



Historic Architectural Review Commission Staff Report for Item 8

To: Chairman Haven Burkee and Historic Architectural Review
Commission Members

From: Daniela Salume, MFA
Historic Preservation Manager

Meeting Date: November 18, 2025

Applicant: Justin Henika

Application Number: C2025-0093

Address: 625 William Street

Description of Work:

Renovations to contributing structure. Reconstruct rear shed roof addition with gable roof. New pool house, new pool, new pool deck, and site improvements. Demolition of non-historic rear cottage. Demolition of existing walkways and concrete stairs.

Site Facts:

The building under review is a historic contributing structure within the historic district, constructed circa 1892. The site consists of the primary one-story residence, a rear shed-roof addition, a one-story CMU addition, and concrete walkways. The rear shed-roof addition is historic but not original to the structure, while the CMU addition first appears in the 1981 aerial photograph and is considered non-historic. Currently the house sits on piers and is located within an AE-6 flood zone.



Photo taken by the Property Appraiser's office circa 1965. Monroe County Library.



1011916 625 WILLIAM ST 08/19/22

Photo taken by the Property Appraiser's office 08/19/22.



Current photo of property under review.



Current photo of property under review.



1968 aerial photo, rear shed roof addition circled in red.



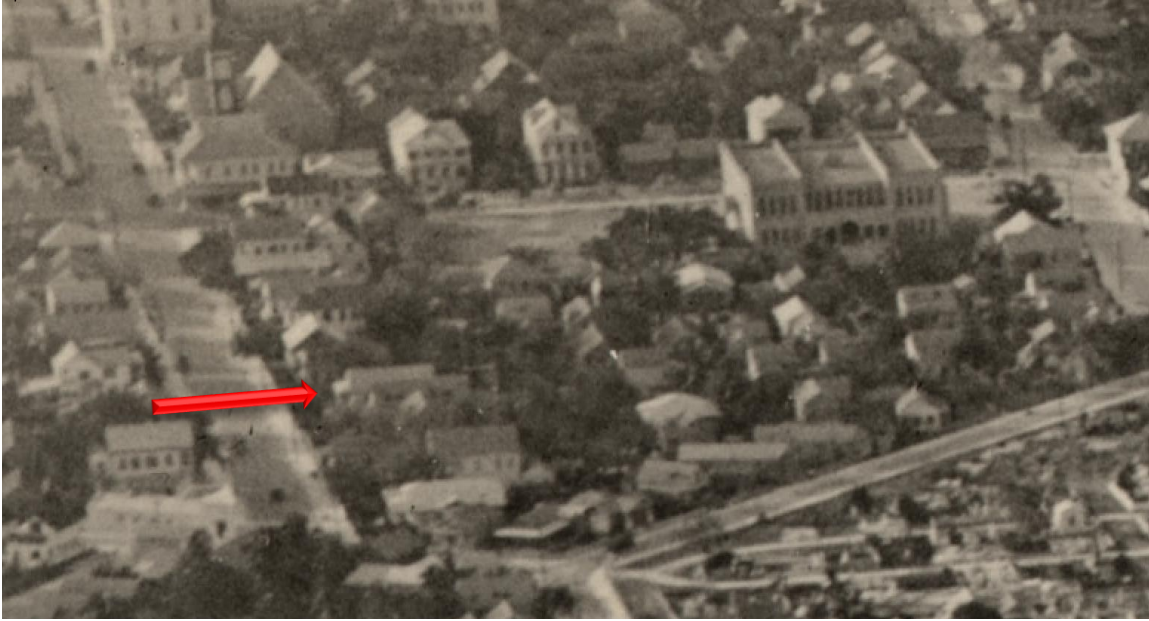
1972 aerial photo.



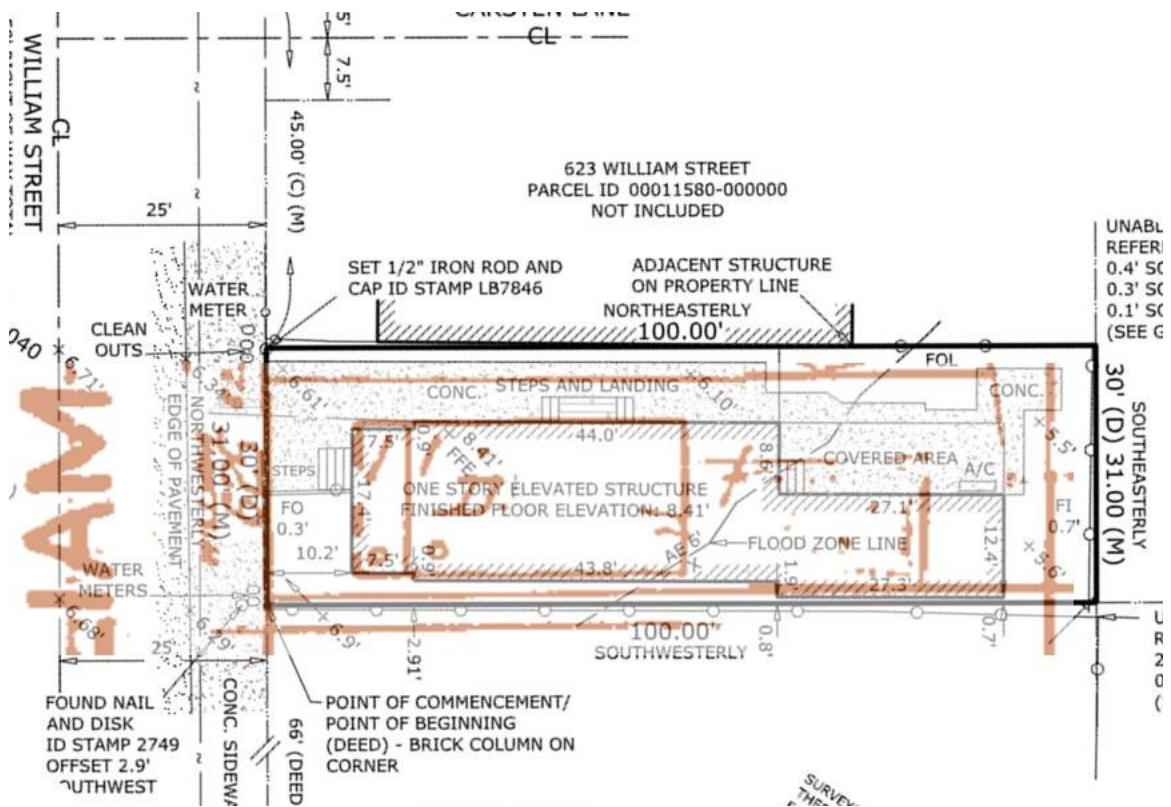
1975 aerial photo.



1981 aerial photo, accessory structure circled in red.



1930s aerial photo.



Current survey and 1962 Sanborn Map.

Guidelines Cited on Review:

- Guidelines for Building Exteriors-wood (page 24), specifically guidelines 1 and 2.
- Guidelines for Roofing (page 26-26a), specifically guidelines 1, 2, 3, 4 (first sentence), and 6.
- Guidelines for Windows (pages 29a-29k), specifically guidelines A (3, 5, 6, 7, 8, 9) and B (1 and 3).
- Guidelines for Entrances, Porches, Doors, and exterior staircases (page 32), specifically guidelines 1, 2, 3, 4, 5, 7, 9, 12, 15 and 16.
- Guidelines for Foundations & Lattice Infill (page 34), specifically guidelines 1, 2, 3, and 4.
- Guidelines for Additions (pages 37a-37k), specifically guidelines 1, 2, 3, 4, 5 (first sentence), 6 (first sentence), 11, 12, 13, 14, 17, 19, 21, 22, 23, 24, 26, 27, 28, 29, 30, 32, and 33.
- Guidelines for New Construction (pages 38a-38q), specifically guidelines 1, 2, 6, 7 (last sentence), 8, 11, 12, 13 (first sentence), 14, 18, 22, 23, 24, and 25.
- Guidelines for Decks, Patios, Hot Tubs, Spas, Pools, and Related Equipment (page 39a), specifically first paragraph and guidelines 1, 2, 3, and 4.
- Guidelines for Accessory Structures (pages 40-41), specifically guidelines 1, 3, 4, 9, 10 (first sentence), and 11.
- Guidelines for Fences & Walls (pages 41-42), specifically guidelines 1, 2, 3, 4, 5, 6, 8, 9, and 10.
- Guidelines for HVAC (pages 42-43), specifically guidelines 1 (first sentence), 4, 5, 6, and 7.
- Guidelines for Parking (page 43), specifically guidelines 2, 3, and 6.

Ordinance Cited on Review:

- Section 102-217 (4), demolition for contributing and historic structures of the Land Development Regulations.
- Section 102-218 - Criteria for Demolition.

Staff Analysis:

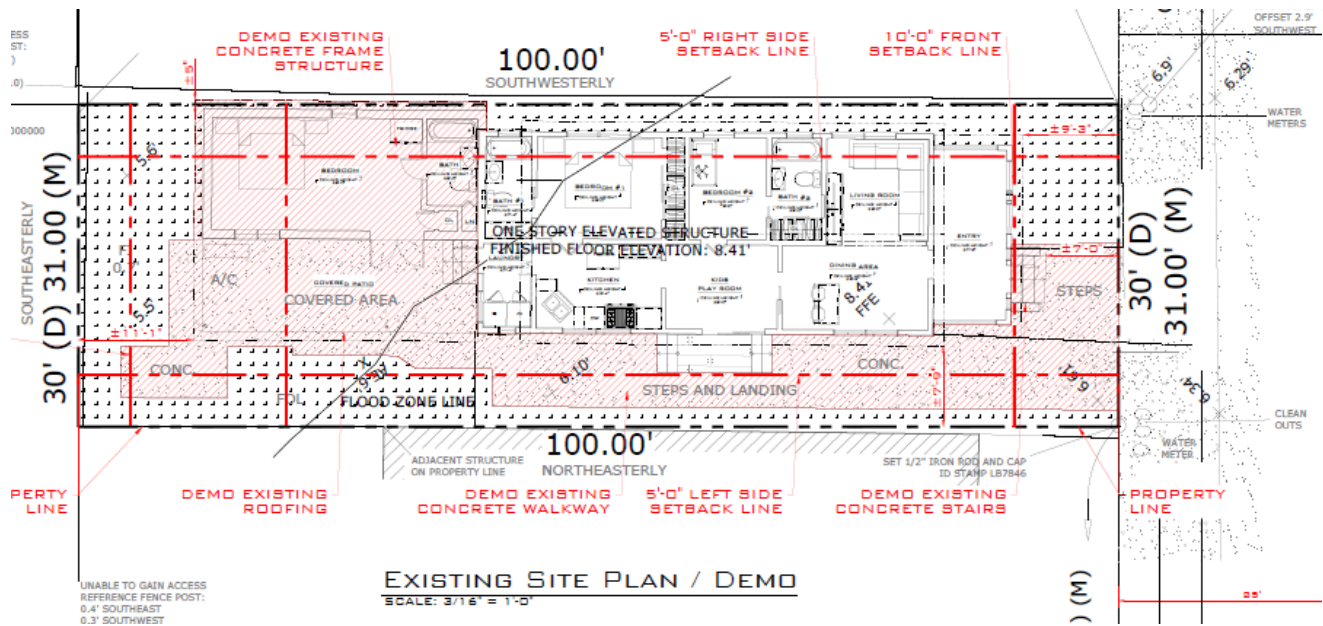
A Certificate of Appropriateness is currently under review for renovations to a contributing structure. The proposed plans include the construction of a pool house, pool, and pool deck, with all pool equipment located behind the pool feature wall at the rear of the property.

The front elevation of the main house will be restored to a traditional open porch configuration with a new wood-frame entry door, 2 over 1 wood windows, 6x6 wood posts, wood railings, and a porch roof finished with metal shingles. The rear elevation will include an aluminum-frame sliding door opening to the pool area, and the side elevations will feature wood siding with 2 over 1 aluminum windows. The left elevation will include a small entry porch with a hip roof attached to the main roof which will be lower than the existing ridge line. The height of the existing contributing structure is 16'1".

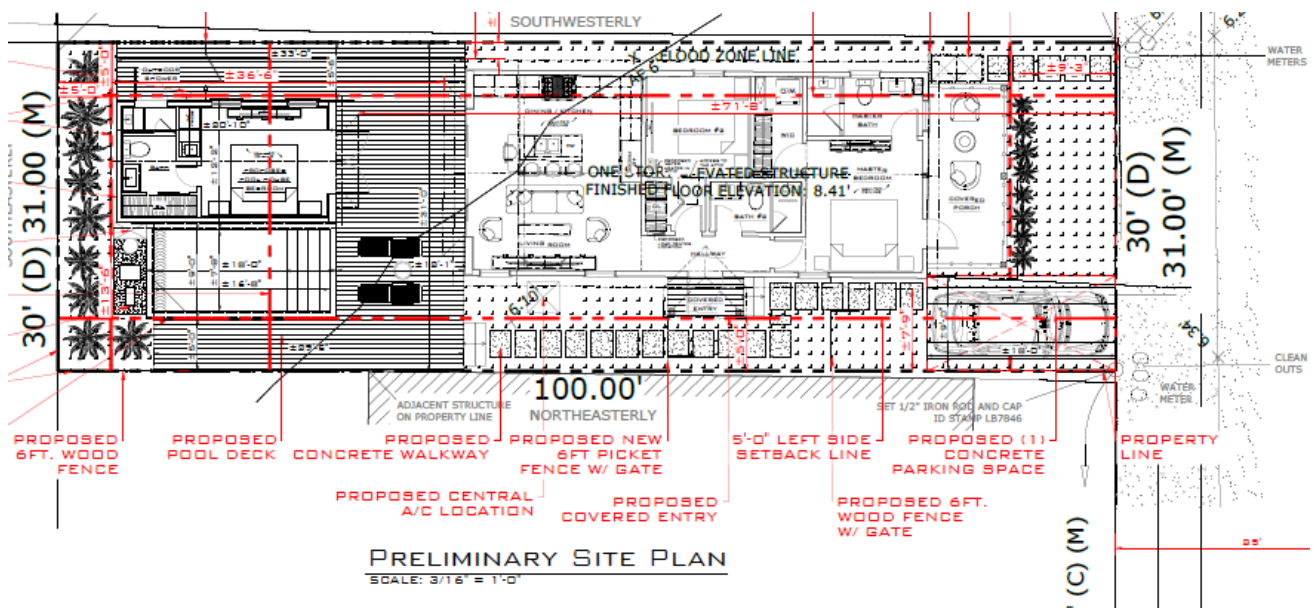
The existing rear addition, currently featuring a shed roof, will be reconstructed with a gable roof finished in metal shingles with a height of 15'6". The site plan includes one concrete parking space, a 4-foot wood picket fence along the front property line, and 6-foot wood picket fencing along the sides. The trash will be located on the right side of the porch and there will be concrete pavers.

The proposed pool house will have a 5V-crimp gable roof, cementitious siding, aluminum doors and windows, and fixed aluminum shutters on the left elevation with a total height of 15'1". An outdoor shower with a 6-foot privacy enclosure and gate is also proposed, along with vertical lattice infill between foundation piers.

As for demolition, the existing concrete walkways and front steps will be removed, along with the non-historic rear concrete cottage structure seen on the 1981 aerial photo. The shed roof on the rear addition of the main house will also be demolished to allow for the construction of a new gable roof. This addition is historic but not original to the main structure.



Existing Site Plan/Demo Plan.



Proposed Site Plan.



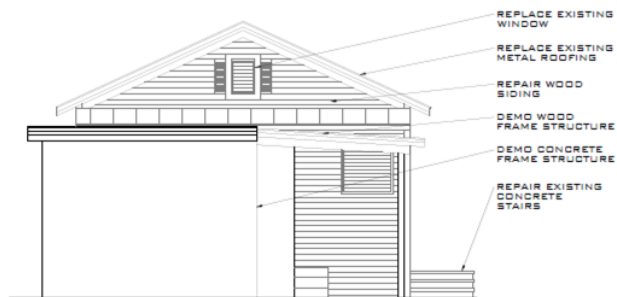
EXISTING FRONT ELEVATION
SCALE: 3/8" = 1'-0"

Existing Front Elevation.



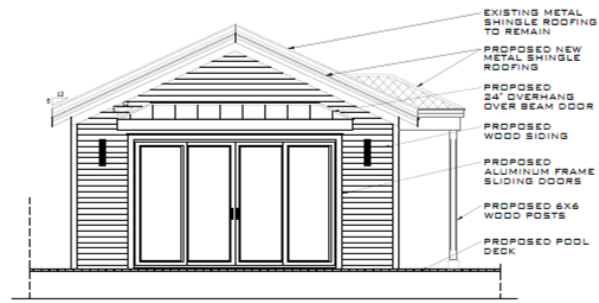
PROPOSED FRONT ELEVATION
SCALE: 3/8" = 1'-0"

Proposed Front Elevation.



