

DEVELOPMENT PLAN AND CONDITIONAL USE APPLICATION

City of Key West Planning Department
3140 Flagler Avenue, Key West, FL 33040
(305) 809-3720



JUL 1 2015

CITY OF KEY WEST
PLANNING DEPT.

Development Plan & Conditional Use Application

Applications will not be accepted unless complete

Development Plan

Major
Minor _____

Conditional Use

Historic District

Yes
No _____

Please print or type:

1) Site Address 410 Simonton - 414 Simonton 411 Bahama St 418 Bahama

2) Name of Applicant Thomas Pope

3) Applicant is: Owner _____ Authorized Representative
(attached Authorization and Verification Forms must be completed)

4) Address of Applicant 610 White St.
Key West, FL. 33040

5) Applicant's Phone # 305-296-3611 Email tepopa@aol.com

6) Email Address: tepopa@aol.com

7) Name of Owner, if different than above Inter-Ocean Holdings LLC, Pilot House LLC

8) Address of Owner 600 Fleming St 414 Pilot House

9) Owner Phone # 305-304-5757 Email Edelweiser@bellsouth.net

10) Zoning District of Parcel HNC-1 + HRCC-1 RE# 0006470-000000 0006390-002000
0006460-000000 0006520-000000

11) Is Subject Property located within the Historic District? Yes No _____

If Yes: Date of approval _____ HARC approval # _____

OR: Date of meeting _____

12) Description of Proposed Development and Use. Please be specific, list existing and proposed buildings and uses, number of dwelling units, parking, restaurant seats, vehicles proposed, etc. If there is more than one use, describe in detail the nature of each use (Give concise description here and use a separate sheet if necessary).

See Attached .

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13) Has subject Property received any variance(s)? Yes _____ No

If Yes: Date of approval _____ Resolution # _____

Attach resolution(s).

14) Are there any easements, deed restrictions or other encumbrances on the subject property?

Yes _____ No

If Yes, describe and attach relevant documents.

-
- A. For both *Conditional Uses* and *Development Plans*, provide the information requested from the attached **Conditional Use and Development Plan** sheet.
- B. For *Conditional Uses* only, also include the **Conditional Use Criteria** required under Chapter 122, Article III, Sections 122-61 and 122-62 of the Land Development Regulations (see attached copy of criteria).
- C. For *Major Development Plans* only, also provide the **Development Plan Submission Materials** required under Chapter 108, Article II, Division 7, Sections 108-226 through 108-248 of the Land Development Regulations (see attached copy of criteria) and any additional information as determined by the Planning Staff.
- D. For both *Conditional Uses* and *Development Plans*, one set of plans **MUST** be signed & sealed by an Engineer or Architect.

Please note, development plan and conditional use approvals are quasi-judicial hearings and it is improper to speak to a Planning Board member or City Commissioner about the project outside of the hearing.

5/27/2015

Marquesa Hotel Annex
Planning Board application

Line 12. Description of Proposed Development and Use

The Project consists of a merger of the Pilot House Guesthouse (414 Simonton St. and 411 Bahama St.) and the William Kerr House (410 Simonton St.). The existing unit count of 14 transient units and 3 non-transient residential units will be unchanged. The Project will function as a 14-room annex to the Marquesa Hotel at 600 Fleming St. with a 3-unit non-transient component, a total of 17 units. All current units are properly licensed by the City of Key West.

410 Simonton St. is a historic building known as the William Kerr House which currently contains 3 non-transient apartments and a common laundry facility. The planned use is 2 transient units, 2 non-transient apartments, a check-in lobby, and the laundry facility. This property was recently renovated in 2014 and 2015.

414 Simonton St. currently contains 8 transient units on three floors of a historic building. The planned use is 4 transient units, and 1 non-transient apartment on two floors. The third floor living space will be converted to attic mechanical space. The design achieves 100% vertical accessibility by wheelchair.

411 Bahama St. is currently a 1995 concrete block structure containing 6 transient units with 4 parking spaces backing directly out onto Bahama St. The building will be demolished and replaced with a 2-story wood-frame structure containing 8 transient units and an elevator. The current parking is being abandoned due to its non-conforming configuration.

418 Bahama St. will be utilized to replace the 4 parking spaces at 411 Bahama St. and provide additional parking to the Project.

Section 108-228 Identification of Key Persons

Erik deBoer , Partner
Richard Manley, Partner
Carol Wightman, Partner

Pilot House project
A 17-unit annex to the Marquesa Hotel

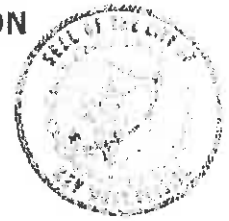
5/27/15

Transient units	Existing	Proposed
410 Simonton St.	0	2
414 Simonton St.	8	4
411 Bahama St.	6	8
Total transient units	14	14

Non-transient units	Existing	Proposed
410 Simonton St.	3	2
414 Simonton St.	0	1
411 Bahama St.	0	0
Total non-transient units	3	3

Total units	Existing	Proposed
410 Simonton St.	3	4
414 Simonton St.	8	5
411 Bahama St.	6	8
Total project units	17	17

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- III. **Solutions Statement.** Aspects of the design that address community issues including but not limited to water pollution from stormwater runoff, potable water conservation, waste disposal, recycling, energy conservation, affordable housing, and impacts on neighbors such as lighting, noise, traffic and parking

Development Plan Submission Materials

Sec. 108-226. Scope.

A development plan, for the purposes of this division, shall include but not necessarily be limited to the requirements in this division. With the exception of sections 108-227 through 108-229, the city planner may waive or modify requirements information and specific performance criteria for development plan review after rendering a finding in writing that such requirements:

- (1) Are not necessary prior to development plan approval in order to protect the public interest or adjacent properties;
- (2) Bear no relationship to the proposed project or its impacts; and
- (3) Are found to be impractical based on the characteristics of the use, including the proposed scale, density/intensity, and anticipated impacts on the environment, public facilities and adjacent land uses.

Sec. 108-227. Title block.

The development plan shall contain the following pertaining to the title block:

- (1) Name of development.
- (2) Name of owner/developer. *Inter-Ocean Holdings LLC*
- (3) Scale.
- (4) North arrow.
- (5) Preparation and revision date.
- (6) Location/street address of development.

Sec. 108-228. Identification of key persons.

The development plan shall contain the following pertaining to identification of key persons:

- (1) Owner.
- (2) Owner's authorized agents *Erik deBaer and Richard Manley and Carol Wightman*
- (3) Engineer and architect.
- (4) Surveyor.
- (5) Landscape architect and/or environmental consultant.
- (6) Others involved in the application.
- (7) A verified statement showing each and every individual person having a legal and/or equitable ownership interest in the subject property, except publicly held corporations whose stock is traded on a nationally recognized stock exchange, in which case the names and addresses of the corporation and principal executive officers together with any majority stockholders will be sufficient.

Sec. 108-229. Project description.

Project description should be included on the site plan sheet. The development plan shall contain the following pertaining to the project description:

- (1) Zoning (include any special districts).
- (2) Project site size (acreage and/or square footage).
- (3) Legal description.
- (4) Building size.
- (5) Floor area ratio, permitted and proposed.
- (6) Lot coverage, permitted and proposed.
- (7) Impervious surface.
- (8) Pervious surface.
- (9) Landscape areas.

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- (10) Parking spaces, permitted and proposed.
- (11) Delineation of location of existing and proposed structures.
- (12) Existing and proposed development type denoted by land use including density/intensity.
- (13) Setbacks.

Sec. 108-230. Other project information.

A general outline of the proposed development shall include the following criteria where applicable:

- (1) Proposed stages or phases of development or operation and facility utilization.
- (2) Target dates for each phase.
- (3) Expected date of completion.
- (4) Proposed development plan for the site.
- (5) A written description of characteristics of the proposed development (i.e., number and type of residential units; floor area by land use; number of tourist accommodations units; seating or parking capacities; number of hospital beds; any proposed outside facilities or areas to be used for storage, display, outside sales, waste disposal or similar use; and any other proposed uses).
- (6) For planned unit developments, indicate design techniques (i.e., clustering, zero lot line, or other techniques) used to reduce public facility costs, reduce disturbance of natural resources, and preserve scenic quality of the site.
- (7) Buildings and sitting specifications which shall be utilized to reduce damage potential and to comply with federal flood insurance regulations.
- (8) Protection against encroachment together with proposed mitigation measures to be employed within environmentally sensitive areas.

Sec. 108-231. Residential developments.

- (a) If the development includes residential units, the following characteristics shall be discussed in the written description:
 - (1) A breakdown of the proposed residential units by number of bedrooms;
 - (2) Tenure (i.e., owner-occupied or rental); and
 - (3) Structure type, such as single-family, duplex, multiple-family, mobile home.
- (b) Refer to division 10 of article V of chapter 122 for information and legal instruments needed to satisfy the city's affordable housing requirements.

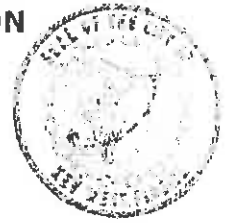
Sec. 108-232. Intergovernmental coordination.

The development plan shall contain the following pertaining to intergovernmental coordination:

- (1) Provide proof of coordination with applicable local, regional, state and federal agencies, including but not limited to the following agencies that will be involved in the project:
 - a. South Florida Regional Planning Council (SFRPC).
 - b. City electric system (CES).
 - c. State department of environmental protection (DEP).
 - d. Army Corps of Engineers (ACOE).
 - e. South Florida Water Management District (SFWMD).
 - f. State department of transportation (DOT).
 - g. State department of community affairs (DCA).
 - h. Florida Keys Aqueduct Authority (FKAA).
 - i. State fish and wildlife conservation commission (F&GC).
 - j. The county.
- (2) Provide evidence that any necessary permit, lease or other permission from applicable local, regional, state and federal agencies has been obtained for any activity that will impact wetland communities or submerged land.
- (3) When intergovernmental coordination efforts are incomplete, the applicant shall provide evidence of good faith efforts towards resolving intergovernmental coordination issues.

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Required Plans and Related Materials for both a Conditional Use and Minor/Major Development Plan

I. Existing Conditions

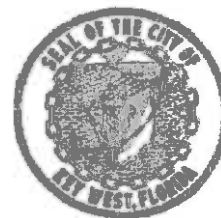
- A) Recent Survey of the site by a licensed Surveyor showing all dimensions including distances from property lines and including:
 - 1) Size of site;
 - 2) Buildings, structures, and parking;
 - 3) FEMA Flood Zone;
 - 4) Topography;
 - 5) Easements; and
 - 6) Location of Utility Lines (sewer, water, electric, cable) adjacent and extending into the site.
- B) Existing size, type and location of trees, hedges, and other features.
- C) Existing stormwater retention areas and drainage flows
- D) A sketch showing adjacent land uses, buildings, and driveways.

II. Proposed Development: Plans at 11" X 17" (10,000 Sq. ft. or less); 24" X 36" if site is over 10,000 sq. ft.

- A) Site Plan to scale of with north arrow and dimensions by a licensed architect or engineer.
 - 1) Buildings
 - 2) Setbacks
 - 3) Parking:
 - a. Number, location and size of automobile and bicycle spaces
 - b. Handicapped spaces
 - c. Curbs or wheel stops around landscaping
 - d. Type of pavement
 - 4) Driveway dimensions and material
 - 5) Location of Utility Lines (sewer, water, electric, cable) adjacent and extending into the site.
 - 6) Location of garbage and recycling
 - 7) Signs
 - 8) Lighting
 - 8) Project Statistics:
 - a. Zoning
 - b. Size of site
 - c. Number of units (or units and Licenses)
 - d. If non-residential, floor area & proposed floor area ratio
 - e. Consumption area of restaurants & bars
 - f. Open space area and open space ratio
 - g. Impermeable surface area and impermeable surface ratio
 - h. Number of automobile and bicycle spaces required and proposed
- B) Building Elevations
 - 1) Drawings of all building from every direction. If the project is in the Historic District please submit HARC approved site plans.
 - 2) Height of building.
 - 3) Finished floor elevations and bottom of first horizontal structure
 - 4) Height of existing and proposed grades
- C) Drainage Plan: Existing & Proposed retention areas and calculations approved by the City Engineer. See one of the attached commercial and residential use Stormwater Retention Forms.
- D) Landscape Plan: Size, type, location and number of plants to be removed, kept, and installed. The plan must be approved by the City Landscape Coordinator through a letter of approval. If the project is a Major Development Plan a landscape design prepared by a licensed Landscape Architect is required per Section 108-511(b) of the Land Development Regulations.

Verification

**City of Key West
Planning Department**



Verification Form

(Where Authorized Representative is an individual)

I, Thomas Pope, being duly sworn, depose and say that I am the Authorized Representative of the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

410 Sumonton, 414 Sumonton, 411 Bahama St., 418 Bahama
Street address of subject property

All of the answers to the above questions, drawings, plans and any other attached data which make up the application, are true and correct to the best of my knowledge and belief. In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.

Thomas Pope
Signature of Authorized Representative

Subscribed and sworn to (or affirmed) before me on this June 30, 2015 by
date

Tom Pope
Name of Authorized Representative

He/She is personally known to me or has presented _____ as identification.

Jo Bennett
Notary's Signature and Seal

Jo Bennett
Name of Acknowledger typed, printed or stamped



FF 222256
Commission Number, if any

Authorization

City of Key West
Planning Department



Authorization Form
(Where Owner is a Business Entity)

Please complete this form if someone other than the owner is representing the property owner in this matter.

I, Erik deBoer as
Please Print Name of person with authority to execute documents on behalf of entity

Managing Member of Intra-Ocean Holdings LLC
Name of office (President, Managing Member) Name of owner from deed

authorize Thomas Pope
Please Print Name of Representative

to be the representative for this application and act on my/our behalf before the City of Key West.

Erik deBoer
Signature of person with authority to execute documents on behalf on entity owner

Subscribed and sworn to (or affirmed) before me on this June 30, 2015
Date

by Erik deBoer
Name of person with authority to execute documents on behalf on entity owner

He/She is personally known to me or has presented as identification.

Jo Bennett
Notary's Signature and Seal

Jo Bennett
Name of Acknowledger typed, printed or stamped

FF 222256
Commission Number, if any



City of Key West
Planning Department



Authorization Form
(Where Owner is a Business Entity)

Please complete this form if someone other than the owner is representing the property owner in this matter.

I, Gregory Oropeza as Attorney in fact for Lynn Kephart as
Please Print Name of person with authority to execute documents on behalf of entity

managing member of Pilot House LLC
Name of office (President, Managing Member) *Name of owner from deed*

authorize Thomas Pope
Please Print Name of Representative

to be the representative for this application and act on my/our behalf before the City of Key West.

Madison Fallon as attorney in fact for Lynn Kephart
Signature of person with authority to execute documents on behalf on entity owner

Subscribed and sworn to (or affirmed) before me on this June 30, 2015
Date

by Gregory Oropeza
Name of person with authority to execute documents on behalf on entity owner

He/She is personally known to me or has presented _____ as identification.

Madison Fallon
Notary's Signature and Seal



Name of Acknowledger typed, printed or stamped

Commission Number, if any

DURABLE POWER OF ATTORNEY

I, LYNN H. KEPHART, residing at 414 Simonton Street, Key West, Florida 33040, as principal (the "Principal") have this day appointed GREGORY S. OROPEZA of Key West, Florida, to serve as my ("Agent"), and the exercise the powers set forth below.

ARTICLE I ASSET POWERS

My Agent is authorized in my Agent's sole discretion, from time to time or at any time, with respect to any and all of my property and interests in property, real, personal, intangible and mixed, as follows:

1. to transfer by sale or by gift hereunder any and every kind of property that I may own, now or in the future, real personal, intangible and mixed, upon such terms as my Agent shall deem appropriate, and to make such disposition of the proceeds of any sale as my Agent shall deem appropriate;
2. to buy every kind of property, real, personal, intangible and mixed, upon such terms as my Agent shall deem appropriate;
3. to borrow money, for the purpose described herein, and to repay such loans, or other debts of mine from any funds belonging to me; to make loans, upon such terms as my Agent shall deem appropriate;
4. to invest and reinvest all of any part of my property, in any property or interest in property whatsoever, real, personal, intangible and mixed; to establish, use, and terminate savings, checking IRA, brokerage and money market accounts with brokerage or financial institutions of all kinds;
5. to lease, sublease, recover possession of, and otherwise manage any real or personal property of mine; and to collect rents, insure, repair, preserve or improve the same;
6. to exercise all rights with respect to corporate securities which I own or may acquire; to execute stock powers or similar documents on my behalf and to delegate to a transfer agent or similar person the authority to register any stocks, bonds, or other securities either into or out of my name, or the name of a nominee;
7. to demand, arbitrate, settle, sue for, collect, receive, deposit, expend for my benefit, reinvest or make such other appropriate disposition of as my Agent deems appropriate, all case, rights to the payment of cash, property (real, personal, intangible and/or mixed) rights and/or benefits to which I am now or may in the future become entitled, regardless of the identity of the individual or public or private entity involved (and for purposes of receiving social security benefits, my Agent may apply to be appointed as my "Representative Payee"); to utilize

all lawful means and methods for such purposes; to make compromises, release, settlements and discharges with respect thereto as my Agent shall deem appropriate.

8. to have access to any safe deposit boxes in my name, and to add to and remove from the contents of any such safe deposit boxes;

9. to institute, defend, and settle any legal action, on my behalf;

10. to transfer assets to, or to fund, any trust created by me or of which I am beneficiary; to exercise, on my behalf, any power of mind to amend, or to revoke, any trust created by me, or to resign as trustee; to establish trusts on my behalf, including a Qualified Income Trust, to fund such trusts, and to serve as sole trustee or co-trustee; to make gifts on my behalf (but not gifts to my Agent, except as specifically provided herein);

11. to disclaim or renounce any property interest or benefits to which I may be entitled, or to make elections on my behalf;

12. to purchase, maintain, surrender, collect or cancel (a) life insurance or annuities of any kind on my life or the life of any one whom I have an insurable interest, (b) liability insurance protecting me and my estate against third party claims, (c) hospital insurance, medical insurance, Medicare supplement insurance, long-term care insurance, and disability income insurance for me or any of my dependents, and (d) casualty insurance assets of mine against loss or damage due to fire, theft, or other commonly injured risk; to pay all insurance premiums, to select any options under such policies, to increase coverage under any such policy, to borrow against any such policy, to pursue all insurance claims on my behalf, to adjust insurance losses; to designate and change beneficiaries of insurance policies insuring my life and beneficiaries under any annuity contract in which I have an interest; to decrease coverage under or cancel any of the policies described herein, to receive and make such disposition of the cash value upon termination of any such policy as my Agent shall deem appropriate;

13. To act in my place and to make any election I might make with respect to pension or retirement plans (including IRA's), to make withdrawals from or to terminate such plans for any purpose and to pay any taxes owing as a consequence of any such withdrawals;

14. To act in my place with respect to all Social Security matters (including Medicare), Medical Assistance (Medicaid) and all other government benefits or entitlements (including Veterans benefits, life insurance and worker's compensation) and to deal with the agencies that administer such programs;

15. To act as attorney-in-fact to represent me before any office of the Internal Revenue Service to file tax returns and to receive confidential information and to perform any and all acts that I can perform with respect to all federal, state and local tax matters for all years and period for all types of tax. My attorney-in-fact is authorized to receive refund checks and is granted the power to sign returns. This power-of-attorney revokes all earlier powers-of attorney and tax authorizations on file with the Internal Revenue Service for all tax matter and years or periods.

ARTICLE II
HEALTH CARE

My Agent is authorized in my Agent's sole and absolute discretion from time to time and at any time to exercise the authority described below relating to any matter involving my health and medical care. In exercising the authority granted to my Agent herein, my Agent is instructed that my Agent should try to discuss with me the specifics of any proposed decision regarding my medical care and treatment if I am able to communicate in any manner, even by blinking my eyes. My Agent is further instructed that if I am unable to give an informed consent to medical treatment, my Agent shall give or withhold such consent for me based upon any treatment choices that I have expressed while competent, whether under this instruments or otherwise. If my Agent cannot determine the treatment choice I would want made under the circumstances, then my Agent should make such choice for me based upon what my Agent believes to be in my best interests. Accordingly, my Agent is authorized as follows:

(1) to have access to, and to disclose, medical records, as my Agent shall deem appropriate;

(2) to employ and discharge medical personnel and to pay them reasonable compensation;

(3) to give consent to any medical procedures, tests or treatments, including surgery; to arrange for my hospitalization, convalescent care, hospice or home care; to summon paramedics or other emergency medical personnel and seek emergency treatment for me, as my Agent shall deem appropriate; and under circumstances in which my Agent determines that certain medical procedures, tests or treatments are no longer of any benefit to me or, based on instructions previously given by me, are not desired by me regardless of benefit, to revoke, withdraw, modify or change consent to such procedures, tests and treatments, as well as hospitalization, convalescent care, hospice or home care which I or my Agent may have previously allowed or consented to or which may have been implied due to emergency conditions. My Agent should try to discuss the specifics of any proposed decision regarding my medical care and treatment with me I am able to communicate in any manner, even by blinking my eyes. If I am unconscious or otherwise unable to communicate with Agent, then my Agent's decision should be guided by taking into account (a) the foregoing provisions of this paragraph, (b) any preferences that I may precisely have expressed on the subject, (c) what my Agent believes I would want done in the circumstance if I were able to express myself, and (d) any information given to me Agent by the physicians treating me as to my medical diagnosis and prognosis.

(4) to give, withhold or withdraw consent to psychiatric treatment;

(5) to consent to the administration of pain-relieving drugs, or medical procedures of any kind, for relief of pain, even though their use may lead to permanent physical damage or addiction or even hasten the moment of (but not intentionally cause) my death;

(6) to grant release from liability required by any hospital or physician to implement my wishes regarding medical treatment or non-treatment.

IN ADDITION TO THE POWERS SET FORTH HEREIN, AND NOT BY WAY OF LIMITATION, MY AGENT IS HEREBY DESIGNATED AS, AND SHALL EXERCISE ALL THE POWERS CONFERRED BY LAW UPON, A HEALTH CARE SURROGATE UNDER FLORIDA LAW, OR THE LAW OF ANY JURISDICTION WHERE MY AGENT MAY BE ACTING.

HIPAA Release Authority

I intend for my agent to be treated as I would be with respect to my rights regarding the use and disclosure of my individually identifiable health information or other medical records. This release authority applies to any information governed by the Health Insurance Portability and Accountability Act of 1996 (a/k/a HIPAA), 42 1320d and 45 CFR 160-164. I authorize:

- Any physician, healthcare professional, dentist, health plan, hospital, clinic, laboratory, pharmacy or other covered health care provider, any insurance company and the Medical Information Bureau, Inc. or other health care clearinghouse that has provided treatment or services to me or that has paid for or is seeking payment from me for such services
- To give, disclose and release my agent, without restriction
- All of my individually identifiable health information and medical records regarding any past, present or future medical or mental health condition, to include all information relating to the diagnosis and treatment of HIV/AIDS, sexually transmitted diseases, mental illnesses and drug or alcohol abuse.

The Authority given my agent shall supersede any prior agreement that I may have made with my health care providers to restrict access to or disclosure of my individually identifiable health information. The authority given my agent has no expiration date and shall expire only in the even that I revoke the authority in writing and deliver it to my health care provider.

ARTICLE III MISCELLANEOUS

1. In connection with the exercise of the powers herein described, my Agent is fully authorized and empowered to perform any acts and things and to execute and deliver any documents, instruments, and papers necessary, appropriate, incident or convenient to such exercise.

2. To induce any third party to act hereunder, I hereby agree that any third party receiving a duly executed copy or facsimile of this instrument may act hereunder, and that revocation or termination hereof shall be ineffective as to such third party unless and until actual notice or knowledge of such revocation or termination shall have been received by such third

party, and I for myself and for my heirs, executors, legal representatives and assigns, hereby agree to indemnify and hold harmless any such third party from and against any and all claims that may arise against such third party by reason of such third party having relied on the provisions of this instrument.

3. If, for any reason, any provision of this Power of Attorney is determined not to be legally valid in any regard or, if any provision of it is determined not to conform to the requirements of Florida law, or the law of any jurisdiction in which the powers granted herein are sought to be exercised, I direct that such provision be deemed severable and that all other provisions be deemed binding and effective, and each provision nonetheless be honored to the fullest extent possible by my attorney-in-fact, attorney, and others as the expression my will.

4. This power of attorney shall not be affected by my subsequent disability or incapacity.

Remainder of Page Left Intentionally Blank

IN WITNESS WHEREOF, I have hereunto set my hand and seal this 3 day of February 2015.

Signed, sealed and delivered
in the presence of:

Tiffany Nicole Garcia
Witness Name

Lynn H. Kephart
LYNN H. KEPHART

Tiffany Garcia
Print Name

Richard
Witness Name

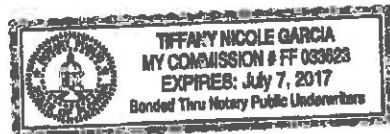
Richard McChesney
Print Name

STATE OF FLORIDA

COUNTY OF MONROE

The forgoing instrument was acknowledged before me this 3 day of February 2015 by Lynn H. Kephart, who is personally known to me or who has produced as identification.

Notary Seal



NOTARY PUBLIC, State of Florida

Tiffany Nicole Garcia
Notary Signature

**SPECIAL DURABLE POWER OF ATTORNEY
FOR THE SALE/PURCHASE OF REAL PROPERTY**

STATE OF FLORIDA :
COUNTY OF MONROE :

I, LYNN H. KEPHART, as managing member of THE PILOT HOUSE, LLC, a Florida limited liability company, being eighteen years of age or older (hereinafter referred to as "Principal") have this date made, constituted, and appointed, and by this document do make, constitute and appoint, GREGORY S. OROPEZA my true and lawful attorney-in-fact (hereinafter referred to as "Attorney-in-Fact"), for his and his name, place and stead to sign settlement statements, and such other documents required specifically for the sale of the real property located 414 Simonton Street, Key West, Monroe County, Florida, Parcel ID Number: 00006460-000000 described as follows: (hereinafter referred to as "Property").

Please see attached Exhibit A

Giving and granting my Attorney-in-Fact full power and authority to do and perform every act necessary and desirable to be done in the sale of the Property as fully as I might or could do if personally present with full power of substitution, and hereby ratifying and confirming all actions that his Attorney-in-Fact shall lawfully do, or cause to be done by virtue of this document.

I hereby ratify and confirm all that my Attorney-in-Fact, or his successors, shall lawfully do or cause to be done by virtue of this power of attorney and the rights, powers and authority granted herein.

