

Application



Application For Variance

City of Key West, Florida • Planning Department

3140 Flagler Avenue • Key West, Florida 33040-4602 • 305-809-3720 • www.keywestcity.com

Application Fee: \$1,150.00 / After-the-Fact: \$2,150.00

(includes \$100.00 advertising/noticing fee and \$50.00 fire review fee)

Please complete this application and attach all required documents. This will help staff process your request quickly and obtain necessary information without delay. If you have any questions, please call 305-809-3720.

PROPERTY DESCRIPTION:

Site Address: 3228 Flagler Ave

Zoning District: (CL) Limited Commercial Real Estate (RE) #: 00069040-000000

Property located within the Historic District? Yes No

APPLICANT: Owner Authorized Representative

Name: Trepanier & Associates, Inc.

Mailing Address: 1421 1st Street Unit 101

City: Key West State: FL Zip: 33040

Home/Mobile Phone: _____ Office: 305-293-8983 Fax: 305-293-8748

Email: lori@owentrepanier.com

PROPERTY OWNER: (if different than above)

Name: Land 10031, LLC c/o Uphoff Investments, LLC

Mailing Address: 4900 W Hundred Rd. Chester, VA 23831-1623

City: Chester State: VA Zip: 23831

Home/Mobile Phone: c/o 305-293-8983 Office: c/o 305-293-8983 Fax: _____

Email: c/o lori@owentrepanier.com

Description of Proposed Construction, Development, and Use: Construct five(5) affordable units and three (3) market rate per the attached plans. The existing retail store and gas pumps will remain, however the one story cbs addition to the rear of the structure will be demolished to accommodate the residential development.

List and describe the specific variance(s) being requested:

Side yard setback from the required 10' to the proposed 5'

This is an improvement to the existing addition which will be demo'd.

Are there any easements, deed restrictions or other encumbrances attached to the property? Yes No

If yes, please describe and attach relevant documents: _____

Will any work be within the dripline (canopy) of any tree on or off the property? Yes No
 If yes, provide date of landscape approval, and attach a copy of such approval.

Is this variance request for habitable space pursuant to Section 122-1078? Yes No

Please fill out the relevant Site Data in the table below. For Building Coverage, Impervious Surface, Open Space and F.A.R. provide square footages and percentages.

Site Data Table				
	Code Requirement	Existing	Proposed	Variance Request
Zoning				
Flood Zone				
Size of Site				
Height				
Front Setback				
Side Setback				
Side Setback	See Attached Site Data Table			
Street Side Setback				
Rear Setback				
F.A.R				
Building Coverage				
Impervious Surface				
Parking				
Handicap Parking				
Bicycle Parking				
Open Space/ Landscaping				
Number and type of units				
Consumption Area or Number of seats				

This application is reviewed pursuant to Section 90-391 through 90-397 of the City of Key West Land Development Regulations (LDRs). The City’s LDRs can be found in the Code of Ordinances online at http://www.municode.com/Library/FL/Key_West under Subpart B.

*Please note, variances are reviewed as quasi-judicial hearings, and it is improper for the owner or applicant to speak to a Planning Board member or City Commissioner about the hearing.

3228 Flagler Avenue Variance Application

Site Data	Permitted/ Required	Existing	Proposed	Compliance
Zoning	CL	CL	CL	Conditional Use
FEMA	AE8	AE8	AE8	Complies
Height	40 ft	15 ft. 6 in.	39 ft.	Complies
Site Size ¹	≥ 10,000 sq. ft.	21,982 sq. ft.	21,982 sq. ft.	Complies
Density:	16 u/ac (8 units)			
Market Rate	5 units	0	3 units	Complies
Affordable Housing	3 units	0	5 units	Complies
Floor Area Ratio Total	0.8	26% (5,741 sq. ft.)	12% (2,807 sq. ft.)	Complies
Building Coverage	40% (10,991 sq. ft.)	26% (5,741 sq. ft.)	38% (8,355 sq. ft.)	Complies
Impervious Surface	60% (13,189.2 sq. ft.)	~100% (~21,982 sq. ft.)	84% (18,477 sq. ft.)	Complies*
Open Space (Mixed use)	30% (6,725 sq. ft.) ²	<5%	16% (3,463 sq. ft.)	Complies*
Landscape	20% (4,396 sq. ft.)	<5%	16% (3,505 sq. ft.)	Complies*
Setback – Front	Minimum of 25 ft.	+25 ft.	+25 ft.	Complies
Setback – Side	10 ft.	0.8 ft.	5 ft.	Variance Req.
Setback – Street Side	20 ft.	+20 ft.	20 ft.	Complies
Setback – Rear	Minimum of 25 ft.	25 ft.	25 ft.	Complies

Parking Demand	Existing			Proposed			Required Bike/ Scooter	
	Area/Units	Req'd	Existing	Area/Units	Req'd	Proposed	Req'd	Proposed
Commercial (1 space / 300 sq. ft.)	5,741.0	19.1	8.0	2,807.0	9.4	11.0	2.3	8
Residential Market-Rate (2 spaces / Unit)	0.0	0.0	0.0	3.0	6.0	6.0	0.6	1
Residential Affordable (2 spaces / Unit)	0.0	0.0	0.0	5.0	6.0 ³	7.0	9	9
Total		19.1	8.0		21.4	24.0	11.9	18.0

¹ According to the Monroe County Property Appraiser's Records

² Per Sec. 108-346

³ Four auto spaces are being met with 8 bike/scooter spaces pursuant to Sec. 122-1470

Standards for Considering Variances

Before any variance may be granted, the Planning Board and/or Board of Adjustment must find all of the following requirements are met:

1. Existence of special conditions or circumstances. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other land, structures or buildings in the same zoning district.

Special conditions exist. The existing building on the property is a legal noncomplying structure with an existing 0.8 side setback on the western property boundary. The variance will allow a new structure to be built with an improved setback of 5'; allowing for life safety accessibility.

2. Conditions not created by applicant. That the special conditions and circumstances do not result from the action or negligence of the applicant.

Conditions were not created by the applicant; the owner purchased the property "as-is". The nonconformity existed at the time of purchase. The proposed plans will improve the current conditions on the site including, setbacks, parking, impervious surface and stormwater management.

3. Special privileges not conferred. That granting the variance(s) requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings or structures in the same zoning district.

No special privileges will be conferred by granting this variance. The granting of this variance will benefit the adjacent property owner by providing life safety access between property lines that did not exist previously.

4. Hardship conditions exist. That literal interpretation of the provisions of the land development regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant.

Hardship conditions exist; literal interpretation of the land development code prevents the property owner the ability to make significant improvements to existing nonconformities and provide much needed housing without seeking variances.

5. Only minimum variance(s) granted. That the variance(s) granted is/are the minimum variance(s) that will make possible the reasonable use of the land, building or structure.

The request is for a single variance of 5' to a side setback, improving the existing setback in accordance with Section 122-28(g). Therefore, the approval of this variance would be the minimum to make possible the reasonable use of the land.

No other variances are required for this project.

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6. Not injurious to the public welfare. That granting of the variance(s) will be in harmony with the general intent and purpose of the land development regulations and that such variances will not be injurious to the area involved or otherwise detrimental to the public interest or welfare.

Granting of the variance would not be injurious to the area involved or to public health, safety, interest or welfare. Granting the variance would be in harmony with the general intent and purpose of the Comprehensive Plan and Land Development Code by promoting continued reasonable use and maintenance of the land and structure in accordance with the respective Future Land Use and zoning designations.

7. Existing nonconforming uses of other property shall not be considered as the basis for approval. That no other nonconforming use of neighboring lands, structures, or buildings in the same district, and that no other permitted use of lands, structures or buildings in other districts shall be considered grounds for the issuance of a variance.

Existing nonconforming uses of other property are not considered in this application as the basis or grounds for the variance request.

The Planning Board and/or Board of Adjustment shall make factual findings regarding the following:

- That the standards established in Section 90-395 have been met by the applicant for a variance.
- That the applicant has demonstrated a "good neighbor policy" by contacting or attempting to contact all noticed property owners who have objected to the variance application, and by addressing the objections expressed by these neighbors. Please describe how you have addressed the "good neighbor policy."

REQUIRED SUBMITTALS: All of the following must be submitted in order to have a complete application. Please submit one paper copy and one electronic copy of all materials.

- Correct application fee. Check may be payable to "City of Key West."
- Notarized verification form signed by property owner or the authorized representative.
- Notarized authorization form signed by property owner, if applicant is not the owner.
- Copy of recorded warranty deed
- Property record card
- Signed and sealed survey
- Site plan (plans MUST be signed and sealed by an Engineer or Architect)
- Floor plans
- Stormwater management plan

Warranty Deed

This Instrument prepared by & return to

Name: Frances C. Lowe, Esq.
Guilday, Schwartz, Simpson, West, Hatch & Lowe, P.A.
Address: 68 A Feli Way
Crawfordville, Florida 32327

02/11/2016 11:08AM
DEED DOC STAMP CL: Krys \$145,250.00

NOTE TO RECORDER: A DUPLICATE COUNTERPART OF THIS GENERAL WARRANTY DEED IS BEING RECORDED IN MIAMI-DADE COUNTY, FLORIDA. ALL DOCUMENTARY STAMP TAXES DUE IN CONNECTION WITH THE SALE OF REAL PROPERTY HEREIN ARE BEING PAID WITH THIS MONROE COUNTY RECORDATION.

GENERAL WARRANTY DEED

Doc# 2063429
BK# 2781 Pg# 1779

Parties and Addresses

1.01. This General Warranty Deed (this "Deed") is made by and between Dion Commercial Properties, LLC, a Florida limited liability company, (the "Grantor"), whose principle business address is 638 United Street, Key West, Florida 33040, and LAND 10031, LLC as to a 11.077% interest, LAND 2708, LLC as to a 8.451% interest, LAND 113, LLC as to a 13.353% interest, LAND 1701, LLC as to a 11.077% interest, LAND 8601, LLC as to a 8.226% interest, LAND 7009, LLC as to a 9.644% interest, LAND 2421, LLC as to a 9.611% interest, LAND 4027, LLC as to a 13.410% interest, and LAND 8351, LLC as to a 15.151% interest, in Common among all of the aforesaid LLC's, all Virginia limited liability companies qualified to do business in Florida, (collectively the "Grantees"), whose principal business address is 4900 West Hundred Road, Chester, Virginia 23831.

Granting Clause

2.01. Grantor grants and conveys ownership of the property described below to Grantees, along with all of its rights and appurtenances, including any right, title, and interest of Grantor in adjacent streets, alleys, and rights-of-way.

Description of Property

3.01. The property consists of all the parcels of land and other structures on the land in the Counties of Miami-Dade and Monroe, of the State of Florida; (the "Property").

3.02. The legal description of the Property is described on **Exhibit A** attached to and incorporated herein.

Covenants by Grantor

5.01. Grantor makes the following covenants with Grantee:

- (1) That Grantor is lawfully seized of the Property described in this Deed.
- (2) That Grantor has the right to convey the Property described in this Deed to Grantee.
- (3) That the Property is free from all former mortgages, judgments, executions, and all other encumbrances.
- (4) That Grantor will warrant generally the Property conveyed by this Deed, so that Grantees will remain in peaceful ownership of the Property.
- (5) That Grantees shall have quiet possession of the Property, and Grantees will not be disturbed in possession of or removed from the Property by persons who have claims against the Property.
- (6) That Grantor will execute any further assurances as may be reasonably required by Grantees, to correct any defect in the title.

Exceptions, Reservations, and Restrictions

6.01. The conveyance of this Property is made subject to the exceptions, reservations and restrictions listed and outlined on **Exhibit B** attached hereto and incorporated herein.

Parties Bound by This Deed

7.01. The covenants made in this Deed are legally binding on Grantor and all who lawfully succeed to Grantor's rights and responsibilities, including Grantor's heirs, personal representatives, successors in interest, and assigns. These covenants may be enforced by Grantees and all future owners of the Property, including Grantees' heirs, personal representatives, successors in interest, and assigns.

IN WITNESS WHEREOF, Grantor has signed and sealed this General Warranty Deed on February 8, 2016.

Frances C. Lowe
Witness Signature

Frances C. Lowe
Printed Name

Judith K. Simons
Witness Signature

Judith K. Simons
Printed Name

DION COMMERCIAL PROPERTIES, LLC, a Florida limited liability company
By: Dion Partnership, Ltd., as Managing Member of Dion Commercial Properties, LLC
By: Larry Dion Corporation, as General Partner of Dion Partnership Ltd.

By: Suzanne D. Banks
SUZANNE D. BANKS, as President

STATE OF FLORIDA
COUNTY OF MONROE

The foregoing instrument was acknowledged before me this 8th day of February, 2016, by SUZANNE D. BANKS, President of Larry Dion Corporation, General Partner of Dion Partnership, Ltd., managing member of Dion Commercial Properties, LLC, a Florida limited liability company, who is personally known to me or has produced X X as identification.



Lani E. Musgrove
Notary Public-State of Florida

Lani E. Musgrove
Printed Name:

My Commission Expires: _____

**EXHIBIT A
LEGAL DESCRIPTION**

The land referred to herein below is situated in the County of Miami-Dade, State of Florida, and is described as follows:

434 SW 1st Avenue, Homestead, Florida (Parcel ID: 10-7813-005-0020)

Lot 3, Brown's Re-Subdivision, according to the Map or Plat thereof as recorded in Plat Book 6, Page 60, of the Public Records of Miami-Dade County, Florida.

1500 North Krome Avenue, Homestead, Florida (Parcel ID: 10-7812-006-0011)

The East 145.00 feet of the South 250.00 feet of Block 1, of DOWNER PALMS DIVISION NO. 2, according to the Plat thereof, as recorded in Plat Book 14 at Page 28, of the Public Records of Miami-Dade County, Florida, being more particularly described as follows:

Beginning at the intersection of the South line of said Block 1 with a line that is 145.00 feet West of and parallel with the East line of said Block 1; thence run N90°00'00"E along the South line of said Block 1 for 119.91 feet to a point of curve; thence run Northeasterly along a circular curve concave to the Northwest having for its elements a radius of 25.00 feet and a central angle of 90°12'00" for an arc distance of 39.36 feet to a point of tangency with the East line of said Block 1; thence run N00°12'00"W along the East line of said Block 1 for 124.91 feet to a point; thence run N90°00'00"W for 145.00 feet to a point; thence run S00°12'00"E for 150.00 feet to the Point of Beginning.

16 North Krome Avenue, Florida City, Florida (Parcel IDs: 16-7824-000-0670; 16-7824-000-0761; 16-7824-000-0764)

From the Southeast corner of Section 24, Township 57 South, Range 38 East, Miami-Dade County, Florida, run North 50 feet and West 40 feet, for a Point of Beginning;

Thence run North along the West line of Krome Avenue, Florida City, as shown and designated on the Plat of INDUSTRIAL ADDITION NO. 2, according to the plat thereof, as recorded in Plat Book 30 at Page 80 of the Public Records of Miami-Dade County, Florida; a distance of 200 feet; thence run West parallel to the North line of Palm Avenue, a distance of 100 feet; thence run South, parallel to Krome Avenue, a distance of 40 feet; thence run West parallel to the North line of Palm Avenue, a distance of 100.36 feet; thence run South, parallel to Krome Avenue, a distance of 160 feet; thence run East along the North line of Palm Avenue, a distance of 200.36 feet to the Point of Beginning.

26917-29 S. Dixie Highway, Naranja, Florida (Parcel ID: 30-6933-006-0190)

Lots 6, 7, 8 and 9, Block 12, NARANJA PARK, SECOND ADDITION, according to the Plat thereof as recorded in Plat Book 60, at Page 67, of the Public Records of Miami-Dade County, Florida.

5 NE 15th Street, Homestead, Florida (Parcel ID: 10-7907-021-0580)

All of Lots 1 and 2 less the North 100 feet thereof and all of Lot 3 less the North 100 feet and East 15 feet thereof and also all of Lot 16 less the East 15 feet thereof and all of Lots 17 and 18, and all of Block 16, of DOWNER PALMS DIVISION NO. 1, according to the Plat thereof recorded in Plat Book 14, at Page 27, of the Public Records of Miami-Dade County, Florida, more particularly described as follows: Begin at a point on the West line of Lot 1, Block 16 of Downer Palms Division No. 1, according to the Plat thereof recorded in Plat Book 14, Page 27, of the Public Records of Miami-Dade County, Florida; said point being 100 feet South of, as measured at right angles to, the North line of said Lot 1 and its prolongation Westerly, thence run due South along the West line of Lots 1 and 18, Block 16, of said Downer Palms Division No. 1 for a distance 144.70 feet to the beginning of a tangential circular curve; thence run in a Southeasterly and Easterly direction along said curve having a radius of 25 feet through a

central angle of 90 degrees 00 minutes 15 seconds for an arc distance of 39.27 feet to the end of said curve; thence run North 89 degrees 59 minutes 45 seconds East along the South line of Lots 18, 17 and 16 Block 16 of said Downer Palms Division No. 1 for a distance of 111.13 feet to a point 15 feet West of, as measured at right angles to, the East line of Lot 16 Block 16 of said Downer Palms Division No. 1, thence run due North along a line parallel to and 15 feet West of, as measured at right angles to, the East line of Lot 16 Block 16 of said Downer Palms Division No. 1, for a distance of 169.70 feet to a point; said point being 100 feet South of, as measured at right angles to, the North line of Lots 1, 2 and 3, Block 16 of said Downer Palms Division No. 1, thence run South 89 degrees 59 minutes 45 seconds West along a line parallel to and 100 feet South of, as measured at right angles to, the North line of Lots 1, 2 and 3, Block 16 of said Downer Palms Division No. 1, for a distance of 136.13 feet to the Point of Beginning.

777 Homestead Boulevard, Homestead, Florida (Parcel ID: 10-7918-000-0220)

All that part of the South 208.71 feet of the West 208.71 feet of Tract 14, Block 3, Section 18, Township 57 South, Range 39 East, of MIAMI LAND DEVELOPMENT COMPANY SUBDIVISION according to the plat thereof recorded in Plat Book 5, at Page 10 of the Public Records of Miami-Dade County, Florida, lying East of the right-of-way of State Road No. 5 as shown on the plat thereof recorded in Plat Book 60 at Page 36, Sheet 3, of the Public Records of Miami-Dade County, Florida, more particularly described as follows:

Commencing at the S.W. corner of said Tract 14, being also the S.W. corner of the SE 1/4 of the SW 1/4 of SW 1/4 of Section 18; thence run East a distance of 63.36 feet along the South boundary of said Section 18 to the point of intersection with the arc of a curve, said point being the Point of Beginning of the Tract of land hereinafter described; thence run East along the South line of said Section 18, being also the South line of said Tract 14, a distance of 145.35 feet to a point; thence run N. 0°35'00" W. along a line that is parallel, to the West boundary of said Tract 14 and parallel to the West boundary of SE 1/4 of the SW 1/4 of the SW 1/4 of said Section 18 a distance of 208.71 feet to a point; thence run West along a line that is parallel to the South boundary of said Section 18 and parallel to the South boundary of said Tract 14 a distance of 128.79 feet to the point of intersection with a circular curve, said curve being the Easterly Right-of-Way Line of State Road No. 5; thence run Southwesterly 209.21 feet along the arc of said curve having a radius of 3761.83 feet, and a central angle of 3°11'11", and a chord bearing of S 3°26'44" W to the Point of Beginning.

444 SW 1st Avenue, Homestead, Florida (Parcel ID: 10-7813-005-0040)

Lot 5, Brown's Re-Subdivision, according to the Map or Plat thereof as recorded in Plat Book 6, Page 60, of the Public Records of Miami-Dade County, Florida.

412 South Flagler Avenue, Homestead, Florida (Parcel ID: 10-7813-048-0010 and 10-7813-048-0020) and 458 South Flagler Avenue, Homestead, Florida (10-7813-048-0031)

Lots 1 through 6 inclusive of NELSON'S ADDITION TO HOMESTEAD, FLA., according to the Plat thereof, as recorded in Plat Book 1, at Page 94, of the Public Records of Dade County, Florida, less the area bounded by the North line of said Lot 1, and bounded by the Easterly line of said Lot 1, and bounded by a 15 foot radius arc, concave to the Southwest, said arc being tangent to both of the last described lines.

457 South Flagler Avenue, Homestead, Florida (Parcel ID: 10-7813-005-0050)

Lot 6 of Brown's Re-subdivision, according to the map or plat thereof, recorded in Plat Book 6, Page 60, of the Public Records of Dade County, Florida.

