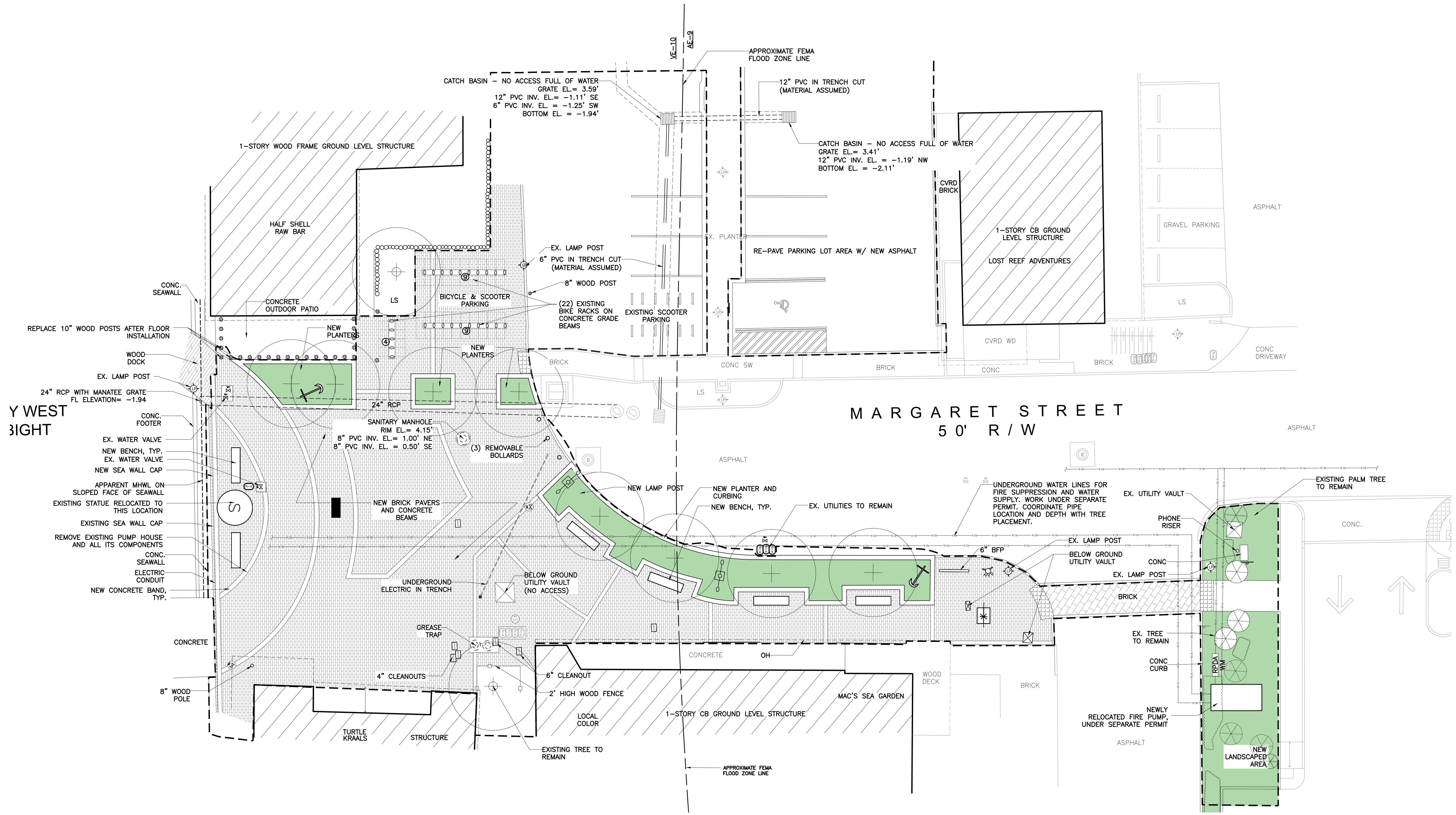
KEY WEST
BIGHT



PROPOSED HISTORIC SEAPORT HARBOR WALK
- AREA #2 WILLIAM STREET PLAZA

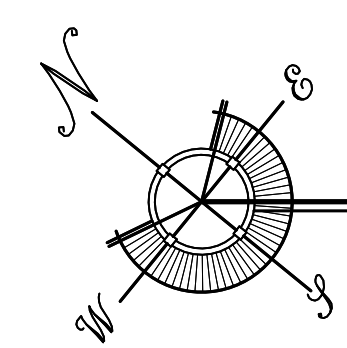
SITE PLAN BASED ON INFORMATION OBTAINED FROM SURVEY SCALE: 1/8"=1'-0"
PREPARED BY FLORIDA KEYS LAND SURVEYING SURVEYOR DATED
ON 03/07/2019





Y WEST
BIGHT

MARGARET STREET
50' R/W



PROPOSED HISTORIC SEAPORT HARBOR WALK - AREA #3 MARGARET STREET PLAZA

SITE PLAN BASED ON INFORMATION OBTAINED FROM SURVEY
PREPARED BY FLORIDA KEYS LAND SURVEYING SURVEYOR DATED
ON 03/08/2019

SCALE: 3/32"=1'-0"

SEAL

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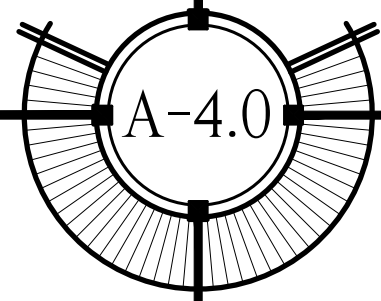
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ELECTRIC NOTES:
1. CONTRACT TO LOCATE EXISTING UNDERGROUND ELECTRIC LINES THAT PERTAIN TO THE SCOPE OF WORK.
2. CONTRACTOR TO COORDINATE WITH KEYS ENERGY FOR POLE REMOVAL AT ELIZABETH STREET. COORDINATE METER AND PANEL LOCATIONS WITH OWNER.
3. NEW CONDUITS AND CONNECTIONS SHOWN FOR CONCEPT ONLY. CONTRACTOR RESPONSIBLE TO COORDINATE NEW UNDERGROUND CONDUITS WITH ANY EXISTING UNDERGROUND STRUCTURES. NOTIFY OWNER AND ARCHITECT OF CONFLICTS IMMEDIATELY.
4. ALL ELECTRICAL TERMINATIONS AND JUNCTIONS TO BE WATERPROOF.