I hereby authorize my Attorney-in-Fact to hold harmless any third party, or his successors and assigns who accepts and acts under this power of attorney against any and all claims, liabilities, demands, losses, damages, and/or actions; and to indemnify any third party, or his/her successors and assigns, against any claims, liabilities, demands, losses, damages, and/or actions which said third party, may sustain or incur in connection with his reliance upon the authority represented in this power of attorney.

THIS DURABLE POWER OF ATTORNEY IS NOT AFFECTED BY SUBSEQUENT INCAPACITY OF THE PRINCIPAL, EXCEPT AS PROVIDED IN SECTION.709.08 FLORIDA STATUTES.

This power of attorney shall terminate immediately following the execution by our Attorney-in-Fact of all necessary documents required to purchase, acquire, or sell the property at closing. If the closing is extended, this power of attorney shall terminate immediately after the closing date, as extended.

This power of attorney, and the powers herein granted, may be revoked only by: (i) my death, or (ii) an instrument in writing, duly executed and acknowledged by us and filed for record in the office of the clerk of the county and state in which the Property is located. It is my intention that

any person or any firm, corporation, joint venture, association, or other legal entity of any kind or character dealing with my said Attorney-in-Fact, or his substitute or substitutes, shall be entitled to rely on the provisions of this paragraph in determining whether or not this power of attorney has been revoked, and I hereby represent to those dealing with my said Attorney-in-Fact, or his substitute or substitutes, that they are, in fact, entitled to rely upon the terms and provisions of this paragraph in determining whether this power of attorney has been revoked.

IN WITNESS WHEREOF, we have hereunto set our hands this 3 day of February, 2015.

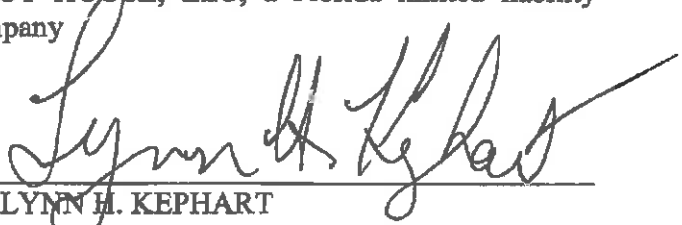
Signed, sealed and delivered in the presence of:

PRINCIPAL:

PILOT HOUSE, LLC, a Florida limited liability company




Signature of Witness



By: LYNN H. KEPHART
As: Managing Member



Printed Name of Witness



Signature of Witness



Printed Name of Witness

SIGNATURE OF ATTORNEY-IN-FACT:



GREGORY S. OROPEZA

STATE OF FLORIDA:
COUNTY OF MONROE:

I HEREBY CERTIFY that on this day personally appeared before me, an officer duly authorized to administer oaths and take acknowledgments, LYNN H. KEPHART, as Managing Member and sole member of Pilot House, LLC, a Florida limited liability company, who is personally known to me to be the individual described in and who executed the foregoing instrument, or who produced _____, as identification, and he acknowledged before me that he executed the same freely and voluntarily for the purposes therein expressed.

WITNESS my hand and official seal this 3 day of February, 2015.

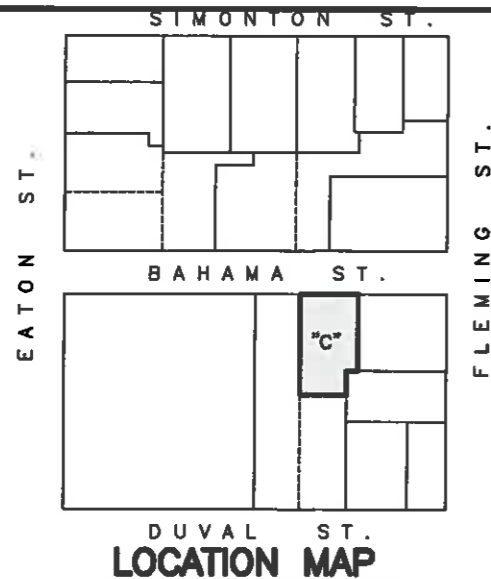
Tiffany Garcia
Printed Name of Notary

Tiffany Garcia
NOTARY PUBLIC

My Commission Expires:



Survey



LOCATION MAP
Square 37, City of Key West, FL

LEGAL DESCRIPTION:

PARCEL "C"

On the Island of Key West, Monroe County, Florida and being a portion of Lot 4 Square 37 according to William A. Whitehead's map of said Island, delineated in February A.D., 1829 but more particularly described as follows:

Commence at the Southeasterly right of way line of Eaton Street and the Southwesterly right of way line of Bahama Street; thence Southeasterly along the said Southwesterly right of way line of Bahama Street for 201.00 feet; thence continue Southwesterly along the said Southwesterly right of way line of Bahama Street for 51.00 feet; thence at a right angle and in a Southwesterly direction for 94.25 feet; thence at a right angle and in a Northwesterly direction for 10.00 feet; thence at a right angle and in Southwesterly direction for 22.00 feet; thence at a right angle and in a Northwesterly direction for 41.00 feet; thence at a right angle and in a Northeasterly direction for 116.25 feet to the said Southwesterly right of way line of Bahama Street and the Point of Beginning containing 5,708.75 Square feet.

SURVEYOR'S NOTES:

North arrow based R/W Bahama Street
3.4 denotes existing elevation
Elevations based on N.G.V.D. 1929 Datum
Bench Mark No.: Basic Elevation: 14.324

Monumentation:

● = Found 1/2" Iron Bar, P.L.S. No. 1587
△ = Set P.K. Nail, P.L.S. No. 2749

Abbreviations:

- | | | |
|-----------------------|---------------------------------|--------------------------------|
| Sty. = Story | B.M. = Bench Mark | C.B.S. = Concrete Block Stucco |
| R/W = Right-of-Way | P.O.C. = Point of Commence | cov'd. = Covered |
| fd. = Found | P.O.B. = Point of Beginning | wd. = Wood |
| p. = Plat | C.L.F. = Chain Link Fence | w.m. = Water Meter |
| m. = Measured | A/C = Air Conditioner | Bal. = Balcony |
| N.T.S. = Not to Scale | o/h = Overhead | Pl. = Planter |
| ⊕ = Centerline | u/g = Underground | |
| Elev. = Elevation | F.F.L. = Finish Floor Elevation | |
| | conc. = concrete | |
| | I.P. = Iron Pipe | |
| | I.B. = Iron Bar | |

Field Work performed on: 1/7/15

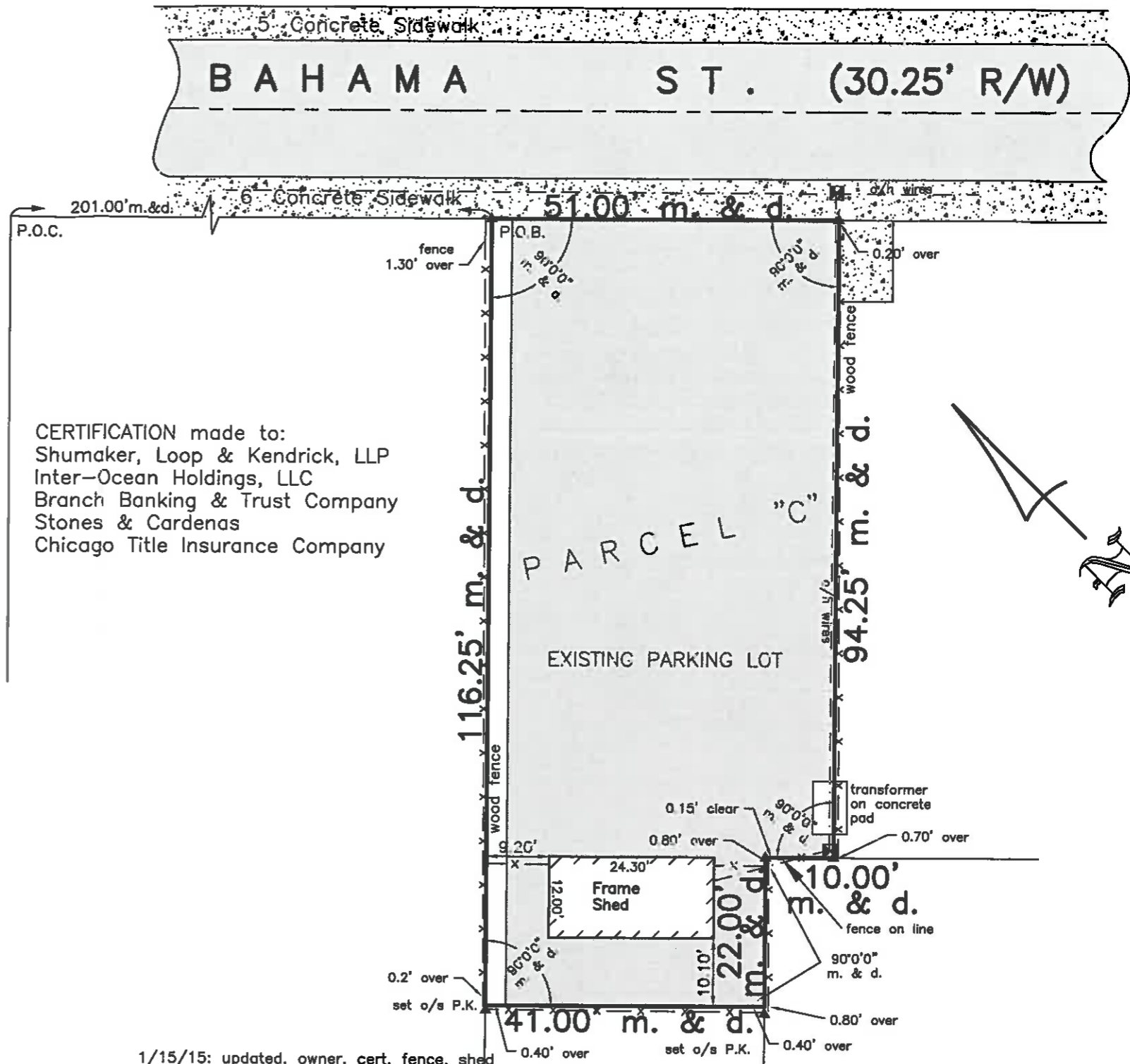
CERTIFICATION:

I HEREBY CERTIFY that the attached BOUNDARY SURVEY is true and correct to the best of my knowledge and belief; that it meets the minimum technical standards adopted by the Florida Board of Land Surveyors, Chapter 5J-17, Florida Statute Section 472.027, and the American Land Title Association, and that there are no visible encroachments unless shown hereon.

FREDERICK H. HILDEBRANDT
Professional Land Surveyor & Mapper No. 2749
Professional Engineer No. 36810
State of Florida

NOT VALID UNLESS EMBOSSED WITH RAISED SEAL & SIGNATURE

EATON ST.



CERTIFICATION made to:
Shumaker, Loop & Kendrick, LLP
Inter-Ocean Holdings, LLC
Branch Banking & Trust Company
Stones & Cardenas
Chicago Title Insurance Company

1/15/15: updated, owner, cert. fence, shed
6/10/14: Updated, cert.
1/28/13: Updated, trans. pad, owner, certs.

Block 33

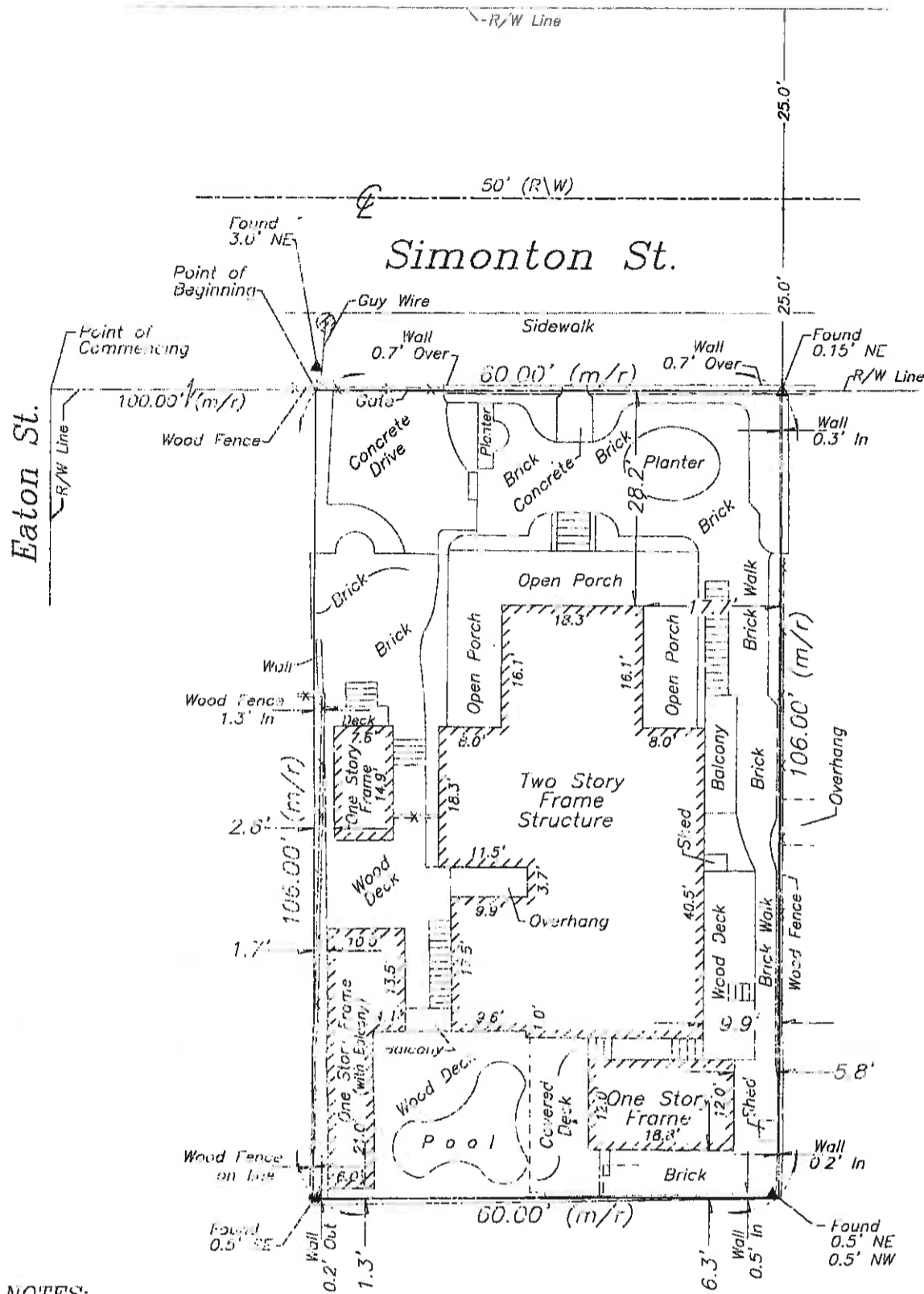
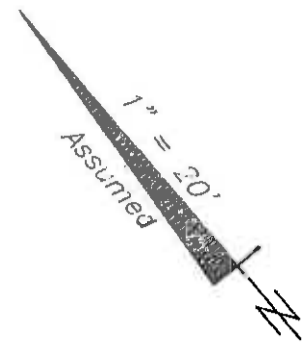
Inter-Ocean Holdings, LLC Bahama Street, Key West, FL 33040			
BOUNDARY SURVEY		Dwn No.: 15-115	
Scale: 1" = 20'	Ref. 70-62 FILE	Flood panel No. 1516 K	Dwn. By: F.H.H.
Date: 3/21/94		Flood Zone: X	Flood Elev. -
REVISIONS AND/OR ADDITIONS			
6/9/03: update			
7/28/11: Updated, no changes			
11/14/12: Updated, no changes, cert.			
f:/datafred/dwg/keywest/block32			

ISLAND SURVEYING INC.
ENGINEERS PLANNERS SURVEYORS

3152 Northside Drive
Suite 201
Key West, FL 33040

(305) 293-0466
Fax. (305) 293-0237
fhildeb1@bellsouth.net
L.B. No. 7700

Boundary Survey Map of part of Lot 2, Square 37, Island of Key West, Florida



LEGEND

- ⊙ Found 2" Iron Pipe (Fence Post)
- Set 3/4" Iron Pipe w/cap (6298)
- Found 3/4" Iron Rod (No ID)
- ▲ Found Nail & Disc (5234)
- △ Found Drill Hole
- (M) Measured
- (R) Record
- (M/R) Measured & Record
- C.B.S. Concrete Block Structure
- R\W Right of Way
- CLF Chain Link Fence
- ⊕ Centerline
- ⊗ Wood Utility Pole
- ⊠ Concrete Utility Pole
- P- Overhead Utility Lines

NOTES:

1. The legal description shown hereon was furnished by the client or their agent.
2. Underground foundations and utilities were not located.
3. All angles are 90° (Measured & Record) unless otherwise noted.
4. Street address: 410 Simonton Street, Key West, FL.
5. This survey is not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
6. Lands shown hereon were not abstracted for rights-of-way, easements, ownership, or other instruments of record.
7. North Arrow is assumed and based on the legal description.
8. Date of field work: November 19, 2012.
9. Ownership of fences is undeterminable, unless otherwise noted.
10. Adjoiners are not furnished.

BOUNDARY SURVEY OF: On the Island of Key West, and is part of Lot 2 of Square 37, according to William A. Whitehead's map or plan of said Island delineated in February 1829, and described by metes and bounds as follows: Commencing at a point on Simonton Street 100 feet Southeasterly from the corner of Eaton Street and Simonton Streets, and running thence on Simonton Street along the Western side in a Southeasterly direction 60 feet; then at right angles in a Southwesterly direction 106 feet; then at right angles in a Northwesterly direction 60 feet; then at right angles in a Northeasterly direction 106 feet, back to the Point of Beginning.

BOUNDARY SURVEY FOR: Inter-Ocean Holdings LLC;
Stones & Cardenas;
Chicago Title Insurance Company;

J. LYNN O'FLYNN, INC.

J. Lynn O'Flynn
J. Lynn O'Flynn, FSM
Florida Reg. #6296

November 23, 2012

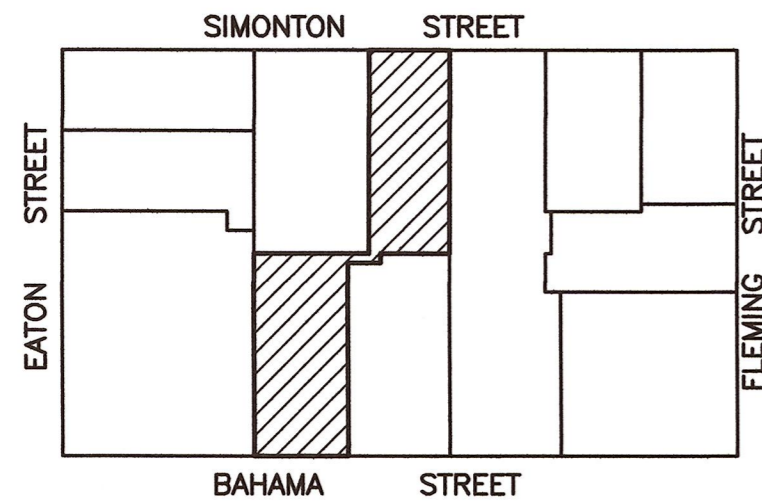
THIS SURVEY
IS NOT
ASSIGNABLE

J. LYNN O'FLYNN, Inc.



Professional Surveyor & Mapper
PSM #8298

3430 Duck Ave., Key West, FL 33040
(305) 296-7422 FAX (305) 296-2244



LOCATION MAP
Lots 1 and 2, Square 37
City of Key West

LEGAL DESCRIPTION (PARCEL A):

In the City of Key West, known and described on the map or plan of said City as delineated by William A. Whitehead in February A.D. 1829, as Lots 1 and 2, square 37. Beginning at a point on Simonton 160 feet from the corner of Eaton and Simonton Street and running there on Simonton Street in a Southeasterly direction 42 feet; thence at right angles in a Southwesterly direction for 106 feet; thence at right angles in a Northwesterly direction 42 feet; thence at right angles and in a Northeasterly direction 106 feet to the place of beginning on Simonton Street.

PARCEL B:

On the Island of Key West, Monroe County, Florida and being a portion of Lot 1, Square 37, according to William A. Whitehead's Map of said Island, delineated in february 1829, but being more particularly described as follows:
COMMENCE at the intersection of the Southeasterly Right-of-Way line of Eaton Street and the Northeasterly Right-of-Way Line of Bahama Street; thence in a Southeasterly direction along the said Northeasterly Right-of-way Line of Bahama Street for 100.00 feet to the Point of Beginning; thence continue Southeasterly along the said Northeasterly Right-of-way Line of Bahama Street for 49.00 feet; thence at a right angle and in a Northeasterly direction for 100.25 feet; thence at a right angle and in a Southeasterly direction for 17.00 feet; thence at a right angle and in a Northeasterly direction for 5.00 feet; thence at a right angle and in a Northwesterly direction for 66.00 feet; thence at a right angle and in a Southwesterly direction for 105.25 feet to the said Northeasterly Right-of-Way Line of Bahama Street and the Point of Beginning. Containing 5,242.35 Square Feet.

SURVEYOR'S NOTES:

North arrow based R/W Bahama Street
3.4 denotes existing elevation
Elevations based on N.G.V.D. 1929 Datum
Bench Mark No.: Basic Elevation: 14.324

Monumentation:

● = Found 1/2" Iron Bar, P.L.S. No. 1587
△ = Set P.K. Nail, P.L.S. No. 2749

Abbreviations:

Sty. = Story
R/W = Right-of-Way
fd. = Found
p. = Plat
m. = Measured
N.T.S. = Not to Scale
C = Centerline
Elev. = Elevation

B.M. = Bench Mark
P.O.C. = Point of Commence
P.O.B. = Point of Beginning
C.L.F. = Chain Link Fence
A/C = Air Conditioner
o/h = Overhead
u/g = Underground
F.F.L. = Finish Floor Elevation
conc. = concrete
I.P. = Iron Pipe
I.B. = Iron Bar
C.B.S. = Concrete Block Stucco
cov'd. = Covered
wd. = Wood
w.m. = Water Meter
Bal. = Balcony
Pl. = Planter

Field Work performed on: 1/7/15

CERTIFICATION made to:
Shumaker, Loop & Kendrick, LLP
Inter-Ocean Holdings, LLC
Branch Banking & Trust Company
Stones & Cardenas
Chicago Title Insurance Company

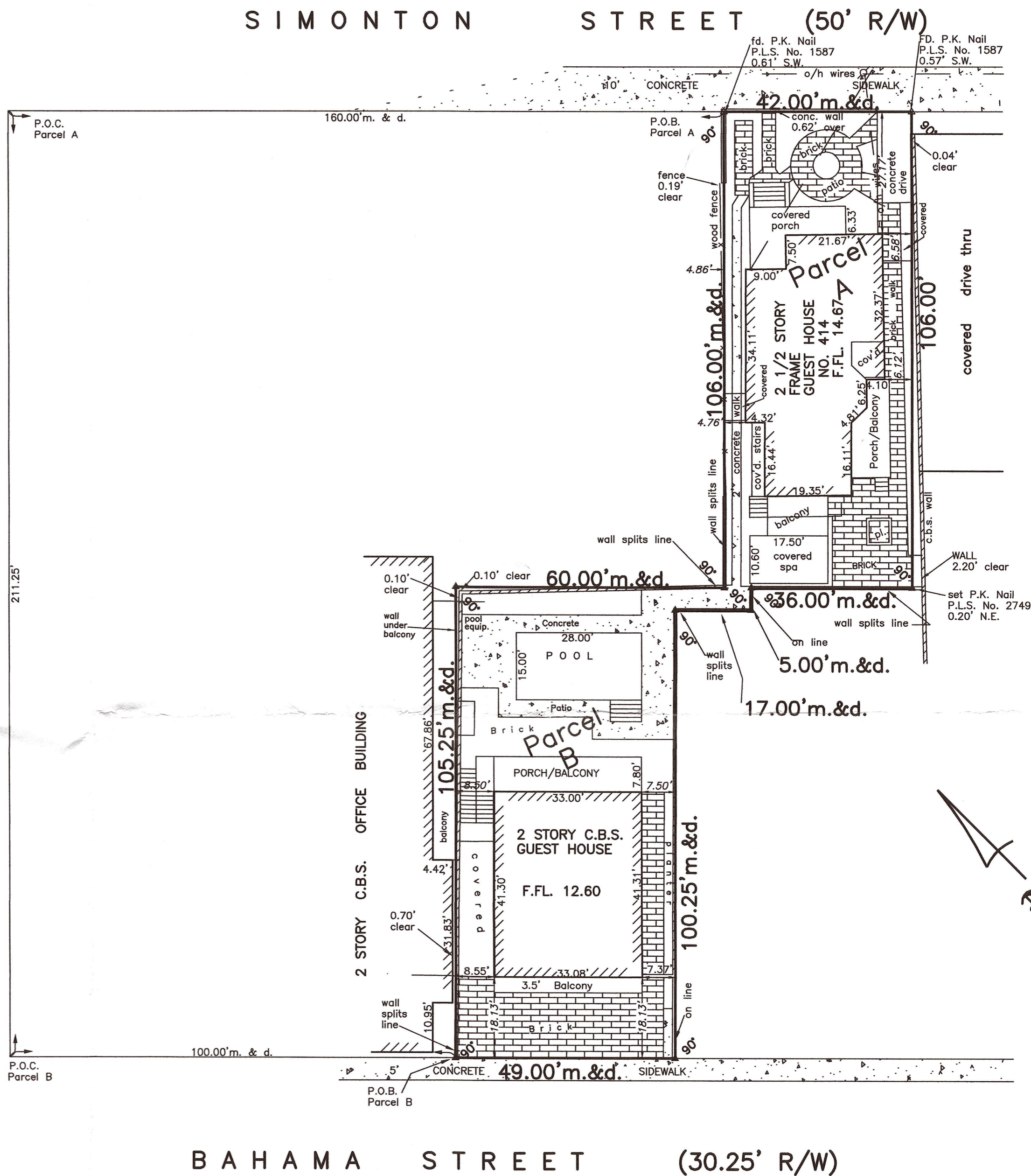
CERTIFICATION:

I HEREBY CERTIFY that the attached BOUNDARY SURVEY is true and correct to the best of my knowledge and belief; that it meets the minimum technical standards adopted by the Florida Board of Land Surveyors, Chapter 5J-17 Florida Statue Section 472.027, and the American land Title Association, and that there are no visable encroachments unless shown hereon.

