

Staff Report

10

Replace existing structure with a new structure with same three dimensional footprint. New swimming pool. This building has been declared unsafe by the Chief Building Official- **#1219 Newton Street Paul Cox (H12-01-1247)**

This staff report is for the review of a Certificate of Appropriateness for a reconstruction on its three dimensional footprint of a contributing house that has been declared unsafe by the Chief Building Official. Copy of the letter declaring the building unsafe is included in the packet for further review. The existing house is listed as a contributing resource. The one story structure was built circa 1890.

The notes in the plans include 6 over 6 double hung impact resistant vinyl clad windows, lap siding and metal v-crimp as the roofing material. The house has been elevated in order to comply with the AE-6 flood zone.

The Land Development Regulations are specific as to replacement and reconstruction in the Historic District (Sec. 122- 28(f));

Sec. 122-28. - Replacement or reconstruction.

(a) Applicability. This section applies both to voluntary reconstruction or replacement of dwelling units and involuntary reconstruction or replacement of dwelling units. Nothing in this section is intended to supersede applicable Federal Emergency Management Agency requirements for elevation in flood zones

*(f) Historic district. Notwithstanding any other subsection contained in this section, if a noncomplying building or structure is a contributing building or structure according to the historic architectural review commission (HARC) and it is involuntarily destroyed, such building or structure may be reconstructed or replaced without a variance so long as it is to be rebuilt in the three-dimensional footprint of the original building **and built in the historic vernacular** as approved by the historic architectural review commission.*

Guidelines that should be reviewed for this application- New Construction (pages 37-38a):

1. **Siting** – *New construction must conform to all current city easement, setback and building requirements. No existing building shall be relocated and no new structure shall be placed closer to the sidewalk, street or visible alley, than the distance of pre-existing*

historic structures. Areas reserved for parks or open space must be retained.

The new building will comply with FEMA regulations.
The structure is located on an AE-6 flooding zone.

2. **Elevation of finished floor above grade** - Applications for buildings with the first finished floor above the minimum height necessary to comply with federal flood regulations will not be approved unless the applicant demonstrates that such elevation does not interfere with the essential form and integrity of properties in the neighborhood. In situations wherein parking is proposed below the first finished floor, HARC shall consider how visible the parking is from the public right-of-way; whether the parking area is enclosed or otherwise concealed by walls, louvers, lattice, landscaping or other features; and whether fill and/or berms are used to minimize the gap between the first finished floor and the crown of the nearest road.

The new building will comply with FEMA regulations.

3. **Height** – must not exceed two and a half stories. There must be a sympathetic relationship of height between new buildings and existing adjacent structures of the neighborhood. New buildings must be compatible with historic floor elevations. The height of all new construction shall be based upon the height of existing structures within the vicinity.

The proposed design will not exceed one story.

4. **Proportion, scale and mass** – massing, scale and proportion shall be similar to that of existing historical buildings in the historical zone. No new construction shall be enlarged so that its proportions are out of scale with its surroundings. No new construction shall be more than two and a half stories. No structure shall outsize the majority of structures in the streetscape or historic zone.

The new design proposes the same scale, mass and proportion of the existing house.

5. **Compatibility** – Design must be compatible with Key West architectural characteristics in the historical zones. All new construction must be in keeping with the historic character in terms of size, scale, design, materials, color and texture.

The proposed design will be in keeping with traditional vernacular architecture.

- 6 **Building Detail** – *All new buildings shall incorporate a level of detail that assures compatibility with the surrounding historic context. New construction shall not precisely mimic the details of historic buildings but should have features that are compatible with the lines of historic architecture.*

The proposed design mimics the existing structure.

- 7 **Relationship of materials** – *Materials used on new construction shall be of similar color, dimension, texture, and appearance as historic fabrics. The predominant exterior finish in historic zones is wood weatherboard, clapboard, drop siding, or board and batten. Exceptions for the use of composite materials may be permissible. Roofing is primarily sheet metal or metal shingles. New construction shall establish a relationship with existing historic structures by utilizing similar finishes and metals.*

The proposed materials, textures and forms will be similar to the ones found in new construction in the historic district.

It is staff's opinion that the proposed plans, although includes a design that "mimics" the character of the existing house, but not the construction craftsmanship, complies with the Land Development Regulations as to "built in the historic vernacular". It is staff's opinion that if a contributing house has been lost due to neglect a new construction should not mimic what used to be there.

Application



**CITY OF KEY WEST
BUILDING DEPARTMENT
CERTIFICATE OF APPROPRIATENESS**

APPLICATION # HC-12-01-1247

OWNER'S NAME: Bruce Baumann DATE: 7-26-12

OWNER'S ADDRESS: 1219 Newton St PHONE #: _____

APPLICANT'S NAME: Paul Cox PHONE #: 797-1448

APPLICANT'S ADDRESS: 121 Peary Ct #C

ADDRESS OF CONSTRUCTION: 1219 Newton St # OF UNITS: 1

THERE WILL BE A FINAL INSPECTION REQUIRED UNDER THIS PERMIT

DETAILED DESCRIPTION OF WORK: Remove Existing Unsafe Structure and Replace with New Three-Dimensional Structure. New Structure to be Built to New Building Codes. Build new in ground Pool

Chapter 837.06 F.S.-False Official Statements – Whoever knowingly makes a false statement in writing with the intent to mislead a public servant in the performance of his or her official duty shall be guilty of a misdemeanor of the second degree punishable as provided for in s. 775.082 or 775.083

This application for Certificate of Appropriateness must precede applications for building permits, right of way permits, variances, and development review approvals. Applications must meet or exceed the requirements outlined by the Secretary of the Interior's Standards for Rehabilitation and Key West's Historic Architectural Guidelines.

Once completed, the application shall be reviewed by staff for completeness and either approved or scheduled for presentation to the Historic Architectural Review Commission at the next available meeting. The applicant must be present at this meeting. The filing of this application does not ensure approval as submitted.

Applications that do not possess the required Submittals will be considered incomplete and will not be reviewed for approval.

Required Submittals

TWO SETS OF SCALED DRAWINGS OF FLOOR PLAN, SITE PLAN AND EXTERIOR ELEVATIONS (for new buildings and additions)
TREE REMOVAL PERMIT (if applicable)
PHOTOGRAPHS OF EXISTING BUILDING (repairs, rehabs, or expansions)
PHOTOGRAPHS OF ADJACENT BUILDINGS (new buildings and additions)
ILLUSTRATIONS OF MANUFACTURED PRODUCTS TO BE USED SUCH AS SHUTTERS, DOORS, WINDOWS, PAINT COLOR CHIPS, AND AWNING FABRIC SAMPLES

Staff Use Only

Date: _____

Staff Approval: _____

Fee Due: \$ _____

26-12
Signature: Paul Cox

HISTORIC ARCHITECTURAL REVIEW APPLICATION



HISTORIC ARCHITECTURAL REVIEW COMMISSION USE ONLY

Approved _____

Denied _____

Deferred _____

Reason for Deferral or Denial:

HARC Comments:

*The house is listed as a contributing resource. built
ca. 1890.*

Guidelines for new construction (pages 34-38a)

Limit of Work Approved, Conditions of Approval and/or Suggested
Changes:

Date: _____

Signature: _____

Historic Architectural
Review Commission

Prepared by and return to: _____
Monica Hornyak
Real Estate Closer
Spottswood, Spottswood & Spottswood
500 Fleming Street
Key West, FL 33040
305-294-9556
File Number: 12-183A-EM
Will Call No.:

[Space Above This Line For Recording Data]

Warranty Deed

This Warranty Deed made this 26th day of July, 2012 between Gloria Juanita Hancock, a single woman whose post office address is 18885 NW Hwy 335, Williston, FL 32696, grantor, and Bruce E. Baumann and Rebecca A. Baumann, his wife whose post office address is 7916 Madison Park Lane, Raleigh, NC 27615, grantee:

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees.)

Witnesseth, that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in **Monroe County, Florida** to-wit:

See Exhibit "A" Attached Hereto

Parcel Identification Number: 00022570-000000

SUBJECT TO: Taxes for the current ~~XXXXXXXXXXXX~~ year.

SUBJECT TO: Conditions, limitations, easements and restrictions of record, if any.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.


To Have and to Hold, the same in fee simple forever.

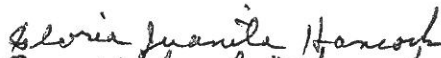
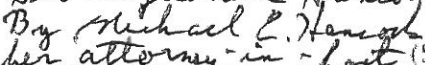
And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to **December 31, 2011**. See Exhibit "B" and Exhibit "C" Attached Hereto

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:


Witness Name: Rachel Hohenstein


Witness Name: Pam Hamel


By 
~~her attorney-in-fact~~ (Seal)
Gloria Juanita Hancock by Michael E. Hancock, her
attorney-in-fact

State of Florida
County of Monroe

The foregoing instrument was acknowledged before me this 26th day of July, 2012 by Gloria Juanita Hancock by Michael E. Hancock, her attorney-in-fact, who [] is personally known or [X] has produced a driver's license as identification.

[Notary Seal]

