

# Historic Architectural Review Commission

## Staff Report Item 8

---

<b>Meeting Date:</b>	September 24, 2013
<b>Applicant:</b>	Bender & Associates
<b>Application Number:</b>	H13-01-1235
<b>Address:</b>	#803 Emma Street
<b>Description of Work:</b>	Structural stabilization and repairs
<b>Building Facts:</b>	The building is listed as a contributing resource and was individually listed on the National Register of Historic Places (NRHP) on May 2012. The building was declared unsafe by the Chief Building Official in 2012 and since then it has been closed for public use. Since the building is individually listed on the NRHP HARC has jurisdiction in all interior work.
<b>Guidelines Cited in Review:</b>	Secretary of the Interior's Standards and Guidelines (pages 16-23), specifically Standard 6.  Building Exteriors- Masonry (page 25), specifically guidelines 5 and 6.

### Staff Analysis

The Certificate of Appropriateness proposes the stabilization of the building by re pouring the concrete columns and tie beams. The structure will be shored during the reconstruction process. The submitted plans details the protection of the existing floors and roof trusses during the reconstruction process. The existing cracks at the west side of the front parapet wall will be repaired with the introduction of metal elements that will serve as support to the wall. The reconstruction process for the columns and tie beams is based on the existing fabric; all structural elements will be replicated but will be reconstructed with today's standards.

### Consistency with Guidelines

It is staff's opinion that the proposed stabilization and reconstruction of structural elements meets the Secretary of Interior's Standards. The plans depict all reconstructed elements to match existing in size, scale and material. It is staff's opinion that the proposed plans are consistent with the Historic

Architectural Guidelines. Although the plans include other annotations the application for review is just for the stabilization program. Since the reconstruction will require selective demolition and since this building has been declared unsafe this review is not for the demolition aspect, rather for the design aspect of the structural components to be reconstructed. The Building Officer has discretion regarding any demolitions on this particular building due to his unsafe structure determination.

# Application



**CITY OF KEY WEST  
BUILDING DEPARTMENT  
CERTIFICATE OF APPROPRIATENESS**

08-14-2013 101235

APPLICATION # \_\_\_\_\_

OWNER'S NAME:

AMERICAN LEGION POST 168

DATE:

13 AUGUST 2013

OWNER'S ADDRESS:

803 EMMA STREET  
KEY WEST, FL.

PHONE #:

APPLICANT'S NAME:

BERT BENDER  
BENDER & ASSOCIATES ARCHITECTS

PHONE #:

296.1347

APPLICANT'S ADDRESS:

410 ANGELA ST.  
KEY WEST, FL. 32040

ADDRESS OF CONSTRUCTION:

803 EMMA ST.

# OF  
UNITS

NA

**THERE WILL BE A FINAL INSPECTION REQUIRED UNDER THIS PERMIT**

DETAILED DESCRIPTION OF WORK:

STRUCTURAL STABILIZATION AND  
REPAIRS

*Chapter 837.06 F.S.-False Official Statements – Whoever knowingly makes a false statement in writing with the intent to mislead a public servant in the performance of his or her official duty shall be guilty of a misdemeanor of the second degree punishable as provided for in s. 775.082 or 775.083*

This application for Certificate of Appropriateness must precede applications for building permits, right of way permits, variances, and development review approvals. Applications must meet or exceed the requirements outlined by the Secretary of the Interior's Standards for Rehabilitation and Key West's Historic Architectural Guidelines.

Once completed, the application shall be reviewed by staff for completeness and either approved or scheduled for presentation to the Historic Architectural Review Commission at the next available meeting. The applicant must be present at this meeting. The filing of this application does not ensure approval as submitted.

Applications that do not possess the required Submittals will be considered incomplete and will not be reviewed for approval.

Date: 13 AUGUST 2013

Applicant's Signature: \_\_\_\_\_

**Required Submittals**

✓	TWO SETS OF SCALED DRAWINGS OF FLOOR PLAN, SITE PLAN AND EXTERIOR ELEVATIONS (for new buildings and additions)
NA	TREE REMOVAL PERMIT (if applicable)
✓	PHOTOGRAPHS OF EXISTING BUILDING (repairs, rehabs, or expansions)
NA	PHOTOGRAPHS OF ADJACENT BUILDINGS (new buildings and additions)
NA	ILLUSTRATIONS OF MANUFACTURED PRODUCTS TO BE USED SUCH AS SHUTTERS, DOORS, WINDOWS, PAINT COLOR CHIPS, AND AWNING FABRIC

Over: 1 WALKER SAMPLES: NP Drawer: 1  
Date: 8/22/13 5:50 Receipt no: 99082

PT

Trans number:

MULTIPLE TENDER

Trans date: 8/22/13

\* BUILDING PERMITS-NEW  
Staff Use Only

\$100.00

2955239

Staff Approval:

Time: 8:41:05

Fee Due: \$ \_\_\_\_\_

HISTORIC ARCHITECTURAL REVIEW APPLICATION

# HISTORIC ARCHITECTURAL REVIEW COMMISSION USE ONLY

\*\*\*\*\*

Approved \_\_\_\_\_

Denied \_\_\_\_\_

Deferred \_\_\_\_\_

Reason for Deferral or Denial:

---

---

---

---

HARC Comments:

*Building is individually listed in the National Register  
of Historic Places*

*Guidelines for exterior masonry  
Secretary of Interior's standards.*

Limit of Work Approved, Conditions of Approval and/or Suggested  
Changes:

---

---

---

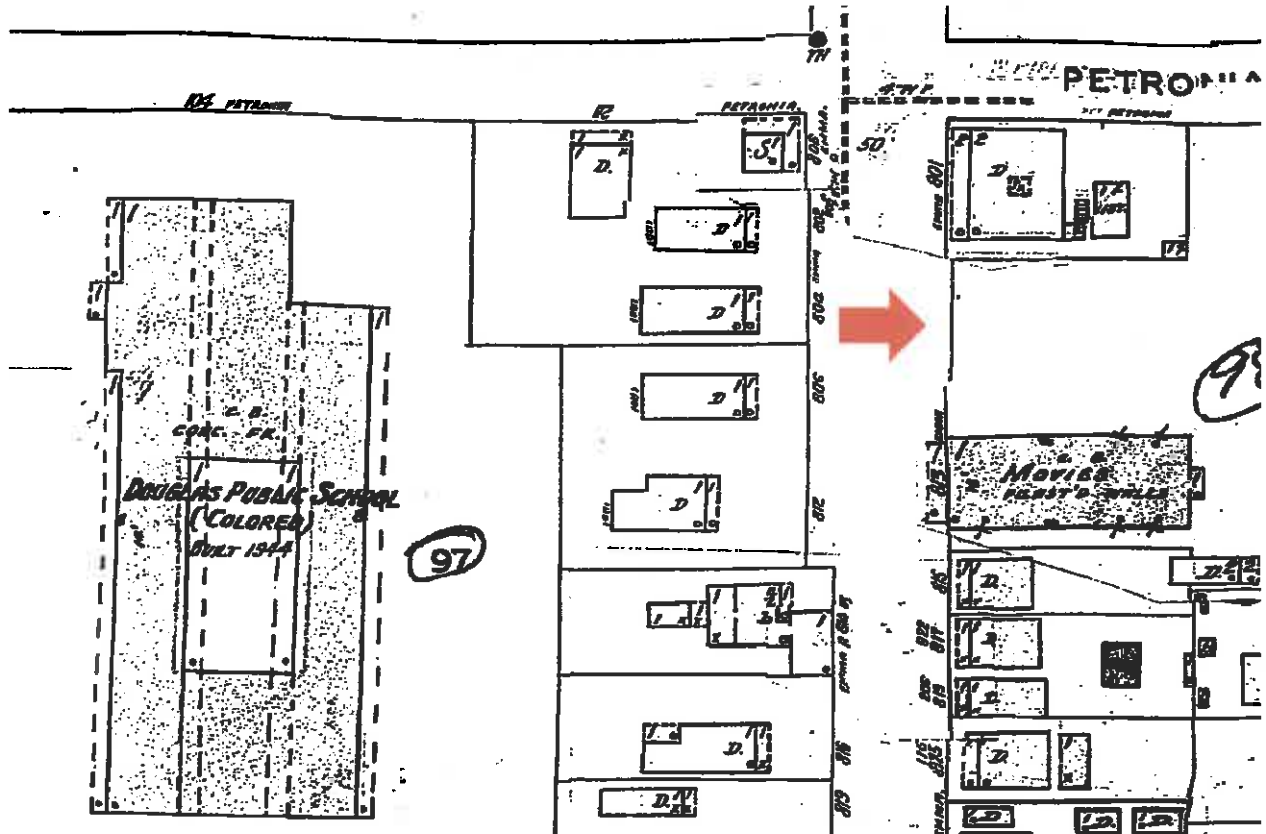
---

Date: \_\_\_\_\_

Signature: \_\_\_\_\_

Historic Architectural  
Review Commission

# **Sanborn Maps**



#803 Emma Street Sanborn map 1948





## **Project Photos**



Historic 1965 photo of front façade. Note that corners at doorways had glass block, with what appears to be a steel column behind it at each corner. It is likely that the glass block still exists, and was just stuccoed over. As part of ALTERNATE #1, Contractor shall carefully remove stucco at glass block locations. If glass block still remains, restore block. For bidding purposes, Contractor to assume that glass block is gone, and will be rebuilt.



2012 Photo of front of building. Repair all spalling at tie beams and columns. See specifications and structural drawings. See info in photo above about glass block at corner of door openings.



Detail photo of front façade showing spalling at tie beam. Contractor to repair spalling at tie beams and columns and patch stucco. See structural details and specifications. The parapet will be secured to the top chord of the first truss.