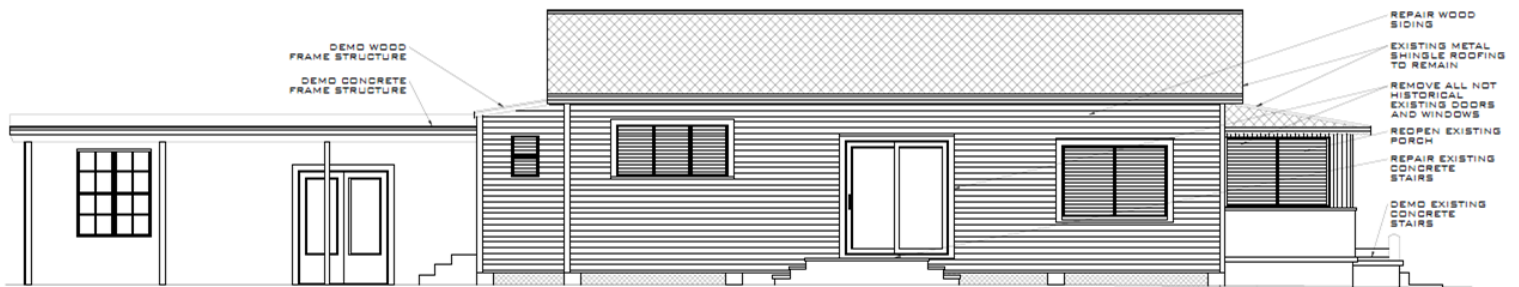
EXISTING REAR ELEVATION
SCALE: 3/8" = 1'-0"

Existing Rear Elevation.



PROPOSED REAR ELEVATION
SCALE: 3/8" = 1'-0"

Proposed Rear Elevation.



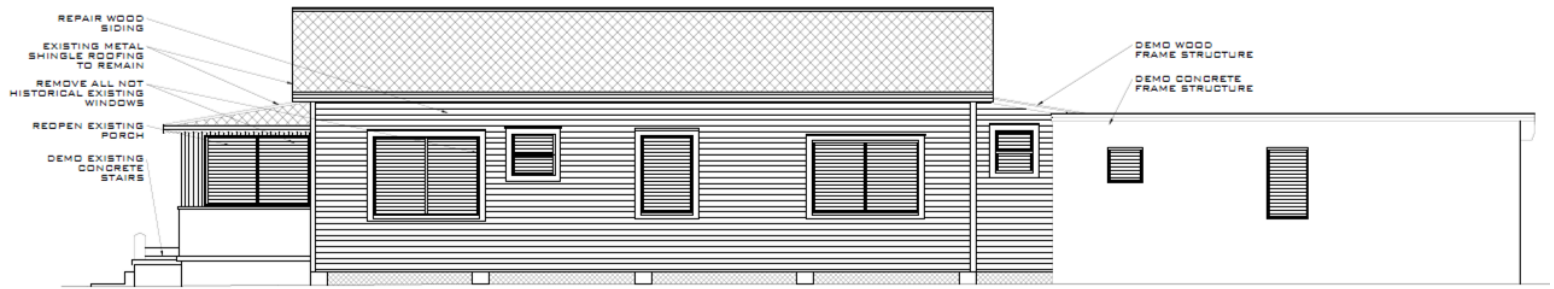
EXISTING LEFT ELEVATION
SCALE: 3/8" = 1'-0"

Existing Left Elevation.



PROPOSED LEFT ELEVATION
SCALE: 3/8" = 1'-0"

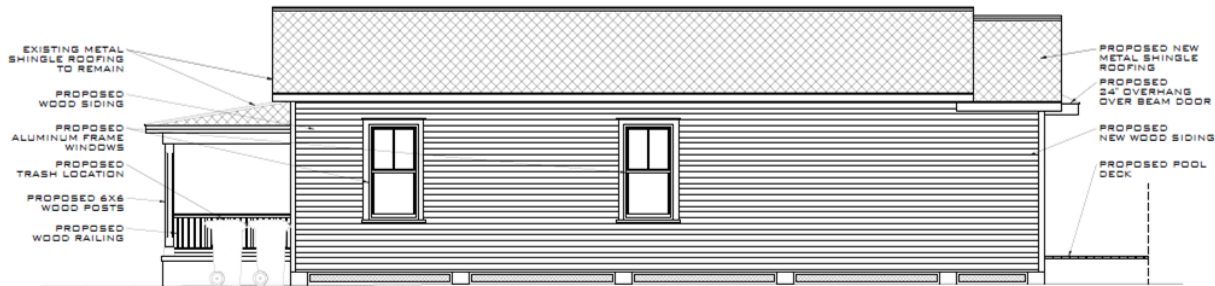
Proposed Left Elevation.



EXISTING RIGHT ELEVATION

SCALE: 3/8" = 1'-0"

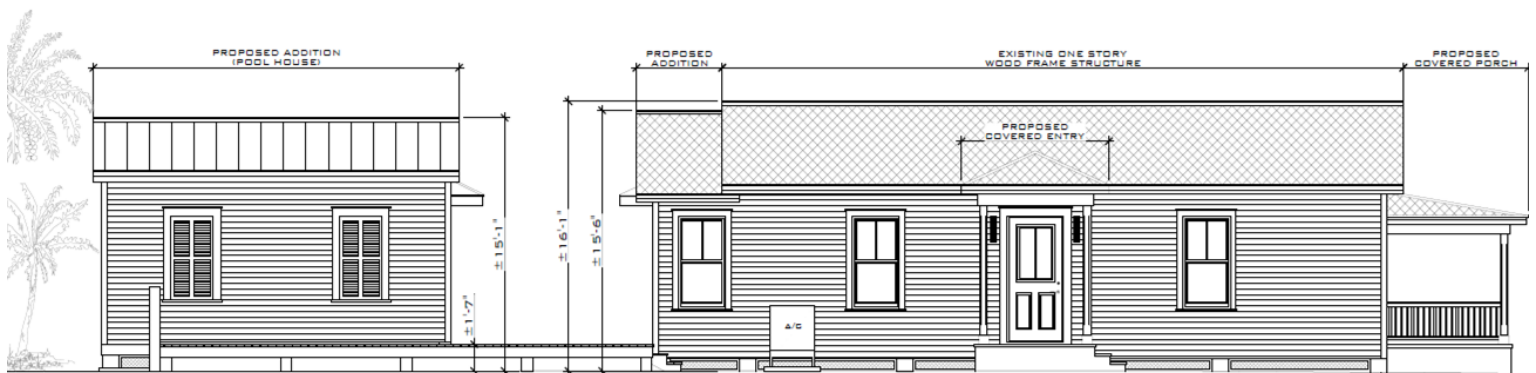
Existing Right Elevation.



PROPOSED RIGHT ELEVATION

SCALE: 3/8" = 1'-0"

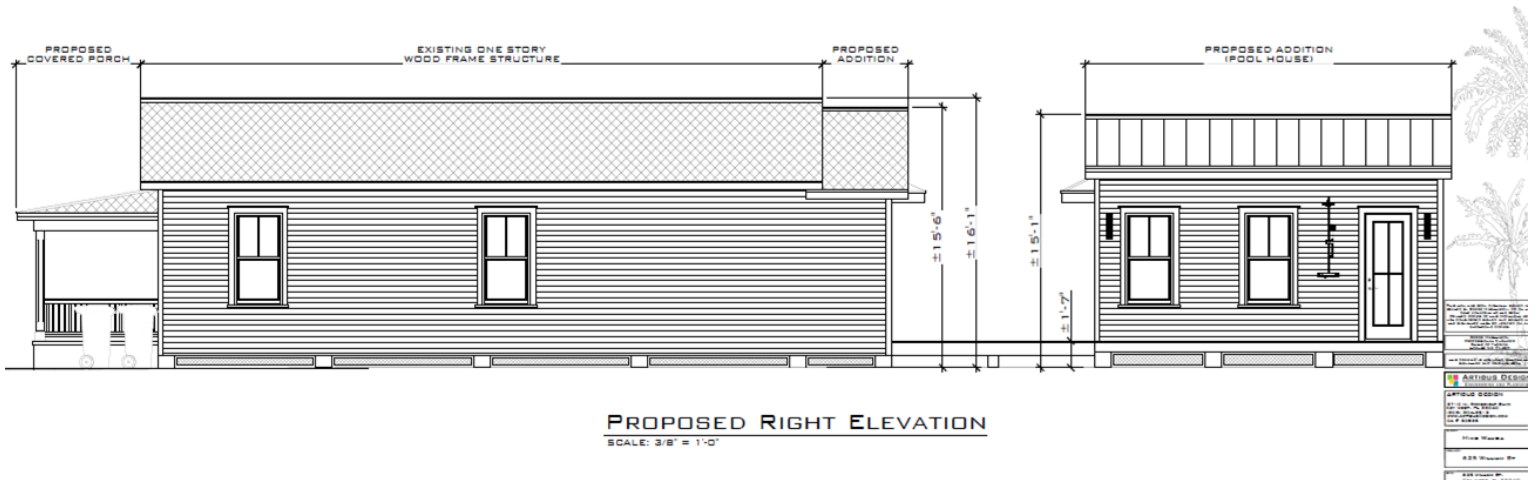
Proposed Right Elevation.



PROPOSED LEFT ELEVATION

SCALE: 3/8" = 1'-0"

Proposed Left Elevation with pool house.



Proposed Right Elevation with pool house.

Consistency with Cited Guidelines:

The proposed work is generally consistent with the HARC Guidelines for the renovation of contributing structures. The project restores the main house's traditional front porch and brings back important historic details like wood posts, railings, and windows. The rear addition and pool house use compatible roof styles, materials, and proportions that fit the property and surrounding context. However, the new covered entry on the left elevation extends into the main roof plane of the contributing structure. **Guideline 17 of Additions** states that roof forms of contributing buildings cannot be altered if that portion of the roof is visible from any street, and **Guideline 4 of Roofing** further specifies that a roof's form, pitch, design, or materials must not be altered unless restoring it to a verifiable and historically appropriate form. Staff recommends redesigning this entry so the main roofline remains intact. Site improvements, such as the wood picket fencing and lattice infill, are appropriate and consistent with the guidelines. Overall, the project improves the historic character of the property while integrating new elements in a sensitive way.

Criteria for Demolition:

It is staff's opinion that the request for this demolition shall be based on the demolition criteria of Chapter 102 Section 218 (a) of the LDR's. The criteria for demolition of historic structures state the following:

(a) The historic architectural review commission shall issue a certificate of appropriateness for an application for demolition:

(1) If the subject of the application is a contributing or historic building or structure, then it should not be demolished unless its condition is

irrevocably compromised by extreme deterioration, or it does not meet any of the criteria of section 102-125(1) through (9).

Certain elements under review, such as the rear addition with the shed roof, are historic. The addition of the entry porch on the left elevation will require demolition of a portion of the contributing roof. However, the one-story cottage is not historic and first appears in the 1981 aerial photograph. In addition, the enclosed porch is not original to the structure. None of these components exhibit significant deterioration.

The following is the criteria of section 102-125:

- 1 *Embodies no distinctive characteristics of a type, period, or method of construction of aesthetic or historic significance in the city and is not a significant and distinguishable building entity whose components may lack individual distinction.*

The existing rear cottage and shed roof addition lack distinctive stylistic or construction features that would make it architecturally significant. However, the addition of the entry porch would alter the contributing roof which is a character-defining feature of the main structure.

- 2 *Is not specifically associated with events that have made a significant contribution to local, state, or national history.*

It is staff understanding that no significant events have ever happened in the site relevant to local, state, or national history.

- 3 *Has no significant character, interest, or value as part of the development, heritage, or cultural characteristics of the city, state, or nation, and is not associated with the life of a person significant in the past.*

It is staff's understanding that the elements under review have no significant character and are not associated with the life of a significant person in the past.

- 4 *Is not the site of a historic event with a significant effect upon society.*

It is staff's understanding that the site is not associated with any significant event.

- 5 *Does not exemplify the cultural, political, economic, social, or historic heritage of the city.*

It is staff's understanding that the elements under review do not exemplify the cultural, political, economic, social or historic heritage of the city.

- 6 *Does not portray the environment in an era of history characterized by a distinctive architectural style.*

Staff believes that most of the elements proposed for demolition do not portray an era of history characterized by a distinctive architectural style except for the main roof where the entry porch is proposed.

- 7 *If a part of or related to a square, park, or other distinctive area, nevertheless should not be developed, or preserved according to a plan based on the area's historic, cultural, natural, or architectural motif.*

This is not the case.

- 8 *Does not have a unique location or singular physical characteristic which represents an established and familiar visual feature of its neighborhood or of the city, and does not exemplify the best remaining architectural type in a neighborhood; and*

The elements under review do not have a unique location or physical characteristics which represent an established and familiar visual feature of its neighborhood or of the city.

- 9 *Has not yielded, and is not likely to yield, information important in history.*

Staff believes that based on current documentation, the structure has not yielded, and is unlikely to yield, any historically significant information

Staff finds that the request for demolition does not meet the criteria for demolition of a contributing structure. However, the non-historic rear cottage, the shed roof addition, and non-original enclosed porch may be considered for demolition. If the proposed entry porch design proceeds as submitted, the project will require two readings before the HARC Commission, as it involves demolition of a contributing roof element. If the entry porch design is removed or redesigned so that it does not alter the contributing roof, the request will require only one reading and would meet the criteria for demolition. Staff will review submitted construction plans for demolition and design to ensure consistency with submitted drawings.

APPLICATION

HARC MAJOR PROJECTS CERTIFICATE OF APPROPRIATENESS



City of Key West

1300 White Street
Key West, Florida 33040

HARC COA #	REVISION #	INITIAL & DATE
FLOOD ZONE	ZONING DISTRICT	BLDG PERMIT #

A PRE-APPLICATION MEETING WITH HARC STAFF IS REQUIRED PRIOR TO SUBMITTAL

ADDRESS OF PROPOSED PROJECT:

625 William St, Key West, FL 33040

NAME ON DEED:

Michael Wajda

PHONE NUMBER N/A

OWNER'S MAILING ADDRESS:

8 Sylvan PL, Nutley, NJ 07110

EMAIL N/A

APPLICANT NAME:

Justin Henika

PHONE NUMBER 305-394-9404

APPLICANT'S ADDRESS:

3710 N Roosevelt Blvd

EMAIL justin@artibusdesign.com

APPLICANT'S SIGNATURE:

Justin Henika

DATE 10/15/2025

ANY PERSON THAT MAKES CHANGES TO AN APPROVED CERTIFICATE OF APPROPRIATENESS MUST SUBMIT A NEW APPLICATION.

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND-DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083. THE APPLICANT FURTHER HEREBY ACKNOWLEDGES THAT THE SCOPE OF WORK AS DESCRIBED IN THE APPLICATION SHALL BE THE SCOPE OF WORK THAT IS CONTEMPLATED BY THE APPLICANT AND THE CITY. THE APPLICANT FURTHER STIPULATES THAT SHOULD FURTHER ACTION BE TAKEN BY THE CITY FOR EXCEEDING THE SCOPE OF THE DESCRIPTION OF WORK, AS DESCRIBED HEREIN, AND IF THERE IS CONFLICTING INFORMATION BETWEEN THE DESCRIPTION OF WORK AND THE SUBMITTED PLANS, THE AFOREMENTIONED DESCRIPTION OF WORK SHALL BE CONTROLLING.

PROJECT INCLUDES: REPLACEMENT OF WINDOWS X RELOCATION OF A STRUCTURE _____ ELEVATION OF A STRUCTURE _____

PROJECT INVOLVES A CONTRIBUTING STRUCTURE: YES X NO _____ INVOLVES A HISTORIC STRUCTURE: YES X NO _____

PROJECT INVOLVES A STRUCTURE THAT IS INDIVIDUALLY LISTED ON THE NATIONAL REGISTER: YES _____ NO X _____

DETAILED PROJECT DESCRIPTION INCLUDING MATERIALS, HEIGHT, DIMENSIONS, SQUARE FOOTAGE, LOCATION, ETC.

GENERAL:

Remodel the existing single family residence. Remove non-historic rear cottage. Construct new pool, deck, and pool house.

MAIN BUILDING:

Re-open front porch that was enclosed after original construction. Remodel interior floor plan. Remove existing jalousie windows and resize/relocate windows with single hung windows meeting the historic character of the neighborhood. Reconstruct rear shed roof addition with gable roof.

DEMOLITION (PLEASE FILL OUT AND ATTACH DEMOLITION APPENDIX):

See attached

APPLICATIONS MUST BE SUBMITTED IN PERSON WITH HARD COPIES BY 3PM ON THE SCHEDULED DEADLINE
PLEASE SEND AN ELECTRONIC COPY OF ALL DOCUMENTS CITY_HARC@CITYOFKEYWEST-FL.GOV

ACCESSORY STRUCTURE(S):	
Remove non-historic rear cottage. Construct new pool, deck, and pool house.	
PAVERS:	FENCES:
	4ft wood picket fence front
	6ft wood picket fence sides and rear
DECKS:	PAINTING:
Composite deck (<30") in rear	White or HARC approved color
SITE (INCLUDING GRADING, FILL, TREES, ETC):	POOLS (INCLUDING EQUIPMENT):
No grading. No fill. Tree protection, as required.	Residential in-ground pool in rear
ACCESSORY EQUIPMENT (GAS, A/C, VENTS, ETC):	OTHER:
New AC and pool equipment	

OFFICIAL USE ONLY:	HARC COMMISSION REVIEW	EXPIRES ON:
MEETING DATE:	☐ APPROVED ☐ NOT APPROVED ☐ DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
MEETING DATE:	☐ APPROVED ☐ NOT APPROVED ☐ DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
MEETING DATE:	☐ APPROVED ☐ NOT APPROVED ☐ DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
REASONS OR CONDITIONS:		
STAFF REVIEW COMMENTS:		
FIRST READING FOR DEMO:	SECOND READING FOR DEMO:	
HARC STAFF SIGNATURE AND DATE:	HARC CHAIRPERSON SIGNATURE AND DATE:	

THIS APPLICATION MAY BE REVIEWED BY PLANNING DEPARTMENT STAFF.