KEY WEST BIGHT

MOVE EXISTING LAMP TO CENTER OF NEW SEE WALL. ATTACH PER MANUFACTURE RECOMMENDATIONS.

PROVIDE POWER FOR SIGN DOWN LIGHTING AND AN ADDITION OUTLET FOR HOLIDAY LIGHTS. UTILIZE EXISTING LIGHTING CIRCUIT

REMOVE EXISTING LIGHT FIXTURE TO BE REUSED ELSEWHERE. EXTEND POWER FROM THIS LOCATION TO NEW LIGHTING LOCATIONS. PROVIDE WATER TIGHT JUNCTION BOX.

PROVIDE NEW WATERPROOF OUTLET, RUN CIRCUIT BACK TO EXISTING PANEL AT TRANSFORMER. COORDINATE LANDSCAPE LIGHTING AND HOLIDAY LIGHTING WITH OWNER PRIOR TO INSTALL.

EXTEND EXISTING ELECTRICAL CIRCUIT FROM EXISTING OUTLET TO NEW OUTLET LOCATIONS. PROVIDE WATERPROOF JUNCTION BOX AT EXISTING OUTLET LOCATION AND PROVIDE WATERPROOF OUTLETS AT NEW LOCATIONS. COORDINATE LANDSCAPE LIGHTING AND HOLIDAY LIGHTING WITH OWNER PRIOR TO INSTALL.

EXISTING LIGHT FIXTURE TO REMAIN

REMOVE EXISTING LIGHT FIXTURE TO BE REUSED ELSEWHERE. EXTEND POWER FROM THIS LOCATION TO NEW LIGHTING LOCATIONS. PROVIDE WATERPROOF JUNCTION BOX.

PROVIDE NEW WATERPROOF OUTLETS IN EACH PLANTER BED. UTILIZE EXISTING JUNCTION BOXES AT EXISTING BUILDING. INSTALL NEW WATERPROOF JUNCTION BOXES. COORDINATE LANDSCAPE LIGHTING AND HOLIDAY LIGHTING WITH OWNER PRIOR TO INSTALL.

PROVIDE NEW WATERPROOF OUTLETS IN PLANTER BED. UTILIZE EXISTING JUNCTION BOX AT EXISTING BUILDING. INSTALL NEW WATERPROOF JUNCTION BOXES. COORDINATE LANDSCAPE LIGHTING AND HOLIDAY LIGHTING WITH OWNER PRIOR TO INSTALL.

REMOVE EXISTING LIGHT FIXTURE TO BE REUSED ELSEWHERE. EXTEND POWER FROM THIS LOCATION TO NEW LIGHTING LOCATIONS

REMOVED EXISTING ELECTRIC POLE, NEW UNDERGROUND UTILITY BOXES AND METER RELOCATION REQUIRED FOR EXISTING CONNECTIONS. COORDINATE REMOVAL OF POLE WITH KEYS ENERGY, AT&T, AND COMCAST. MINIMAL SERVICE INTERRUPTION REQUIRED FOR SURROUNDING BUSINESSES. NEW PANEL AND METER SHALL BE RELOCATED ADJACENT TO EXISTING TRANSFORMER.

REPLACE EXISTING OUTLET WITH NEW WATERPROOF OUTLET. COORDINATE LANDSCAPE LIGHTING AND HOLIDAY LIGHTING WITH OWNER PRIOR TO INSTALL.

EXISTING CONCRETE POWER POLE

RELOCATED LAMP FIXTURE, NEW FOUNDATION RUN CIRCUIT BACK TO EXISTING PANEL AT TRANSFORMER.

RELOCATED LAMP FIXTURE, NEW FOUNDATION REQUIRED.

REMOVE EXISTING LIGHT FIXTURE TO BE REUSED ELSEWHERE. EXTEND POWER FROM THIS LOCATION TO NEW LIGHTING LOCATIONS. PROVIDE WATERPROOF JUNCTION BOX.

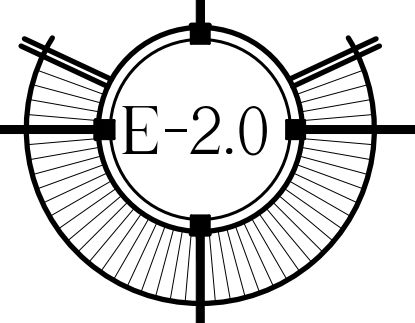
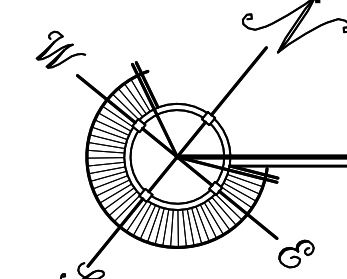
RELOCATED LAMP FIXTURE, NEW FOUNDATION REQUIRED. FIXTURE HAS AUXILIARY OUTLET INTEGRATED, TYP.

ELIZABETH
STREET
50' RAW

PROPOSED HISTORIC SEAPORT HARBOR WALK - AREA #1 ELIZABETH STREET PLAZA

SITE PLAN BASED ON INFORMATION OBTAINED FROM SURVEY PREPARED BY FLORIDA KEYS LAND SURVEYING SURVEYOR DATED ON 03/12/2019

SCALE: 1/8"=1'-0"



ELECTRIC NOTES:
1. CONTRACT TO LOCATE EXISTING UNDERGROUND ELECTRIC LINES THAT PERTAIN TO THE SCOPE OF WORK.
2. CONTRACTOR TO COORDINATE WITH KEYS ENERGY FOR POLE REMOVAL AT ELIZABETH STREET. COORDINATE METER AND PANEL LOCATIONS WITH OWNER.
3. NEW CONDUITS AND CONNECTIONS SHOWN FOR CONCEPT ONLY. CONTRACTOR RESPONSIBLE TO COORDINATE NEW UNDERGROUND CONDUITS WITH ANY EXISTING UNDERGROUND STRUCTURES. NOTIFY OWNER AND ARCHITECT OF CONFLICTS IMMEDIATELY.
4. ALL ELECTRICAL TERMINATIONS AND JUNCTIONS TO BE WATERPROOF.



