

# **Staff Report**

- 6 Remove existing five skylights and patch with same type of roofing which is v-crimp- **#1008 Eaton Street- Daniel Acevedo (H11-01-1325) After the fact**

This staff report is for the review for a Certificate of Appropriateness for an after the fact project. The house located at #1008 Eaton Street is listed as a contributing resource in the surveys. The one and a half story frame structure was built circa 1889. Since staff received the application we have been requesting by phone and in person the clarification of the scope of work as well as the existing location of the "skylights" and photos. The response from the applicant was that he will submit the photos but staff never received them. On the building permit application the applicant wrote:

*Remove 5 ex[terior] roof hatches and roof over them with v-crimp panels to allow GC to replace rotten wood and reinstall panels*

There is a big difference between hatches and scuttles and skylights. The applicant recognized last week that he did the work and that indeed there were no skylights but scuttles and that the project was an emergency. Staff was never told by the applicant that this project was an emergency and there was no note on the applications of such emergency.

Staff understands that the guidelines for roofing can be reviewed for this application:

Roofing (page 26);

*...Roof form and secondary features such as dormers, chimneys, and other details are important in defining the architectural style of the building.*

*(4) The form and configuration of a roof must not be altered in pitch, design, materials or shape unless the resulting changes would return the roof to a verifiable and appropriate historical form. Original features such as scuttles, chimneys and roof porches should not be removed or altered.*

Solar Collectors, Scuttles and Skylights (page 28);

*(3) Original wood roof windows, scuttles, and skylights should be retained and repaired whenever possible.*

Staff verified that, at least the front gable roof used to have three scuttles. The aerial photo from Google earth of 2010 shows three scuttles on the front gable. As per today the roof has v-crimp, some of it looks new and the three scuttles that used to be part of the front gable roof have disappeared.

This is an after the fact work done. The applicant is a roofing contractor.

# **Application**



CITY OF KEY WEST Fax 809-3978  
BUILDING DEPARTMENT

CERTIFICATE of APPROPRIATENESS

APPLICATION # 11-01-1325

OWNER NAME: RPV Realty TRUST

DATE: Oct 3 2011

OWNERS ADDRESS: 1008 Eaton ST

PHONE #: 296 6666

APPLICANT'S NAME: Daniel Acevedo

PHONE #: 294 2424

APPLICANT'S ADDRESS: 571 Park Dr

ADDRESS OF CONSTRUCTION: 1008 Eaton ST

# OF UNITS: 1

THERE WILL BE A FINAL INSPECTION REQUIRED UNDER THIS PERMIT

DETAILED DESCRIPTION OF WORK:  
Remove EXISTING 5X skylights and  
Patch with same type of Roofing  
which is V-camp

OCT 03 2011  
MC 1:30

Chapter 837.06 F.S.- False Official Statements- Whoever knowingly makes a false statement in writing with the intent to mislead a public servant in the performance of his or her official duty shall be guilty of a misdemeanor of the second degree punishable as provided for in s. 775.082 or s. 775.083

\*\*\*\*\*

This application for Certificate of Appropriateness must precede applications for building permits, variances and development review approvals. Applications must meet or exceed the requirements outlined by the Secretary of the Interior's Standards for Rehabilitation and Key West's Historic Architectural Guidelines.

Once completed, the application shall be reviewed by staff for completeness and either approved or scheduled for presentation to the Historic Architectural Review Commission at the next available meeting. The applicant must be present at this meeting. The filing of this application does not ensure approval as submitted.

Applications that do not possess the required submittals will be considered incomplete and will not be reviewed for approval.

REQUIRED SUBMITTALS

TWO SETS OF SCALED DRAWINGS OF FLOOR PLAN, SITE PLAN AND EXTERIOR ELEVATIONS (for new buildings and additions)
TREE REMOVAL PERMIT (if applicable)
PHOTOGRAPHS OF EXISTING BUILDING (repairs, rehabs, or expansions)
PHOTOGRAPHS OF ADJACENT BUILDINGS (new buildings or additions)
ILLUSTRATIONS OF MANUFACTURED PRODUCTS TO BE USED SUCH AS SHUTTERS, DOORS, WINDOWS, PAINT COLOR CHIPS, AND AWNING FABRIC SAMPLES

Staff Use Only

Date: \_\_\_\_\_

Staff Approval: \_\_\_\_\_

Fee Due: \$ \_\_\_\_\_

Date: Oct 3 2011  
Applicant Signature: *[Signature]*

HISTORIC ARCHITECTURAL REVIEW APPLICATION

# HISTORIC ARCHITECTURAL REVIEW COMMISSION USE ONLY

\*\*\*\*\*

Approved \_\_\_\_\_

Denied \_\_\_\_\_

Deferred \_\_\_\_\_

Reason for Deferral or Denial:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

HARC Comments:

*listed as contributing. House was built c. 1889 frame  
Urnacular. Guidelines for Roofing: (page 26)*

Limit of Work Approved, Conditions of Approval and/or Suggested  
Changes:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Date: \_\_\_\_\_

Signature: \_\_\_\_\_

Historic Architectural  
Review Commission



BUILDING CODE COMPLIANCE OFFICE (BCCO)  
PRODUCT CONTROL DIVISION

MIAMI-DADE COUNTY, FLORIDA  
METRO-DADE FLAGLER BUILDING  
140 WEST FLAGLER STREET, SUITE 1603  
MIAMI, FLORIDA 33130-1563  
(305) 375-2901 FAX (305) 375-2908

**NOTICE OF ACCEPTANCE (NOA)**

**Metal Sales Manufacturing Corporation**  
545 South 3<sup>rd</sup> Street, Suite 200  
Louisville, KY. 40202

**SCOPE:**

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed by Miami-Dade County Product Control Division and accepted by the Board of Rules and Appeals (BORA) to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Division (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. BORA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Division that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the High Velocity Hurricane Zone of the Florida Building Code.

**DESCRIPTION: 5V Crimp Metal Roofing System**

**LABELING:** Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

**RENEWAL** of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

**TERMINATION** of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

**ADVERTISEMENT:** The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

**INSPECTION:** A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This revises NOA # 09-0105.09 and consists of pages 1 through 8.  
The submitted documentation was reviewed by Alex Tigera.



NOA No 09-0929.03  
Expiration Date: 06/29/13  
Approval Date: 12/02/09  
Page 1 of 8

**ROOFING SYSTEM APPROVAL:**

**Category:** Roofing  
**Sub-Category:** Metal, Panels (Non-Structural)  
**Material:** Steel  
**Deck Type:** Wood  
**Maximum Design Pressure** -196.75 psf

**TRADE NAMES OF PRODUCTS MANUFACTURED OR LABELED BY APPLICANT:**

<u>Product</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>
5V-Crimp Metal Roof	l = varies w = 24" h = 1/2" Min. Thickness 0.0179" (26ga.)	TAS 110	Corrosion resistant, galvanized, preformed, coated, prefinished, metal panels.
Trim Pieces	l = varies w = varies Min. Thickness 0.0179" (26ga.)	TAS 110	Standard flashing and trim pieces. Manufactured for each panel width.

**EVIDENCE SUBMITTED:**

<u>Test Agency</u>	<u>Test Identifier</u>	<u>Test Name/Report</u>	<u>Date</u>
Akzo Coatings		ASTM G 23 ASTM B 117	
Valspar Corporation		ASTM G 23 ASTM B 117	
Underwriters Laboratory	R9697	UL 790	July 1998
PRI Construction Materials	MSMC-003-02-01	TAS-100	June 2006
Celotex Corporation Testing Services	MTS 520103	ASTM E 8	Jan. 1999
Hurricane Test Laboratory, Inc.	0103-1213-98 0103-0712-09	TAS 125 TAS 125	Dec. 1998 Sept 2009
Farabaugh Engineering and Testing, Inc.	T181-05 T235-07 T240-09	TAS 125 TAS 125 TAS 125	July 2005 July 2007 Sept 2009



NOA No 09-0929.03  
 Expiration Date: 06/29/13  
 Approval Date: 12/02/09  
 Page 2 of 8

**APPROVED ASSEMBLIES:**

**SYSTEM A:** 5V-Crimp Metal Roof Panel  
**Deck Type:** Wood, Non-insulated  
**Deck Description:** New Construction  
<sup>19</sup>/<sub>32</sub>" or greater plywood or wood plank.  
**Maximum Uplift Pressure:** See **Table A** below

**Deck Attachment:** In accordance with applicable Building Code, but in no case shall it be less than 8d ring shank nails spaced 6" o.c. In reroofing, where the deck is less than <sup>19</sup>/<sub>32</sub>" thick (Minimum <sup>15</sup>/<sub>32</sub>" ) the above attachment method must be in addition to existing attachment.