467 South Flagler Avenue, Homestead, Florida (Parcel ID: 10-7813-005-0030)

Lot 4, Brown's Re-Subdivision, according to the Map or Plat thereof as recorded in Plat Book 6, Page 60, of the Public Records of Miami-Dade County, Florida.

The land referred to herein below is situated in the County of Monroe, State of Florida, and is described as follows:

1409 Overseas Highway, Marathon, Florida (Parcel ID: 00326840-000000)

1415 Overseas Highway, Marathon, Florida (Parcel ID: 00326820-000000)

1417-1421 Overseas Highway, Marathon, Florida (Parcel ID: 00326810-000000)

Lots 3, 4, 5, and 6, Block 2, PARRISH SUBDIVISION, according to the plat thereof recorded in Plat Book 2, Page 18, of the Public Records of Monroe County, Florida.

451 Overseas Highway, Big Coppitt Key, FL (Parcel ID: 00121470-000000)

A parcel of land in a part of Government Lots 2 and 3, all in Section 22 Township 67 South, Range 26 East on BIG COPPITT KEY, Monroe County, Florida, and being more particularly described by metes and bounds as follows: Commencing at the intersection of the South line of Government Lot 3, Section 22, Township 67 South, Range 26 East, and the West line of Government Lot 2, Section 22, Township 67 South, Range 26 East, bear West along the South line of Government Lot 3 a distance of 15 feet to a point; thence at right angles bear North 101.2' to a point of intersection with the South property line of Lot 1 of Big Coppitt Subdivision according to a Survey by C. G. Bailey, Registered Surveyor, dated September 1, 1958; thence at right angles bear East along said South property line of Lot 1 of Big Coppitt Subdivision a distance of 60' to a point; thence at right angles bear South a distance of 7' to a point; thence bear East 45 degrees South to a point of intersection with a line running North from the Northerly right of way line of U.S. Highway No. 1, 105' East of and parallel to the West line of Government Lot 2, Section 22, Township 67 South, Range 26 East; thence bear South along said parallel line of the intersection with the Northerly right of way line of U.S. Highway No. 1; thence bear Westerly along the Northerly right of way line of U.S. Highway No. 1 to a point of intersection with the West line of Government Lot 2, Section 22, Township 67 South, Range 26 East; thence bear North along said West line of Government Lot 2, 119.94 feet back to the point of beginning.

Together with the Grant of Easement and Joint Use Agreement, dated April 27, 2015, and recorded on April 29, 2015 in Official Records Book 2737, Page 2103, Public Records of Monroe County, Florida.

Tract A, Big Coppitt Key, Florida (Parcel ID: 00151010-000000)

Tract "A", Amended Plat of COPPITT SUBDIVISION, located in Government Lot 5, Section 22, Township 67 South, Range 26 East, BIG COPPITT KEY, according to the plat thereof, recorded in Plat Book 4, Page 50, of the Public Records of Monroe County, Florida.

Lot 1, Gulfview, Big Coppitt Key, Florida (Parcel ID: 00153330-000000)

Lot 1 of GULF VIEW, according to the Plat thereof recorded in Plat Book 3, at Page 17 of the Public Records of Monroe County, Florida, said property being on Big Coppitt Key, together with improvements thereon.

Lot 2, Gulfview, Big Coppitt Key, Florida (Parcel ID: 00153340-000000)

Lot 2 of GULF VIEW, according to the Plat thereof recorded in Plat Book 3, at Page 17 of the Public Records of Monroe County, Florida, said property being on Big Coppitt Key, together with improvements thereon.

3228 Flagler Ave, Key West, Florida (Parcel ID: 00069040-000000)

In RIVIERA SHORES SUBDIVISION, a subdivision of a part of the City of Key West, according to plat thereof recorded in Plat Book 3, Page 148, Public Records of Monroe County, Florida;

Begin at the Northeast corner of Block 2 of said subdivision, thence run in a Southwesterly direction along the Southeasterly right-of-way line of Flagler Avenue a distance of 100 feet;

thence at a right angle and in a Southeasterly direction a distance of 120 feet to the Northwesterly right-of-way line of Riviera Drive; thence at a right angle and in a Northeasterly direction along the said Northwesterly right-of-way of Riviera Drive a distance of 100 feet to the corner of the intersection of the said Riviera Drive with Riviera Street; thence at a right angle and in a Northwesterly direction along the Southwesterly right-of-way line of Riviera Street a distance of 120 feet to the point of beginning.

Doc# 2063429
Bk# 2781 Pg# 1784

6203 Overseas Hwy, Marathon, Florida (Parcel ID: 00338730-000600)

A part of Tract 10 of EDMONDS ACREAGE TRACTS as recorded in Plat Book 2, Page 100, of the Public Records of Monroe County, Florida, and being more fully described as follows: From a point formed by the intersection of the West line of Government Lot 1, Section 11, Township 66 South, Range 32 East, and the Southerly boundary line of U.S. Highway No. 1, run Northeasterly along the Southerly boundary line of the said U.S. Highway No. 1 a distance of 498.1 feet to the point of beginning. From said point of beginning run due South a distance of 156.04 feet to a point; thence due West a distance of 104.44 feet to a point; thence due North a distance of 126.75 feet to a point; thence Northeasterly along the Southerly right-of-way line of U.S. Highway No. 1 a distance of 108.47 feet to the point of beginning.

6209 Overseas Highway, Marathon, Florida (Parcel ID: 00339960-000000)

Lots 1, 2, 3, and 4, inclusive in Block "C", SHERYL SUBDIVISION NO. 2, according to the Plat thereof as recorded in Plat Book 4, Page 43, of the Public Records of Monroe County, Florida; less that part of Lots 3 and 4 of Block C of SHERYL SUBDIVISION NO. 2 according to the Plat thereof as recorded in Plat Book 4 at Page 43 of the Public Records of Monroe County, Florida, being more particularly described as follows: Begin at the Northeast corner of said Lot 4; thence run S 0° 30'48" E, along the East line of said Lot 4, for 21.07 feet; thence run N 67° 31'05" W, through said Lots 4 and 3, for 32.46 feet to the point of intersection with the North line of said Lot 3; thence run N 73° 48'17" E along the North lines of said Lots 3 and 4, for 31.04 feet to the Point of Beginning.

81644 Overseas Hwy, Islamorada, Florida (Parcel ID: 00095130-000000)

On the Island of Upper Matecumbe, being a part of Government Lot 1, Section 32, Township 63 South, Range 37 East, according to a plat thereof made by George L. McDonald, C.E., recorded in Plat Book 1, Page 41, Public Records of Monroe County, Florida, as more particularly described as follows:

Commencing at a point on the Northwest side of the right of way of the Florida East Coast Railway Company, and now known as the Overseas Highway Road right of way, where the said land joins the Southwest boundary line of the Hugh Matheson property, and a/k/a Cephas Pinder property, and run thence along said Overseas Highway Road right of way in a Southwesterly direction 242 feet for a point of beginning; thence along said right of way in a Southwesterly direction 150 feet; thence at right angles in a Northwesterly direction 100 feet; thence at right angles in a Northeasterly direction 150 feet; thence at right angles in a Southeasterly direction 100 feet back to the point of beginning and out to said Overseas Highway right of way.

1127 (1124) Truman Avenue, Key West, Florida (Parcel ID: 00032360-000000)

On the Island of KEY WEST and being part of Tract 13, according to William A. Whitehead's Map of said Island, delineated in February, 829, more particularly described as follows:

Lots 1 and 2 and the Easterly 36 feet 11 inches of Lot 3, all in Block 1 of Tract 13, according to Gwynn's Diagram recorded in Deed Book "O", Page 195, Public Records of Monroe County, Florida.

24996 Overseas Highway, Summerland Key, Florida (Parcel ID: 00188900-000000)

Lot 1, Block 1, SUMMERLAND KEY COVE SUBDIVISION, according to the Plat thereof recorded in Plat Book 4, Page 35, of the Public Records of Monroe County, Florida.

A parcel of land on the ISLAND OF KEY WEST, Monroe County, Florida and is part of Parcel No. 3 according to "PLAT OF SURVEY (on two sheets) part of lands formerly owned by Key West Improvement, Inc." as recorded in Plat Book 4, Page 69, Monroe County Official Records and more particularly described as follows:

From the intersection of the West line of said Parcel #3 and the Southerly right-of-way (curb) line of Roosevelt Boulevard go North 84 degrees 14 minutes 40 seconds East along said Southerly right-of-way (curb) line a distance of 266.89 feet to a point which point is the point of beginning;

thence continue North 84 degrees 14 minutes 40 seconds East along said Southerly right-of-way (curb) line a distance of 150 feet to a point, thence South 05 degrees 45 minutes 20 seconds East a distance of 224.82 feet to a point; thence South 84 degrees 14 minutes 40 seconds West a distance of 150 feet to a point; thence North 05 degrees 45 minutes 20 seconds West a distance of 224.82 feet back to the point of beginning.

Less and except the property granted to the State of Florida Department of Transportation, described in Official Records Book 2593, Page 957, of the Public Records of Monroe County, Florida.

**Doc# 2063429
Bk# 2781 Pg# 1785**

EXHIBIT B
EXCEPTIONS, RESERVATIONS and RESTRICTIONS

The land referred to herein below is situated in the County of Miami-Dade, State of Florida:

434 SW 1st Avenue, Homestead, Florida (Parcel ID: 10-7813-005-0020)

1. Ordinance Number 2006-06-26 recorded in Book 25166, Page 63.
2. Terms and conditions of any existing unrecorded lease(s), and all rights of lessee(s) and any parties claiming through the lessee(s) under the lease(s).

1500 North Krome Avenue, Homestead, Florida (Parcel ID: 10-7812-006-0011)

1. Oil, gas and mineral reservations contained in Deed from Board of Commissioners of Everglades Drainage District, recorded in Deed Book 2476, Page 69; as affected by: Instrument, recorded in Book 958, Page 570.
2. Oil, gas and mineral reservations contained in that certain Special Warranty Deed, recorded in Book 14290, Page 997.
3. Oil, gas and mineral reservations contained in that certain Special Warranty Deed, recorded in Book 18409, Page 3281.
4. Any claim that the Title is subject to a trust or lien created under The Perishable Agricultural Commodities Act (7 U.S.C. §§499a, et seq.) or the Poultry and Stockyards Act (7 U.S.C. §§181 et seq.) or under similar state laws.

16 North Krome Avenue, Florida City, Florida (Parcel ID: 16-7824-000-0670; 16-7824-000-0761; 16-7824-000-0764)

1. Any claim that the Title is subject to a trust or lien created under The Perishable Agricultural Commodities Act (7 U.S.C. §§499a, et seq.) or the Poultry and Stockyards Act (7 U.S.C. §§181 et seq.) or under similar state laws.

26917-29 S. Dixie Highway, Naranja, Florida (Parcel ID: 30-6933-006-0190)

1. Restrictions as shown on the plat of NARANJA PARK, SECOND ADDITION, as recorded in Plat Book 60, Page(s) 67, including, but not limited to, provisions for the following: Wells and the re-subdivision of Lots, but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status or national origin to the extent such covenants, conditions or restrictions violate 42 USC 3604(c).
2. Terms and provisions contained in Unity of Title, recorded in Book 11082, Page 806.
3. Grant of Easement granted to John Van Rachmuth, recorded in Book 13200, Page 3622.
4. Covenant Running With The Land in favor of Metropolitan Dade County, recorded in Book 13656, Page 3897, but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status or national origin to the extent such covenants, conditions or restrictions violate 42 USC 3604(c).
5. Covenant Running With The Land in favor of Metropolitan Dade County, recorded in Book 14311, Page 1666, but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status or national origin to the extent such covenants, conditions or restrictions violate 42 USC 3604(c).
6. Restrictions as set forth in Book 25754, Page 2274.
7. Agreement for Water and Sanitary Sewage Facilities recorded in Book 26655, Page 1434.
8. Covenant in favor of Miami-Dade County recorded in Book 26655, Page 1429.
9. Terms and conditions of the Unity of Title recorded in Book 26655, Page 1425.
10. Declaration of Covenants, Conditions and Restrictions recorded in Book 4339, Page 365, but deleting and covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status or national origin to the extent such covenants, conditions or restrictions violate 42 USC 3604(c).

11. Terms and conditions of any existing unrecorded lease(s), and all rights of lessee(s) and any parties claiming through the lessee(s) under the lease(s).
12. Any claim that the Title is subject to a trust or lien created under The Perishable Agricultural Commodities Act (7 U.S.C. §§499a, et seq.) or the Poultry and Stockyards Act (7 U.S.C. §§181 et seq.) or under similar state laws.

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5 NE 15th Street, Homestead, Florida (Parcel ID: 10-7907-021-0580)

1. Ordinance No. 85-12-111 recorded in Book 12780, Page 877.
2. Any claim that the Title is subject to a trust or lien created under The Perishable Agricultural Commodities Act (7 U.S.C. §§499a, et seq.) or the Poultry and Stockyards Act (7 U.S.C. §§181 et seq.) or under similar state laws.

777 Homestead Boulevard, Homestead, Florida (Parcel ID: 10-7918-000-0220)

1. Covenant Running with the Land recorded in Book 26748, Page 2068.
2. Order of Taking by City of Homestead recorded in Book 28978, Page 717.
3. Terms and conditions of any existing unrecorded lease(s), and all rights of lessee(s) and any parties claiming through the lessee(s) under the lease(s).
4. Any claim that the Title is subject to a trust or lien created under The Perishable Agricultural Commodities Act (7 U.S.C. §§499a, et seq.) or the Poultry and Stockyards Act (7 U.S.C. §§181 et seq.) or under similar state laws.

444 SW 1st Avenue, Homestead, Florida (Parcel ID: 10-7813-005-0040)

1. Reservations contained in Deed from Board of Commissioners of Everglades Drainage District, filed in Deed Book 3071, Page 301.
2. Reservations unto the State of Florida for oil, gas, minerals, fissionable materials and 200 foot State Road Right of Way as contained in Deed recorded in Deed Book 3071, Page 304. Note: The right of entry and exploration has been released pursuant to S270.11, F.S.
3. Ordinance Number 2006-06-26 recorded in Book 25166, Page 63.

412 South Flagler Avenue, Homestead, Florida (Parcel ID: 10-7813-048-0010 and 10-7813-048-0020) and 458 South Flagler Avenue, Homestead, Florida (10-7813-048-0031)

1. Covenant running with the land in favor of Metropolitan Dade County, recorded in Book 12438, Page 1998, but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status or national origin to the extent such covenants, conditions or restrictions violate 42 USC 3604(c).
2. Ordinance Number 2006-06-26 recorded in Book 25166, Page 63

457 South Flagler Avenue, Homestead, Florida (Parcel ID: 10-7813-005-0050)

1. Reservations unto the State of Florida for oil, gas, minerals, fissionable materials and 200 foot State Road Right of Way as contained in Deed recorded in Deed Book 2847, Page 65. Note: The right of entry and exploration has been released pursuant to S270.11, F.S.
2. Ordinance Number 2006-06-26 recorded in Book 25166, Page 63.

467 South Flagler Avenue, Homestead, Florida (Parcel ID: 10-7813-005-0030)

1. Reservations contained in Deed from Board of Commissioners of Everglades Drainage District, filed in Deed Book 3071, Page 306.
2. Ordinance Number 82-04-26 recorded in Book 11443, Page 1720
3. Reservations unto the State of Florida for oil, gas, minerals, fissionable materials and 200 foot State Road Right of Way as contained in Deed recorded in Deed Book 3071, Page 308. Note: The right of entry and exploration has been released pursuant to S270.11, F.S.
4. Ordinance Number 2006-06-26 recorded in Book 25166, Page 63.

The land referred to herein below is situated in the County of Monroe, State of Florida:

1409 Overseas Highway, Marathon, Florida (Parcel ID: 00326840-000000)
1415 Overseas Highway, Marathon, Florida (Parcel ID: 00326820-000000)
1417-1421 Overseas Highway, Marathon, Florida (Parcel ID: 00326810-000000)

Doc# 2063429
Bk# 2781 Pg# 1788

1. Sewer Lateral Wastewater Easement recorded in Book 2647, Page 1290.
2. Planning Commission Resolution No. PC01-05-05 recorded in Book 1706, Page 189.
3. Any claim that the Title is subject to a trust or lien created under The Perishable Agricultural Commodities Act (7 U.S.C. §§499a, et seq.) or the Poultry and Stockyards Act (7 U.S.C. §§181 et seq.) or under similar state laws.

451 Overseas Highway, Big Coppitt Key, FL (Parcel ID: 00121470-000000)

1. Easement according to instrument recorded in Book 457, Page 758.
2. Easement according to instrument recorded in Book 457, Page 759.
3. Terms and provisions contained in Instrument, recorded in Book 668, Page 43.
4. Terms and provisions contained in Instrument, recorded in Book 787, Page 234.
5. Notice of Environmental Resource or Surface Water Management Permit recorded in Book 2460, Page 131.
6. Any claim that the Title is subject to a trust or lien created under The Perishable Agricultural Commodities Act (7 U.S.C. §§499a, et seq.) or the Poultry and Stockyards Act (7 U.S.C. §§181 et seq.) or under similar state laws.

Tract A, Big Coppitt Key, Florida (Parcel ID: 00151010-000000)

1. Easement, according to instrument recorded in Book 390, Page 946.
2. Easement, according to instrument recorded in Book 457, Page 758.
3. Easement, according to instrument recorded in Book 457, Page 759.
4. Terms and provisions contained in Instrument, recorded in Book 668, Page 43.
5. Terms and provisions contained in Instrument, recorded in Book 787, Page 234.
6. Notice of Environmental Resource or Surface Water Management Permit recorded in Book 2460, Page 131.

Lot 1, Gulfview, Big Coppitt Key, Florida (Parcel ID: 00153330-000000)

1. Easement, according to instrument recorded in Book 457, Page 758.
2. Easement, according to instrument recorded in Book 457, Page 759.
3. Terms and provisions contained in Instrument, recorded in Book 668, Page 43.
4. Terms and provisions contained in Instrument, recorded in Book 787, Page 234.
5. Grant of Easement and Joint Use Agreement recorded in Book 2737, Page 2103.
6. Notice of Environmental Resource or Surface Water management Permit recorded in Book 2460, Page 131.

Lot 2, Gulfview, Big Coppitt Key, Florida (Parcel ID: 00153340-000000)

1. Easement, according to instrument recorded in Book 457, Page 758.
2. Easement, according to instrument recorded in Book 457, Page 759.
3. Terms and provisions contained in Instrument, recorded in Book 668, Page 43.
4. Terms and provisions contained in Instrument, recorded in Book 787, Page 234.

3228 Flagler Ave, Key West, Florida (Parcel ID: 00069040-000000)

1. Declaration of Covenants, Conditions and Restrictions recorded in Book 69, Page 381, but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status or national origin to the extent such covenants, conditions or restrictions violate 42 USC 3604(c).
2. Any claim that the Title is subject to a trust or lien created under The Perishable Agricultural Commodities Act (7 U.S.C. §§499a, et seq.) or the Poultry and Stockyards Act (7 U.S.C. §§181 et seq.) or under similar state laws.

3. Terms and conditions of any existing unrecorded lease(s), and all rights of lessee(s) and any parties claiming through the lessee(s) under the lease(s).

6203 Overseas Hwy, Marathon, Florida (Parcel ID: 00338730-000600)

1. Any claim that the Title is subject to a trust or lien created under The Perishable Agricultural Commodities Act (7 U.S.C. §§499a, et seq.) or the Poultry and Stockyards Act (7 U.S.C. §§181 et seq.) or under similar state laws

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6209 Overseas Highway, Marathon, Florida (Parcel ID: 00339960-000000)

1. Terms and provisions contained in Instrument, recorded in Book 668, Page 43.
2. Deed to State Road Department, recorded in Book 368, Page 630.
3. Terms and conditions of Settlement Agreement, recorded in Book 1383, Page 1790.
4. Declaration of Covenants, Conditions and Restrictions recorded in Book 121, Page 304, but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status or national origin to the extent such covenants, conditions or restrictions violate 42 USC 3604(c).
5. Terms and conditions of any existing unrecorded lease(s), and all rights of lessee(s) and any parties claiming through the lessee(s) under the lease(s).

81644 Overseas Hwy, Islamorada, Florida (Parcel ID: 00095130-000000)

1. Any claim that the Title is subject to a trust or lien created under The Perishable Agricultural Commodities Act (7 U.S.C. §§499a, et seq.) or the Poultry and Stockyards Act (7 U.S.C. §§181 et seq.) or under similar state laws.