Exterior photo of north façade. Note spalling along tie beams at first and second floors, and columns. Contractor to repair spalling at tie beams and columns and patch stucco. See structural details and specifications. Remove and replace plywood fascia at top of wall as required for spalling repairs.





Detail photo of 2<sup>nd</sup> floor spalling tie beam at north façade. Contractor to repair spalling at tie beams and columns and patch stucco. See structural details and specifications.



Detail photo of spalling at NE corner of building. Contractor to repair spalling at tie beams and columns and patch stucco. See structural details and specifications.



Photo of existing spalled concrete column at inside of building, along exterior wall. Contractor to repair spalling at all tie beams and columns and patch stucco. These columns are marked RC2 on Structural Plan S1.1. See repair detail, sheet S2.1. See structural details and specifications.



Photo of existing spalled concrete column at inside of building, along exterior wall. Note crack at wall-column joint. Contractor to repair spalling at all tie beams and columns and patch stucco. These columns are located under each wood truss, and are marked RC2 on Structural Plan S1.1. See repair detail, sheet S2.1. See structural details and specifications.





Photo of existing roof truss. All roof trusses are to remain, and shall be shored during spalling repair per Plan drawing S1.1, and shoring details on S2.1. Carefully remove suspended ceiling tiles as required for Work. Suspended ceiling grid to remain. Replace existing ceiling tiles after work is complete. (No new ceiling tiles shall be purchased.) Ductwork to remain. Protect ductwork during construction.



General photo of interior. Columns along mezzanine shall be replaced with steel columns per structural details, sheets S1.1 and S2.1. The floor is composed of historic Cuban floor tiles, and shall be covered and protected during construction. Carefully remove suspended ceiling tiles as required for Work. Suspended ceiling grid to remain. Replace existing ceiling tiles after work is complete. (No new ceiling tiles shall be purchased.).



Photo of ceiling at kitchen. Sister roof rafters per Structural drawings.

# **Proposed Plans**



# AMERICAN LEGION POST 168

## 803 EMMA STREET

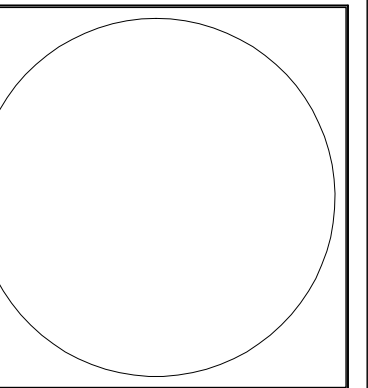
### KEY WEST FLORIDA

#### STABILIZATION DRAWINGS



REVISIONS:

AMERICAN LEGION POST 168  
803 EMMA STREET  
KEY WEST, FLORIDA  
STABILIZATION DRAWINGS



STIRLING & WILBUR  
ENGINEERING GROUP



205 SOUTH TAMiami TRAIL, SARASOTA, FL 34231  
PHONE (941) 529-1552 FAX (941) 529-1553  
email: cba@stirlingwilbur.com  
Copyright © 2011 Stirling & Wilbur Engineering Group  
10/01

410 Angela Street  
Key West, Florida 33040  
Telephone (305) 296-1347  
Facsimile (305) 296-2727  
Florida License AAC002022

Bender & Associates  
ARCHITECTS  
p.a.

Project No.: 1124  
SITE MAP  
PROJECT DIRECTORY  
GENERAL NOTES  
ABBREVIATIONS  
SHEET INDEX  
SYMBOL LEGEND

Date: 8/12/13

A0.0

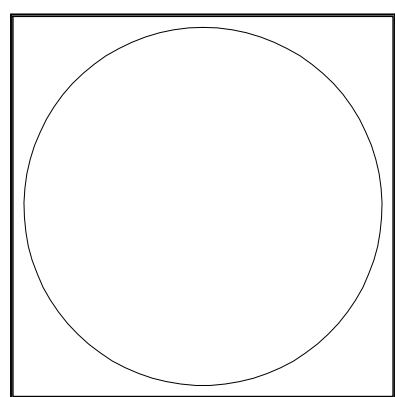
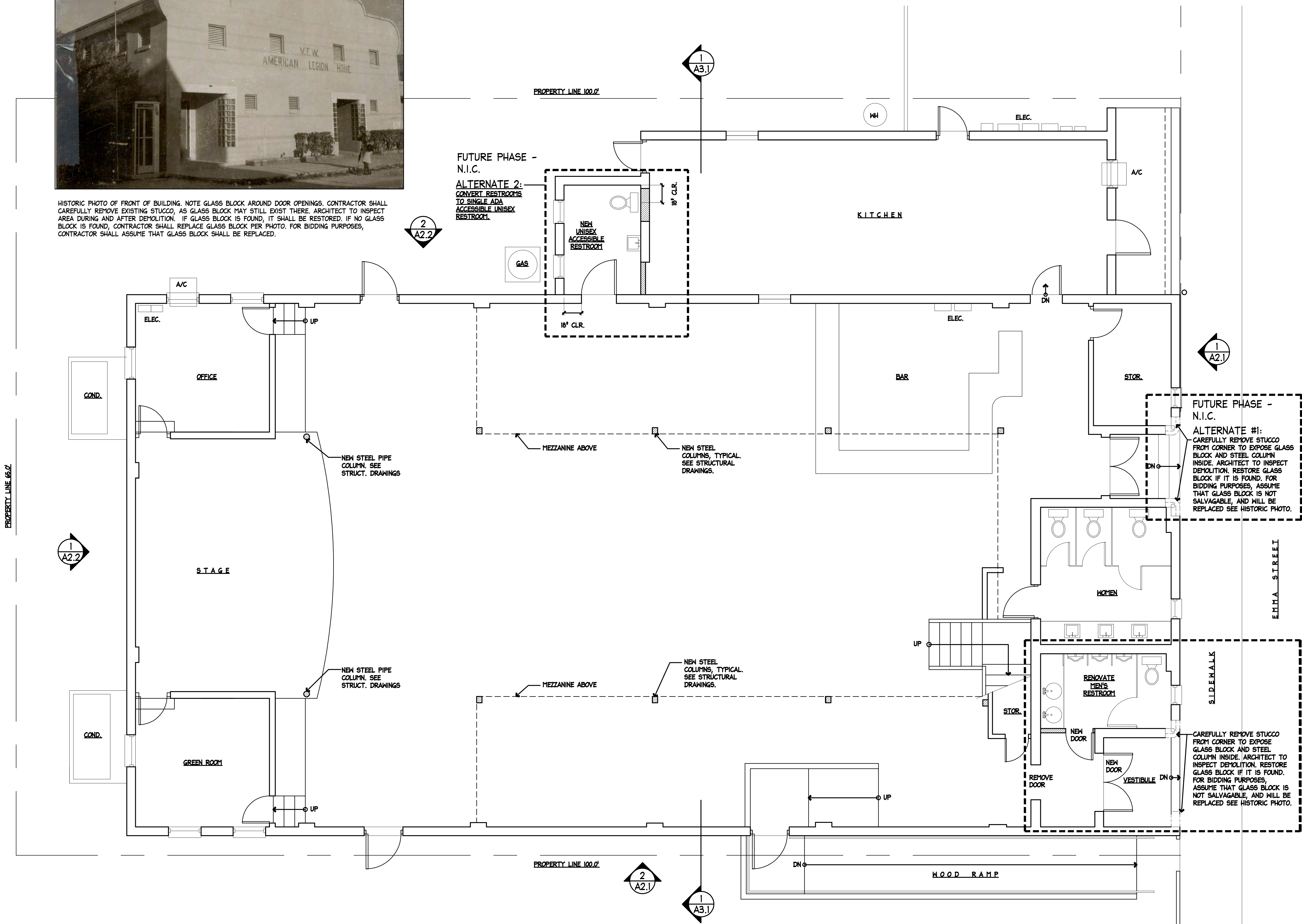
1 OF 8