GREENE STREET
50' R/W

PROPOSED HISTORIC SEAPORT HARBOR WALK - AREA #1 ELIZABETH STREET PLAZA

SITE PLAN BASED ON INFORMATION OBTAINED FROM SURVEY PREPARED BY
FLORIDA KEYS LAND SURVEYING SURVEYOR DATED ON 03/12/2019

SCALE: 1/8"=1'-0"

KEY WEST HISTORIC SEAPORT
PHASE II
KEY WEST, FLORIDA

KEY WEST
BIGHT

MOVE EXISTING LAMP TO CENTER
OF NEW SEE WALL. ATTACH PER
MANUFACTURE RECOMMENDATIONS.

PROVIDE NEW WATERPROOF OUTLET, RUN CIRCUIT
BACK TO EXISTING PANEL AT TRANSFORMER.
COORDINATE LANDSCAPE LIGHTING AND HOLIDAY
LIGHTING WITH OWNER PRIOR TO INSTALL.

UTILITY PEDESTAL

MOVE EXISTING LAMP TO CENTER
OF NEW SEE WALL. ATTACH PER
MANUFACTURE RECOMMENDATIONS.

RELOCATED LAMP FIXTURE, NEW FOUNDATION
REQUIRED.

REMOVE EXISTING LIGHT FIXTURE TO BE
REUSED ELSEWHERE. EXTEND POWER FROM
THIS LOCATION TO NEW LIGHTING LOCATIONS

REMOVED EXISTING ELECTRIC POLE, NEW
UNDERGROUND UTILITY BOXES AND METER RELOCATION
REQUIRED FOR EXISTING CONNECTIONS. COORDINATE
REMOVAL OF POLE WITH KEYS ENERGY, AT&T, AND
COMCAST. MINIMAL SERVICE INTERRUPTION REQUIRED
FOR SURROUNDING BUSINESSES. NEW PANEL AND
METER SHALL BE RELOCATED ADJACENT TO EXISTING
TRANSFORMER.

REPLACE EXISTING OUTLET WITH NEW WATERPROOF
OUTLET. COORDINATE LANDSCAPE LIGHTING AND
HOLIDAY LIGHTING WITH OWNER PRIOR TO INSTALL.

ELECTRIC NOTES:
1. CONTRACT TO LOCATE EXISTING UNDERGROUND ELECTRIC LINES THAT PERTAIN TO THE SCOPE OF WORK.
2. CONTRACTOR TO COORDINATE WITH KEYS ENERGY FOR POLE REMOVAL AT ELIZABETH STREET. COORDINATE METER AND PANEL LOCATIONS WITH OWNER.
3. NEW CONDUITS AND CONNECTIONS SHOWN FOR CONCEPT ONLY. CONTRACTOR RESPONSIBLE TO COORDINATE NEW UNDERGROUND CONDUITS WITH ANY EXISTING UNDERGROUND STRUCTURES. NOTIFY OWNER AND ARCHITECT OF CONFLICTS IMMEDIATELY.
4. ALL ELECTRICAL TERMINATIONS AND JUNCTIONS TO BE WATERPROOF.

REMOVE EXISTING LIGHT FIXTURE TO BE REUSED ELSEWHERE. EXTEND POWER FROM THIS LOCATION TO NEW LIGHTING LOCATIONS

UTILIZE EXISTING PULL BOX TO RUN NEW CONDUIT TO EXISTING PANEL LOCATION. ADD CIRCUIT FOR SIGNAGE LIGHTING

RELOCATED LAMP FIXTURE, NEW FOUNDATION REQUIRED.

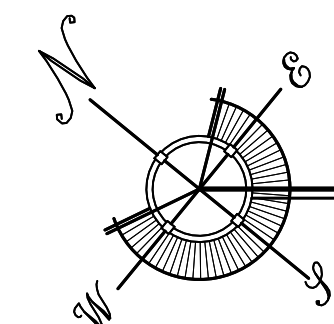
PROVIDE POWER FOR SIGN DOWN LIGHTING AND AN ADDITION OUTLET FOR HOLIDAY LIGHTS. COORDINATE HOLIDAY LIGHTING OUTLET WITH OWNER PRIOR TO INSTALL. SIGNAGE AND LIGHTING TO BE APPROVED BY HARC ON SEPARATE PERMIT.

PROVIDE POWER FOR UPLIGHTING AND AN ADDITION OUTLET FOR HOLIDAY LIGHTS. COORDINATE LANDSCAPE LIGHTING AND HOLIDAY LIGHTING WITH OWNER PRIOR TO INSTALL.

PROVIDE NEW WATERPROOF OUTLET. UTILIZE EXISTING JUNCTION BOX. COORDINATE LANDSCAPE LIGHTING AND HOLIDAY LIGHTING WITH OWNER PRIOR TO INSTALL.