1127 (1124) Truman Avenue, Key West, Florida (Parcel ID: 00032360-000000)

1. Subject to Restrictions imposed on property lying within the Historical Preservation Area of the City of Key West. Subject premises are within this area as stated in Executive Office of the Governor Administration Commission Chapter 27F-15 Land Planning Boundary and Principles for Guiding Development For the City of Key West recorded in OR Book 901, Page 201.
2. City of Key West Area of Critical State Concern, Rule 27F-15, of the Florida Administrative Code, adopted by the Administration Commission pursuant to Section 380.05 F.S. on February 7, 1984, effective February 28, 1994, recorded in Book 906, Page 200-208, of the Public Records of Monroe County, Florida.
3. Subject to City Ordinance No. 81-43 and Amendment 82-5 thereof, which provides for the assessment and collection of waste in the City of Key West, Monroe County, Florida.
4. Any claim that the Title is subject to a trust or lien created under The Perishable Agricultural Commodities Act (7 U.S.C. §§499a, et seq.) or the Poultry and Stockyards Act (7 U.S.C. §§181 et seq.) or under similar state laws.

24996 Overseas Highway, Summerland Key, Florida (Parcel ID: 00188900-000000)

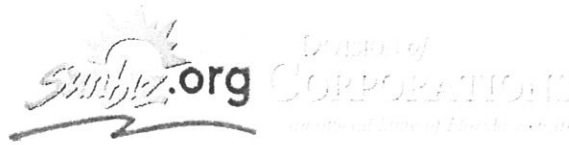
1. Declaration of Covenants, Conditions and Restrictions recorded in Book 110, Page 497 , but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status or national origin to the extent such covenants, conditions or restrictions violate 42 USC 3604(c).
2. Resolution No. 197-2012 recorded in Book 2588, Page 739.
3. Any claim that the Title is subject to a trust or lien created under The Perishable Agricultural Commodities Act (7 U.S.C. §§499a, et seq.) or the Poultry and Stockyards Act (7 U.S.C. §§181 et seq.) or under similar state laws.

3700 N. Roosevelt Blvd, Key West, Florida (Parcel ID: 00066080-000000)

1. Terms and conditions of the Right of Entry Agreement recorded in Book 1414, Page 2192.
2. The fact, as disclosed by that certain document or documents recorded in Book 1414, Page 2192, that some violation of the environmental protection laws may have occurred, which may affect the land.
3. Terms and Conditions as set forth in Deed recorded in Book 2593, Page 957.
4. Easement recorded in Book 93, Page 562.
5. Any claim that the Title is subject to a trust or lien created under The Perishable Agricultural Commodities Act (7 U.S.C. §§499a, et seq.) or the Poultry and Stockyards Act (7 U.S.C. §§181 et seq.) or under similar state laws.

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Bk# 2781 Pg# 1790

MONROE COUNTY
OFFICIAL RECORDS



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Detail by Entity Name

Foreign Limited Liability Company
UPHOFF INVESTMENTS, LLC

Filing Information

Document Number	M16000000506
FEI/EIN Number	81-0635109
Date Filed	01/20/2016
State	VA
Status	ACTIVE

Principal Address

4900 WEST HUNDRED ROAD
CHESTER, VA 23831

Mailing Address

4900 WEST HUNDRED ROAD
CHESTER, VA 23831

Registered Agent Name & Address

LOWE, FRANCES CASEY
68 A FELI WAY
CRAWFORDVILLE, FL 32327

Authorized Person(s) Detail

Name & Address

Title MBR

UPHOFF, STEVEN M
4900 WEST HUNDRED ROAD
CHESTER, VA 23831

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Detail by Entity Name

Foreign Limited Liability Company

LAND 10031, LLC

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FEI/EIN Number 81-0635109

Date Filed 01/19/2016

State VA

Status ACTIVE

Principal Address

4900 WEST HUNDRED ROAD
CHESTER, VA 23831

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Registered Agent Name & Address

LOWE, FRANCES CASEY
68 A FELI WAY
CRAWFORDVILLE, FL 32327

Authorized Person(s) Detail

Name & Address

Title MBR

UPHOFF INVESTMENTS, LLC
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Foreign Limited Liability Company

LAND 2708, LLC

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State VA

Status ACTIVE

Principal Address

4900 WEST HUNDRED ROAD
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Registered Agent Name & Address

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68 A FELI WAY
CRAWFORDVILLE, FL 32327

Authorized Person(s) Detail

Name & Address

Title MBR

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Foreign Limited Liability Company
LAND 113, LLC

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Principal Address

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Registered Agent Name & Address

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68 A FELI WAY
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Authorized Person(s) Detail

Name & Address

Title MBR

UPHOFF INVESTMENTS, LLC
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LAND 1701, LLC

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Principal Address

4900 WEST HUNDRED ROAD
CHESTER, VA 23831

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CHESTER, VA 23831

Changed: 04/24/2017

Registered Agent Name & Address

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68 A FELI WAY
CRAWFORDVILLE, FL 32327

Authorized Person(s) Detail

Name & Address

Title MBR

UPHOFF INVESTMENTS, LLC
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CHESTER, VA 23831

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Foreign Limited Liability Company
LAND 8601, LLC

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4900 WEST HUNDRED ROAD
CHESTER, VA 23831

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Registered Agent Name & Address

LOWE, FRANCES CASEY
68 A FELI WAY
CRAWFORDVILLE, FL 32327

Authorized Person(s) Detail

Name & Address

Title MBR

UPHOFF INVESTMENTS, LLC
4900 WEST HUNDRED ROAD
CHESTER, VA 23831

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Foreign Limited Liability Company
LAND 7009, LLC

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Principal Address

4900 WEST HUNDRED ROAD
CHESTER, VA 23831

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CHESTER, VA 23831

Changed: 04/24/2017

Registered Agent Name & Address

LOWE, FRANCES CASEY
68 A FELI WAY
CRAWFORDVILLE, FL 32327

Authorized Person(s) Detail

Name & Address

Title MBR

UPHOFF INVESTMENTS, LLC
4900 WEST HUNDRED ROAD
CHESTER, VA 23831

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Foreign Limited Liability Company
LAND 2421, LLC

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State VA
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Principal Address

4900 WEST HUNDRED ROAD
CHESTER, VA 23831

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Mailing Address

4900 WEST HUNDRED ROAD
CHESTER, VA 23831

Changed: 04/24/2017

Registered Agent Name & Address

LOWE, FRANCES CASEY
68 A FELI WAY
CRAWFORDVILLE, FL 32327

Authorized Person(s) Detail**Name & Address**

Title MBR

UPHOFF INVESTMENTS, LLC
4900 WEST HUNDRED ROAD
CHESTER, VA 23831

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Detail by Entity Name

Foreign Limited Liability Company
LAND 4027, LLC

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FEI/EIN Number 81-0635109
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State VA
Status ACTIVE

Principal Address

4900 WEST HUNDRED ROAD
CHESTER, VA 23831

Mailing Address

4900 WEST HUNDRED ROAD
CHESTER, VA 23831

Registered Agent Name & Address

LAW, FRANCES CASEY
68 A FELI WAY
CRAWFORDVILLE, FL 32327

Authorized Person(s) Detail

Name & Address

Title MBR

UPHOFF INVESTMENTS, LLC
4900 WEST HUNDRED ROAD
CHESTER, VA 23831

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Detail by Entity Name

Foreign Limited Liability Company
LAND 8351, LLC

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Document Number M1600000448
FEI/EIN Number 81-0635109
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State VA
Status ACTIVE

Principal Address

4900 WEST HUNDRED ROAD
CHESTER, VA 23831

Mailing Address

4900 WEST HUNDRED ROAD
CHESTER, VA 23831

Registered Agent Name & Address

LOWE, FRANCES CASEY
68 A FELI WAY
CRAWFORDVILLE, FL 32327

Authorized Person(s) Detail

Name & Address

Title MBR

UPHOFF INVESTMENTS, LLC
4900 WEST HUNDRED ROAD
CHESTER, VA 23831

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Verification Form

City of Key West
Planning Department



Verification Form

(Where Authorized Representative is an Entity)

I, Owen Trepanier, in my capacity as President
(print name) *(print position; president, managing member)*
of Owen Trepanier & Associate, Inc.
(print name of entity serving as Authorized Representative)

being duly sworn, depose and say that I am the Authorized Representative of the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

3228 Flagler Ave

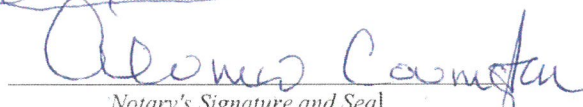
Street Address of subject property

All of the answers to the above questions, drawings, plans and any other attached data which make up the application, are true and correct to the best of my knowledge and belief. In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.


Signature of Authorized Representative

Subscribed and sworn to (or affirmed) before me on this 6-12-18 by
Owen Trepanier
Name of Authorized Representative
date

He/She is personally known to me or has presented _____ as identification.


Notary's Signature and Seal

Avina Covington
Name of Acknowledger typed, printed or stamped



FF913801
Commission Number, if any

Authorization Form

City of Key West
Planning Department



Authorization Form
(Where Owner is a Business Entity)

Please complete this form if someone other than the owner is representing the property owner in this matter.

I, Steven M Uphoff as
Please Print Name of person with authority to execute documents on behalf of entity

Managing Member of Land 10031, LLC
Name of office (President, Managing Member) *Name of owner from deed*

authorize Trepanier & Associates, Inc.
Please Print Name of Representative

to be the representative for this application and act on my/our behalf before the City of Key West.

Steven M Uphoff
Signature of person with authority to execute documents on behalf on entity owner

Subscribed and sworn to (or affirmed) before me on this 8/29/16 by
date

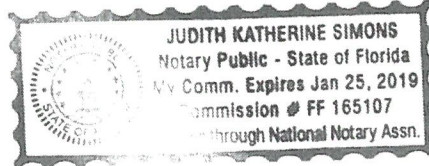
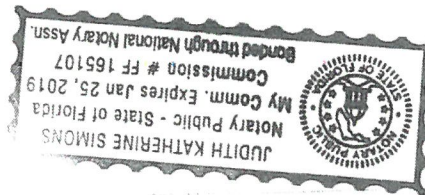
Steven M. Uphoff
Name of Authorized Representative

He/She is personally known to me or has presented _____ as identification.

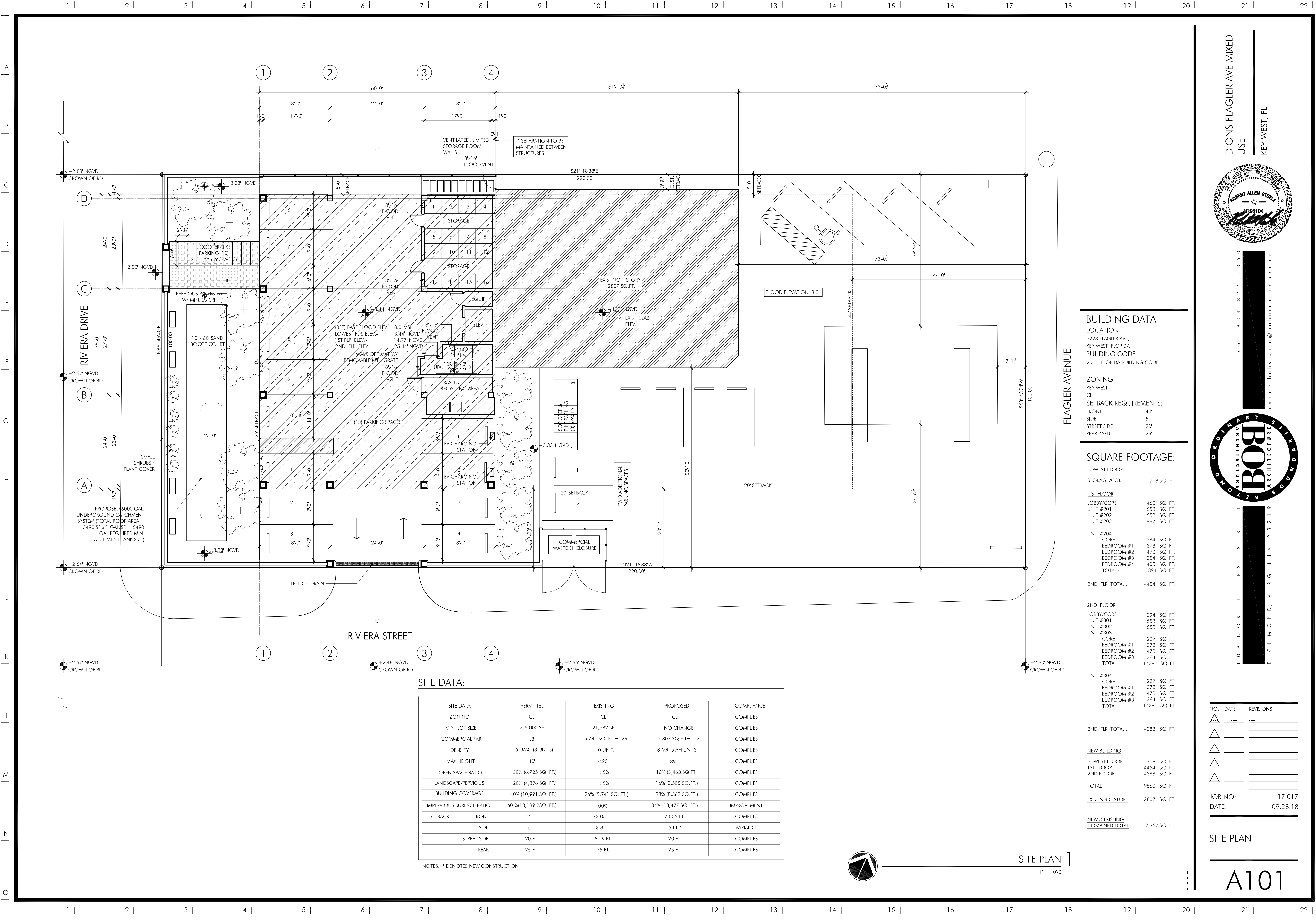
Judith Katherine Simons
Notary's Signature and Seal

Judith Katherine Simons
Name of Acknowledger typed, printed or stamped

FF 165107
Commission Number, if any



Site Plans



BUILDING DATA
 LOCATION
 3228 FLAGLER AVE.
 KEY WEST FLORIDA
 BUILDING CODE
 2014 FLORIDA BUILDING CODE

ZONING
 KEY WEST
 CL
 SETBACK REQUIREMENTS:
 FRONT 44'
 SIDE 5'
 STREET SIDE 20'
 REAR YARD 25'

SQUARE FOOTAGE:

LOWEST FLOOR	
STORAGE/CORE	718 SQ. FT.
1ST FLOOR	
LOBBY/CORE	460 SQ. FT.
UNIT #201	558 SQ. FT.
UNIT #202	558 SQ. FT.
UNIT #203	987 SQ. FT.
UNIT #204	
CORE	284 SQ. FT.
BEDROOM #1	378 SQ. FT.
BEDROOM #2	470 SQ. FT.
BEDROOM #3	354 SQ. FT.
BEDROOM #4	405 SQ. FT.
TOTAL	1891 SQ. FT.
2ND FLR. TOTAL	4454 SQ. FT.
2ND FLOOR	
LOBBY/CORE	394 SQ. FT.
UNIT #301	558 SQ. FT.
UNIT #302	558 SQ. FT.
UNIT #303	
CORE	227 SQ. FT.
BEDROOM #1	378 SQ. FT.
BEDROOM #2	470 SQ. FT.
BEDROOM #3	364 SQ. FT.
TOTAL	1439 SQ. FT.
UNIT #304	
CORE	227 SQ. FT.
BEDROOM #1	378 SQ. FT.
BEDROOM #2	470 SQ. FT.
BEDROOM #3	364 SQ. FT.
TOTAL	1439 SQ. FT.
2ND FLR. TOTAL	4388 SQ. FT.
NEW BUILDING	
LOWEST FLOOR	718 SQ. FT.
1ST FLOOR	4454 SQ. FT.
2ND FLOOR	4388 SQ. FT.
TOTAL	9560 SQ. FT.
EXISTING C-STORE	2807 SQ. FT.
NEW & EXISTING COMBINED TOTAL	12,367 SQ. FT.

SITE DATA:

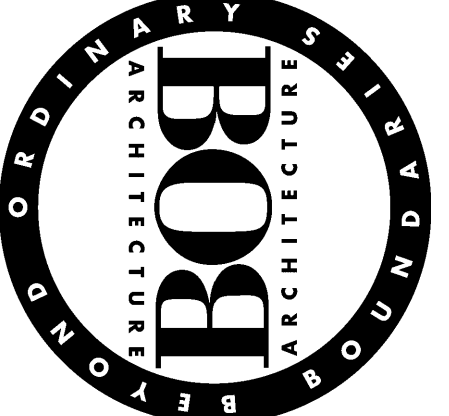
SITE DATA	PERMITTED	EXISTING	PROPOSED	COMPLIANCE
ZONING	CL	CL	CL	COMPLIES
MIN. LOT SIZE	> 5,000 SF	21,982 SF	NO CHANGE	COMPLIES
COMMERCIAL FAR	.8	5,741 SQ. FT. = .26	2,807 SQ.F.T. = .12	COMPLIES
DENSITY	1.6 U/AC (8 UNITS)	0 UNITS	3 MR, 5 AH UNITS	COMPLIES
MAX HEIGHT	40'	<20'	39'	COMPLIES
OPEN SPACE RATIO	30% (6,725 SQ. FT.)	< 5%	16% (3,463 SQ.FT)	COMPLIES
LANDSCAPE/PERVIOUS	20% (4,396 SQ. FT.)	< 5%	16% (3,505 SQ.FT.)	COMPLIES
BUILDING COVERAGE	40% (10,991 SQ. FT.)	26% (5,741 SQ. FT.)	38% (8,363 SQ.FT.)	COMPLIES
IMPERVIOUS SURFACE RATIO	60 % (13,189.25Q. FT.)	100%	84% (18,477 SQ. FT.)	IMPROVEMENT
SETBACK: FRONT	44 FT.	73.05 FT.	73.05 FT.	COMPLIES
SIDE	5 FT.	3.8 FT.	3.8 FT.*	VARIANCE
STREET SIDE	20 FT.	51.9 FT.	20 FT.	COMPLIES
REAR	25 FT.	25 FT.	25 FT.	COMPLIES

NOTES: * DENOTES NEW CONSTRUCTION

DIONS FLAGLER AVE MIXED
 USE
 KEY WEST, FL



108 NORTH FIRST STREET
 RICHMOND, VIRGINIA 23219
 Fon 804.344.0060
 email: bebstudio@bebarchitecture.net



108 NORTH FIRST STREET
 RICHMOND, VIRGINIA 23219

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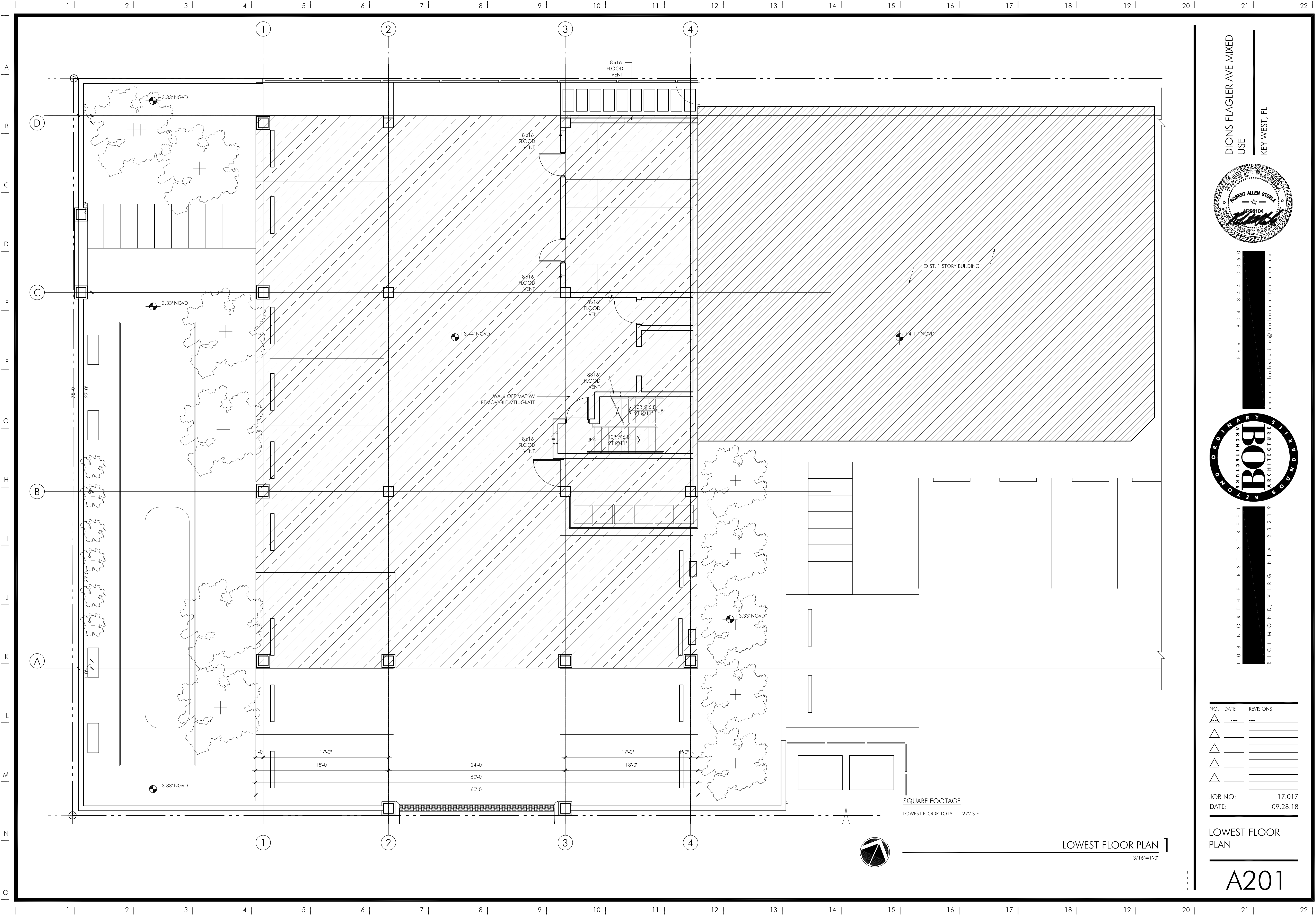
JOB NO: 17.017
 DATE: 09.28.18

SITE PLAN

A101



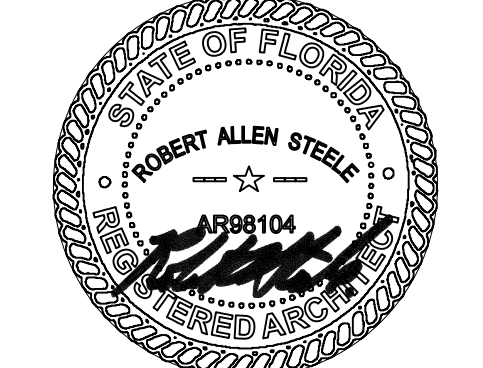
SITE PLAN 1
 1" = 10'-0"



SQUARE FOOTAGE
 LOWEST FLOOR TOTAL - 272 S.F.