**Underlayment:** Minimum underlayment shall be an ASTM D 226 Type II installed with a minimum 4" side-lap and 6" end-laps. Underlayment shall be fastened with corrosion resistant tin-caps and 12 gauge 1 1/4" annular ring-shank nails, spaced 6" o.c. at all laps and two staggered rows 12" o.c. in the field of the roll. Or, any approved underlayment having a current NOA.

**Valleys:** Valley construction shall be in compliance with Roofing Application Standard RAS 133 and with Metal Sales Manufacturing Corporation's current published installation instructions.

**Fire Barrier Board:** Any approved fire barrier having a current NOA. Or for class A or B fire rating, install minimum 1/4" thick Georgia Pacific "Dens Deck" (with current NOA) or minimum 4mm thick of Tritex, RockRoof (with current NOA) or 5/8" water resistant type X gypsum sheathing with treated core and facer.

**Metal Panels and Accessories:**

Install the "5V-Crimp Panels" and accessories in compliance with Metal Sales Manufacturing Corporation's current, published installation instructions and details. Flashing, penetrations, valley construction and other details shall be constructed in compliance with the minimum requirements provided in Roofing Application Standards RAS 133.

Panel fasteners shall be #9-15 x 1-1/2" self drilling, self tapping, hex head screws with sealing washer of sufficient length to penetrate through the sheathing a minimum of 3/16 inch.

Fasteners shall be installed at a maximum spacing as listed in **Table A** below parallel to the slope. Fasteners shall be installed at a maximum of 12" o.c. at panel edge. See detail herein.

TABLE A MAXIMUM DESIGN PRESSURE		
	Field	Perimeter and Corner <sup>1</sup>
Maximum Design Pressure	-74.8 psf	-196.75 psf
Maximum Fastener Spacing	16" o.c.	8" o.c.
1. Extrapolation shall not be allowed		





**SYSTEM B:** 5V-Crimp Metal Roof Panel  
**Deck Type:** Wood, Non-insulated  
**Deck Description:** New Construction  
<sup>19</sup>/<sub>32</sub>" or greater plywood or wood plank.  
**Maximum Uplift Pressure:** See **Table B** below

**Deck Attachment:** In accordance with applicable Building Code, but in no case shall it be less than 8d ring shank nails spaced 6" o.c. In reroofing, where the deck is less than <sup>19</sup>/<sub>32</sub>" thick (Minimum <sup>15</sup>/<sub>32</sub>" ) the above attachment method must be in addition to existing attachment.

**Underlayment:** Minimum underlayment shall be an ASTM D 226 Type II installed with a minimum 4" side-lap and 6" end-laps. Underlayment shall be fastened with corrosion resistant tin-caps and 12 gauge 1 1/4" annular ring-shank nails, spaced 6" o.c. at all laps and two staggered rows 12" o.c. in the field of the roll. Or, any approved underlayment having a current NOA.

**Valleys:** Valley construction shall be in compliance with Roofing Application Standard RAS 133 and with Metal Sales Manufacturing Corporation's current published installation instructions.

**Fire Barrier Board:** Any approved fire barrier having a current NOA. Or for class A or B fire rating, install minimum 1/4" thick Georgia Pacific "Dens Deck" (with current NOA) or minimum 4mm thick of Tritex, RockRoof (with current NOA) or 5/8" water resistant type X gypsum sheathing with treated core and facer.

**Metal Panels and Accessories:** Install the "5V-Crimp Panels" and accessories in compliance with Metal Sales Manufacturing Corporation's current, published installation instructions and details. Flashing, penetrations, valley construction and other details shall be constructed in compliance with the minimum requirements provided in Roofing Application Standards RAS 133.  
 Panel fasteners shall be #9-15 x 1-1/2" self drilling, self tapping, hex head screws with sealing washer of sufficient length to penetrate through the sheathing a minimum of 3/16 inch.  
 Fasteners shall be installed at a maximum spacing as listed in **Table B** below parallel to the slope. Fasteners shall be installed at a maximum of 6" o.c. at panel edge. See detail herein.

TABLE B MAXIMUM DESIGN PRESSURE		
	Field	Perimeter and Corner <sup>1</sup>
Maximum Design Pressure	-84.5 psf	-131.3 psf
Maximum Fastener Spacing	24" o.c.	18" o.c.

1. Extrapolation shall not be allowed



## SYSTEM LIMITATIONS

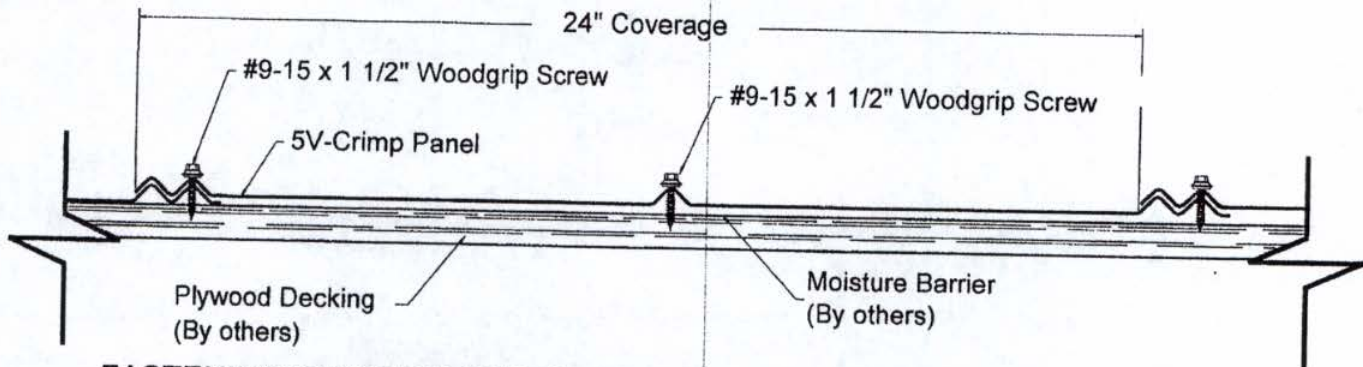
1. Neither rational analysis, nor extrapolation shall be permitted for the maximum design pressures listed in the "Perimeter and Corner" roof areas as noted in Table "A" herein.
2. Panel shall be roll formed in continuous lengths from eave to ridge. Maximum lengths shall be described in the Roofing Application Standard RAS 133.
3. All panels shall be permanently labeled with the manufacturer's name and/or logo, and the following statement: "Miami-Dade County Product Control Approved."

## MANUFACTURING LOCATION

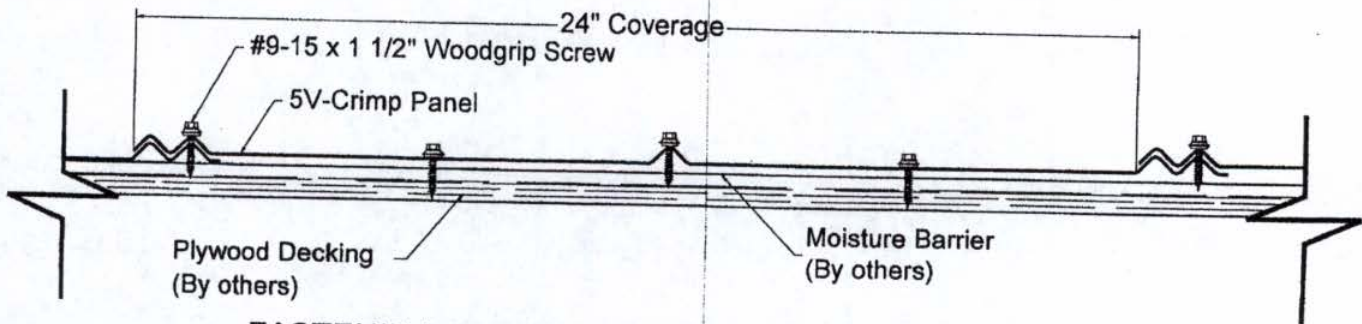
7110 Stuart Avenue  
Jacksonville, FL. 32254