SITE MAP - KEY WEST		PROJECT SIGN		PROJECT DIRECTORY		GENERAL NOTES																																																																																																																																																	
<p>SITE LOCATION 803 EMMA ST. KEY WEST</p> <p>Not to Scale</p>		<p><b>PROJECT SIGNS:</b></p> <p>A PROJECT IDENTIFICATION SIGN WILL BE DISPLAYED IN A PROMINENT LOCATION AT THE PROJECT SITE WHILE PROJECT WORK IS IN PROCESS. FOR THIS PROJECT, THE PROJECT SIGN WILL BE NOT LESS THAN 4' X 4', NOR LARGER THAN 4' X 8'. IN ADDITION TO THE ABOVE, THE SIGN WILL INCLUDE THE PROJECT NAME, ALONG WITH NAMES OF THE OWNER, CONTRACTOR, AND ARCHITECT, AS WELL AS THE FOLLOWING STATEMENT:</p> <p>THIS PROJECT HAS BEEN MADE POSSIBLE FROM THE FOLLOWING FUNDING SOURCES:</p> <p>TIFF (TAX INCREMENT FINANCING FUNDS) FUNDS FROM THE BAHAMA VILLAGE REDEVELOPMENT ADVISORY COMMITTEE</p> <p>STATE OF FLORIDA 'VIVA FLORIDA 500' SMALL MATCHING GRANT</p> <p>SIGN SHALL BE FORMATTED AS SHOWN BELOW. A PDF IS AVAILABLE FROM THE ARCHITECT UPON REQUEST</p> <p>AMERICAN LEGION POST 168 STRUCTURAL STABILIZATION</p> <p>ARCHITECT: BENDER &amp; ASSOCIATES ARCHITECTS, P.A. 410 ANGELA STREET KEY WEST, FL 33040 (305) 296-1347</p> <p>CONTRACTOR: D.L. PORTER CONTRACTORS, INC. 6574 PALMER PARK CIRCLE SARASOTA, FL 34238 (941) 529-1552</p> <p>THIS PROJECT HAS BEEN MADE POSSIBLE FROM THE FOLLOWING FUNDING SOURCES:</p> <p>TIFF (TAX INCREMENT FINANCING FUNDS) FUNDS, ADMINISTERED BY THE BAHAMA VILLAGE REDEVELOPMENT ADVISORY COMMITTEE</p> <p>STATE OF FLORIDA 'VIVA FLORIDA 500' SMALL MATCHING GRANT</p>		<p>PROJECT: AMERICAN LEGION POST 168</p> <p>ARCHITECT'S PROJECT No.: 1124</p> <p>OWNER: AMERICAN LEGION POST 168 Address: 803 EMMA ST. KEY WEST, FL 33040 Tel: 770-401-7932 Representative: GLENWOOD LOPEZ</p> <p>ARCHITECT: BENDER &amp; ASSOCIATES ARCHITECTS, P.A. Address: 410 Angela Street, Key West, FL 33040 Tel: (305) 296-1347 Fax: (305) 296-2727 E-mail: bender@bellsouth.net Project Manager: Bert L. Bender (Principal-in-Charge) Project Architect: David Salay</p> <p>STRUCTURAL ENGINEER: STIRLING &amp; WILBUR ENGINEERING GROUP Address: 7085 South Tamiami Trail, Sarasota, FL 34231 Tel: (941) 529-1552 Project Manager: Brian Stirling</p>		<p><b>GENERAL NOTES</b></p> <ol style="list-style-type: none"><li>All work shall comply with the Florida Building Code, latest edition, and all applicable laws, codes and ordinances of the City, County, and the State of Florida. In the City of Key West, applicable Codes forming the basis of this design and compliance requirements for the Contractor include: FLORIDA BUILDING CODE - Building 2010 EDITION WITH 2009 AMENDMENTS FLORIDA BUILDING CODE - Existing 2010 EDITION WITH 2009 AMENDMENTS FLORIDA BUILDING CODE - Residential 2010 EDITION FLORIDA BUILDING CODE - Plumbing 2010 FLORIDA BUILDING CODE - Fuel Gas 2010 EDITION FLORIDA BUILDING CODE - Mechanical 2010 EDITION NATIONAL ELECTRICAL CODE 2008 EDITION NFPA 101 LIFE SAFETY CODE w/ Florida Modifications 2006 EDITION FLORIDA FIRE PREVENTION CODE 2007 EDITION NFPA 1 2006 EDITION This project is designed in accordance with A.S.C.E. 7-05 to resist wind loads of 150 mph (quite).</li><li>Prior to submitting a bid, verify all existing conditions and dimensions on the jobsite, and also after award, but prior to the start of construction.</li><li>Contours and/or existing grades shown are approximate. Verify with field conditions. Final grading shall provide gradual slopes and grades. Slope all grades away from the building. Planting areas shall be graded with soil suitable for planting. Rock and debris will not be allowed.</li><li>Where discrepancies between drawings, specifications, and code requirements occur, adhere to the most stringent requirement.</li><li>Dimensions shall take precedence over scale.</li><li>All new utilities shall be underground.</li><li>Drawings and specifications are complementary. Refer to all sheets of drawings and applicable sections of the specifications for interfaces of work with related trades.</li><li>After completion of construction remove all debris and construction equipment. Restore site to original condition.</li><li>Notify owner of any possible artifacts uncovered during site grading and throughout the course of construction.</li><li>Furnish a receptacle on site to contain construction debris and maintain the site in an orderly manner to ensure public safety and prevent blowing debris.</li><li>Comply with all requirements for selective demolition as specified, shown on the Demolition Plan, or called for in the selective Demolition Notes.</li></ol> <p>6101-16.003 Use of Seal: The personal seal, signature and date of the architect or interior designer shall appear on all architectural or interior design documents to be filed for public record and shall be construed to obligate his partners or his corporation. A corporate seal alone is insufficient. Documents shall be signed personally and sealed by the responsible architect or interior designer. Final official record documents (not tracings, etc.) shall be so signed. The signing and sealing of the specification index sheets shall be considered adequate. All drawing sheets and pages shall be so signed and sealed. An architect or interior designer shall not affix, or permit to be affixed, his seal or name to any plan, specifications, drawings, or other related document which was not prepared by him or under his responsible supervising control as provided in Rule Chapter 61G1-23, F.A.C. An architect or interior designer shall not use his seal or do any other act as an architect or interior designer unless holding at the time a certificate of registration and all required renewals thereof. Specific Authority 481.2055, 481.221 FS. Law Implemented 481.221, 481.225(1)(e), (g), (j), 481.225(1)(g), (h), (i) FS. History-New 12-23-79, Formerly 21B-16.03, Amended 7-27-89, Formerly 21B-16.003, Amended 11-21-94, 4-18-00.</p>																																																																																																																																																	
<p><b>ABBREVIATIONS</b></p> <table><tbody><tr><td>AB</td><td>ANCHOR BOLT</td><td>MIN</td><td>MINIMUM</td></tr><tr><td>ABC</td><td>AGGREGATE BASE COURSE</td><td>NTS</td><td>NOT TO SCALE</td></tr><tr><td>A/C</td><td>AIR CONDITIONING</td><td>OA</td><td>OVERALL</td></tr><tr><td>BLKG</td><td>BLOCKING</td><td>OC</td><td>ON CENTER</td></tr><tr><td>BUR</td><td>BILT UP ROOF</td><td>OD</td><td>OUTSIDE DIAMETER</td></tr><tr><td>CAB</td><td>CABINET</td><td>PCF</td><td>POUNDS PER CUBIC FOOT</td></tr><tr><td>CER</td><td>CERAMIC</td><td>PL</td><td>PROPETY LINE</td></tr><tr><td>CL</td><td>CENTER LINE</td><td>PLAM</td><td>PLASTIC LAMINATE</td></tr><tr><td>CLG</td><td>CEILING</td><td>PLF</td><td>POUNDS PER LINEAL FOOT</td></tr><tr><td>CMU</td><td>CONCRETE MASONRY UNIT</td><td>PNL</td><td>PANEL</td></tr><tr><td>COL</td><td>COLUMN</td><td>PT</td><td>CCA PRESSURE TREATED</td></tr><tr><td>CONC</td><td>CONCRETE</td><td>PT</td><td>POINT</td></tr><tr><td>DBL</td><td>DOUBLE</td><td>PVC</td><td>POLYVINYLCHLORIDE</td></tr><tr><td>DIAG</td><td>DIAGONAL</td><td>R</td><td>RADIUS (OR) RISER</td></tr><tr><td>DS</td><td>DOWNSPOUT</td><td>R/A</td><td>RETURN AIR</td></tr><tr><td>DTL</td><td>DETAIL</td><td>REBAR</td><td>STEEL REINF. BAR</td></tr><tr><td>DNR</td><td>DRAWER</td><td>REFR.</td><td>REFRIGERATOR</td></tr><tr><td>EJ</td><td>EXPANSION JOINT</td><td>SF</td><td>SQUARE FOOT (FEET)</td></tr><tr><td>EL</td><td>ELEVATION</td><td>SS</td><td>STAINLESS STEEL</td></tr><tr><td>ELEC</td><td>ELECTRIC</td><td>SPEC</td><td>SPECIFICATION</td></tr><tr><td>EQ</td><td>EQUAL</td><td>T</td><td>TYPICAL</td></tr><tr><td>EXH</td><td>EXHAUST</td><td>UNO</td><td>UNLESS NOTED OTHERWISE</td></tr><tr><td>FV</td><td>FIELD VERIFY</td><td>VCT</td><td>VINYL COMPOSITION TILE</td></tr><tr><td>GALV</td><td>GALVANIZED</td><td>VERT</td><td>VERTICAL</td></tr><tr><td>GI</td><td>GALVANIZED IRON</td><td>WD</td><td>WOOD</td></tr><tr><td>HORZ</td><td>HORIZONTAL</td><td>WNF</td><td>WELDED WIRE FABRIC</td></tr><tr><td>HDN</td><td>HARDWARE</td><td>WH</td><td>WATER HEATER</td></tr><tr><td>HVAC</td><td>HEATING VENTILATING &amp; AIR CONDITIONING</td><td>W/O</td><td>WITHOUT</td></tr><tr><td>FOC</td><td>FACE OF CONCRETE</td><td></td><td></td></tr><tr><td>FOS</td><td>FACE OF STUD</td><td></td><td></td></tr><tr><td>FIN</td><td>FINISH</td><td></td><td></td></tr><tr><td>FE</td><td>FIRE EXTINGUISHER</td><td></td><td></td></tr><tr><td>FND</td><td>FOUNDATION</td><td></td><td></td></tr><tr><td>FTG</td><td>FOOTING</td><td></td><td></td></tr><tr><td>ID</td><td>INSIDE DIAMETER</td><td></td><td></td></tr><tr><td>MAX</td><td>MAXIMUM</td><td></td><td></td></tr></tbody></table>		AB	ANCHOR BOLT	MIN	MINIMUM	ABC	AGGREGATE BASE COURSE	NTS	NOT TO SCALE	A/C	AIR CONDITIONING	OA	OVERALL	BLKG	BLOCKING	OC	ON CENTER	BUR	BILT UP ROOF	OD	OUTSIDE DIAMETER	CAB	CABINET	PCF	POUNDS PER CUBIC FOOT	CER	CERAMIC	PL	PROPETY LINE	CL	CENTER LINE	PLAM	PLASTIC LAMINATE	CLG	CEILING	PLF	POUNDS PER LINEAL FOOT	CMU	CONCRETE MASONRY UNIT	PNL	PANEL	COL	COLUMN	PT	CCA PRESSURE TREATED	CONC	CONCRETE	PT	POINT	DBL	DOUBLE	PVC	POLYVINYLCHLORIDE	DIAG	DIAGONAL	R	RADIUS (OR) RISER	DS	DOWNSPOUT	R/A	RETURN AIR	DTL	DETAIL	REBAR	STEEL REINF. BAR	DNR	DRAWER	REFR.	