LOWEST FLOOR PLAN
 3/16"=1'-0"

DIONS FLAGLER AVE MIXED
 USE
 KEY WEST, FL



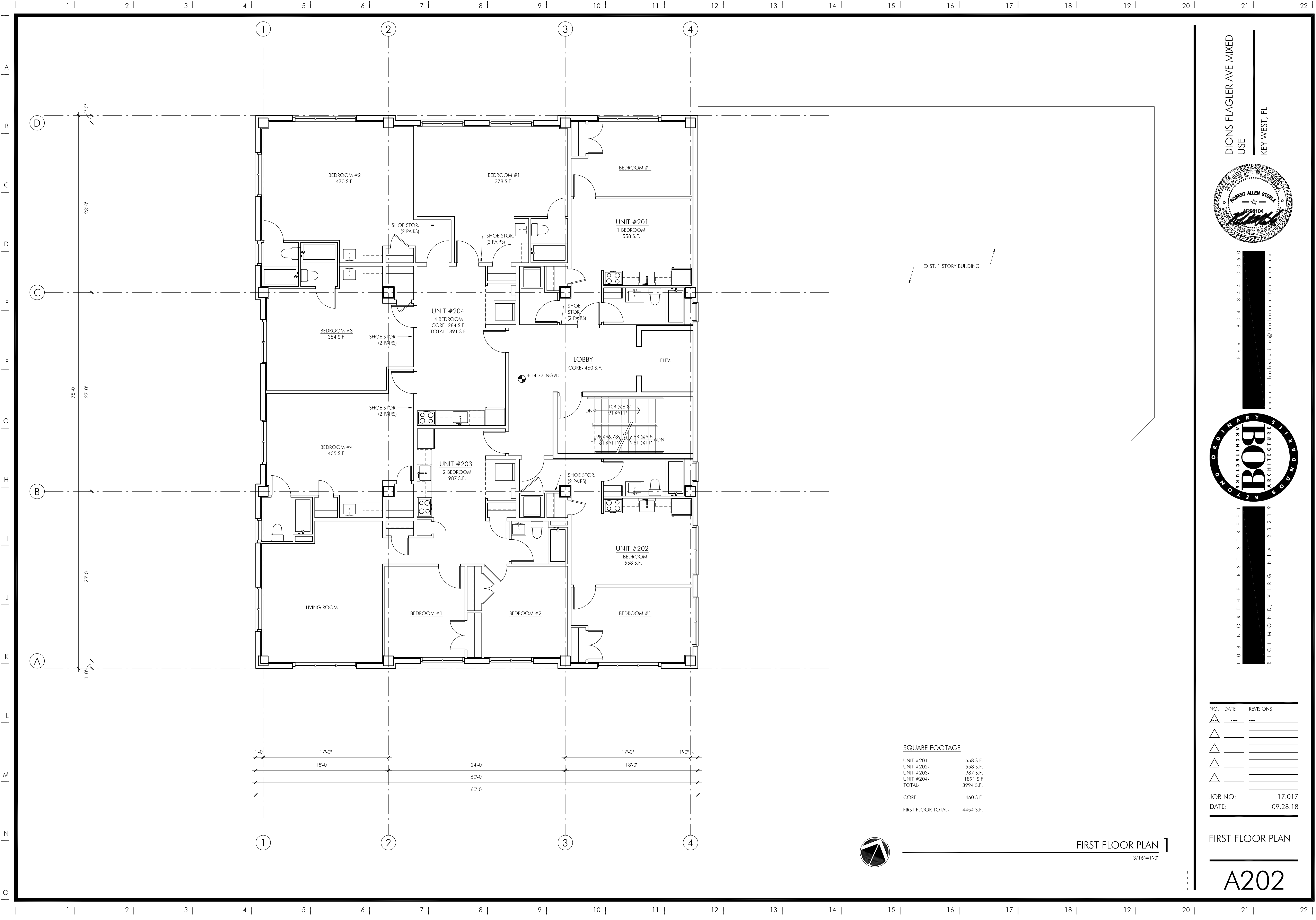
ORDINARY BRAND
BOB
 ARCHITECTURE
 108 NORTH FIRST STREET
 RICHMOND, VIRGINIA 23219
 Fon 804.344.0060
 email: bobstudio@bobarchitecture.net

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JOB NO: 17.017
 DATE: 09.28.18

LOWEST FLOOR
 PLAN

A201



SQUARE FOOTAGE

UNIT #201-	558 S.F.
UNIT #202-	558 S.F.
UNIT #203-	987 S.F.
UNIT #204-	1891 S.F.
TOTAL-	3994 S.F.
CORE-	460 S.F.
FIRST FLOOR TOTAL-	4454 S.F.

FIRST FLOOR PLAN

3/16"=1'-0"



DIONS FLAGLER AVE MIXED
USE
KEY WEST, FL



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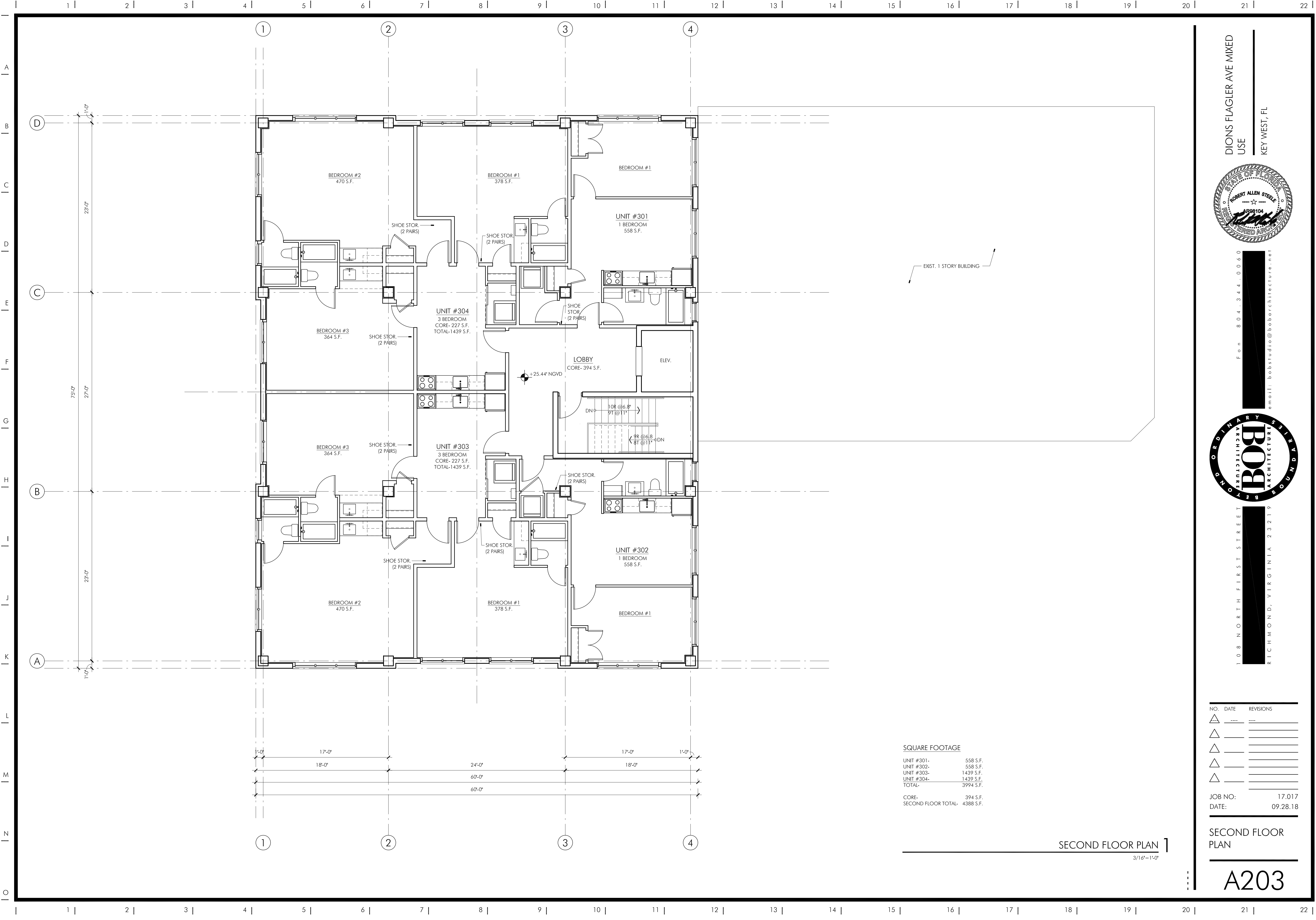
108 NORTH FIRST STREET
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JOB NO: 17.017
DATE: 09.28.18

FIRST FLOOR PLAN

A202



DIONS FLAGLER AVE MIXED
USE
KEY WEST, FL



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email: bobstudio@bobarchitecture.net



SQUARE FOOTAGE

UNIT #301-	558 S.F.
UNIT #302-	558 S.F.
UNIT #303-	1439 S.F.
UNIT #304-	1439 S.F.
TOTAL-	3994 S.F.
CORE-	394 S.F.
SECOND FLOOR TOTAL-	4388 S.F.

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JOB NO: 17.017
DATE: 09.28.18

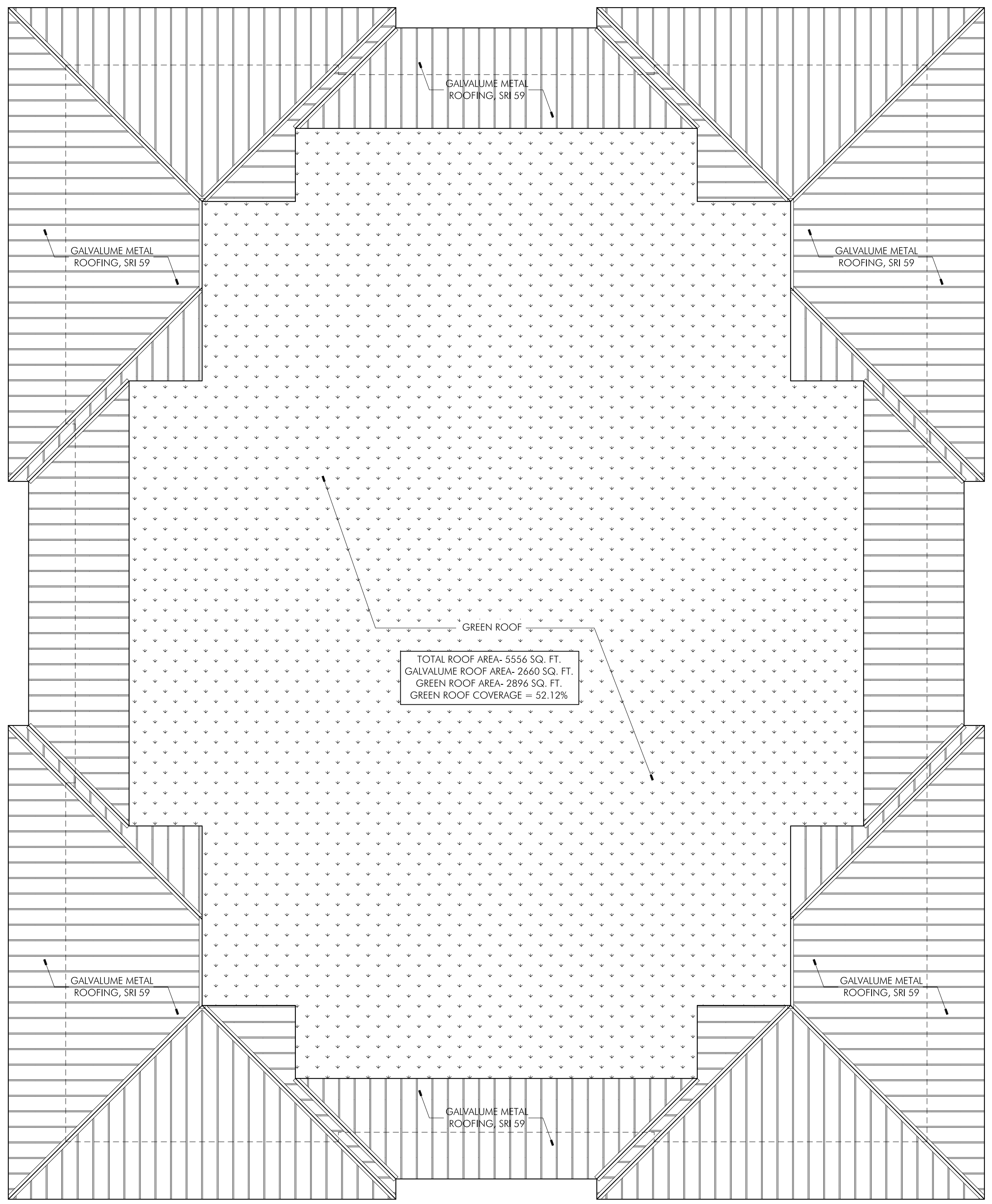
SECOND FLOOR PLAN

A203

SECOND FLOOR PLAN
3/16"=1'-0"

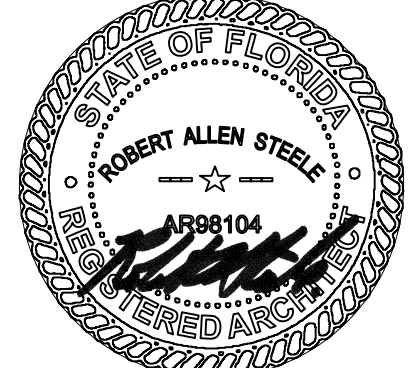
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A
B
C
D
E
F
G
H
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J
K
L
M
N
O



ROOF PLAN
3/16"=1'-0"

DIONS FLAGLER AVE MIXED
USE
KEY WEST, FL



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email: bobstudio@bobarchitecture.net



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RICHMOND, VIRGINIA 23219

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JOB NO: 17.017
DATE: 09.28.18

ROOF PLAN

A204

1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 | 16 | 17 | 18 | 19 | 20 | 21 | 22



SOUTH ELEVATION 2
3/16"=1'-0"



EAST ELEVATION 1
3/16"=1'-0"

DIONS FLAGLER AVE MIXED
USE
KEY WEST, FL



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RICHMOND, VIRGINIA 23219

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JOB NO: 17.017
DATE: 09.28.18

EAST & SOUTH
ELEVATIONS

A301

1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 | 16 | 17 | 18 | 19 | 20 | 21 | 22

A
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WEST ELEVATION 2
3/16"=1'-0"



NORTH ELEVATION 1
3/16"=1'-0"

DIONS FLAGLER AVE MIXED
USE
KEY WEST, FL



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108 NORTH FIRST STREET
RICHMOND, VIRGINIA 23219

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JOB NO: 17.017
DATE: 09.28.18

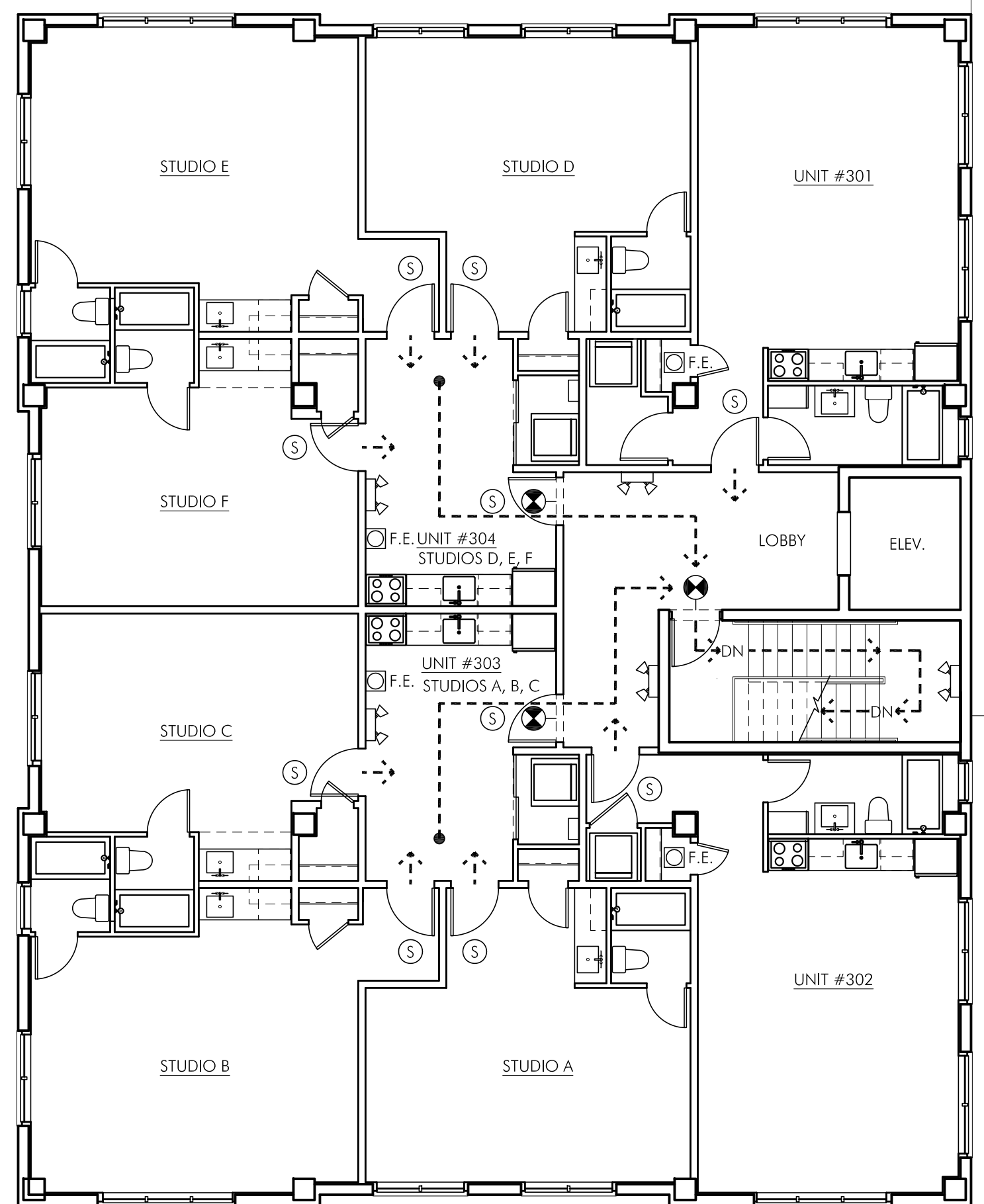
NORTH & WEST
ELEVATIONS

A302

1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 | 16 | 17 | 18 | 19 | 20 | 21 | 22