## PROFILE DRAWINGS:

### DETAIL A 5V-CRIMP METAL ROOF PANEL



### FASTENING PATTERN FOR 5V-CRIMP AT INTERIOR OF PANEL



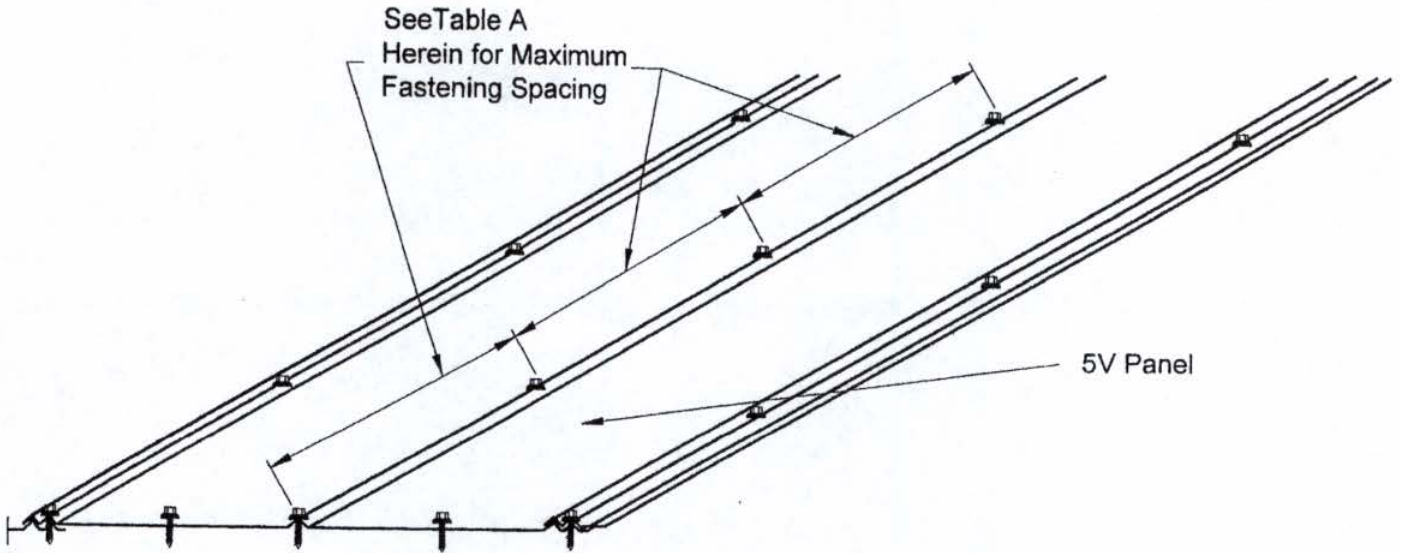
### FASTENING PATTERN FOR 5V-CRIMP AT EAVE



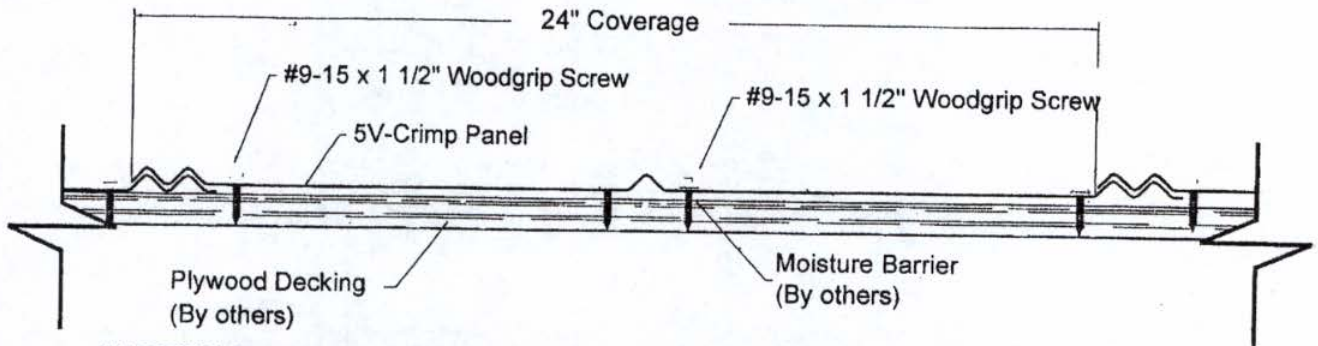
Expiration Date: 06/29/13  
Approval Date: 12/02/09  
Page 5 of 8