HARC CERTIFICATE OF APPROPRIATENESS: DEMOLITION APPENDIX



City of Key West

1300 White Street
Key West, Florida 33040

HARC COA #	INITIAL & DATE
ZONING DISTRICT	BLDG PERMIT #

ADDRESS OF PROPOSED PROJECT:

625 William St, Key West, FL 33040

PROPERTY OWNER'S NAME:

Mike Wajda & James Nebelung

APPLICANT NAME:

Justin Henika, P.E. Artibus Design LLC

I hereby certify I am the owner of record and that the work shall conform to all applicable laws of this jurisdiction. By receiving a Certificate of Appropriateness, I realize that this project will require a Building Permit approval **PRIOR to proceeding with the work outlined above** and that a final inspection is required under this application. I also understand that **any changes to an approved Certificate of Appropriateness must be submitted for review.**


PROPERTY OWNER'S SIGNATURE

Michael Wajda 10/14/2025

DATE AND PRINT NAME

DETAILED PROJECT DESCRIPTION OF DEMOLITION

Demolition of enclosed front porch, to restore open front porch.

Demolition of existing rear addition (non-historic shed roof), to reconstruct with gable roof.

Demolition of existing non-historic rear cottage.

CRITERIA FOR DEMOLITION OF CONTRIBUTING OR HISTORIC STRUCTURES:

Before any Certificate of Appropriateness may be issued for a demolition request, the Historic Architectural Review Commission must find that the following requirements are met (please review and comment on each criterion that applies):

(1) If the subject of the application is a contributing or historic building or structure, then it should not be demolished unless its condition is irrevocably compromised by extreme deterioration or it does not meet any of the following criteria:

(a) The existing condition of the building or structure is irrevocably compromised by extreme deterioration.

N/A

(2) Or explain how the building or structure meets the criteria below:

(a) Embodies no distinctive characteristics of a type, period, or method of construction of aesthetic or historic significance in the city and is not a significant and distinguishable building entity whose components may lack individual distinction.

Front porch: Infilled after original construction, restore to open porch.

Rear addition: Shed roof addition located at rear of the house.

Rear cottage: Later addition located at rear of structure, construction type is inconsistent with original house.

Nothing in this application is intended to alter the authority of the Building Official to condemn for demolition dangerous buildings, as provided in Section 102-218 of the Land Development Regulations and Chapter 14 of the Code of Ordinances.

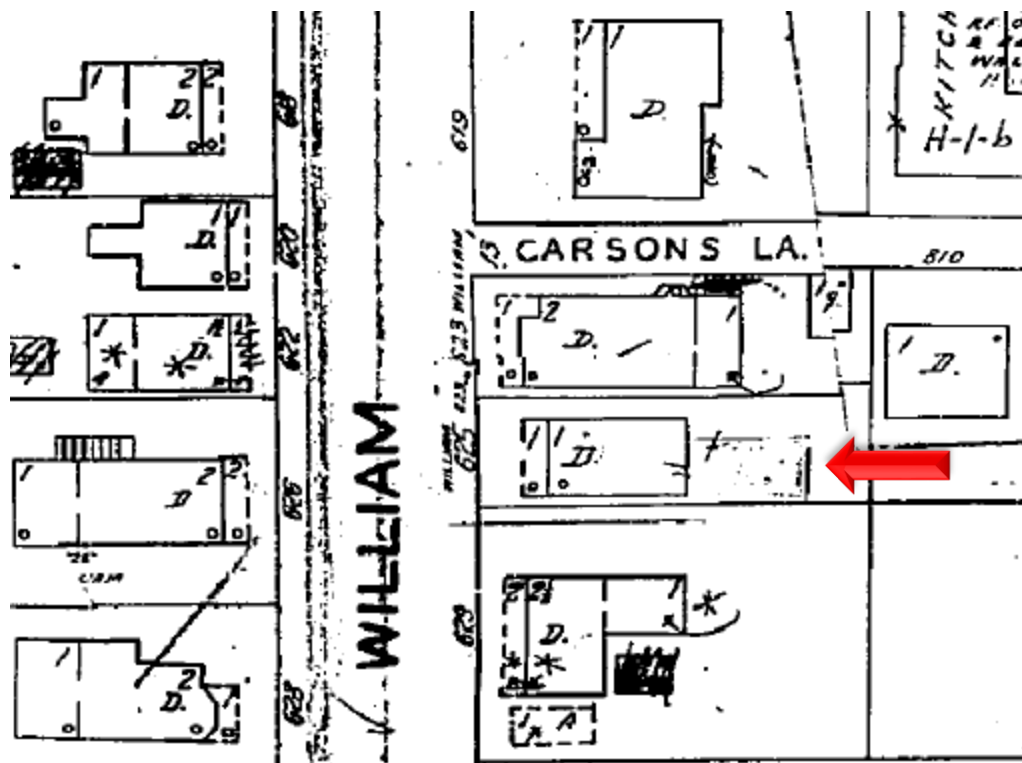
(b) Is not specifically associated with events that have made a significant contribution to local, state, or national history.
N/A
(c) Has no significant character, interest, or value as part of the development, heritage, or cultural characteristics of the city, state or nation, and is not associated with the life of a person significant in the past.
N/A
(d) Is not the site of a historic event with significant effect upon society.
N/A
(e) Does not exemplify the cultural, political, economic, social, or historic heritage of the city.
N/A
(f) Does not portray the environment in an era of history characterized by a distinctive architectural style.
N/A
(g) If a part of or related to a square, park, or other distinctive area, nevertheless should not be developed or preserved according to a plan based on the area's historic, cultural, natural, or architectural motif.
N/A
(h) Does not have a unique location or singular physical characteristic which represents an established and familiar visual feature of its neighborhood or of the city, and does not exemplify the best remaining architectural type in a neighborhood.
N/A

Nothing in this application is intended to alter the authority of the Building Official to condemn for demolition dangerous buildings, as provided in Section 102-218 of the Land Development Regulations and Chapter 14 of the Code of Ordinances.

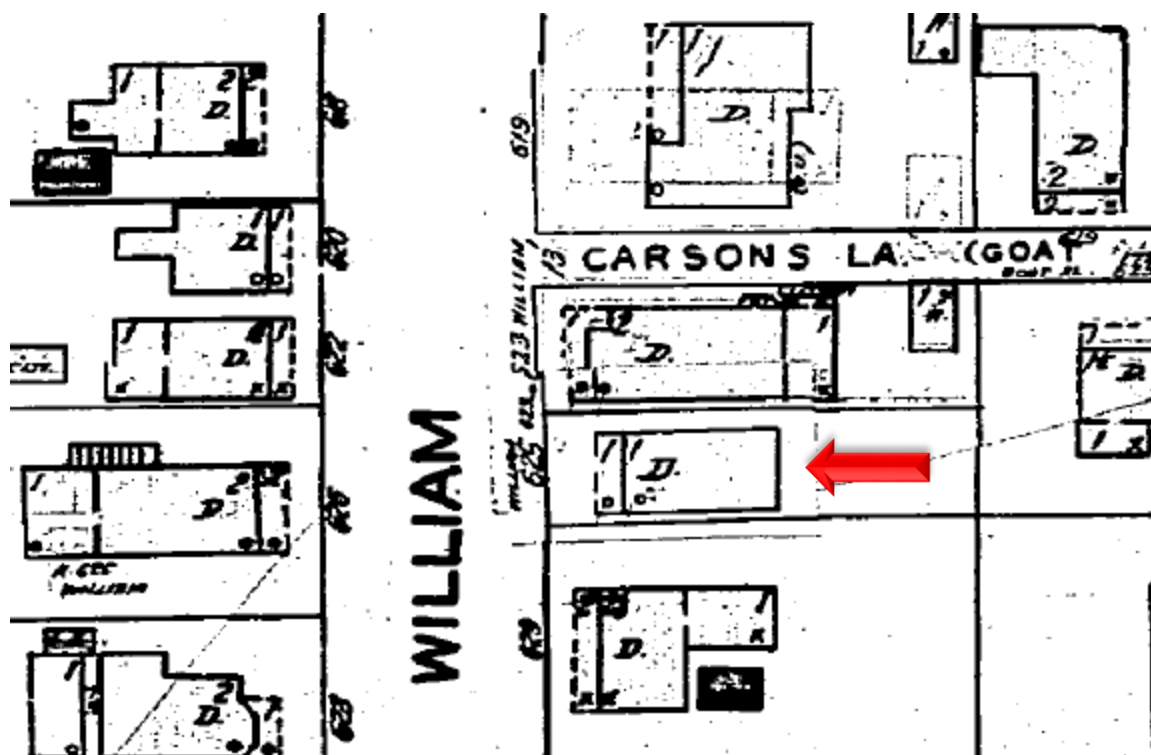
(i) Has not yielded, and is not likely to yield, information important in history,
N/A

CRITERIA FOR DEMOLITION OF NON-CONTRIBUTING OR NON-HISTORIC STRUCTURES:
The following criteria will also be reviewed by the Historic Architectural Review Commission for proposed demolitions. The Commission shall not issue a Certificate of Appropriateness that would result in the following conditions (please review and comment on each criterion that applies):
(1) Removing buildings or structure that are important in defining the overall historic character of a district or neighborhood so that the character is diminished.
Historic character of the district and neighborhood will not be affected by the proposed
demolition work.
(2) Removing historic buildings or structures and thus destroying the historic relationship between buildings or structures and open space.
Relationship between structures and open space will not be destroyed by proposed
demolition work.
(3) Removing an historic building or structure in a complex; or removing a building façade; or removing a significant later addition that is important in defining the historic character of a site or the surrounding district or neighborhood.
Proposed work intends to remove non-significant later additions and restore the historic
character of the site.
(4) Removing buildings or structures that would otherwise qualify as contributing.
N/A