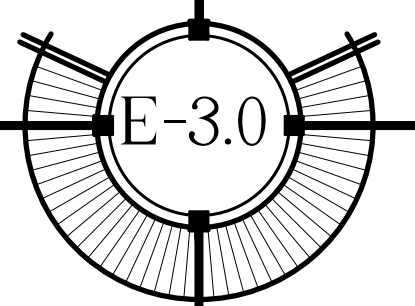
WILLIAM STREET
50' R/W

LAZY WAY
LANE



PROPOSED HISTORIC SEAPORT HARBOR WALK
- AREA #2 WILLIAM STREET PLAZA

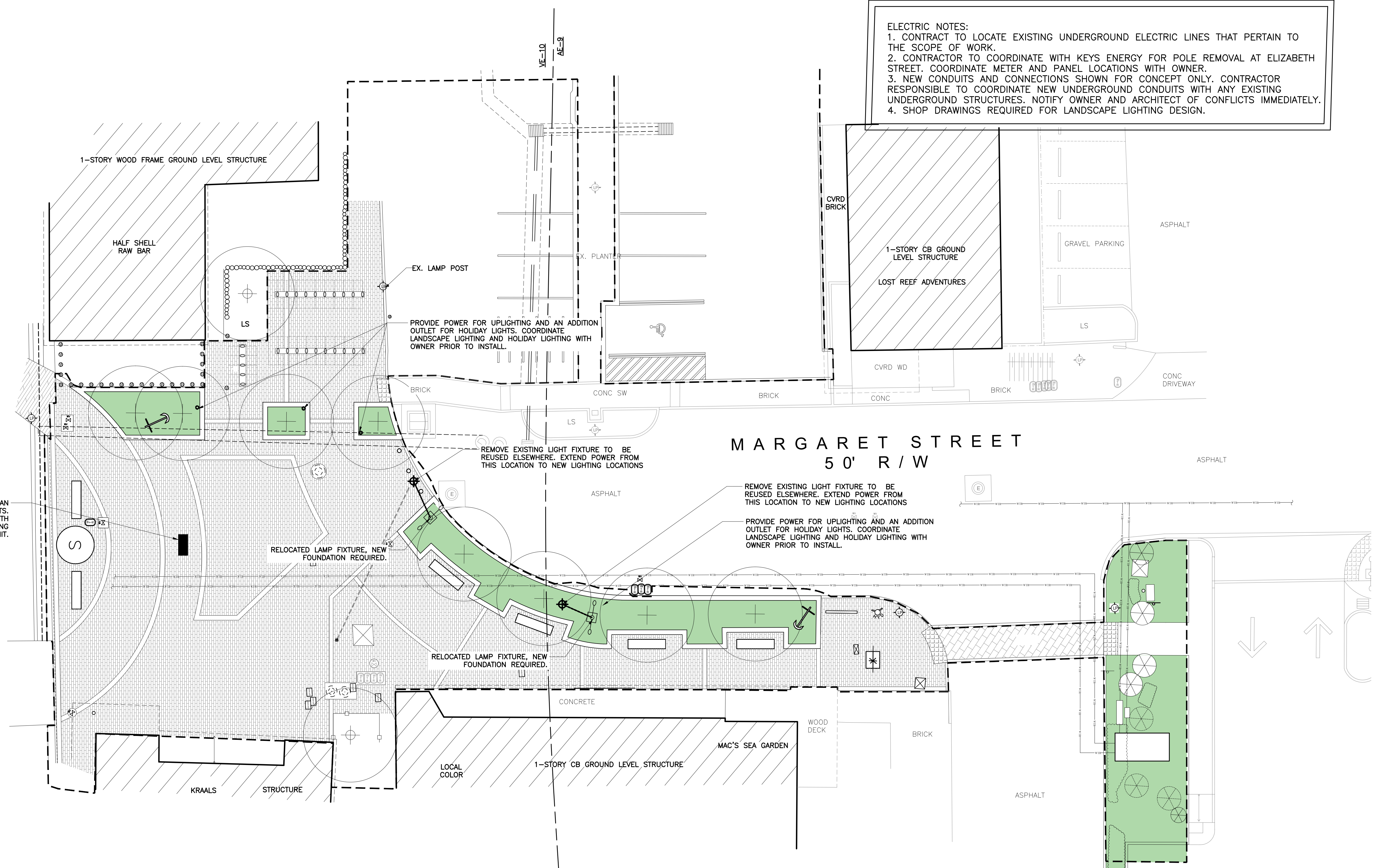
SITE PLAN BASED ON INFORMATION OBTAINED FROM SURVEY PREPARED BY FLORIDA KEYS LAND SURVEYING SURVEYOR DATED ON 03/07/2019 SCALE: 1/8"=1'-0"



ELECTRIC NOTES:
1. CONTRACT TO LOCATE EXISTING UNDERGROUND ELECTRIC LINES THAT PERTAIN TO THE SCOPE OF WORK.
2. CONTRACTOR TO COORDINATE WITH KEYS ENERGY FOR POLE REMOVAL AT ELIZABETH STREET. COORDINATE METER AND PANEL LOCATIONS WITH OWNER.
3. NEW CONDUITS AND CONNECTIONS SHOWN FOR CONCEPT ONLY. CONTRACTOR RESPONSIBLE TO COORDINATE NEW UNDERGROUND CONDUITS WITH ANY EXISTING UNDERGROUND STRUCTURES. NOTIFY OWNER AND ARCHITECT OF CONFLICTS IMMEDIATELY.
4. SHOP DRAWINGS REQUIRED FOR LANDSCAPE LIGHTING DESIGN.

KEY WEST
BIGHT

PROVIDE POWER FOR SIGN DOWN LIGHTING AND AN ADDITION OUTLET FOR HOLIDAY LIGHTS. COORDINATE HOLIDAY LIGHTING OUTLET WITH OWNER PRIOR TO INSTALL. SIGNAGE AND LIGHTING TO BE APPROVED BY HARC ON SEPARATE PERMIT.



PROPOSED HISTORIC SEAPORT HARBOR WALK - AREA #3 MARGARET STREET PLAZA

SITE PLAN BASED ON INFORMATION OBTAINED FROM SURVEY
PREPARED BY FLORIDA KEYS LAND SURVEYING SURVEYOR DATED
ON 03/08/2019

SCALE: 3/32"=1'-0"

**ELIZABETH
NEWLAND**
LANDSCAPE
ARCHITECTURE, LLC

P.O. Box 140908
Coral Gables, Florida 33134
305-481-6301
liz@elizabethnewland.com

SEAL

THESE DRAWINGS MAY
NOT BE REPRODUCED
WITHOUT WRITTEN
AUTHORIZATION BY
WILLIAM P. HORN

DATE

08-24-2018 HARC SUBMITTAL
09-20-2019 PERMIT SUBMITTAL
03-01-2020 BID SUBMITTAL

REVISIONS

DRAWN BY

PROJECT
NUMBER
1609

GREEN STREET & LAZY WAY LANDSCAPE REQUIREMENTS			
Minimum Landscape Areas	Required	Provided	
Site Areas 12,417 SF x 20% Minimum Area of Building Site	2483 SF/20%	2538	
Minimum Native Plant Requirement 70%	Total Plants Provided	Percent Provided	
Native Plants	461	75%	
Exotic Plants	152	25%	
Total Native & Exotic Plants	613		
Green Street & Elizabeth Street			
Minimum Standards Landscaping Along Right-of-Way			
112 LF Property Line Abutting Street Frontage/100 LF = 1.12			
40 Plant Units x 1.12 = 45 Plant Units Required			
	Total Plants Provided	x Plant Units	Plant Units Provided
Canopy Trees / Native Palms	0	10	0
Ornamental Trees	0	3	0
Shrubs	101	1	101
Total Plant Units Provided	101		101
Lazy Way Lane			
Minimum Standards Landscaping Along Right-of-Way			
176 LF Property Line Abutting Street Frontage/100 LF = 1.76			
40 Plant Units x 1.76 = 70.4 Plant Units Required			
	Total Plants Provided	x Plant Units	Plant Units Provided
Canopy Trees / Native Palms	18	10	180
Ornamental Trees	0	3	0
Shrubs	347	1	347
Total Plant Units Provided	365		527
Nonvehicular Open Space (NOS) Landscape Requirements			
20% or 2483 SF of Site Nonvehicular Open Space			
Requires 4 Trees/2000 SF of NOS			
2483 SF/2000 = 1.24 x 4 Trees			
	Total Trees Required	Total Trees Provided	
	5	5	