**PROFILE DRAWINGS:**

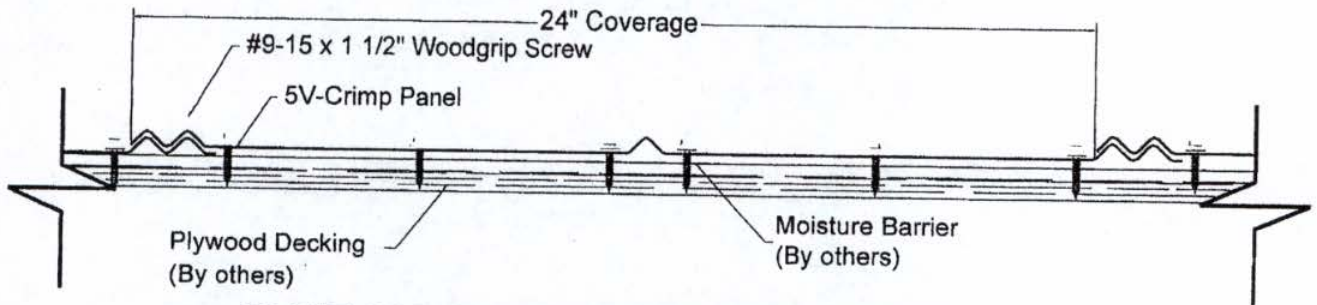
**5V-CRIMP METAL ROOF PANEL**



DETAIL B



FASTENING PATTERN FOR 5V-CRIMP AT INTERIOR OF PANEL

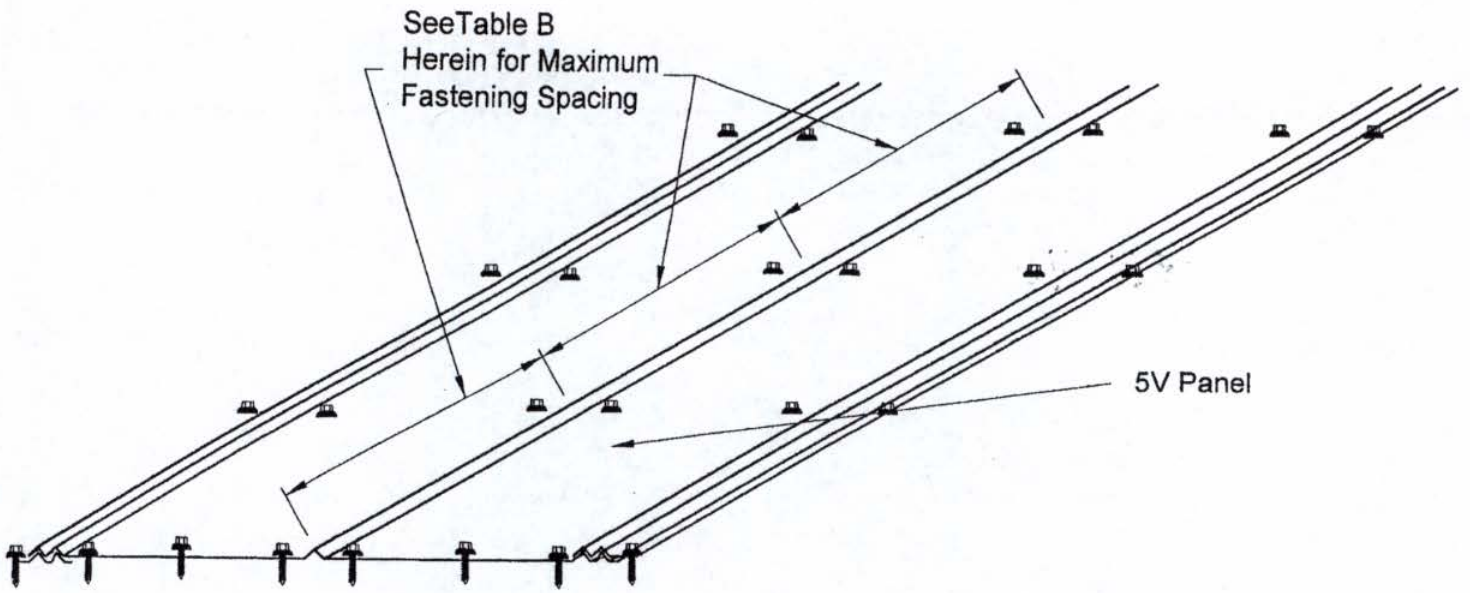


FASTENING PATTERN FOR 5V-CRIMP AT EAVE

OCT 03 2011

MC 1:30



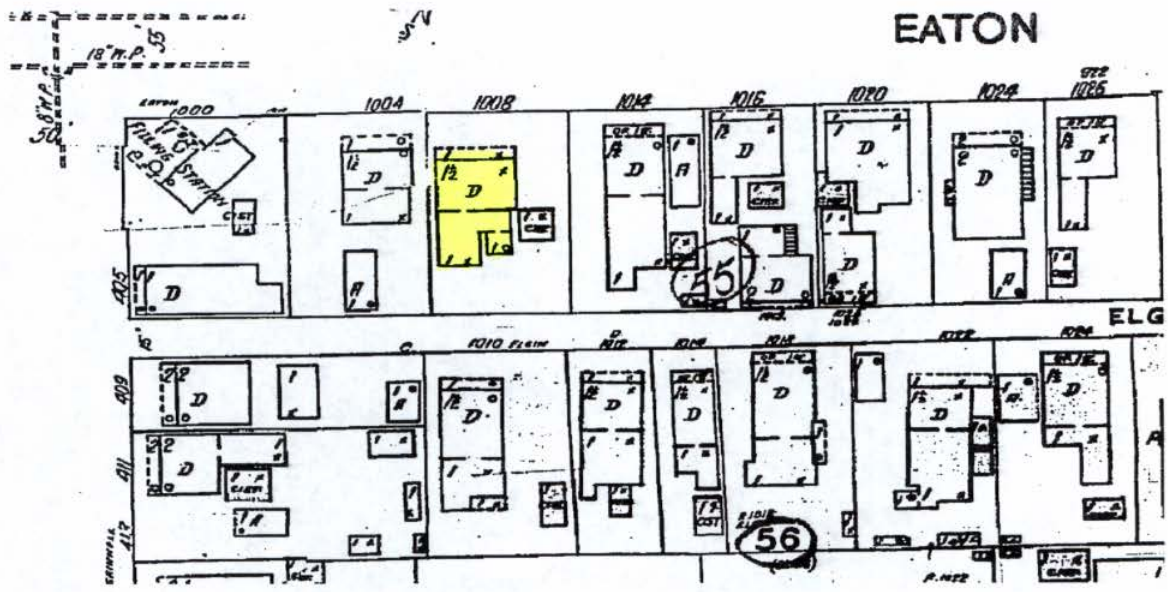


**END OF THIS ACCEPTANCE**

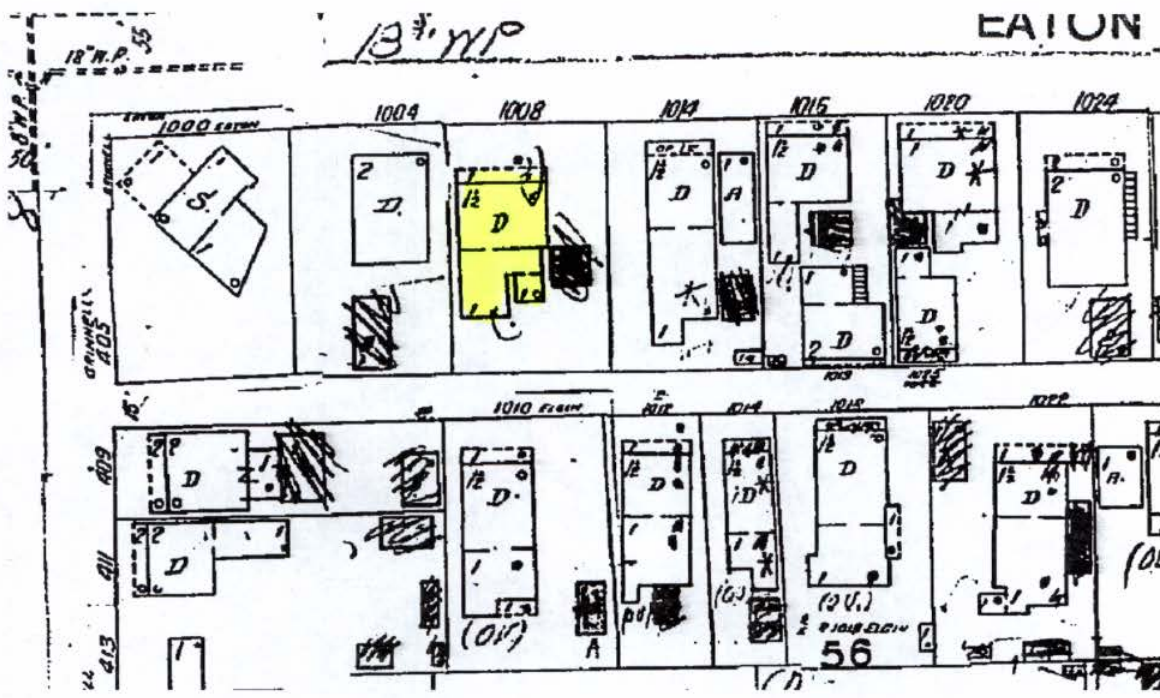


NOA No 09-0929.03  
Expiration Date: 06/29/13  
Approval Date: 12/02/09  
Page 8 of 8

# **Sanborn Maps**



#1008 Eaton Street 1948 Sanborn map



#1008 Eaton Street 1962 Sanborn map



# **Project Photos**

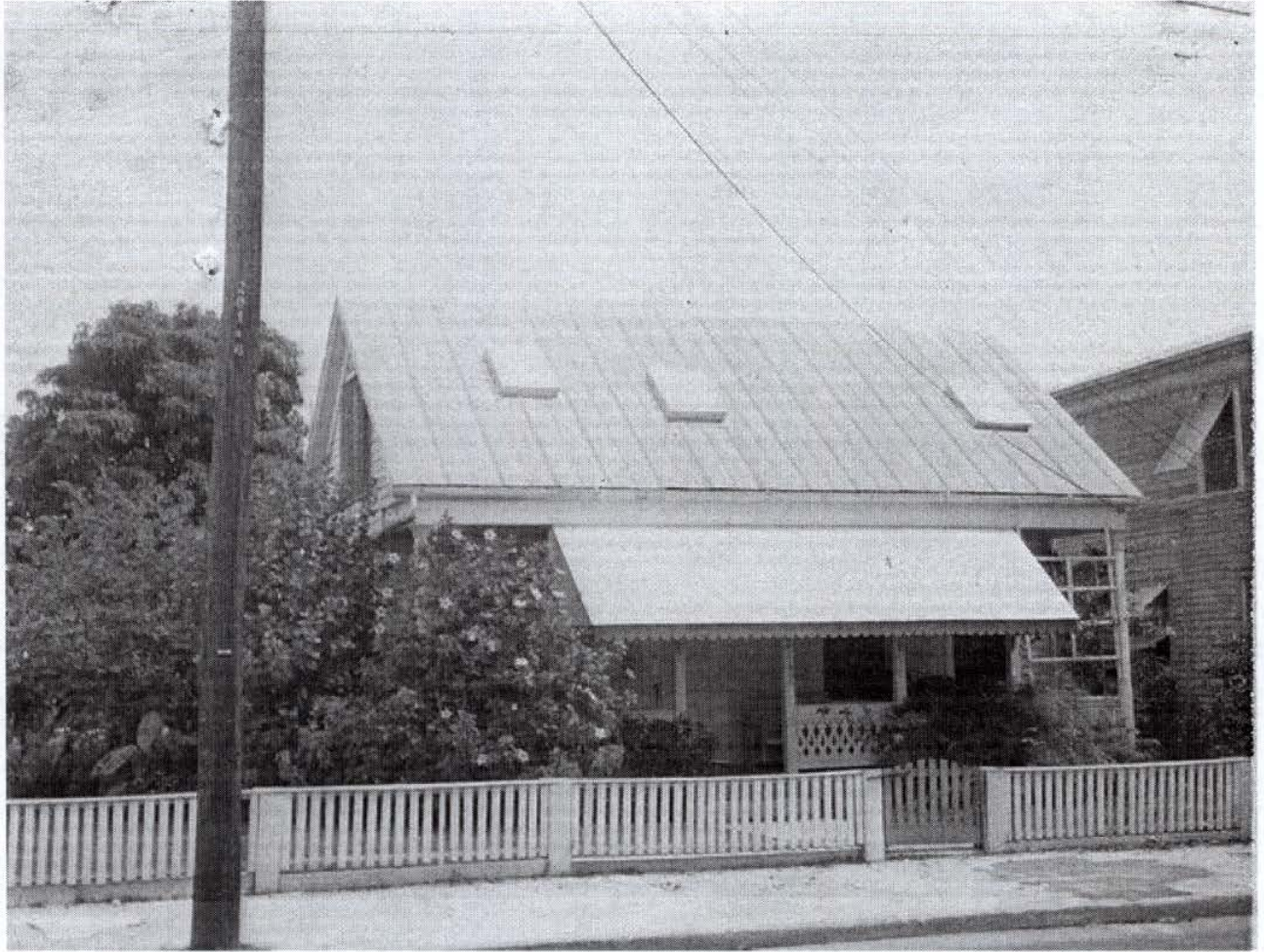


Photo taken by Property Appraiser's office c1965; 1008 Eaton Street; built c1889;  
Monroe County Library