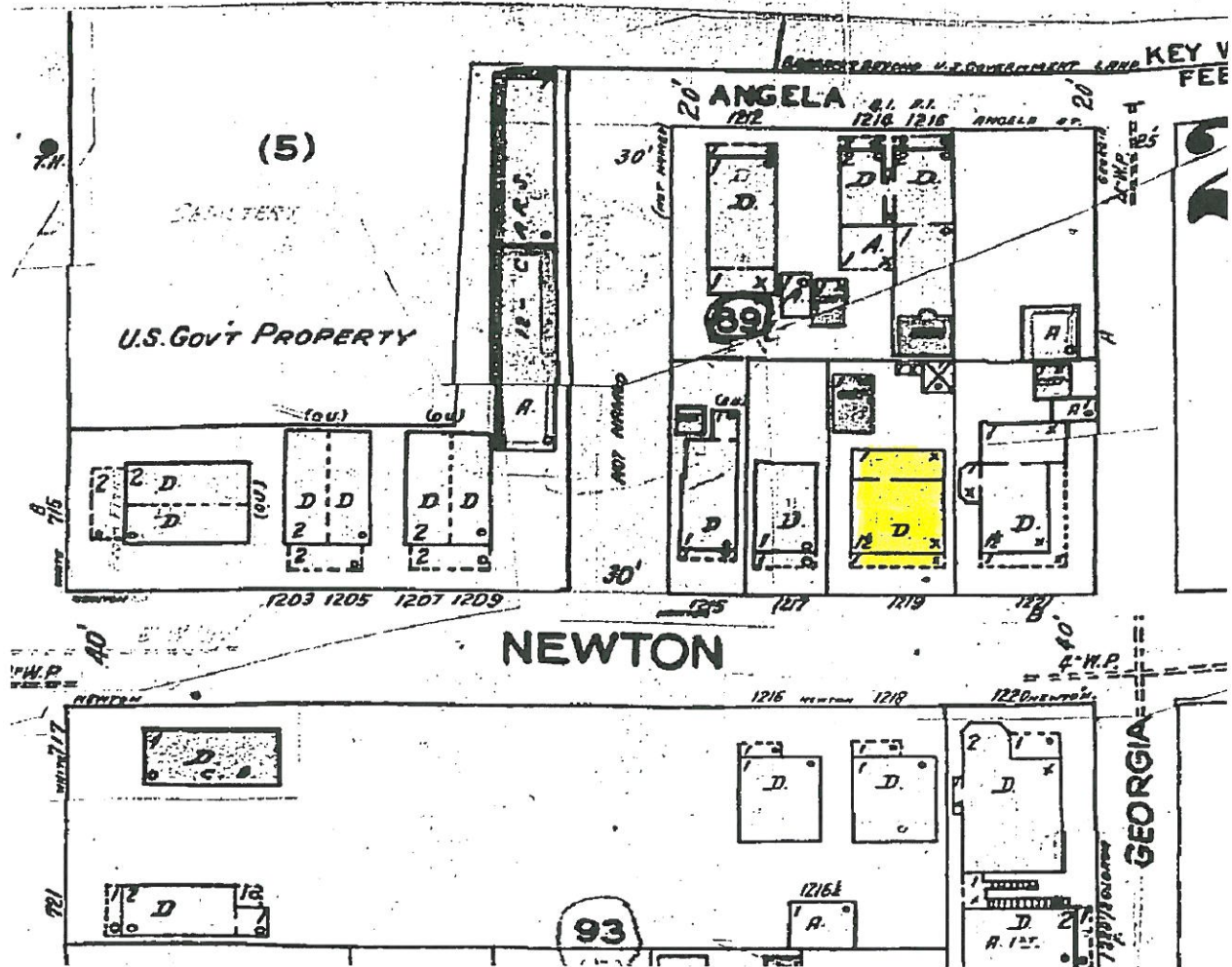


Sharon Sheldon
Notary Public

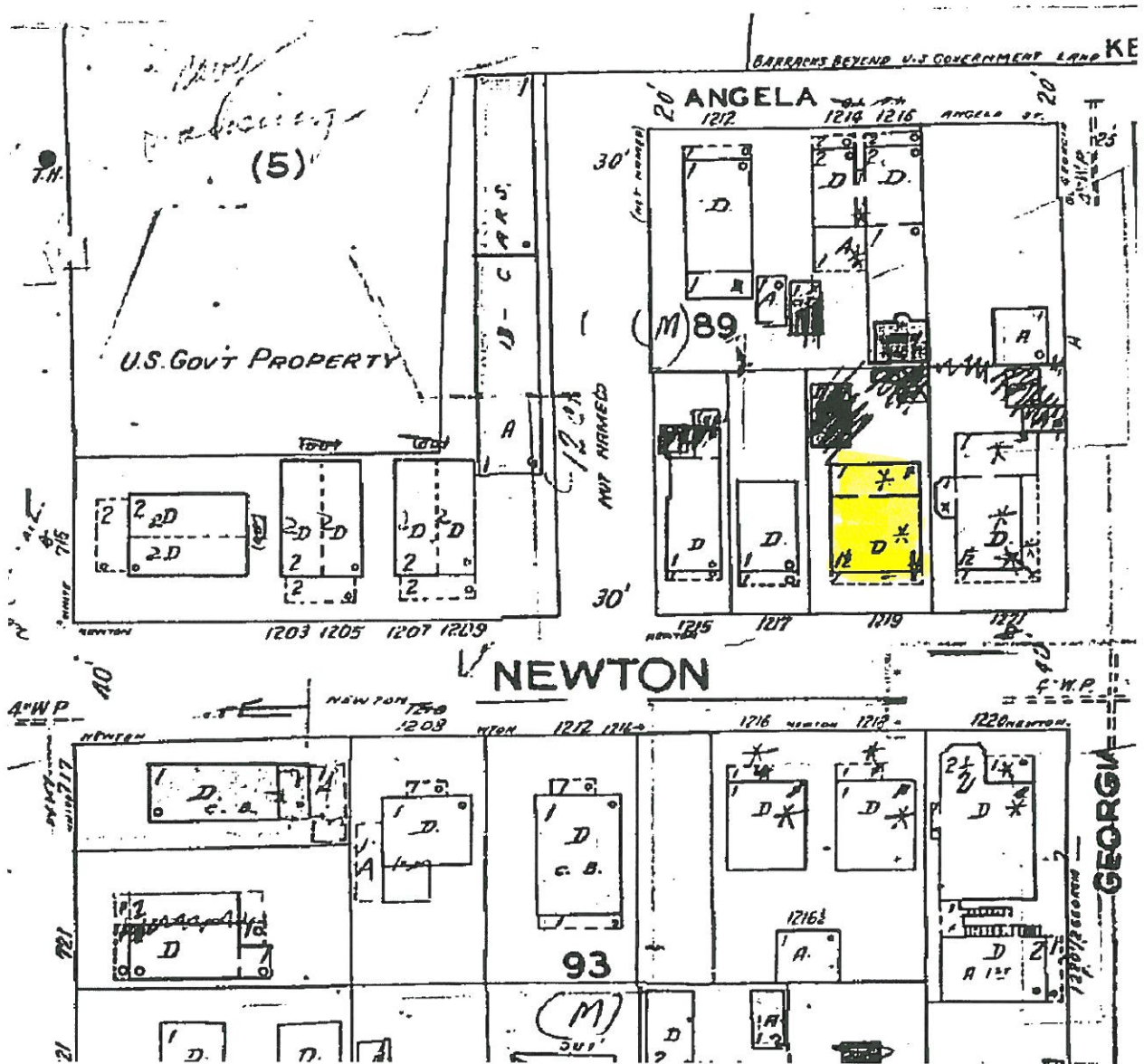
Printed Name: Sharon Sheldon

My Commission Expires: 9-23-12

Sanborn Maps



#1219 Newton Street Sanborn map 1948



#1219 Newton Street Sanborn map 1962

Project Photos

flickr® from YAHOO!

Newer | Older

You aren't signed in. Sign in Help
View all sizes x Close

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Favorites



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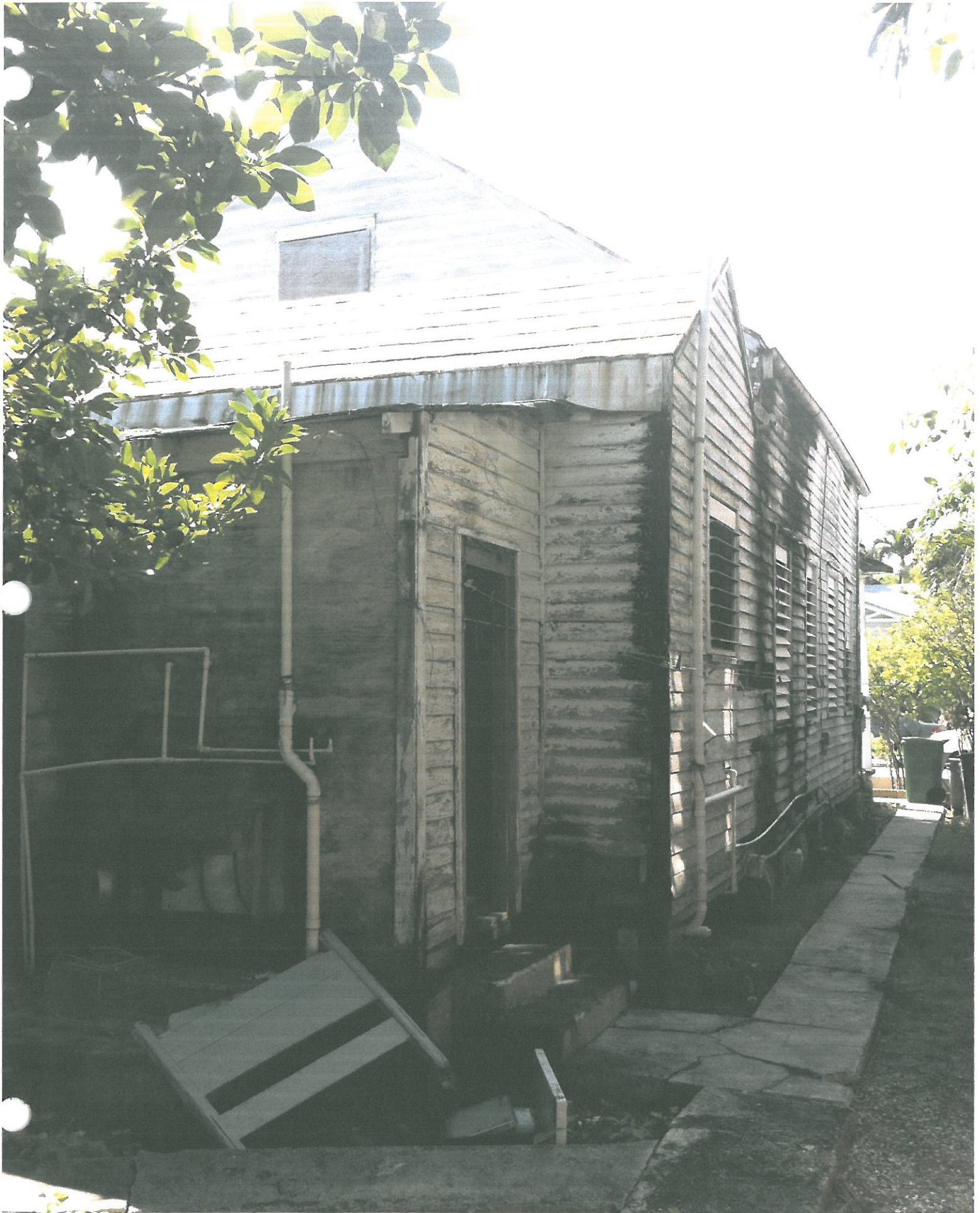


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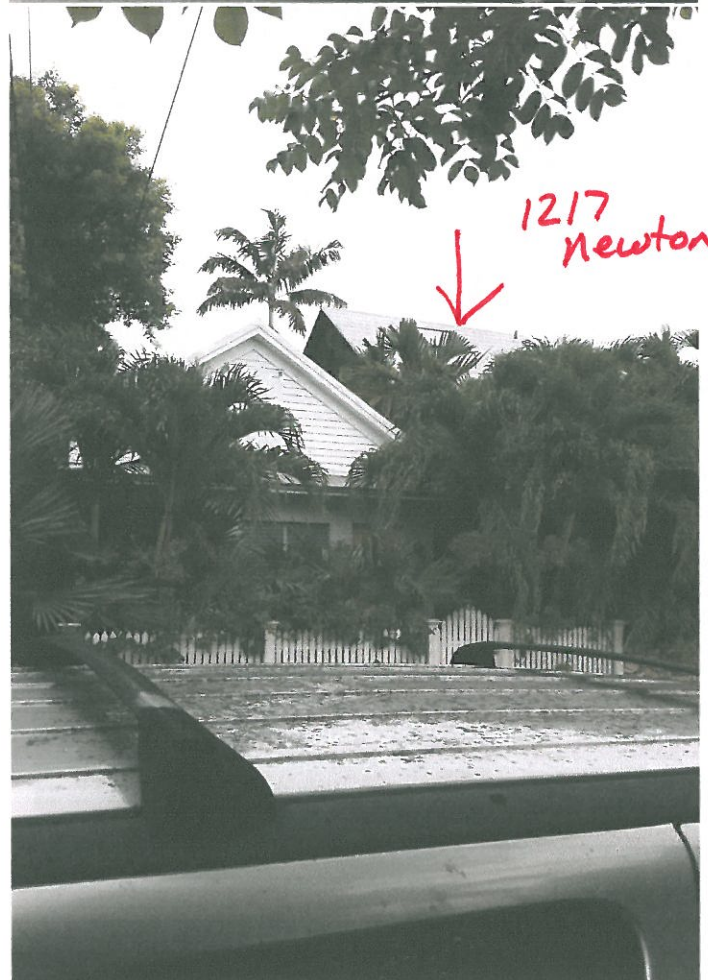
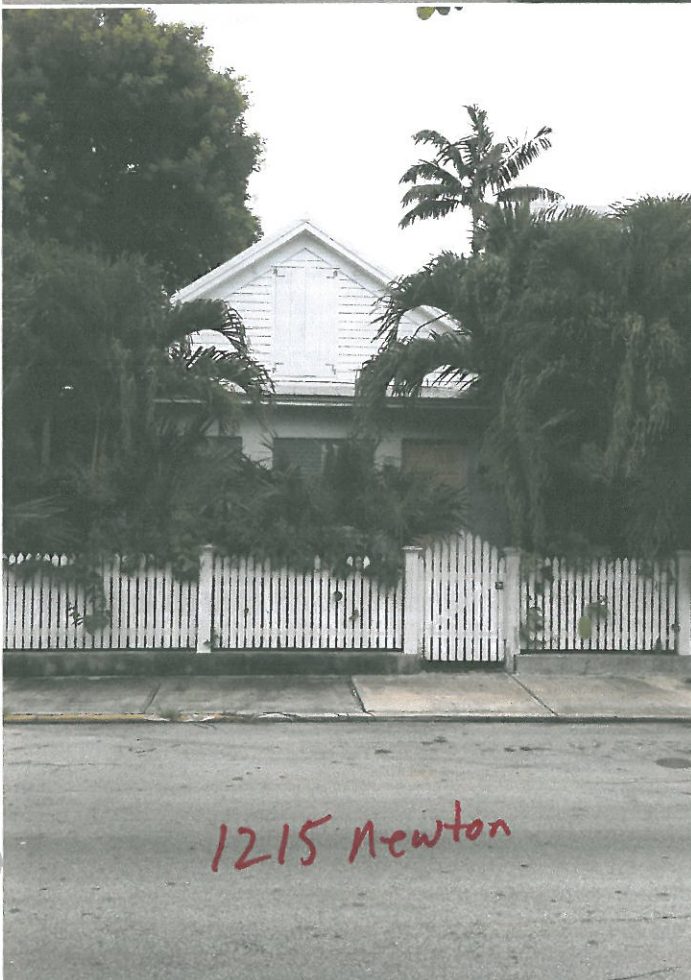
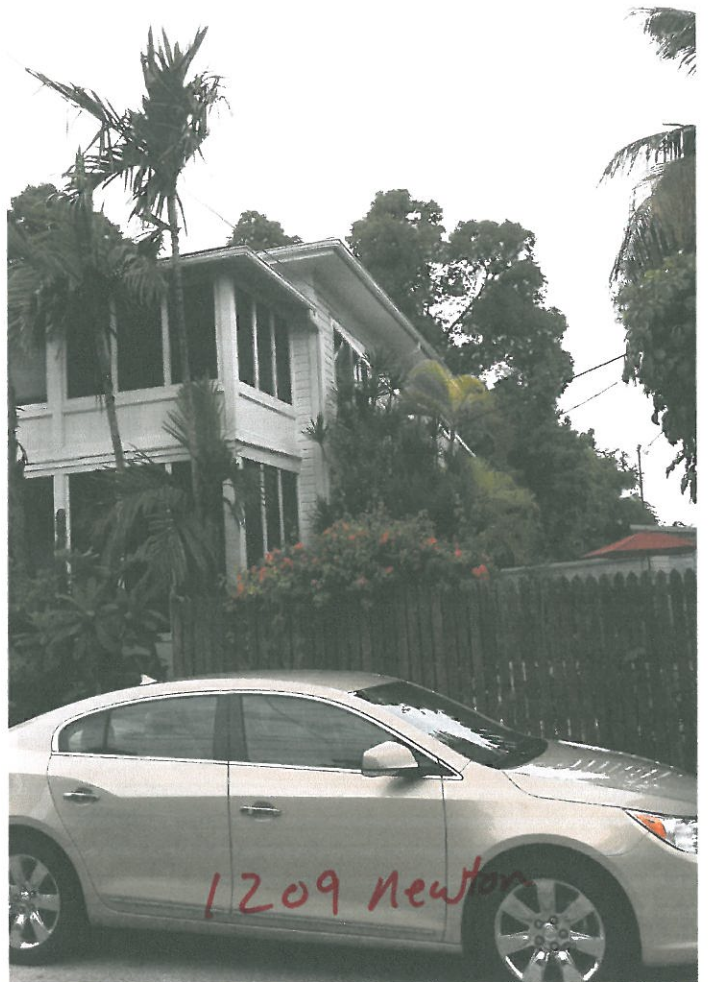
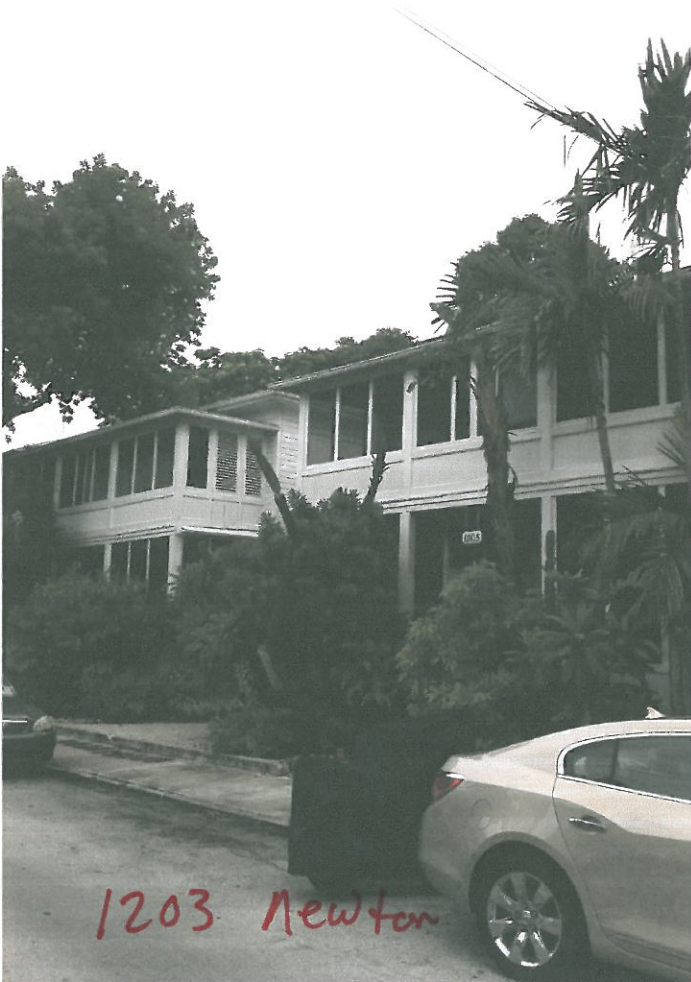
Photo taken
Lots 4-6