KEY WEST HISTORIC SEAPORT LAZY WAY & GREEN STREET PLAZA											3/1/2020
KEY	QTY L-1.1	SCIENTIFIC NAME	COMMON NAME	NATIVE	CALIPER	HEIGHT	CANOPY	CONTAINER	SPACING	CONDITION	
PALMS											
CON	3	Cocos nucifera 'Green Malayan'	Green Malayan Coconut	No	10'-12"	12' CT	15'-20'	B&B	As Shown	48" x 48" Rootball	
CONS	4	Cocos nucifera 'Green Malayan'	Green Malayan Coconut	No	10'-12"	12' CT	15'-20'	B&B	As Shown	Special 36" x 48" Maximum Rootball Size	
CONT	4	Cocos nucifera 'Green Malayan'	Green Malayan Coconut	No	10'-12"	14'-16' CT	15'-20'	B&B	As Shown	Transplant from Site #1, #2, #46, #48	
LEM	4	Leucothrinax morrisii	Keys Thatch Palm	Yes	4'-6"	6'-8' OA	6'-8'	B&B	As Shown	Single	
THR	5	Thrinax radiata	Thatch Palm	Yes	4'-6"	Varied	Varied	B&B	As Shown	Transplant from Site #36, #37, #39, #42, #44	
LARGE SHRUBS											
GYL	6	Gymnanthes lucida	Crabwood	Yes	NA	6'-8"	3'-4'	25 Gal	As Shown	Shrub Type	
MEDIUM SHRUBS											
CRL	84	Croton linearis	Pineland Croton	Yes	NA	24'-36"	24'-36"	7 Gal	As Shown		
PLI	46	Psychotria ligustrifolia	Dwf. Wild Coffee	Yes	NA	18"-24"	18"-24"	7 Gal	As Shown		
SAB	19	Savia bahamensis	Maiden Bush	Yes	NA	18"-24"	18"-24"	7 Gal	As Shown		
ZAP	9	Zamia pumila	Coontie	Yes	NA	18"-24"	18"-24"	15 Gal	As Shown		
GROUNDCOVER											
BOA	18	Borreria frutescens	Sea Ox-Eye Daisy	Yes	NA	12"-18"	12"-18"	1 Gal	As Shown		
ERL	100	Erodia littoralis	Golden Creeper	Yes	NA	12"-18"	12"-18"	1 Gal	As Shown		
FIM	152	Ficus microcarpa 'Green Island'	Green Island Ficus	No	NA	12"-18"	12"-18"	3 Gal	As Shown		
NEP	140	Nephrolepis exaltata	Sword Fern	Yes	NA	12"-18"	12"-18"	1 Gal	As Shown		
STJ	50	Stachytarpheta jamaicensis	Keys Porterweed	Yes	NA	8"-12"	8"-12"	3 Gal	As Shown		