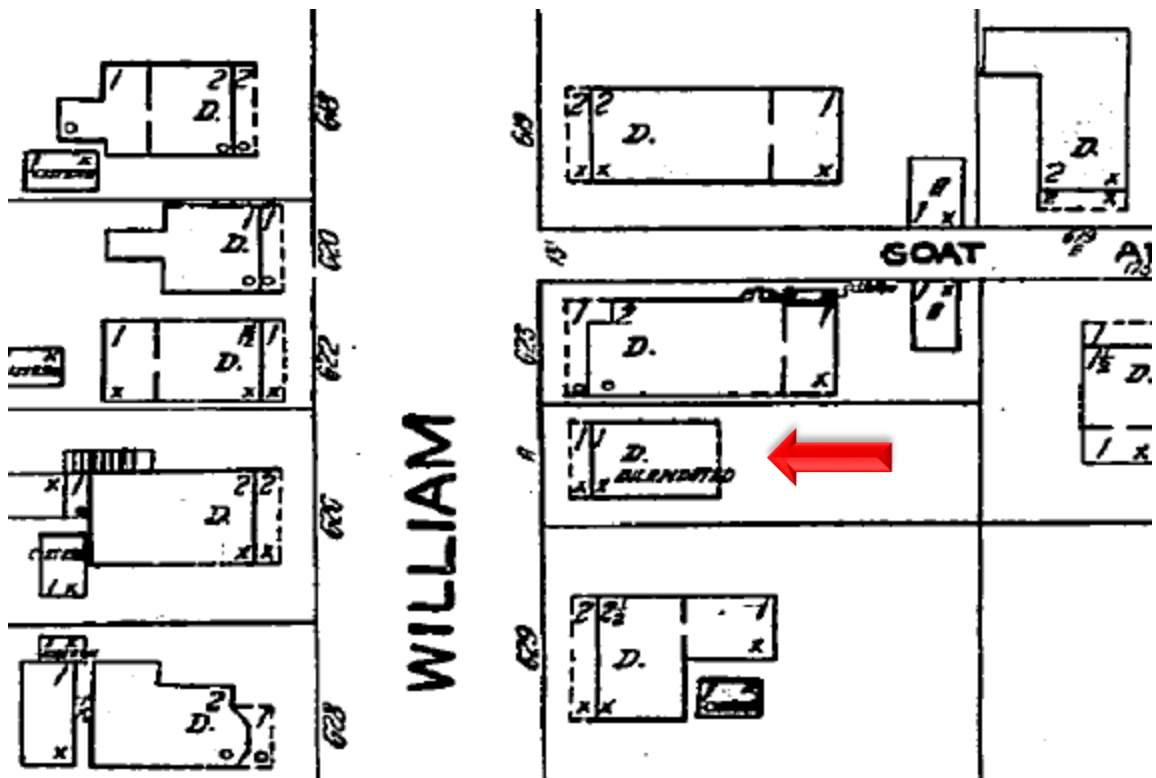
SANBORN MAPS



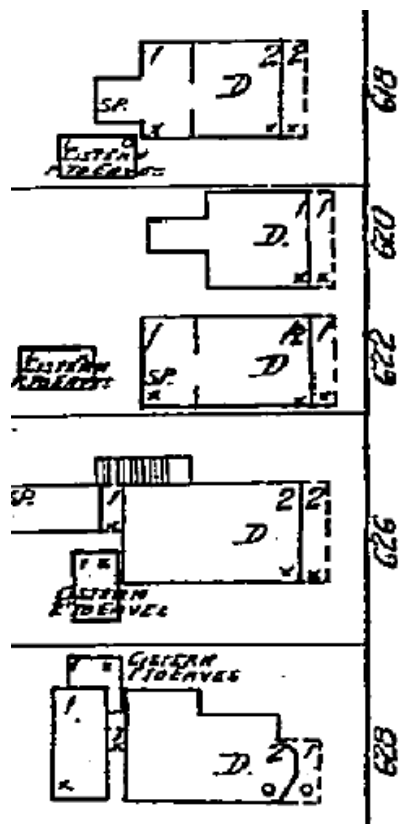
1962 Sanborn Map



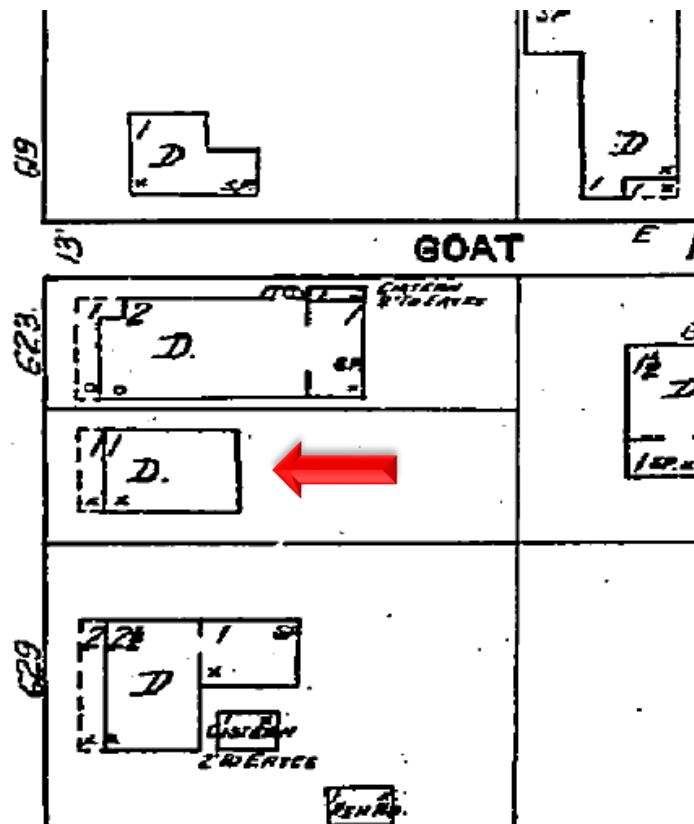
1948 Sanborn Map



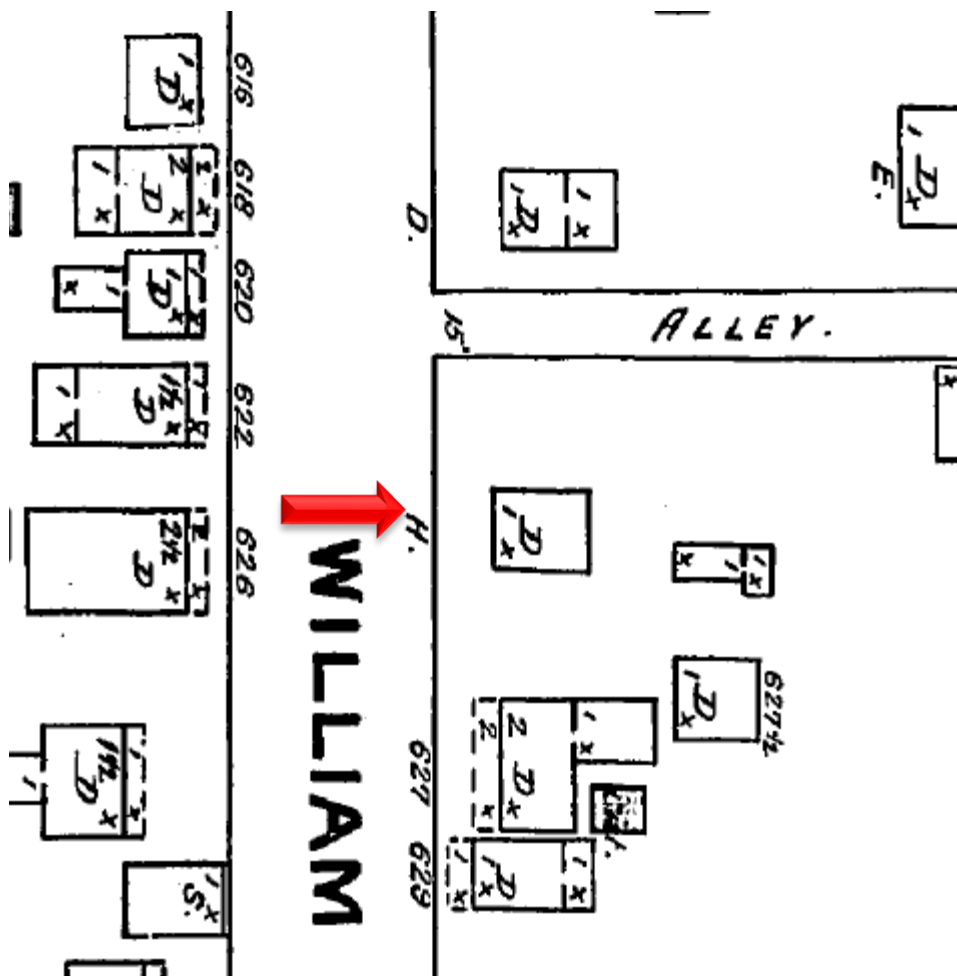
1926 Sanborn Map



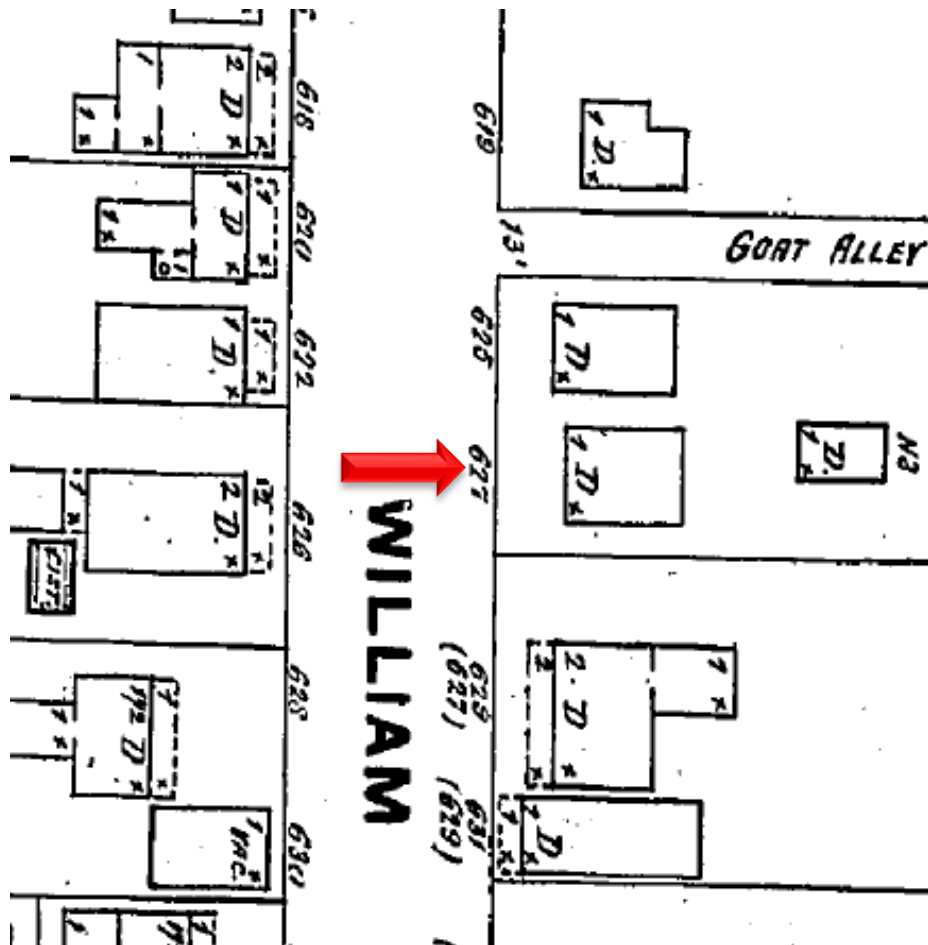
WILLIAM



1912 Sanborn Map



1892 Sanborn Map



1899 Sanborn Map

PROJECT PHOTOS

625 WILLIAM ST
(HISTORICAL PHOTO)



625 WILLIAM ST
(FRONT SIDE VIEW)



625 WILLIAM ST
(LEFT SIDE VIEW)



625 WILLIAM ST
(RIGHT SIDE VIEW)



625 WILLIAM ST
(REAR SIDE VIEW)



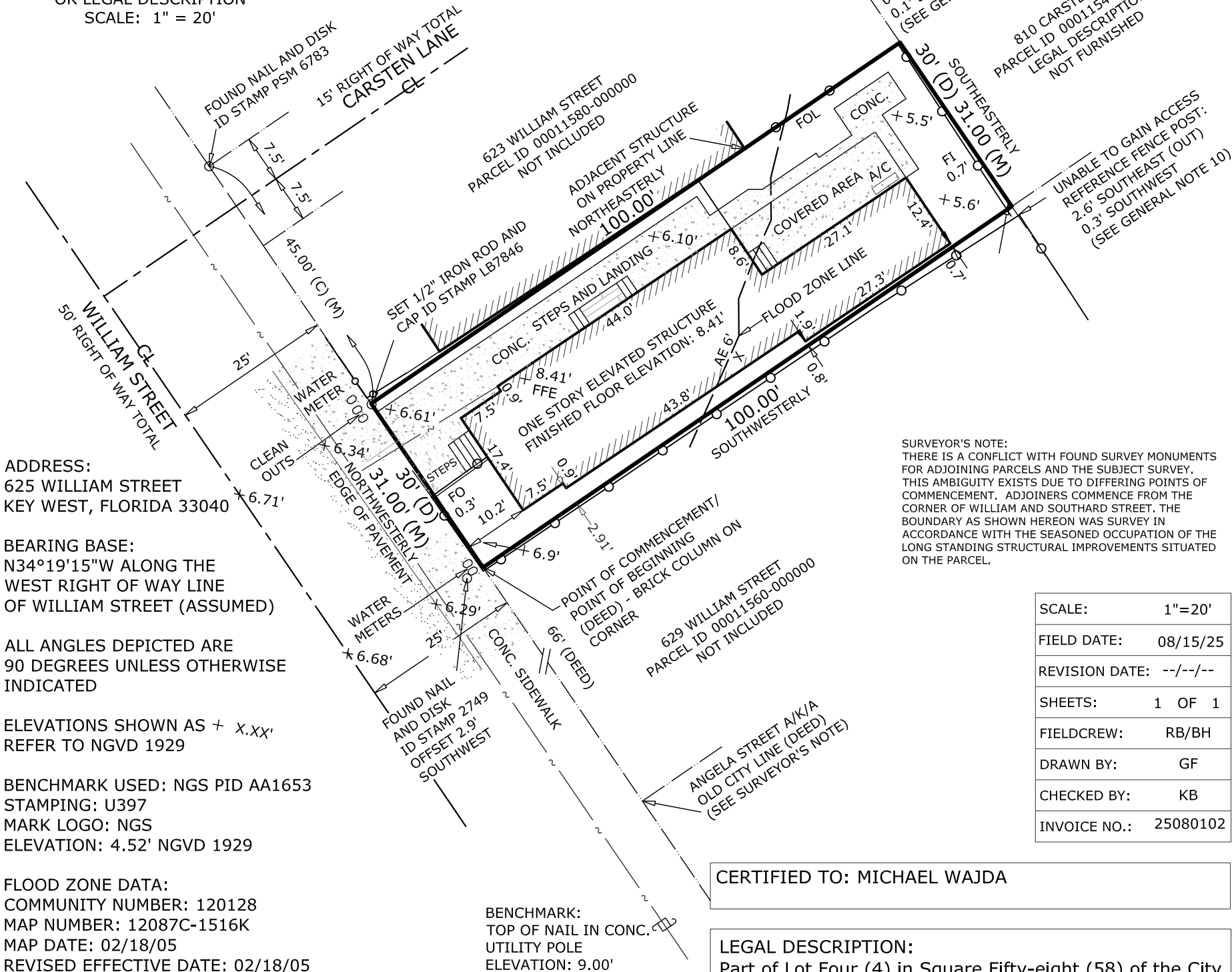
SURVEY

MAP OF BOUNDARY SURVEY

PART OF LOT FOUR (4)
SQUARE FIFTY-EIGHT (58)
WILLIAM A. WHITEHEAD'S MAP, ISLAND OF KEY WEST
CITY OF KEY WEST, MONROE COUNTY, FLORIDA



NORTH
ASSUMED FROM PLAT
OR LEGAL DESCRIPTION
SCALE: 1" = 20'



ADDRESS:
625 WILLIAM STREET
KEY WEST, FLORIDA 33040

BEARING BASE:
N34°19'15"W ALONG THE
WEST RIGHT OF WAY LINE
OF WILLIAM STREET (ASSUMED)

ALL ANGLES DEPICTED ARE
90 DEGREES UNLESS OTHERWISE
INDICATED

ELEVATIONS SHOWN AS + X.XX'
REFER TO NGVD 1929

BENCHMARK USED: NGS PID AA1653
STAMPING: U397
MARK LOGO: NGS
ELEVATION: 4.52' NGVD 1929

FLOOD ZONE DATA:
COMMUNITY NUMBER: 120128
MAP NUMBER: 12087C-1516K
MAP DATE: 02/18/05
REVISED EFFECTIVE DATE: 02/18/05
FLOOD ZONES:
- AE BASE FLOOD ELEVATION: 6' NGVD 1929
- X NO BASE FLOOD ELEVATION

- GENERAL NOTES:
- THIS SURVEY WAS PERFORMED FOR THE SOLE AND EXCLUSIVE BENEFIT OF THE PARTIES LISTED HEREIN AND SHALL NOT BE RELIED UPON BY ANY OTHER ENTITY OR INDIVIDUAL WHOMSOEVER. LIKEWISE, ANY REUSE OF THIS SURVEY FOR ANY PURPOSE OTHER THAN WHICH WAS ORIGINALLY INTENDED, WITHOUT THE WRITTEN PERMISSION OF THE UNDERSIGNED SURVEYOR & MAPPER, WILL BE DONE SO AT THE RISK OF THE REUSING PARTY AND WITHOUT ANY LIABILITY TO THE UNDERSIGNED SURVEYOR & MAPPER.
 - LEGAL DESCRIPTIONS HAVE BEEN FURNISHED BY THE CLIENT OR HIS/HER REPRESENTATIVE. PUBLIC RECORDS HAVE NOT BEEN RESEARCHED BY THE SURVEYOR TO DETERMINE THE ACCURACY OF THESE DESCRIPTIONS NOR HAVE ADJOINING PROPERTIES BEEN RESEARCHED TO DETERMINE OVERLAPS OR HIATUS.
 - THIS SURVEY DOES NOT PURPORT TO SHOW OWNERSHIP OF WALLS OR FENCES ALONG PROPERTY LINES.
 - ADDITIONS OR DELETIONS TO THIS SURVEY MAP BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
 - FOUNDATIONS BENEATH THE SURFACE ARE NOT SHOWN.
 - MEASURED DIMENSIONS EQUAL PLATTED OR DESCRIBED DIMENSIONS UNLESS INDICATED OTHERWISE.
 - UNITS OF MEASUREMENT ARE U.S. SURVEY FEET AND DECIMAL PARTS THEREOF.
 - THE EXPECTED USE OF THE PROPERTY IS RESIDENTIAL WITH AN ACCURACY STANDARD OF ONE FOOT IN 7,500 FEET. ACCURACY WAS VERIFIED THROUGH A REDUNDANCY OF MEASUREMENTS TO MEET OR EXCEED CLOSURE.
 - SYMBOLS SHOWN HEREON AND IN THE LEGEND MAY HAVE BEEN ENLARGED FOR CLARITY, THESE SYMBOLS HAVE BEEN PLOTTED AT THE CENTER OF THE FIELD LOCATION AND MAY NOT REPRESENT THE ACTUAL SHAPE OR SIZE OF THE FEATURE.
 - FLORIDA ADMINISTRATIVE CODE CHAPTER 5J-17.052 STANDARDS OF PRACTICE: SPECIFIC SURVEY, MAP, AND REPORT REQUIREMENTS.
2 BOUNDARY MONUMENTS:
(B) 6. WHEN A CORNER FALLS IN A HARD SURFACE SUCH AS ASPHALT OR CONCRETE, ALTERNATE MONUMENTATIONS MAY BE USED THAT IS DURABLE AND IDENTIFIABLE. (EXAMPLES: FENCE POST, BLDG. CORNERS, ETC.)

REECE & ASSOCIATES
PROFESSIONAL SURVEYORS AND MAPPERS
LICENSED BUSINESS (LB) NO. 7846
31193 AVENUE A, BIG PINE KEY, FL. 33043
OFFICE (305) 872 - 1348
EMAIL: INFO@REECESURVEYING.COM

SURVEYOR'S NOTE:
THERE IS A CONFLICT WITH FOUND SURVEY MONUMENTS FOR ADJOINING PARCELS AND THE SUBJECT SURVEY. THIS AMBIGUITY EXISTS DUE TO DIFFERING POINTS OF COMMENCEMENT. ADJOINERS COMMENCE FROM THE CORNER OF WILLIAM AND SOUTHARD STREET. THE BOUNDARY AS SHOWN HEREON WAS SURVEY IN ACCORDANCE WITH THE SEASONED OCCUPATION OF THE LONG STANDING STRUCTURAL IMPROVEMENTS SITUATED ON THE PARCEL.

SCALE:	1"=20'
FIELD DATE:	08/15/25
REVISION DATE:	--/--/--
SHEETS:	1 OF 1
FIELD CREW:	RB/BH
DRAWN BY:	GF
CHECKED BY:	KB
INVOICE NO.:	25080102

CERTIFIED TO: MICHAEL WAJDA

LEGAL DESCRIPTION:
Part of Lot Four (4) in Square Fifty-eight (58) of the City of Key West, Commencing at a point on William Street Sixty-six (66) feet from Angela Street (a/k/a Old City Line) and runs Northwestery along said William Street Thirty (30) feet; thence run Northeastery One Hundred (100) feet; thence runs Southeastery Thirty (30) feet; thence runs Southwestery One Hundred (100) feet to William Street the place of beginning.

ABBREVIATIONS:			
CL	= CENTERLINE	NAVD	= NORTH AMERICAN VERTICAL DATUM 1988
CGS	= COAST AND GEODETIC SURVEY	NGS	= NATIONAL GEODETIC SURVEY
CLF	= CHAINLINK FENCE	NGVD	= NATIONAL GEODETIC VERTICAL DATUM (1929)
(D)	= DEED	P	= PLAT
EB	= ELECTRIC BOX	PID	= PERMANENT IDENTIFIER
EM	= ELECTRIC METER	R	= RADIUS
(F)	= FIELD	ROL	= ROOF OVERHANG LINE
FI	= FENCE IN	SCO	= SANITARY CLEAN-OUT
FO	= FENCE OUT	SMH	= SANITARY MANHOLE
FOL	= FENCE ON LINE	SV	= SEWER VALVE
LB	= LICENSE BUSINESS	WM	= WATER METER
LS	= LICENSE SURVEYOR	WV	= WATER VALVE
(M)	= MEASURED		
PLASTIC FENCE			FIRE HYDRANT
WOOD FENCE			UTILITY POLE CONC.
CHAIN LINK FENCE			UTILITY POLE METAL
OVERHEAD WIRES			UTILITY POLE WOOD

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES. THIS SURVEY, WHEN SCHEDULE B HAS BEEN PROVIDED MEETS THE PROVISIONS OF FLORIDA ENDORSEMENT FORM 9, SUBPARAGRAPH 1(B) 1(SETBACKS), 1(B)3(ENCROACHMENTS), & 1(B)4(EASEMENTS), SCHEDULE "B" HAS NOT BEEN PROVIDED.