3RD FLOOR EGRESS & OCCUPANCY CALCULATIONS

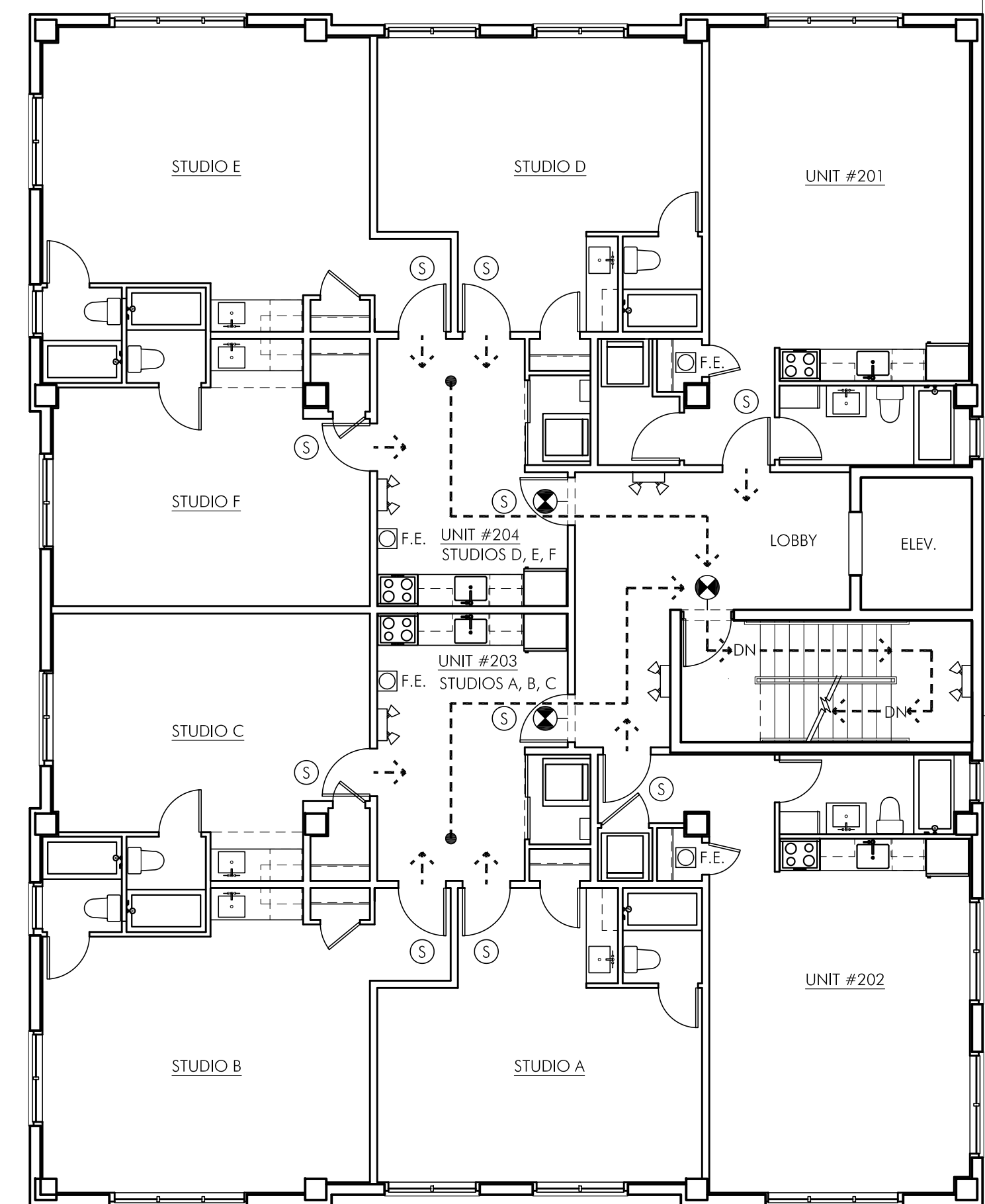
USE & OCCUPANCY CLASSIFICATION: RESIDENTIAL (R-2)
 NEPA 13R SPRINKLER SYSTEM IS PERMITTED (903.3.1.2)
 OCCUPANT LOAD: 21 (4,388 SF /200)
 EGRESS WIDTH REQUIRED:
 2 X 21 = 4.2', 44" MIN. EGRESS WIDTH REQ'D. (DOORS MIN. 32" CLEAR)
 STAIR EGRESS WIDTH REQUIRED:
 3 X 22 = 6.3', 44" MIN. EGRESS WIDTH REQ'D. (DOORS MIN. 32" CLEAR)
 MIN. NUMBER OF EXITS REQUIRED: 1 (OCCUPANT LOAD < 49 = 1 EXIT)
 ACCESSIBLE ROUTE WIDTH REQUIRED: 36" (DOORS MIN. 32" CLEAR)
 TABLE 1014.3 EXIT ACCESS TRAVEL DISTANCE:
 125' MAX. COMMON PATH OF EGRESS
 PROPOSED MAX. TRAVEL DISTANCE= 36 FT.



3RD FLR. LIFE SAFETY PLAN 3
 1/8" = 1'-0"

2ND FLOOR EGRESS & OCCUPANCY CALCULATIONS

USE & OCCUPANCY CLASSIFICATION: RESIDENTIAL (R-2)
 NEPA 13R SPRINKLER SYSTEM IS PERMITTED (903.3.1.2)
 OCCUPANT LOAD: 22 (4,454 SF /200)
 EGRESS WIDTH REQUIRED:
 2 X 22 = 4.4', 44" MIN. EGRESS WIDTH REQ'D. (DOORS MIN. 32" CLEAR)
 STAIR EGRESS WIDTH REQUIRED:
 3 X 22 = 6.6', 44" MIN. EGRESS WIDTH REQ'D. (DOORS MIN. 32" CLEAR)
 MIN. NUMBER OF EXITS REQUIRED: 1 (OCCUPANT LOAD < 49 = 1 EXIT)
 ACCESSIBLE ROUTE WIDTH REQUIRED: 36" (DOORS MIN. 32" CLEAR)
 TABLE 1014.3 EXIT ACCESS TRAVEL DISTANCE:
 125' MAX. COMMON PATH OF EGRESS
 PROPOSED MAX. TRAVEL DISTANCE= 36 FT.

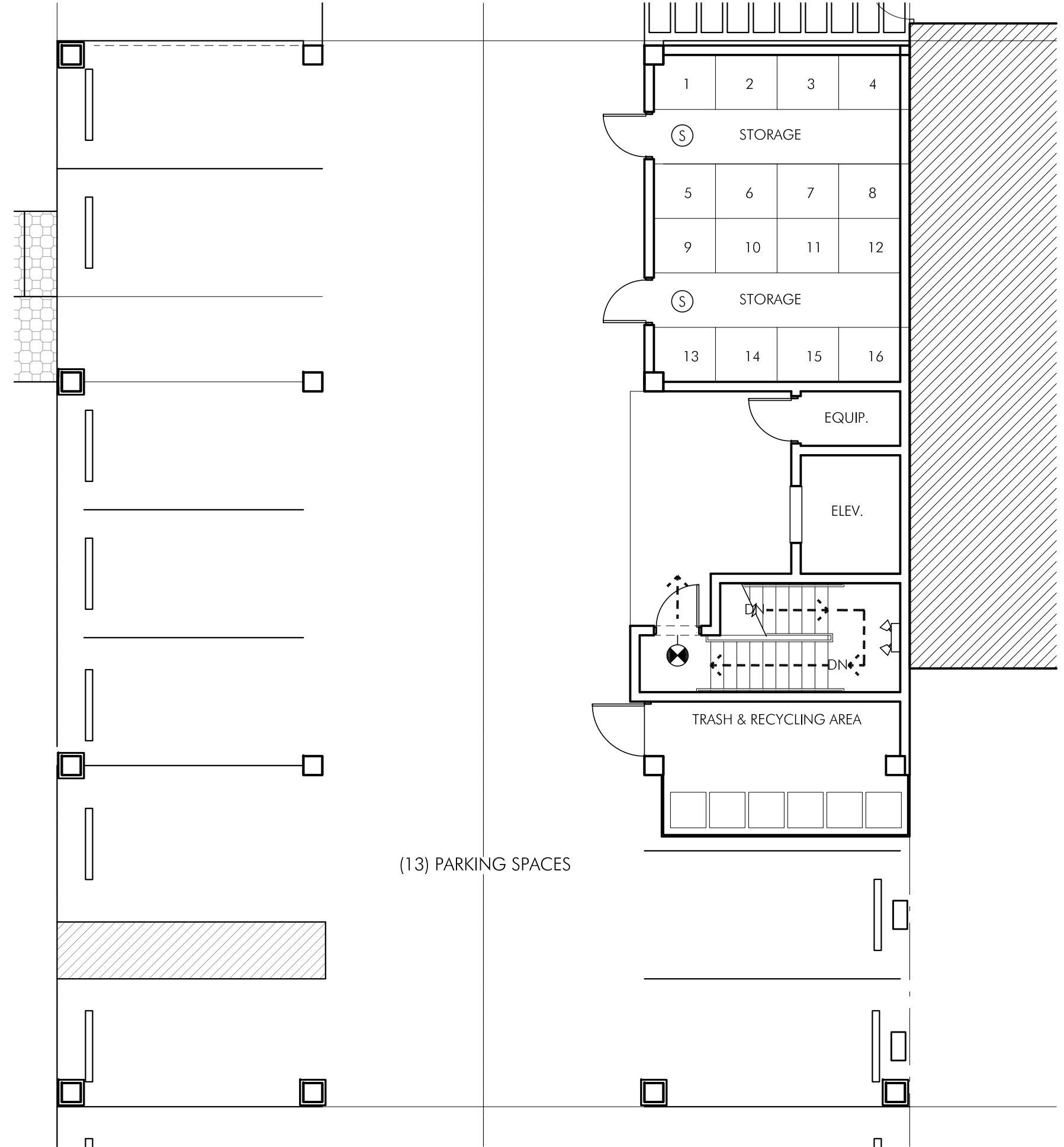


2ND FLR. LIFE SAFETY PLAN 2
 1/8" = 1'-0"

SYMBOLS

- EMERGENCY LIGHTING - BATTERY PACK W/ CHARGER
- EXIT SIGN - ILLUMINATED
- SMOKE DETECTOR - CEILING MOUNTED
- F.E. PORTABLE MULTI USE A-C-B FIRE EXTINGUISHER, PROVIDE MAINT. SCHED. AS REQ'D BY CODE (TYP.)

- NOTES:**
1. SMOKE DETECTORS THROUGHOUT
 2. AUTOMATIC SPRINKLER SYSTEM THROUGHOUT

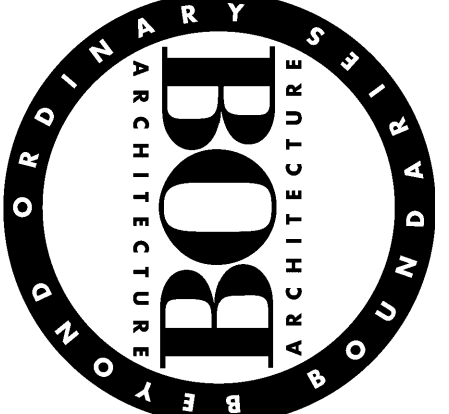


1ST FLR. LIFE SAFETY PLAN 1
 1/8" = 1'-0"

DIONS FLAGLER AVE MIXED USE
 KEY WEST, FL



FOR 804.344.0060
 email: bobstudio@bobarchitecture.net



108 NORTH FIRST STREET
 RICHMOND, VIRGINIA 23219

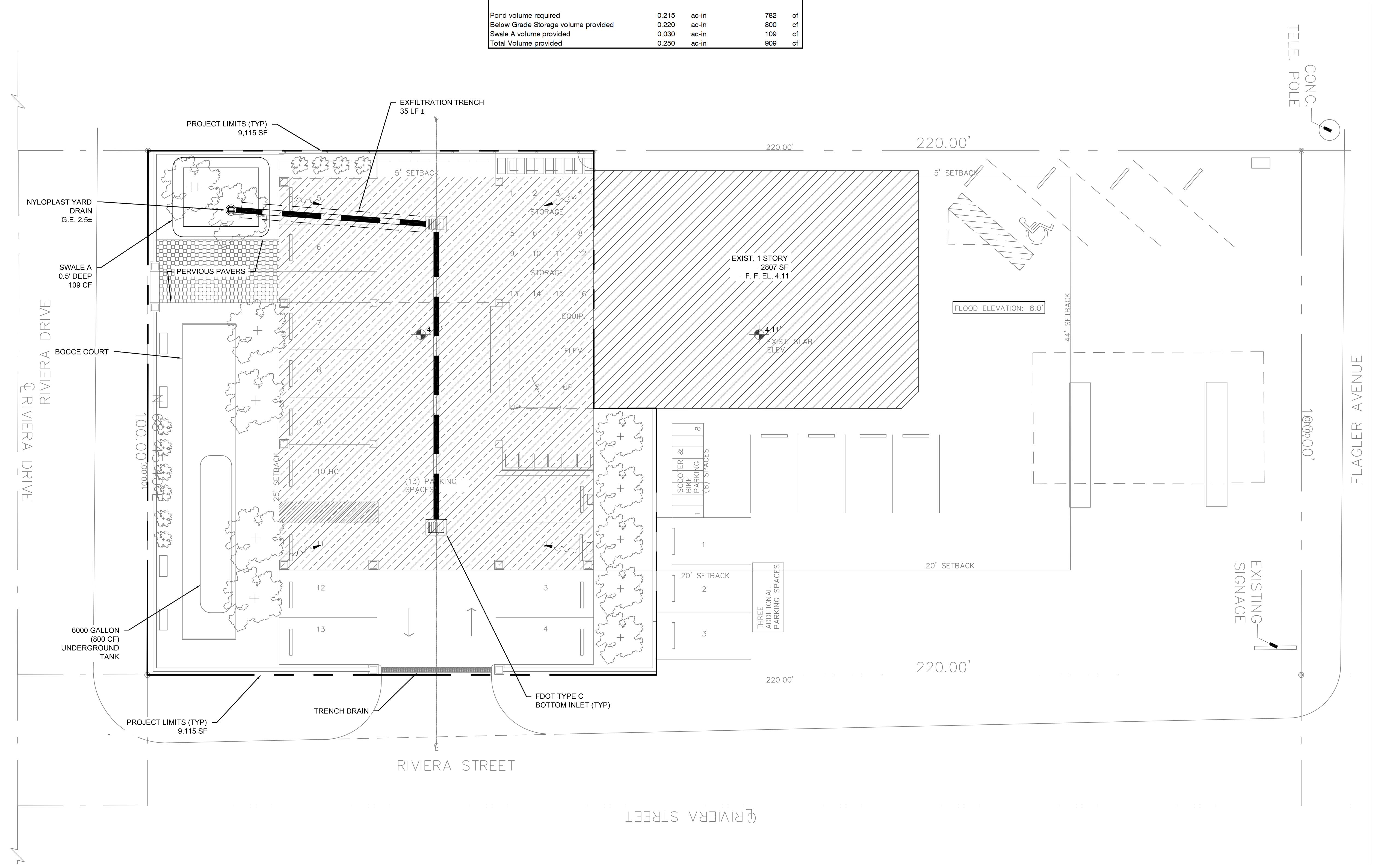
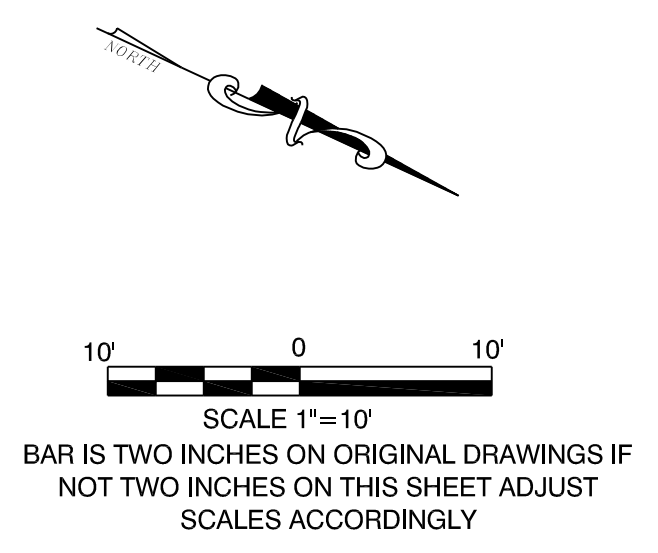
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JOB NO: 17.017
 DATE: 12.18.17

LIFE SAFETY PLANS

A901

Water Quality Calculations				
<i>Water Quality</i>				
Project Area	0.209	ac	9,115	sf
Surface Water	0.000	ac	0	sf
Roof Area	0.103	ac	4,500	sf
Pavement/Walkways	0.044	ac	1,900	sf
Pervious area	0.062	ac	2,715	sf
Site area for Water Quality (Total area- (water surface + roof area))				
	0.106	ac	4,615	sf
Impervious area for water Quality (Site area for Water Quality - Pervious area)				
	0.044	ac	1,900	sf
% Impervious				
	41%			
A) One inch of runoff from project area				
	0.209	ac-in		
B) 2.5 inches times percent impervious (2.5 x percent impervious x (site area - surface water))				
	0.215	ac-in		
<i>Comparison of Water Quality Methods</i>				
	0.209	<	0.215	
	ac-in		ac-in	
Pond volume required				
	0.215	ac-in	782	cf
Below Grade Storage volume provided				
	0.220	ac-in	800	cf
Swale A volume provided				
	0.030	ac-in	109	cf
Total Volume provided				
	0.250	ac-in	909	cf



CIVIL ENGINEERING • REGULATORY PERMITTING • CONSTRUCTION MANAGEMENT

PEREZ ENGINEERING & DEVELOPMENT, INC

KEY WEST OFFICE
1010 EAST KENNEDY DRIVE, SUITE 201
KEY WEST, FL 33040
TEL: (305) 293-9440 FAX: (305) 293-0243

CERTIFICATE OF AUTHORIZATION NO. 9579

ALLEN E. PEREZ, P.E.
Florida P.E. NO. 51488
December 18, 2017

REVISIONS:

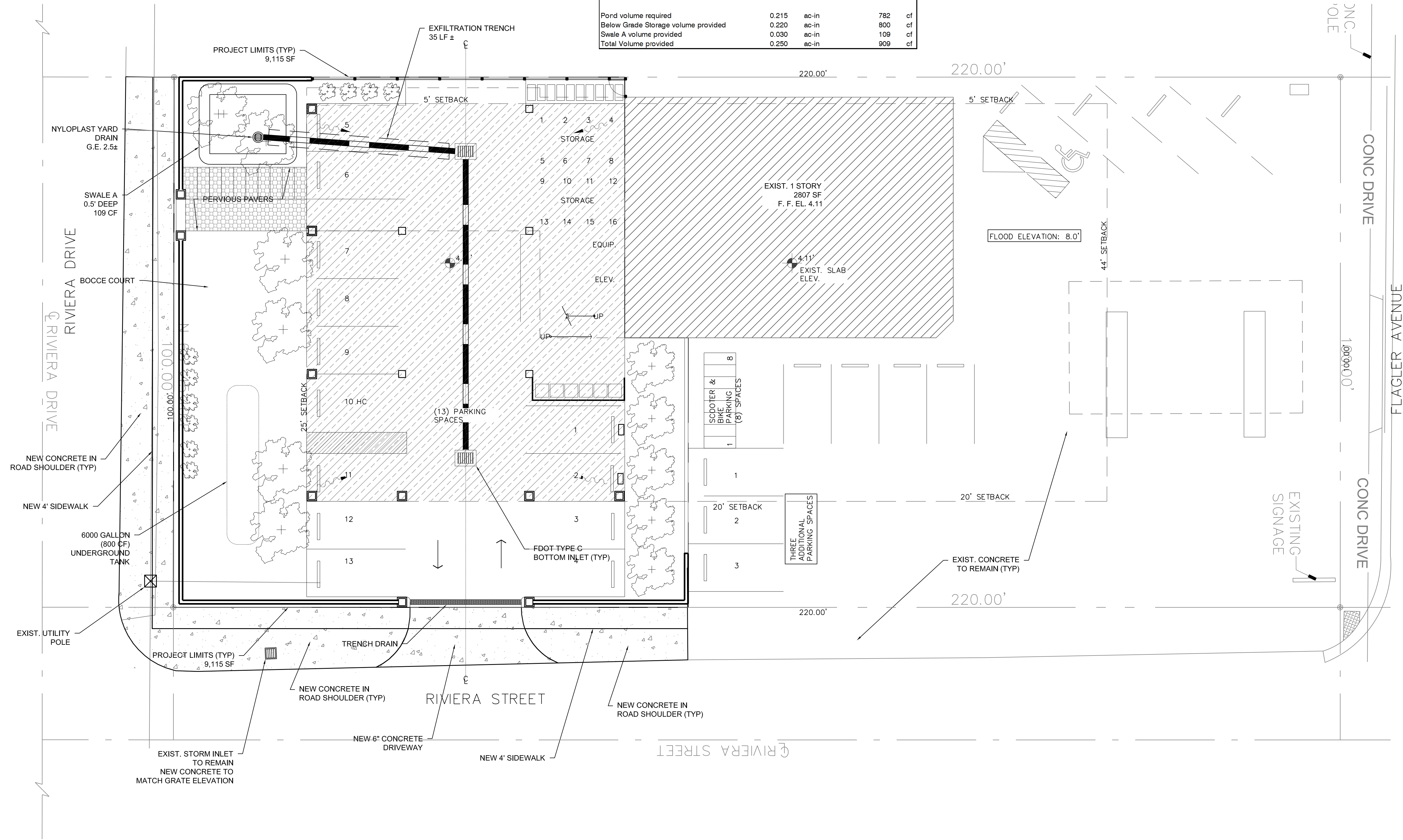
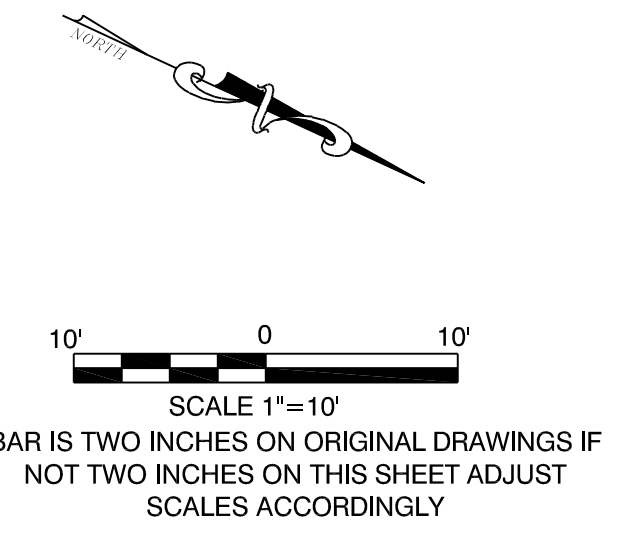
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DION'S FLAGLER AVENUE
3228 FLAGLER AVENUE
KEY WEST, FL. 33040
CONCEPTUAL DRAINAGE PLAN

UPHOFF INVESTMENTS, LLC
638 UNITED STREET
KEY WEST, FL. 33040

JOB NO. 171045
DRAWN AEP
DESIGNED AEP
CHECKED AEP
QC SHEET

Water Quality Calculations				
<i>Water Quality</i>				
Project Area	0.209	ac	9,115	sf
Surface Water	0.000	ac	0	sf
Roof Area	0.103	ac	4,500	sf
Pavement/Walkways	0.044	ac	1,900	sf
Pervious area	0.062	ac	2,715	sf
Site area for Water Quality (Total area- (water surface + roof area))				
	0.106	ac	4,615	sf
Impervious area for water Quality (Site area for Water Quality - Pervious area)				
	0.044	ac	1,900	sf
% Impervious				
	41%			
A) One inch of runoff from project area				
	0.209	ac-in		
B) 2.5 inches times percent impervious (2.5 x percent impervious x (site area - surface water))				
	0.215	ac-in		
<i>Comparison of Water Quality Methods</i>				
	0.209	ac-in	<	0.215
				ac-in
Pond volume required				
	0.215	ac-in	782	cf
Below Grade Storage volume provided				
	0.220	ac-in	800	cf
Swale A volume provided				
	0.030	ac-in	109	cf
Total Volume provided				
	0.250	ac-in	909	cf



CIVIL ENGINEERING - REGULATORY PERMITTING & CONSTRUCTION MANAGEMENT
PEREZ ENGINEERING & DEVELOPMENT, INC
 KEY WEST OFFICE
 10101 BIRCHWOOD BLVD SUITE 201
 KEY WEST, FLORIDA 33040
 TEL: (305) 253-7445 FAX: (305) 253-7446
 ALLEN E. PEREZ, P.E.
 Florida P.E. NO. 51468
 May 20, 2018

ORIGINAL: DECEMBER 2017
 REVISIONS:
 1
 2
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UPHOFF INVESTMENTS, LLC
 638 UNITED STREET
 KEY WEST, FL. 33040

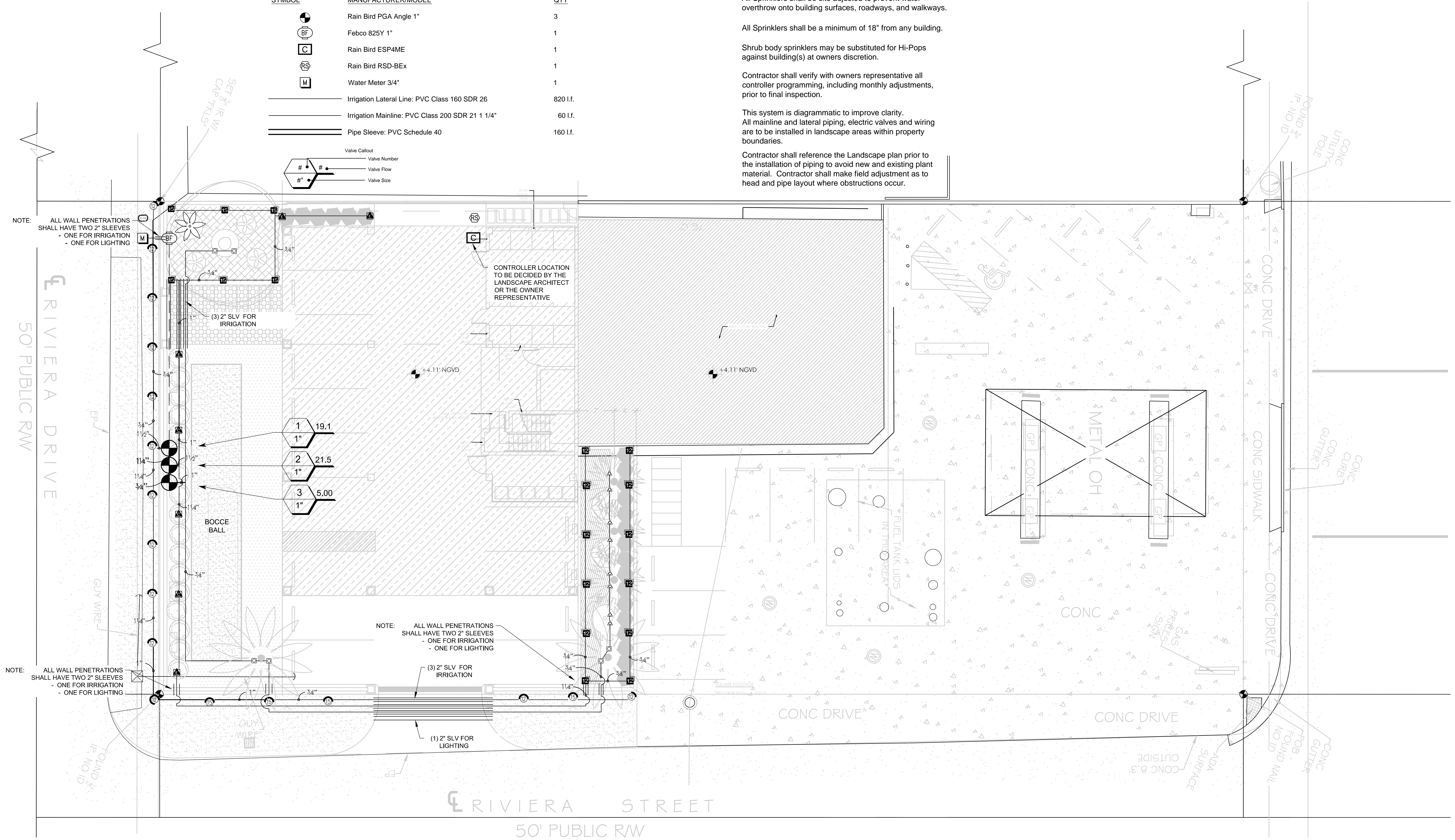
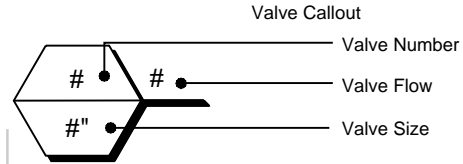
DIONS FLAGLER AVENUE
 3228 FLAGLER AVENUE
KEY WEST, FL. 33040
 CONCEPTUAL DRAINAGE PLAN

JOB NO. 171045
 DRAWN: AEP
 DESIGNED: AEP
 CHECKED: AEP
 SHEET C-1

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL	QTY	ARC	PSI	GPM	RADIUS
⊙	Rain Bird 1806 12 Series MPR	10	180	20	1.05	10'
⊙	Rain Bird 1806 12 Series MPR	2	90	20	0.53	10'
⊙	Rain Bird 1806 12 Series MPR	1	270	20	1.58	10'
⊙	Rain Bird 1806 15 Series MPR	4	180	20	1.50	12'
⊙	Rain Bird 1812 15 Strip Series	3	CST	20	1.00	4'x30'
⊙	Rain Bird 1812 15 Strip Series	4	EST	20	0.50	4'x15'
⊙	Rain Bird 1812 12 Series MPR	8	180	20	1.05	10'
⊙	Rain Bird 1812 12 Series MPR	4	90	20	0.53	10'
⊙	Rain Bird 1812 15 Series MPR	2	180	20	1.50	12'
⊙	Rain Bird 1812 15 Series MPR	4	90	20	0.75	12'
△	Rain Bird 1804-1400 Flood	8	360	20	0.25	3'
⊠	Rain Bird 1804-1400 Flood	6	360	20	0.50	3'

SYMBOL	MANUFACTURER/MODEL	QTY
⊙	Rain Bird PGA Angle 1"	3
⊙	Febco 825Y 1"	1
⊙	Rain Bird ESP4ME	1
⊙	Rain Bird RSD-BEx	1
⊙	Water Meter 3/4"	1
—	Irrigation Lateral Line: PVC Class 160 SDR 26	820 L.F.
—	Irrigation Mainline: PVC Class 200 SDR 21 1 1/4"	60 L.F.
—	Pipe Sleeve: PVC Schedule 40	160 L.F.



NOTE: ALL WALL PENETRATIONS SHALL HAVE TWO 2" SLEEVES - ONE FOR IRRIGATION - ONE FOR LIGHTING

NOTE: ALL WALL PENETRATIONS SHALL HAVE TWO 2" SLEEVES - ONE FOR IRRIGATION - ONE FOR LIGHTING

NOTE: ALL WALL PENETRATIONS SHALL HAVE TWO 2" SLEEVES - ONE FOR IRRIGATION - ONE FOR LIGHTING

Irrigation water source is assumed to be a Meter through the F.K.A.A. (Contractor shall provide meter).
 Irrigation Contractor shall be responsible for all applicable fees and permits.
 Irrigation Contractor shall comply with all state and local codes and shall clarify any discrepancies on the plan prior to bidding.
 All Pipe and Wire under paving shall be placed in Schedule 40 P.V.C. Sleeves for the full pavement coverage length and shall be at least 24" below grade.
 Mainlines shall be buried to provide a minimum cover of 18", while all Lateral lines shall have a minimum of 12".
 The Contractor should take care to reroute piping as necessary to avoid plant or tree roots.
 All Piping downstream of Solenoid Valve to be PR-160 P.V.C.
 MainLine, Valves, etc. may be shown out of position for graphic clarity. Drawing is diagrammatic only.
 All Sprinklers shall be site adjusted to prevent water overthrow onto building surfaces, roadways, and walkways.
 All Sprinklers shall be a minimum of 18" from any building.
 Shrub body sprinklers may be substituted for Hi-Pops against building(s) at owners discretion.
 Contractor shall verify with owners representative all controller programming, including monthly adjustments, prior to final inspection.
 This system is diagrammatic to improve clarity. All mainline and lateral piping, electric valves and wiring are to be installed in landscape areas within property boundaries.
 Contractor shall reference the Landscape plan prior to the installation of piping to avoid new and existing plant material. Contractor shall make field adjustment as to head and pipe layout where obstructions occur.

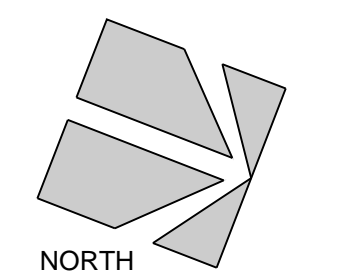
VALVE SCHEDULE

NUMBER	MODEL	SIZE	TYPE	GPM	WIRE	PSI	PSI @ POC	PRECIP
1	Rain Bird PGA Angle	1"	Turf Spray	19.14	104.3	27.06	45	0.99 in/h
2	Rain Bird PGA Angle	1"	Shrub Spray	21.52	107.8	26.98	46.62	1.69 in/h
3	Rain Bird PGA Angle	1"	Bubbler	5.00	111.3	26.05	38.59	1.52 in/h
	Common Wire				55.0			

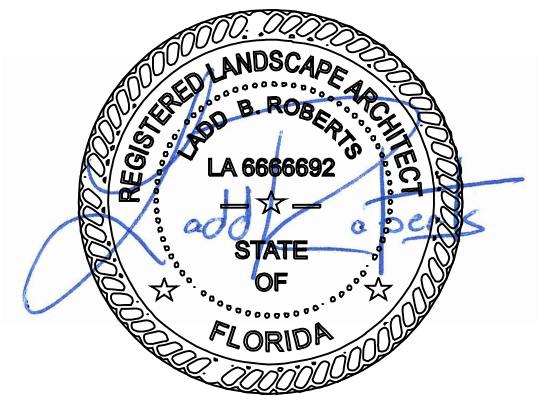
WATERING SCHEDULE

NUMBER	MODEL	TYPE	PRECIP	IN./WEEK	MIN./WEEK	GAL./WEEK	GAL./DAY
1	Rain Bird PGA Angle	Turf Spray	0.99 in/h	1	61	1,168	583.8
2	Rain Bird PGA Angle	Shrub Spray	1.69 in/h	1	36	774.7	387.4
3	Rain Bird PGA Angle	Bubbler	1.52 in/h	1	40	200	100
	TOTALS:				137	2,142	1,071

FLAGLER AVENUE MIXED-USE
KEY WEST, FL 33040



SCALE: 1" = 10'-0"



FLAGLER AVE MIXED USE

DATE: 5.15.18

REVISIONS:

No.	Date	Notes
1.		
2.		