Google earth



Notice 3 scuttles on the front gable.  
imagery date 12/27/2010

## **Miscellaneous Information**



# HISTORICAL STRUCTURE FORM

Electronic Version 1.1.0

Site #8 MO00421  
 Recorder # \_\_\_\_\_  
 Field Date \_\_\_\_\_  
 Form Date \_\_\_\_\_  
 FormNo 200402  
 FormNo = Field Date (YYYYMM)

First Site Form Recorded for this Site? NO

## GENERAL INFORMATION

Site Name (address if none) NEBLETT, DORIS S HOUSE Multiple Listing (DHR only) \_\_\_\_\_  
 Other Names \_\_\_\_\_ >> \_\_\_\_\_  
 Survey or Project Name Key West Historic Resources Survey Survey# \_\_\_\_\_  
 National Register Category Building(s)

## LOCATION & IDENTIFICATION

### Address

Street No.	Direction	Street Name	Street Type	Direction Suffix
<u>1008</u>		<u>EATON</u>	<u>Street</u>	

Cross Streets (nearest/ between) FRANCES/GRINNELL  
 City / Town (within 3 miles) KEY WEST In Current City Limits? YES  
 County Monroe Tax Parcel #(s) RE-5210.000000  
 Subdivision Name \_\_\_\_\_ Block \_\_\_\_\_ Lot \_\_\_\_\_  
 Ownership Private Individual  
 Name of Public Tract (e.g., park) \_\_\_\_\_  
 Route to (especially if no street address) W SIDE OF EATON BETWEEN FRANCES AND GRINNELL

## MAPPING

USGS 7.5' Map Name \_\_\_\_\_ Publication Date >> KEY WEST, 1971  
 Township: \_\_\_\_\_ Range: \_\_\_\_\_ Section: \_\_\_\_\_ 1/4 section: \_\_\_\_\_ >> 67S ; 25E ; ; UNSP  
 Irregular Section Name: \_\_\_\_\_  
 Landgrant \_\_\_\_\_  
 UTM: Zone 0 Easting 0 Northing 0  
 Plat or Other Map (map's name, location) \_\_\_\_\_

## DESCRIPTION

Style Frame Vernacular Other Style \_\_\_\_\_  
 Exterior Plan Irregular Other Exterior Plan \_\_\_\_\_  
 Number of Stories 1.5  
 Structural System(s) >> Wood frame  
 Other Structural System(s) \_\_\_\_\_  
 Foundation Type(s) >> Piers  
 Other Foundation Types \_\_\_\_\_  
 Foundation Material(s) >> Other  
 Other Foundation Material(s) CORAL BLOCK  
 Exterior Fabric(s) >> Board and batten  
 Other Exterior Fabric(s) \_\_\_\_\_  
 Roof Type(s) >> Gable  
 Other Roof Type(s) \_\_\_\_\_  
 Roof Material(s) >> Other  
 Other Roof Material(s) V CRIMP  
 Roof Secondary Structure(s) (dormers etc) >> Unspecified  
 Other Roof Secondary Structure(s) \_\_\_\_\_  
 Number of Chimneys 0  
 Chimney Material Not applicable  
 Other Chimney Material(s) \_\_\_\_\_  
 Chimney Location(s) NOT APPLICABLE

# HISTORICAL STRUCTURE FORM

8MO00421

## DESCRIPTION (continued)

Window Descriptions DHS 6/6, GLASS JALOUSIE

Main Entrance Description (stylistic details) \_\_\_\_\_

Porches: #open \_\_\_\_\_ #closed \_\_\_\_\_ #incised 1 Location(s) INCISED ENTRY W

Porch Roof Types(s) \_\_\_\_\_

Exterior Ornament SCUTTLES, DECORATIVE BALUSTERS

Interior Plan Unspecified

Other Interior Plan \_\_\_\_\_

Condition Good

### Structure Surroundings

Commercial: SOME of this category Residential: SOME of this category

Institutional: SOME of this category Undeveloped: SOME of this category

Ancillary Features (Number / type of outbuildings, major landscape features) \_\_\_\_\_

Archaeological Remains (describe): NONE OBSERVED

If archaeological remains are present, was an Archaeological Site Form completed? NO

Narrative Description (optional) THERE IS AN UNUSUAL FIXED AWNING AT THE FRONT OF THE PORCH

## HISTORY

Construction year C1889

Architect (last name first): UNKNOWN

Builder (last name first): UNKNOWN

### Changes in Locations or Conditions

Type of Change	Year of Change	Date Change Noted	Description of Changes
>> <u>Unspecified;;;</u>			

>> Unspecified;;;

### Structure Use History

Use \_\_\_\_\_ Year Use Started \_\_\_\_\_ Year Use Ended \_\_\_\_\_ >> Private residence;;

Other Structure Uses \_\_\_\_\_

Ownership History (especially original owner, dates, profession, etc.) UNSPECIFIED

## RESEARCH METHODS

Research Methods \_\_\_\_\_ >> Examine local tax records

Other research methods Sanborn Maps

## SURVEYOR'S EVALUATION OF SITE

Potentially Eligible for a Local Register? YES Name of Local Register if Eligible Key West Historic District

Individually Eligible for National Register? NO

Potential Contributor to NR District? YES

Area(s) of historical significance \_\_\_\_\_ >> Architecture

Other Historical Associations \_\_\_\_\_

Explanation of Evaluation (required) This is a contributing resource in the Key West Historic District, listed in the National Register



# HISTORICAL STRUCTURE FORM

8MO00421

## DOCUMENTATION (Photos, Plans, etc.)

Photographic Negatives or Other Collections Not Filed with FMSF, including Field Notes, Plans, other Important Documents:

Document type: \_\_\_\_\_ Maintaining Organization: \_\_\_\_\_  
File or Accession #: \_\_\_\_\_ Descriptive Information: \_\_\_\_\_

>> ;;; Photographs (Archived)

## RECORDER INFORMATION

Recorder Name (Last, First) Geoff Henry, Shelby Spillers, Heather Yost  
Recorder Address / Phone 200 Orchard Ridge Dr, Suite 101, Gaithersburg, MD 20878 (301)258-9780  
Recorder Affiliation Other Other Affiliation URS Corporation  
Is a Text-Only Supplement File Attached (Surveyor Only)? NO

## \*\*\*\*\* MASTER SITE FILE USE ONLY \*\*\*\*\*

Cultural Resource Type: SS

Electronic Form Used: S110

Form Type Code: NORM

Form Quality Ranking: NEW

Form Status Code: SCAT

SHPO's Evaluation of Resource

\_\_\_\_\_ Date \_\_\_\_\_

Supplement Information Status: NO SUPPLEMENT

Supplement File Status: NO SUPPLEMENT FILE

FMSF Staffer: RECORDERS SMARTFORM

Computer Entry Date: 3/4/2004

Form Comments: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

### REQUIRED PAPER ATTACHMENTS

- (1) USGS 7.5" MAP WITH STRUCTURE PINPOINTED IN RED
- (2) LARGE SCALE STREET OR PLAT MAP
- (3) PHOTO OF MAIN FACADE, B&W, AT LEAST 3"X5"

# MO00421-200402

## Supplementary Printout

- > [Other name(s)]:
  
- > **USGS map name/year of publication or revision:**  
KEY WEST;1971
  
- > **Township/Range/Section/Qtr:**  
67S ;25E ;;UNSP
  
- > **Foundation types:**  
Piers
  
- > **Foundation materials:**  
Other
  
- > **Exterior fabrics:**  
Board and batten
  
- > **Roof types:**  
Gable
  
- > **Roof materials:**  
Other
  
- > **Roof secondary structures (dormers etc):**  
Unspecified
  
- > **Change status/year changed/date noted/nature:**  
Unspecified;;;
  
- > **Original, intermediate, present uses/year started/year ended:**  
Private residence;;  
Private residence;C1889;
  
- > **Research methods:**  
Examine local tax records
  
- > **Area(s) of historical significance:**  
Architecture
  
- > **Repositories: Collection/Housed/Accession#/Describe**  
;;;Photographs (Archived)
  