FREDERICK H. HILDEBRANDT
Professional Land Surveyor & Mapper No. 2749
Professional Engineer No. 36810
State of Florida

NOT VALID UNLESS EMBOSSED WITH RAISED SEAL & SIGNATURE

EATON STREET (50' R/W)



1/15/15: Updated, removed balcony, reset property corners, owner, cert.
8/30/13: Updated, no changes
1/28/13: Updated, owner, cert, minor changes

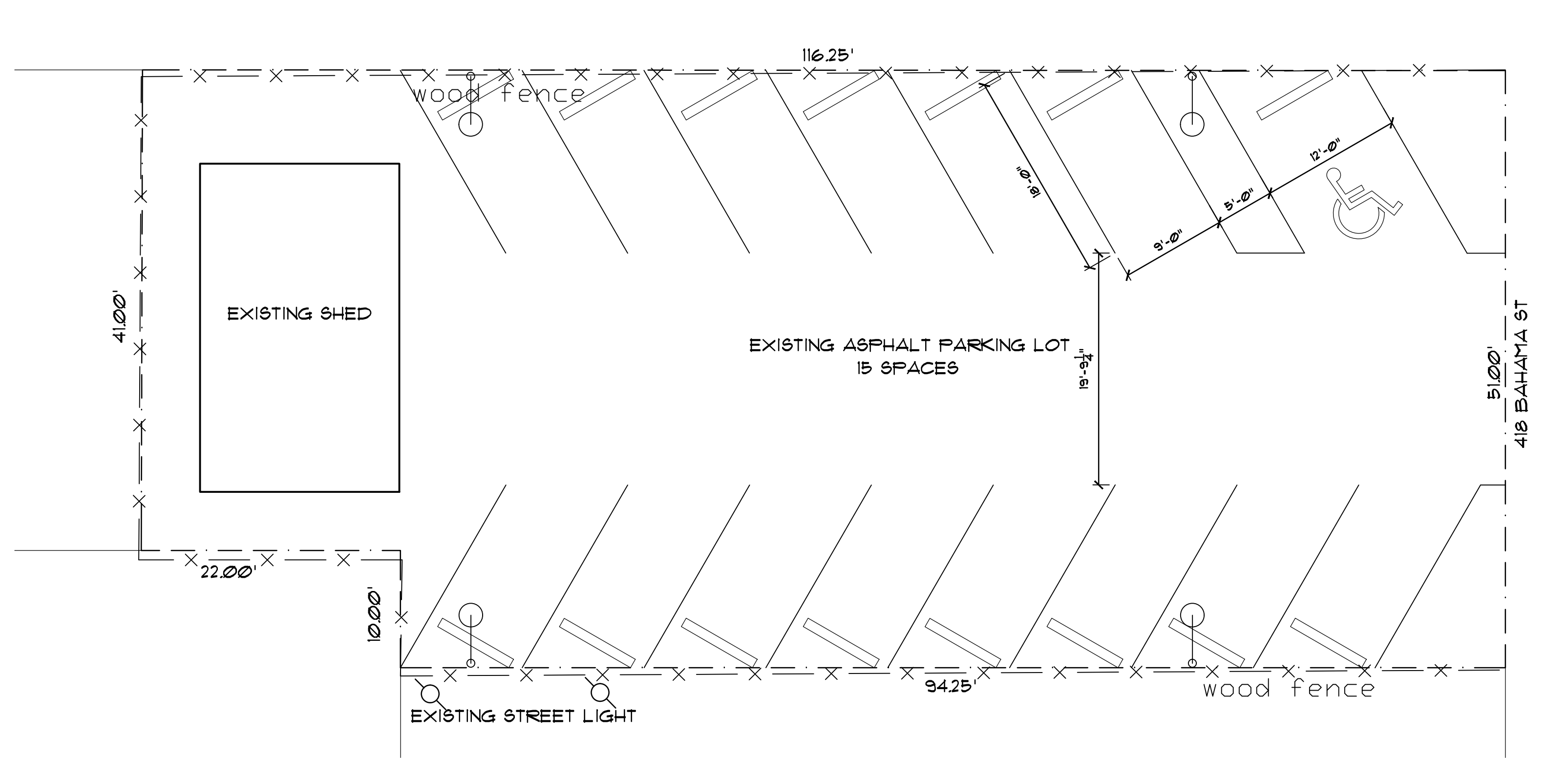
Inter-Ocean Holdings, LLC (Pilot House) 414 Simonton St. & Bahama St., Key West, Fl.			
BOUNDARY SURVEY		Dwn No.: 15-114	
Scale: 1"=20'	Ref. FILE	Flood panel No. 1516 K	Dwn. By: F.H.H.
Date: 10/20/94		Flood Zone: X	Flood Elev. -
REVISIONS AND/OR ADDITIONS			
4/6/07: updated, patio's cert.			
4/11/07: Correct Parcel No.			
11/14/12: Updated, cert., no changes			
f/dwg/kw/block32/pilot			

Block 32

ISLAND SURVEYING INC.
ENGINEERS PLANNERS SURVEYORS

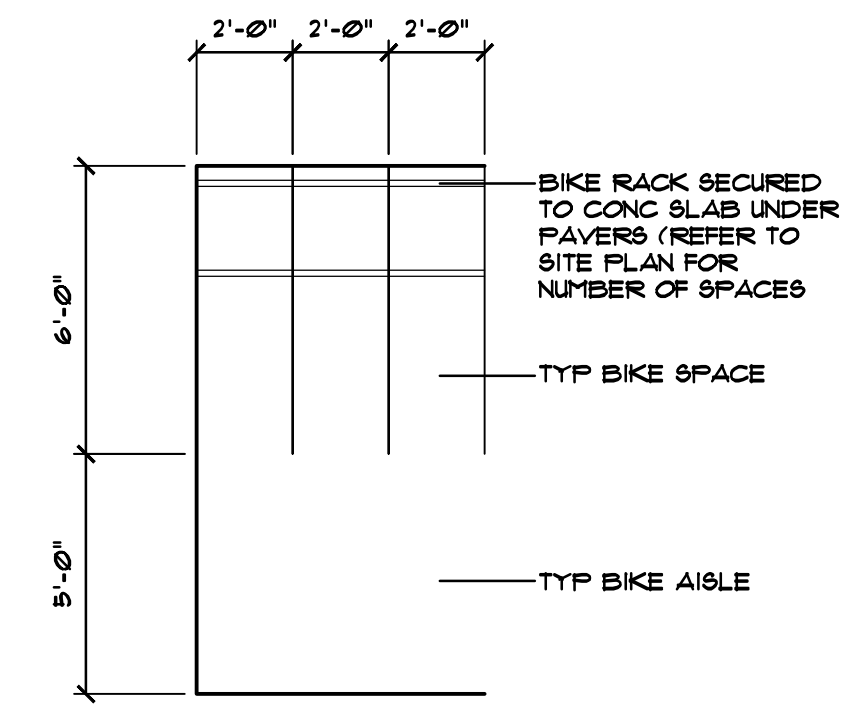
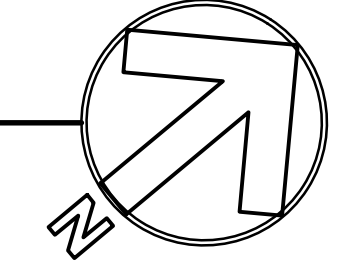
3152 Northside Drive
Suite 201
Key West, Fl. 33040
(305) 293-0466
Fax. (305) 293-0237
fhildeb1@bellsouth.net
L.B. No. 7700

Site Plans



Existing Parking Lot Plan

1/8" = 1' - 0"



Typ Bike Parking

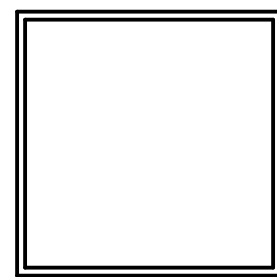
1/4" = 1' - 0"

PARKING ANALYSIS

TRANSIENT UNITS	14
MANAGERS SPACE	1
RENTAL UNITS	3
TOTAL PARKING REQUIRED	18
TOTAL PARKING PROVIDED	16

BIKE PARKING ANALYSIS

18 PARKING SPACES X 35%	6.3
BIKE PARKING REQUIRED	6.3
BIKE PARKING PROVIDED	7



Marquesa Hotel Annex
410-414 Simonton Street Key West, FL

THOMAS E. POPE, P.A. ARCHITECT
610 White Street, Key West FL
TEPopePA@aol.com
(305) 296 3611

date:
6/30/15
revision:

sheet:
A0.2

STATISTICS

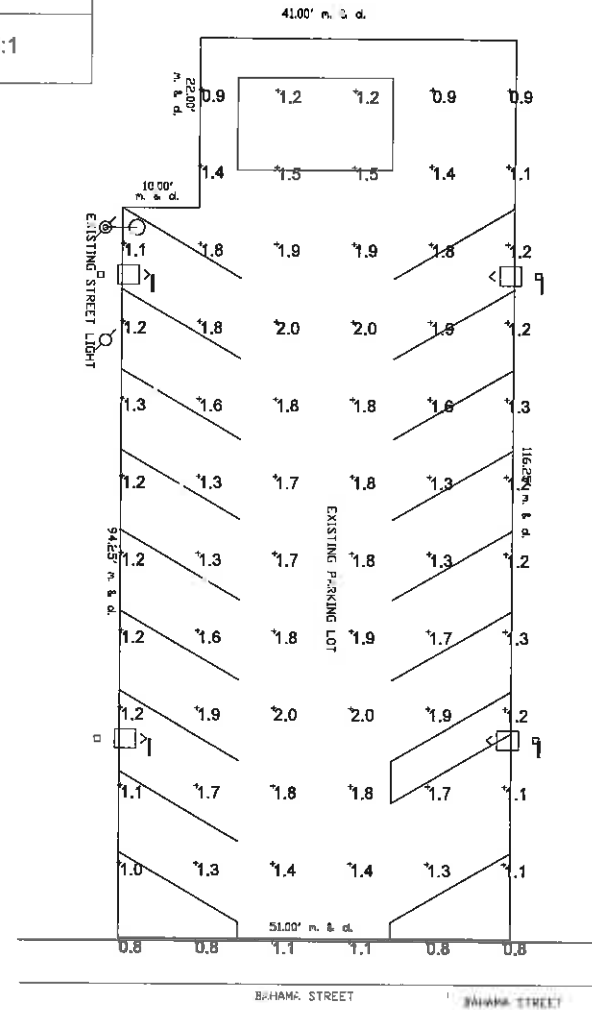
Description	Symbol	Avg	Max	Min	Max/Min
Calc Zone #1	+	1.4 fc	2.0 fc	0.8 fc	2.5:1

LUMINAIRE LOCATIONS

No.	Label	Location					Orientation
		X	Y	Z	MH		
1	I	36.0	110.0	20.0	20.0	90.0	
2	I	36.0	50.0	20.0	20.0	90.0	
3	I	93.0	110.0	20.0	20.0	-90.0	
4	I	93.0	50.0	20.0	20.0	-90.0	

Plan View

Scale 1" = 25'



Marquesa Parking Lot
 Key West, FL
 Thomas Pope AIA

LUMINAIRE SCHEDULE

Symbol	Label	Qty	Catalog Number	Description	Lamp	Lumens	LLF	Watts
□	I	4	DSX1 LED 30C 530 40K T2M MVOLT HS	DSX1 LED WITH (1) 30 LED LIGHT ENGINES, TYPE T2M OPTIC, 4000K, @ 530mA WITH HOUSE SIDE SHIELD	LED	Absolute	0.81	52

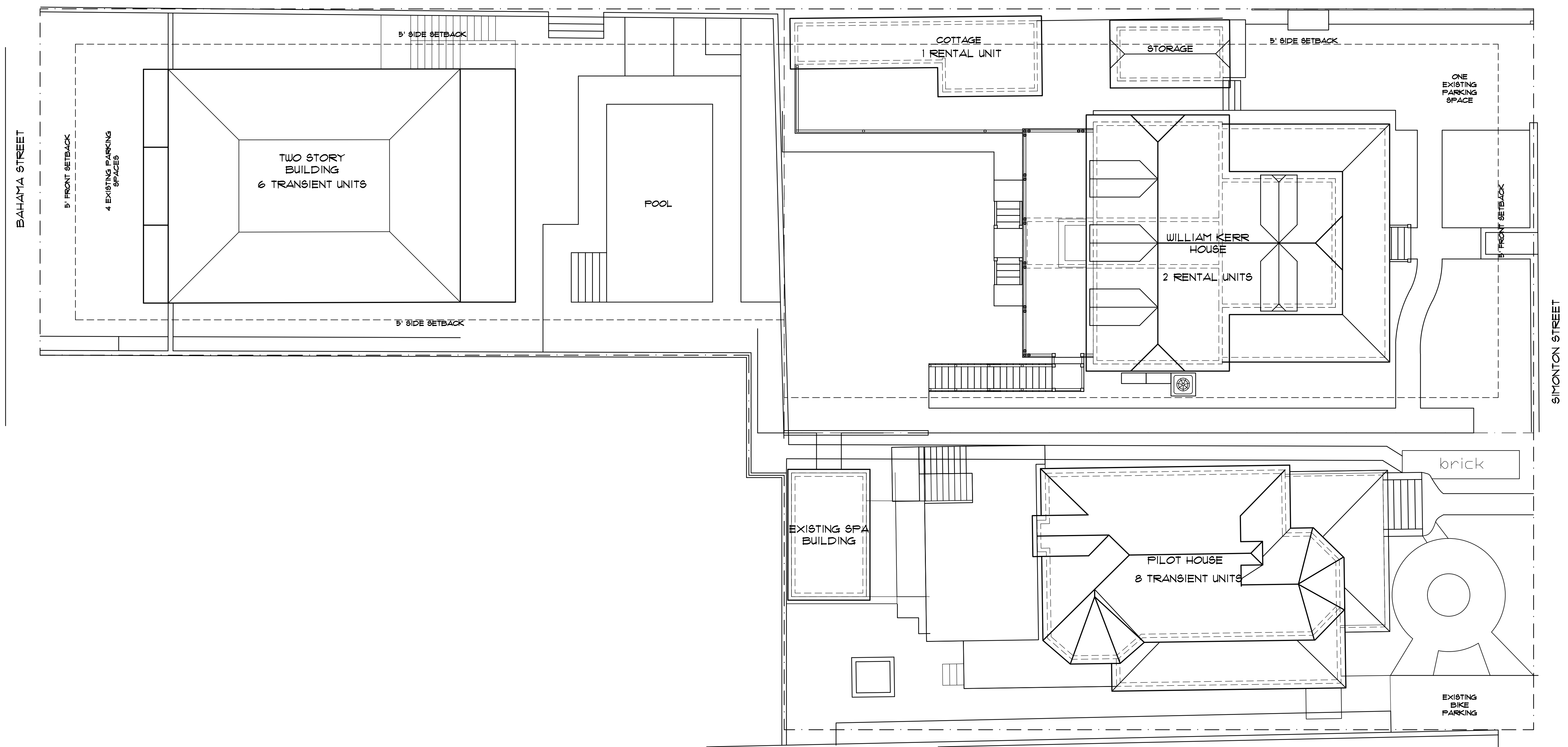
Designer
GLP

Date
Jun 15 2015

Scale

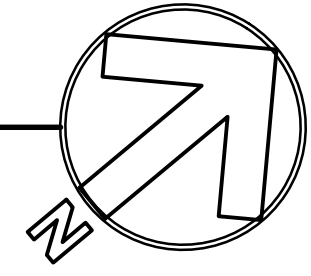
Drawing No.

1 of 1



Existing Site Plan

1/8" = 1' - 0"



THOMAS E. POPE, P.A. ARCHITECT
 610 White Street, Key West FL
 (305) 296 3611
 TEPOPEPA@aol.com

date:
6/30/15
revision:

sheet:
A0.3

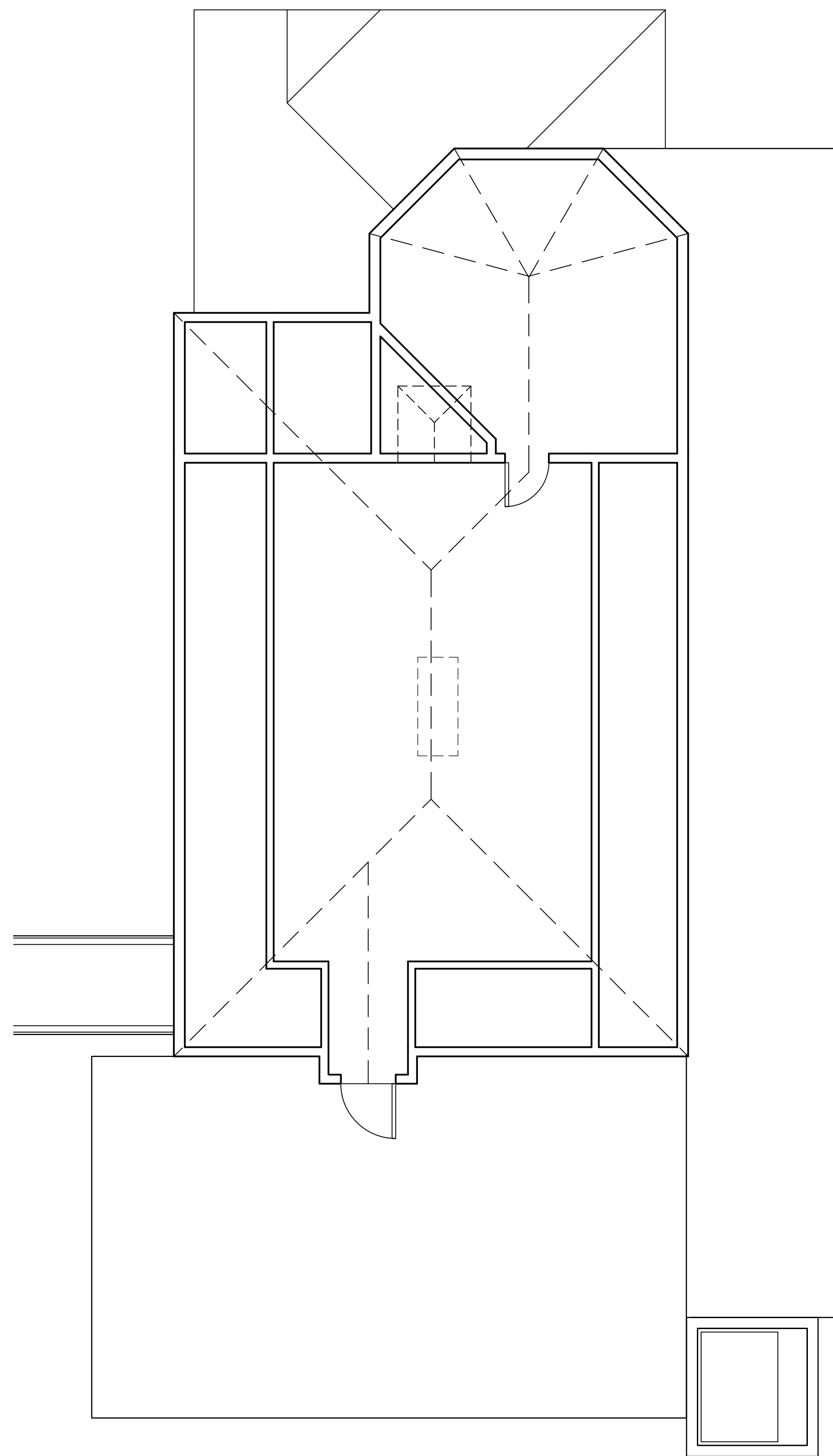
Marquesa Hotel Annex
 410-414 Simonton Street Key West, FL

LIFE SAFETY NOTES

BUILDING EQUIPPED WITH FIRE SFRINKLERS
 IBC 2010 TABLE 1016.1
 OCCUPANCY TYPE R-1 200 FT TO EXIT (MAX ALLOWED)
 HYAC FIRE DAMPERS TO BE INSTALLED AT ALL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES
 CORRIDOR & DEMISING WALLS TO HAVE ONE HOUR FIRE RATING (MINIMUM REQUIRED)
 ALL GUESTROOMS TO HAVE SMOKE DETECTORS & CARBON DETECTORS (COMBINED), REFER TO ENLARGED GUESTROOM PLANS AND ELEVATIONS FOR ALL SMOKE DETECTOR & FIRE ALARM LOCATIONS

LEDGEND

----- EXIT PASSAGE



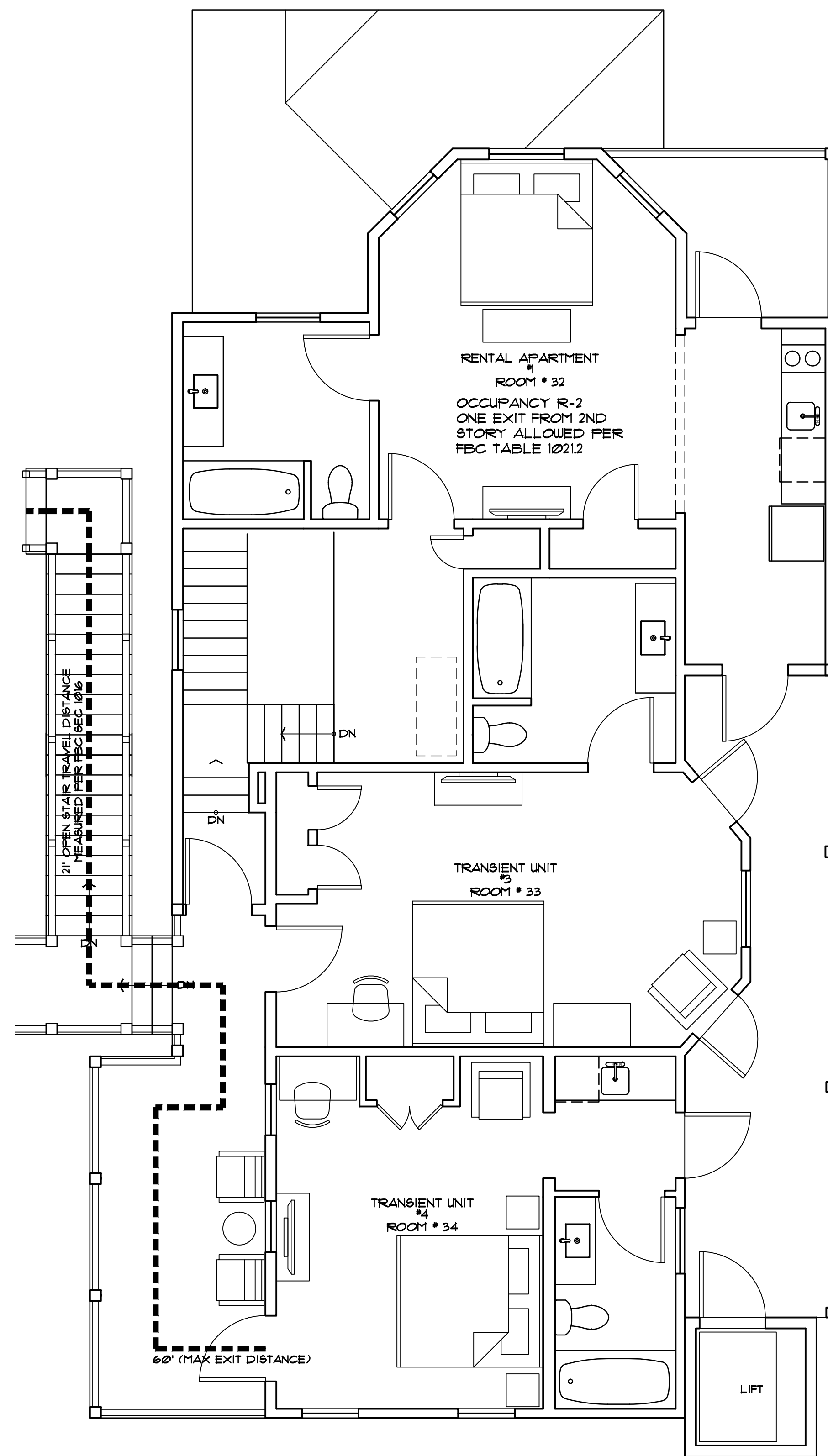
Proposed Attic Plan

1/4" = 1' - 0"

PILOT HOUSE

THIRD FLOOR UNIT BREAKDOWN

TRANSIENT UNITS	0
RENTAL APARTMENTS	0



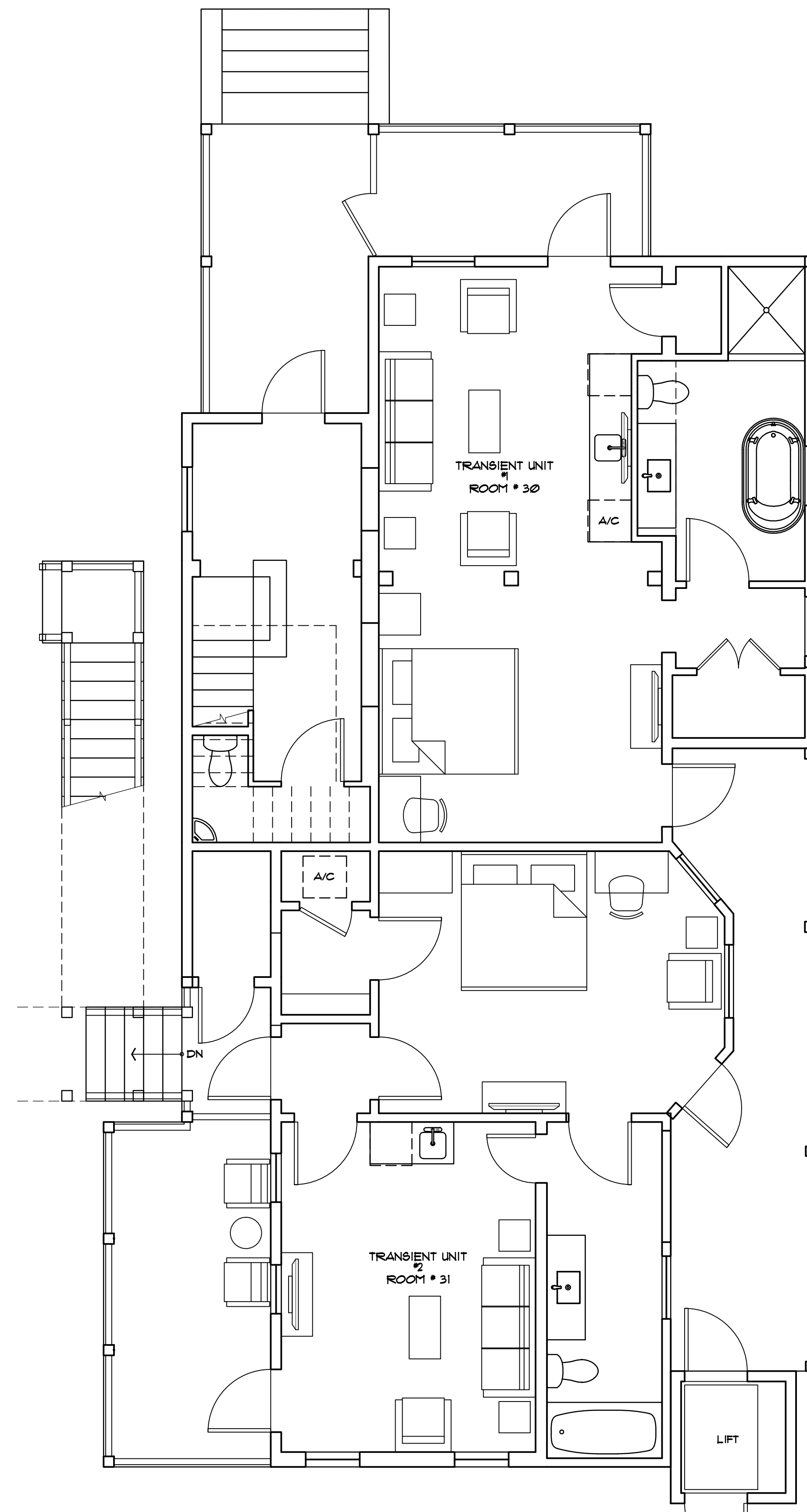
Proposed Second Floor Plan

1/4" = 1' - 0"