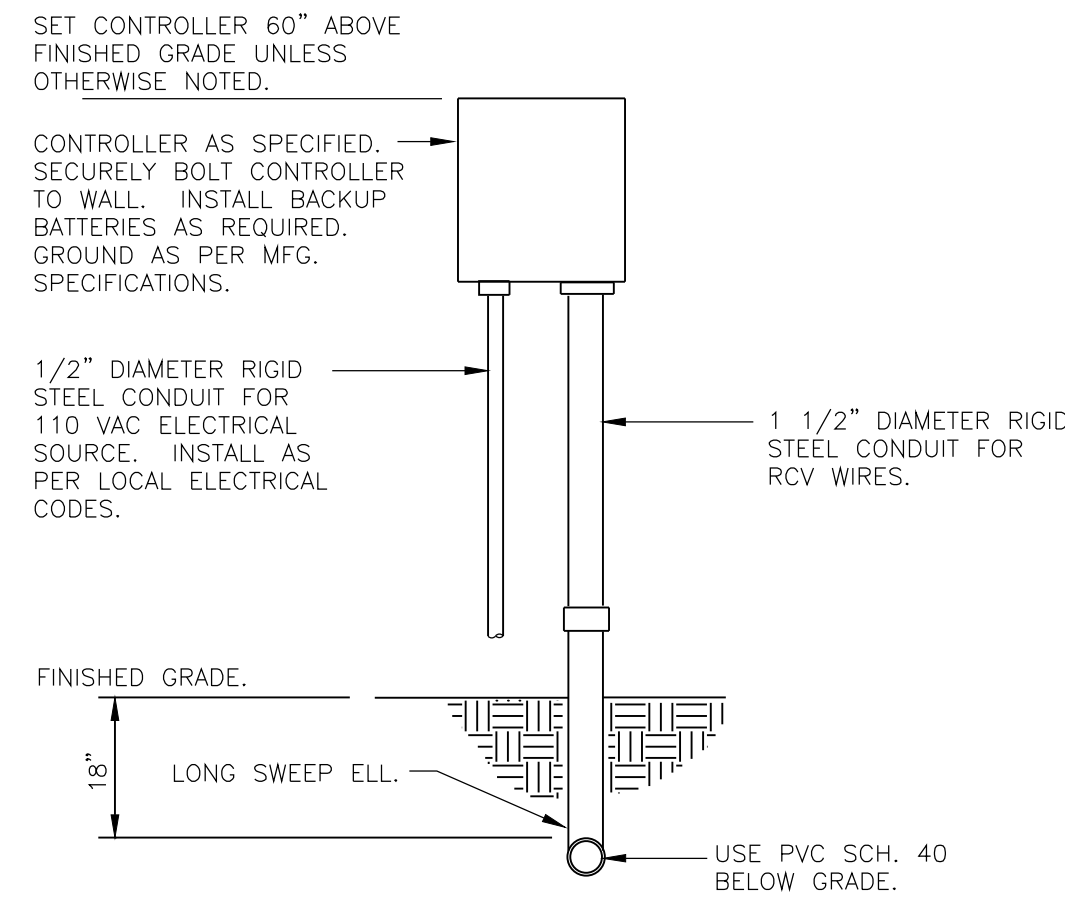
CONSTRUCTION DOCUMENTS

SHEET NUMBER:
L-3

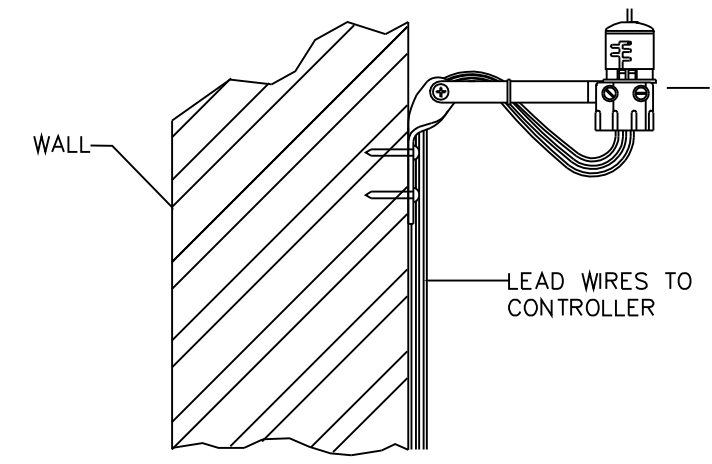
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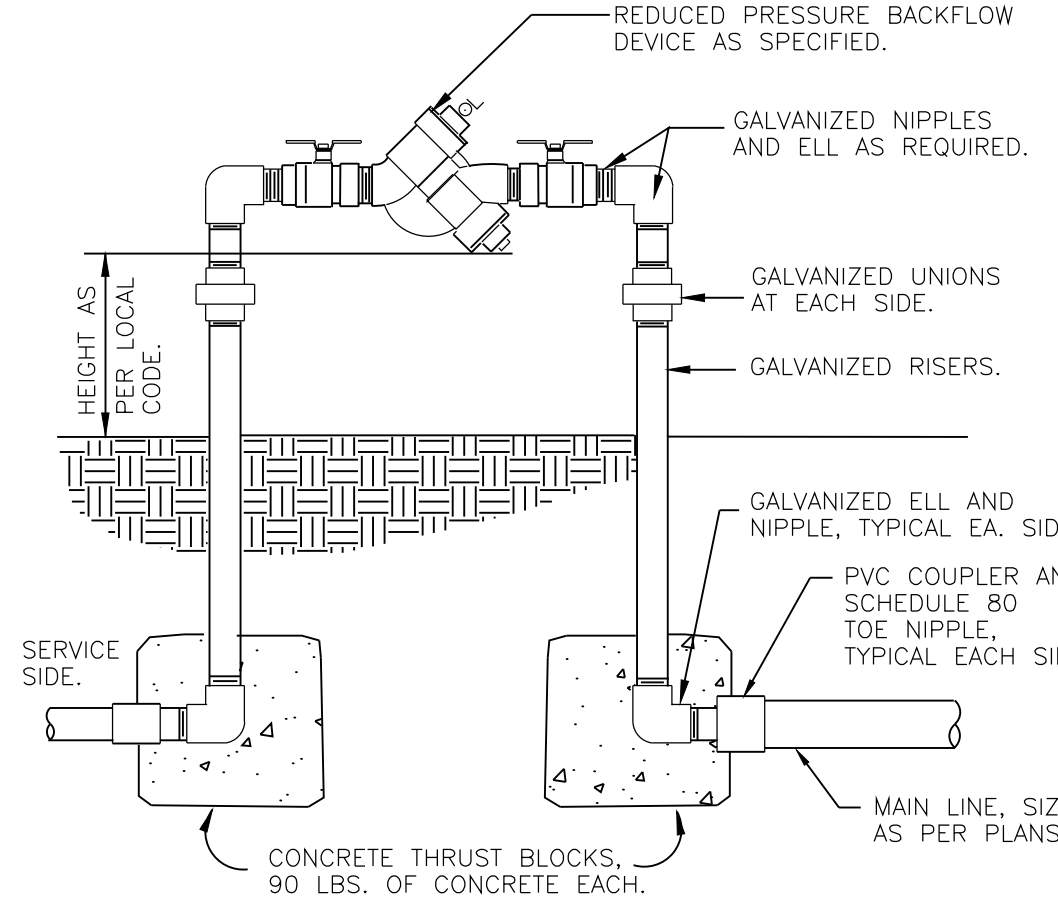
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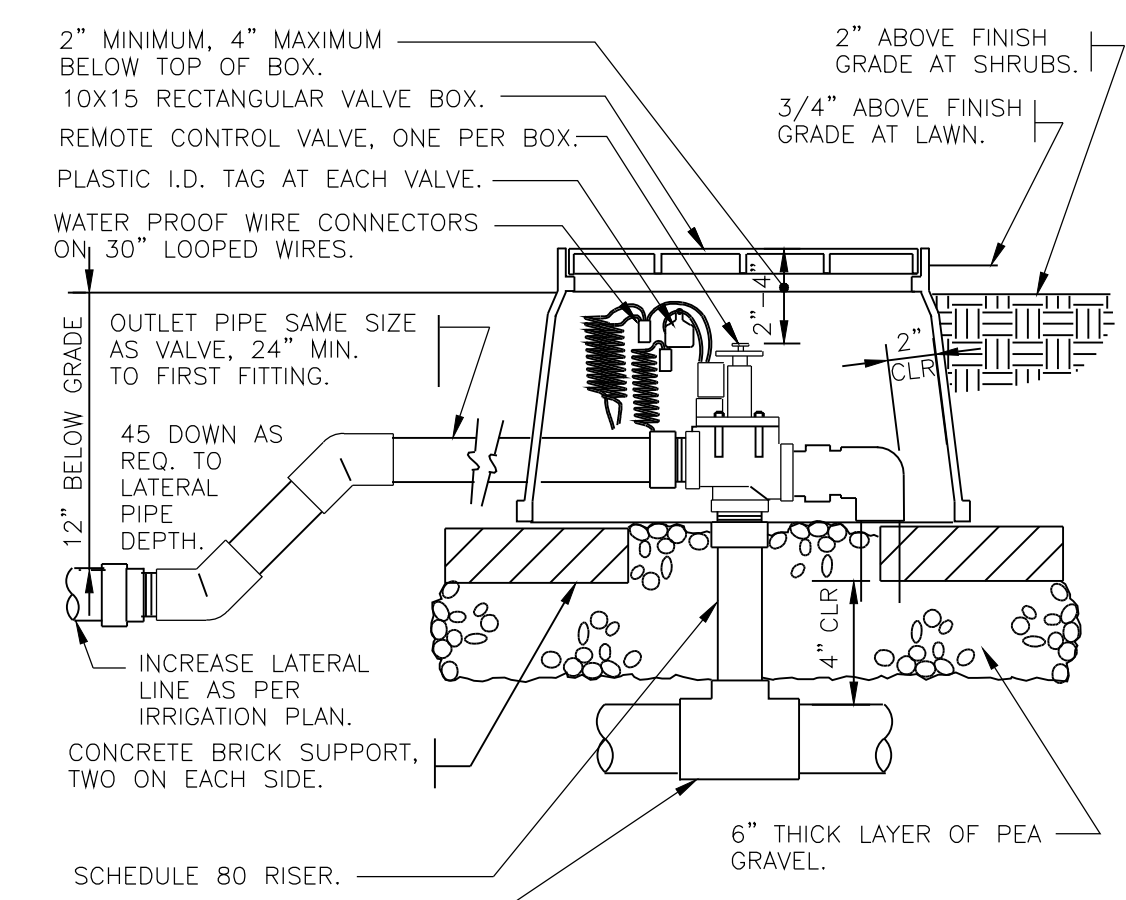
01 WALL MOUNT CONTROLLER
N.T.S.



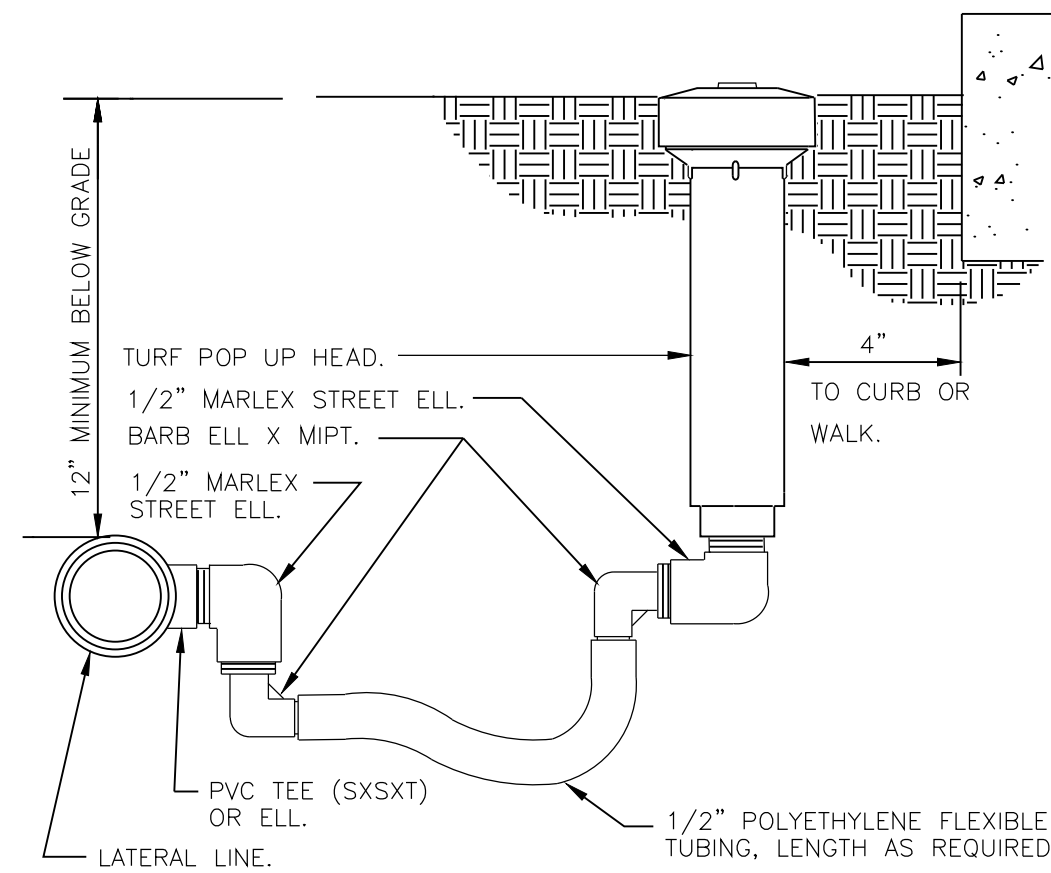
02 RAIN SENSOR
N.T.S.



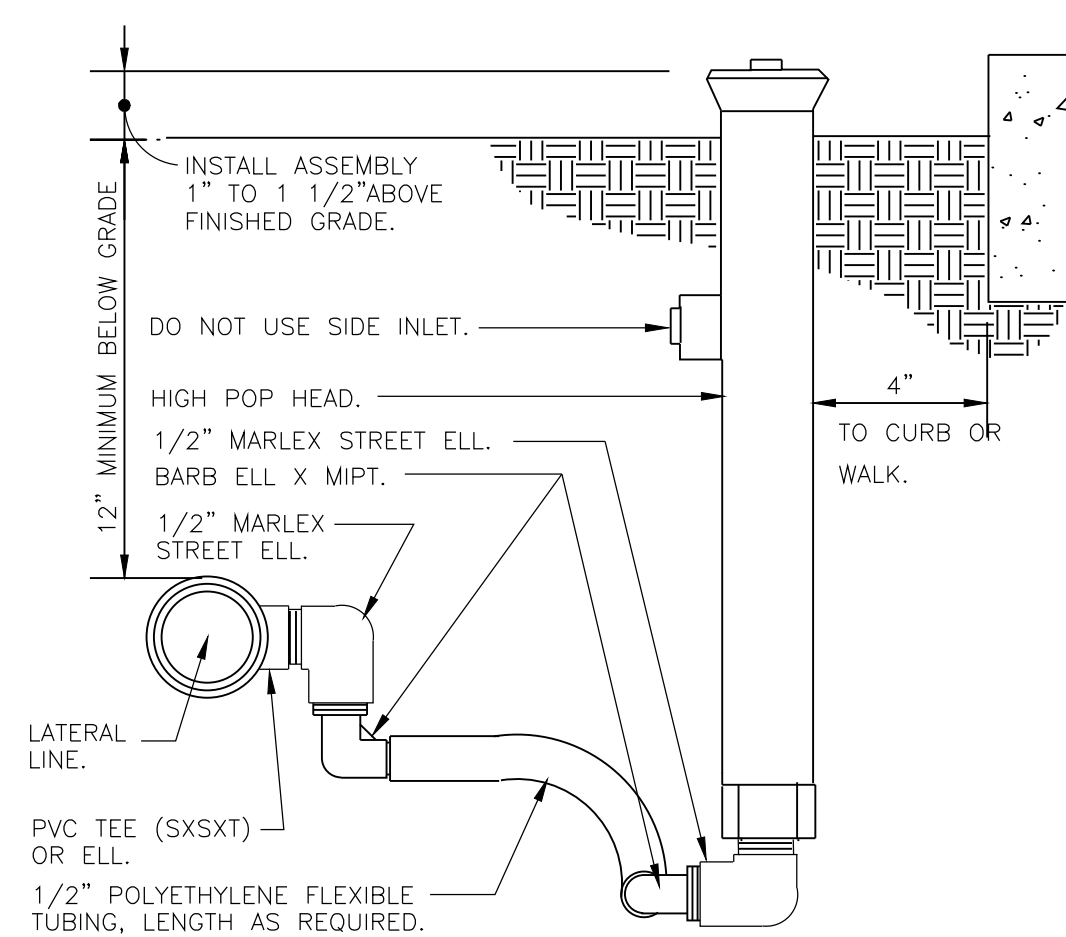
03 REDUCED PRESSURE BACKFLOW DEVICE
N.T.S.



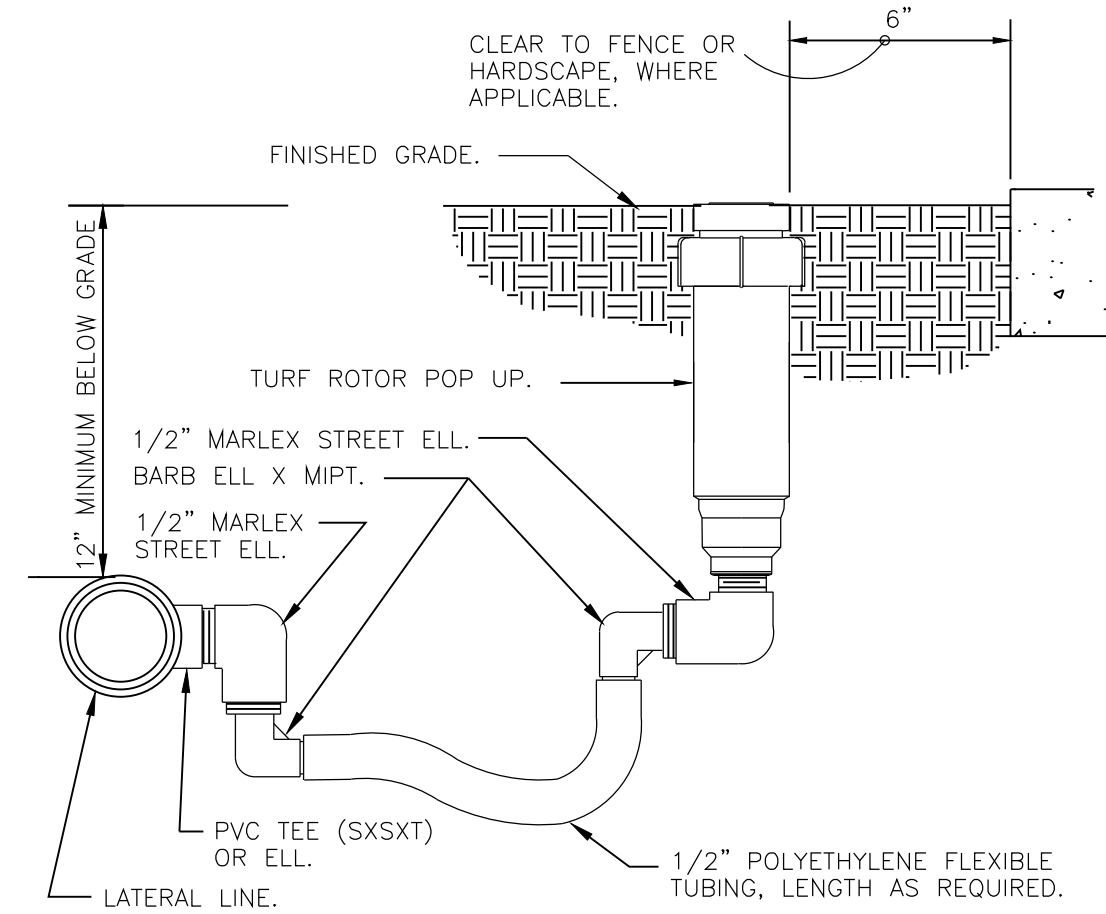
04 ELECTRIC REMOTE CONTROL VALVE
N.T.S.



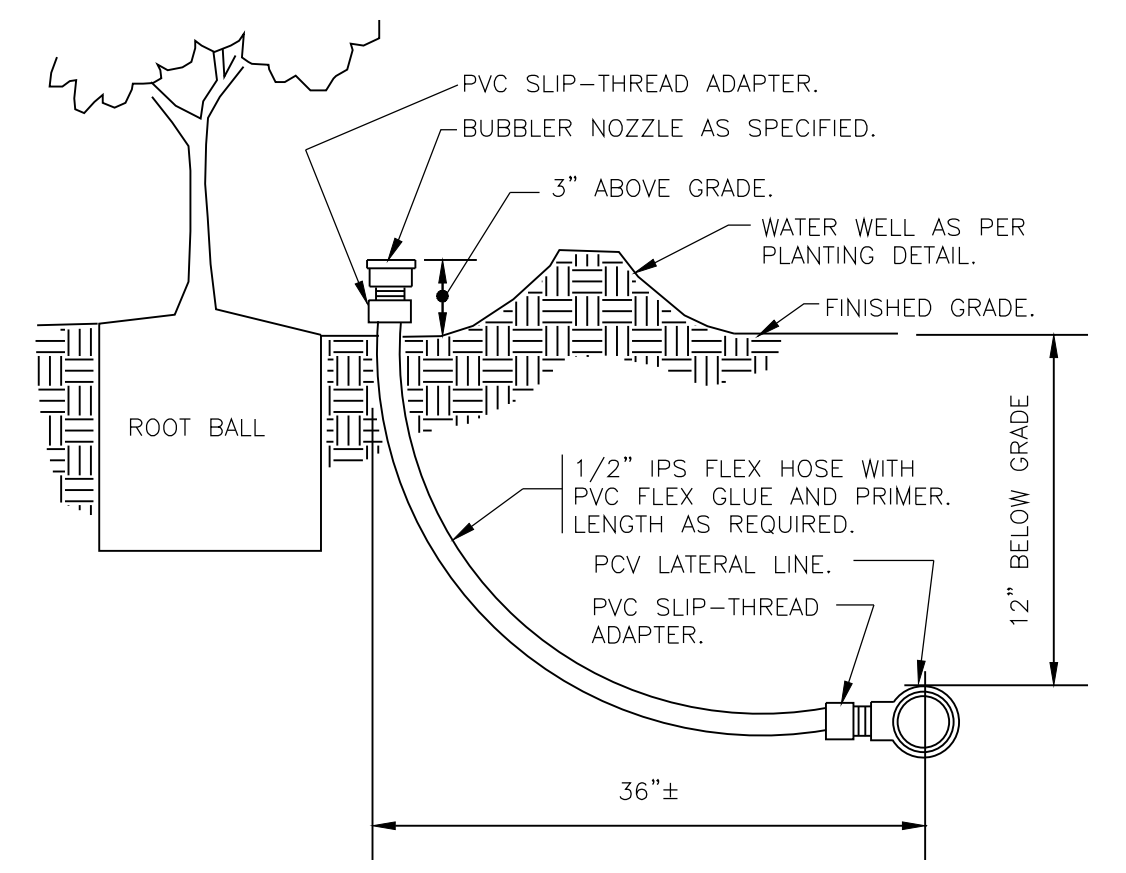
05 TURF SPRAY FLEX ASSEMBLY
N.T.S.



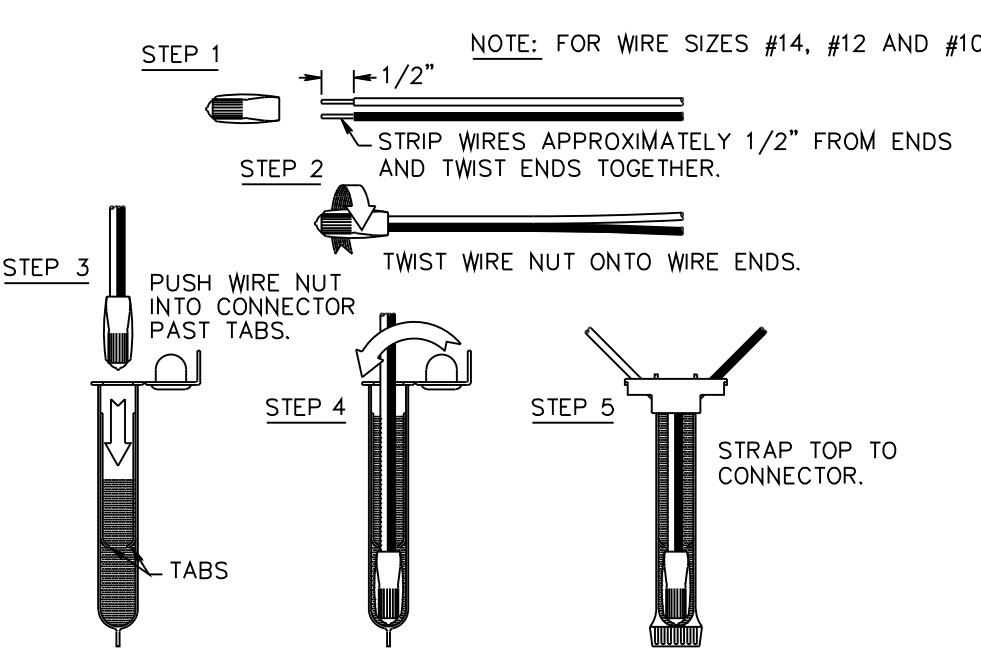
06 SHRUB SPRAY HIGHPOP W/FLEX ASSEMBLY
N.T.S.