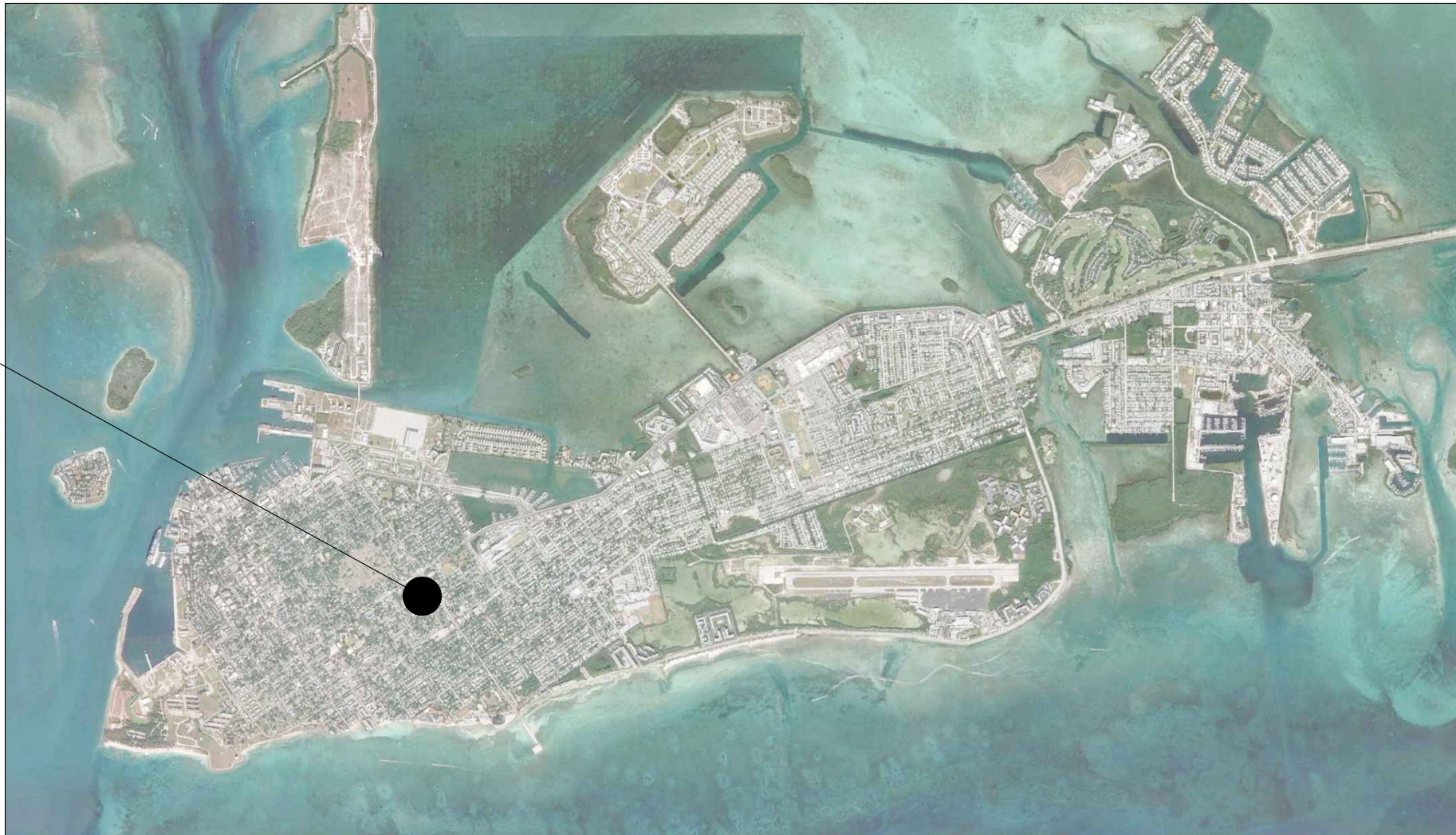
GINO FURLANO
PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA LICENSE NO. LS 5044

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ELECTRONIC SIGNATURE
AND THE ORIGINAL
ELECTRONIC SEAL OF A
FLORIDA SURVEYOR AND
MAPPER

PROPOSED DESIGN

HARC APPLICATION SET FOR MAJOR REMODELING

SITE LOCATION



LOCATION MAP:

PROJECT LOCATION:
625 WILLIAMS ST,
KEY WEST, FL 33040

CLIENT:
MIKE WAJDA

THIS ITEM HAS BEEN DIGITALLY SIGNED AND
SEALED BY GREGG MANTAKOV, P.E. ON THE
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GREGG MANTAKOV
PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO. 71480

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ENGINEERING AND PLANNING

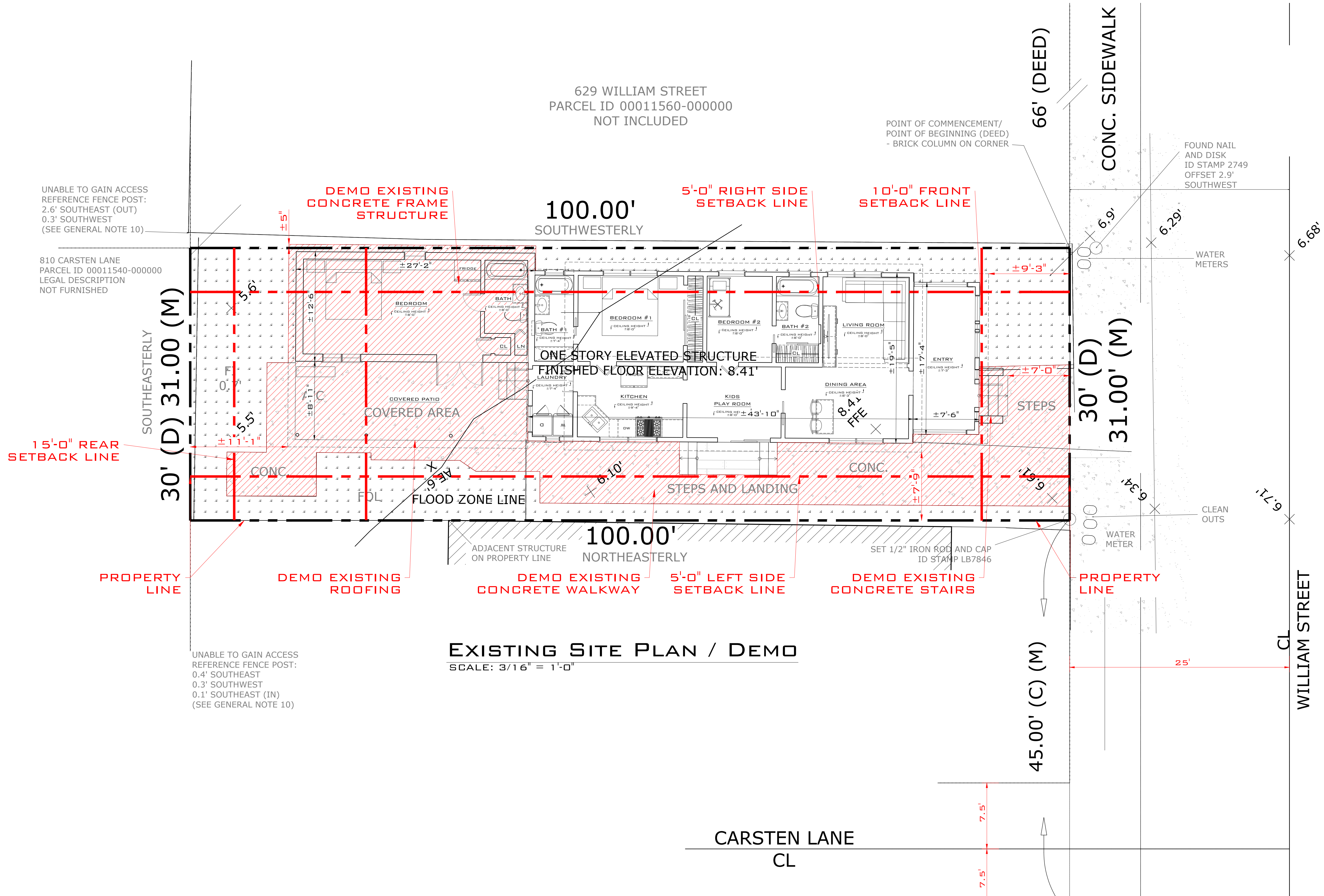
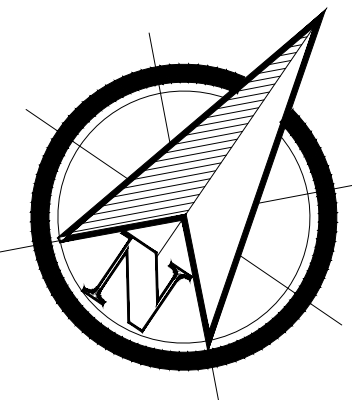
ARTIBUS DESIGN
3710 N. ROOSEVELT BLVD
KEY WEST, FL 33040
(305) 304-3312
WWW.ARTIBUSDESIGN.COM
CA # 30835

CLIENT:
MIKE WAJDA

PROJECT:
625 WILLIAM ST

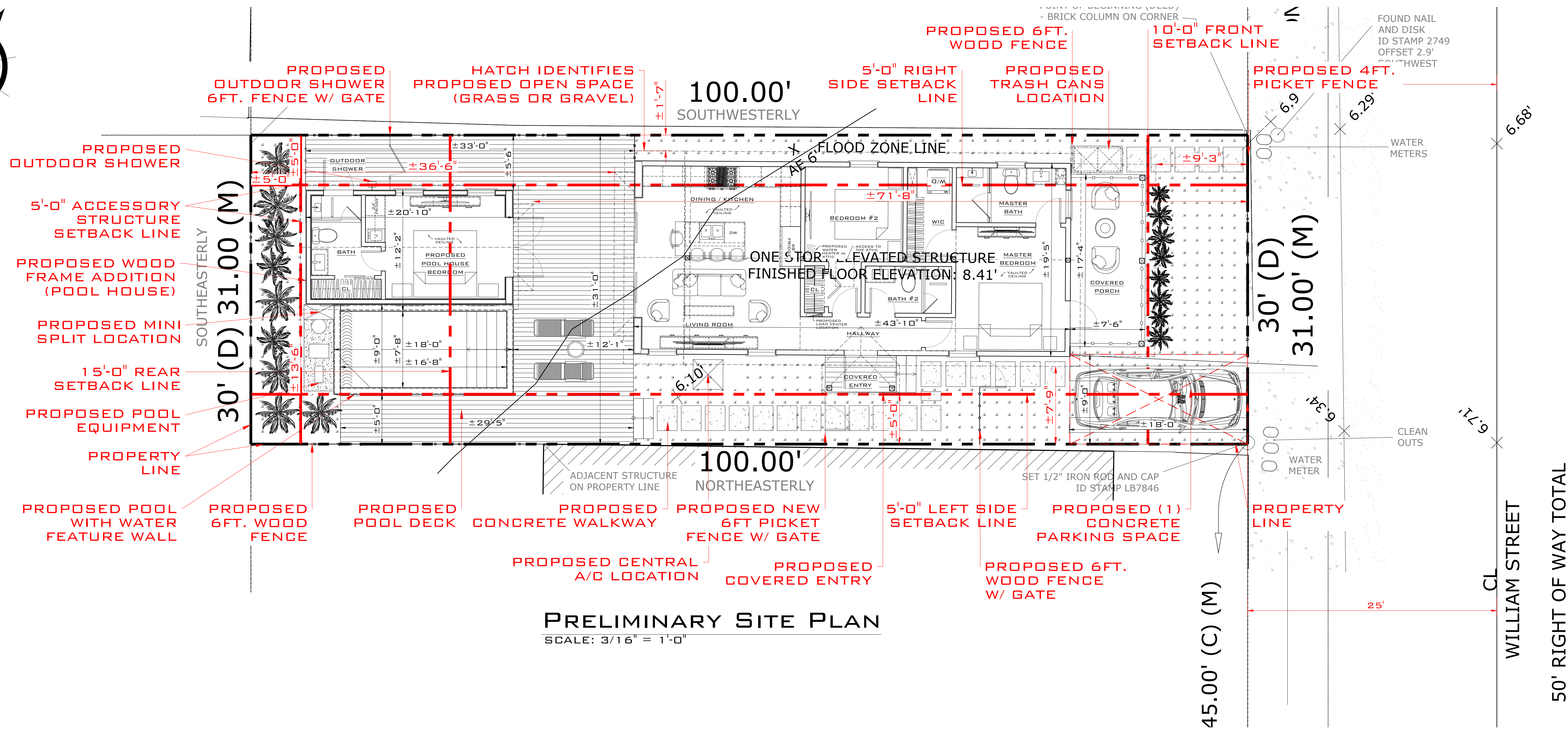
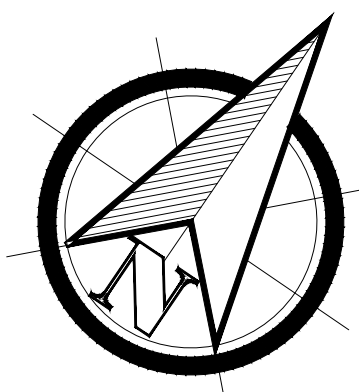
SITE:
**625 WILLIAM ST,
KEY WEST, FL 33040**

TITLE: COVER			
SCALE BY SHEET:	DATE:	DRAWN:	CHECKED:
AS SHOWN	10/09/25	CA	SAH
PROJECT NO:	DRAWING NO:	REVISION:	
2508-02	B-100		1



EXISTING SITE PLAN / DEMO
SCALE: 3/16" = 1'-0"

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SERGE MABITAKOV PROFESSIONAL ENGINEER STATE OF FLORIDA LICENSE NO. 71480			
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ARTIBUS DESIGN ENGINEERING AND PLANNING			
ARTIBUS DESIGN 3710 N. ROOSEVELT BLVD KEY WEST, FL 33040 (305) 304-3312 WWW.ARTIBUSDESIGN.COM CA # 30835			
CLIENT: MIKE WAJDA			
PROJECT: 625 WILLIAM ST			
SITE: 625 WILLIAM ST, KEY WEST, FL 33040			
TITLE: EXISTING SITE PLAN			
SCALE BY SHEET: 2508-02	DATE: 10/09/25	DRAWN BY: CA	CHECKED BY: SAM
PROJECT NO. 2508-02	DRAWING NO. C-101	REVISION: 1	



PRELIMINARY SITE PLAN

SCALE: 3/16" = 1'-0"

SITE DATA:

TOTAL SITE AREA: ±3,099.03 SQ.FT.
LAND USE: HHDR
FLOOD ZONE: X-AE6

SETBACKS

FRONT:
REQUIRED 10'-0"
EXISTING 9'-3"
PROPOSED NO CHANGES

LEFT SIDE:
REQUIRED 5'-0"
EXISTING 7'-9"
PROPOSED 5'-0"

RIGHT SIDE:
REQUIRED 5'-0"
EXISTING 0'-5"
PROPOSED 1'-7"

REAR:
REQUIRED 20'-0"
EXISTING 11'-1"
PROPOSED 36'-6"

ACCESSORY STRUCTURE SETBACKS

FRONT:
REQUIRED 5'-0"
EXISTING 0'-0"
PROPOSED 7'-8"

LEFT SIDE:
REQUIRED 5'-0"
EXISTING 0'-0"
PROPOSED 13'-6"

RIGHT SIDE:
REQUIRED 5'-0"
EXISTING 0'-0"
PROPOSED 5'-0"

REAR:
REQUIRED 5'-0"
EXISTING 0'-0"
PROPOSED 5'-0"

MAXIMUM IMPERVIOUS SURFACE RATIO:

REQUIRED: 60% (1,859.41 SQ.FT.)
EXISTING 38.73% (±1,200.26 SQ.FT.)
PROPOSED 29.73% (±921.62 SQ.FT.)
(IMPROVEMENT)

(SPACE UNDER ELEVATED STRUCTURE IS CONSIDERED AS PERVIOUS)

EX. CONCRETE PORCH: ±129.68 SQ.FT.
POOL & EQ. PAD & A/C: ±177.00 SQ.FT.
CONCRETE WALKWAY / DRIVEWAY: ±374.94 SQ. FT.
POOL HOUSE: ±240.00 SQ.FT.

TOTAL: ±921.62 SQ.FT.

MAXIMUM BUILDING COVERAGE:

REQUIRED 50% (1,549.51 SQ.FT.)
EXISTING 51.81% (±1,605.77 SQ.FT.)
PROPOSED 40.39% (±1,251.98 SQ.FT.)
(IMPROVEMENT)

OPEN SPACE MINIMUM:

REQUIRED 35% (1,084.66 SQ.FT.)
EXISTING 28.37% (±879.35 SQ.FT.)
PROPOSED 28.79% (±892.45 SQ.FT.)
(IMPROVEMENT)

20FT SETBACK AREA: 619.77 SQ.FT

REQUIRED 30.0% MAX (±619.77*0.3=185.9 SQ.FT.)
EXISTING 43.1% (±267.15 SQ.FT.)
PROPOSED 26.9% (±166.75 SQ.FT.)

NOTE:
ACCESSORY REAR YARD COVERAGE INCLUDES ACCESSORY STRUCTURE ONLY, OVERHANGS, DECKS (<30"), POOL, AND POOL EQUIPMENT ARE NOT INCLUDED IN THIS AREA.

ROOF OVERHANGS ARE NOT COUNTED INTO BUILDING COVERAGE AND ARE CONSIDERED AS PERVIOUS AREA AND OPEN SPACE.