- > **Structural system(s):**  
Wood frame

THE CITY OF KEY WEST  
CITY ELECTRIC

CONT

THE CITY OF KEY WEST  
CITY ELECTRIC RE 171

THE CITY OF  
KEY WEST  
CITY ELECTRIC  
PARCEL NO. 1

CITY ELECTRIC  
OFFICE  
RE 170

STRUNK LUMBER

RE 168

1.83 AC.

JAMES STREET

638 698 TR 681

1025 1026 1024

1018 1016 1014 1012 1010 1008 1006 1004 1002 1000

40' 40' MICHAEL R & LUZ MARRIA O'MAHONEY RE 268	40' JOANNE N. CARLSON 8	40' RICHARD H. ADAMS 7	40' BOYD B. FORD 6	40' DANIEL L. BROWN 5	40' HOLLAND HEARD 4	40' BENJAMIN E. RIZENE & GIBSON 3	40' JOHN H. JONES ETUX RE 259	40' THOMAS J. HARRIS RE 257	40' MARTIN YAGER ETUX RE 256
40' JACOB & CHANA ZUCKER RE 266	40' MARLYN WILLIAMS RE 264	40' MARLYN WILLIAMS RE 264	40' MARLYN WILLIAMS RE 264	40' DANIEL L. BROWN RE 262	40' HOLLAND HEARD RE 261	40' BENJAMIN E. RIZENE & GIBSON RE 261	40' JOHN H. JONES ETUX RE 259	40' THOMAS J. HARRIS RE 257	40' MARTIN YAGER ETUX RE 256

UPTON

BOYCOURT

1017 1015 1013 1011 1009 1007 1005 1003 1001

107' THOMAS & KATHLEEN R. HICKS 419	107' JOHNSON J. JOHN RE 251	107' FLORENE SANDS 4	107' RENE A. STINGER 19	107' JOSEPH A. GANDOLFO 9	107' LULA L. MCCLINTOCK 8	107' LULA MCCLINTOCK 7	107' MARION SERELIS ETAL 6
107' THOMAS & KATHLEEN R. HICKS RE 255	107' JOHNSON J. JOHN RE 251	107' FLORENE SANDS RE 250	107' RENE A. STINGER RE 249	107' JOSEPH A. GANDOLFO RE 248	107' LULA L. MCCLINTOCK RE 246	107' LULA MCCLINTOCK RE 245	107' MARION SERELIS ETAL RE 244

ELGIN

1008 1006 1004 1002 1000

50' MARY A. MICHAEL 1	50' LESLIE J. VOLLMERT 2	50' COUGHLIN ENTERPRISES 431	50' COUGHLIN ENTERPRISES L.L.C. 433	50' SHERI SMALLWOOD 425	50' EATON MANOR 428	50' EATON MANOR 427	50' SILVIO 8
50' MARY A. MICHAEL RE 520	50' LESLIE J. VOLLMERT RE 529	50' COUGHLIN ENTERPRISES RE 521	50' COUGHLIN ENTERPRISES L.L.C. RE 528	50' SHERI SMALLWOOD RE 511	50' EATON MANOR RE 516	50' EATON MANOR RE 515	50' SILVIO RE 513

BRANDRELL

ELGIN

1010 1008 1006 1004 1002 1000

100' LEO A. PONGNER & LEO A. PONGNER RE 523	100' SANFORD R. THIGPEN 444	100' WM. A. B. MARIE C. CIMINO & JACKIE ELINE WARD 448	100' MICHAEL MACINTYRE 449	100' MICHAEL MACINTYRE 509
100' LEO A. PONGNER & LEO A. PONGNER RE 523	100' SANFORD R. THIGPEN RE 527	100' WM. A. B. MARIE C. CIMINO & JACKIE ELINE WARD RE 518	100' MICHAEL MACINTYRE RE 519	100' MICHAEL MACINTYRE RE 512

FLEMING

554

421

50' R/W

50' R/W

CONTINUED ON PAGE NO. 10

421



M0421  
1008 Eaton Street  
Key West  
Monroe  
Feb. 2004

# Application For Roofing Permit

(OFFICE USE ONLY)

**THE CITY OF KEY WEST**

OCT 03 2011

#11-3666  
10-4-2011  
MC

04 Simonton St. Key West FL 33040  
Phone: 305-808-3956 Fax: 305-809-3978

**Note: All owner builders must apply in person and be present at time of all inspections**

At time of submittal a \$60 application fee is due.

Street Address of proposed construction:

1008 Eaton Street Kw Fl 33040

Property owners name as appears in deed:

RPV Realty Trust

Phone #:

Property owner's mailing address:

24 Gulf Hill Dr. So Dartmouth MA 02748

E-mail:

Contractors name:

Dan Ace Roofing, Inc.

Phone #: 305-294-2380

Contractor's address:

571 Park Dr Kw Fl 33040

E-Mail: dan@danroofing.com

Architect/Engineer's Name:

Phone #: bellsouth.net

Architect/Engineer's Address:

E-mail: 1

Describe proposed construction in detail including quantities and # of squares:

Number of Squares or Square Footage:  
remove 5 ex roof patches and roof over them w/ v-chimp to side porch rem ex v-chimp panels to allow GC to replace rotten wood & reinstall panels

Number of Dwelling Units

Type of work. Circle all that apply

New Construction  Commercial   
Addition  After The Fact   
Renovation/Repair

Estimated Cost of Work

\$ 1700.00

HARC# 11-01-1325

Warning to owner: Your failure to record a notice of commencement may result in your paying twice for improvements to your property. If you intend to obtain financing, consult with your lender or an attorney before recording your notice of commencement.

As owner or contractor of record for this project agree that I will comply with the provisions of Florida Statute 469.003 and to notify the Department of Environmental Protection of my intent to demolish/reverse a structure and remove asbestos, when applicable, in accordance with state and federal law. I hereby certify that I have read and examined this application and know that same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with, whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any local, state or federal laws regulating construction or the performance of construction.

Notice: In addition to the requirements of this permit, there may be DEED RESTRICTIONS and/or additional restrictions applicable to this property that may be found in the public records of this county and there may be additional permits required from other government entities such as water management districts, state agencies or federal agencies.

Chapter 837.06 F.S. False Official Statements- Whoever knowingly makes a false statement in writing with the intent to mislead a public servant in the performance of his or her official duty shall be guilty of a misdemeanor of the second degree punishable as provided for in s. 775.082 or s. 775.083

I have obtained all necessary approvals from Associations, Government Agencies, H.A.R.C. and other parties as applicable, in order to complete the above described work.

I have obtained all necessary approvals from Associations, Government Agencies, H.A.R.C. and other parties as applicable, in order to complete the above described work.

Home Owner's Printed Name:

Contractor Qualifier: Daniel Acevedo

Home Owner Signature:

Signature of Qualifier: [Signature]

State of Florida County of Monroe Sworn to and scribed before me this

day of , 20

State of Florida County of Monroe Sworn to and scribed before me this 19th day of Sept, 2011

by: [Signature]

(seal)

(seal)



Personally known or Produced Identification

Personally known or Produced Identification

(office use only)

Building Official, Assistant Building Official or Plan Reviewer reviewed for issuance of permit

Cost of Permit: \$

Oper: CMLKER Date: 10/04/11 50 2011 3666 Type: BP Receipt no: 770  
PT \* BUILDING PE 1 \$50.00  
Trans number: 2686020  
CK CHECK 9370 \$200.00  
Trans date: 10/04/11 Time: 11:43:23

30576-pd  
10339-MC

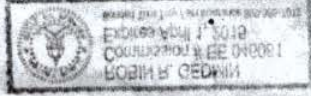
**THE CITY OF KEY WEST**

**Building Department**

604 Simonton St. Key West Florida, 33040

The following list of requirements for **Roofing Permits**, needs to be met before the application package is submitted. This is preliminary list. Additional information may be needed upon review.

**Attention Applicants:** Please fill out the required submittals With an **X** for included materials and an **N/A** for non applicable materials in each required list for the proposed construction.



**Roofing**

- Completed Application
- N.O.A.'s (Notice of Acceptance)
- H.A.R.C. Approval \*\*
- Deed
- Landscape Approval
- Right of Way Approval


\*\* H.A.R.C. must be obtained before submitting application to the building department

= Not a required submittal  
 = required submittal

The office of the building official of the City of Key West, Florida, shall charge and collect for building permits at the rates set forth below:

- (7) Roofing (includes repairs and new roofs):
  - (a) For each 100 square feet or fractional part thereof . . . 12
  - (b) Minimum fee . . . 60

- (15) Penalty. In the event that any work for which a permit is required is commenced or is in process prior to the issuance of a permit by building department, then the fees specified for such work shall be doubled. The payment of a double fee shall not relieve any person from fully complying with the requirements of any applicable code. Notwithstanding the foregoing, the fee for work commenced without a permit shall be a minimum of \$250.00 if the value of the work (labor and materials) is found by the building official to exceed \$1,500.00.
- (16) Reinspection; all instances of reinspection . . . \$25.00

A reinspection fee shall be paid to the city prior to the reinspection. Within ten days of its imposition, a person may appeal a reinspection a written submission to the building official. The building official shall investigate all matters relating to the appeal, and shall provide a reasonable basis in either sustaining or denying the appeal. Payment of a reinspection fee shall be made before the city will issue any further permits relating to the property.