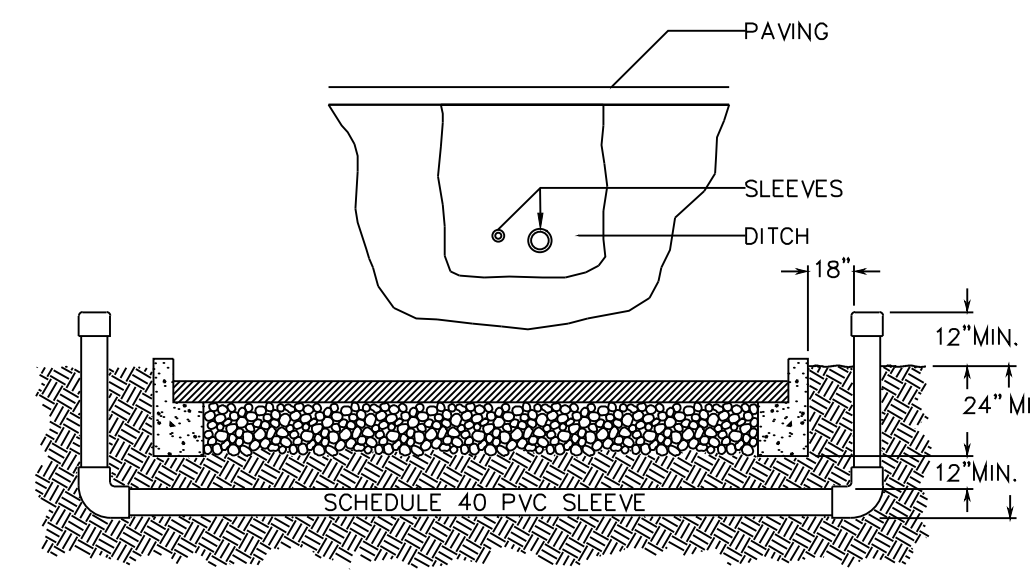
07 TURN ROTOR FLEX ASSEMBLY
N.T.S.



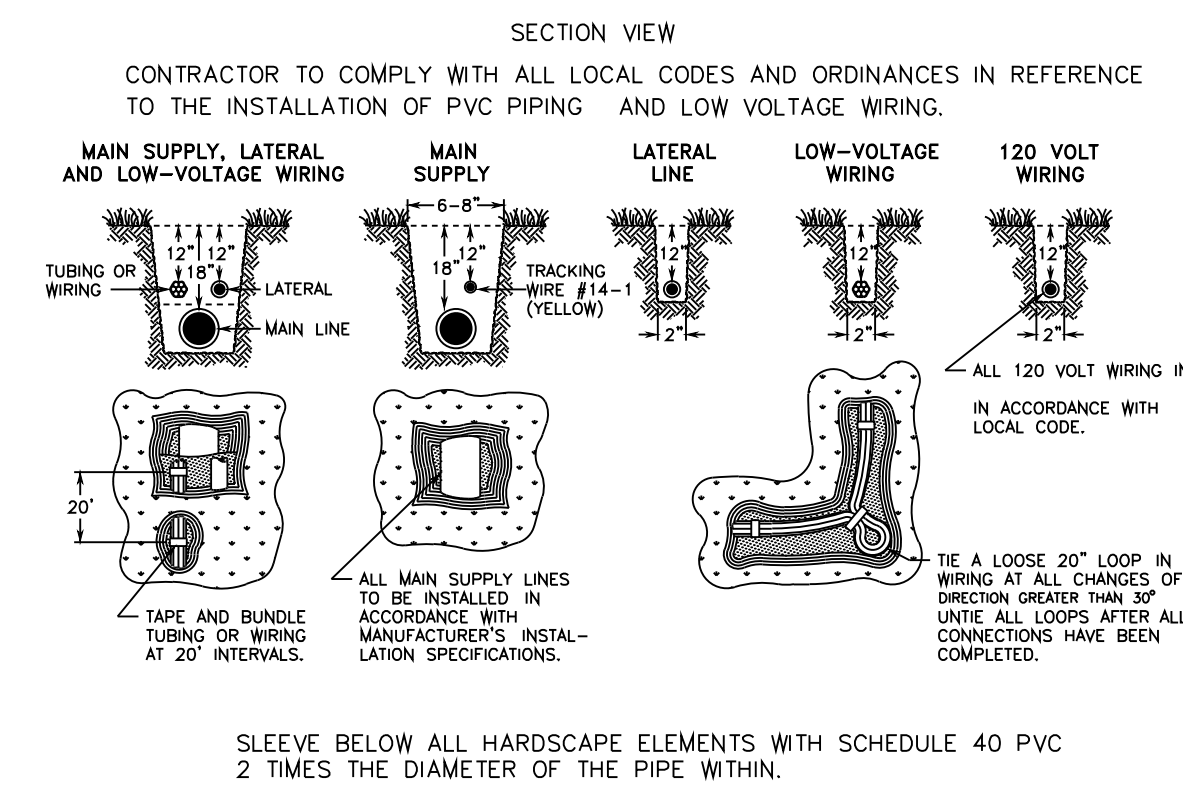
08 BUBBLER ON FLEX HOSE RISER
N.T.S.



09 WIRE CONNECTION DETAIL
N.T.S.



10 IRRIGATION SLEEVING
N.T.S.



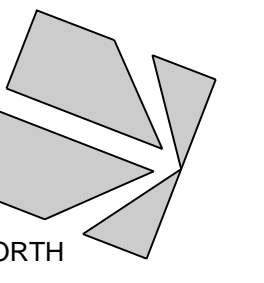
11 PIPE AND WIRE TRENCHING
N.T.S.

NOTE:

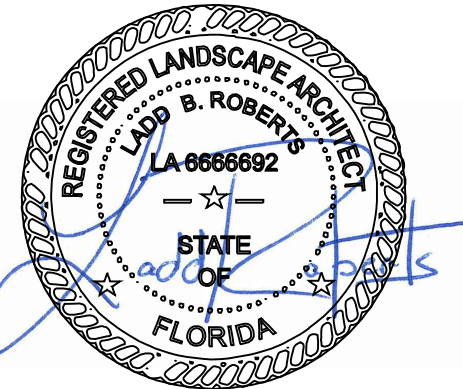
- SYSTEM IS DIAGRAMMATIC TO IMPROVE CLARITY. ALL MAINLINE AND LATERAL PIPING, ELECTRIC VALVES AND WIRING ARE TO BE INSTALLED IN LANDSCAPE AREAS AND WITHIN PROPERTY BOUNDARIES.
- CONTRACTOR SHALL REFERENCE THE LANDSCAPE PLAN PRIOR TO THE INSTALLATION OF PIPING TO AVOID CONTACT WITH PLANT MATERIALS EXISTING OR NEW.
- CONTRACTOR TO MAKE FIELD ADJUSTMENTS TO HEAD AND PIPE LAYOUT WHEN EXISTING OBSTRUCTIONS MAY OCCUR (SEE IRRIGATION NOTES AND SPECIFICATIONS).
- THESE TIMINGS HAVE BEEN COMPILED USING THE MANUFACTURERS SPECIFICATIONS TO ACHIEVE 1.0 INCHES PRECIPITATION PER WEEK PRECISE WATERING TIMES MUST BE SITE DETERMINED BASED ON SEASON, RAINFALL, ETC. PRECIPITATION RATES WILL ALSO VARY BASED ON THE ELEMENTS AND SEASONS.

DAYLIGHT SAVING TIME:
HOUSES WITH ODD NUMBERED ADDRESSES OR NO ADDRESS WILL WATER ON WEDNESDAY & SATURDAY.
HOUSES WITH EVEN NUMBERED ADDRESSES WILL WATER ON THURSDAY & SUNDAY.
NON RESIDENTIAL ADDRESSES WILL WATER ON TUESDAY & FRIDAY.

EASTERN STANDARD TIME:
HOUSES WITH ODD NUMBERED ADDRESSES OR NO ADDRESS WILL WATER ON SATURDAY.
HOUSES WITH EVEN NUMBERED ADDRESSES WILL WATER ON SUNDAY.
NON RESIDENTIAL ADDRESSES WILL WATER ON TUESDAY.



SCALE: 1" = 10'-0"



DATE: 5.15.18

REVISIONS:

No.	Date	Notes
1.		
2.		

CONSTRUCTION DOCUMENTS

SHEET NUMBER:

L-4

JOB #: 18002 DRAWN BY: LBR
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Site Visit

3228 Flagler Avenue, Key West, Florida 33040
SITE VISIT



3228 Flagler Avenue, Key West, Florida 33040
SITE VISIT



3228 Flagler Avenue, Key West, Florida 33040
SITE VISIT



3228 Flagler Avenue, Key West, Florida 33040
SITE VISIT



Additional Information

Summary

Parcel ID 00069040-000000
 Account # 1072931
 Property ID 1072931
 Millage Group 10KW
 Location 3228 FLAGLER Ave , KEY WEST
 Address
 Legal Description KW RIVIERA SHORES SUBDIVISION PB3-148 THE EASTERLY 100FT OF BLK 2 OR85-361/362 OR1913-1679/81 OR2781-1779/90
 (Note: Not to be used on legal documents)
 Neighborhood 31060
 Property Class SERVICE STATION (2600)
 Subdivision Riviera Shores Sub
 Sec/Twp/Rng 33/67/25
 Affordable No
 Housing



Owner

LAND 10031 LLC 4900 W Hundred Rd Chester VA 23831	LAND 1701 LLC	LAND 8601 LLC
LAND 4027 LLC	LAND 2708 LLC	LAND 7009 LLC
LAND 113 LLC	LAND 8351 LLC	LAND 2421 LLC

Valuation

	2017	2016	2015	2014
+ Market Improvement Value	\$509,042	\$518,281	\$606,551	\$606,551
+ Market Misc Value	\$52,225	\$52,464	\$10,860	\$9,992
+ Market Land Value	\$317,130	\$317,130	\$317,130	\$306,900
= Just Market Value	\$878,397	\$887,875	\$934,541	\$923,443
= Total Assessed Value	\$878,397	\$887,875	\$934,541	\$923,443
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$878,397	\$887,875	\$934,541	\$923,443

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
COMMERCIAL DRY (100D)	22,000.00	Square Foot	100	220

Commercial Buildings

Style 1 STY STORE-B / 11B
 Gross Sq Ft 6,520
 Finished Sq Ft 4,844
 Perimeter 0
 Stories 2
 Interior Walls
 Exterior Walls C.B.S.
 Quality 400 ()
 Roof Type
 Roof Material
 Exterior Wall1 C.B.S.
 Exterior Wall2
 Foundation
 Interior Finish
 Ground Floor Area
 Floor Cover
 Full Bathrooms 0
 Half Bathrooms 0
 Heating Type
 Year Built 1969
 Year Remodeled
 Effective Year Built 1995
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
CPF	CARPORT FIN	576	0	0
CAD	DETACHED CAN	1,100	0	0

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	4,844	4,844	0
TOTAL		6,520	4,844	0

Yard Items

Description	Year Built	Roll Year	Quantity	Units	Grade
CARPORT	1995	1996	1	630 SF	1
CH LINK FENCE	1978	1979	1	1560 SF	1
FENCES	1979	1980	1	210 SF	4
ASPHALT PAVING	1979	1980	1	2300 SF	2
FENCES	1979	1980	1	390 SF	4
PATIO	1985	1986	1	9935 SF	2
PATIO	1969	1970	1	680 SF	1

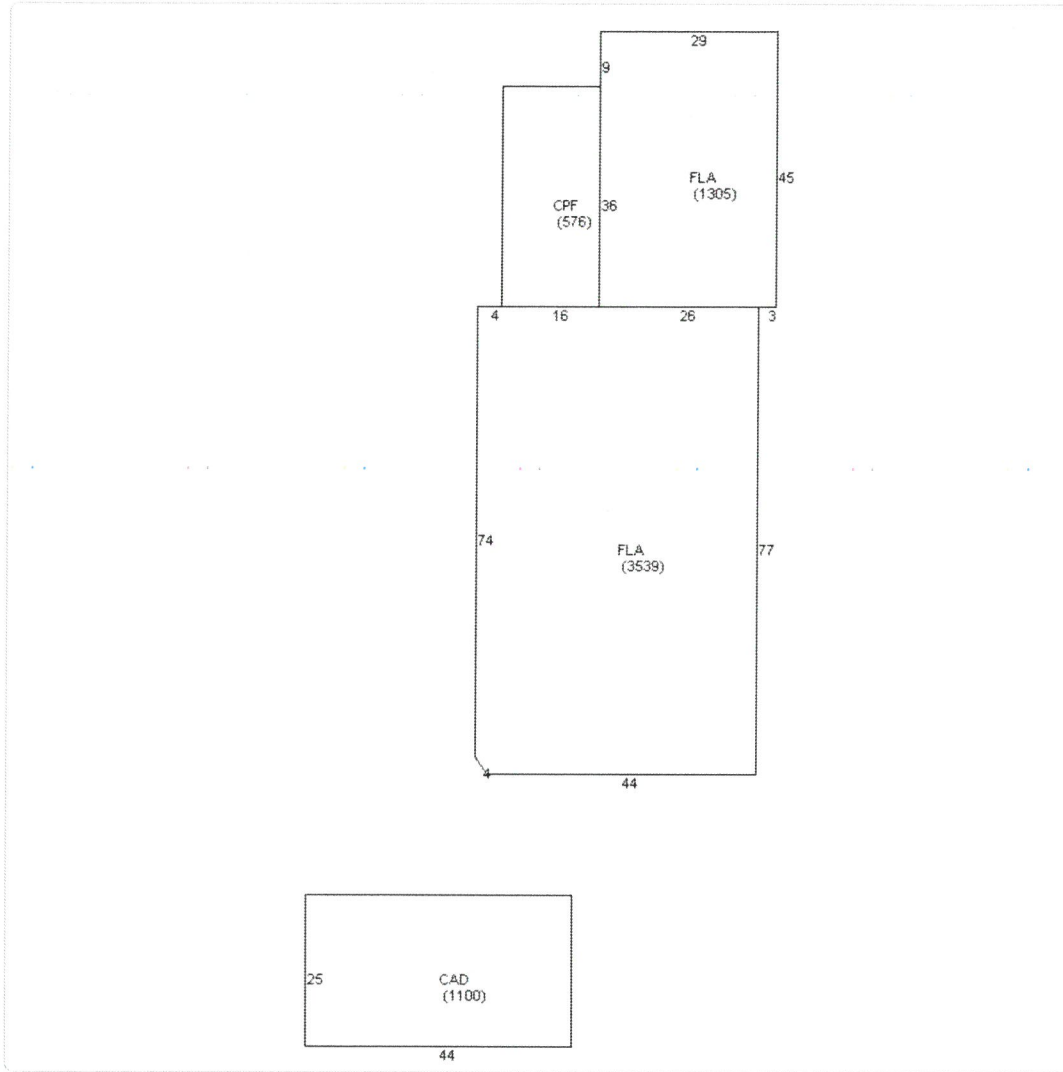
Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved
2/8/2016	\$20,750,000	Warranty Deed		2781	1779	37 - Unqualified	Improved

Permits

Number	Date Issued	Date Completed	Amount	Permit Type	Notes
08-4497	5/4/2009	8/13/2008	\$2,700	Commercial	RE-DECK METAL AWNING
08-4497	5/4/2009	11/7/2009	\$2,700	Commercial	RE-DECK METAL AWNING WITH 2 X 4 BLOCKING AND 5/8" PLYWOOD. CONSTRUCT 46 LF PARAPET WALL.
08-4379	12/12/2008	11/20/2008	\$53,500	Commercial	NEW FLAT ROOF TO NEW ADDITION
08-4379	12/12/2008	5/1/2009	\$53,500	Commercial	NEW FLAT ROOF TO NEW ADDITION 1500 SF AND REMOVE AND REPLACE ADJACENT FLAT ROOF 500 SF. NEW FLASHING.
08-4497	12/12/2008	8/13/2009	\$2,700	Commercial	RE-DECK METAL AWNING WITH 2X4 BLOCKING AND 5/8 PLYWOOD, CONST. 46LF PARAPET WALL
08-4492	12/10/2008	4/16/2009	\$5,800	Commercial	CHANGE OUT 5 TON ROOF TOP PACKAGE UNIT
08-4492	12/10/2008	5/1/2009	\$5,800	Commercial	CHANGE OUT 5 TON ROOF TOP PACKAGE UNIT
08-4379	12/2/2008	5/1/2009	\$53,500	Commercial	REMOVE 7 REPLACE 4300 SF OF ROOFING. INSTALL MODIFIED BUILT-UP ROOF MODIFIED WHITE GRANULATED CAP SHEET. INSTALL NEW TAPER SYSTEM.
08-3318	9/6/2008	11/7/2008	\$22,477	Commercial	DEMO BLOCK WALLS, COLUMNS, TIE BEAM. DRILL NEW AUGER HOLES AND POUR CONCRETE. GRADE BEAMS AND COLUMNS. INFILL 216 SF OF BLOCK. FASTEN 30 LB HURRICANE CLIPS TO ROOF. POUR INTERIOR CONCRETE SLAB.
08-1452	6/13/2008	5/1/2009	\$98,574	Commercial	DEMO & DISPOSE OF 102 LF OF BLK WALL & DETERIORATED TIE BEAM. INSTALL ADEQUATE SHORING TO SUPPORT ROOF STRUCTURE & AVOID JEOPARDIZING STRUCTURAL INTEGRITY WHILE PERFORMING DEMO. REBUILDING 102 LF OF BLOCK WALL, TIE BEAMS, JAMBS AND HEADER BEAMS. INSTALL HURRICANE CLIPS TO EXISTING CENTER WALL & ROOF STRUCTURE. STUCCO ENTIRE NEW STRUCTURE.
08-1452	6/13/2008	7/23/2009	\$98,574	Commercial	DEMO & DISPOSE OF 102LF OF BLK WALL & DETERIORATED TIE BEAM. INSTALL ADEQUATE SHORING TO SUPPORT ROOF STRUCTURE & AVOID JEOPARDIZING STRUCTURAL INTEGRITY WHILE PERFORMING DEMO & REBUILDING OF 102LF OF BLOCK WALL, TIE BEAMS, JAMS, AND HEADER BEAMS. INSTALL HURRICANE CLIPS TO EXISTING CENTER WALL & ROOF STRUCTURE. STUCCO ENTIRE NEW STRUCTURE.
08-1454	6/13/2008		\$5,100	Commercial	REPAIR AND REWIRE 1500SF AREA. NEW 200 AMP SERVICE, 1 A/C HOOK-UP
08-1455	6/13/2008	11/17/2008	\$7,975	Commercial	RELOCATE EXISTING BATHROOMS & REPLACE EXISTING SEWER & WATER LINES.
06-0102	1/9/2006	7/26/2006	\$10,900	Commercial	UPGRADE ELECTRICAL PANELS AND EMERGENCY GENERATOR
05-5714	12/28/2005	7/26/2006	\$54,907	Commercial	REPLACE TANKS & LINE DISPEJSERS & PUMPS
04-2136	7/29/2004	12/13/2004	\$109,500	Commercial	INT RENOV & ROOF
0101402	3/28/2001	10/5/2001	\$6,000	Commercial	15 SQS BUILTUP
0002807	9/12/2000	12/20/2000	\$1,500	Commercial	KITCHEN REPAIRS
0000142	1/18/2000	7/18/2000	\$1,400	Commercial	KITCHEN FIRE SYSTEM
9803462	11/4/1998	12/31/1998	\$4,000	Commercial	REPL SIGN
9802974	9/28/1998	12/31/1998	\$12,000	Commercial	REPL STORM DAM ROOF
9801407	5/5/1998	11/3/1998	\$4,000	Commercial	REMV/REPL CA2 ROOF
9801188	4/13/1998	11/3/1998	\$1	Commercial	REPL DISPENSERS PER PLANS
9800327	2/18/1998	11/3/1998	\$2,000	Commercial	REPL GAS DISPENSERS
9701509	5/1/1997	7/1/1997	\$4,000	Commercial	INSTALL ROOF FOR CA2
M943888	11/1/1994	12/1/1994	\$4,000	Commercial	CHANGEOUT 7.5 TON AC
B933403	12/1/1993	12/1/1994	\$25,000	Commercial	REPLACE UNDERGRD TANK

Sketches (click to enlarge)



Photos



Map



No data available for the following modules: Buildings, Mobile Home Buildings, Exemptions.

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