REFRIGERATOR	EJ	EXPANSION JOINT	SF	SQUARE FOOT (FEET)	EL	ELEVATION	SS	STAINLESS STEEL	ELEC	ELECTRIC	SPEC	SPECIFICATION	EQ	EQUAL	T	TYPICAL	EXH	EXHAUST	UNO	UNLESS NOTED OTHERWISE	FV	FIELD VERIFY	VCT	VINYL COMPOSITION TILE	GALV	GALVANIZED	VERT	VERTICAL	GI	GALVANIZED IRON	WD	WOOD	HORZ	HORIZONTAL	WNF	WELDED WIRE FABRIC	HDN	HARDWARE	WH	WATER HEATER	HVAC	HEATING VENTILATING & AIR CONDITIONING	W/O	WITHOUT	FOC	FACE OF CONCRETE			FOS	FACE OF STUD			FIN	FINISH			FE	FIRE EXTINGUISHER			FND	FOUNDATION			FTG	FOOTING			ID	INSIDE DIAMETER			MAX	MAXIMUM			<p><b>SYMBOLS LEGEND</b></p> <p>DWG. # ON SHEET REFERENCE SHEET</p> <p><b>CROSS SECTION</b> 1/4"=1'-0" DRAWING SCALE</p> <p><b>SECTION &amp; DETAIL DRWG. TITLES</b></p> <p>POCHE ONLY WHERE ELEVATIONS ARE INDICATED</p> <p>SHT. A8</p> <p>INDICATES # OF ELEVATION</p> <p><b>WALL ELEVATION INDICATOR</b> (SHOWN WITHIN ROOM ON PLAN)</p> <p>FIRST # INDICATES FLOOR</p> <p>206</p> <p><b>ROOM NUMBER INDICATOR</b> (SHOWN BESIDE OR UNDER ROOM NAME)</p> <p>NUMBERS 23</p> <p>LETTERS A</p> <p><b>DOOR OPENING INDICATOR</b> (EACH OPENING SCHEDULED SEPARATELY)</p> <p>LETTERS E</p> <p><b>WINDOW INDICATOR</b> (EACH WINDOW TYPE &amp; SIZE SCHEDULED)</p> <p><b>PARTITION/WALL TYPE INDICATOR</b> (COMMERCIAL &amp; INSTITUTIONAL PROJECTS)</p>		<p><b>MATERIAL DESIGNATIONS</b></p> <p>CONCRETE MASONRY UNITS IN PLAN</p> <p>CONC., STUCCO, PLASTER IN ELEV.;POURED CONC. IN PLAN</p> <p>METAL IN ELEVATION</p> <p>METAL IN SECTION</p> <p>FINISH WOOD IN ELEV. &amp; IN SECTION</p> <p>DIMENSION LUMBER IN SECTION (CONTINUOUS)</p> <p>WOOD BLOCKING IN SECTION (DISCONTINUOUS)</p> <p>GYP SUM WALL BOARD IN SECTION (LARGE SCALE)</p> <p>EARTH, NATURAL SUBSTRATE</p> <p>GRAVEL, AGGREGATE BASE COURSE, FILL</p> <p>FIBERGLASS BATT INSULATION</p> <p>RIGID INSULATION</p> <p><b>PARTITIONS &amp; WALLS</b></p> <p>CONCRETE MASONRY UNITS</p> <p>POURED CONCRETE</p> <p>WOOD FRAME</p> <p>METAL STUDS</p> <p>EXISTING CONSTRUCTION TO REMAIN</p> <p>EXISTING CONSTRUCTION TO BE DEMOLISHED</p>		<p><b>SHEET INDEX</b></p> <p><b>ARCHITECTURAL:</b></p> <p>A0.0 SITE LOCATION MAP, SHEET INDEX, GENERAL NOTES, FLORIDA ADMINISTRATIVE CODE, SYMBOLS LEGEND</p> <p>A1.1 FIRST FLOOR PLAN</p> <p>A1.2 SECOND FLOOR PLAN</p> <p>A2.1 EXTERIOR ELEVATIONS</p> <p>A2.2 EXTERIOR ELEVATIONS</p> <p>A3.1 BUILDING SECTION</p> <p><b>STRUCTURAL:</b></p> <p>S1.1 FIRST FLOOR STRUCTURAL PLAN</p> <p>S2.1 SHORING DETAILS</p> <p><b>DESCRIPTION OF WORK:</b> REPAIR OF SPALLING CONCRETE TIE BEAMS AND COLUMNS AT EXISTING BUILDING. MINOR INTERIOR MODIFICATIONS, INCLUDING RENOVATION OF EXISTING RESTROOMS, AND GLASS BLOCK RESTORATION.</p> <p>HARC APPROVAL NUMBER ---</p>	
AB	ANCHOR BOLT	MIN	MINIMUM																																																																																																																																																				
ABC	AGGREGATE BASE COURSE	NTS	NOT TO SCALE																																																																																																																																																				
A/C	AIR CONDITIONING	OA	OVERALL																																																																																																																																																				
BLKG	BLOCKING	OC	ON CENTER																																																																																																																																																				
BUR	BILT UP ROOF	OD	OUTSIDE DIAMETER																																																																																																																																																				
CAB	CABINET	PCF	POUNDS PER CUBIC FOOT																																																																																																																																																				
CER	CERAMIC	PL	PROPETY LINE																																																																																																																																																				
CL	CENTER LINE	PLAM	PLASTIC LAMINATE																																																																																																																																																				
CLG	CEILING	PLF	POUNDS PER LINEAL FOOT																																																																																																																																																				
CMU	CONCRETE MASONRY UNIT	PNL	PANEL																																																																																																																																																				
COL	COLUMN	PT	CCA PRESSURE TREATED																																																																																																																																																				
CONC	CONCRETE	PT	POINT																																																																																																																																																				
DBL	DOUBLE	PVC	POLYVINYLCHLORIDE																																																																																																																																																				
DIAG	DIAGONAL	R	RADIUS (OR) RISER																																																																																																																																																				
DS	DOWNSPOUT	R/A	RETURN AIR																																																																																																																																																				
DTL	DETAIL	REBAR	STEEL REINF. BAR																																																																																																																																																				
DNR	DRAWER	REFR.	REFRIGERATOR																																																																																																																																																				
EJ	EXPANSION JOINT	SF	SQUARE FOOT (FEET)																																																																																																																																																				
EL	ELEVATION	SS	STAINLESS STEEL																																																																																																																																																				
ELEC	ELECTRIC	SPEC	SPECIFICATION																																																																																																																																																				
EQ	EQUAL	T	TYPICAL																																																																																																																																																				
EXH	EXHAUST	UNO	UNLESS NOTED OTHERWISE																																																																																																																																																				
FV	FIELD VERIFY	VCT	VINYL COMPOSITION TILE																																																																																																																																																				
GALV	GALVANIZED	VERT	VERTICAL																																																																																																																																																				
GI	GALVANIZED IRON	WD	WOOD																																																																																																																																																				
HORZ	HORIZONTAL	WNF	WELDED WIRE FABRIC																																																																																																																																																				
HDN	HARDWARE	WH	WATER HEATER																																																																																																																																																				
HVAC	HEATING VENTILATING & AIR CONDITIONING	W/O	WITHOUT																																																																																																																																																				
FOC	FACE OF CONCRETE																																																																																																																																																						
FOS	FACE OF STUD																																																																																																																																																						
FIN	FINISH																																																																																																																																																						
FE	FIRE EXTINGUISHER																																																																																																																																																						
FND	FOUNDATION																																																																																																																																																						
FTG	FOOTING																																																																																																																																																						
ID	INSIDE DIAMETER																																																																																																																																																						
MAX	MAXIMUM																																																																																																																																																						