LEGEND

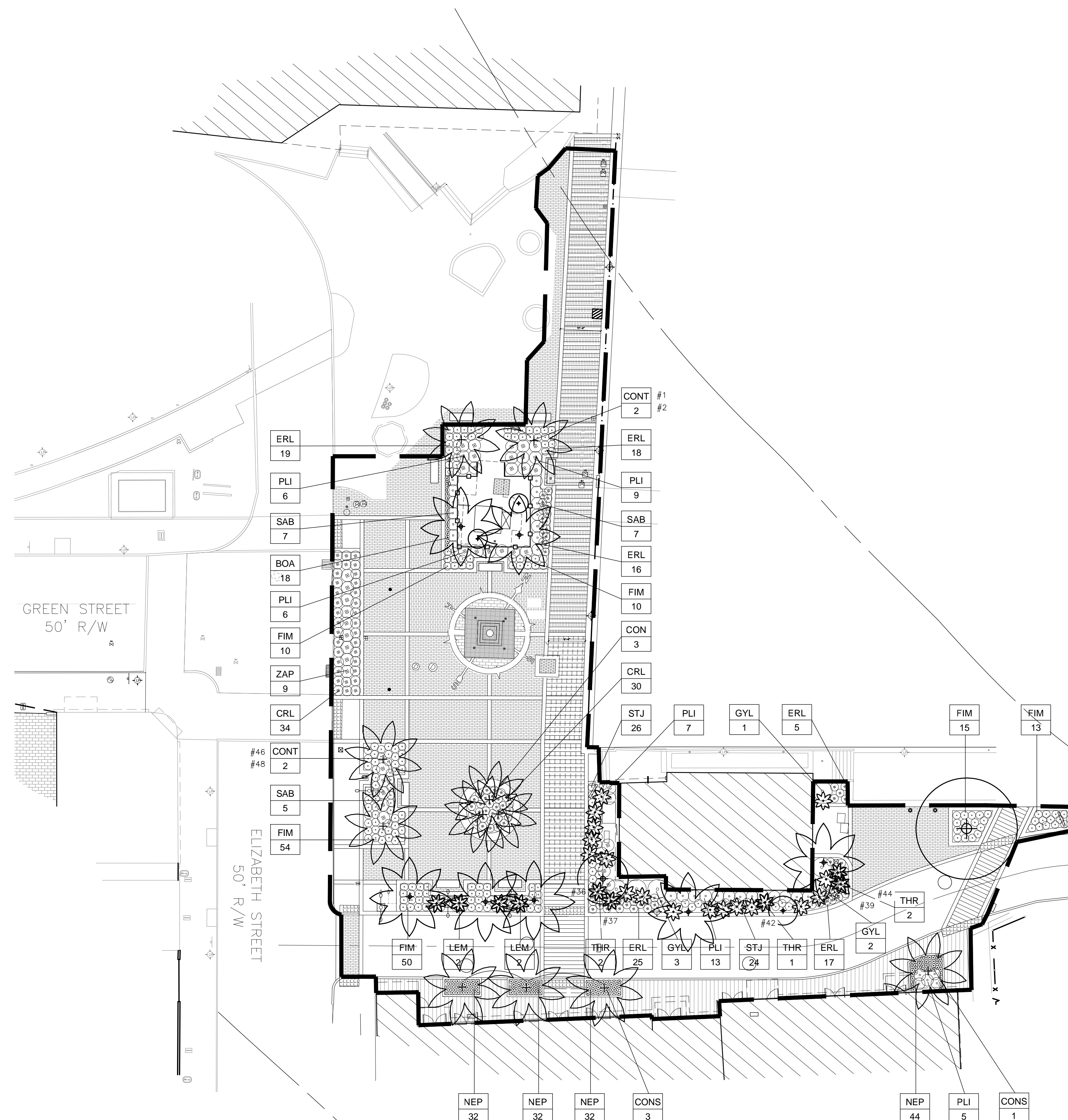
EXISTING PALM

EXISTING TREE

PROJECT LIMIT LINE

RIGHT OF WAY LANDSCAPE

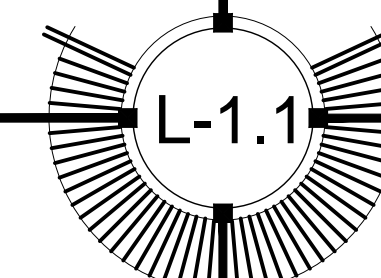
- Notes:**
1. Location of existing trees and palms are approximate only.
 2. See Architecture and Civil engineering plans for all hardscape, site lighting and site furniture construction details and dimensioning.
 3. Irrigation System is design build. Landscape Contractor to provide complete fully functional irrigation system according specifications provided by Architect.
 4. Landscape Contractor to provide unit pricing in bid.



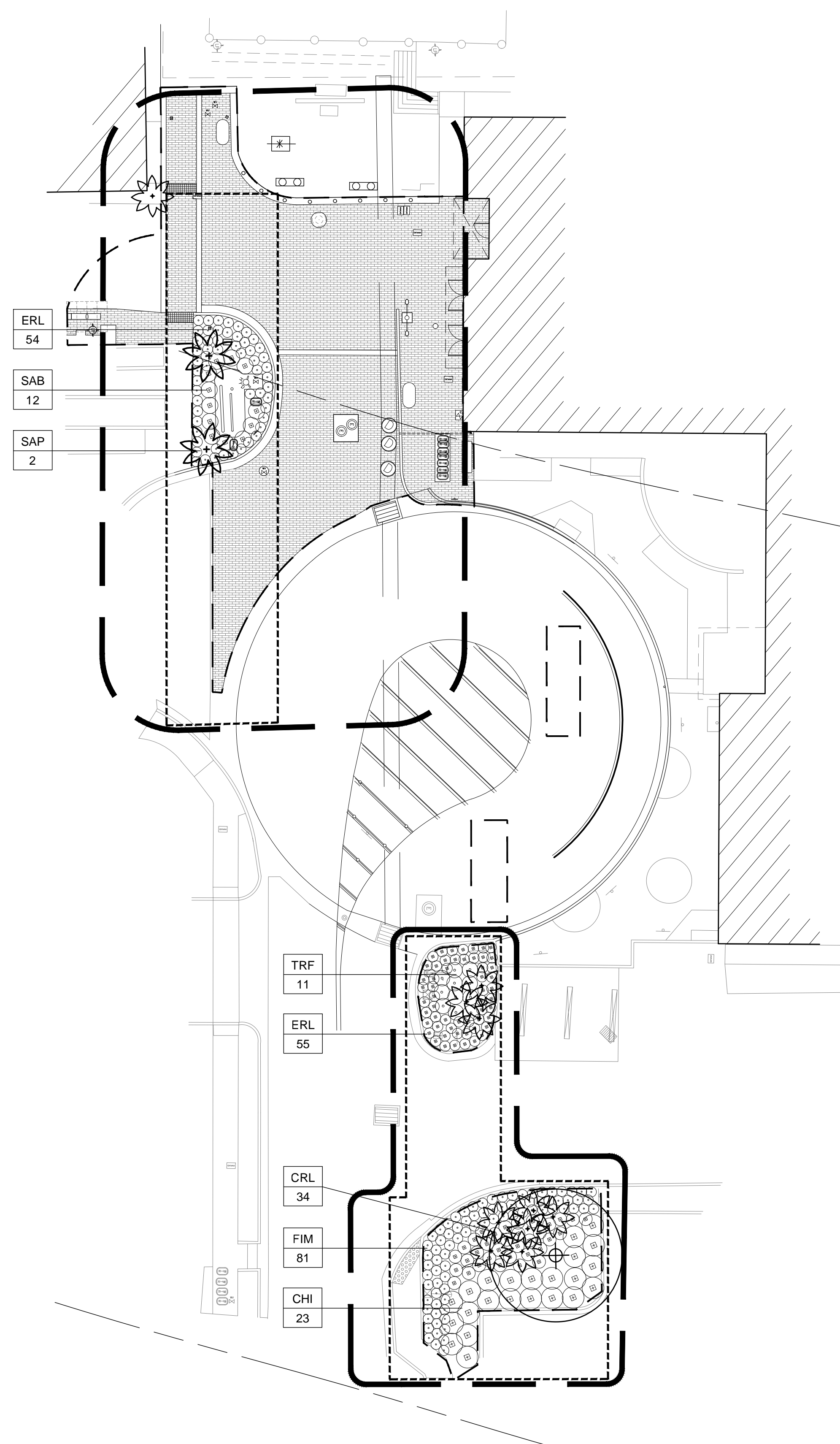
HISTORIC SEAPORT HARBORWALK - AREA #1 GREEN & LAZY WAY LANE (PROPOSED LANDSCAPE PLAN)

SCALE: 1/16" = 1'-0"