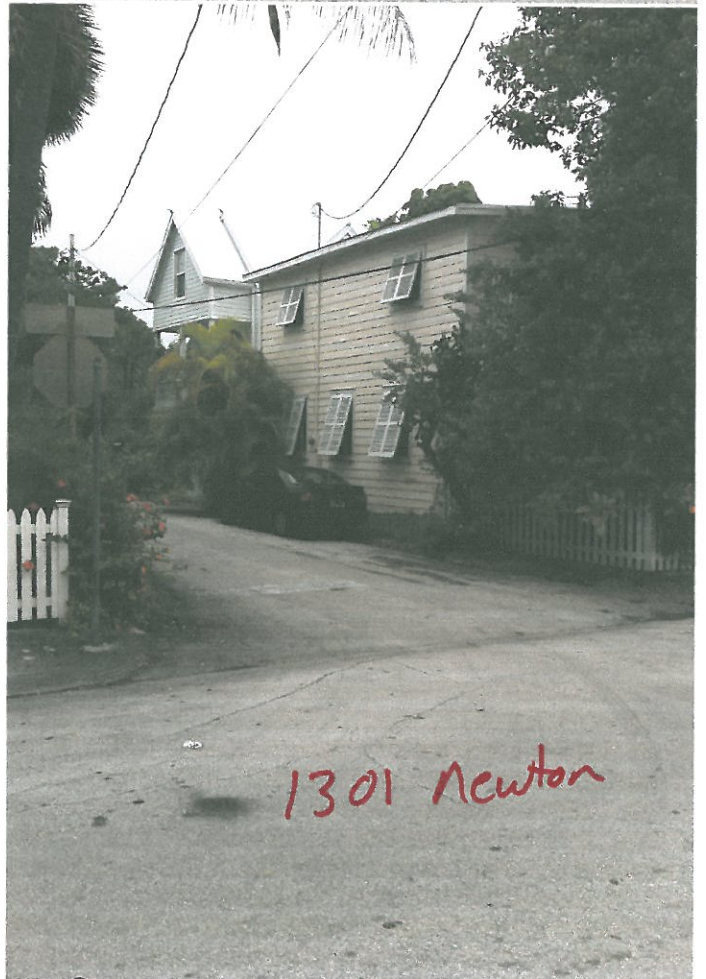
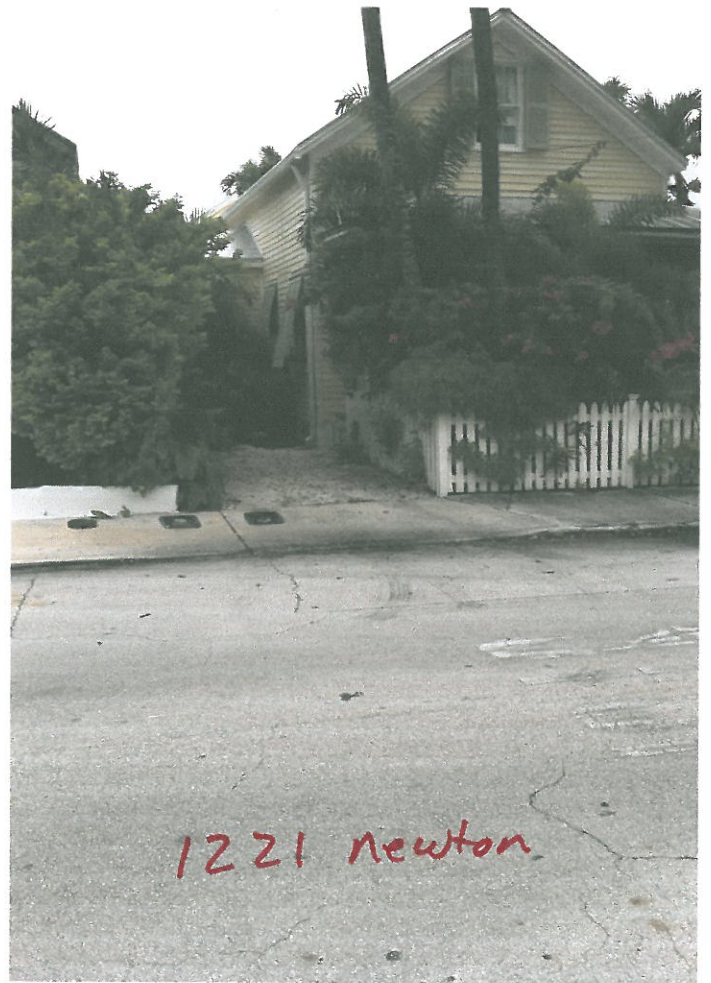
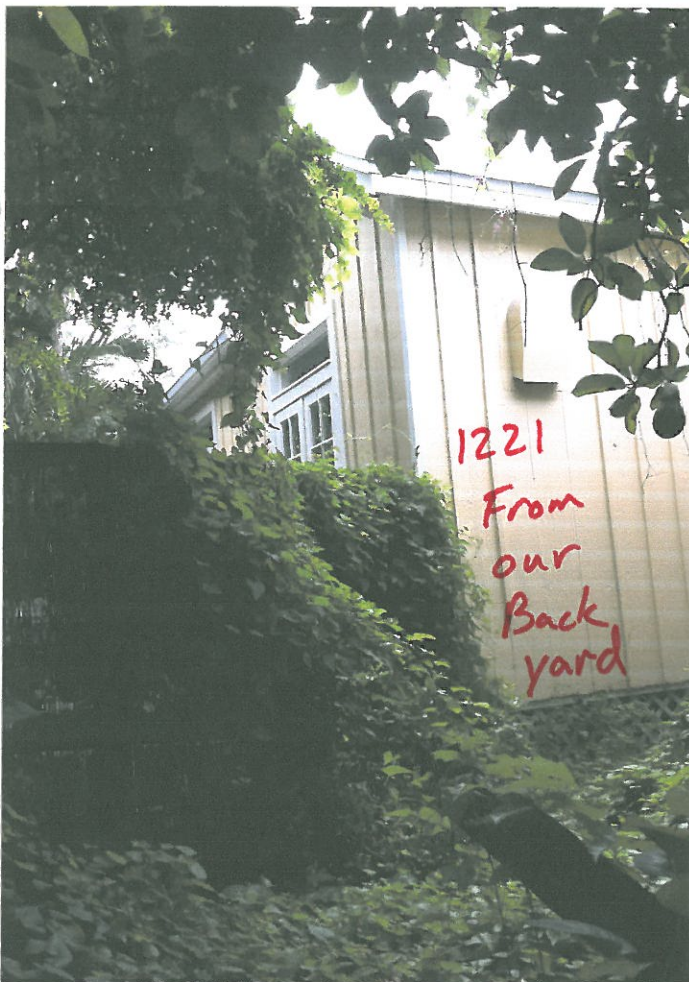
Comments

MM00028917



1219 Back of House







1212 Newton



1216 Newton

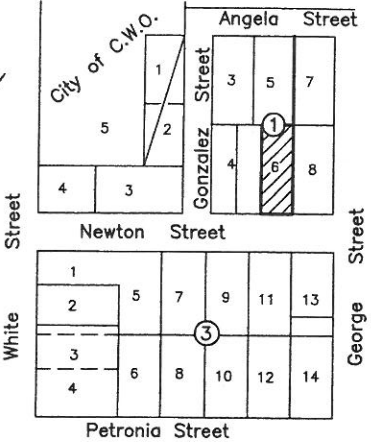


1218 Newton



1220 Newton

Survey



LOCATION MAP

Squares 1, 3, 5, Tr. 7

SURVEYOR'S NOTES:
 North arrow based on assumed median
 Reference Bearing: R/W Newton Street
 3.4 denotes existing elevation
 Elevations based on N.G.V.D. 1929 Datum
 Bench Mark No.: Basic Elevation: 14.324
 Survey performed without benefit of Title
 search on this or surrounding properties.

Monumentation:
 ▲ = Found P.K. Nail
 △ = Set P.K. Nail, P.L.S. No. 2749
 ⊙ = Set 1/2" I.B., P.L.S. No. 2749

CERTIFICATION MADE TO:
 Bruce E. Baumann and Rebecca A. Baumann;
 Spottswood, Spottswood & Spottswood;
 Chicago Title Insurance Company

LEGAL DESCRIPTION:

On the Island of Key West, and known on William A. Whitehead's map, delineated in February, A.D. 1829, as part of Tract Seven (7), but now better known as part of Lot Six (6) in Square One (1) of said Tract Seven (7), according to James A. Waddell's Subdivision of part of said Tract Seven (7), duly recorded in Monroe County, Florida, records: Commencing at a point on the Northwest side of Newton Street, distance Fifty (50) feet Northeasterly form the corner of Newton Street and an Alley and running thence along said Newton Street, in a Northeasterly direction Thirty-eight (38) feet; thence at right angles in a Northwesterly direction Eighty (80) feet; thence at right angles in a Southwesterly direction Thirty-eight (38) feet; thence at right angles in a Southeasterly direction Eighty (80) feet to the place of beginning.

Abbreviations:

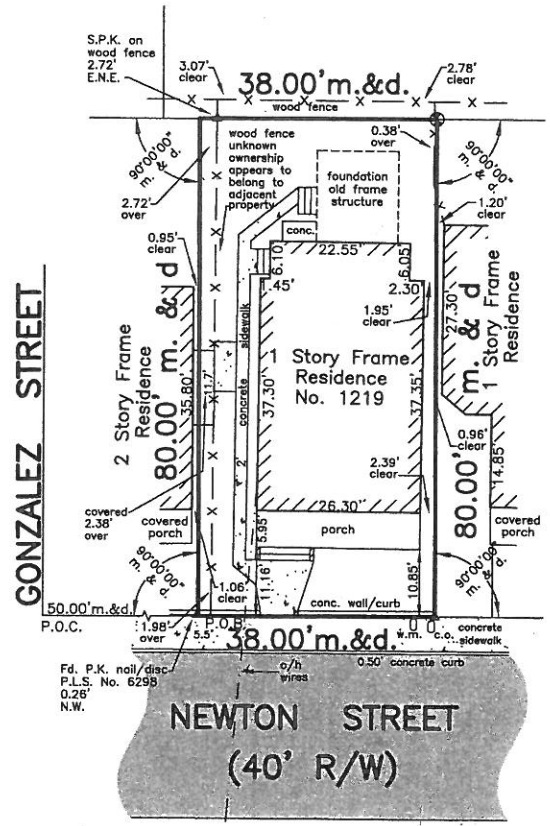
- | | | |
|-------------------------|---------------------------------|--------------------------------|
| Sty. = Story | P.O.C. = Point of Commence | I.B. = Iron Bar |
| R/W = Right-of-Way | P.O.B. = Point of Beginning | wd. = Wood |
| 'd. = Found | P.B. = Plat Book | w.m. = Water Meter |
| Pl. = Plat | pg. = page | Bal. = Balcony |
| m. = Measured | C.L.F. = Chain Link Fence | Pl. = Planter |
| d. = Deed | | A/C = Air Conditioner |
| O.R. = Official Records | o/h = Overhead | ☒ = Concrete Utility Pole |
| N.T.S. = Not to Scale | u/g = Underground | ☉ = Wood utility Pole |
| CL = Centerline | F.F.L. = Finish Floor Elevation | C.B.S. = Concrete Block Stucco |
| lev. = Elevation | conc. = concrete | c.o. = Clean Out |
| B.M. = Bench Mark | I.P. = Iron Pipe | |

CERTIFICATION:

HEREBY CERTIFY that the attached BOUNDARY SURVEY is true and correct to the best of my knowledge and belief; that it meets the minimum technical standards adopted by the Florida Board of Land Surveyors, Chapter 5J-17 Florida Statute Section 472.027, and the American Land Title Association, and that there are no visible encroachments unless shown hereon.

FREDERICK H. HILDEBRANDT
 Professional Land Surveyor & Mapper No. 2749
 Professional Engineer No. 36810
 State of Florida

NOT VALID UNLESS EMBOSSED WITH RAISED SEAL



Field Work performed on: 7/16/12

Bruce E. Baumann and Rebecca A. Baumann 1219 Newton Street, Key West, Fl. 33040			
BOUNDARY SURVEY		Dwn No.: 12-257	
Scale: 1"=20'	Ref. 207-35 file	Flood panel No. 1516 K	Dwn. By: F.H.H.
Date: 7/18/12		Flood Zone: X/AE	Flood Elev. -/6'
REVISIONS AND/OR ADDITIONS			
fred/dwg/kw/block22/315elizabeth			

ISLAND SURVEYING INC.
 ENGINEERS PLANNERS SURVEYORS
 3152 Northside Drive
 Suite 201
 Key West, Fl. 33040
 (305) 293-0466
 Fax. (305) 293-0237
 fhildeb1@bellsouth.net
 L.B. No. 7700

Miscellaneous Information



THE CITY OF KEY WEST
Director of Building
Post Office Box 1409 Key West, FL 33041-1409

July 31, 2012

Bruce and Rebecca Baumann
7916 Madison Park Lane,
Raleigh, NC 27615

RE: **1219 Newton Street**

Dear Mr. and Mrs. Baumann,
As Chief Building Official for the City of Key West, I have determined that the building located at **1219 Newton Street** is unsafe and structurally unsound. An emergency condition exists pursuant to Section 14-113 of the City of Key West Code of Ordinance listed below.

Section 14-113. - Emergency cases.

In emergency cases where it reasonably appears there is immediate danger to the life or safety of any person or to the safety of other property, unless a dwelling unfit for human habitation or a dangerous building is immediately repaired, demolished or vacated, the building official shall cause the immediate repair or demolition of such dwelling or building. The cost of such repair or demolition shall be recovered and collected as is provided in section 14-111 or the building official may revoke the certificate of occupancy and order vacation of the premises until necessary repairs, etc., render the premises fit for use or habitation.