*[Faint handwritten notes and signatures are visible at the bottom of the page, including the name 'ROBERT F. GEDWIN' and various illegible scribbles.]*



City of Key West  
 Building Department  
 3140 Flagler Avenue, Key West, Florida 33040  
 305-809-3956

**IMPROVEMENTS COST ESTIMATES REVIEW FOR NFIP COMPLIANCE**  
 page 1 of 2

**Contractor (or owner-builder) Name:** Daniel Acevedo **License #:** \_\_\_\_\_  
**Address:** 571 Park Dr **Phone #:** \_\_\_\_\_  
**Property Description:** 1008 Eaton St

I hereby attest to the fact that I, or a member of my staff, personally inspected the above mentioned property and have reviewed the applicable drawings related to the repairs, remodeling, renovation, addition, rehabilitation, etc. I have also produced the attached itemized list reflecting the aforementioned work. This information is hereby submitted for a non-substantial improvement review. The aforementioned work is all that is proposed for this structure as shown on the submitted plans. All costs listed herein represent true and valid estimates for the work to be done.

I understand that I am subject to penalties (for any and all violations of this affidavit) if the inspection of the property reveals that I have done work not included within the attached cost breakdown or if any nonconforming or illegal structures or additions are included without having presented plans and charges for such modifications or if any false monetary charges are revealed.

I understand that any permit issued by the City of Key West pursuant to this affidavit does not authorize work on any illegal structures or nonconforming uses on the subject property.

See Attached Itemized List or may use form on reverse of this page

Total Labor and Materials (Including overhead & profit) \$ 1700<sup>00</sup>

State of Florida

County of Monroe

Before me this day personally appeared Daniel Acevedo who being duly sworn deposes and says that he / she attest to the validity of all information submitted herein; and that he / she has read, understands, and agrees to comply with all the aforementioned conditions.

[Signature]  
**Contractor's or Owner-builder Signature**

OCT 3 2011  
**Date**

Sworn to an subscribed before me this \_\_\_\_\_ day of \_\_\_\_\_ A.D. 20\_\_\_\_

\_\_\_\_\_  
**Notary Public State of Florida**

**My Commission Expires:** \_\_\_\_\_



**City of Key West  
Building Department  
3140 Flagler Avenue, Key West, Florida 33040  
305-809-3956**

**IMPROVEMENTS COST ESTIMATES REVIEW FOR NFIP COMPLIANCE**  
page 2 of 2

When submitting an application for remodeling, rehabilitation, and/or additions, each category must be broken down to split labor and materials. The final price must be a total price for the finished product. Cost related to site work is not related to buildings and will not be counted in the cumulative cost. Overhead and profit is counted in the total cost of improvements. You may use additional pages.

Description	Materials		Labor	
	Amount or How many	Cost	Hours	Rate
01. <b>Trusses or roof framing -</b> How many, material cost, labor:				
02. <b>Roofing -</b> Type, quantity, material cost, labor:		\$1,700 <sup>00</sup>		90%
03. <b>Concrete -</b> Slab-quantity, material cost, labor: If columns, augured or driven piles, quantity, steel-form ply.				
04. <b>Rough Carpentry -</b> Ply-wood, 2x4, 4x4, etc., roof, wall, floor sheathing quantity, material cost, labor, siding:				
05. <b>Miscellaneous roofing -</b> Felt, insulation, tar paper, tar & gravel, etc., material cost, labor, blocks:				
06. <b>Interior finish (each room if different) -</b> Type of finish, material cost, labor:				
07. <b>Exterior finish -</b> Type of finish, quantity, material cost, labor:				
08. <b>Windows / Doors -</b> Cost per unit, including installation:				
09. <b>Flooring -</b> Type, quantity, material cost, labor:				
10. <b>Plumbing -</b> Includes toilet(s), sink(s), shower(s), & tub(s). - Total cost of labor & materials. In example: Sub-contractors bid				
11. <b>Mechanical -</b> Including air conditioning units and duct work. - Total cost of labor and materials. In example: Sub-contractors bid				
12. <b>Electrical -</b> Including fixtures & all hard wired or hard plumed appliances total cost labor & material. In example: Sub-contractors bid				
13. <b>Demolition Labor</b>		10%		90%
<b>TOTALS</b>				



# Correspondence



Enid Torregrosa <etorregr@keywestcity.com>

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## 1008 Eaton Street

1 message

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Enid Torregrosa <etorregr@keywestcity.com>

Mon, Dec 5, 2011 at 2:11 PM

To: danaceroofing@bellsouth.net

Dear Danny:

Enclosed please find copy of the public notice and the affidavit for noticing for the above mentioned project. As we spoke I included this project in the next HARC agenda for December 14, 6:00pm at Old City Hall. The public notice needs to be posted in the site at least five days prior to the meeting. The affidavit needs to be submitted, with a photo showing that the notice was posted, at least three days prior to the meeting. The notice needs to be posted on the site and visible from the right-of-way.

Please do not hesitate to contact me if you have any questions.

Have a great day!

*Enid Torregrosa*  
Historic Preservation Planner  
City of Key West  
3140 Flagler Avenue  
Key West, Florida 33040  
305.809.3973 Direct  
305.808.3978 Fax

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### 2 attachments

 **Public notice.doc**  
31K

 **HARC Posting Affidavit.doc**  
28K

# Noticing

# Public Meeting Notice

The Historic Architectural Review Commission will hold a public hearing at 6:00 p.m., December 14, 2011 at Old City Hall, 510 Greene Street, Key West, Florida. The purpose of the hearing will be to consider a request for:

**REMOVE EXISTING 5 SKYLIGHTS AND PATCH WITH SAME TYPE OF  
ROOFING WHICH IS V-CRIMP- AFTER THE FACT  
#1008 EATON STREET**

**Applicant- Daniel Acevedo- Application Number H11-01-1325**

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 3140 Flagler Avenue call 809-3973 or visit our website at [www.keywestcity.com](http://www.keywestcity.com) .

**THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION**

# **Property Appraiser Information**

**Karl D. Borglum**  
**Property Appraiser**  
**Monroe County, Florida**

office (305) 292-3420  
fax (305) 292-3501  
Website tested on  
Internet Explorer

**GIS Mapping requires Adobe Flash 10.3 or higher.**  
**(Due to network upgrades the website will be down from 5pm-7pm on 12/2/2011.)**

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## Property Record View

Alternate Key: 1005398 Parcel ID: 00005210-000000

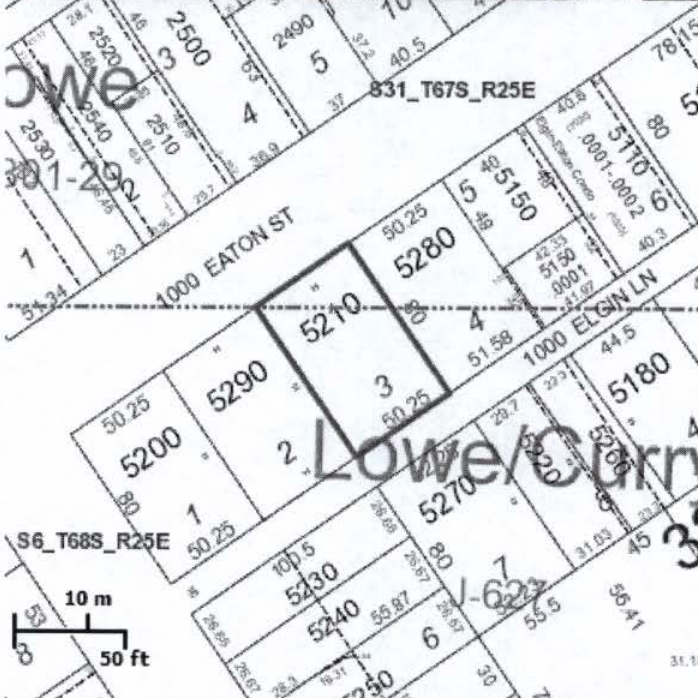
### Ownership Details

**Mailing Address:**  
RPV REALTY TRUST 7/16/02  
24 GULF HILL DR  
SO DARTMOUTH, MA 02748

### Property Details

**PC Code:** 01 - SINGLE FAMILY  
**Millage Group:** 10KW  
**Affordable Housing:** No  
**Section-**  
**Township-** 06-68-25  
**Range:**  
**Property Location:** 1008 EATON ST KEY WEST  
**Legal Description:** KW PT LOT 3 SQR 32 B1-130 OR328-187/88 OR490-855/56 OR776-864/67 CO JUDGES DOCKET 78-264 OR774-1700/01 OR774-2002/06 OR775-1/5 OR1493-569D/C OR1581-2110/13P/R OR1581-2114/2137Q/C OR1657-1487/90-C OR1657-1491/94-C OR1882-1088/89(LG)