**KEY WEST HISTORIC SEAPORT
PHASE II
KEY WEST, FLORIDA**



L-1.1



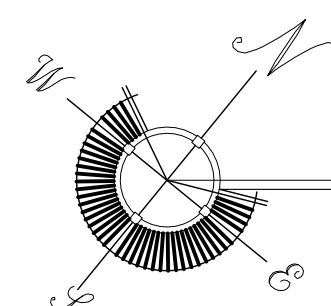
WILLIAM STREET LANDSCAPE REQUIREMENTS			
Minimum Landscape Areas	Required	Provided	
Site Area 7,720 SF x 20% Minimum Area of Building Site	1544 SF/20%	1544 SF	
Minimum Native Plant Requirement 70%	Total Plants Provided	Percent Provided	
Native Plants (Existing To Remain & Proposed)	199	70%	
Exotic Plants (Existing to Remain & Proposed)	64	30%	
Total Native & Exotic Plants	263		
Minimum Standards Landscaping Along Right-of-Way			
230 LF Property Line Abutting Street Frontage/100 LF = 2.3			
40 Plant Units x 2.3 = 92 Plant Units Required			
	Total Plants Provided	x Plant Units	Plant Units Provided
Canopy Trees / Native Palms (Existing & Proposed)	13	10	130
Ornamental Trees	0	3	0
Shrubs (Proposed)	270	1	270
Total Plant Units Provided	283		400
Nonvehicular Open Space (NOS) Landscape Requirements			
20% / 1544 SF of Site Nonvehicular Open Space			
Requires 4 Trees / 2000 SF of NOS	Total Trees Required	Total Trees Provided	
1544 SF/ 2000 SF = .77 x 4 Trees	3	1 Tree / 10 Palms	

KEY WEST HISTORIC SEAPORT WILLIAM STREET PLAZA										
KEY	QTY L-2.1	SCIENTIFIC NAME	COMMON NAME	NATIVE	CALIPER	HEIGHT	CANOPY	CONTAINER	SPACING	CONDITION
PALMS										
SAP	2	Sabal palmetto	Sabal Palm	Yes	16"-24"	10' OA	8'-10'	65 Gal	As Shown	Regenerated w/Boots
LARGE SHRUBS										
CHI	23	Chrysobalanus icaco	Red Tip Coccolupum	Yes	NA	36"-48"	36"-48"	15 Gal	As Shown	Shrub Type
MEDIUM SHRUBS										
CRL	34	Croton linearis	Pineland Croton	Yes	NA	24"-36"	24"-36"	7 Gal	As Shown	
SAB	12	Savia bahamensis	Maiden Bush	Yes	NA	24"-36"	24"-36"	7 Gal	As Shown	
TRF	11	Tripsacum floridanum	Dwarf Fakahatchee Gras	Yes	NA	18"-24"	18"-24"	3 Gal	As Shown	
GROUND COVER										
ERL	109	Ermodia littoralis	Golden Creeper	Yes	NA	12"-18"	12"-18"	1 Gal	As Shown	
FIM	81	Ficus microcarpa 'Green Island'	Green Island Ficus	No	NA	12"-18"	12"-18"	3 Gal	As Shown	

LEGEND	
	EXISTING PALM
	EXISTING TREE
	PROJECT LIMIT LINE
	RIGHT OF WAY LANDSCAPE

Notes:

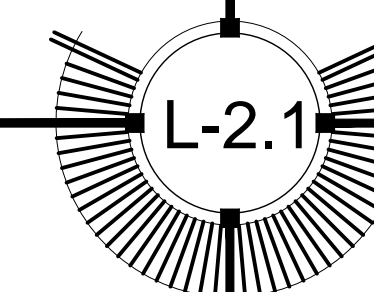
1. Location of existing trees and palms are approximate only.
2. See Architecture and Civil engineering plans for all hardscape, site lighting and site furniture construction details and dimensioning.
3. Irrigation System is design build. Landscape Contractor to provide complete fully functional irrigation system according specifications provided by Architect.
4. Landscape Contractor to provide unit pricing in bid.



HISTORIC SEAPORT HARBORWALK - AREA #2 WILLIAM STREET (PROPOSED LANDSCAPE PLAN)

SCALE: 1/16"=1'-0"

KEY WEST HISTORIC SEAPORT
PHASE II
KEY WEST, FLORIDA

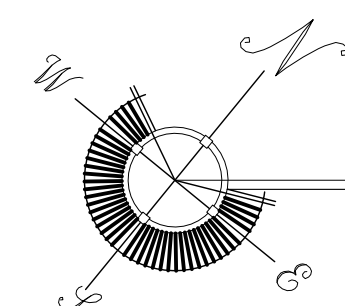
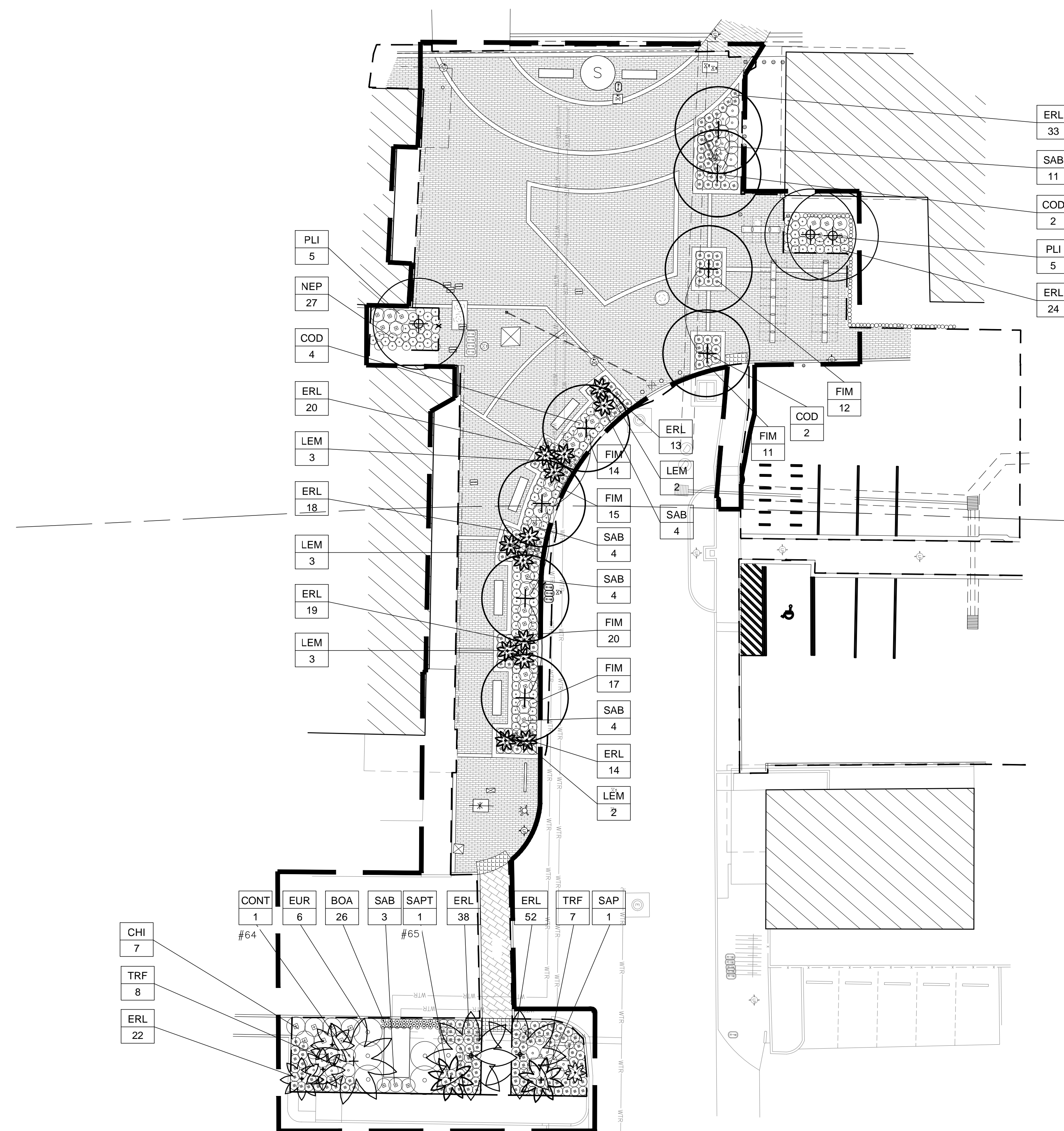