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GERALD M. HARTMAN
PROFESSIONAL ENGINEER
STATE OF FLORIDA
LICENSE NO. 71480

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CA # 30835

CLIENT: MIKE WAJDA

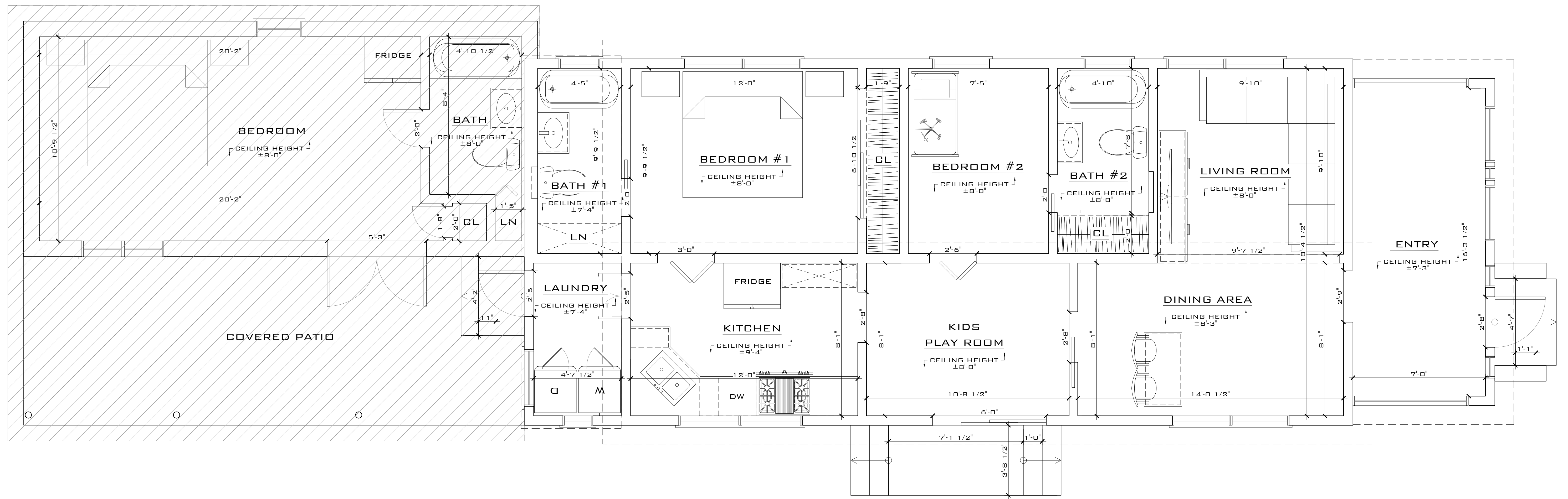
PROJECT: 625 WILLIAM ST

DRAWN: 625 WILLIAM ST

DATE: 625 WILLIAM ST

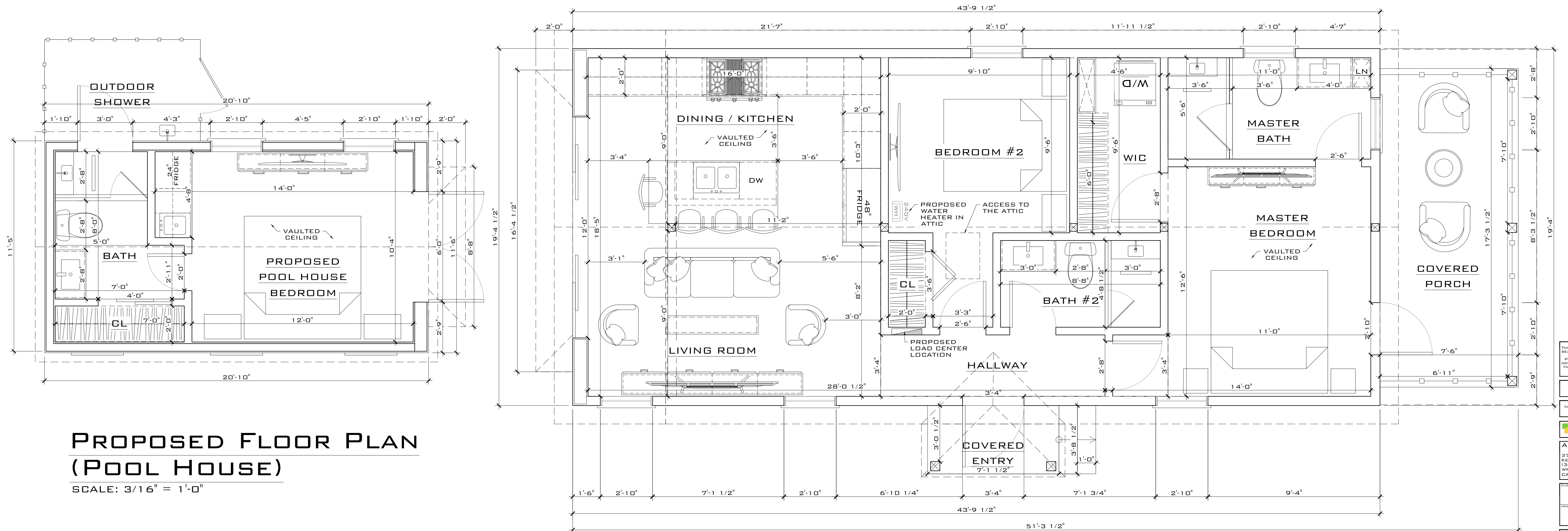
TITLE: PROPOSED SITE PLAN

SCALE BY: DATE: 10/09/25
AS SHOWN: CA
PROJECT NO.: 2508-02
DRAWING NO.: C-102
SHEET NO.: 1



EXISTING FLOOR PLAN

SCALE: 3/16" = 1'-0"



PROPOSED FLOOR PLAN (POOL HOUSE)

SCALE: 3/16" = 1'-0"

PROPOSED FLOOR PLAN

SCALE: 3/16" = 1'-0"

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CA # 30835

CLIENT: MIKE WAJDA

PROJECT: 625 WILLIAM ST

SITE: 625 WILLIAM ST,
KEY WEST, FL 33040

TITLE: EXISTING FLOOR PLAN

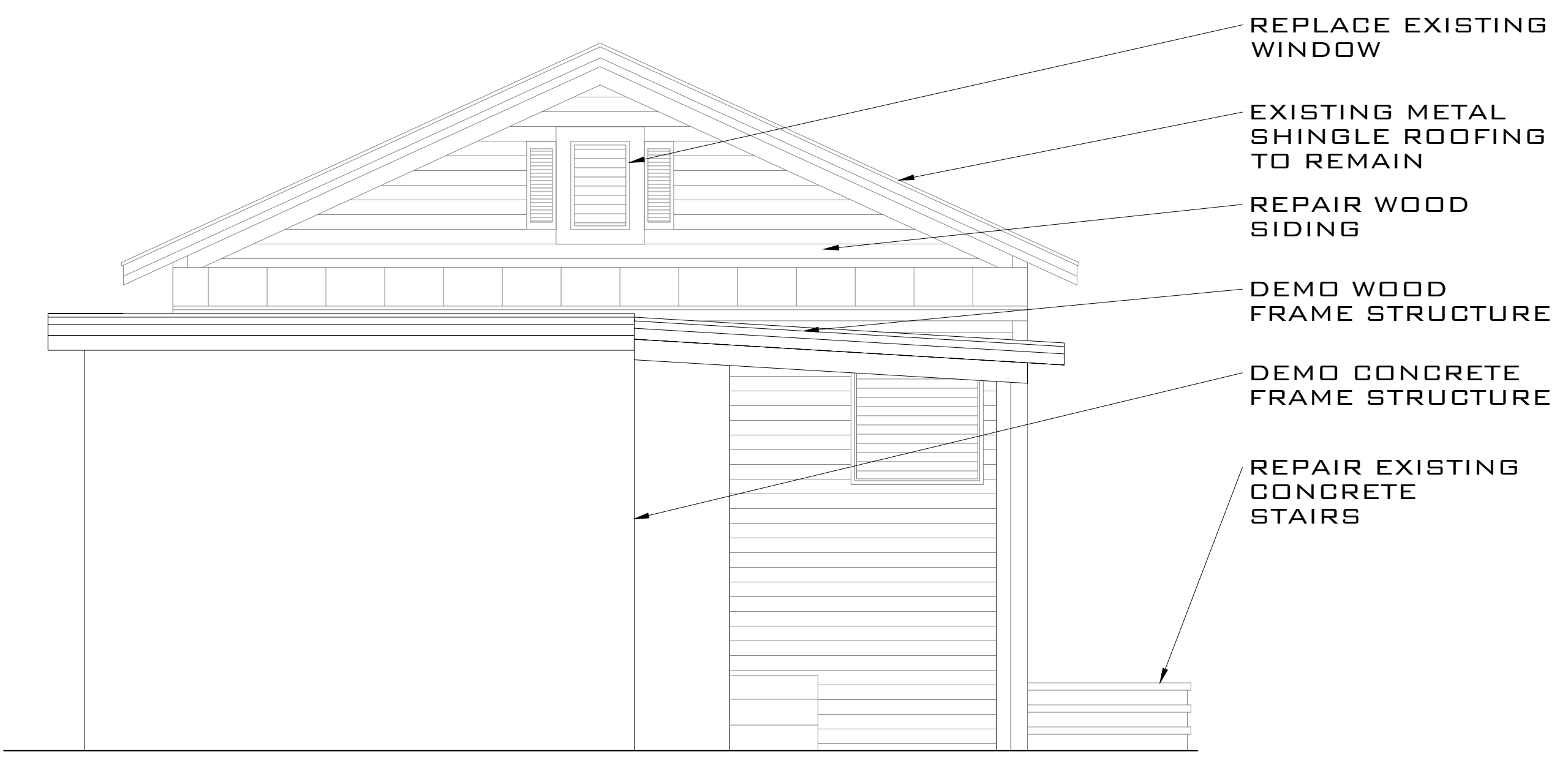
SCALE: AS SHOWN DATE: 10/09/25 DRAWN: CA CHECKED: SAM

PROJECT NO: 2508-02 DRAWING NO: A-101 REVISION: 1



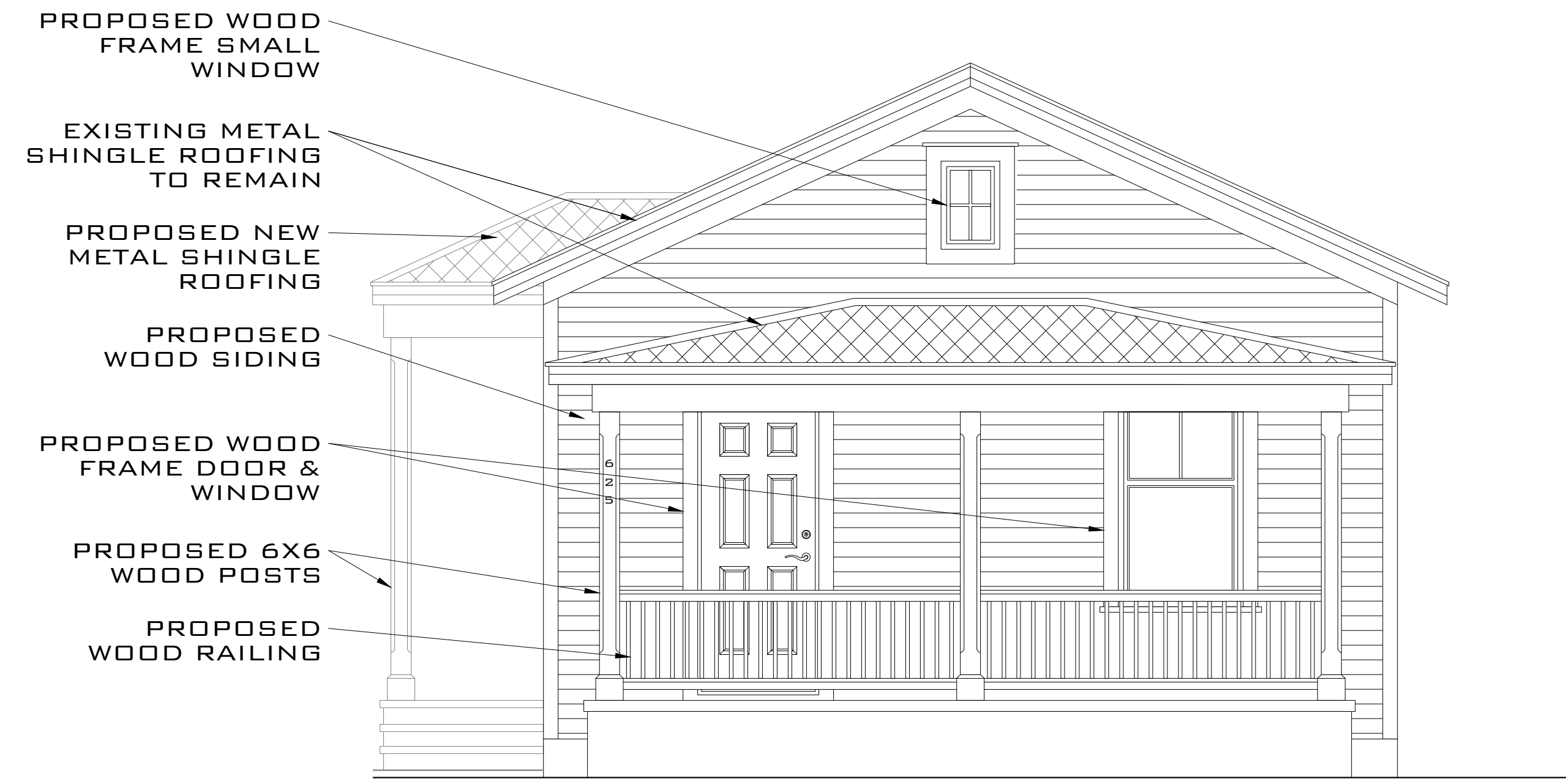
EXISTING FRONT ELEVATION

SCALE: 3/8" = 1'-0"



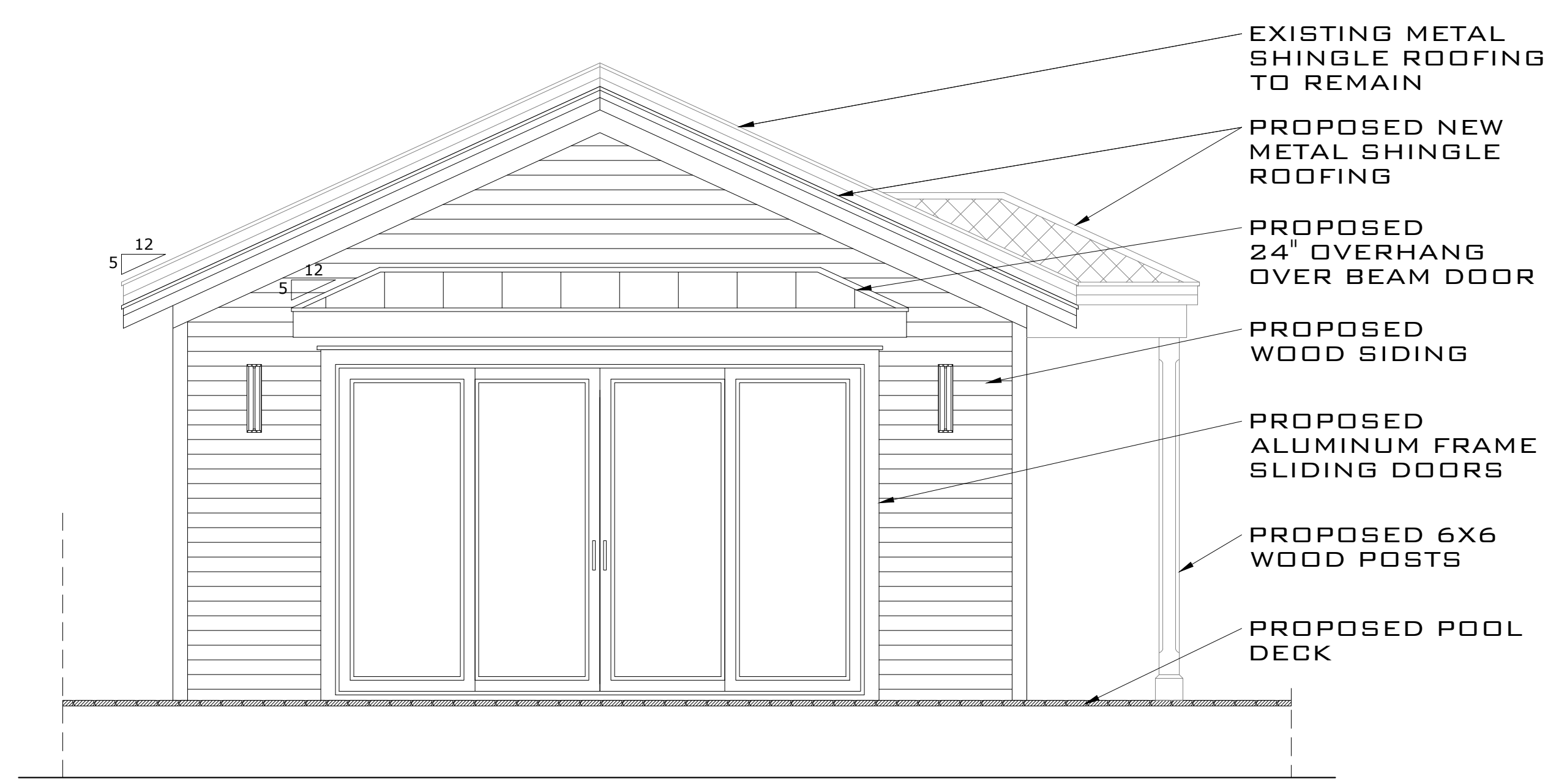
EXISTING REAR ELEVATION

SCALE: 3/8" = 1'-0"



PROPOSED FRONT ELEVATION

SCALE: 3/8" = 1'-0"



PROPOSED REAR ELEVATION

SCALE: 3/8" = 1'-0"

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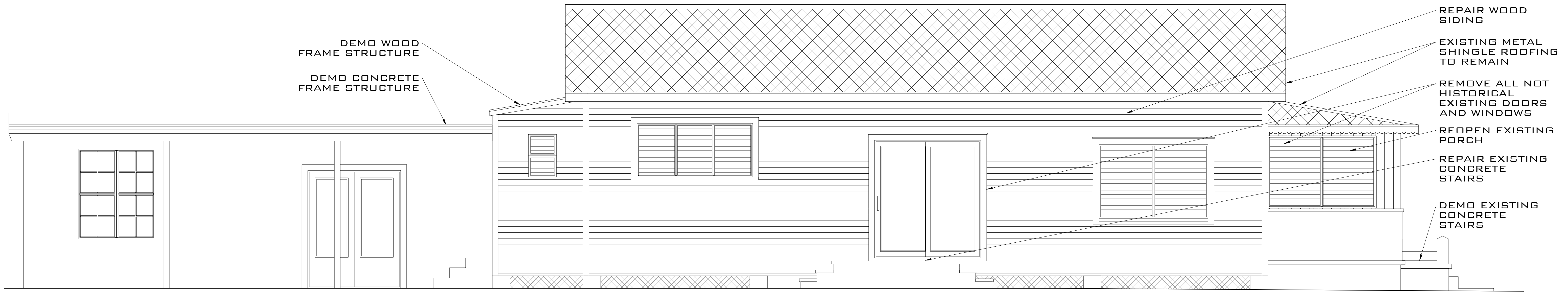
CLIENT: MIKE WAJDA

PROJECT: 625 WILLIAM ST

SITE: 625 WILLIAM ST,
KEY WEST, FL 33040

TITLE: ELEVATIONS

SCALE BY SHEET:	DATE:	DRAWN BY:	CHECKED BY:
AS SHOWN	10/09/25	GA	SAH
PROJECT NO:	2508-02	DRAWING NO:	A-102
		REVISION:	1



EXISTING LEFT ELEVATION

SCALE: 3/8" = 1'-0"