PILOT HOUSE

SECOND FLOOR UNIT BREAKDOWN

TRANSIENT UNITS	2
RENTAL APARTMENTS	1



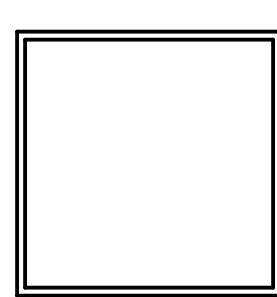
Proposed First Floor Plan

1/4" = 1' - 0"

PILOT HOUSE

FIRST FLOOR UNIT BREAKDOWN

TRANSIENT UNITS	2
RENTAL APARTMENTS	0



Marquesa Hotel Annex
 Pilot House
 410-414 Simonton Street Key West, FL

THOMAS E. POPE, P.A. ARCHITECT
 610 White Street, Key West FL
 (305) 296 3611
 TEPOPEPA@aol.com

date:
 6/30/15
 revision:

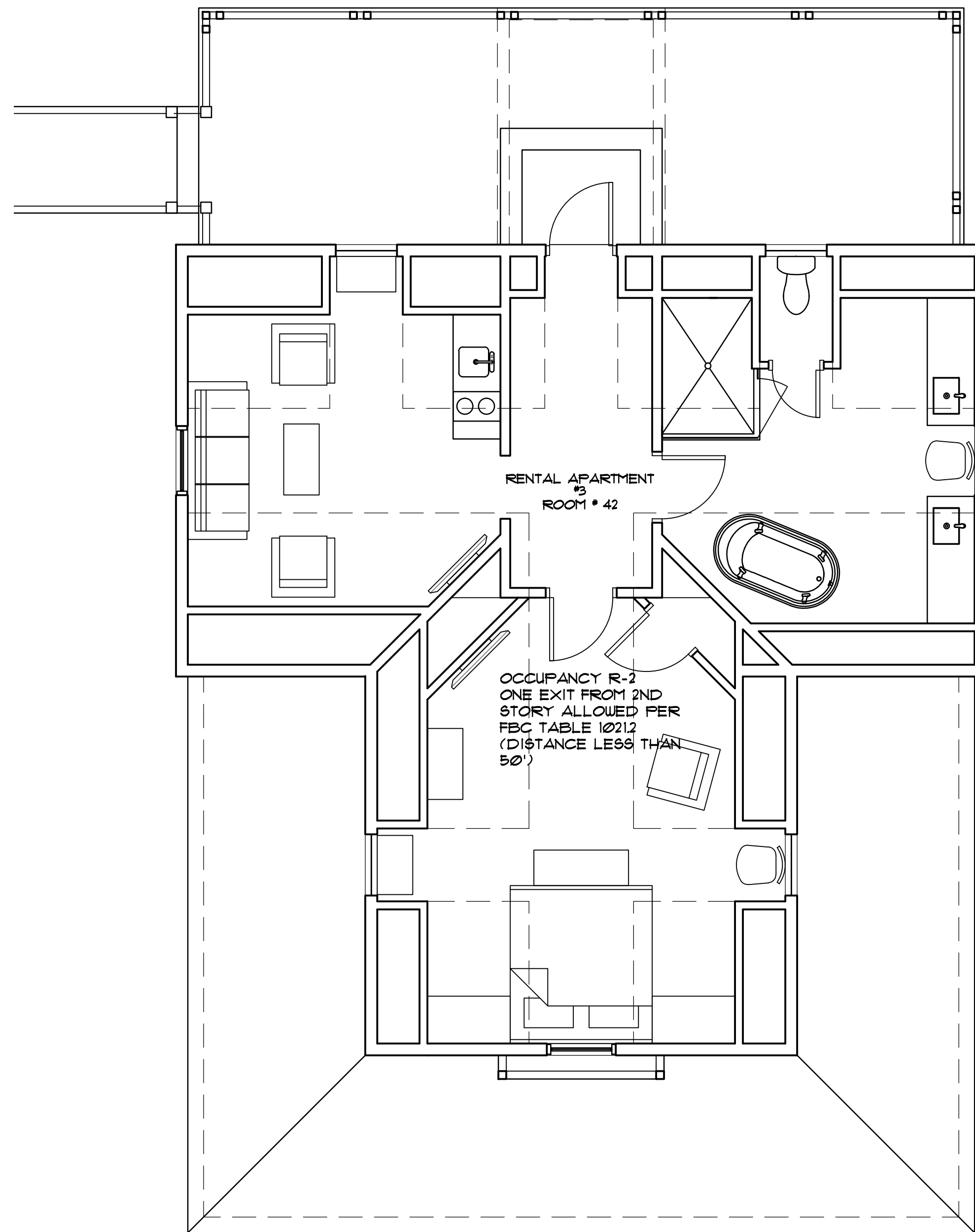
sheet:
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LIFE SAFETY NOTES

BUILDING EQUIPPED WITH FIRE SPRINKLERS
 FBC 2010 TABLE 1016.1
 OCCUPANCY TYPE R-1 200 FT TO EXIT (MAX ALLOWED)
 HVAC FIRE DAMPERS TO BE INSTALLED AT ALL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES
 CORRIDOR & DEMISING WALLS TO HAVE ONE HOUR FIRE RATING (MINIMUM REQUIRED)
 ALL GUESTROOMS TO HAVE SMOKE DETECTORS & CARBON DETECTORS (COMBINED). REFER TO ENLARGED GUESTROOM PLANS AND ELEVATIONS FOR ALL SMOKE DETECTOR & FIRE ALARM LOCATIONS

LEDGEND

----- EXIT PASSAGE

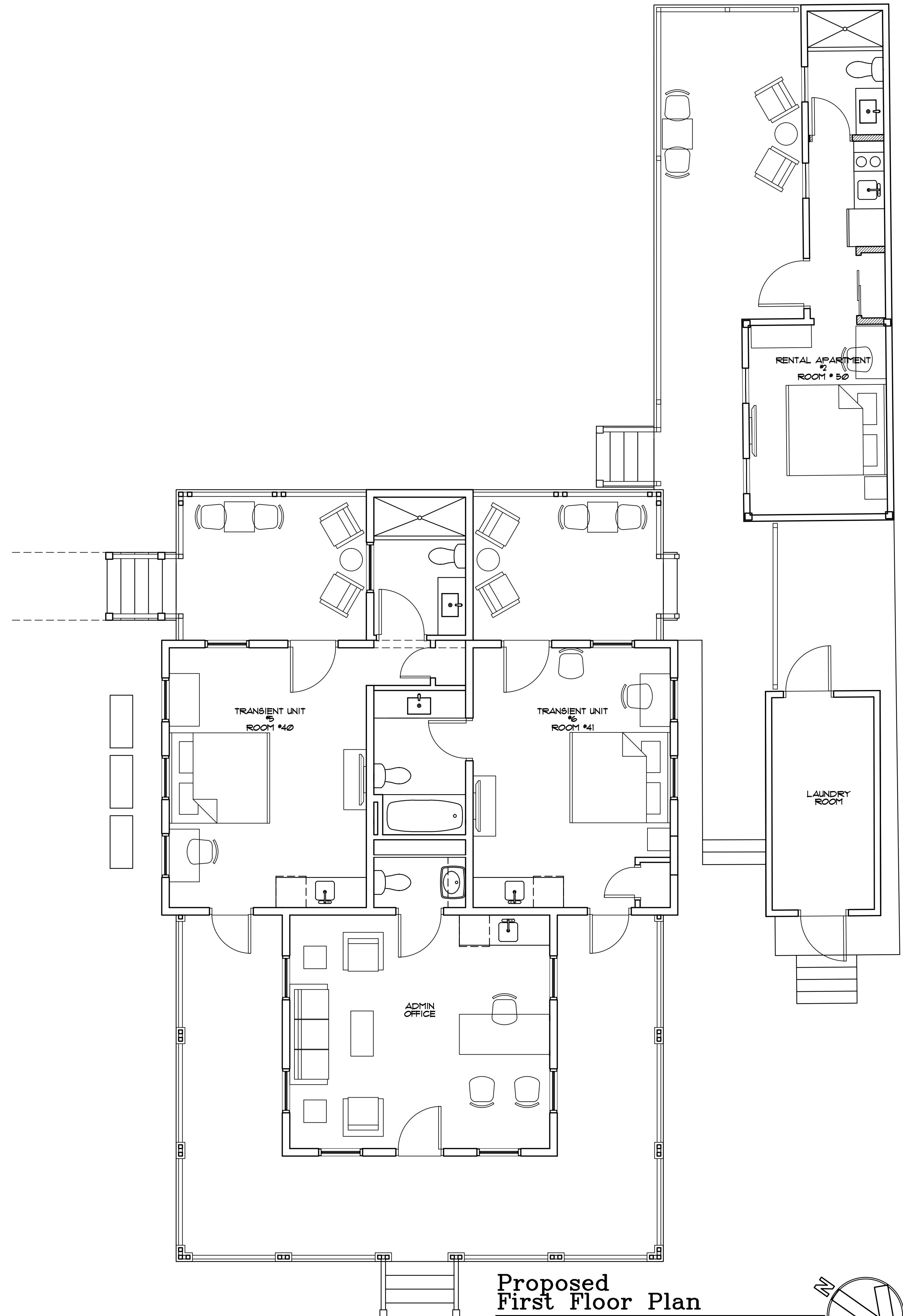


Proposed Second Floor Plan

1/4" = 1' - 0"

SECOND FLOOR UNIT BREAKDOWN	
TRANSIENT UNITS	0
RENTAL APARTMENTS	1

KERR HOUSE

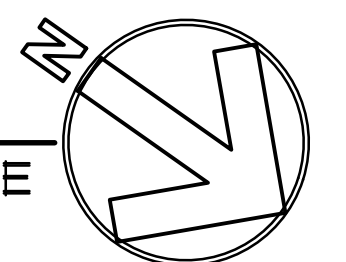


Proposed First Floor Plan

1/4" = 1' - 0"

FIRST FLOOR UNIT BREAKDOWN	
TRANSIENT UNITS	2
RENTAL APARTMENTS	1

KERR HOUSE

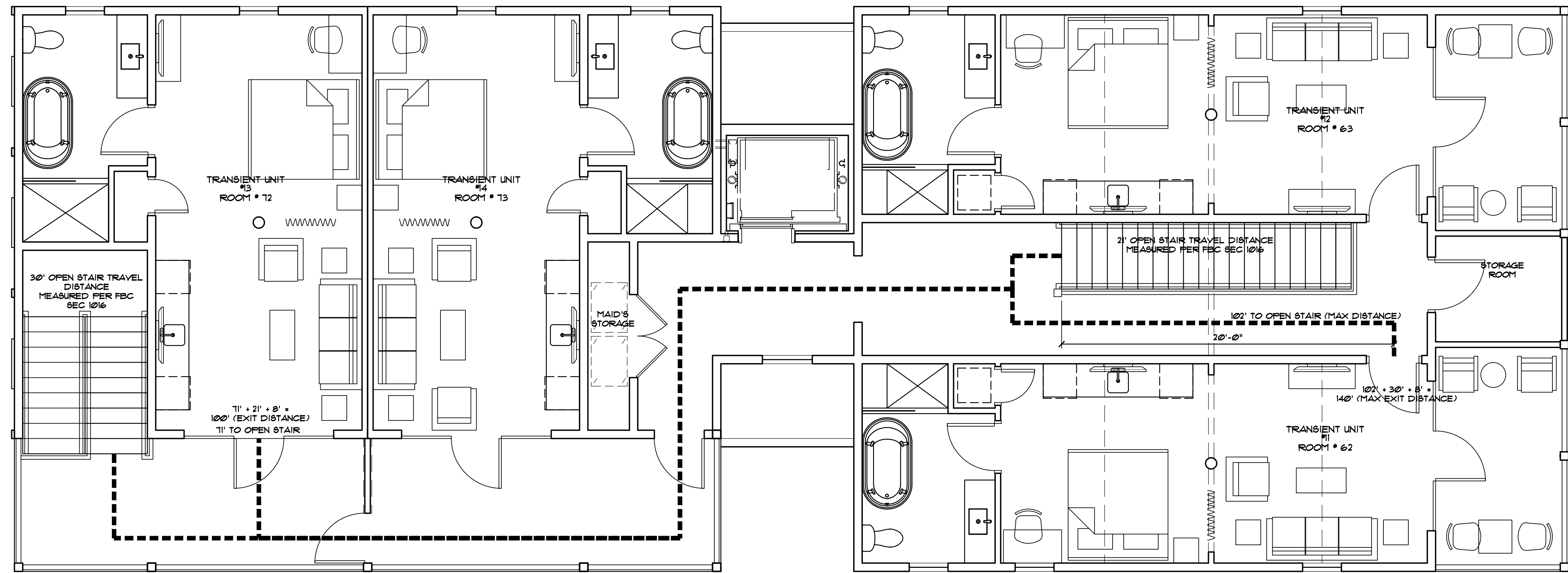


Marquesa Hotel Annex
Kerr House
 410-414 Simonton Street
 Key West, FL

THOMAS E. POPE, P.A. ARCHITECT
 610 White Street, Key West FL
 (305) 296 3611
 TEPOPEPA@aol.com

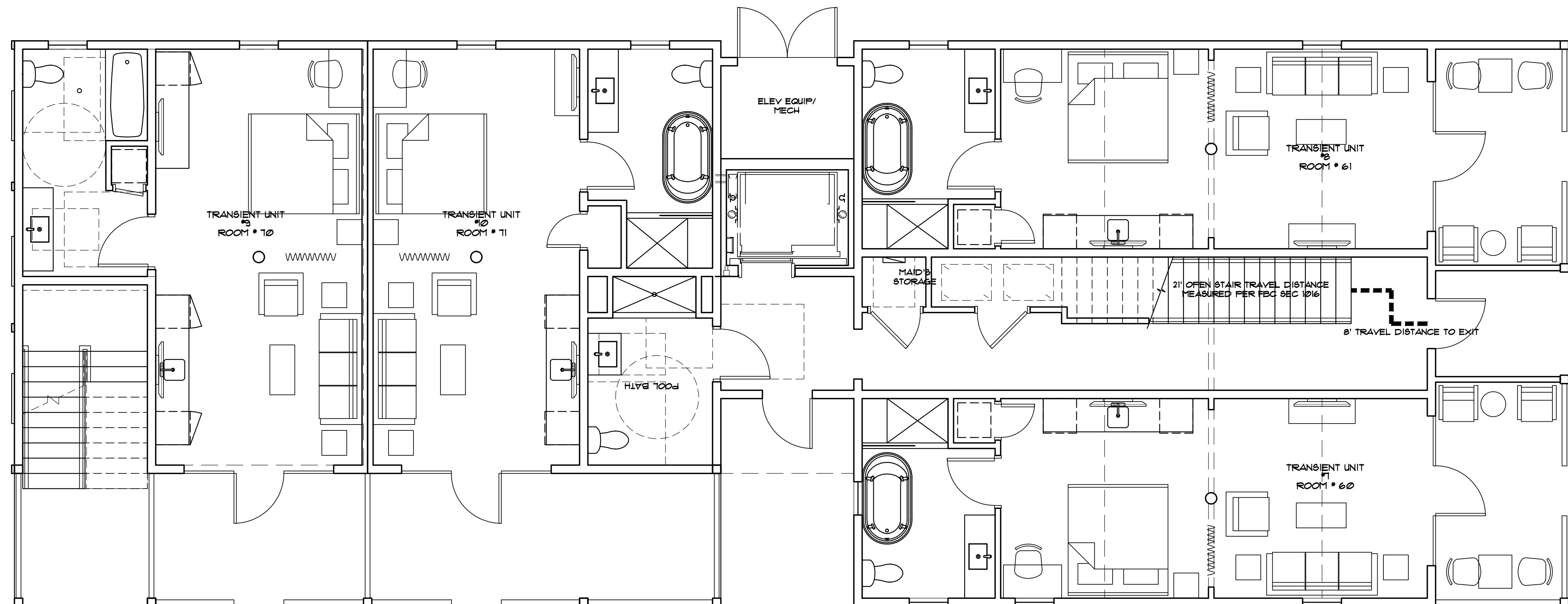
date:
 6/30/15
 revision:

sheet:
A1.2



**Proposed
Second Floor Plan**

1/4" = 1' - 0"
MARQUESA ANNEX
 SECOND FLOOR UNIT BREAKDOWN
 TRANSIENT UNITS 4



**Proposed
First Floor Plan**

1/4" = 1' - 0"
MARQUESA ANNEX
 FIRST FLOOR UNIT BREAKDOWN
 TRANSIENT UNITS 4

LIFE SAFETY NOTES

- BUILDING EQUIPPED WITH FIRE SPRINKLERS
- FBC 2010 TABLE 1016.1 OCCUPANCY TYPE R-1 200 FT TO EXIT (MAX ALLOWED)
- HVAC FIRE DAMPERS TO BE INSTALLED AT ALL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES
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LEDGEND

----- EXIT PASSAGE

Marquesa Hotel Annex

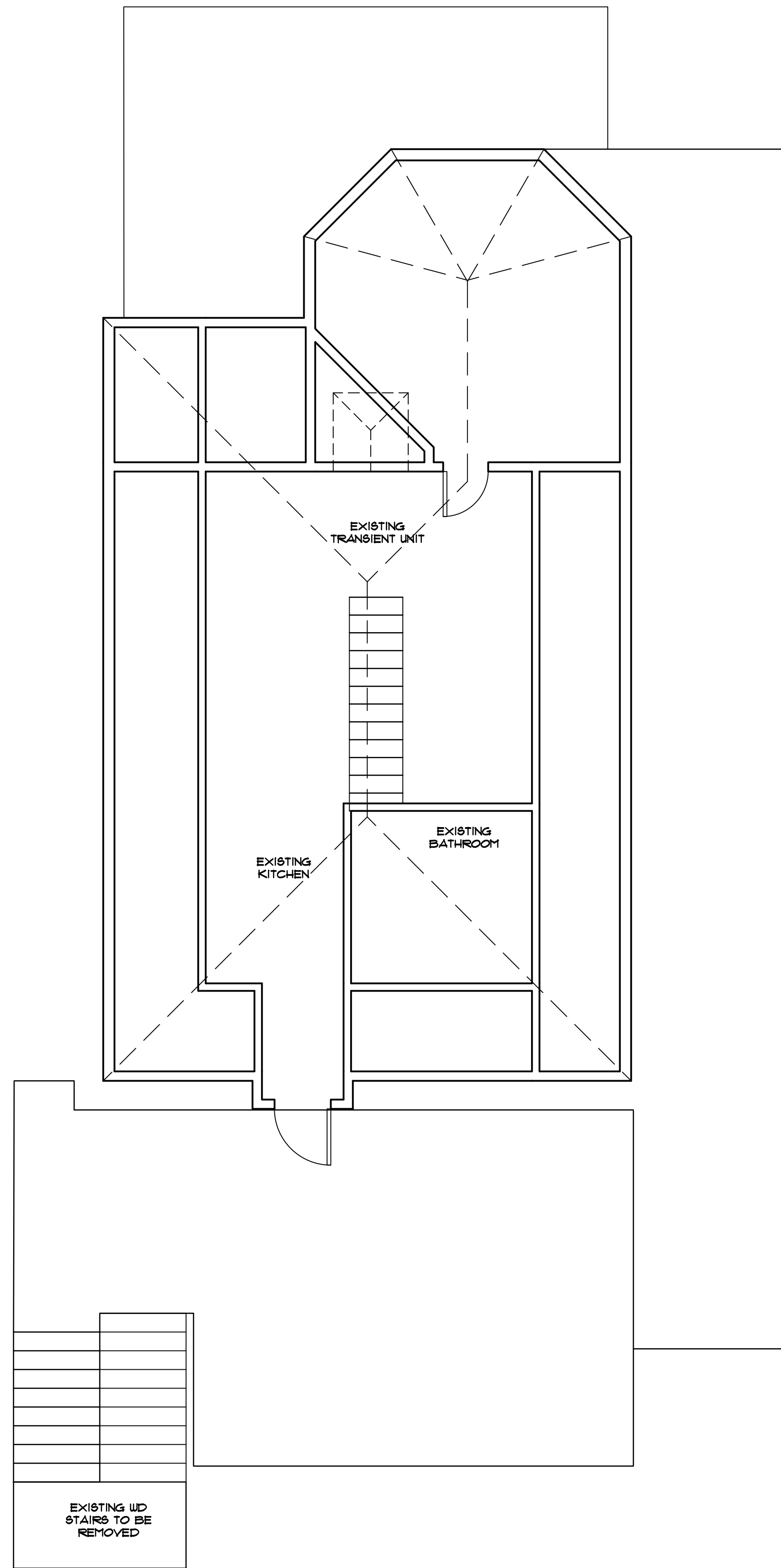
410-414 Simonton Street Key West, FL

THOMAS E. POPE, P.A. ARCHITECT

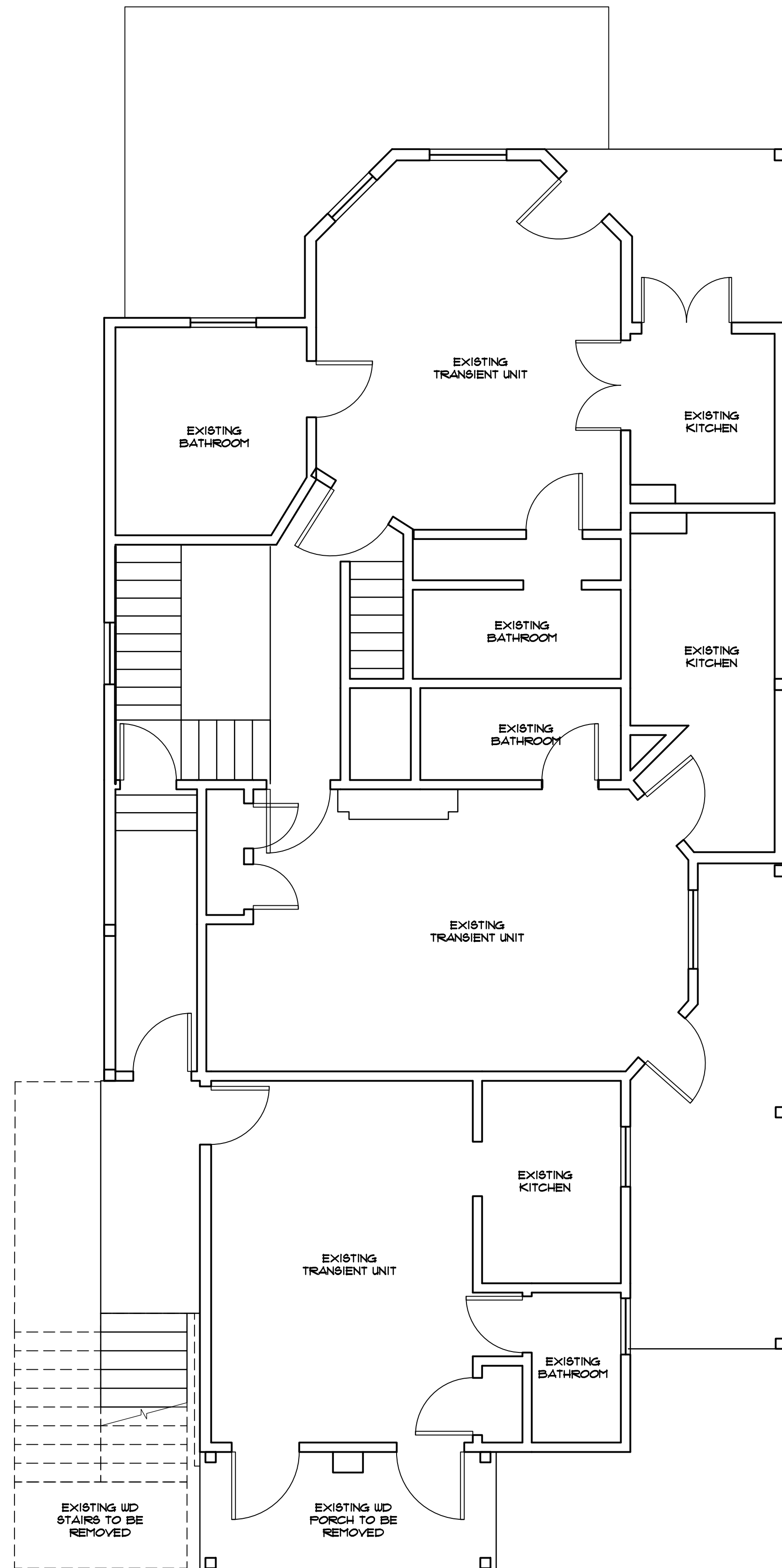
610 White Street, Key West FL
 (305) 296 3611
 TEPopePA@aol.com

date:
6/30/15
revision:

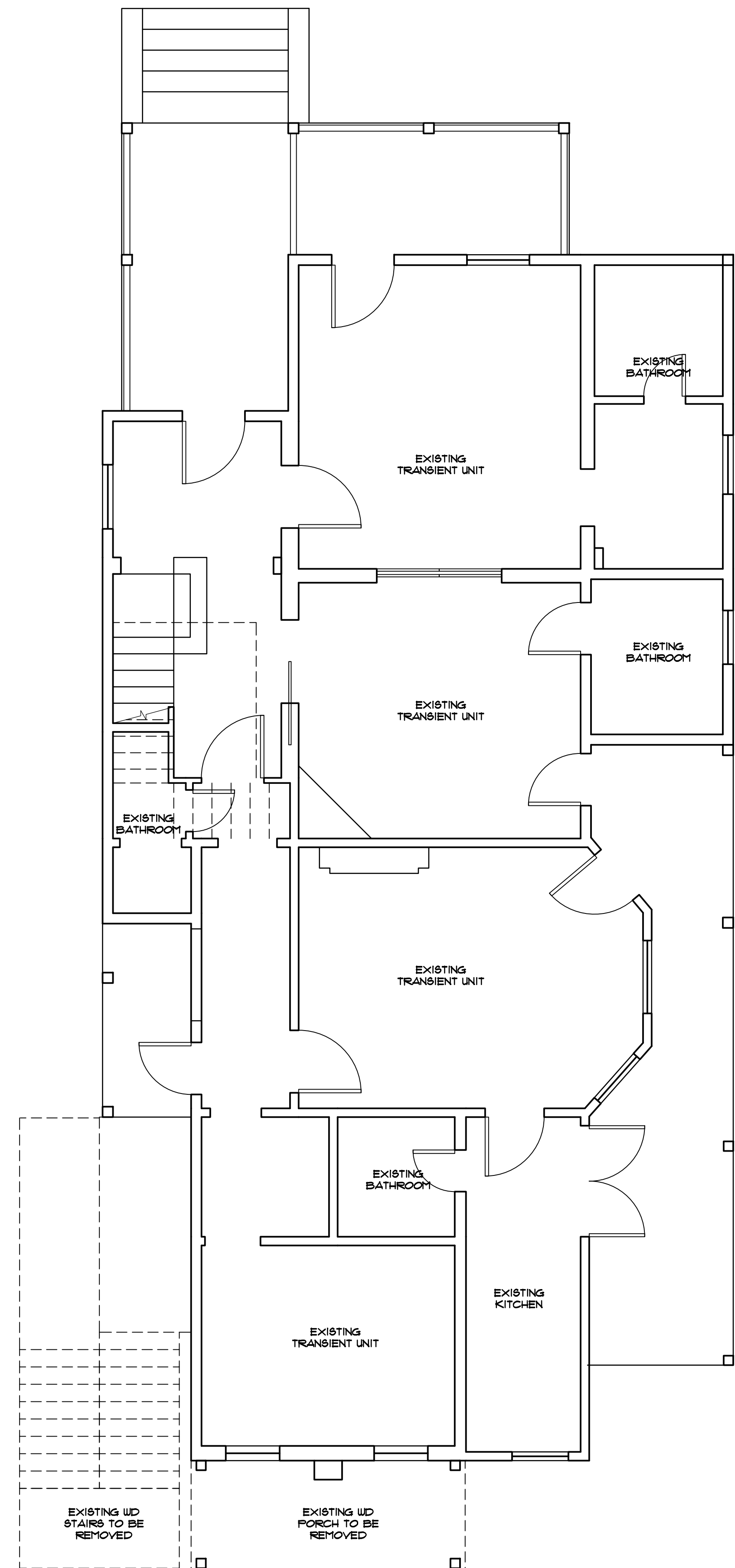
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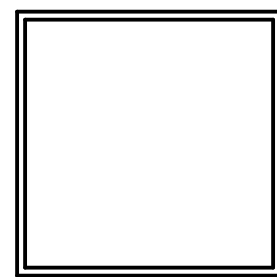
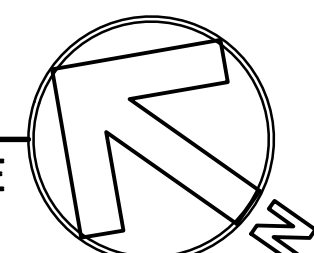
Existing Third Floor Plan
 1/4" = 1' - 0" PILOT HOUSE



Existing Second Floor Plan
 1/4" = 1' - 0" PILOT HOUSE



Existing First Floor Plan
 1/4" = 1' - 0" PILOT HOUSE



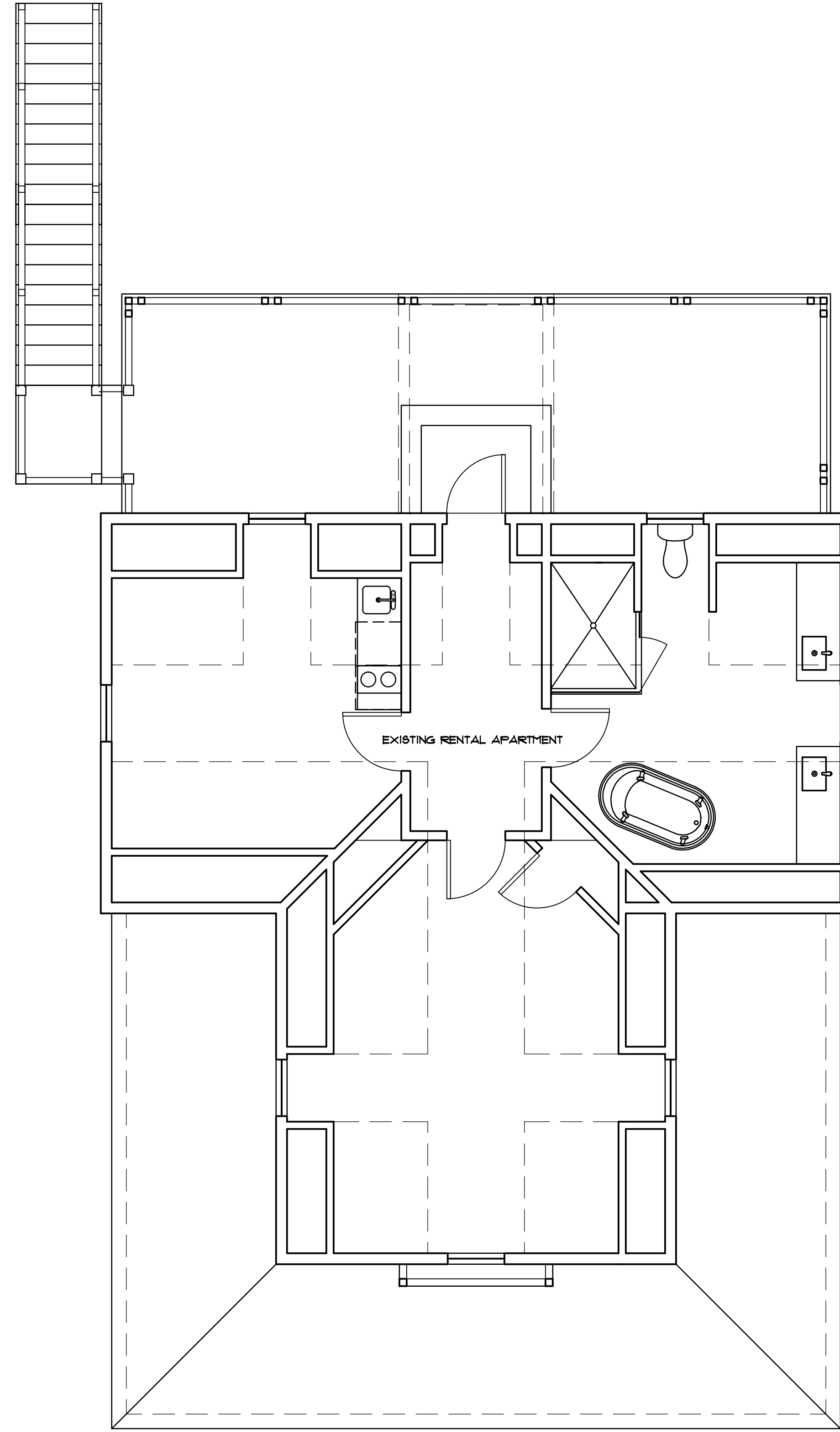
Marquesa Hotel Annex
 Pilot House
 410-414 Simonton Street Key West, FL

THOMAS E. POPE, P.A. ARCHITECT
 610 White Street, Key West FL
 (305) 296 3611
 TEPOPEPA@aol.com

date:
 6/30/15
 revision:

sheet:
A1.4

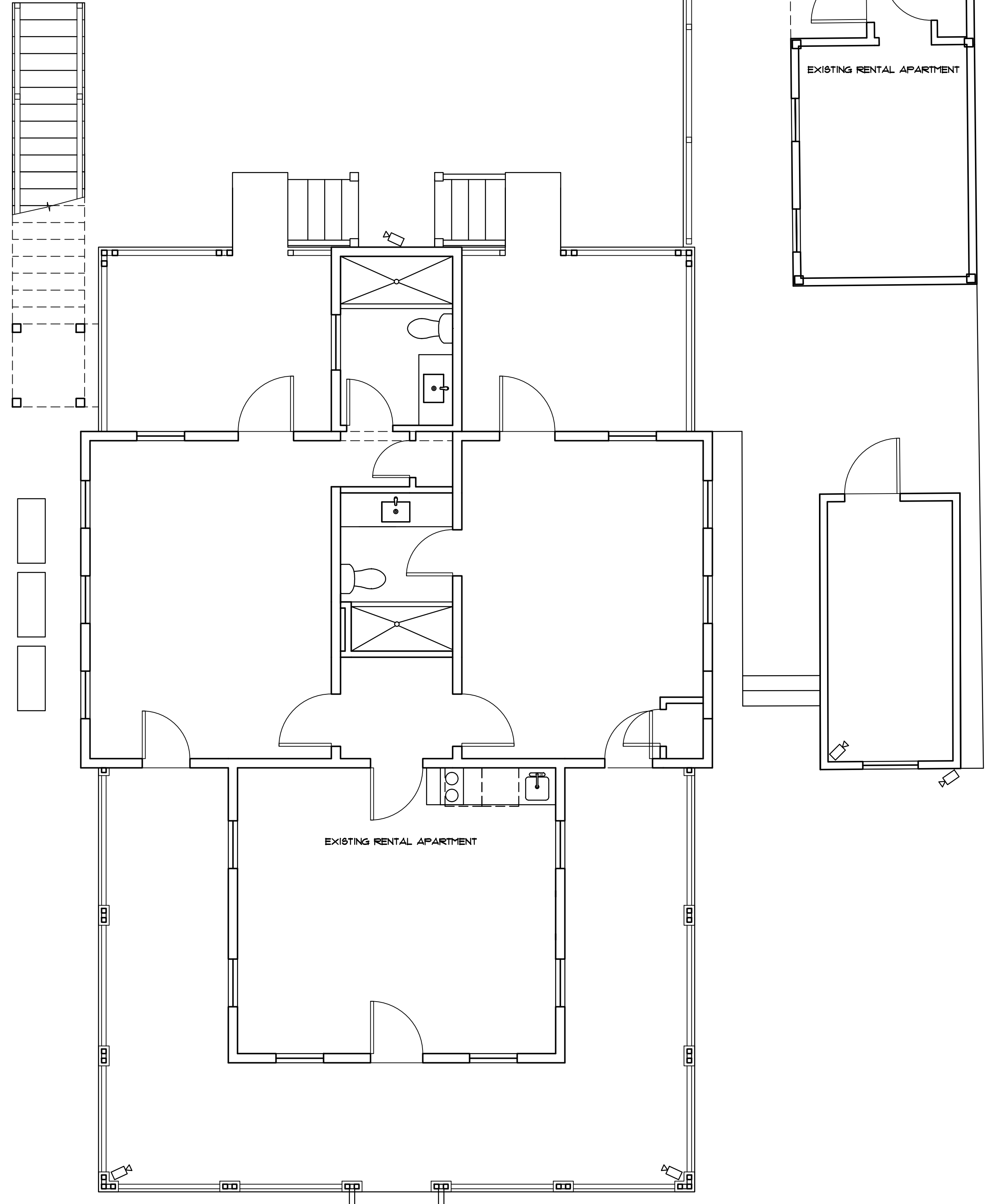
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Existing
Second Floor Plan

1/4" = 1' - 0"

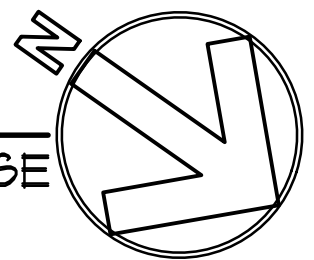
KERR HOUSE



Existing
First Floor Plan

1/4" = 1' - 0"

KERR HOUSE



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Marquesa Hotel Annex
Kerr House
410-414 Simonton Street Key West, FL

date:
6/30/15
revision:

sheet:
A1.5



NEW UP STAIRS W/ UP TREADS

Proposed Right Side Elevation

1/4" = 1' - 0"

PILOT HOUSE



NEW WHEELCHAIR LIFT

Proposed Rear Elevation

1/4" = 1' - 0"

PILOT HOUSE



NEW WHEELCHAIR LIFT

Proposed Left Side Elevation

1/4" = 1' - 0"

PILOT HOUSE



FIN FLR 14.61 NVGD

Proposed Front Elevation

1/4" = 1' - 0"

PILOT HOUSE

Marquesa Hotel Annex
Pilot House

410-414 Simonton Street Key West, FL

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sheet:
A2.1



**Proposed
Right Side Elevation**

1/4" = 1' - 0"

KERR HOUSE



**Proposed
Rear Elevation**

1/4" = 1' - 0"

KERR HOUSE



**Proposed
Left Side Elevation**

1/4" = 1' - 0"

KERR HOUSE



**Proposed
Front Elevation**

1/4" = 1' - 0"

KERR HOUSE

Marquesa Hotel Annex
Kerr House

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A2.2



**Proposed
Right Side Elevation**

1/4" = 1' - 0"

MARQUESA ANNEX



**Proposed
Pool Elevation**

1/4" = 1' - 0"

MARQUESA ANNEX

Marquesa Hotel Annex

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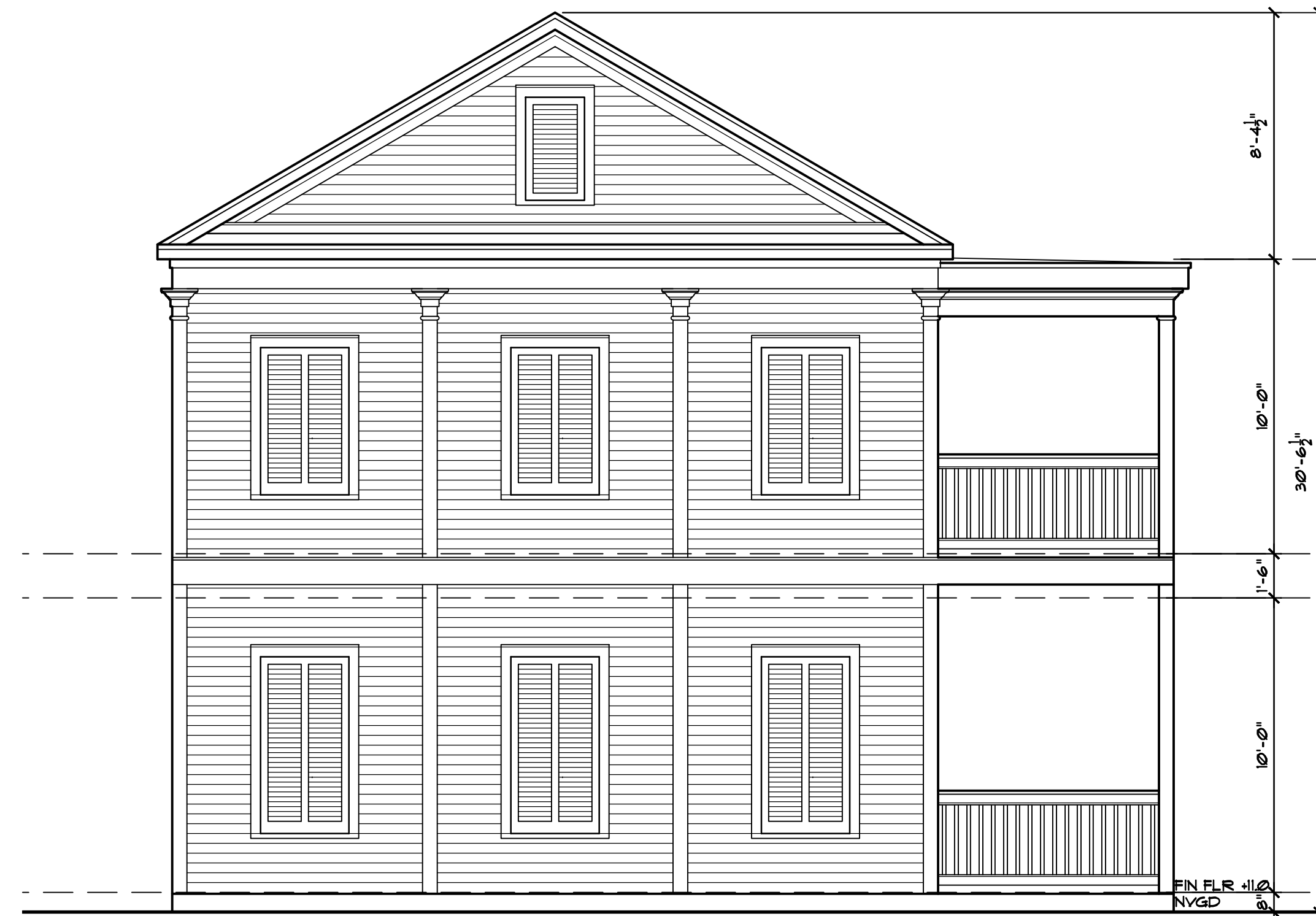
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**Proposed
Left Side Elevation**

1/4" = 1' - 0"

MARQUESA ANNEX



**Proposed
Bahama St Elevation**

1/4" = 1' - 0"

MARQUESA ANNEX

Marquesa Hotel Annex

410-414 Simonton Street Key West, FL

THOMAS E. POPE, P.A. ARCHITECT

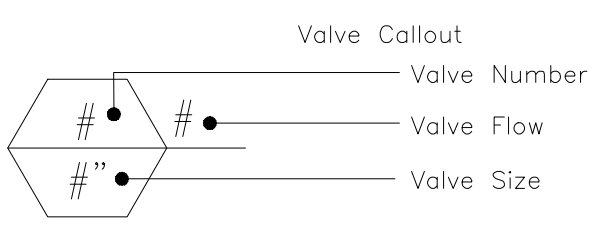
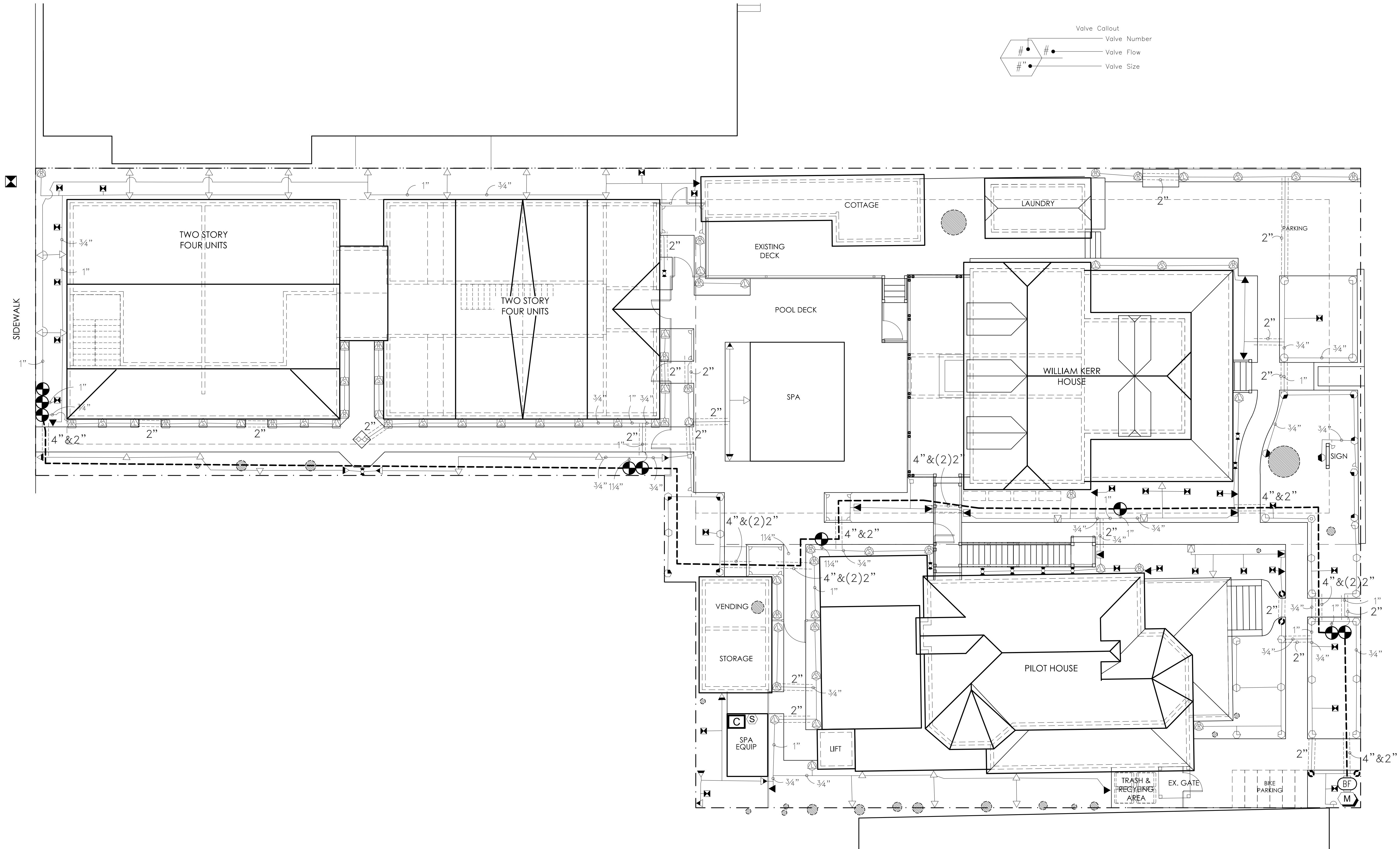
610 White Street, Key West FL
TEPopePA@aol.com

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revision:

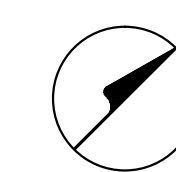
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BAHAMA STREET



SIMONTON STREET



UNDERGROUND IRRIGATION SPECIFICATIONS

1.0 GENERAL

- 1.1 SUMMARY: Includes but not limited to:
 A. Furnishing and installing sprinkler system as described in Contract Documents complete with accessories necessary for proper functioning.
- 1.2 SYSTEM DESCRIPTION:
 A. Design Requirements:
 1. Layout of Irrigation Heads:
 a. Location of heads shown on Drawings is approximate. Actual placement may vary slightly as is required to achieve full, even coverage without spraying onto buildings, sidewalks, fences, etc.
 b. During layout, consult with Landscape Architect to verify proper placement and make recommendations, where revisions are advisable.
- 1.3 QUALITY ASSURANCE:
 A. Regulatory Requirements:
 1. Work and materials shall be in accordance with latest rules and regulations, and other applicable state or local laws. Nothing in Contract Documents is to be construed to permit work not conforming to these codes.
 B. Pre-Installation Conference:
 1. Meet with Owner and Landscape Architect to discuss and clarify all aspects of job requirements prior to commencing work of this Section.
 C. System Adjustments:
 1. Minor adjustments in system will be permitted to avoid existing fixed obstructions.
 2. Mainline, laterals, and valves are shown for clarity purposes only. All irrigation equipment to be with landscape area. Mainline, laterals and valves to be installed as far away from existing and new specimen trees as possible.
 D. 1. Documentation and submittal of actual water supply performance prior to commencing installation.

- 1.4 SUBMITTALS:
 A. Record Drawings:
 1. Prepare an accurate as-built drawing as installation proceeds to be submitted prior to final inspection. Drawing shall include:
 a. Detail and dimension changes made during construction.
 b. Significant details and dimensions not shown in original Bidding Documents.
 2. Maintain, at job site, one copy of Contract Documents (as defined in General Conditions) and relevant shop drawings.
 3. Clearly mark each document "PROJECT RECORD COPY" and maintain in good condition for use of the Landscape Architect and Owner.
 4. As-built drawing shall be provided in pdf format.
 5. Submit product literature for all sprinklers, valves, pipe, wire, wire connectors and controller.
 6. Final payment for system will not be authorized until accurate and complete submittals are delivered to the Landscape Architect.
 B. Instruction Manual:
 1. Provide instruction manual which lists complete instructions for system operation and maintenance.

- 1.5 PRODUCT STORAGE:
 A. During construction and storage, protect materials from damage and prolonged exposure to sunlight.

- 1.6 WARRANTY:
 A. Standard one (1) year warranty stipulated in General Conditions shall include:
 1. Completed system including parts and labor.
 2. Filling and repairing depressions and replacing plantings due to settlement of irrigation trenches for one (1) year following final acceptance.
 3. System adjustment to supply proper coverage to areas to receive water.

- 1.7 MAINTENANCE:
 A. Extra Materials:
 1. In addition to installed system, furnish Owner with the following items at close-out:
 a. Two sprinkler head bodies of each size and type.
 b. Two nozzles for each size and type.
 c. Two adjusting keys for each sprinkler head cover type.

2.0 PRODUCTS:

- 2.1 PIPE, PIPE FITTINGS, AND CONNECTIONS:
 A. Pipe shall be continuously and permanently marked with Manufacturer's name, size, schedule, type, and working pressure.
 B. Pipe:
 1. Pressure Lines: as indicated on plans.
 2. Lateral Lines: as indicated on plans.
 3. Risers: sch. 80 PVC, gray
 C. Fittings:
 1. Schedule 40 PVC.
 D. Sleeving:
 1. Schedule 40 PVC.

- 2.2 SPRINKLER HEADS:
 A. Conform to requirements shown on Drawings as to type, radius of throw, pressure, and discharge.