HISTORIC PHOTO OF FRONT OF BUILDING. NOTE GLASS BLOCK AROUND DOOR OPENINGS. CONTRACTOR SHALL CAREFULLY REMOVE EXISTING STUCCO, AS GLASS BLOCK MAY STILL EXIST THERE. ARCHITECT TO INSPECT AREA DURING AND AFTER DEMOLITION. IF GLASS BLOCK IS FOUND, IT SHALL BE RESTORED. IF NO GLASS BLOCK IS FOUND, CONTRACTOR SHALL REPLACE GLASS BLOCK PER PHOTO. FOR BIDDING PURPOSES, CONTRACTOR SHALL ASSUME THAT GLASS BLOCK SHALL BE REPLACED.



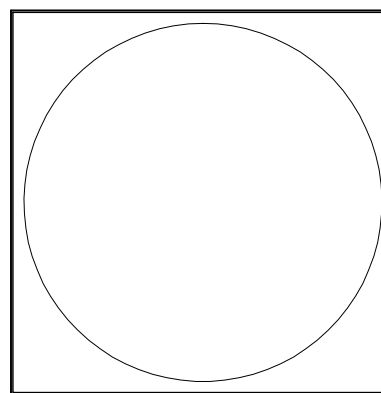
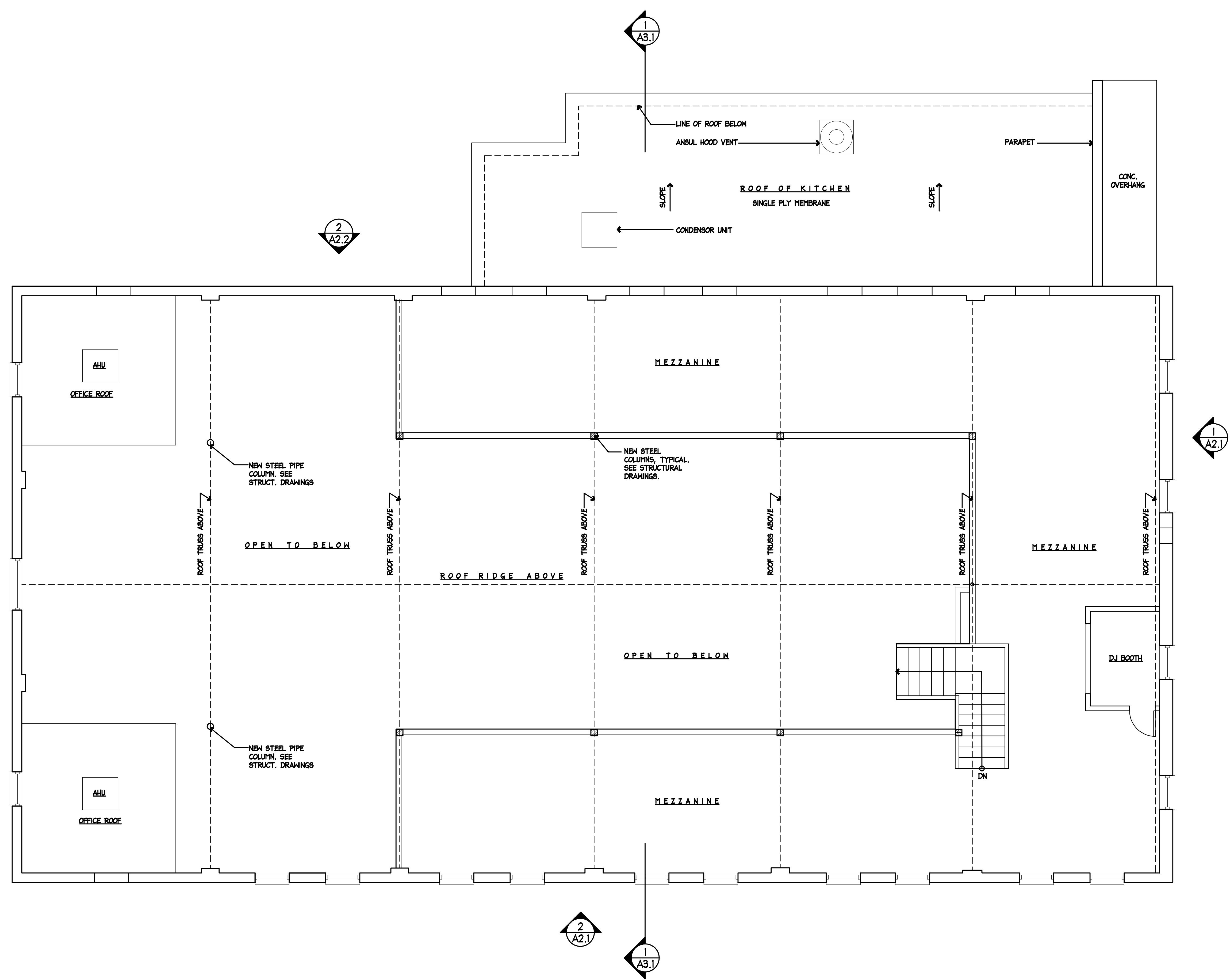
**STIRLING & WILBUR**  
ENGINEERING GROUP

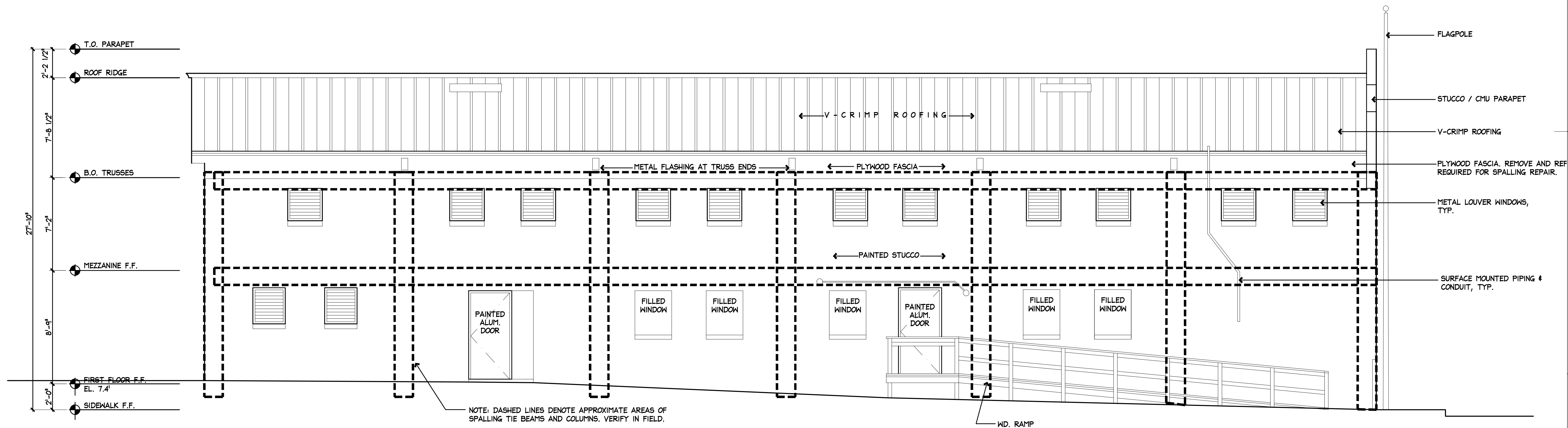
**EW**  
1805 SOUTH TAMPAWITTA, SAN ANTONIO, TX 78201  
PHONE (841) 828-1552 FAX (841) 828-1553  
email: cad@stirlingwilbur.com  
Copyright © 2011 Stirling & Wilbur Engineering Group  
030421

410 Angela Street  
Key West, Florida 33040  
Telephone (305) 296-1347  
Facsimile (305) 296-2727  
Florida License AAC002022

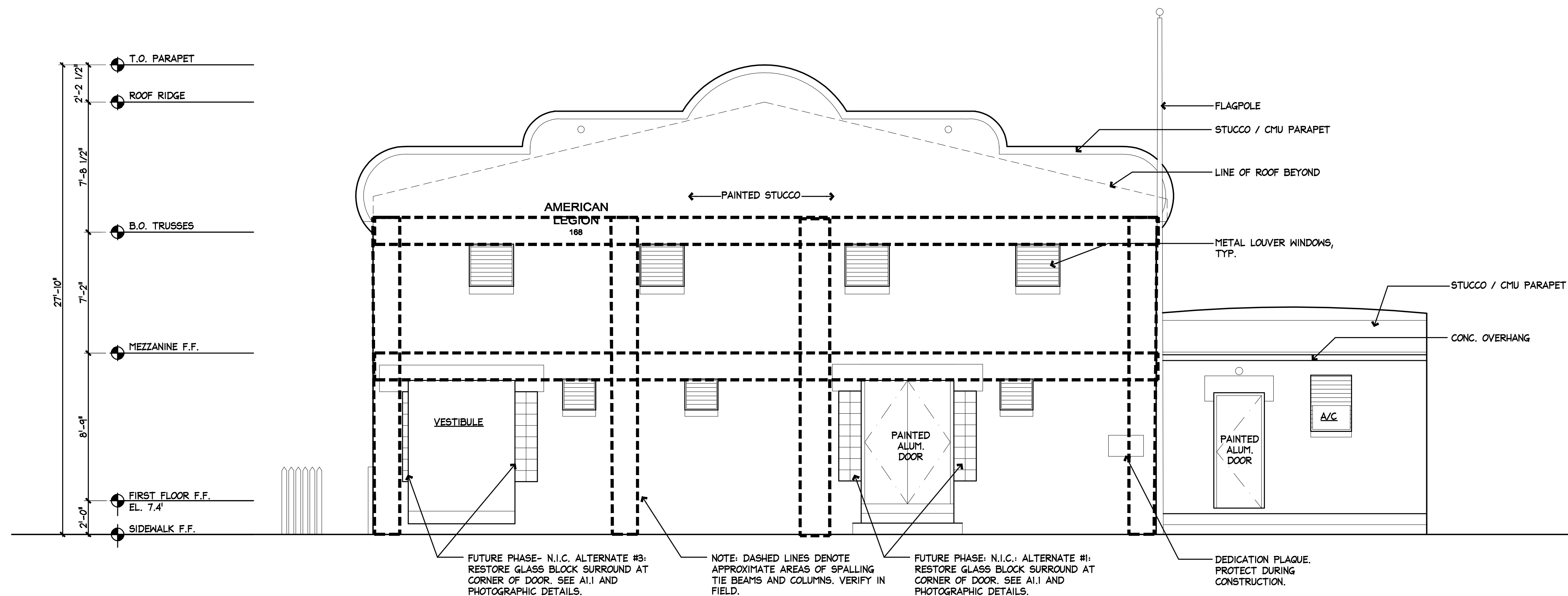
*Bender & Associates*  
**ARCHITECTS**  
p.a.