(Code 1986, § 31.028)

Pursuant to Section 14-71 of the City of Key West Code of Ordinance listed below, the structure located at **1219 Newton Street**, Key West, Florida has been found to be in such disrepair and deterioration that it is considered dangerous and unfit for human habitation.

Section 14-71 – Conditions rendering dwelling unfit or building dangerous

The building official shall determine that a dwelling is unfit for human habitation or a building is dangerous if he finds that any of the following conditions exist in such dwelling:

- (1) Interior walls or other vertical structural members which list, lean or buckle to such an extent that a plumbline passing through the center of gravity falls outside the middle third of its base.
- (2) Supporting members which show 33 percent or more of damage or deterioration, or nonsupporting enclosing or outside walls or coverings which show 50 percent or more of damage or deterioration.
- (3) Interior walls or other vertical structural members which list, lean or buckle to such an extent that a plumbline passing through the center of gravity falls outside the middle third of its base.
- (4) Supporting members which show 33 percent or more of damage or deterioration, or nonsupporting enclosing or outside walls or coverings which show 50 percent or more of damage or deterioration.
- (5) Floors or roofs which have improperly distributed loads, which are overloaded, or which have insufficient strength to be reasonably safe for the purposes used.
- (6) Such damage by fire, wind or other causes as endangers the lives, safety or welfare of the occupants or other people in the city.
- (7) Dilapidation, decay, insanitation or disrepair which is likely to cause sickness or disease or to work injury to the health, safety or welfare of the occupants or other people of the city.
- (8) Inadequate facilities for egress in case of fire or panic.
- (9) Defects therein increasing the hazards of fire, accident or other calamities.
- (10) Such lack of adequate ventilation, light, heating or sanitary facilities as endanger the health, morals, safety or general welfare of the occupants or other city residents.
- (11) Violation of any provision of the building regulations or fire prevention laws or ordinances of the state or city.
- (12) Any room, except a bathroom, with window area less than one-tenth of the floor area or with window area of one-tenth or more of the floor area, but which window area cannot be opened so that the openings will equal as much as 1/20 of the floor area.
- (13) A bathroom which does not have at least one outside window which can be opened or does not have other means of adequate ventilation.
- (14) Such relationship to adjoining buildings or dwellings that light or air is inadequate or that a fire hazard exists.

(Code 1986, § 31.023)

Pursuant to Section 14-69 of the City of Key West Code of Ordinance listed below, it is my duty as the Chief Building Official of the City of Key West to hereby order the demolition of the structure at **1219 Newton Street**.

Section 14-69. - Examination of dwellings and buildings.

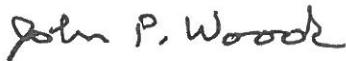
It shall be the duty of the building official to diligently examine all dwellings and buildings located in the city for the purpose of locating and taking action with respect to such dwellings and buildings as appear to be unfit for human habitation and such buildings as appear to be dangerous.

(Code 1986, § 31.022)

Structural Engineering Report is on file at the Key West City Building Department.

Please feel free to contact the City of Key West Building Department at 305-809-3958, if you have any questions, concerns or need additional information.

Sincerely,



John P. Woodson
Chief Building Official

cc: Enid Torregrosa
Wayne Giordiano
Mark Finigan
Bob Vitas
Paul Cox

SeaTech inc.

OF THE FLORIDA KEYS
DESIGN BUILD CONTRACTORS

July 12, 2012

MMFC, Inc., Mr. Paul Cox
121 Perry Court, Unit C
Key West, Florida 33040

Dear Mr. Cox:

The property located at 1219 Newton Street, Key West, Florida was inspected on 11 July 2012. The purpose of the inspection was to evaluate the damaged condition of the existing building.

The property includes a one and a half story, residential building that was the subject of this inspection. The building was wood-framed and supported on spread pier foundations and elevated approximately two feet above the surrounding grade.

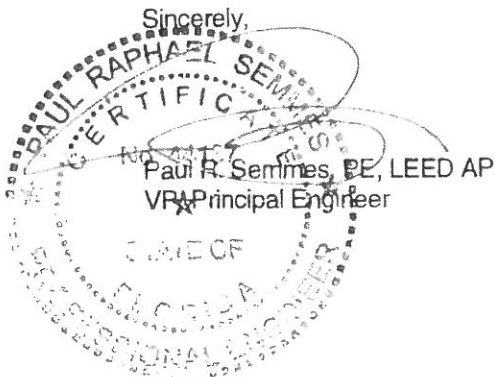
The wood framed structure was in poor condition. There was damage to structural members throughout the floor and wall framing systems. Some of the piers were makeshift, ie wood post, stacked block, brick, etc. There was a rear portion of the building that had collapsed. There were parts of the remaining structure that have partially collapsed. (Photos Attached)

The building is dangerous, as defined by the 2010 Florida Existing Building Code. Any building, structure or portion thereof that has collapsed, partially collapsed or lacks the necessary support shall be deemed dangerous. It is therefore considered unsafe, as defined by the 2010 Florida Existing Building Code. The lateral force-resisting system and the vertical load-carrying components, and groups of components, have suffered damage to the degree that classifies it to be substantial structural damage, as defined by the 2010 Florida Existing Building Code.

It is my professional opinion that the building should be demolished or repaired to meet the 2010 Florida Building Code.

Please let me know if you have any questions.

Sincerely,



Paul R. Semmes, PE, LEED AP
VP Principal Engineer

830 Crane Blvd., PO Box 420529
Summerland Key, FL 33042
(305) 872-0888

7552 Navarre Parkway, Suite 7
Navarre, FL 32566
(850) 939-3959







































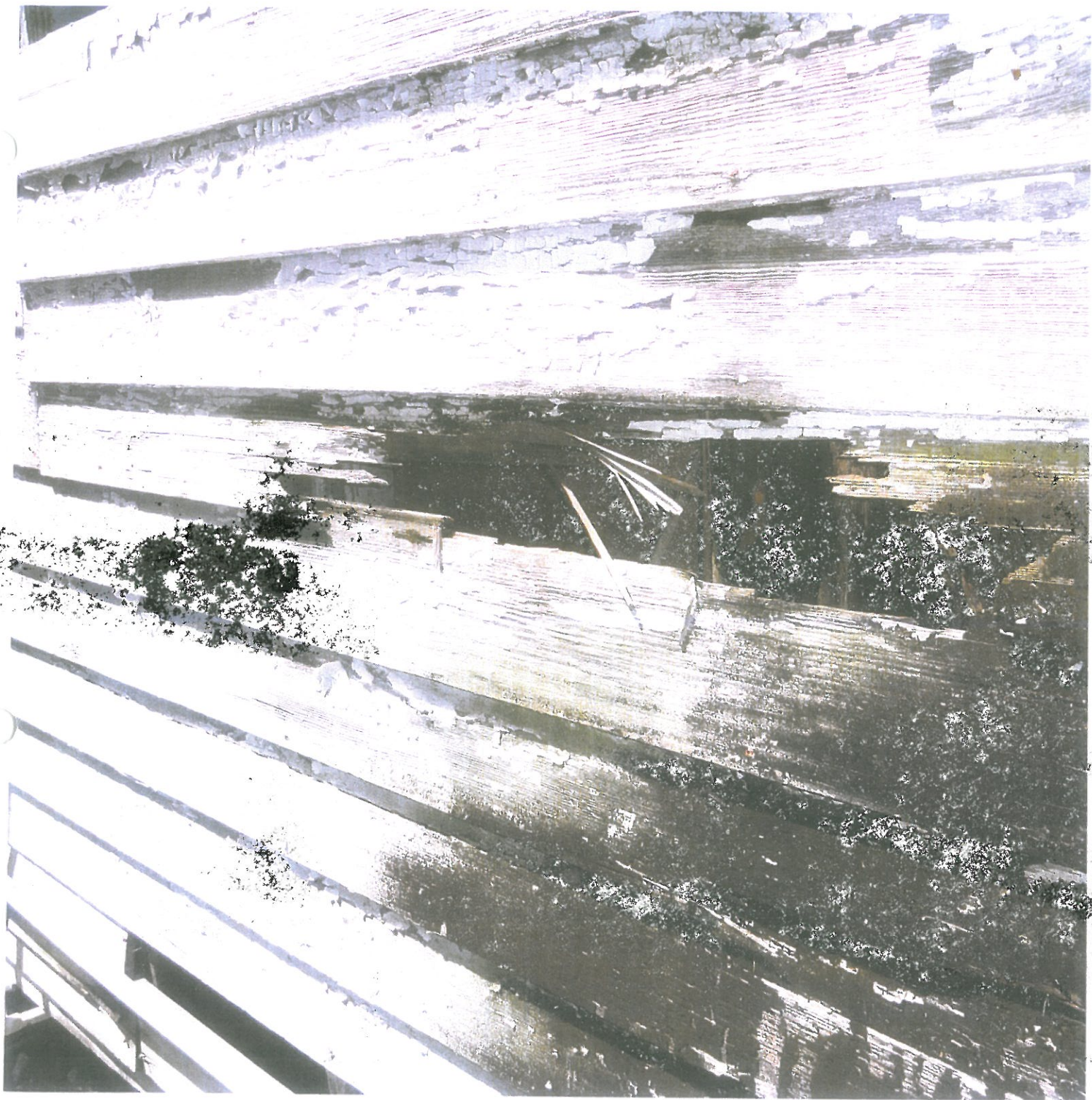
















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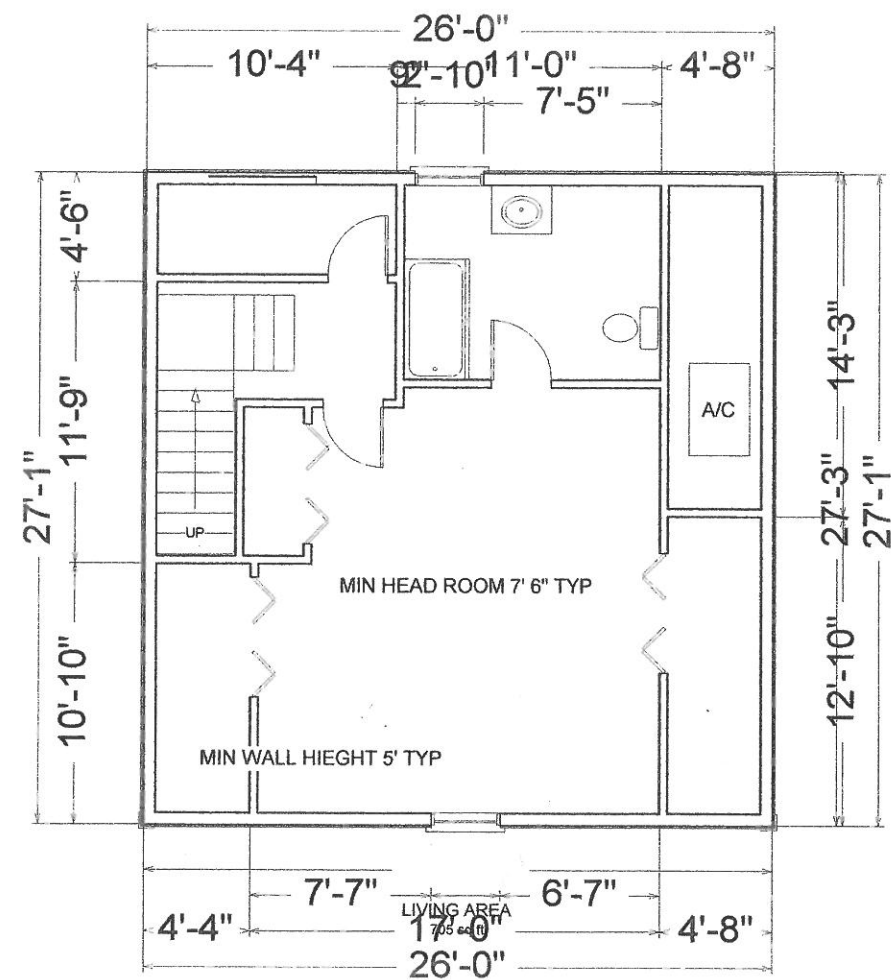
1967

1968

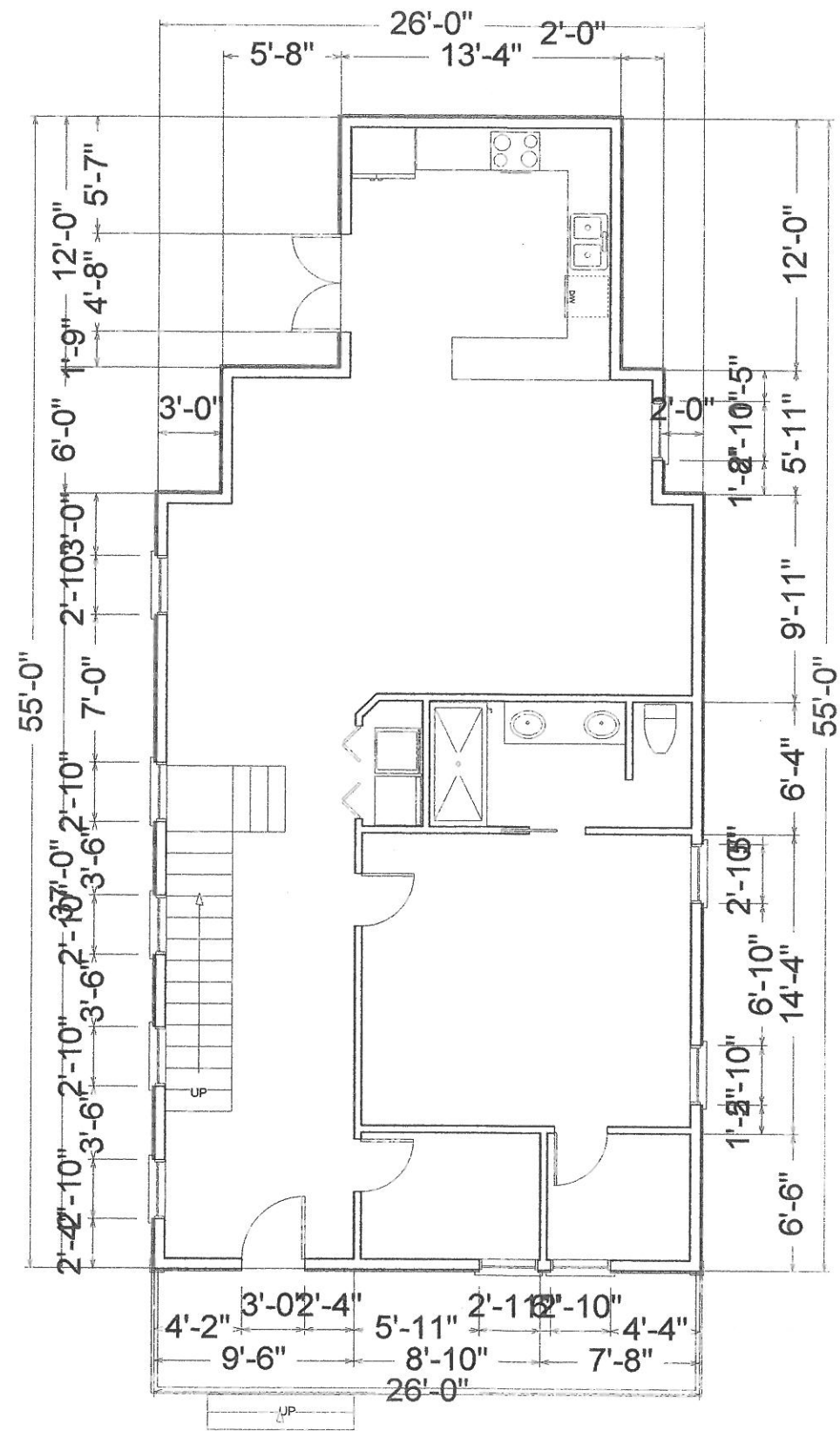
1969

1970

Proposed Plans



ATTIC FLOOR PLAN
SCALE - 1/8" = 1'



1ST FLOOR PLAN
SCALE - 1/8" = 1'

NOT VALID FOR CONSTRUCTION UNLESS
SIGNED AND SEALED IN THIS BOX

1219 NEWTON ST.
KEY WEST, FLORIDA 33040

REVISIONS:

DATE: 7/21/12

DRAWN: PC

SHEET#

2



FRONT ELEVATION
SCALE - 3/16" = 1'

60" X 80" ANDERSON,
IMPACT, VINYL-CLAD, 1
LITE, WOOD FRENCH DOOR.