- 2.3 AUTOMATIC SPRINKLER SYSTEM:
 A. Control valves shall be of size and type indicated on Drawings.
 B. Control wire shall be UL listed, color coded copper conductor direct burial size 14. Use 3M-DEW waterproof wire connectors at splices and locate all splices within valve boxes. Use white or gray color for common wire and other colors for all other wire. Each common wire may serve only one controller.
 C. Add two extra control wires from panel to valves for use if a wire fails and mark it in the control box as extra wires. These wires shall be of a different color than the others.

- 2.4 VALVES:
 A. Electric Valves:
 1. Make and model shown on Drawings.
 B. Gate valves:
 1. Bronze construction, angle type, 150 pound class, threaded connections, with cross-type operating handle designed to receive operating key.
 C. Automatic Controller:
 1. Make and model shown on Drawings.
 D. Backflow Preventor:
 1. Make and model shown on Drawings.

- 2.5 VALVE ACCESSORIES:
 A. Valve Boxes:
 1. Ametek or Brooks rectangular heavy duty valve box with locking lid or Landscape Architect approved equal.
 2. Do not install more than one (1) valve in a single box.
 3. Valve boxes shall be large enough for easy removal or maintenance of valves.

3.0 EXECUTION:

- 3.1 PREPARATION:
 A. Protection:
 1. Work of others damaged by this Section during course of its work shall be replaced or repaired by original installer at this Section's expense.

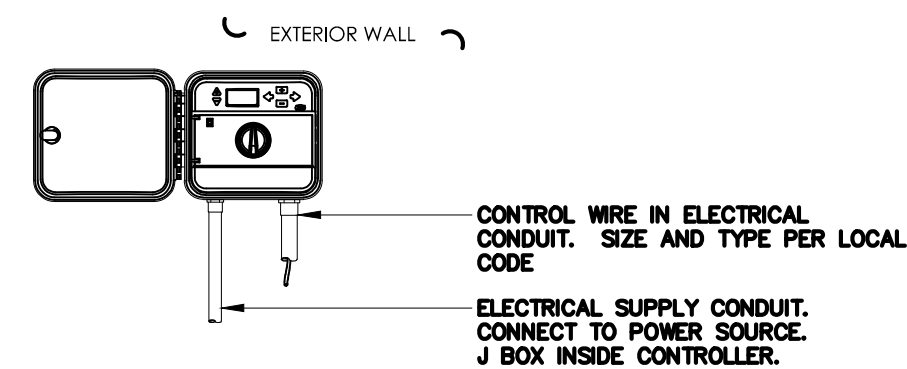
- 3.2 INSTALLATION:
 A. Trenching and Backfilling:
 1. Over-excavate trenches by two (2") inches and bring back to indicated depth by filling with fine, rock-free soil or sand.
 2. Cover pipe both top and sides with two (2") inches of material specified in paragraph above. In no case shall there be less than two (2") inches of rock-free soil or sand surrounding pipe.

3. Do not cover pressure main, sprinkler pipe, or fittings until the Landscape Architect has inspected and approved system.
- B. Installation of Plastic Pipe:
 1. Install plastic pipe in a manner to provide for expansion and contraction as recommended by Manufacturer.
 2. Unless otherwise indicated on Drawings, install main lines with a minimum cover of eighteen (18") inches based on finish grade. Install lateral lines with a minimum cover of twelve (12") inches based on finish grade.
 3. Install pipe and wires under driveways or parking areas in specified sleeves a minimum of eighteen (18") inches below finish grade or as shown on Drawings.
 4. Locate no sprinkler head closer than twelve (12") inches from building foundation. Heads immediately adjacent to mowing strips, walks or curbs shall be one (1") inch below top of mowing strip, walk or curb and have a minimum of one (1") inch clearance between head and mowing strip, walk or curb.
 5. Drawings show arrangement of piping. Should local conditions necessitate rearrangement, obtain approval of Landscape Architect prior to proceeding with work.
 6. Cut plastic pipe square. Remove burrs at cut ends prior to installation so unobstructed flow will result.
 7. Make solvent weld joints in the following manner:
 a. Clean mating pipe and fitting with clean, dry cloth and apply one (1) coat of P-70 primer to each.
 b. Apply uniform coat of 711 solvent to outside of pipe.
 c. Apply solvent to fitting in similar manner.
 d. Reapply a light coat of solvent to pipe and quickly insert into fitting.
 e. Give pipe or fitting a quarter turn to insure even distribution of solvent and make sure pipe is inserted to full depth of fitting socket.
 f. Hold in position for fifteen (15) seconds minimum or long enough to secure joint.
 g. Wipe off solvent appearing on outer shoulder of fitting.
 h. Do not use an excessive amount of solvent thereby causing an obstruction to form on the inside of pipe.
 i. Allow joints to set at least 24 hours before applying pressure to PVC pipe.
 8. Tape threaded connection with teflon tape.
 9. Install concrete thrust blocks wherever change of direction occurs a PVC main pressure lines unless otherwise detailed on Drawings.
- C. Control Valves and Controller:
 1. Install controller, control wires, and valves in accordance with Manufacturer's recommendations and according to applicable electrical code.
 2. Install valves in plastic boxes with reinforced heavy duty plastic covers. Locate valve box tops at finish grade.
 3. Install remote control valves in valve boxes positioned over valve so all parts of valve can be reached for service. Set cover of valve box even with finish grade.
 4. Install all valve boxes over nine (9") inches of gravel for drainage.
- D. Sprinkler Heads:
 1. Prior to the installation of sprinkler heads, open control valves and use full head of water to flush out system.
 2. Set sprinkler heads perpendicular to finish grade.
 3. Set lawn sprinkler heads adjacent to existing walks, curbs, and other paved areas to grade.

- 3.3 ADJUSTMENT AND CLEANING:
 A. Adjust heads to proper grade when turf is sufficiently established to allow walking on it without appreciable harm. Such lowering or raising of heads shall be part of the original contract with no additional charge to the Owner.
 B. Adjust sprinkler heads for proper distribution and trim to ensure spray does not fall on building.
 C. Adjust watering time of valves to provide proper amounts of water to all plants.

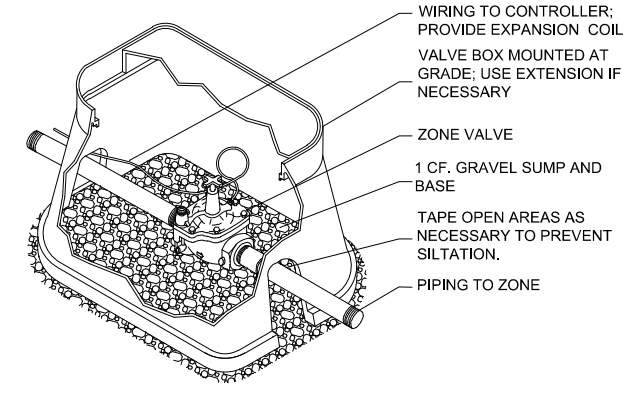
- 3.4 DEMONSTRATION:
 A. After system is installed and approved, instruct Owners Representative in complete operation and maintenance.

END OF SECTION



NOTE
 IMOUNT CONTROLLER WITH LCD SCREEN AT EYE LEVEL. CONTROLLER SHALL BE HARD WIRED BY A LICENSED ELECTRICIAN.

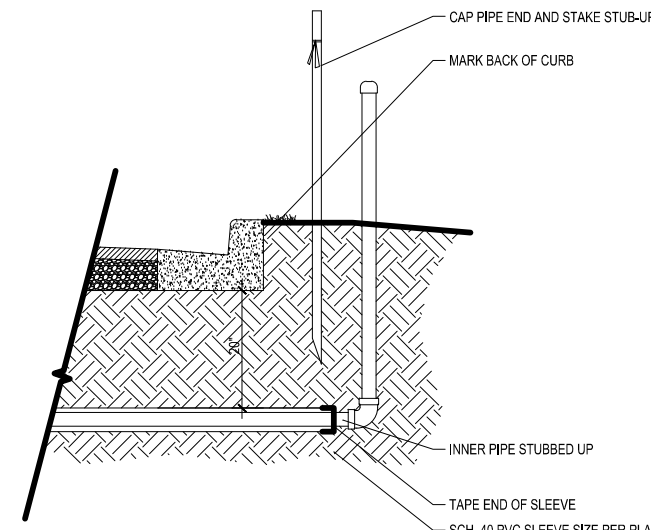
CONTROLLER INSTALLATION DETAIL
 SCALE: NTS



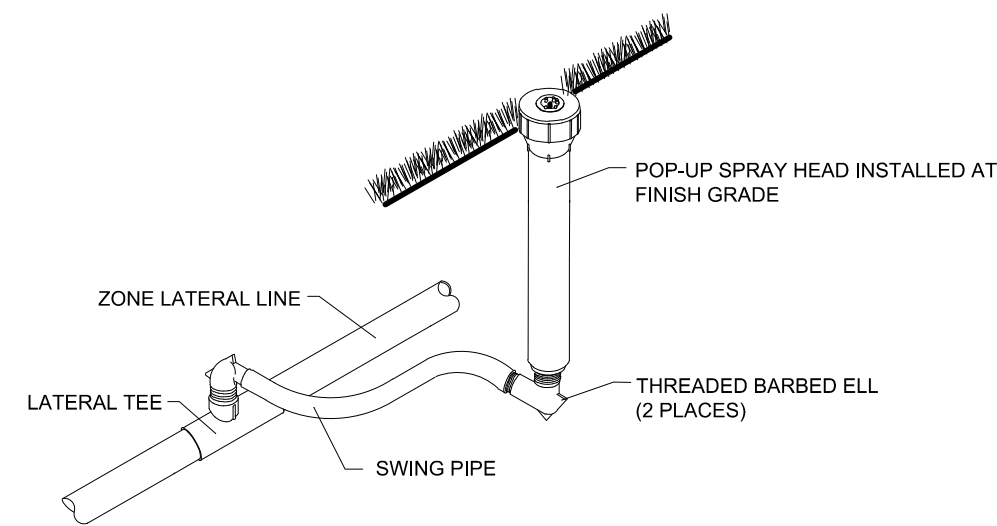
INSTALL TOP OF VALVE A MAXIMUM OF 18" FROM FINISHED GRADE.

ZONE VALVE INSTALLATION DETAIL
 SCALE: NTS

PROVIDE MEASUREMENTS FROM 2 REFERENCE POINTS TO STUB UP ON THE AS-BUILT DRAWING



SLEEVING ROUGH-IN DETAIL
 SCALE: NTS

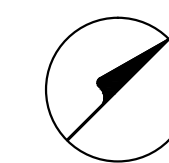


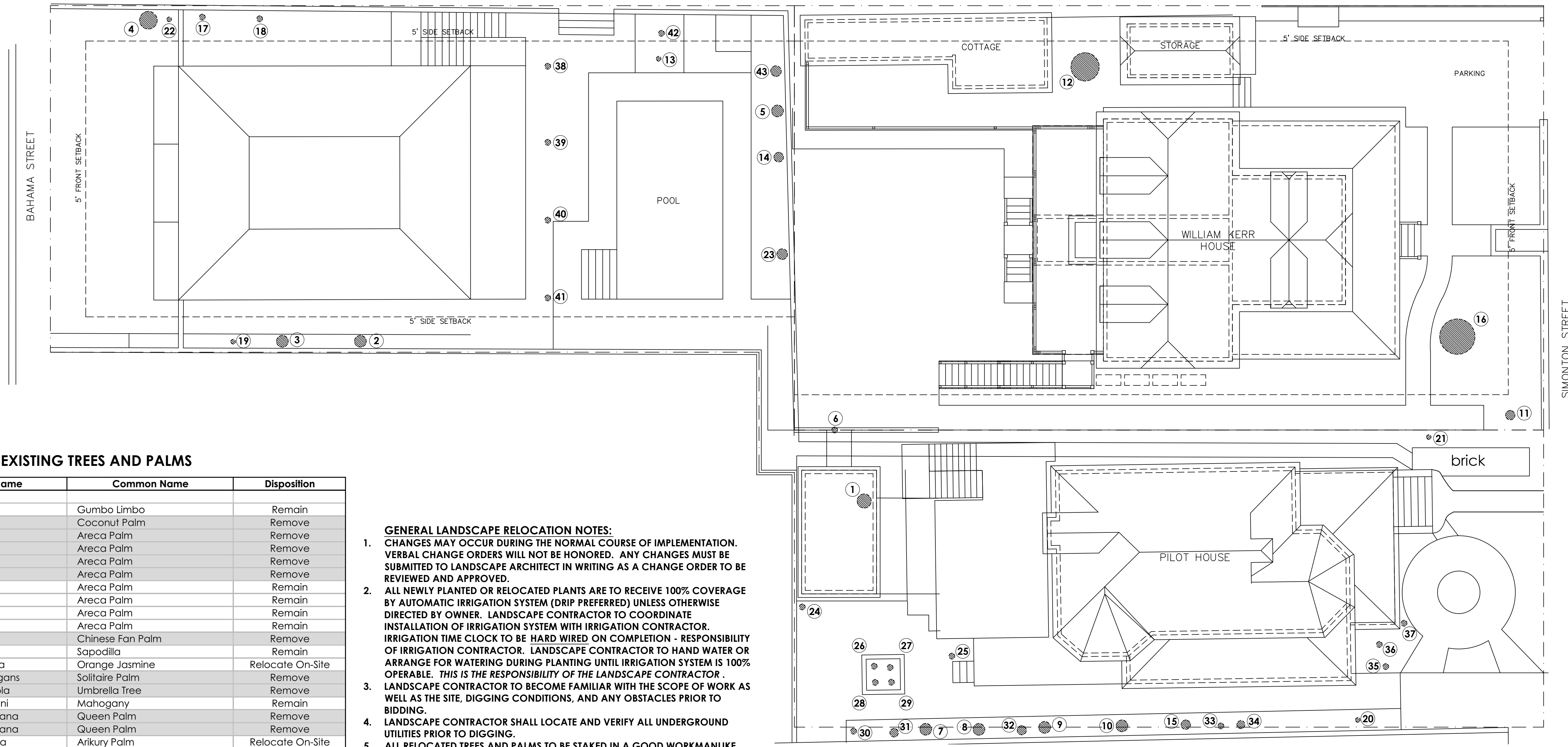
SPRAY HEAD INSTALLATION DETAIL
 SCALE: NTS

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL	QTY	ARC	PSI	GPM	RADIUS
◀	Rain Bird 1806 15 Strp Series	6	EST	30	0.61	4x15'
◻	Rain Bird 1806 15 Strp Series	3	SST	30	1.21	4x30'
↔	Rain Bird 1806 5 Series MPR	4	90	30	0.10	5'
◀	Rain Bird 1812 15 Strp Series	10	EST	30	0.61	4x15'
◀	Rain Bird 1812 15 Strp Series	5	LC5	30	0.49	4x15'
◀	Rain Bird 1812 15 Strp Series	5	RC5	30	0.49	4x15'
<	Rain Bird 1812 15 Strp Series	33	SST	30	1.21	4x30'
↔	Rain Bird 1812 5 Series MPR	1	180	30	0.20	5'
↔	Rain Bird 1812 5 Series MPR	17	90	30	0.10	5'
⊕	Rain Bird 1812 8 Series MPR	8	180	30	0.52	8'
⊕	Rain Bird 1812 8 Series MPR	11	90	30	0.26	8'
⊕	Rain Bird 1812 10 Series MPR	2	180	30	0.79	10'
⊕	Rain Bird 1812 10 Series MPR	8	90	30	0.39	10'
⊕	Rain Bird 1812 10 Series MPR	1	120	30	0.53	10'
⊕	Rain Bird 1812 12 Series MPR	5	90	30	0.65	12'
⊕	Rain Bird 1812 6 Series VAN	4	Adj	30		6'
⊕	Rain Bird 1812 8 Series VAN	1	Adj	30		8'
⊕	Rain Bird 1812 15 Strp Series	13	LC5	30	0.49	4x15'
⊕	Rain Bird 1812 15 Strp Series	17	RC5	30	0.49	4x15'
⊕	Rain Bird 1812 15 Strp Series	5	SST	30	1.21	4x30'
⊕	Rain Bird 1806 15 Strp Series w/PCS-030 screen	8	LC5	30	0.49	4x15'
⊕	Rain Bird 1806 15 Strp Series w/PCS-030 screen	8	RC5	30	0.49	4x15'
⊕	Rain Bird 1806 15 Strp Series w/PCS-030 screen	11	SST	30	1.21	4x30'
⊕	Rain Bird 1806-5 Series Stream	9	180	30	0.50	1x10'
⊕	Rain Bird 1806 w/Maxjet ARCGHFG09H	26	90	30	0.25	5'

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
⊕	Rain Bird 100HVf in 10" Valve Box	9
⊕	Wilkins 975XL 1" Backflow Preventer	1
⊕	Rain Bird ESP12m 12 Station Controller	1
⊕	Rain Bird R5D-BEx Rain Sensor	1
⊕	Water Meter 1"	1
—————	Irrigation Lateral Line: PVC Class 160	1,500 l.f.
-----	Irrigation Mainline: PVC 1-1/2' Schedule 40	300 l.f.
-----	Pipe Sleeve: PVC Schedule 40	
-----	Extend sleeves 18 inches beyond edges of paving or construction.	
	IRRIGATION CONTRACTOR RESPONSIBLE FOR THEIR OWN TAKE OFF	



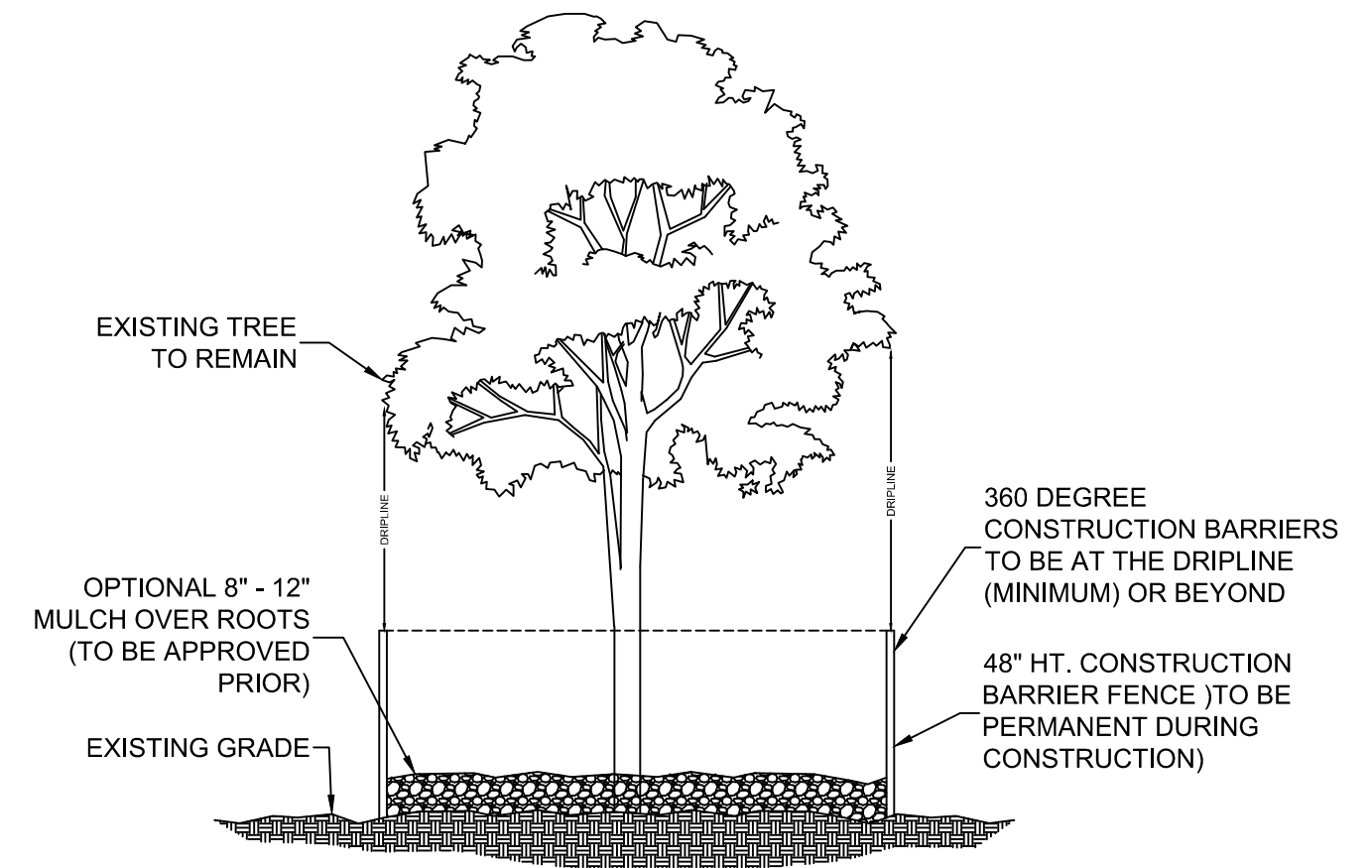


EXISTING TREES AND PALMS

ID #	Botanical Name	Common Name	Disposition
1	Bursera simaruba	Gumbo Limbo	Remain
2	Cocos nucifera	Coconut Palm	Remove
3	Dypsis lutescens	Areca Palm	Remove
4	Dypsis lutescens	Areca Palm	Remove
5	Dypsis lutescens	Areca Palm	Remove
6	Dypsis lutescens	Areca Palm	Remove
7	Dypsis lutescens	Areca Palm	Remain
8	Dypsis lutescens	Areca Palm	Remain
9	Dypsis lutescens	Areca Palm	Remain
10	Dypsis lutescens	Areca Palm	Remain
11	Livistona chinense	Chinese Fan Palm	Remove
12	Manikara zapota	Sapodilla	Remain
13	Murraya paniculata	Orange Jasmine	Relocate On-Site
14	Ptychosperma elegans	Solitaire Palm	Remove
15	Schefflera arboricola	Umbrella Tree	Remove
16	Swietenia mahogani	Mahogany	Remain
17	Syagrus romanzoffiana	Queen Palm	Remove
18	Syagrus romanzoffiana	Queen Palm	Remove
19	Syagrus schizophylla	Arikury Palm	Relocate On-Site
20	Thrinax radiata	Green Thatch Palm	Relocate On-Site
21	Thrinax radiata	Green Thatch Palm	Remain
22	Veitchia merillii	Christmas Palm	Remove
23	Veitchia merillii	Christmas Palm	Remove
24	Veitchia merillii	Christmas Palm	Remain
25	Veitchia merillii	Christmas Palm	Remove
26	Veitchia merillii	Christmas Palm	Remove
27	Veitchia merillii	Christmas Palm	Remove
28	Veitchia merillii	Christmas Palm	Remove
29	Veitchia merillii	Christmas Palm	Remove
30	Veitchia merillii	Christmas Palm	Remain
31	Veitchia merillii	Christmas Palm	Remain
32	Veitchia merillii	Christmas Palm	Remain
33	Veitchia merillii	Christmas Palm	Remain
34	Veitchia merillii	Christmas Palm	Remain
35	Veitchia merillii	Christmas Palm	Remove
36	Veitchia merillii	Christmas Palm	Remain
37	Veitchia merillii	Christmas Palm	Remain
38	Veitchia montgomeryana	Montgomery Palm	Remove
39	Veitchia montgomeryana	Montgomery Palm	Remove
40	Veitchia montgomeryana	Montgomery Palm	Remove
41	Veitchia montgomeryana	Montgomery Palm	Remove
42	Veitchia montgomeryana	Montgomery Palm	Remove
43	Veitchia montgomeryana	Montgomery Palm	Remove

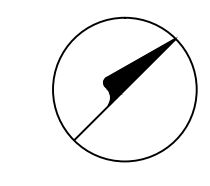
- GENERAL LANDSCAPE RELOCATION NOTES:**
- CHANGES MAY OCCUR DURING THE NORMAL COURSE OF IMPLEMENTATION. VERBAL CHANGE ORDERS WILL NOT BE HONORED. ANY CHANGES MUST BE SUBMITTED TO LANDSCAPE ARCHITECT IN WRITING AS A CHANGE ORDER TO BE REVIEWED AND APPROVED.
 - ALL NEWLY PLANTED OR RELOCATED PLANTS ARE TO RECEIVE 100% COVERAGE BY AUTOMATIC IRRIGATION SYSTEM (DRIP PREFERRED) UNLESS OTHERWISE DIRECTED BY OWNER. LANDSCAPE CONTRACTOR TO COORDINATE INSTALLATION OF IRRIGATION SYSTEM WITH IRRIGATION CONTRACTOR. IRRIGATION TIME CLOCK TO BE HARD WIRED ON COMPLETION - RESPONSIBILITY OF IRRIGATION CONTRACTOR. LANDSCAPE CONTRACTOR TO HAND WATER OR ARRANGE FOR WATERING DURING PLANTING UNTIL IRRIGATION SYSTEM IS 100% OPERABLE. THIS IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
 - LANDSCAPE CONTRACTOR TO BECOME FAMILIAR WITH THE SCOPE OF WORK AS WELL AS THE SITE, DIGGING CONDITIONS, AND ANY OBSTACLES PRIOR TO BIDDING.
 - LANDSCAPE CONTRACTOR SHALL LOCATE AND VERIFY ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
 - ALL RELOCATED TREES AND PALMS TO BE STAKED IN A GOOD WORKMANLIKE MANNER. NO NAIL STAKING PERMITTED. (REFER TO PLANTING DETAILS)
 - LANDSCAPE CONTRACTOR TO COORDINATE HIS WORK WITH THE GENERAL CONTRACTOR, IRRIGATION CONTRACTOR AND ELECTRICAL CONTRACTOR.
 - ALL EXISTING PLANT MATERIAL TO REMAIN SHALL BE PROTECTED. REFER TO PROTECTION DIAGRAM.
 - ALL PALMS TO BE RELOCATED WILL GET ROOT PRUNED 30 DAYS MIN. (OR MORE IF REQUIRED BY THE SPECIES). UPON RELOCATION, THIN OUT MAXIMUM 30% OF THE RELOCATED PALMS CANOPY.
 - REMOVE AND DISPOSE OF ALL INVASIVE EXOTICS SUCH AS, BUT NOT LIMITED TO, SCHEFFLERA, BRAZILIAN PEPPER, CHINESE FAN PALM, AND WASHINGTONIA PALMS

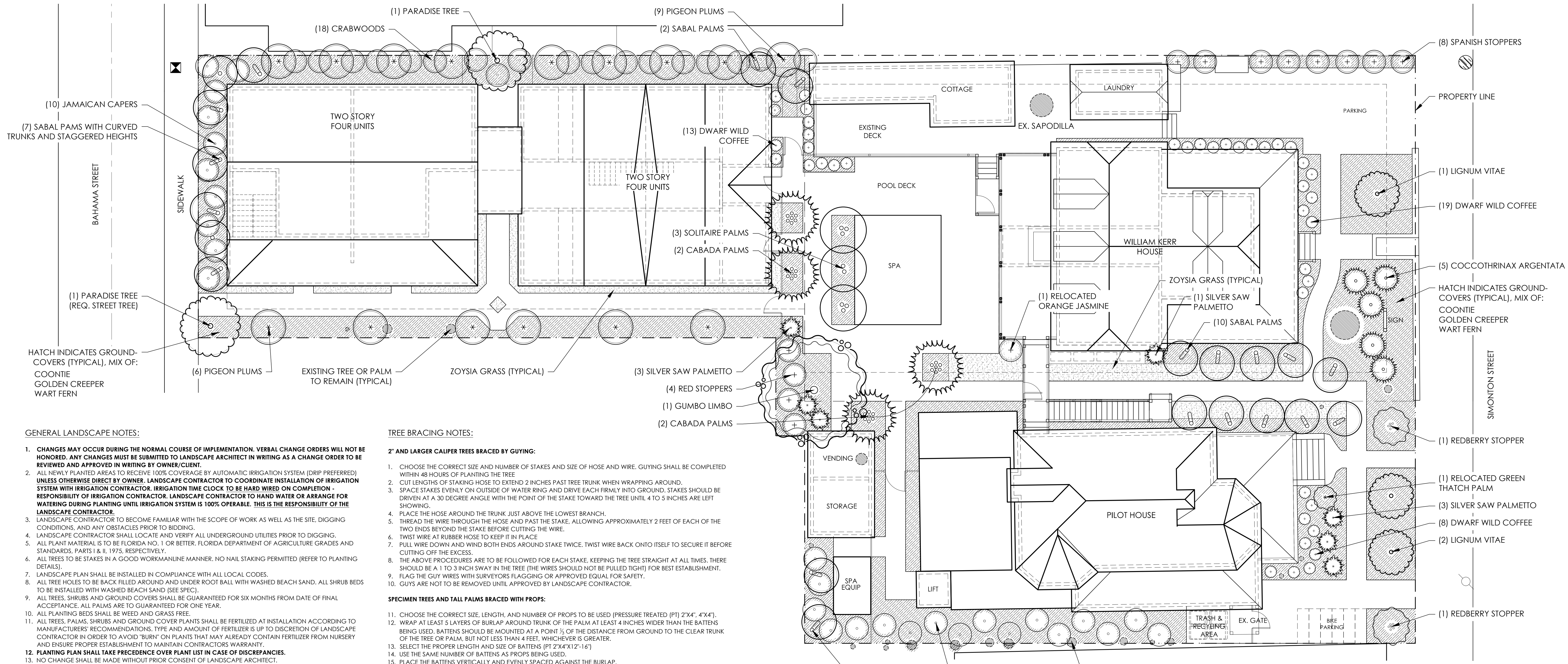
- TREE PROTECTION NOTES:**
- WHILE WORKING AROUND ANY TREES ON THE JOB SITE, IT IS CRITICAL AND MANDATORY THAT YOU FOLLOW THE DIAGRAM TO PREVENT DAMAGE TO THE TREES.
 - TREE PROTECTION FENCING IS A REQUIREMENT.
 - FENCING AROUND THE DRIFLINE IS THE MINIMUM REQUIREMENT.
 - IF FENCING WITHIN THE DRIFLINE IS ABSOLUTELY NECESSARY, ADDITIONAL PROTECTIVE MEASURES MUST BE IMPLEMENTED. THESE MEASURES ARE TO INSTALL 8-12" OF MULCH OVER THE ROOT SYSTEM OUT TO THE DRIFLINE AT A MINIMUM. THIS METHOD IS ONLY ALLOWED IF PRIOR APPROVAL IS OBTAINED FROM PERMITTING AUTHORITY.