PROPOSED LEFT ELEVATION

SCALE: 3/8" = 1'-0"

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CA # 30835

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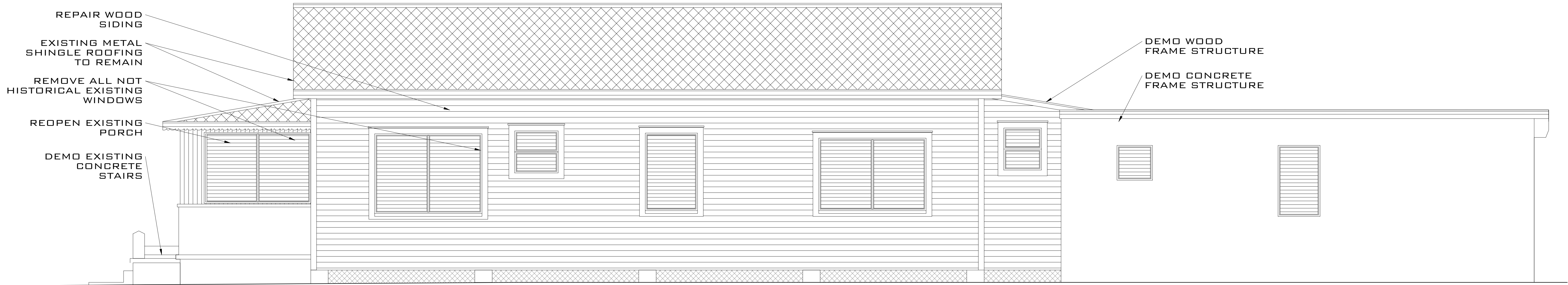
PROJECT: 625 WILLIAM ST

DIST: 625 WILLIAM ST,
KEY WEST, FL 33040

TITLE: ELEVATIONS

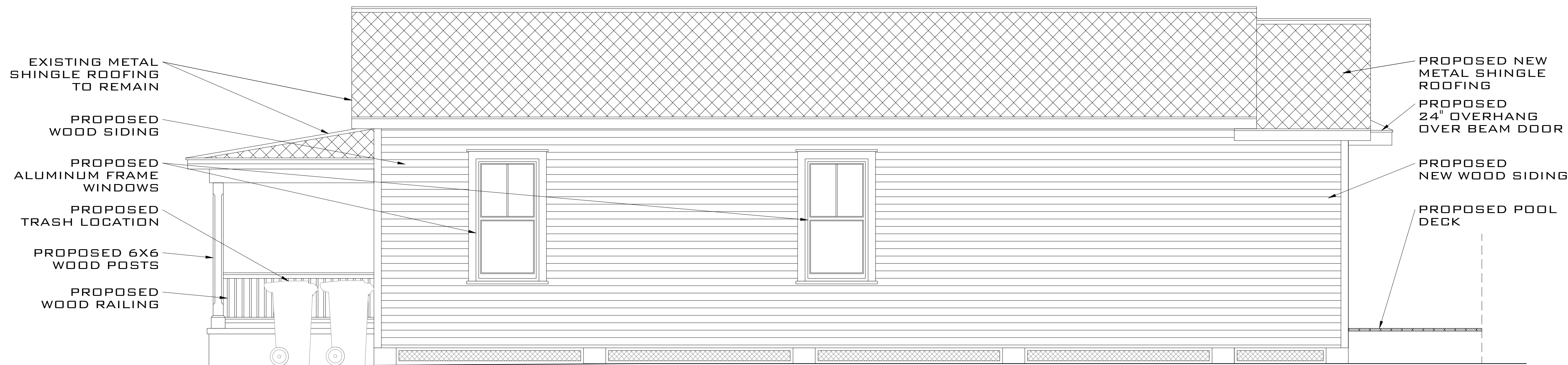
SCALE: AS SHOWN DATE: 10/09/25 DRAWN: CA CHECKED: SAM

PROJECT NO: 2508-02 DRAWING NO: A-103 REVISION: 1



EXISTING RIGHT ELEVATION

SCALE: 3/8" = 1'-0"



PROPOSED RIGHT ELEVATION

SCALE: 3/8" = 1'-0"

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STATE OF FLORIDA
LICENSE NO. 71480

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KEY WEST, FL 33040
(305) 304-3312
WWW.ARTIBUSDESIGN.COM
CA # 30835

CLIENT:
MIKE WAJDA

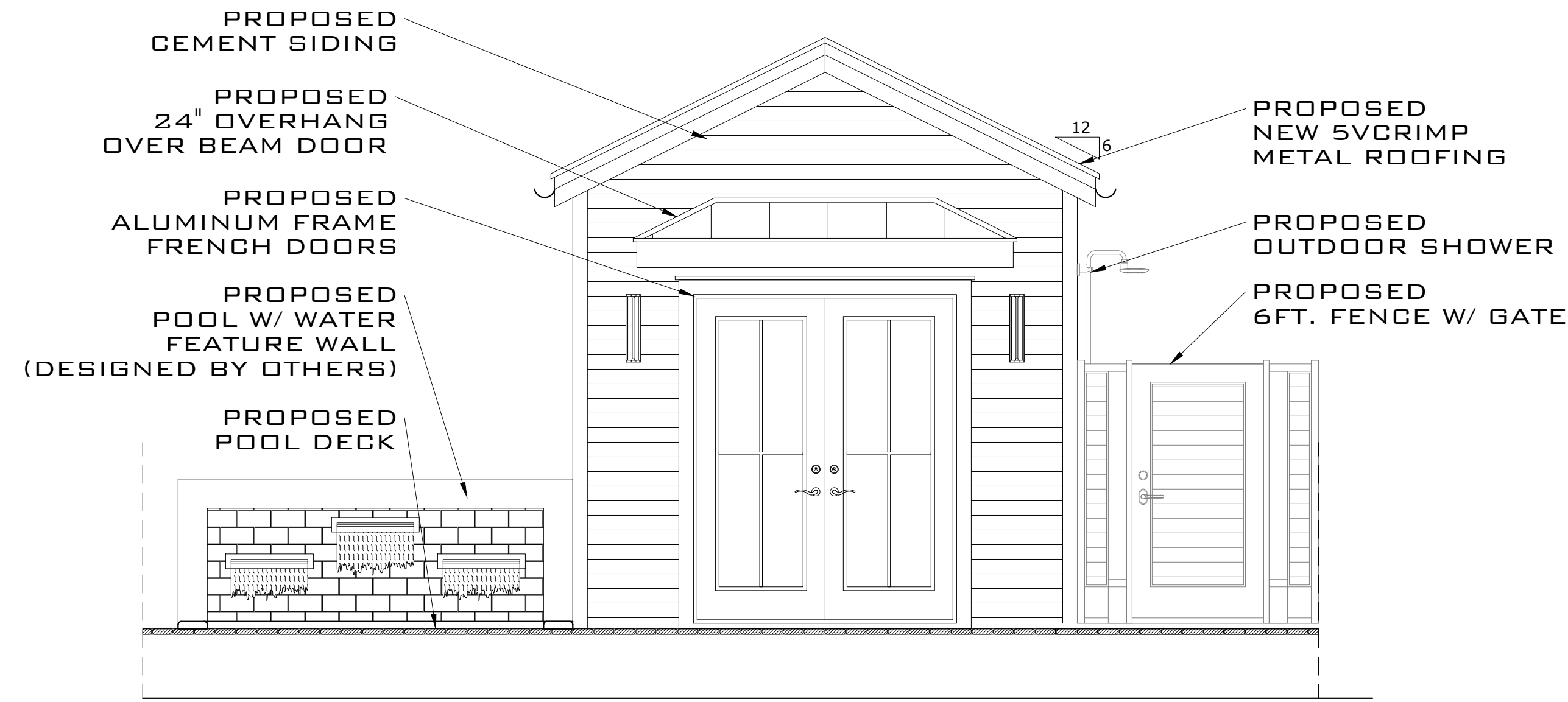
PROJECT:
625 WILLIAM ST

SITE:
625 WILLIAM ST,
KEY WEST, FL 33040

TITLE:
ELEVATIONS

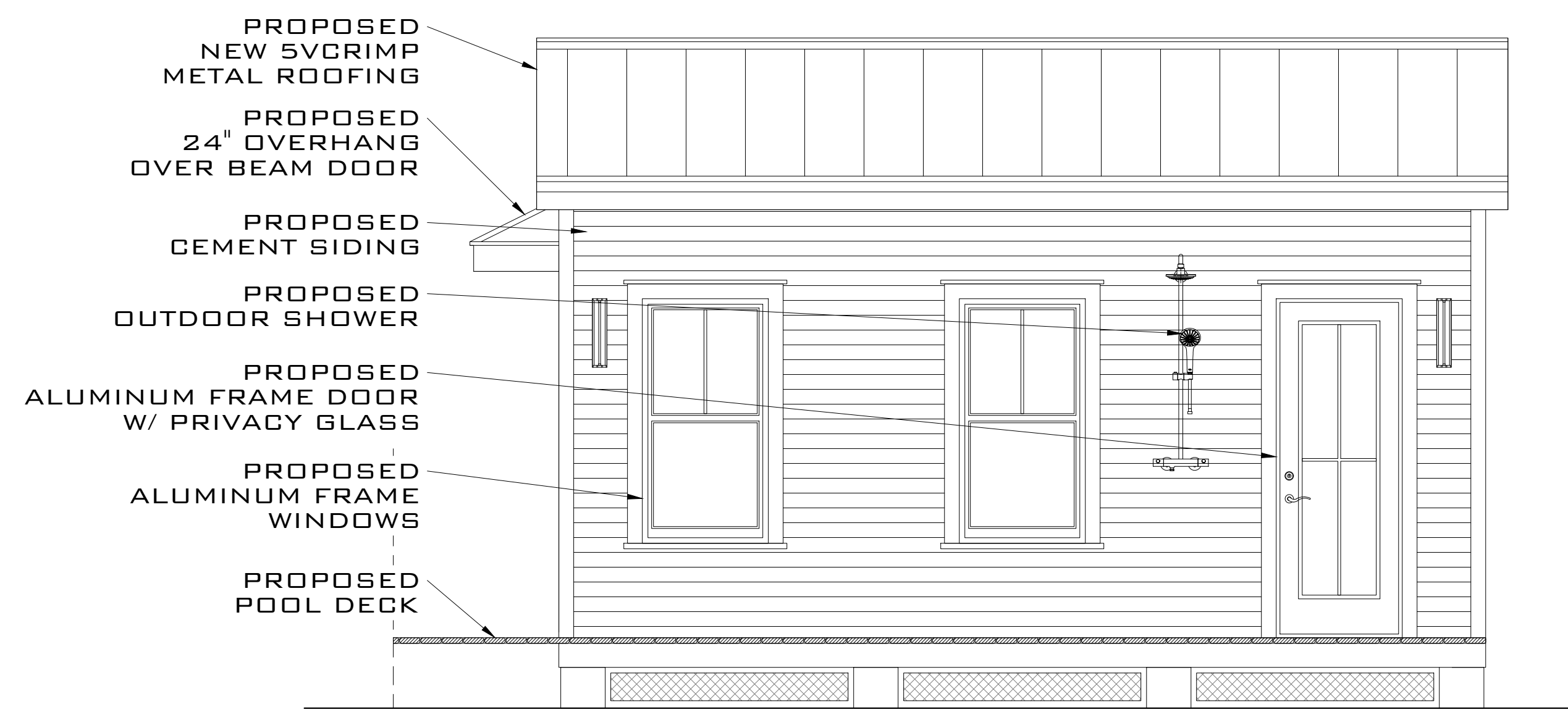
SCALE: AS SHOWN DATE: 10/09/25 DRAWN: CA CHECKED: SAM

PROJECT NO.: 2508-02 DRAWING NO.: A-104 REVISION: 1



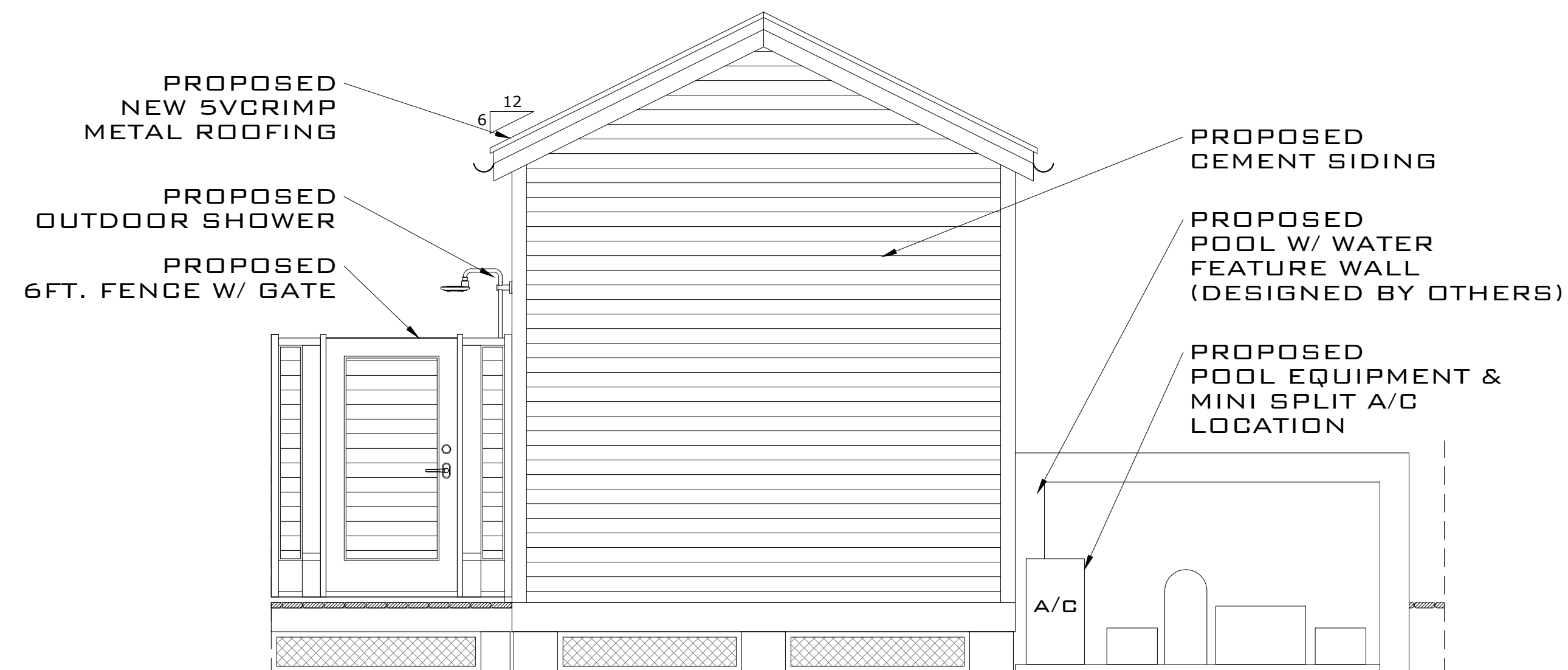
PROPOSED FRONT ELEVATION POOL HOUSE

SCALE: 3/8" = 1'-0"



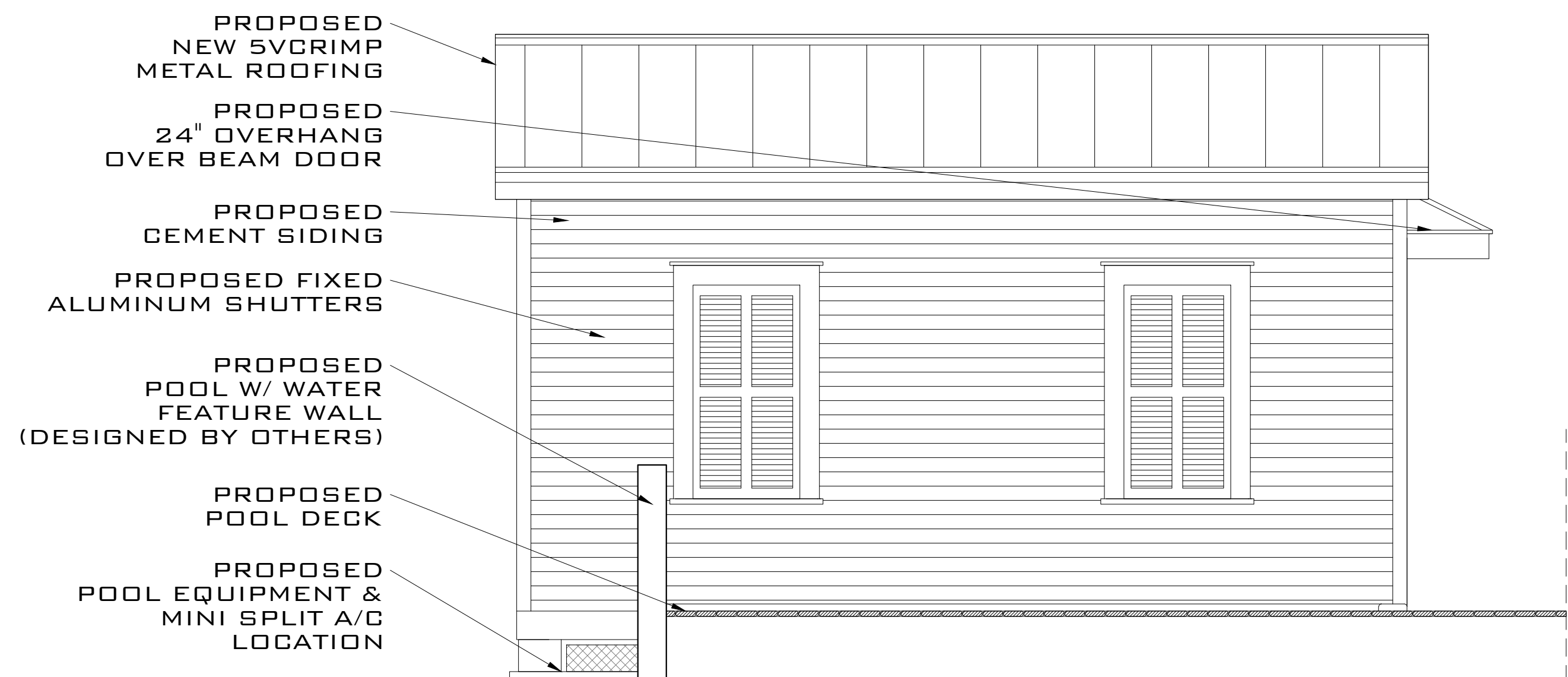
PROPOSED RIGHT ELEVATION POOL HOUSE

SCALE: 3/8" = 1'-0"