34" X 63" ANDERSON
DOUBLE-HUNG, IMPACT,
TRU-DIVIDED LITES,
VINYL-CLAD, WOOD
WINDOWS TYP.

V-CRIMP
METAL
ROOFING
TYP.

1" X 4"
FACIA
WITH 5"
CROWN

1X4 1/2" LAP
SIDING TYP.

FLOOR HIGHT
SET AT AE 6
FLOOD



LATTICE
PANELS TYP

LEFT ELEVATION
SCALE - 3/16" = 1'

CONCRETE
PIERS TYP

9'-3"
13'-6"
22'-8"

8X8 WOOD POST
TAPERED TO 6X6 AT
TOP

36" HIGH WOOD
RAILING W/ 2X2
BAL. TYP

NOT VALID FOR CONSTRUCTION UNLESS
SIGNED AND SEALED IN THIS BOX

1219 NEWTON ST.
KEY WEST, FLORIDA 33040

REVISIONS:

DATE: 7/21/12

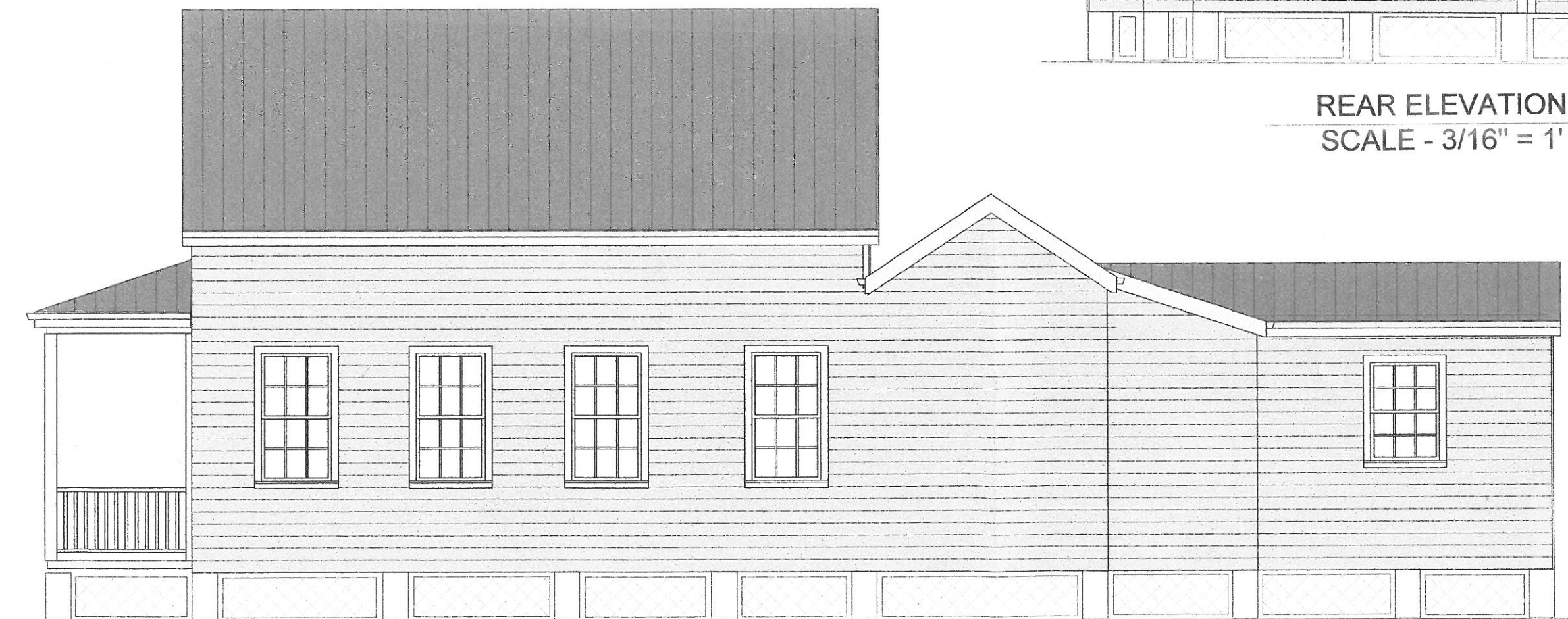
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SHEET#

3



REAR ELEVATION
SCALE - 3/16" = 1'



RIGHT ELEVATION
SCALE - 3/16" = 1'

NOT VALID FOR CONSTRUCTION UNLESS
SIGNED AND SEALED IN THIS BOX

1219 NEWTON ST.
KEY WEST, FLORIDA 33040

REVISIONS:

DATE: 7/21/12

DRAWN: PC

SHEET#

4

INSTALLATION NOTES:

- ONE (1) INSTALLATION ANCHOR IS REQUIRED AT EACH ANCHOR LOCATION SHOWN.
- THE NUMBER OF INSTALLATION ANCHORS DEPICTED IS THE MINIMUM NUMBER OF ANCHORS TO BE USED FOR PRODUCT INSTALLATION OF THE MAXIMUM SIZE LISTED.
- INSTALL INDIVIDUAL INSTALLATION ANCHORS WITHIN A TOLERANCE OF ±1/2 INCH THE DEPICTED LOCATION & SPACING IN THE ANCHOR LAYOUT DETAILS (I.E., WITHOUT CONSIDERATION OF TOLERANCES). TOLERANCES ARE NOT CUMULATIVE FROM ONE INSTALLATION ANCHOR TO THE NEXT.
- SHIM AS REQUIRED AT EACH INSTALLATION ANCHOR WITH LOAD BEARING SHIM(S). MAXIMUM ALLOWABLE SHIM STACK TO BE 1/4 INCH. SHIM WHERE SPACE OF 1/16 INCH OR GREATER OCCURS. SHIM(S) SHALL BE CONSTRUCTED OF HIGH DENSITY PLASTIC OR BETTER.
- THROUGH FRAME: FOR INSTALLATION INTO WOOD FRAMING USE ONE (1) #10 WOOD SCREW PER LOCATION OF SUFFICIENT LENGTH TO ACHIEVE 1 1/2 INCH MINIMUM EMBEDMENT INTO WOOD SUBSTRATE.
- THROUGH FRAME: FOR INSTALLATION THROUGH 1X BUCK TO CONCRETE/MASONRY, OR DIRECTLY INTO CONCRETE/MASONRY, USE ONE (1) 3/16 INCH DIAMETER ITW TAPCONS PER LOCATION OF SUFFICIENT LENGTH TO ACHIEVE 1 1/4 INCH MINIMUM EMBEDMENT.
- THROUGH FRAME: FOR INSTALLATION INTO METAL STUD OR APPROVED MULLION USE ONE (1) #10-16 GR. 5 SELF-TAPPING SCREW PER LOCATION OF SUFFICIENT LENGTH TO ACHIEVE A MINIMUM OF 3 THREADS PENETRATION BEYOND METAL FRAME SUBSTRATE.
- INSTALLATION STRAP: FOR INSTALLATION INTO WOOD FRAMING USE TWO (2) #10 WOOD SCREWS PER LOCATION OF SUFFICIENT LENGTH TO ACHIEVE 1 1/2 INCH MINIMUM EMBEDMENT INTO WOOD SUBSTRATE.
- INSTALLATION STRAP: FOR INSTALLATION INTO METAL STUD OR APPROVED MULLION USE TWO (2) #10-16 GR. 5 SELF-TAPPING SCREW PER LOCATION OF SUFFICIENT LENGTH TO ACHIEVE A MINIMUM OF 3 THREADS PENETRATION BEYOND METAL FRAME SUBSTRATE.
- INSTALLATION STRAP: FOR INSTALLATION THROUGH 1X BUCK TO CONCRETE/MASONRY, OR DIRECTLY INTO CONCRETE/MASONRY, USE TWO (2) 3/16 INCH DIAMETER ITW TAPCONS PER LOCATION OF SUFFICIENT LENGTH TO ACHIEVE 1 1/4 INCH MINIMUM EMBEDMENT. ANCHORS SHALL BE INSTALLED THROUGH STRAP SUCH THAT A MINIMUM 1 3/4" O.C. SPACING IS MAINTAINED.
- MINIMUM EMBEDMENT AND EDGE DISTANCE EXCLUDE WALL FINISHES, INCLUDING BUT NOT LIMITED TO STUCCO, FOAM, BRICK VENEER, AND SIDING.
- INSTALLATION ANCHORS AND ASSOCIATED HARDWARE MUST BE MADE OF CORROSION RESISTANT MATERIAL OR HAVE A CORROSION RESISTANT COATING.
- FOR HOLLOW BLOCK AND GROUT FILLED BLOCK, DO NOT INSTALL INSTALLATION ANCHORS INTO MORTAR JOINTS. EDGE DISTANCE IS MEASURED FROM FREE EDGE OF BLOCK OR EDGE OF MORTAR JOINT INTO FACE SHELL OF BLOCK.

ANDERSEN CORPORATION

A-SERIES DOUBLE HUNG WINDOW (IMPACT)

INSTALLATION NOTES (CONTINUED):

- INSTALLATION ANCHORS SHALL BE INSTALLED IN ACCORDANCE WITH ANCHOR MANUFACTURER'S INSTALLATION INSTRUCTIONS, AND ANCHORS SHALL NOT BE USED IN SUBSTRATES WITH STRENGTHS LESS THAN THE MINIMUM STRENGTH SPECIFIED BY THE ANCHOR MANUFACTURER.
- INSTALLATION ANCHOR CAPACITIES FOR PRODUCTS HEREIN ARE BASED ON SUBSTRATE MATERIALS WITH THE FOLLOWING PROPERTIES:
 - WOOD - MINIMUM SPECIFIC GRAVITY OF 0.55.
 - CONCRETE - MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI.
 - GROUT-FILLED CMU - UNIT STRENGTH CONFORMS TO ASTM C-90 WITH MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI AND GROUT CONFORMS TO ASTM C 476, MINIMUM GROUT COMPRESSIVE STRENGTH OF 2000 PSI.
 - HOLLOW BLOCK CMU - UNIT STRENGTH CONFORMS TO ASTM C-90 WITH MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI.
 - STEEL - MINIMUM YIELD STRENGTH OF 33 KSI. MINIMUM WALL THICKNESS OF 35.9 MIL (0.0359" or 20 GAUGE), MIN. 1/2" EDGE DISTANCE.
 - ALUMINUM - MINIMUM ALLOY 6063-T5. MINIMUM WALL THICKNESS OF 0.078". MIN. 1/2" EDGE DISTANCE.

GENERAL NOTES:

- THE PRODUCT SHOWN HEREIN IS DESIGNED AND MANUFACTURED TO COMPLY WITH THE 2010 FLORIDA BUILDING CODE (FBC), INCLUDING HVHZ AND HAS BEEN EVALUATED ACCORDING TO THE FOLLOWING:
 - TAS 201-94
 - TAS 202-94
 - TAS 203-94
 - AAMA/WDMA/CSA 101/1.5-2/A440-05
 - ASTM E1886-02/03
 - ASTM E1986-02/05
- ADEQUACY OF THE EXISTING STRUCTURAL CONCRETE/MASONRY, 2X FRAMING, AND METAL FRAMING AS A MAIN WIND FORCE RESISTING SYSTEM CAPABLE OF WITHSTANDING AND TRANSFERRING APPLIED PRODUCT LOADS TO THE FOUNDATION IS THE RESPONSIBILITY OF THE ENGINEER OR ARCHITECT OF RECORD FOR THE PROJECT OF INSTALLATION.
- 1X AND 2X BUCKS (WHEN USED) SHALL BE DESIGNED AND ANCHORED TO PROPERLY TRANSFER ALL LOADS TO THE STRUCTURE. BUCK DESIGN AND INSTALLATION IS THE RESPONSIBILITY OF THE ENGINEER OR ARCHITECT OF RECORD FOR THE PROJECT OF INSTALLATION.
- THE INSTALLATION DETAILS DESCRIBED HEREIN ARE GENERIC AND MAY NOT REFLECT ACTUAL CONDITIONS FOR A SPECIFIC SITE. IF SITE CONDITIONS CAUSE INSTALLATION TO DEVIATE FROM THE REQUIREMENTS DETAILED HEREIN, A LICENSED ENGINEER OR ARCHITECT SHALL PREPARE SITE SPECIFIC DOCUMENTS FOR USE WITH THIS DOCUMENT IN NON-HVHZ AREAS. IN HVHZ AREAS, ONE TIME PRODUCT APPROVAL TO BE OBTAINED FROM MIAMI-DADE PERA OR AHJ.
- APPROVED IMPACT PROTECTIVE SYSTEM IS NOT REQUIRED ON THIS PRODUCT IN AREAS REQUIRING IMPACT RESISTANCE.
- WINDOW FRAME MATERIAL: RADIATA PINE
- FRAME CLADDING MATERIAL: FIBREX ® FIBERGLASS
- IN ACCORDANCE WITH 2010 FBC, SECTION 2411.3.3.3 WOOD COMPONENTS SHALL HAVE BEEN PRESERVATIVE TREATED OR SHALL BE OF A DURABLE SPECIES AS DEFINED IN SECTION 2326.2.
- GLASS MEETS THE REQUIREMENTS OF ASTM E 1300-04 GLASS CHARTS. SEE SHEET 4 FOR GLAZING DETAILS.