TREE PROTECTION DIAGRAM

SCALE: NONE





GENERAL LANDSCAPE NOTES:

- CHANGES MAY OCCUR DURING THE NORMAL COURSE OF IMPLEMENTATION. VERBAL CHANGE ORDERS WILL NOT BE HONORED. ANY CHANGES MUST BE SUBMITTED TO LANDSCAPE ARCHITECT IN WRITING AS A CHANGE ORDER TO BE REVIEWED AND APPROVED IN WRITING BY OWNER/CLIENT.
- ALL NEWLY PLANTED AREAS TO RECEIVE 100% COVERAGE BY AUTOMATIC IRRIGATION SYSTEM (DRIP PREFERRED) UNLESS OTHERWISE DIRECT BY OWNER. LANDSCAPE CONTRACTOR TO COORDINATE INSTALLATION OF IRRIGATION SYSTEM WITH IRRIGATION CONTRACTOR. IRRIGATION TIME CLOCK TO BE HARD WIRED ON COMPLETION - RESPONSIBILITY OF IRRIGATION CONTRACTOR. LANDSCAPE CONTRACTOR TO HAND WATER OR ARRANGE FOR WATERING DURING PLANTING UNTIL IRRIGATION SYSTEM IS 100% OPERABLE. THIS IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- LANDSCAPE CONTRACTOR TO BECOME FAMILIAR WITH THE SCOPE OF WORK AS WELL AS THE SITE, DIGGING CONDITIONS, AND ANY OBSTACLES PRIOR TO BIDDING.
- LANDSCAPE CONTRACTOR SHALL LOCATE AND VERIFY ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
- ALL PLANT MATERIAL IS TO BE FLORIDA NO. 1 OR BETTER, FLORIDA DEPARTMENT OF AGRICULTURE GRADES AND STANDARDS, PARTS I & II, 1975, RESPECTIVELY.
- ALL TREES TO BE STAKES IN A GOOD WORKMANLINE MANNER. NO NAIL STAKING PERMITTED (REFER TO PLANTING DETAILS).
- LANDSCAPE PLAN SHALL BE INSTALLED IN COMPLIANCE WITH ALL LOCAL CODES.
- ALL TREE HOLES TO BE BACK FILLED AROUND AND UNDER ROOT BALL WITH WASHED BEACH SAND. ALL SHRUB BEDS TO BE INSTALLED WITH WASHED BEACH SAND (SEE SPEC).
- ALL TREES, SHRUBS AND GROUND COVERS SHALL BE GUARANTEED FOR SIX MONTHS FROM DATE OF FINAL ACCEPTANCE. ALL PALMS ARE TO GUARANTEED FOR ONE YEAR.
- ALL PLANTING BEDS SHALL BE WEED AND GRASS FREE.
- ALL TREES, PALMS, SHRUBS AND GROUND COVER PLANTS SHALL BE FERTILIZED AT INSTALLATION ACCORDING TO MANUFACTURERS' RECOMMENDATIONS. TYPE AND AMOUNT OF FERTILIZER IS UP TO DISCRETION OF LANDSCAPE CONTRACTOR IN ORDER TO AVOID "BURN" ON PLANTS THAT MAY ALREADY CONTAIN FERTILIZER FROM NURSERY AND ENSURE PROPER ESTABLISHMENT TO MAINTAIN CONTRACTORS WARRANTY.
- PLANTING PLAN SHALL TAKE PRECEDENCE OVER PLANT LIST IN CASE OF DISCREPANCIES.**
- NO CHANGE SHALL BE MADE WITHOUT PRIOR CONSENT OF LANDSCAPE ARCHITECT.
- ALL MATERIAL SHALL BE SUBJECT TO AVAILABILITY AT TIME OF INSTALLATION. SUBSTITUTIONS MAY BE MADE AFTER CONSULTATION WITH LANDSCAPE ARCHITECT.
- LANDSCAPE CONTRACTOR TO COORDINATE HIS WORK WITH GENERAL CONTRACTOR, IRRIGATION CONTRACTOR, AND THE ELECTRICAL CONTRACTOR.
- ALL EXISTING PLANT MATERIAL TO REMAIN SHALL BE PROTECTED.
- ALL TREES TO BE RELOCATED WILL BE ROOT PRUNED 30 DAYS MINIMUM (OR MORE IF REQUIRED BY SPECIES), UPON RELOCATION, THIN OUT 30% OF THE RELOCATED TREES' CANOPY.
- AFTER REMOVAL OR RELOCATION OF EXISTING TREES AND PALMS, BACKFILL TREE PIT WITH WASHED BEACH SAND, AND SOD DISTURBED AREA, IF REQUIRED.
- ALL TREES ON SOD AREA SHALL RECEIVE A MULCH RING 2" IN DIAMETER TYPICAL.
- ALL TREES SHALL HAVE 2" CALIPER AT D.B.H. MINIMUM FOR A 10' HEIGHT TREE.
- ALL 1 GALLON MATERIAL TO HAVE 12" SPREAD MINIMUM, ALL 3 GALLON MATERIAL TO HAVE 20-24" SPREAD MINIMUM.
- LANDSCAPE CONTRACTOR TO BE COUNTY OR CITY LICENSED WHERE WORK IS TO BE PERFORMED. LIABILITY AND WORKMANS COMP INSURANCE IS REQUIRED FOR EACH AND EVERY EMPLOYEE TO BE ON-SITE AT ANY TIME DURING IMPLEMENTATION. PAPERWORK TO THIS EFFECT TO BE PROVIDED ON REQUEST WITHIN 2 BUSINESS DAYS.

END

TREE BRACING NOTES:

- 2" AND LARGER CALIPER TREES BRACED BY GUYING:**
- CHOOSE THE CORRECT SIZE AND NUMBER OF STAKES AND SIZE OF HOSE AND WIRE. GUYING SHALL BE COMPLETED WITHIN 48 HOURS OF PLANTING THE TREE
 - CUT LENGTHS OF STAKING HOSE TO EXTEND 2 INCHES PAST TREE TRUNK WHEN WRAPPING AROUND.
 - SPACE STAKES EVENLY ON OUTSIDE OF WATER RING AND DRIVE EACH FIRMLY INTO GROUND. STAKES SHOULD BE DRIVEN AT A 30 DEGREE ANGLE WITH THE POINT OF THE STAKE TOWARD THE TREE UNTIL 4 TO 5 INCHES ARE LEFT SHOWING.
 - PLACE THE HOSE AROUND THE TRUNK JUST ABOVE THE LOWEST BRANCH.
 - THREAD THE WIRE THROUGH THE HOSE AND PAST THE STAKE, ALLOWING APPROXIMATELY 2 FEET OF EACH OF THE TWO ENDS BEYOND THE STAKE BEFORE CUTTING THE WIRE.
 - TWIST WIRE AT RUBBER HOSE TO KEEP IT IN PLACE
 - PULL WIRE DOWN AND WIND BOTH ENDS AROUND STAKE TWICE. TWIST WIRE BACK ONTO ITSELF TO SECURE IT BEFORE CUTTING OFF THE EXCESS.
 - THE ABOVE PROCEDURES ARE TO BE FOLLOWED FOR EACH STAKE, KEEPING THE TREE STRAIGHT AT ALL TIMES. THERE SHOULD BE A 1 TO 3 INCH SWAY IN THE TREE (THE WIRES SHOULD NOT BE PULLED TIGHT) FOR BEST ESTABLISHMENT.
 - FLAG THE GUY WIRES WITH SURVEYORS FLAGGING OR APPROVED EQUAL FOR SAFETY.
 - GUYS ARE NOT TO BE REMOVED UNTIL APPROVED BY LANDSCAPE CONTRACTOR.

SPECIMEN TREES AND TALL PALMS BRACED WITH PROPS:

- CHOOSE THE CORRECT SIZE, LENGTH, AND NUMBER OF PROPS TO BE USED (PRESSURE TREATED (PT) 2"x4", 4"x4").
- WRAP AT LEAST 5 LAYERS OF BURLAP AROUND TRUNK OF THE PALM AT LEAST 4 INCHES WIDER THAN THE BATTENS BEING USED. BATTENS SHOULD BE MOUNTED AT A POINT 1/3 OF THE DISTANCE FROM GROUND TO THE CLEAR TRUNK OF THE TREE OR PALM, BUT NOT LESS THAN 4 FEET, WHICHEVER IS GREATER.
- SELECT THE PROPER LENGTH AND SIZE OF BATTENS (PT 2"x4"x12'-16')
- USE THE SAME NUMBER OF BATTENS AS PROPS BEING USED.
- PLACE THE BATTENS VERTICALLY AND EVENLY SPACED AGAINST THE BURLAP.
- PLACE THE BATTENS IN PLACE WITH METAL OR PLASTIC BANDING STRAPS. **DO NOT NAIL INTO TREE.**
- WEDGE LOWER END OF PROP INTO SOIL AND SECURE WITH A 2"x4"x30" STAKES. PROPS SHOULD BE INSTALLED AT A 30 TO 40 DEGREE ANGLE FROM THE BATTENS AND OF SUFFICIENT LENGTH TO REACH THE GROUND. **NOTE: ON STRAIGHT TREES OR PALMS, SPACE PROPS EQUAL DISTANCE AROUND TREE OR PALM. ON CURVED PALMS OR TREES, SPACE PROPS AGAINST THE FRONT OF THE CURVE OF THE PALM OR TREE.**
- CUT A SMOOTH ANGLE AT THE END OF THE PROPS. ALIGN WITH AND NAIL INTO BATTENS. **DO NOT PENETRATE TREE OR PALM WITH NAILS.**
- IF IT APPEARS THAT ADDITIONAL CONSTRUCTION WORK WILL TAKE PLACE NEAR TO OR IN VICINITY OF THE NEWLY BRACED TREES OR PALMS, THEN PROPS ARE TO BE CLEARED LABELED WITH THE STATEMENT "DO NOT REMOVE".**
- PROPS ARE NOT TO BE REMOVED UNTIL APPROVED BY THE LANDSCAPE CONTRACTOR.

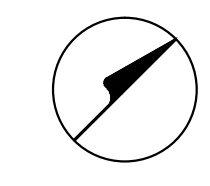
END

PLANT LIST

Qty.	Botanical Name	Common Name	Specifications	Native
TREES & PALMS				
1	<i>Bursera simaruba</i>	Gumbo Limbo	14-16' PH x 12-14' spread, character specimen	YES
17	<i>Calyptarathes zuzugium</i>	Myrtle-of-the-River	25 gallon, very full	YES
10	<i>Capparis cynophallophora</i>	Jamaica Caper	15 gallon, very full	YES
15	<i>Coccoloba diversifolia</i>	Pigeon Plum	25 gallon, 8-10' PH, very full	YES
5	<i>Coccothrinax argentata</i>	Florida Silver Palm	15 gallon, very full	YES
4	<i>Dypsis cabadae</i>	Cabada Palm	12-14' PH; minimum 5 trunks	YES
2	<i>Eugenia confusa</i>	Redberry Stopper	6-8' PH, very full	YES
8	<i>Eugenia foelida</i>	Spanish Stopper	15 gallon, very full	YES
4	<i>Eugenia rhombea</i>	Red Stopper	25 gallon, very full	YES
3	<i>Gualacum sanctum</i>	Native Lignum Vitae	6-8' PH x 6-8' spread, character specimens	YES
18	<i>Gymnanthes lucida</i>	Crabwood	6-8' PH, very full	YES
3	<i>Ptychosperma elegans</i>	Alexander Palm	(2) triple-trunk @ 12-14' PH, (1) double-trunk @ 12' PH	YES
21	<i>Sabal palmetto</i>	Sabal Palm	(7) @ 14' CT, (8) @ 12' CT, (6) @ 10' CT; curved-trunks w/ regenerated heads	YES
7	<i>Serenoa repens 'cinerea'</i>	Silver Saw Palmetto	4' PH x 4' spread, very full and very silver	YES
2	<i>Simarouba glauca</i>	Paradise Tree	16-18' PH x 12-16' spread	YES
1	<i>Thrinax radiata</i>	Green Thatch Palm	Relocated from on-site	YES
*Note: 21 non-native palms removed (refer to sheet TS-1) and replaced with (21) native Sabal Palms				
SHRUBS & GROUNDCOVERS				
TBD	<i>Ernodea littoralis</i>	Golden Creeper	1 gallon, full 12" O.C.	YES
1	<i>Murraya paniculata</i>	Orange Jasmine	Relocated from on-site	NO
TBD	<i>Polypodium scolopendria</i>	Wart Fern	1 gallon, full, 12" O.C.	NO
41	<i>Psychotria ligustrifolia</i>	Dwarf Wild Coffee	7 gallon, very full	YES
TBD	<i>Zamia pumila</i>	Coontie	3 gallon, full, 18" O.C.	YES
TBD	<i>Zoysia 'empire'</i>	Zoysia Grass	Per Plans	NO

LANDSCAPE SITE DATA

PROJECT AREA	16,054 FT ²
(SEC. 108-412) MINIMUM REQUIRED LANDSCAPE AREA (PROJECT AREA < 0.5 ACRE)	20% (3,210 FT ²)
LANDSCAPE AREA PROVIDED	24.5% (3,928 FT ²)
(SEC. 108-413) REQUIRED RIGHT OF WAY PLANTING (SITE < 0.5 ACRE)	10' WIDTH & 40 PLANT UNITS / 100 LF
EAST RIGHT OF WAY (SIMONTON STREET)	4'-19' WIDTH / 102 LF
REQUIRED PLANT UNITS	40.8
PROVIDED PLANT UNITS	53
WEST RIGHT OF WAY (BAHAMA STREET)	5' WIDTH / 49 LF
REQUIRED PLANT UNITS	20
PROVIDED PLANT UNITS	25
*REQUESTING MODIFICATION TO LANDSCAPE R.O.W. WIDTH REQUIREMENT ALONG BAHAMA STREET	
(SEC. 108-414) INTERIOR LANDSCAPE AREA REQUIRED	N/A
INTERIOR LANDSCAPE AREA PROVIDED	N/A
(SEC. 108-415) PERIMETER LANDSCAPE AREA REQUIRED	N/A
PERIMETER LANDSCAPE AREA PROVIDED	N/A
(SEC. 108-416) NON-VEHICULAR OPEN SPACE REQUIRED (NOS < 30%)	4 TREES / 2,000 FT ² NOS
NON-VEHICULAR OPEN SPACE PROVIDED	3,928 FT ²
REQUIRED TREES PER NON-VEHICULAR OPEN SPACE PROVIDED	7.85
TREES PROVIDED	8
(SEC. 108-347) LANDSCAPE SCREENING / BUFFERYARD REQUIREMENTS	NOT REQUIRED
*PROPOSED USE: LOW-IMPACT COMMERCIAL	
ADJOINING USES: LOW-IMPACT COMMERCIAL	
SAME USES DO NOT REQUIRE BUFFERYARDS	

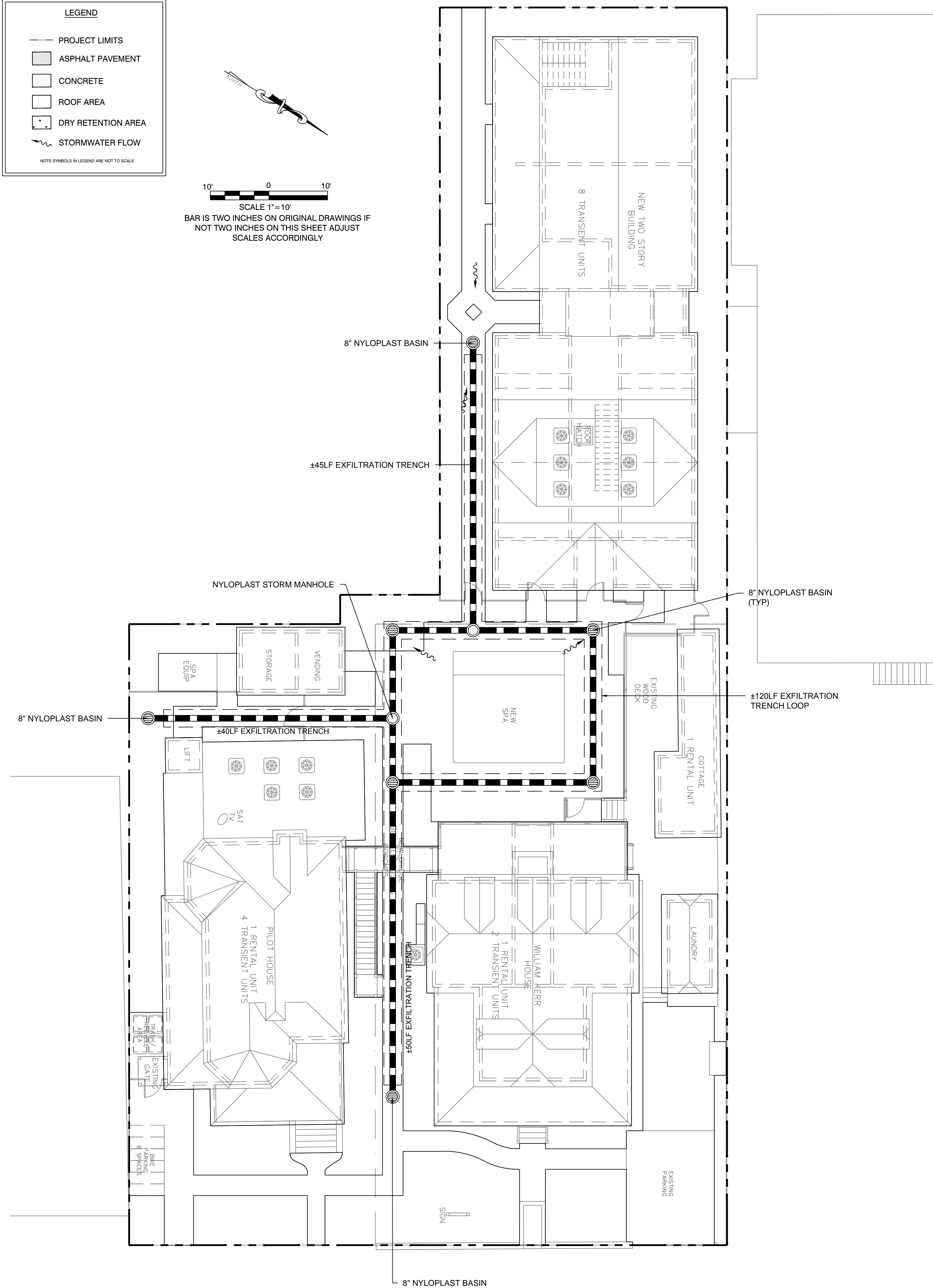
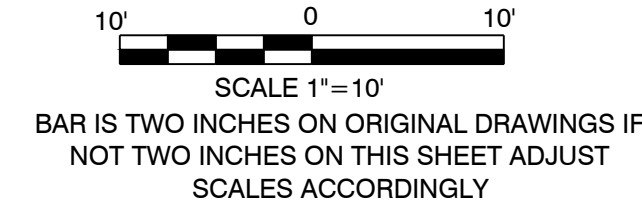
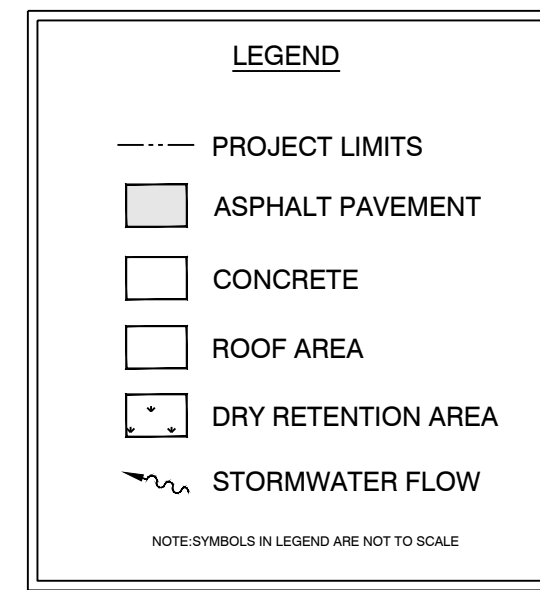
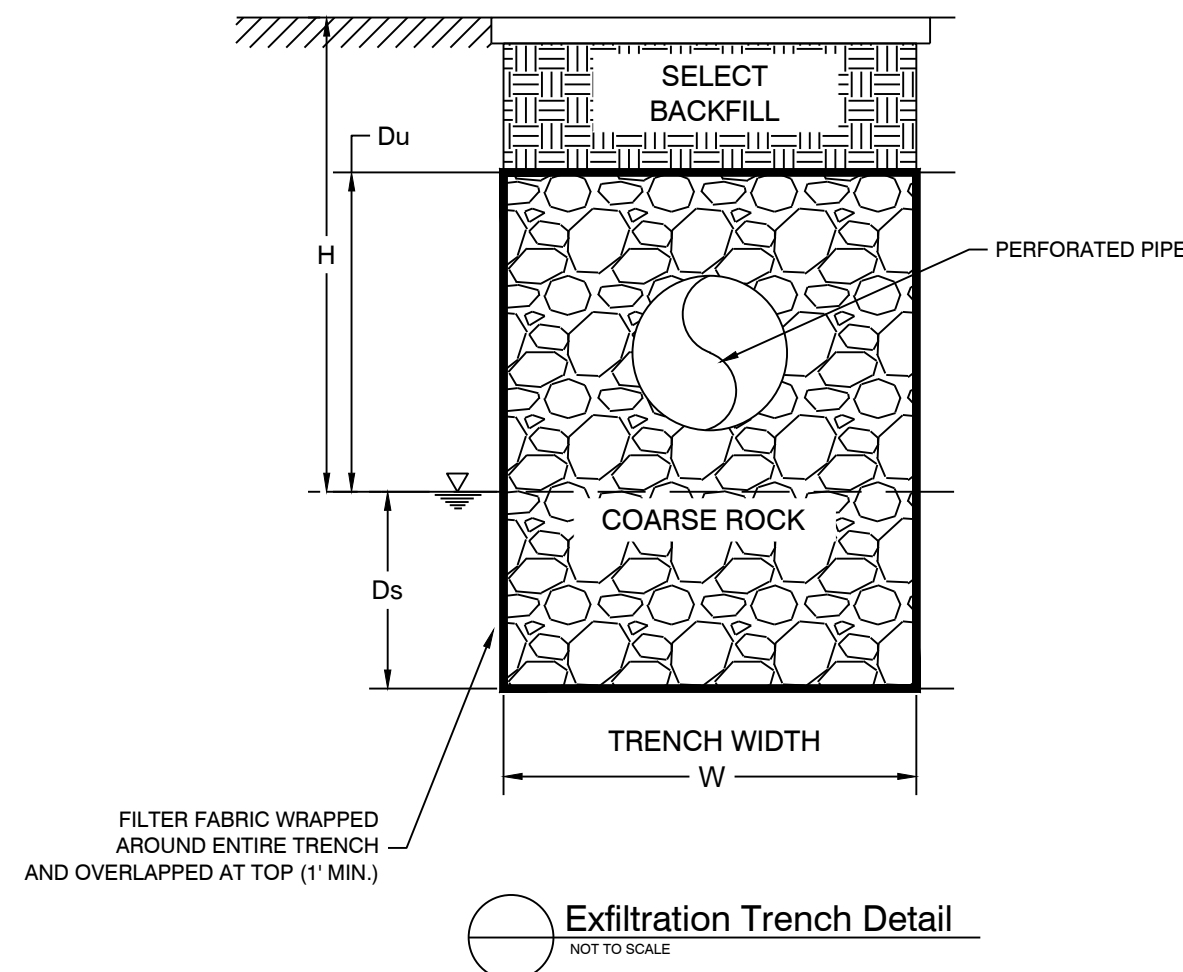