Project No: 1124  
FIRST FLOOR PLAN  
Date: 8/12/13





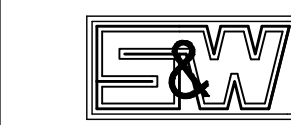
2 NORTH (SIDE) EXTERIOR ELEVATION  
A2.1 SCALE: 1/4"=1'-0"



1 WEST (FRONT) EXTERIOR ELEVATION  
A2.1 SCALE: 1/4"=1'-0"

AMERICAN LEGION POST 168  
803 EMMA STREET  
KEY WEST, FLORIDA  
STABILIZATION DRAWINGS

STIRLING & WILBUR  
ENGINEERING GROUP



788 SOUTH TAMPA TRL, SANFORD, FL 32711  
PHONE (841) 828-1552 FAX (841) 828-1553  
email: ced@stirlingwilbur.com  
Copyright © 2011 Stirling & Wilbur Engineering Group  
03/01

410 Angela Street  
Key West, Florida 33040  
Telephone (305) 296-1347  
Facsimile (305) 296-2727  
Florida License AAC002022

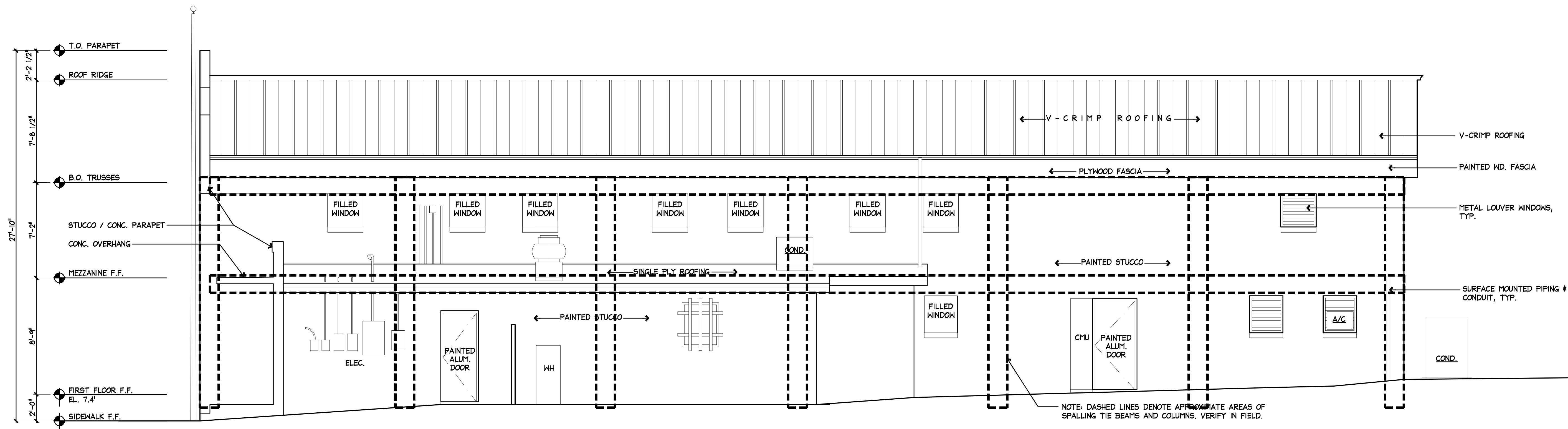
Bender & Associates  
ARCHITECTS  
p.a.

Project No: 1124  
EXISTING EXTERIOR  
ELEVATIONS

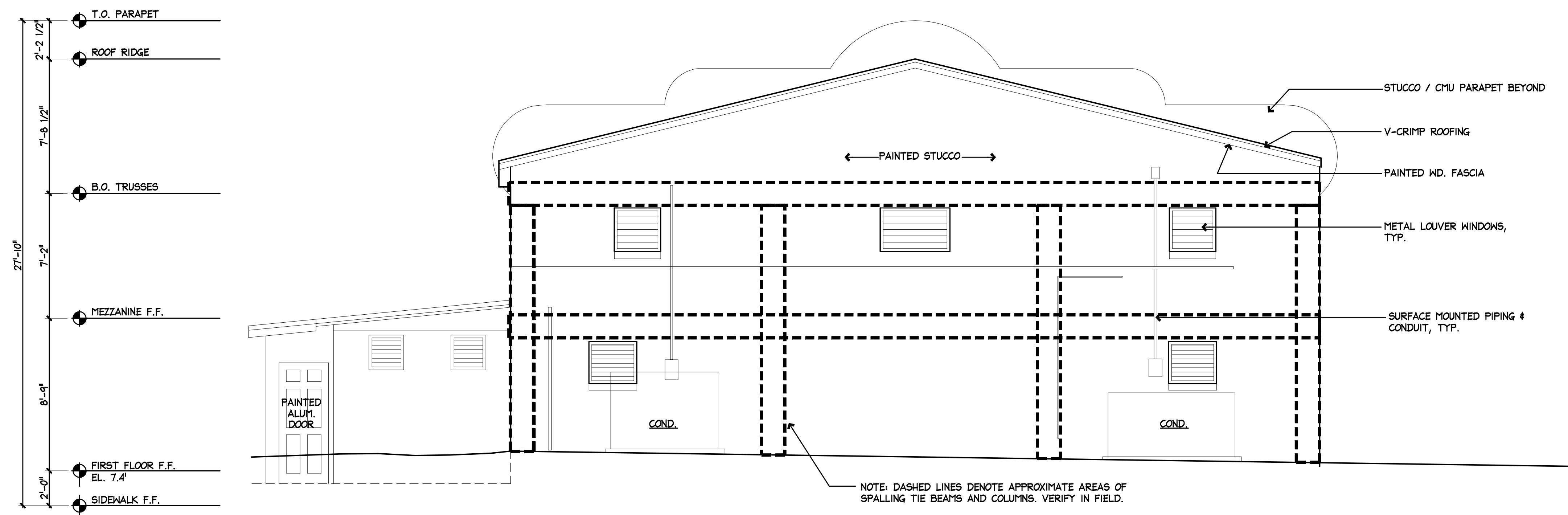
Date: 8/12/13

A2.1



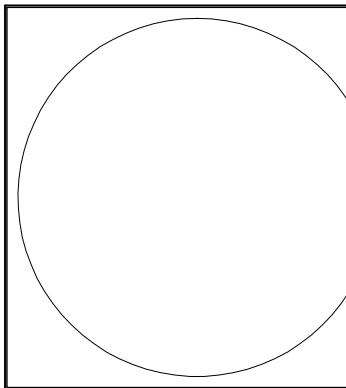


2 SOUTH (SIDE) EXTERIOR ELEVATION  
A2.2 SCALE: 1/4"=1'-0"



1 EAST (REAR) EXTERIOR ELEVATION  
A2.2 SCALE: 1/4"=1'-0"

AMERICAN LEGION POST 168  
803 EMMA STREET  
KEY WEST, FLORIDA  
STABILIZATION DRAWINGS



STIRLING & WILBUR  
ENGINEERING GROUP

1705 SOUTH TAMPA AVENUE, SUITE 201, TAMPA, FL 33601  
PHONE (813) 828-1552 FAX (813) 828-1553  
email: csw@stirlingwilbur.com  
Copyright © 2011 Stirling & Wilbur Engineering Group  
03/01

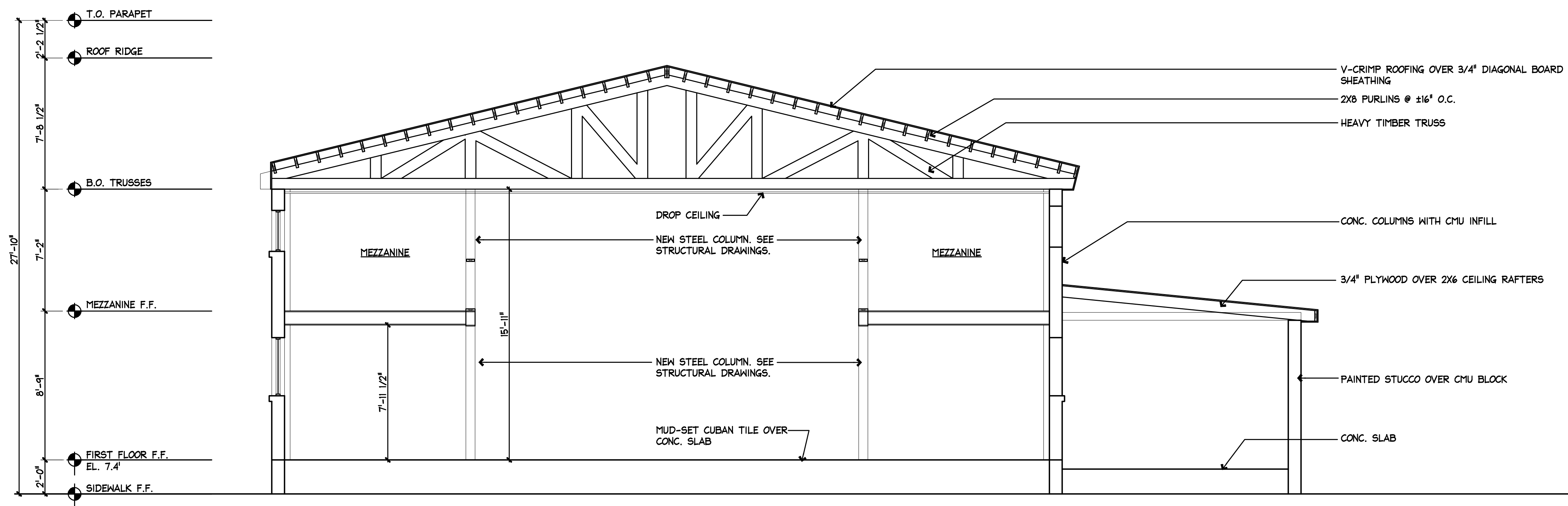
410 Angela Street  
Key West, Florida 33040  
Telephone (305) 296-1347  
Facsimile (305) 296-2727  
Florida License AAC002022

Bender & Associates  
ARCHITECTS  
p.a.