TABLE OF CONTENTS		
SHEET	REVISION	SHEET DESCRIPTION
1	-	INSTALLATION & GENERAL NOTES
2	-	ELEVATION & ANCHOR LAYOUTS
3	-	VERTICAL SECTIONS
4	-	HORIZONTAL SECTIONS & GLAZING OPTIONS
5	-	BILL OF MATERIALS & COMPONENTS
6	-	COMPONENTS

OVERALL SIZE		DESIGN PRESSURE	MISSILE IMPACT RATING
WIDTH	HEIGHT		
47 1/4"	95 1/4"	-70/- 70 PSF	LARGE & SMALL MISSILE IMPACT



120 FOURTH AVE. NORTH
MAYPORT, FL 32063-0001
PH: (904) 264-5100 FX: (904) 264-5488

TITLE: A-SERIES DOUBLE HUNG WINDOW INSTALLATION & GENERAL NOTES
PREPARED BY: BUILDING DROPS, INC.
127 W. FAIRBANKS AVE., STE. 438
WINTER PARK, FL 32789
PH: (407) 644-6957 FX: (407) 644-2304

REVISIONS	BY DATE	
	DESCRIPTION	NO.

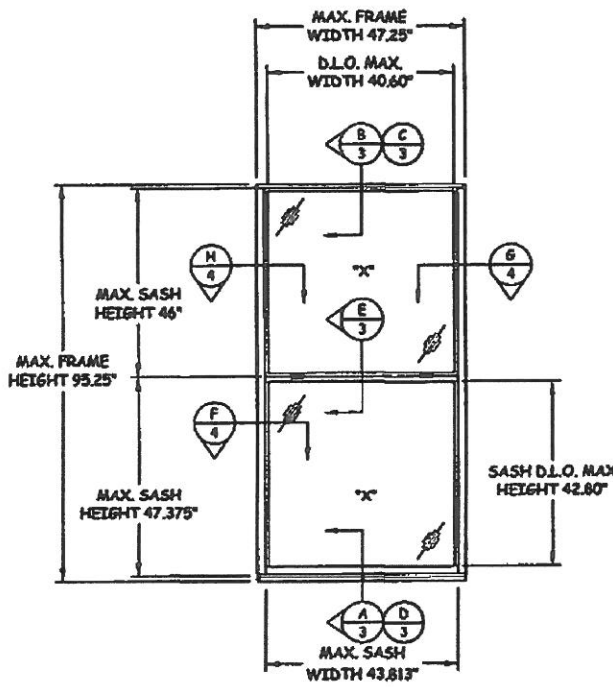
WINDOW & DOOR DIV.
 127 W. FAIRBANKS AVE., STE. 438
 WINTER PARK, FL 32789
 PH: (407) 644-6957 FAX: (407) 644-2304

DATE: 04.03.12
DWN BY: JLA
CHK BY: HFN
SCALE: NTS
DWG #: AWD042
SHEET: 1 OF 6

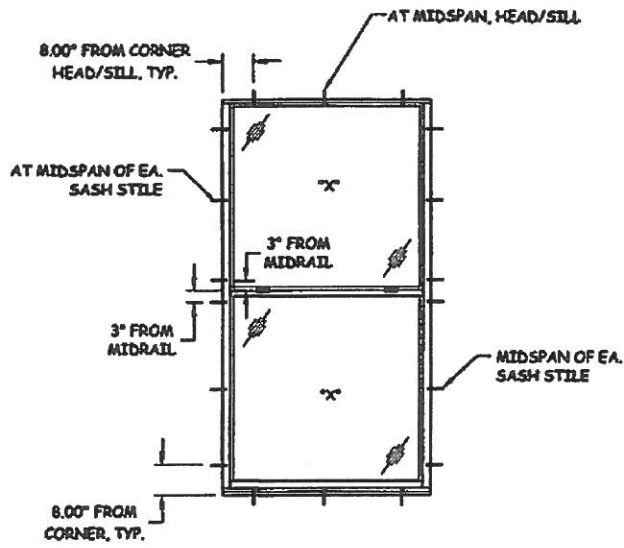


120 FORTH AVE. NORTH
BAYPORT, MI 49830-1009
Ph: (517) 294-2320 Fax: (517) 294-5465

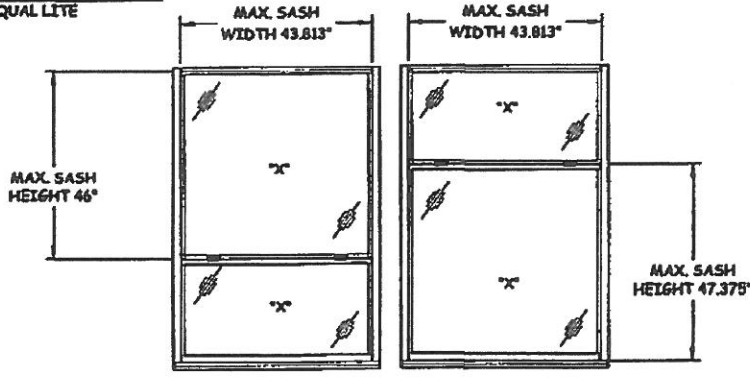
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PREPARED BY:
BUILDING DROPS, INC.
127 W. FAIRBANKS AVE., STE. 438
WINTER PARK, FL 32789
Ph: (407) 444-0997 Fax: (407) 444-2364



TYPICAL ELEVATION
EQUAL LITE



ANCHOR LAYOUT
APPLIES TO ALL INSTALLATION TYPES



TYPICAL ELEVATION
UNEQUAL LITE

ANCHOR LEGEND
— INSTALLATION ANCHOR THROUGH FRAME OR INSTALLATION STRAP LOCATION.

NOTE: COTTAGE AND REVERSE COTTAGE CONFIGURATIONS ARE QUALIFIED SUCH THAT MAXIMUM SASH DIMENSIONS DO NOT EXCEED THOSE SHOWN.

NO.	DESCRIPTION	REVISIONS	
		BY	DATE

DATE: 04.03.12
DWN BY: JLA
CHK BY: HFN
SCALE: NTS

DWG #: **AWD042**
SHEET: **2 OF 6**

WINDOW SIZES IN
INCHES AND MILLIMETERS
1/8" = 3.175mm (1:12.5)
FOR LIST OF ALUMINUM FINISHES, SEE 2012



180 FOURTH AVE. NORTH
 BAYPORT, MN 55003-1006
 PH: (612) 264-3100 FX: (612) 264-0400

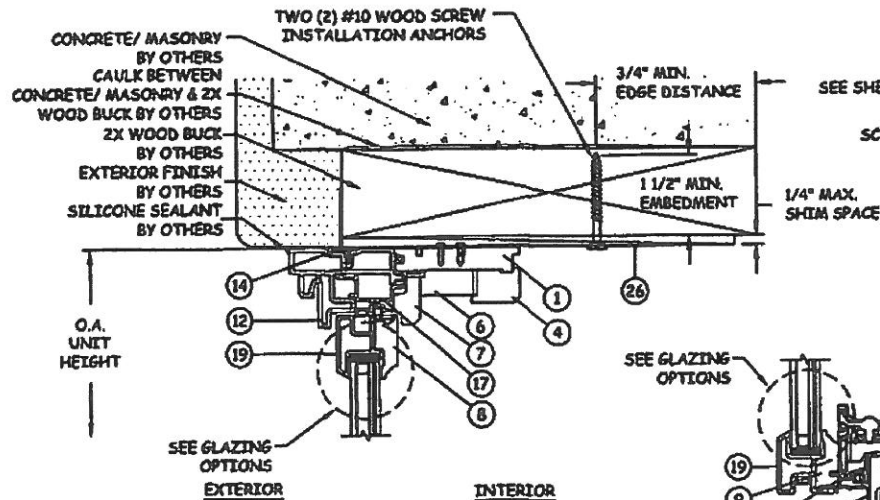
TITLE: A-SERIES DOUBLE HUNG WINDOW VERTICAL SECTIONS
 PREPARED BY: BUILDING DROPS, INC.
 187 W. FABRIKUS AVE., STE. 438
 WINTER PARK, FL 32789
 PH: (407) 444-0097 FX: (407) 444-3366

REVISIONS

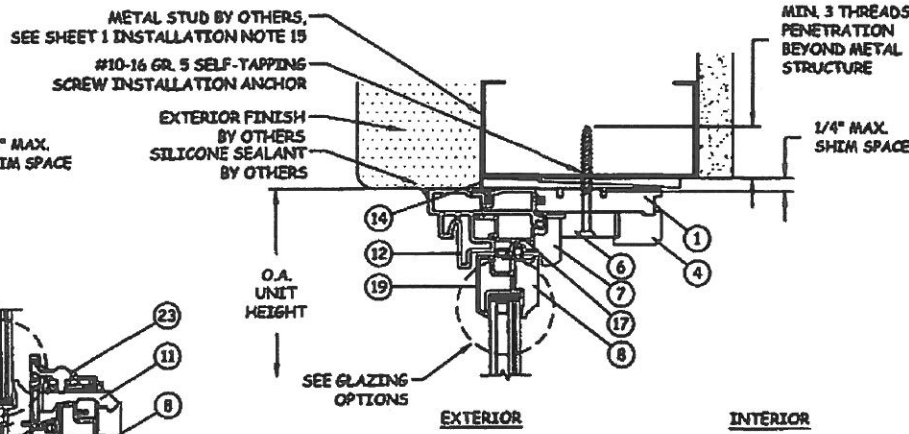
NO.	DESCRIPTION	BY	DATE

REVISIONS BY: JLA
 DATE: 04.03.12
 SCALE: NTS

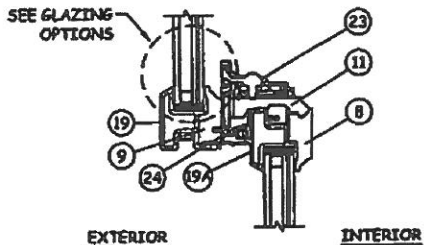
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 SHEET: 3 OF 6



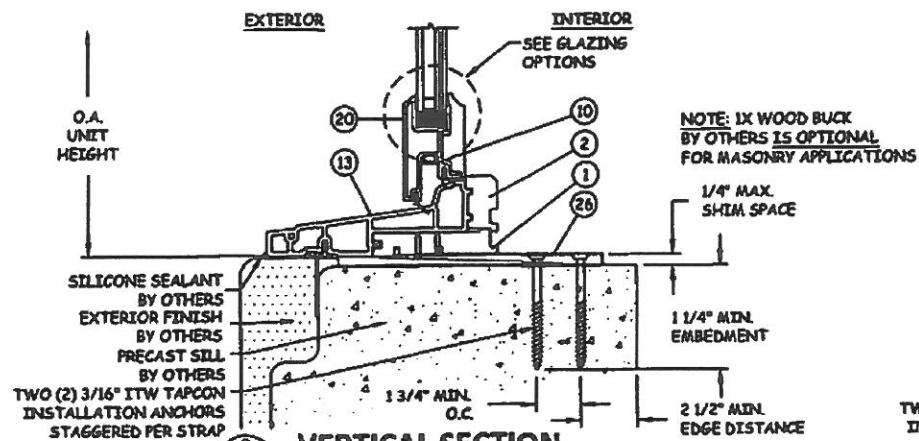
B
3
 VERTICAL SECTION
 HEAD - 2X WOOD BUCK
 INSTALLATION CLIP