Water Quantity Calculations - 25yr/72hr Design Storm			
Water Quantity - Predevelopment			
Project Area	A =	0.369	ac 16,054 sf
Pervious Area		0.056	ac 2,426 sf
Impervious Area		0.313	ac 13,628 sf
% Impervious		84.89%	
Rainfall for 25yr/24hr event	P ₂₄ =	9	in
Rainfall for 25yr/3day event	P ₇₂ =	12.23	in
Depth to Water Table		4	ft
Predeveloped Available Storage		8.18	in
Soil Storage	S =	1.24	in
$Q_{pre} = \frac{(P_{72} - 0.2S)^2}{(P_{72} + 0.8S)}$	Q _{pre} =	10.86	in
Runoff Volume from 25 year/ 3 day storm	V _{25yr/72h} =	4.00	ac-in
Water Quantity - Postdevelopment			
Project Area	A =	0.369	ac 16,054 sf
Pervious Area		0.105	ac 4,567 sf
Impervious Area		0.264	ac 11,487 sf
% Impervious		71.6%	
Rainfall for 25yr/24hr event	P ₂₄ =	9	in
Rainfall for 25yr/3day event	P ₇₂ =	12.23	in
Depth to Water Table		4	ft
Developed Available Storage		8.18	in
Soil Storage	S =	2.33	in
$Q_{post} = \frac{(P_{24} - 0.2S)^2}{(P_{24} + 0.8S)}$	Q _{post} =	9.82	in
Runoff Volume from 25 year/ 3 day storm	V _{25yr/72h} =	3.62	ac-in
Postdevelopment - Predevelopment			
Q _{pre-post} = Q _{post} - Q _{pre}	Q _{pre-post} =	-1.04	in
Pre/Post Volume = Q _{pre-post} x A	V _{pre-post} =	-0.38	ac-in

Water Quality Calculations - 25yr/72hr Design Storm			
Water Quality			
Project Area		0.369	ac 16,054 sf
Surface Water		0.000	ac 0 sf
Roof Area		0.178	ac 7,775 sf
Pavement/Walkways		0.085	ac 3,712 sf
Pervious area		0.105	ac 4,567 sf
Impervious area for water Quality (Site area for Water Quality - Pervious area)		0.085	ac 3,712 sf
% Impervious		23%	
A) One inch of runoff from project area		0.369	ac-in
B) 2.5 inches times percent impervious (2.5 x percent impervious x (site area - surface water))		0.213	ac-in
Comparison of Water Quality Methods			
		0.369	> 0.213
		ac-in	ac-in
Total Volume Required		0.369	ac-in 1,338 cf
Exfiltration Provided		0.391	ac-in 1,418 cf
Total Provided		0.391	ac-in 1,418 cf

Exfiltration Trench Design	
Required trench length (L) =	
$\frac{V}{K(H^2W + 2H^2Du - Du^2 + 2H^2Ds) + 1.39 \times 10^{-4}(W)(Du)}$	
Assumed Hydraulic Conductivity, K = 0.000145	
H =	5 ft
W =	3 ft
Du =	2.5 ft
Ds =	0 ft
Volume of Trench, V =	0.369 ac-in
Trench Length Required =	241 FT
Trench Length Provided =	255 FT

NOTE: CONTRACTOR TO COORDINATE CONVEYANCE OF ROOF DRAINS/RUNOFF TO NEW STORMWATER MANAGEMENT SYSTEM



CIVIL ENGINEERING • REGULATORY PERMITTING • CONSTRUCTION MANAGEMENT

PEREZ ENGINEERING & DEVELOPMENT, INC.

KEY WEST OFFICE
1010 EAST KENNEDY DRIVE, SUITE 201
KEY WEST, FLORIDA 33040
TEL: (305) 293-9440 FAX: (305) 296-0243

ALLEN E. PEREZ P.E.
Florida P.E. NO. 51468
June 30, 2015

ORIGINAL: _____

REVISIONS:

1	
2	
3	
4	
5	
6	

MARQUESSA HOTEL ANNEX

KEY WEST, FL 33040

CONCEPTUAL DRAINAGE PLAN

MARQUESSA HOTEL ANNEX

414 SIMONTON STREET

KEY WEST, FL 33040

JOB NO. 151033

DRAWN BGO

DESIGNED AEP

CHECKED AEP

QC _____

SHEET C-1

Property Appraiser Information



Scott P. Russell, CFA
Property Appraiser
Monroe County, Florida

Key West (305) 292-3420
Marathon (305) 289-2550
Plantation Key (305) 852-7130

The Offices of the Property Appraiser will be closed Friday the 3rd for Independence Day.

Website tested on IE8, IE9, & Firefox. Requires Adobe Flash 10.3 or higher

Property Record Card -
Maps are now launching the new map application version.

Alternate Key: 1006696 Parcel ID: 00006460-000000

Ownership Details

Mailing Address:
PILOT HOUSE LLC
414 SIMONTON ST
KEY WEST, FL 33040-6815

Property Details

PC Code: 39 - HOTELS,MOTELS
Millage Group: 10KW
Affordable Housing: No
Section-Township-Range: 06-68-25
Property Location: 414 SIMONTON ST KEY WEST
Legal Description: KW PT LOTS 1 & 2 SQR 37 OR282-475 OR406-373-374 OR483-861/864 OR728-784 OR708-612 OR716-800/802 OR818-1967 OR849-797Q/C OR1910-1359/61 OR2286-127C

Click Map Image to open interactive viewer



Land Details

Land Use Code	Frontage	Depth	Land Area
100D - COMMERCIAL DRY	42	106	4,452.00 SF

Building Summary

Number of Buildings: 1
 Number of Commercial Buildings: 1

Total Living Area: 2828
Year Built: 1933

Building 1 Details

Building Type
Effective Age 23
Year Built 1933
Functional Obs 0

Condition A
Perimeter 366
Special Arch 0
Economic Obs 0

Quality Grade 400
Depreciation % 30
Grnd Floor Area 2,828

Inclusions:

Roof Type
Heat 1
Heat Src 1

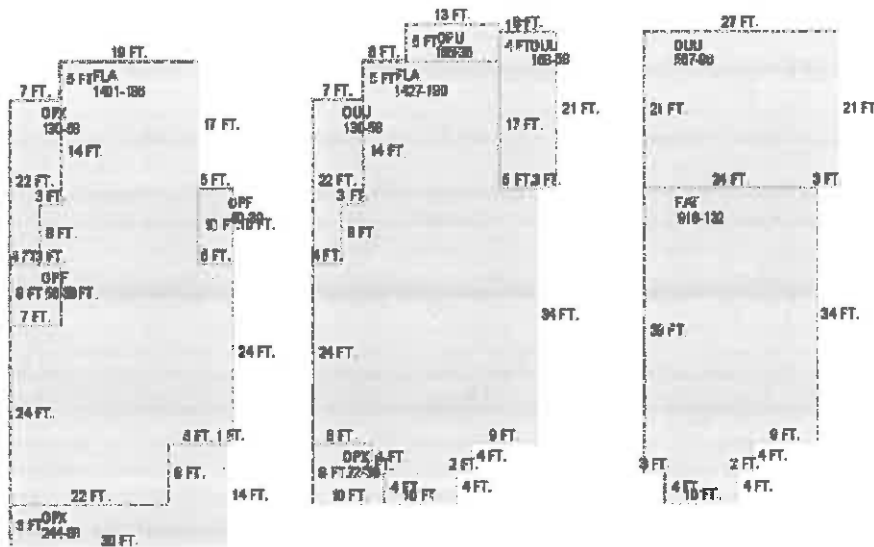
Roof Cover
Heat 2
Heat Src 2

Foundation
Bedrooms 0

Extra Features:

2 Fix Bath 0
3 Fix Bath 8
4 Fix Bath 0
5 Fix Bath 0
6 Fix Bath 0
7 Fix Bath 0
Extra Fix 14

Vacuum 0
Garbage Disposal 0
Compactor 0
Security 0
Intercom 0
Fireplaces 3
Dishwasher 0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
1	OPU		1	1990					130
2	OPF		1	1990					56
3	FLA		1	1990					1,401
4	OPX		1	1990					244
5	FLA		1	1990					1,427
6	OPX		1	1990					72

7	OPU	1	1990	65
8	OUU	1	1997	567
9	FAT	1	1990	916
10	OUU	1	1998	168
11	OPF	1	1997	50
12	OUU	1	1999	130

Interior Finish:

Section Nbr	Interior Finish Nbr	Type	Area %	Sprinkler	A/C
	1603	HOTEL/MOTEL B	100	N	Y
	1605	HOTEL/MOTEL B	100	N	Y
	1609	FAT	100	N	N

Exterior Wall:

Interior Finish Nbr	Type	Area %
442	AB AVE WOOD SIDING	100

Misc Improvement Details

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
2	TK2:TIKI	273 SF	21	13	1988	1989	4	40
3	FN3:WROUGHT IRON	136 SF	34	4	1964	1965	2	60
4	PT3:PATIO	176 SF	22	8	1964	1965	2	50
5	PT2:BRICK PATIO	210 SF	0	0	1964	1965	4	50
6	PT2:BRICK PATIO	579 SF	0	0	1964	1965	2	50
7	FN2:FENCES	372 SF	62	6	1964	1965	3	30
8	WF2:WATER FEATURE	1 UT	0	0	1988	1989	1	20
9	AC2:WALL AIR COND	1 UT	0	0	1964	1965	3	20
10	PT5:TILE PATIO	300 SF	60	5	1998	1999	3	50
11	HT2:HOT TUB	1 UT	0	0	1998	1999	3	50
12	TK2:TIKI	35 SF	0	0	1998	1999	1	40
13	PT5:TILE PATIO	68 SF	0	0	1964	1965	3	50

Appraiser Notes

PILOT HOUSE GUEST HOUSE-414 SIMONTON ST MANAGER - ED COX 294-8719 TPP ACCOUNT #8511612. 2003-01-16-SKI 4 TRANSIENT ROOMS

Building Permits

Bldg Number	Date Issued	Date Completed	Amount	Description	Notes
10-736	12/07/2010		0	PAINT NORTHSIDE OF PILOT HOUSE GUESTHOUSE TRIM	WHITE AND GREEN
07-3529	07/16/2007		0		

				PAINT ONE SIDE OF PILOT HOUSE AND GENERAL REPAIR OF 50SF OF ROTTED HOLES AROUND WINDOWS AND DOORS
13-3749	09/13/2013	9,850	Commercial	REPAIR WATER LEAK IN BACK WALL AND DECK ADD WOOD WINDOW FOR OFFICE. REPAIR WOOD STRINGERS OF EXISTING FIRE ESCAPE IN REAR OF 414 SIMONTON STREET.
9700903	04/01/1997	07/01/1997	6,000	FIRE ESCAPE
9803697	11/30/1998	11/19/1999	15,000	REPAIR SIDING
9804041	12/23/1998	11/19/1999	16,000	3 CENTRAL AC UNITS
9901245	04/14/1999	11/19/1999	2,500	ELECTRICAL
01-2501	07/10/2001	10/31/2001	2,000	electrical
01-2546	07/19/2001	10/31/2001	750	REPAIR SIDING & PAINT

Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2014	395,220	16,247	756,644	2,686,931	953,178	0	2,686,931
2013	395,220	16,479	718,812	866,526	866,526	0	866,526
2012	416,876	16,818	718,812	866,526	866,526	0	866,526
2011	416,876	17,119	798,680	1,067,977	1,067,977	0	1,067,977
2010	416,876	17,459	502,029	1,067,977	1,067,977	0	1,067,977
2009	416,876	17,759	523,110	1,148,362	1,148,362	0	1,148,362
2008	433,118	18,099	578,760	1,317,353	1,317,353	0	1,317,353
2007	364,601	18,399	578,760	1,357,738	1,357,738	0	1,357,738
2006	373,716	408,835	445,200	1,312,332	1,312,332	0	1,312,332
2005	387,389	418,208	400,680	2,181,073	2,181,073	0	2,181,073
2004	385,158	427,620	289,380	1,982,794	1,982,794	0	1,982,794
2003	385,158	436,993	178,080	843,384	735,815	25,000	710,815
2002	385,158	446,404	178,080	803,223	702,254	25,000	677,254
2001	385,158	455,022	178,080	803,223	701,314	25,000	676,314
2000	385,158	231,757	120,204	803,223	699,603	25,000	674,603
1999	361,247	4,273	120,204	603,223	538,104	25,000	513,104
1998	240,097	7,650	120,204	415,775	387,271	25,000	362,271
1997	240,086	6,688	111,300	268,689	268,689	25,000	243,689
1996	218,260	6,837	111,300	268,689	268,689	25,000	243,689
1995	218,260	6,974	111,300	268,689	268,689	25,000	243,689
1994	218,260	7,181	111,300	276,495	276,495	25,000	251,495
1993	218,260	7,362	111,300	276,495	276,495	25,000	251,495
1992	218,260	7,569	111,300	276,495	276,495	25,000	251,495
1991	218,260	7,757	111,300	276,495	276,495	25,000	251,495
1990	115,065	2,842	94,605	276,495	276,495	25,000	251,495

1989	115,065	0	93,492	276,495	276,495	0	276,495
1988	110,767	0	84,588	195,355	195,355	0	195,355
1987	108,806	0	40,903	149,709	149,709	25,000	124,709
1986	109,231	0	40,068	149,299	149,299	25,000	124,299
1985	103,279	0	40,068	143,347	143,347	0	143,347
1984	85,716	0	40,068	125,784	125,784	0	125,784
1983	85,716	0	19,945	105,661	105,661	0	105,661
1982	66,293	0	19,945	86,238	86,238	0	86,238

Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

Sale Date	Official Records Book/Page	Price	Instrument	Qualification
8/1/1980	818 / 1967	130,000	WD	Q
2/1/1977	716 / 800	25,000	00	Q

This page has been visited 113,397 times.

Monroe County Property Appraiser
 Scott P. Russell, CFA
 P.O. Box 1176 Key West, FL 33041-1176

**SPECIAL DURABLE POWER OF ATTORNEY
FOR THE SALE/PURCHASE OF REAL PROPERTY**

STATE OF FLORIDA :
COUNTY OF MONROE :

I, LYNN H. KEPHART, being eighteen years of age or older (hereinafter referred to as "Principal") have this date made, constituted, and appointed, and by this document do make, constitute and appoint, GREGORY S. OROPEZA my true and lawful attorney-in-fact (hereinafter referred to as "Attorney-in-Fact"), for his and his name, place and stead to sign settlement statements, and such other documents required specifically for the sale of the real property located 411 Bahama Street, Key West, Monroe County, Florida, Parcel ID Number: 00006390-000200 described as follows: (hereinafter referred to as "Property").

Please see attached Exhibit A

Giving and granting my Attorney-in-Fact full power and authority to do and perform every act necessary and desirable to be done in the sale of the Property as fully as I might or could do if personally present with full power of substitution, and hereby ratifying and confirming all actions that his Attorney-in-Fact shall lawfully do, or cause to be done by virtue of this document.

I hereby ratify and confirm all that my Attorney-in-Fact, or his successors, shall lawfully do or cause to be done by virtue of this power of attorney and the rights, powers and authority granted herein.

I hereby authorize my Attorney-in-Fact to hold harmless any third party, or his successors and assigns who accepts and acts under this power of attorney against any and all claims, liabilities, demands, losses, damages, and/or actions; and to indemnify any third party, or his/her successors and assigns, against any claims, liabilities, demands, losses, damages, and/or actions which said third party, may sustain or incur in connection with his reliance upon the authority represented in this power of attorney.

THIS DURABLE POWER OF ATTORNEY IS NOT AFFECTED BY SUBSEQUENT INCAPACITY OF THE PRINCIPAL, EXCEPT AS PROVIDED IN SECTION.709.08 FLORIDA STATUTES.

This power of attorney shall terminate immediately following the execution by our Attorney-in-Fact of all necessary documents required to purchase, acquire, or sell the property at closing. If the closing is extended, this power of attorney shall terminate immediately after the closing date, as extended.

This power of attorney, and the powers herein granted, may be revoked only by: (i) my death, or (ii) an instrument in writing, duly executed and acknowledged by us and filed for record in the office of the clerk of the county and state in which the Property is located. It is my intention that any person or any firm, corporation, joint venture, association, or other legal entity of any kind or

character dealing with my said Attorney-in-Fact, or his substitute or substitutes, shall be entitled to rely on the provisions of this paragraph in determining whether or not this power of attorney has been revoked, and I hereby represent to those dealing with my said Attorney-in-Fact, or his substitute or substitutes, that they are, in fact, entitled to rely upon the terms and provisions of this paragraph in determining whether this power of attorney has been revoked.

IN WITNESS WHEREOF, we have hereunto set our hands this 3 day of February, 2015.

Signed, sealed and delivered in the presence of:



Signature of Witness

Tiffany Garcia


Printed Name of Witness



Signature of Witness

Richard McChesney

Printed Name of Witness

PRINCIPAL:


LYNN H. KEPHART

SIGNATURE OF ATTORNEY-IN-FACT:



GREGORY S. OROPEZA

STATE OF FLORIDA:
COUNTY OF MONROE:

I **HEREBY CERTIFY** that on this day personally appeared before me, an officer duly authorized to administer oaths and take acknowledgments, LYNN H. KEPHART, who is personally known to me to be the individual described in and who executed the foregoing instrument, or who produced _____, as identification, and he acknowledged before me that he executed the same freely and voluntarily for the purposes therein expressed.

WITNESS my hand and official seal this 3 day of February, 2015.

Tiffany Garcia
Printed Name of Notary

Tiffany J. Garcia
NOTARY PUBLIC

My Commission Expires:





Scott P. Russell, CFA
Property Appraiser
Monroe County, Florida

Key West (305) 292-3420
Marathon (305) 289-2550
Plantation Key (305) 852-7130

The Offices of the Property Appraiser will be closed Website tested on IE8, IE9, & Firefox. Friday the 3rd for Independence Day. Requires Adobe Flash 10.3 or higher

Property Record Card -
Maps are now launching the new map application version.

Alternate Key: 8613482 Parcel ID: 00006390-000200

Ownership Details

Mailing Address:
KEPHART LYNN H
414 SIMONTON ST
KEY WEST, FL 33040

Property Details

PC Code: 39 - HOTELS,MOTELS
Millage Group: 10KW
Affordable Housing: No
Section-Township-Range: 06-68-25
Property Location: 411 BAHAMA ST KEY WEST
Legal Description: KW PT LOTS 1 & 2 SQR 37 OR837-994 OR1168-1416Q/C OR1177-2019/2022(LG) OR1177-2023(CSP) OR1318-1866Q/C(LG)

Click Map Image to open interactive viewer



Land Details

Land Use Code	Frontage	Depth	Land Area
100D - COMMERCIAL DRY	50	105	5,250.00 SF

Building Summary

Number of Buildings: 1
 Number of Commercial Buildings: 1

Total Living Area: 2772
Year Built: 1995

Building 1 Details

Building Type
Effective Age 19
Year Built 1995
Functional Obs 0

Condition E
Perimeter 300
Special Arch 0
Economic Obs 0

Quality Grade 450
Depreciation % 23
Grnd Floor Area 2,772

Inclusions:

Roof Type
Heat 1
Heat Src 1

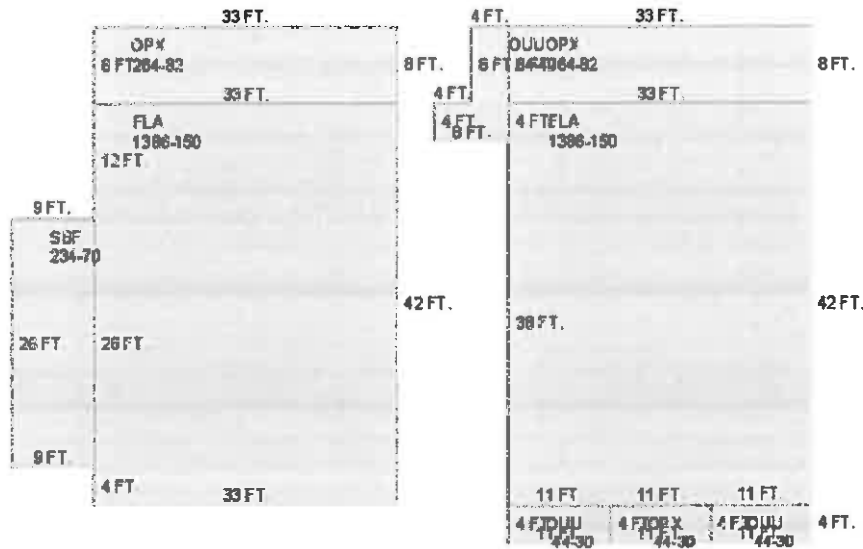
Roof Cover
Heat 2
Heat Src 2

Foundation
Bedrooms 0

Extra Features:

2 Fix Bath 0
3 Fix Bath 6
4 Fix Bath 0
5 Fix Bath 0
6 Fix Bath 0
7 Fix Bath 0
Extra Fix 18

Vacuum 0
Garbage Disposal 0
Compactor 0
Security 0
Intercom 0
Fireplaces 0
Dishwasher 0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
1	FLA		1	1995					1,386
2	SBF		1	1995					234
3	OPX		1	1995					264
4	FLA		1	1995					1,386
5	OPX		1	1995					264
6	OOU		1	1995					64

7	OUU	1	1995	44
8	OPX	1	1995	44
9	OUU	1	1995	44

Interior Finish:

Section Nbr	Interior Finish Nbr	Type	Area %	Sprinkler	A/C
	15014	HOTELS/MOTEL A	100	N	Y
	15015	SBF	100	N	N
	15016	OPX	100	N	N
	15017	HOTELS/MOTEL A	100	N	Y
	15018	OPX	100	N	N
	15019	OUU	100	N	N
	15020	OUU	100	N	N
	15021	OPX	100	N	N
	15022	OUU	100	N	N

Exterior Wall:

Interior Finish Nbr	Type	Area %
5177	C.B.S.	100

Misc Improvement Details

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
0	PO4:RES POOL	378 SF	27	14	1994	1995	3	50
1	FN2:FENCES	1,608 SF	0	0	1994	1995	5	30
2	PT5:TILE PATIO	1,338 SF	0	0	1994	1995	5	50
3	RW2:RETAINING WALL	52 SF	0	0	1994	1995	3	50
4	PT3:PATIO	548 SF	0	0	1994	1995	5	50

Appraiser Notes

411 BAHAMA STREET - 6 ROOM GUEST HOUSE PETITION KW 106-1997 MANAGER - ED COX 294-8719 2002-12-23-041 6 TRANSIENT RENTAL UNIT

Building Permits

Bldg	Number	Date Issued	Date Completed	Amount	Description	Notes
	B941842	06/01/1994	03/01/1995	1,200		DEMO GARAGE
1	B942300	07/01/1994	03/01/1995	200,000	Commercial	2 STORY BUILDING
	B942180	06/01/1994	03/01/1995	20,000		CONSTRUCT SWIMMING POOL
	M950010	01/01/1995	03/01/1995	8,900		6 TON AC

Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2014	469,823	42,794	806,936	895,210	895,210	0	895,210
2013	469,823	43,967	766,589	895,210	895,210	0	895,210
2012	494,229	45,622	766,589	895,210	895,210	0	895,210
2011	494,229	47,438	851,765	1,103,329	1,103,329	0	1,103,329
2010	518,635	29,091	534,831	1,103,329	1,103,329	0	1,103,329
2009	518,635	30,173	616,875	1,103,329	1,103,329	0	1,103,329
2008	518,635	31,419	682,500	1,265,692	1,265,692	0	1,265,692
2007	442,059	32,502	682,500	1,304,493	1,304,493	0	1,304,493
2006	442,059	33,586	525,000	1,260,868	1,260,868	0	1,260,868
2005	447,140	34,830	472,500	817,126	817,126	0	817,126
2004	457,289	35,915	341,250	742,842	742,842	0	742,842
2003	457,289	36,998	210,000	742,842	742,842	0	742,842
2002	457,289	38,243	210,000	707,469	707,469	0	707,469
2001	457,289	39,327	210,000	707,469	707,469	0	707,469
2000	497,937	15,601	141,750	707,469	707,469	0	707,469
1999	497,937	16,034	141,750	764,034	764,034	0	764,034
1998	332,630	16,427	141,750	554,366	554,366	0	554,366
1997	320,512	16,821	131,250	419,044	419,044	0	419,044
1996	291,375	17,253	131,250	439,878	439,878	0	439,878
1995	0	10,735	131,250	141,985	141,985	0	141,985
1994	0	10,756	131,250	142,006	142,006	0	142,006
1993	0	10,772	131,250	142,022	142,022	0	142,022
1992	0	10,787	131,250	142,037	142,037	0	142,037
1991	0	10,808	131,250	142,058	142,058	82,393	59,665
1990	0	236	111,563	111,799	111,799	111,799	0
1989	0	238	110,250	110,488	110,488	110,488	0
1988	0	241	99,750	99,991	99,991	99,991	0
1987	0	244	45,032	45,276	45,276	45,276	0
1986	0	246	44,415	44,661	44,661	44,661	0
1985	0	249	47,250	47,499	47,499	47,499	0
1984	0	252	47,250	47,502	47,502	47,502	0
1983	0	254	20,160	20,414	20,414	20,414	0
1982	0	257	20,160	20,417	20,417	20,417	0

Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

Sale Date	Official Records Book/Page	Price	Instrument	Qualification
6/1/1991	1177 / 2019	1	WD	M
5/1/1981	837 / 994	41,000	WD	U

This page has been visited 113,398 times.

Monroe County Property Appraiser
Scott P. Russell, CFA
P.O. Box 1176 Key West, FL 33041-1176