PROPOSED REAR ELEVATION POOL HOUSE

SCALE: 3/8" = 1'-0"



PROPOSED LEFT ELEVATION POOL HOUSE

SCALE: 3/8" = 1'-0"

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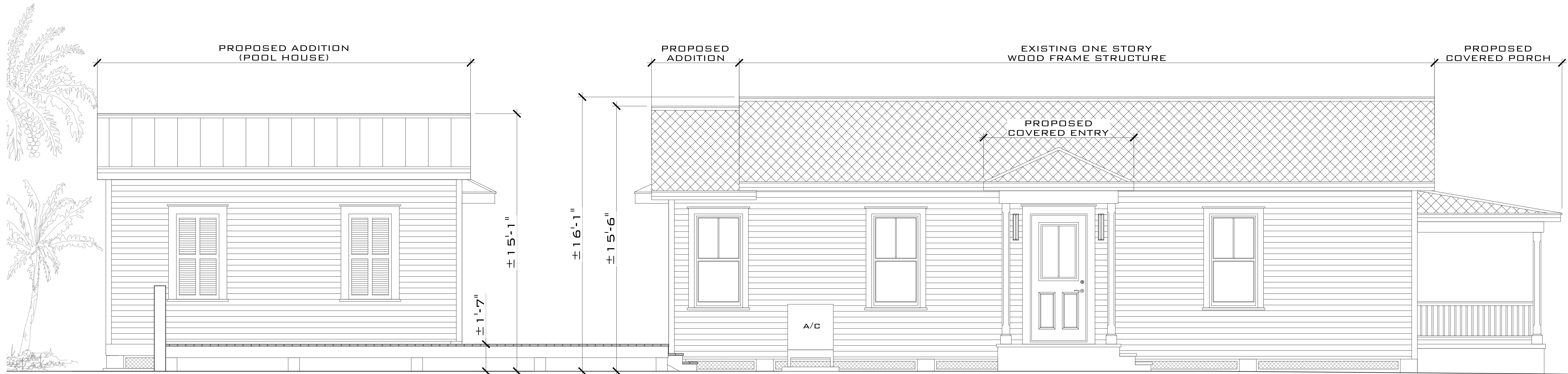
CLIENT:
MIKE WAJDA

PROJECT:
625 WILLIAM ST.

SITE:
625 WILLIAM ST.
KEY WEST, FL 33040

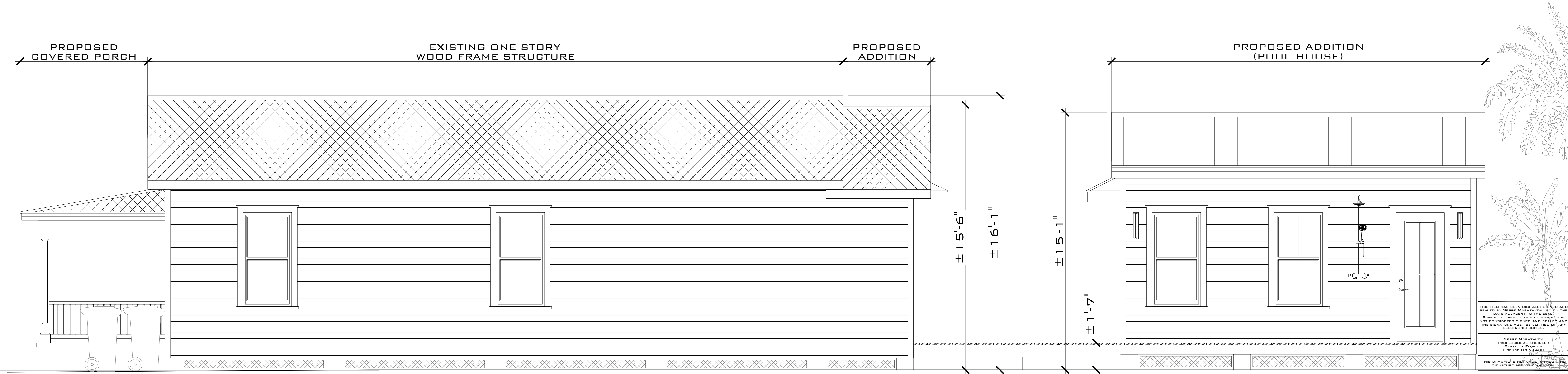
TITLE:
ELEVATIONS

SCALE BY SHEET:	DATE:	DRAWN:	CHECKED:
AS SHOWN	10/09/25	GA	SAH
PROJECT NO:	DRAWING NO:	REVISION:	
2508-02	A-105	1	



PROPOSED LEFT ELEVATION

SCALE: 3/8" = 1'-0"



PROPOSED RIGHT ELEVATION

SCALE: 3/8" = 1'-0"

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KEY WEST, FL 33040
(305) 304-3312
WWW.ARTIBUSDESIGN.COM
CA # 30835

CLIENT: MIKE WAJDA

PROJECT: 625 WILLIAM ST

SITE: 625 WILLIAM ST,
KEY WEST, FL 33040

TITLE: ELEVATIONS

SCALE: AS SHOWN	DATE: 10/09/25	DRAWN: CA	CHECKED: SAM
PROJECT NO: 2508-02	DESIGNED BY: A-106	REVISION: 1	

NOTICING

Public Meeting Notice

The Historic Architectural Review Commission will hold a public meeting at **5:00 p.m., November 18, 2025, at City Hall, 1300 White Street**, Key West, Florida. The purpose of the hearing will be to consider a request for:

RENOVATIONS TO CONTRIBUTING STRUCTURE. RECONSTRUCT REAR SHED ROOF ADDITION WITH GABLE ROOF. NEW POOL HOUSE, NEW POOL, NEW POOL DECK, AND SITE IMPROVEMENTS. DEMOLITION OF NON-HISTORIC REAR COTTAGE. DEMOLITION OF EXISTING WALKWAYS AND CONCRETE STAIRS.

#625 WILLIAM STREET

Applicant – Justin Henika Application #C2025-0093

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 1300 White Street, call 305-809-3975 or visit our website at www.cityofkeywest-fl.gov.

THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION

ADA ASSISTANCE: It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 800-955-8771 or 800-955-8770 (Voice) or the ADA Coordinator at 305-809-3811 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.

HARC POSTING AFFIDAVIT

STATE OF FLORIDA:
COUNTY OF MONROE:

BEFORE ME, the undersigned authority, personally appeared Justin Henika, who, first being duly sworn, on oath, depose and says that the following statements are true and correct to the best of his/her knowledge and belief:

1. That a legal notice for Public Notice of Hearing of the Historic Architectural Review Commission (HARC) was placed on the following address:
625 William St, Key West, FL 33040 on the
10 day of November, 2025.

This legal notice(s) contained an area of at least 8.5"x11".

The property was posted to notice a public hearing before the Key West Historic Architectural Review Commission to be held on November 18, 2025.

The legal notice(s) is/are clearly visible from the public street adjacent to the property.

The Certificate of Appropriateness number for this legal notice is C2025-0093.

2. A photograph of that legal notice posted in the property is attached hereto.

Signed Name of Affiant:

[Signature]

Date: 11/12/25

Address: 3710 N Roosevelt Blvd

City: Key West

State, Zip: FL, 33040

The forgoing instrument was acknowledged before me on this 12 day of
November, 2025.

By (Print name of Affiant) Justin Henika who is
personally known to me or has produced Drivers license Florida as
identification and who did take an oath.

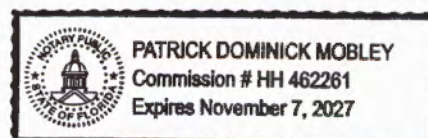
NOTARY PUBLIC

Sign Name: [Signature]

Print Name: Patrick Dominick Mobley

Notary Public - State of Florida (seal)

My Commission Expires: 11/7/2027



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PROPERTY APPRAISER INFORMATION

Monroe County, FL

PROPERTY RECORD CARD

Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID 00011600-000000
 Account# 1011916
 Property ID 1011916
 Millage Group 10KW
 Location Address 625 WILLIAM St, KEY WEST
 Legal Description KW PT LOT 4 SQR 58 OR166-539/40 OR820-2453 OR871-2155 OR888-984/85 OR888-978 OR934-361 OR934-368 OR2017-1573
 (Note: Not to be used on legal documents.)
 Neighborhood 6108
 Property Class SINGLE FAMILY RESID (0100)
 Subdivision
 Sec/Twp/Rng 06/68/25
 Affordable No
 Housing



Owner

WAJDA MICHAEL
 8 Sylvan Pl
 Nutley NJ 07110

NEBELUNG JAMES J
 8 Sylvan Pl
 Nutley NJ 07110

Valuation

	2025 Certified Values	2024 Certified Values	2023 Certified Values	2022 Certified Values
+ Market Improvement Value	\$191,516	\$188,589	\$181,220	\$185,989
+ Market Misc Value	\$4,122	\$3,053	\$3,053	\$3,053
+ Market Land Value	\$1,242,300	\$1,236,240	\$1,036,260	\$802,950
= Just Market Value	\$1,437,938	\$1,427,882	\$1,220,533	\$991,992
= Total Assessed Value	\$1,114,721	\$1,013,383	\$921,257	\$837,506
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$1,437,938	\$1,427,882	\$1,220,533	\$991,992

Historical Assessments

Year	Land Value	Building Value	Yard Item Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value	Maximum Portability
2024	\$1,236,240	\$188,589	\$3,053	\$1,427,882	\$1,013,383	\$0	\$1,427,882	\$0
2023	\$1,036,260	\$181,220	\$3,053	\$1,220,533	\$921,257	\$0	\$1,220,533	\$0
2022	\$802,950	\$185,989	\$3,053	\$991,992	\$837,506	\$0	\$991,992	\$0
2021	\$593,880	\$164,429	\$3,060	\$761,369	\$761,369	\$0	\$761,369	\$0
2020	\$589,335	\$168,439	\$3,067	\$760,841	\$760,841	\$0	\$760,841	\$0
2019	\$621,150	\$144,377	\$3,074	\$768,601	\$707,236	\$0	\$768,601	\$0
2018	\$546,915	\$146,382	\$3,053	\$696,350	\$642,942	\$0	\$696,350	\$0

The Maximum Portability is an estimate only and should not be relied upon as the actual portability amount. Contact our office to verify the actual portability amount.

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
RESIDENTIAL DRY (010D)	3,000.00	Square Foot	30	100

Buildings

Building ID	817	Exterior Walls	ABOVE AVERAGE WOOD		
Style	1 STORY ELEV FOUNDATION	Year Built	1920		
Building Type	S.F.R. - R1 / R1	EffectiveYearBuilt	2005		
Building Name		Foundation	WD CONC PADS		
Gross Sq Ft	1539	Roof Type	GABLE/HIP		
Finished Sq Ft	1187	Roof Coverage	METAL		
Stories	1 Floor	Flooring Type	SFT/HD WD		
Condition	AVERAGE	Heating Type	NONE with 0% NONE		
Perimeter	184	Bedrooms	3		
Functional Obs	0	Full Bathrooms	3		
Economic Obs	0	Half Bathrooms	0		
Depreciation %	28	Grade	450		
Interior Walls	WALL BD/WD WAL	Number of Fire Pl	0		
Code	Description	Sketch Area	Finished Area	Perimeter	
EPB	ENCL PORCH BLK	136	0	0	
FLA	FLOOR LIV AREA	1,187	1,187	0	
OPF	OP PRCH FIN LL	216	0	0	
TOTAL		1,539	1,187	0	

Yard Items

Description	Year Built	Roll Year	Size	Quantity	Units	Grade
CONC PATIO	1975	1976	0 x 0	1	488 SF	2
FENCES	1982	1983	3 x 26	1	78 SF	5
WALL AIR COND	1991	1992	0 x 0	1	1 UT	2
CUSTOM PATIO	1992	1993	5 x 6	1	30 SF	2
CH LINK FENCE	1992	1993	4 x 80	1	320 SF	1

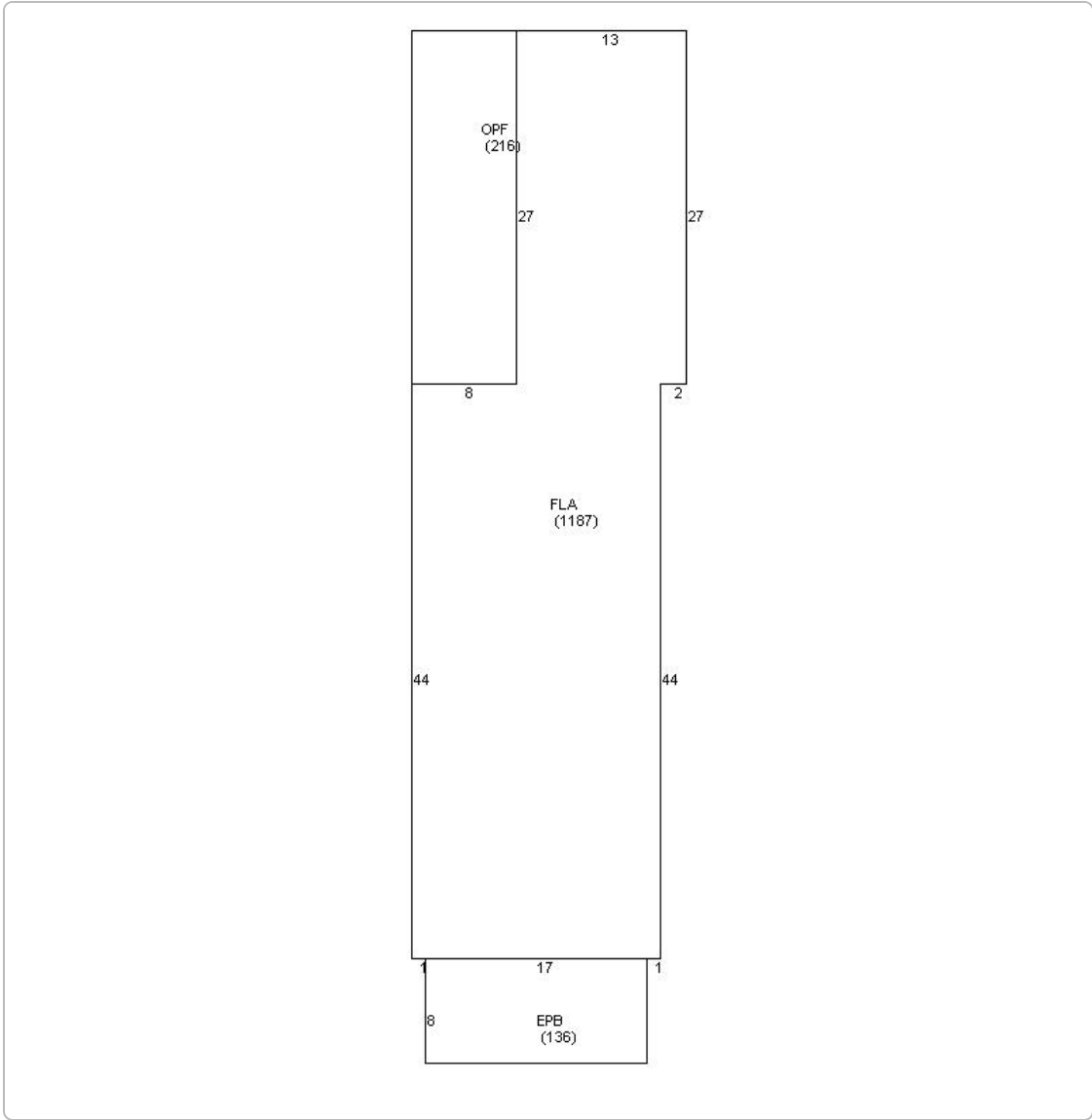
Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved	Grantor	Grantee
6/15/2004	\$789,000	Warranty Deed		2017	1573	Q - Qualified	Improved		
2/1/1985	\$80,000	Warranty Deed		934	361	Q - Qualified	Improved		
8/1/1983	\$69,300	Warranty Deed		888	978	Q - Qualified	Improved		
5/1/1980	\$40,000	Warranty Deed		820	2453	Q - Qualified	Improved		

Permits

Number	Date Issued	Status	Amount	Permit Type	Notes
23-3417	12/18/2023	Active	\$16,000	Residential	NEW DUCTLESS AC INSTALL WITH VENTALATION
17-2919	07/27/2017	Completed	\$9,000		RE ROODF 24X42 MAIN ROOF AREA TO VIC METAL SHINGLES.
09-3491	10/14/2009	Completed	\$4,650		TEAR OFF EXISTNG EPDM ROOFING SYSTEM. INSTALL 800sf OF WHITE SINGLE PLY ON REAR FLAT ROOF

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