MARGARET STREET LANDSCAPE REQUIREMENTS			
Minimum Landscape Areas	Required	Provided	
Site Area 12,880 SF x 20% Minimum Area of Building Site	2576 / 20%	2576	
Minimum Native Plant Requirement 70%	Total Plants Provided	Percent Provided	
Native Plants	397	80%	
Exotic Plants	89	20%	
Total Native & Exotic Plants	486		
Minimum Standards Landscaping Along Right-of-Way	Total Plants Provided	x Plant Units	Plant Units Provided
200 LF Property Line Abutting Street Frontage/100 LF = 1 40 Plant Units x 2 = 80 Plant Units Required			
Canopy Trees / Native Palms	14	10	140
Ornamental Trees	5	3	15
Shrubs	236	1	236
Total Plant Units Provided	255		391
Nonvehicular Open Space (NOS) Landscape Requirements	Total Trees Required	Total Trees Provided	
20% or 2576 SF of Site Nonvehicular Open Space Requires 4 Trees/2000 SF of NOS 2576 SF/2000= 1.29 x 4 Trees	5	6 Trees / 6 Palms	

KEY WEST HISTORIC SEAPORT MARGARET STREET PLAZA											3/1/2020
KEY	QTY L-3.1	SCIENTIFIC NAME	COMMON NAME	NATIVE	CALIPER	HEIGHT	CANOPY	CONTAINER	SPACING	CONDITION	
TREES											
COD	8	Coccoloba diversifolia	Pigeon Plum	Yes	3"-4"	14'-16'	8'-10'	100 Gal	As Shown	5' CT	
PALMS											
CONT	1	Cocos nucifera 'Green Malayan'	Green Malayan Coconut	No	10'-12"	14'-16' CT	15'-20'	B&B	As Shown	Transplant From Site #64	
LEM	13	Leucothrinax morrisii	Keys Thatch Palm	Yes	4'-6"	6'-8' OA	6'-8'	B&B	As Shown	Single	
SAPT	1	Sabal palmetto	Sabal Palm	Yes	16"-24"				As Shown	Transplant From Site #65	
SAP	1	Sabal palmetto	Sabal Palm	Yes	16"-24"	10' OA	8'-10'	65 Gal	As Shown	Regenerated w/Boots	
LARGE SHRUBS											
CHI	7	Chrysobalanus icaco	Red Tip Cocoplum	Yes	NA	36"-48"	36"-48"	15 Gal	As Shown	Shrub Type	
EUR	6	Eugenia rhombea	Red Stopper	Yes	NA	6'-8"	3'-4"	25 Gal	As Shown	Shrub Type	
MEDIUM SHRUBS											
PLI	10	Psychotria ligustrifolia	Dwf. Wild Coffee	Yes	NA	18"-24"	18"-24"	7 Gal	As Shown		
SAB	30	Savia bahamensis	Maiden Bush	Yes	NA	24"-36"	24"-36"	7 Gal	As Shown		
TRF	15	Tripsacum flondanum	Dwarf Fakahatchee Grass	Yes	NA	18"-24"	18"-24"	3 Gal	As Shown		
GROUND COVER											
BOA	26	Borreria frutescens	Sea Ox-Eye Daisy	Yes	NA	12"-18"	12"-18"	1 Gal	As Shown		
ERL	253	Emodia littoralis	Golden Creeper	Yes	NA	12"-18"	12"-18"	1 Gal	As Shown		
FIM	89	Ficus microcarpa 'Green Island'	Green Island Ficus	No	NA	12"-18"	12"-18"	3 Gal	As Shown		
NEP	27	Nephrolepis exaltata	Sword Fern	Yes	NA	12"-18"	12"-18"	1 Gal	As Shown		

LEGEND	
	EXISTING PALM
	EXISTING TREE
	PROJECT LIMIT LINE
	RIGHT OF WAY LANDSCAPE

- Notes:
1. Location of existing trees and palms are approximate only.
 2. See Architecture and Civil engineering plans for all hardscape, site lighting and site furniture construction details and dimensioning.
 3. Irrigation System is design build. Landscape Contractor to provide complete fully functional irrigation system according specifications provided by Architect.
 4. Landscape Contractor to provide unit pricing in bid.



HISTORIC SEAPORT HARBORWALK - AREA #3 MARGARET STREET (PROPOSED LANDSCAPE PLAN)

SCALE: 1/16"=1'-0"

KEY WEST HISTORIC SEAPORT
PHASE II
KEY WEST, FLORIDA