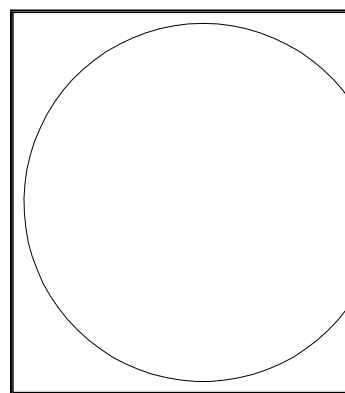
Project No: 1124  
EXISTING EXTERIOR  
ELEVATIONS  
Date: 8/12/13

A2.2

5 OF 8



AMERICAN LEGION POST 168  
803 EMMA STREET  
KEY WEST, FLORIDA  
STABILIZATION DRAWINGS



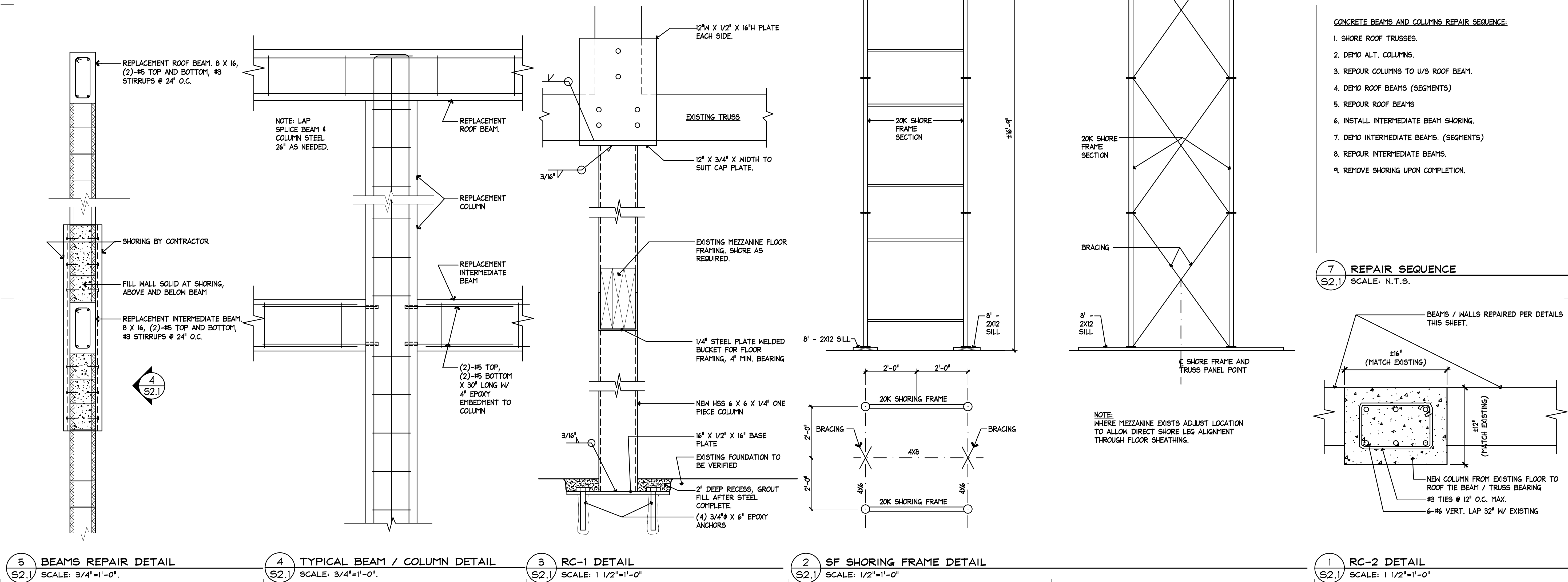
STIRLING & WILBUR  
ENGINEERING GROUP  
700 SOUTH TAMPA TOWN, SAN ANTONIO, TX 78201  
PHONE (841) 528-1552 FAX (841) 528-1553  
email: [cad@stirlingwilbur.com](mailto:cad@stirlingwilbur.com)  
Copyright © 2011 Stirling & Wilbur Engineering Group  
20402

410 Angela Street  
Key West, Florida 33040  
Telephone (305) 296-1347  
Facsimile (305) 296-2727  
Florida License AAC002022

Bender & Associates  
ARCHITECTS  
p.a.

Project No: 1124  
SECTIONS  
Date: 8/12/13





**CONCRETE BEAMS AND COLUMNS REPAIR SEQUENCE:**

1. SHORE ROOF TRUSSES.
2. DEMO ALT. COLUMNS.
3. REPOUR COLUMNS TO U/S ROOF BEAM.
4. DEMO ROOF BEAMS (SEGMENTS)
5. REPOUR ROOF BEAMS
6. INSTALL INTERMEDIATE BEAM SHORING.
7. DEMO INTERMEDIATE BEAMS. (SEGMENTS)
8. REPOUR INTERMEDIATE BEAMS.
9. REMOVE SHORING UPON COMPLETION.

**7 REPAIR SEQUENCE**  
S2.1 SCALE: N.T.S.

BEAMS / WALLS REPAIRED PER DETAILS THIS SHEET.

±16" (MATCH EXISTING)

±12" (MATCH EXISTING)

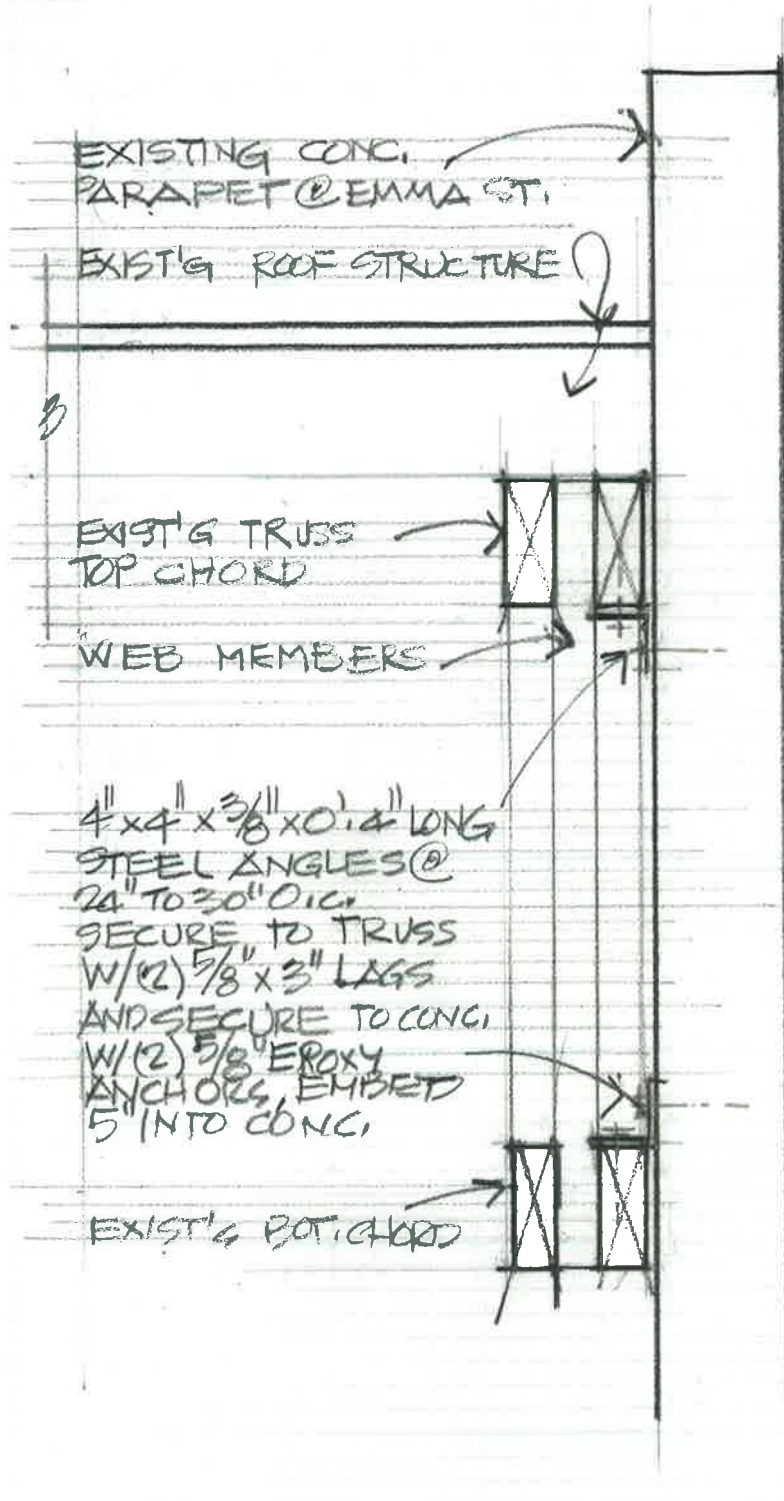
NEW COLUMN FROM EXISTING FLOOR TO ROOF TIE BEAM / TRUSS BEARING

#3 TIES @ 12" O.C. MAX.