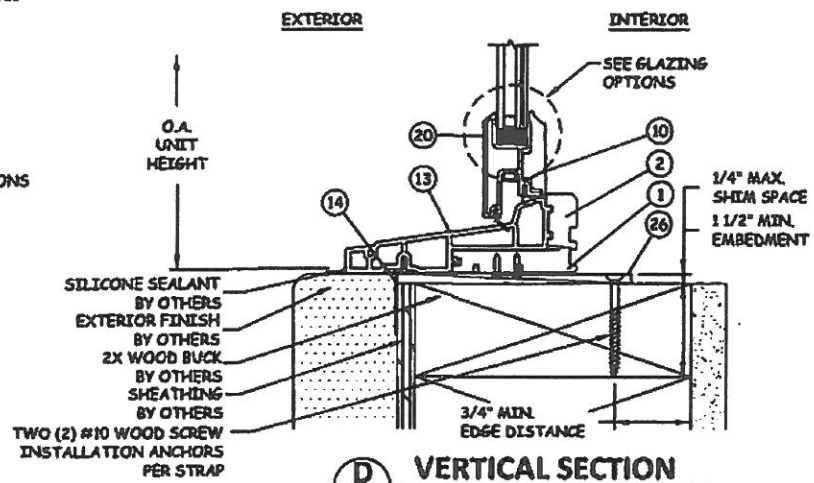
C
3
 VERTICAL SECTION
 HEAD - METAL STUD
 THROUGH FRAME INSTALLATION



E
3
 VERTICAL SECTION
 MEETING RAIL



A
3
 VERTICAL SECTION
 SILL - CONCRETE/MASONRY
 INSTALLATION STRAP

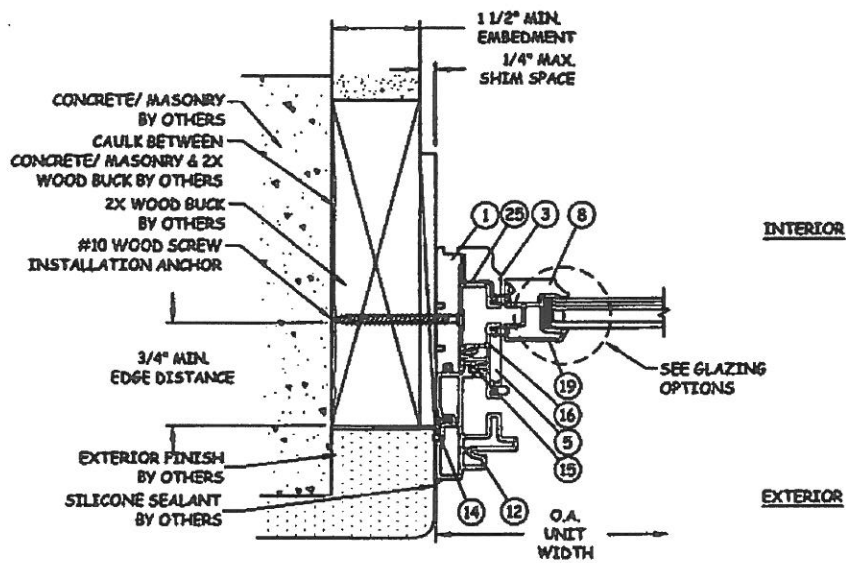


D
3
 VERTICAL SECTION
 SILL - 2X WOOD FRAME
 INSTALLATION STRAP

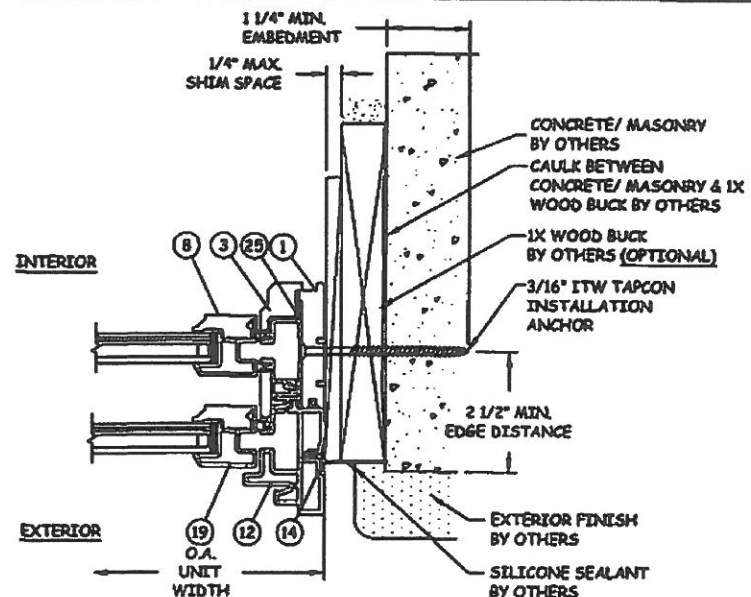


100 FOURTH AVE. NORTH
 BENTON, IA 50003-0000
 P: (562) 264-5100 F: (562) 264-5400

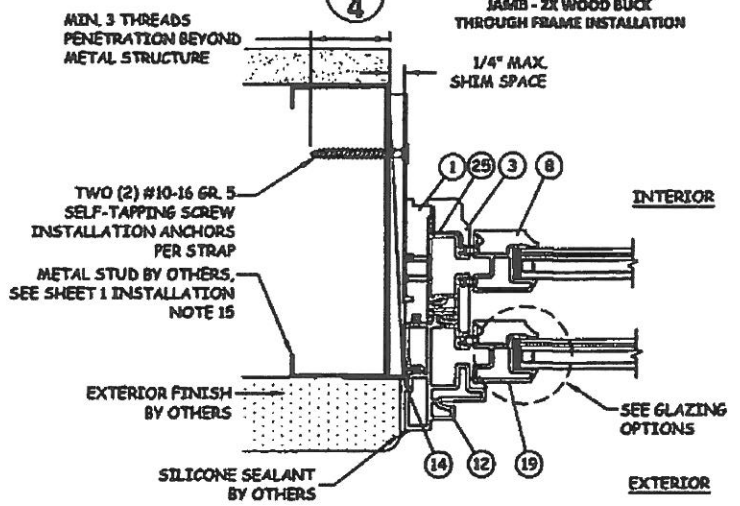
TITLE: 4-SERIES DOUBLE HUNG WINDOW HORIZONTAL SECTIONS & GLAZING OPTIONS
 PREPARED BY:
 BUILDING DROPS, INC.
 127 W. FAIRBANKS AVE., STE. 438
 WINTEN PARK, FL 32789
 P: (407) 644-4987 F: (407) 644-2366



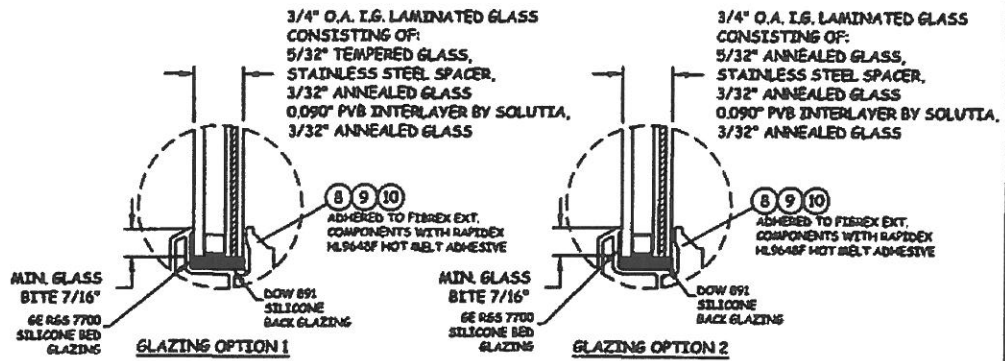
F HORIZONTAL SECTION
 JAMB - 2X WOOD BUCK THROUGH FRAME INSTALLATION



G HORIZONTAL SECTION
 JAMB - CONCRETE/MASONRY THROUGH FRAME INSTALLATION



H HORIZONTAL SECTION
 JAMB - METAL STUD INSTALLATION STRAP



NOTE:
 1) FIXED GLASS LITES GREATER THAN 36" IN WIDTH SHALL HAVE TWO APPROVED SETTING BLOCKS AS SPECIFIED IN FBC SECTION 2411.3.3.1.
 2) FOR INSTALLATION ABOVE 30 FT. ABOVE GRADE IN AREAS REQUIRING IMPACT RESISTANCE, ALL UNITS MUST BE SAFETY GLAZED OR COVERED BY AN IMPACT PROTECTIVE SYSTEM PER FBC SECTION 2411.3.3.7.

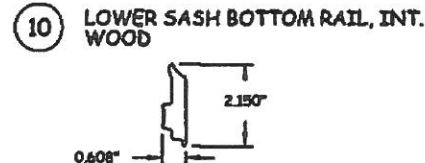
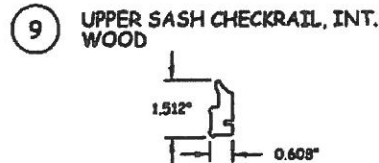
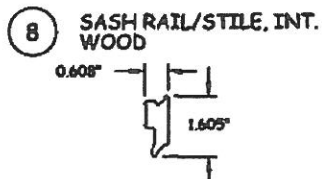
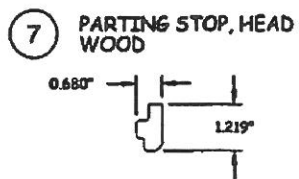
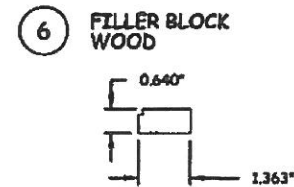
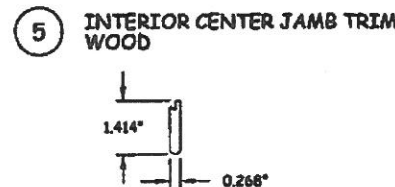
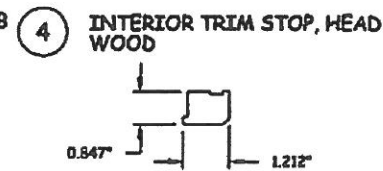
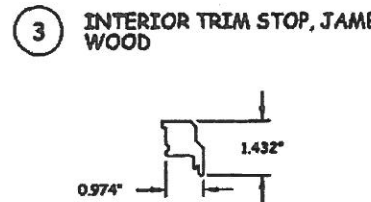
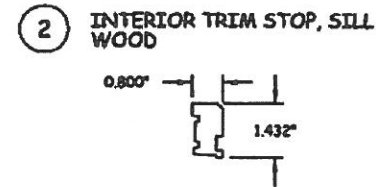
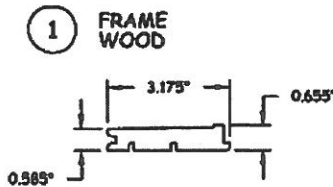
REVISIONS	
NO.	DESCRIPTION

FORWARD TO: ANDERSEN A.S.
 100 FOURTH AVE. NORTH
 BENTON, IA 50003-0000
 407 WOODBINE AVE., STE. 200
 WINTEN PARK, FL 32789
 PERMIT CONTACT: JAMES@ANDERSEN.COM

DATE: 04.03.12
 DWN BY: JLA
 CHK BY: HFN
 SCALE: NTS
 DWG #: **AWD042**
 SHEET: 4 OF 6

BILL OF MATERIALS			
ITEM #	DESCRIPTION	MATERIAL	MANUFACTURER
1	FRAME	WOOD	ANDERSEN
2	INTERIOR TRIM STOP, SILL	WOOD	ANDERSEN
3	INTERIOR TRIM STOP, JAMB	WOOD	ANDERSEN
4	INTERIOR TRIM STOP, HEAD	WOOD	ANDERSEN
5	INTERIOR CENTER JAMB TRIM	WOOD	ANDERSEN
6	FILLER BLOCK	WOOD	ANDERSEN
7	PARTING STOP, HEAD	WOOD	ANDERSEN
8	SASH RAIL/STILE, INTERIOR	WOOD	ANDERSEN
9	UPPER SASH CHECKRAIL, INTERIOR	WOOD	ANDERSEN
10	LOWER SASH BOTTOM RAIL, INTERIOR	WOOD	ANDERSEN
11	LOWER SASH CHECKRAIL CAP, INTERIOR	WOOD	ANDERSEN
12	FRAME CLADDING, EXTERIOR	FIBREX®	ANDERSEN
13	SILL FRAME CLADDING, EXTERIOR	FIBREX®	ANDERSEN
14	NAILING FLANGE	RIGID PVC	ANDERSEN
15	SIDE JAMB LINER	FIBREX®	ANDERSEN
16	BALANCE COVER	FIBREX®	ANDERSEN
17	HEAD JAMB LINER	FIBREX®	ANDERSEN
18	UPPER SASH CHECKRAIL WEATHERSTRIP	-	-
19	SASH RAIL/STILE, EXTERIOR	FIBREX®	ANDERSEN
20	LOWER SASH BOTTOM RAIL, EXTERIOR	FIBREX®	ANDERSEN
21	HEAD/JAMB WEATHERSTRIP	-	-
22	BOTTOM RAIL WEATHERSTRIP	-	-
23	SWEEP LOCK AND KEEPER	-	-
24	INTERLOCK, CHECKRAIL	304 SS	-
25	LOAD BRACKET, CHECKRAIL	6ALV. STEEL	-
26	INSTALLATION STRAP	304 SS	-

NOTE: ALL WOOD COMPONENTS ARE RADIATA PINE



150 FOURTH AVE NORTH
BAYPORT, MN 55003-3036
Ph: (651) 264-3100 Fx: (651) 264-0480

TITLE: A-SERIES DOUBLE HUNG WINDOW
BILL OF MATERIALS & COMPONENTS
PREPARED BY:
BUILDING DROPS, INC.
127 W. FAIRBANKS AVE., STE. 438
WINTER PARK, FL 32789
Ph: (407) 444-4927 Fx: (407) 444-3446

NO.	REVISIONS DESCRIPTION	BY	DATE

FORMED IN U.S.A.
100% WOOD PRODUCT
FOR INFO: 1-800-441-4927

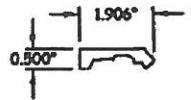
DATE: 04.03.12
DWN BY: JLA
CHK BY: HFN
SCALE: NTS
DWG #: AWD042
SHEET: 5 OF 6



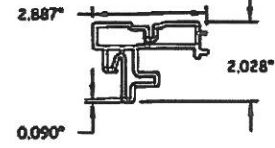
100 FOURTH AVE. NORTH
GAYPORT, MD 21053-1054
PH: (410) 264-9150 FX: (410) 264-0465

TITLE: A-SERIES DOUBLE HUNG WINDOW COMPONENTS
PREPARED BY:
BUILDING DROPS, INC.
127 W. FAIRBANKS AVE., STE. 43B
WINTER PARK, FL 32789
PH: (407) 844-9937 FX: (407) 844-2344

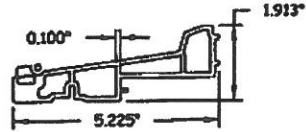
11 LOW. SASH CHECKRAIL CAP, INT. WOOD



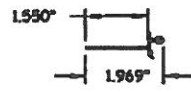
12 FRAME CLADDING, EXT. FIBREX



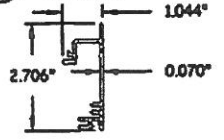
13 SILL FRAME CLADDING, EXT. FIBREX



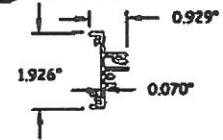
14 NAILING FLANGE RIGID PVC



15 SIDE JAMB LINER FIBREX



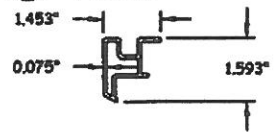
16 BALANCE COVER FIBREX



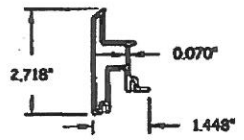
17 HEAD JAMB LINER FIBREX



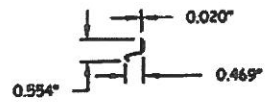
19 SASH RAIL/STILE, EXT. FIBREX



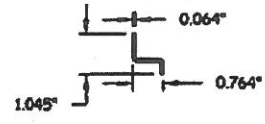
20 LOWER SASH BOTTOM RAIL, EXT. FIBREX



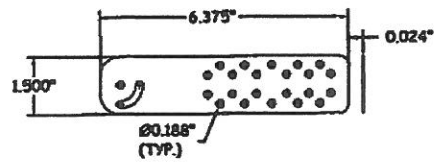
24 INTERLOCK, CHECKRAIL 304 SS



25 LOAD BRACKET CHECKRAIL GALV. STEEL



26 INSTALLATION STRAP 304 SS



NOTE: INSTALLATION STRAPS SHALL BE ATTACHED TO WINDOW FRAME WITH TWO (2) #8 X 5/8\"/>

NO.	REVISIONS DESCRIPTION	BY	DATE

FOR SET & INSTALL SEE 197 W. FAIRBANKS AVE., STE. 43B WINTER PARK, FL 32789 FOR COPY OF ARCHITECTURAL SPEC'S

DATE: 04.03.12
DWN BY: JLA
CHK BY: HFN
SCALE: NTS

DWG #: AWD042

SHEET: 6 OF 6



BUILDING DROPS

A Perfect Solution in Every Drop
Certificate of Authorization: 29578

127 W. Fairbanks Ave.
Suite 438
Winter Park, FL 32789
407.644.6957 PH
407.644.2366 FX
contact@buildingdrops.com

Product Evaluation Report
of
Andersen Corporation
“A-Series Double Hung Window”

for
Florida Product Approval
FL# FL

Report No. 1992

Florida Building Code 2010
Per Rule 9N-3

Method: 1 – D (Engineering Evaluation)
Category: Windows
Sub – Category: Double Hung
Product: *A-Series Double Hung Window*
Material: *Wood/Fibrex Fiberglass*
Product Dimensions: *47.25” x 95.25”*