**Parcel Map (Click to open dynamic parcel map)**



**Land Details**

Land Use Code	Frontage	Depth	Land Area
010D - RESIDENTIAL DRY	50	80	4,020.00 SF

**Building Summary**

Number of Buildings: 1  
 Number of Commercial Buildings: 0

Total Living Area: 1274  
Year Built: 1960

### Building 1 Details

Building Type R1  
Effective Age 16  
Year Built 1960  
Functional Obs 0

Condition A  
Perimeter 188  
Special Arch 0  
Economic Obs 0

Quality Grade 500  
Depreciation % 19  
Grnd Floor Area 1,274

Inclusions: R1 includes 1 3-fixture bath and 1 kitchen.

Roof Type IRR/CUSTOM  
Heat 1 FCD/AIR DUCTED  
Heat Src 1 ELECTRIC

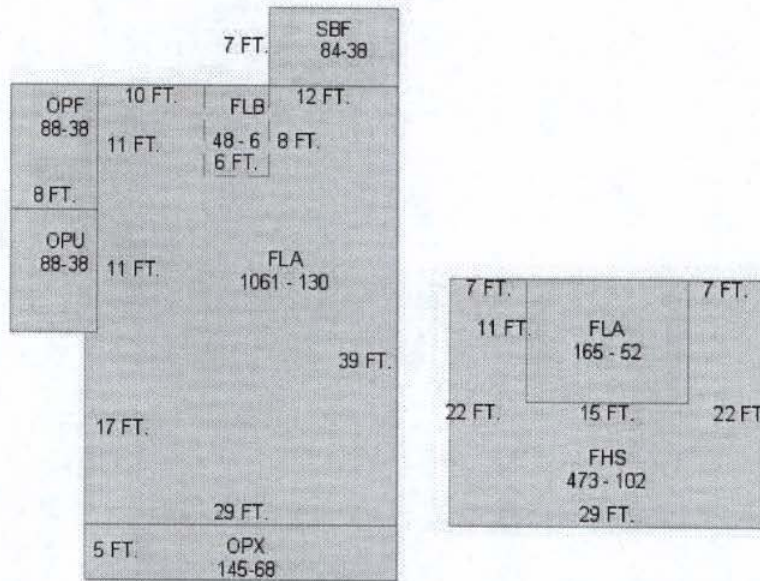
Roof Cover METAL  
Heat 2 NONE  
Heat Src 2 NONE

Foundation WD CONC PADS  
Bedrooms 2

Extra Features:

2 Fix Bath 1  
3 Fix Bath 1  
4 Fix Bath 0  
5 Fix Bath 0  
6 Fix Bath 0  
7 Fix Bath 0  
Extra Fix 0

Vacuum 0  
Garbage Disposal 0  
Compactor 0  
Security 1  
Intercom 0  
Fireplaces 0  
Dishwasher 0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic A/C	Basement %	Finished Basement %	Area
0	FLA	12:ABOVE AVERAGE WOOD	1	2000	Y			165
1	FLA	12:ABOVE AVERAGE WOOD	1	1959	N Y	0.00	0.00	1,061
2	OPX	12:ABOVE AVERAGE WOOD	1	1959	N Y	0.00	0.00	145



3	OPU		1	2000	N	Y	0.00	0.00	88
4	OPF		1	2000	N	Y	0.00	0.00	88
6	FLB	12:ABOVE AVERAGE WOOD	1	2000	N	Y	0.00	0.00	48
7	SBF		1	1959	N	Y	0.00	0.00	84
9	FHS		1	1959	N	Y	0.00	0.00	473

### Misc Improvement Details

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
0	PO4:RES POOL	200 SF	20	10	2006	2007	5	50
0	WF2:WATER FEATURE	1 UT	0	0	2006	2007	1	20
0	WD2:WOOD DECK	517 SF	0	0	2006	2007	2	40
1	PT2:BRICK PATIO	288 SF	18	16	2000	2001	3	50
2	FN2:FENCES	1,050 SF	175	6	2006	2007	2	30
3	FN2:FENCES	200 SF	50	4	2000	2001	2	30
4	PT3:PATIO	64 SF	16	4	1989	1990	4	50

### Appraiser Notes

TPP 8947192 - COUGHLIN ENTERPRISES

### Building Permits

Bldg Number	Date Issued	Date Completed	Amount	Description	Notes
5	05-2107	06/01/2005	1,500	Residential	DEMO REAR FENCE & HOT TUB
1	9902669	10/06/1999	169,025	Residential	RENOVATIONS
2	9904086	12/17/1999	10,200	Residential	SHEATING REPAIRS
3	0100802	02/21/2001	800	Residential	FABRICATE/INSTALL AWNING
4	02-0444	02/22/2002	1,800	Residential	ATF PAINT FENCE
6	05-3171	08/11/2005	3,000	Residential	REPLACE DECKING AROUND POOL,ADD PAVERS TO DRIVEWAY
7	05-3169	08/11/2005	8,000	Residential	ADD 75' OF NEW FENCE
8	05-3581	09/07/2005	25,000	Residential	BUILD NEW POOL
9	05-4114	09/23/2005	1,600	Residential	ELECTRIC FOR POOL
	09-2802	09/03/2009	3,521		NEW WOOD SHUTTERS, 6 PAIRS TO COVER WINDOWS ON E AND W SIDES OF HOUSE

### Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
-----------	------------------	------------------------------	------------------	---------------------------	----------------------	---------------------	----------------------

2011	164,617	34,114	270,038	468,769	468,769	0	468,769
2010	165,728	35,109	338,283	539,120	539,120	0	539,120
2009	186,455	36,035	514,190	736,680	736,680	0	736,680
2008	171,476	37,074	558,780	767,330	767,330	0	767,330
2007	287,084	32,751	703,500	1,023,335	1,023,335	0	1,023,335
2006	391,413	5,334	381,900	778,647	778,647	0	778,647
2005	391,413	5,510	301,500	698,423	698,423	0	698,423
2004	247,567	5,663	281,400	534,630	534,630	0	534,630
2003	238,398	5,816	140,700	384,914	384,914	0	384,914
2002	269,628	5,990	110,800	386,418	386,418	0	386,418
2001	242,665	5,095	110,800	358,560	358,560	0	358,560
2000	99,527	3,116	76,000	178,643	178,643	0	178,643
1999	89,994	2,912	76,000	168,906	168,906	0	168,906
1998	72,453	2,447	76,000	150,900	150,900	0	150,900
1997	68,639	2,394	68,000	139,033	120,958	25,500	95,458
1996	51,480	1,851	68,000	121,330	117,435	25,500	91,935
1995	46,904	1,753	68,000	116,656	114,571	25,500	89,071
1994	41,946	1,613	68,000	111,559	111,559	25,500	86,059
1993	51,626	0	68,000	119,626	119,626	25,500	94,126
1992	51,626	0	68,000	119,626	119,626	25,500	94,126
1991	51,626	0	68,000	119,626	119,626	25,500	94,126
1990	40,143	0	51,000	91,143	91,143	25,500	65,643
1989	36,494	0	50,000	86,494	86,494	25,500	60,994
1988	30,321	0	43,000	73,321	73,321	25,500	47,821
1987	26,358	0	29,800	56,158	56,158	25,500	30,658
1986	26,476	0	28,800	55,276	55,276	25,500	29,776
1985	25,824	0	16,280	42,104	42,104	25,500	16,604
1984	24,431	0	16,280	40,711	40,711	25,500	15,211
1983	24,431	0	16,280	40,711	40,711	25,500	15,211
1982	24,819	0	16,280	41,099	41,099	25,500	15,599

### Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

Sale Date	Official Records Book/Page	Price	Instrument	Qualification
4/25/2003	1882 / 1088	649,000	WD	Q
5/28/1999	1581 / 2110	495,000	WD	M

This page has been visited 4,222 times.

Monroe County Property Appraiser  
Karl D. Borglum

P.O. Box 1176  
Key West, FL 33041-1176