6-#6 VERT. LAP 32" W/ EXISTING

**NOTE:** WHERE MEZZANINE EXISTS ADJUST LOCATION TO ALLOW DIRECT SHORE LEG ALIGNMENT THROUGH FLOOR SHEATHING.





APPENDUM #1

AMERICAN LEGION POST 168 803 EMMA ST. KEY WEST, FLORIDA STABILIZATION	
410 Angela Street Key West, Florida 33040 Telephone (305) 296-1347 Facsimile (305) 296-2727 Florida License AAC002022	
Bender & Associates ARCHITECTS	p.a.
Project No: 1124	
Date: 9.18.13	
1 OF 1	

# Noticing



# Public Meeting Notice

The Historic Architectural Review Commission will hold a public hearing at 5:30 p.m., September 24, 2013 at Old City Hall, 510 Greene Street, Key West, Florida. The purpose of the hearing will be to consider a request for:

## STRUCTURAL STABILIZATION AND REPAIRS

### FOR- #803 EMMA STREET

**Applicant- Bender & Associates**

**Application # H13-01-1235**

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 3140 Flagler Avenue, call 305-809-3973 or visit our website at [www.keywestcity.com](http://www.keywestcity.com).

**THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION**

# **Property Appraiser Information**

**Scott P. Russell, CFA**  
**Property Appraiser**  
**Monroe County, Florida**

Key West (305) 292-3420  
Marathon (305) 289-2550  
Plantation Key (305) 852-7130

**Property Record Card -**  
**Maps are now launching the new map application version.**

Website tested on IE8,  
IE9, & Firefox.  
Requires Adobe Flash  
10.3 or higher

**Alternate Key: 1015032 Parcel ID: 00014650-000000**

**Ownership Details**

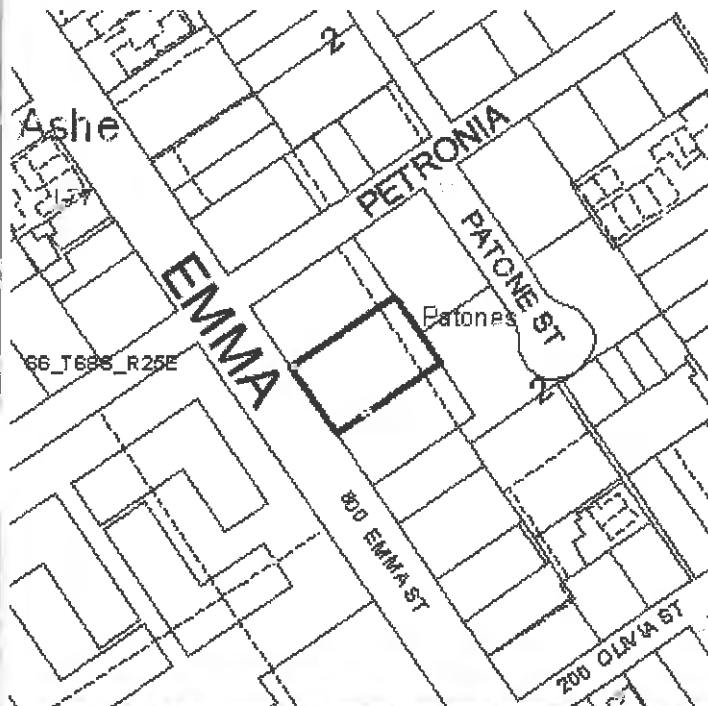
**Mailing Address:**

TRUSTEES AMERICAN LEGION NBR 168  
P O BOX 903  
KEY WEST, FL 33040

**Property Details**

PC Code: 77 - CLUBS, LODGES (PC/LIST)  
Millage Group: 11KW  
Affordable Housing: No  
Section-Township-Range: 06-68-25  
Property Location: 803 EMMA ST KEY WEST  
Legal Description: KW PT LOTS1-5 SQR2 TR3 G52-100-101 G66-440-441

Click Map Image to open interactive viewer



### Exemptions

Exemption	Amount
12 - NON-PROFIT	966,442.00

### Land Details

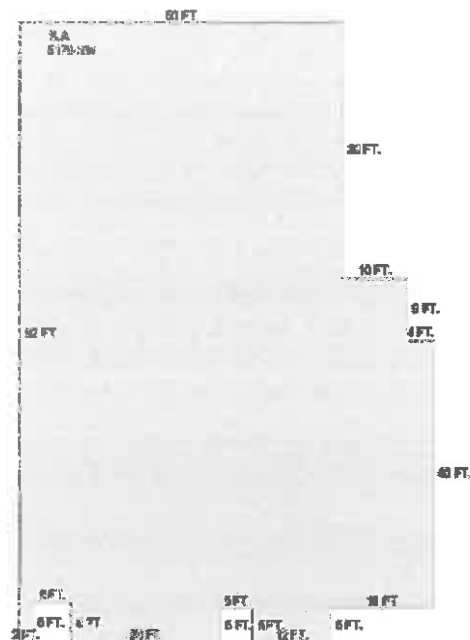
Land Use Code	Frontage	Depth	Land Area
100E - COMMERCIAL EXEMPT	65	100	6,500.00 SF

Number of Buildings: 1  
Number of Commercial Buildings: 1  
Total Living Area: 5179  
Year Built: 1943

Building Type	Condition A	Quality Grade 400
Effective Age 18	Perimeter 334	Depreciation % 23
Year Built 1943	Special Arch 0	Grnd Floor Area 5,179
Functional Obs 0	Economic Obs 0	

Roof Type	Roof Cover	Foundation
Heat 1	Heat 2	Bedrooms 0
Heat Src 1	Heat Src 2	

2 Fix Bath	0	Vacuum	0
3 Fix Bath	2	Garbage Disposal	0
4 Fix Bath	0	Compactor	0
5 Fix Bath	0	Security	0
6 Fix Bath	0	Intercom	0
7 Fix Bath	0	Fireplaces	0
Extra Fix	0	Dishwasher	0



Nbr	Type	Ext Wall	# Stories	Year Built	Attic A/C	Basement %	Finished Basement %	Area
1	FLA		1	1942				5,179

## Interior Finish:

Section Nbr	Interior Finish Nbr	Type	Area %	Sprinkler	A/C
	2642	CLUBS/LDG/HALLS-D-	100	N	N

## Exterior Wall:

Interior Finish Nbr	Type	Area %
695	C.B.S.	100

## Appraiser Notes

EXEMPT FOR 1978 82585 QG=050

## Building Permits

Bldg	Number	Date Issued	Date Completed	Amount	Description	Notes
	B943764	11/01/1994	12/01/1995	1,000	Commercial	PAINT I/S, NEW FIXTURES
	B940676	02/01/1994	12/01/1995	15,000	Commercial	REPAIR EXT CONCRETE
	B940472	02/01/1994	12/01/1995	15,000	Commercial	MAJOR CONCRETE REPAIR
	9604339	11/01/1996	07/01/1997	11,000	Commercial	ROOF
	9604428	11/01/1996	07/01/1997	36,000	Commercial	PLUMBING
	9604428	11/01/1996	07/01/1997	1	Commercial	REPAIR/REMODELING
	9700401	02/01/1997	07/01/1997	1,800	Commercial	ELECTRICAL
	06-0186	01/24/2006	07/24/2006	500	Commercial	HOOK APPLIANCES WITH PROPANE

## Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2013	545,486	0	420,956	966,442	966,442	966,442	0
2012	545,486	0	420,956	966,442	966,442	966,442	0
2011	573,823	0	561,275	1,135,098	1,135,098	1,135,098	0
2010	573,823	0	617,500	1,191,323	1,191,323	1,191,323	0
2009	602,160	0	731,250	1,333,410	1,333,410	1,333,410	0
2008	602,160	0	747,500	1,349,660	1,349,660	1,349,660	0
2007	389,714	0	747,500	1,137,214	1,137,214	1,137,214	0
2006	398,883	0	552,500	951,383	951,383	951,383	0
2005	398,883	0	455,000	853,883	853,883	853,883	0
2004	403,464	0	442,000	845,464	845,464	845,464	0
2003	403,464	0	156,000	559,464	559,464	559,464	0
2002	403,464	0	104,000	507,464	507,464	507,464	0
2001	403,464	0	97,500	500,964	500,964	500,964	0



2000	403,464	0	81,250	484,714	484,714	484,714	0
1999	403,464	0	81,250	484,714	484,714	484,714	0
1998	268,976	0	81,250	350,226	350,226	350,226	0
1997	170,294	0	68,250	238,544	238,544	238,544	0
1996	154,812	0	68,250	223,062	223,062	223,062	0
1995	154,812	0	68,250	223,062	223,062	223,062	0
1994	154,812	0	68,250	223,062	223,062	223,062	0
1993	154,812	0	68,250	223,062	223,062	223,062	0
1992	154,812	0	68,250	223,062	223,062	223,062	0
1991	154,812	0	68,250	223,062	223,062	223,062	0
1990	125,041	0	55,250	180,291	180,291	180,291	0
1989	125,041	0	53,625	178,666	178,666	178,666	0
1988	111,704	0	42,250	153,954	153,954	153,954	0
1987	109,412	0	21,125	130,537	130,537	0	130,537
1986	109,883	0	19,500	129,383	129,383	0	129,383
1985	107,150	0	20,085	127,235	127,235	0	127,235
1984	104,958	0	20,085	125,043	125,043	0	125,043
1983	306,375	0	20,085	326,460	326,460	303,607	22,853
1982	248,517	0	15,665	264,182	264,182	245,689	18,493

## Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

There are no sales to display for this parcel.

This page has been visited 133,734 times.

Monroe County Property Appraiser  
 Scott P. Russell, CFA  
 P.O. Box 1176 Key West, FL 33041-1176