Prepared For:
Andersen Corporation
100 4th Ave. N
Bayport, Minnesota 55003

Prepared by:
Hermes F. Norero, P.E.
Florida Professional Engineer # 73778
Date: 04/17/12

Contents:
Evaluation Report Pages 1 – 5
Installation Details Pages 6 – 7

Hermes F. Norero, P.E.
Florida No. 73778



BUILDING DROPS

A Perfect Solution in Every Drop
Certificate of Authorization: 29578

FL#: 1992
Date: 04/17/12
Report No: 1992

Manufacturer: Andersen Corporation

Product Category: Windows

Product Sub-Category: Double Hung

Compliance Method: State Product Approval Rule 9N-3.005 (1)(d)

Product Name: A-Series Double Hung Window
47.25" x 95.25"

Scope: This is a Product Evaluation Report issued by Hermes F. Norero, P.E. (FL # 73778) for Andersen Corporation based on Rule Chapter No. 9N-3.005, Method 1d of the State of Florida Product Approval, Department of Community Affairs - Florida Building Commission.

Hermes F. Norero, P.E. does not have nor will acquire financial interest in the company manufacturing or distributing the product or in any other entity involved in the approval process of the product named herein.

This product has been evaluated for use in locations adhering to the 2010 Florida Building Code.

See Installation Instructions AWD042, signed and sealed by Hermes F. Norero, P.E. (FL # 73778) for specific use parameters.

Limits of Use:

1. This product has been evaluated and is in compliance with the 2010 Florida Building Code, including the "High Velocity Hurricane Zone" (HVHZ).
2. Product anchors shall be as listed and spaced as shown on details. Anchor embedment into substrate material shall be beyond wall dressing or stucco.
3. When used in areas requiring wind borne debris protection this product complies with Section 1609.1.2 of the 2010 Florida Building Code and does not require an impact resistant covering.
4. Site conditions that deviate from the details of drawing AWD042 require further engineering analysis by a licensed engineer or registered architect.
5. See Installation Instructions AWD042 for size and design pressure limitations.

Hermes F. Norero, P.E.
Florida No. 73778
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BUILDING DROPS

A Perfect Solution in Every Drop
Certificate of Authorization: 29578

FL#: _____
Date: 04/17/12
Report No: 1992

Quality Assurance: The manufacturer has demonstrated compliance of door products in Accordance with the Florida Building Code and Rule 9N-3.005 (3) for manufacturing under a quality assurance program audited by an approved quality assurance entity through Window and Door Manufacturers Association (FBC Organization #: QUA2515).

Performance Standards: The product described herein has been tested per:

- TAS 201-94
- TAS 202-94
- TAS 203-94
- AAMA/WDMA/CSA 101/I.S.2/A440-05-08
- ASTM E1886-02/05
- ASTM E1996-02/05

- Referenced Data:**
1. **Product Testing performed by Architectural Testing (FBC Organization # TST1795)**
Report: _____ Dated: _____
 2. **Quality Assurance Window and Door Manufacturers Association (FBC Organization #: QUA2515)**
 3. **Material Certifications for fiberglass by Intertek ETL Semko:**
ASTM D 635
Report #: J20039829-231 Date: 2/23/01
Material Certifications for fiberglass by Intertek:
ASTM D 1929
Report #: 100581691MID-002 Date: 2/17/2012
ASTM E 84
Report #: 100581691SAT-001A Date: 2/27/2012
Material Certifications for fiberglass by PRI Asphalt Technologies:
ASTM G 26 & ASTM D 638
Report #: ARR-03-02-01 Date: 8/14/01
 4. **Material Certifications for PVC by Aspen Research Corporation:**
"South Florida outside 45 degree exposure for 5 years" (in lieu of ASTM G 26/G 155) & ASTM D 638
Report #: F4693 Date: 03/24/99
Material Certifications for PVC by Intertek ETL Semko:
ASTM E 84
Report #: 3100559SAT-004 Date: 08/04/06
ASTM D 1929
Report #: 3100559SAT-001 Date: 08/09/06
ASTM D 635
Report #: 3100559SAT-007 Date: 08/08/06
***Note: All material test results meet minimum requirements of FBC including HVHZ.**

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Florida No. 73778
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BUILDING DROPS

A Perfect Solution In Every Drop
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FL#: _____
Date: 04/17/12
Report No: 1992

Installation: 1. Approved anchor types and substrates are as follows:

Through Frame Installation:

- A. For two by (2X) wood frame substrate, use #10 Wood Screws type wood frame anchors of sufficient length to achieve minimum embedment of 1.50" into wood framing.
- B. For concrete or masonry substrate where one by (1X), non-structural, wood bucking is employed, use 3/16" diameter ITW Tapcon type concrete screw anchors of sufficient length to achieve minimum embedment of 1.25" into concrete or masonry.
- C. For concrete or masonry substrate where wood bucking is NOT employed, use 3/16" diameter ITW Tapcon type concrete screw anchors of sufficient length to achieve minimum embedment of 1.25" into concrete or masonry.
- D. For metal stud substrate, use #10-16 Gr. 5 Self-Tapping type metal stud anchors of sufficient length to achieve a minimum of 3 threads of penetration beyond metal framing.

Installation Strap:

- A. For two by (2X) wood frame substrate, use two (2) #10 Wood Screws type wood frame anchors per strap of sufficient length to achieve minimum embedment of 1.50" into wood framing.
- B. For concrete or masonry substrate where one by (1X), non-structural, wood bucking is employed, use two (2) 3/16" diameter ITW Tapcon type concrete screw anchors per strap of sufficient length to achieve minimum embedment of 1.25" into concrete or masonry.
- C. For concrete or masonry substrate where wood bucking is NOT employed, use two (2) 3/16" diameter ITW Tapcon type concrete screw anchors per strap of sufficient length to achieve minimum embedment of 1.25" into concrete or masonry.
- D. For metal stud substrate, use two (2) #10-16 Gr. 5 Self-Tapping type metal stud anchors of sufficient length to achieve a minimum of 3 threads of penetration beyond metal framing.

Refer to Installation Instructions (AWD042) for anchor spacing and more details of the installation requirements.

Design Pressure:

+ / - 70 PSF

Hermes F. Norero, P.E.
Florida No. 73778
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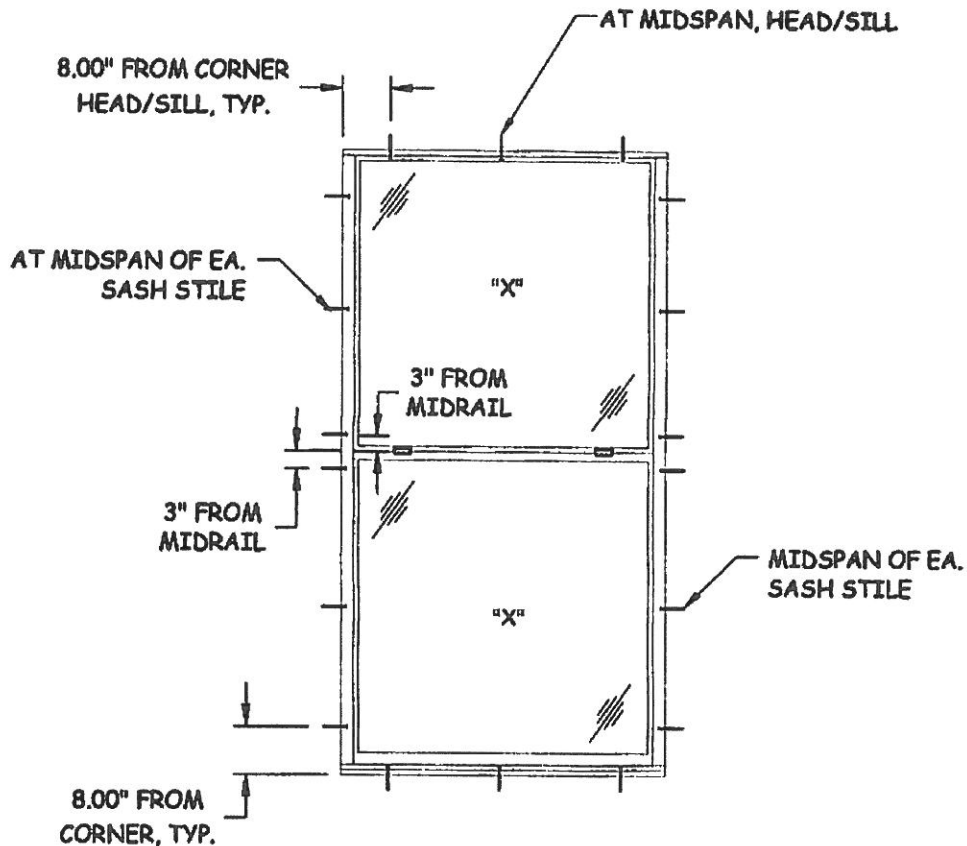
BUILDING DROPS

A Perfect Solution In Every Drop
Certificate of Authorization: 29578

FL#: _____
Date: 04/17/12
Report No: 1992

Installation Method Andersen Corporation

"A-Series Double Hung Window"



Noticing

Public Meeting Notice

The Historic Architectural Review Commission will hold a public hearing at 5:30 p.m., August 15, 2012 at Old City Hall, 510 Greene Street, Key West, Florida. The purpose of the hearing will be to consider a request for:

REPLACE EXISTING STRUCTURE WITH A NEW STRUCTURE WITH SAME THREE DIMENSIONAL FOOTPRINT. NEW SWIMMING POOL. THE BUILDING HAS BEEN DECLARED UNSAFE BY THE CHIEF BUILDING OFFICIAL

#1219 NEWTON STREET

Applicant- PAUL COX - Application Number H12-01-1247

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 3140 Flagler Avenue call 809-3973 or visit our website at www.keywestcity.com .

THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION

**Property Appraiser
Information**

Karl D. Borglum Property Appraiser Monroe County, Florida

Key West (305) 292-3420
Marathon (305) 289-2550
Plantation Key (305) 852-7130

Property Record Card - Map portion under construction.

Website tested on
Internet Explorer.
Requires Adobe Flash
10.3 or higher

Alternate Key: 1023361 Parcel ID: 00022570-000000

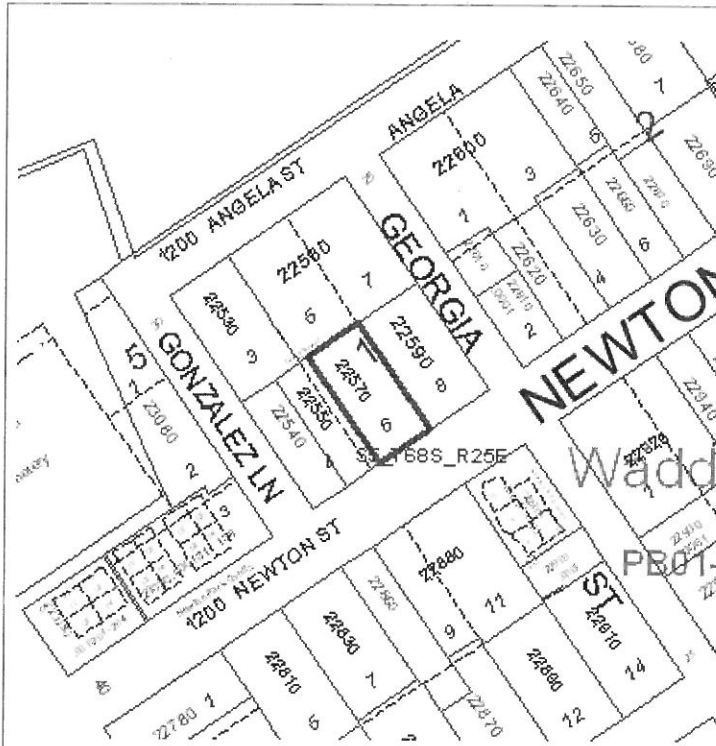
Ownership Details

Mailing Address:
HANCOCK GLORIA JUANITA
2016 PATTERSON AVE
KEY WEST, FL 33040-3715

All Owners:
ALLEN SHEILA ANN GOOTEE, GOOTEE MARVIN BRUCE,
GOOTEE ANTHONY RAY, GOOTEE JAY LAWRENCE,
GOOTEE DAVID ALLEN T/C, RIGGS CHARLES DEWEY JR,
HANCOCK GLORIA JUANITA

Property Details

PC Code: 01 - SINGLE FAMILY
Millage Group: 10KW
Affordable Housing: No
Section-Township-Range: 05-68-25
Property Location: 1219 NEWTON ST KEY WEST
Legal Description: KW WADDELLS SUBDIVISION PB 1-28 PT LT 6 SQR 1 TR 7 G12-494/495 OR620-846D/C OR1251-419/21ORD OR1264-953/55L/E OR1281-940/42C OR2043-762/763P/R OR2220-2226 OR2564-1875D/C





Show Parcel Map that can launch map - Must have Adobe Flash Player 10.3 or higher

Exemptions

Exemption	Amount
44 - ADDL HOMESTEAD	25,000.00
02 - WIDOWS	500.00
39 - 25000 HOMESTEAD	25,000.00

Land Details

Land Use Code	Frontage	Depth	Land Area
010D - RESIDENTIAL DRY	38	80	3,040.00 SF

Building Summary

Number of Buildings: 1
 Number of Commercial Buildings: 0
 Total Living Area: 1230
 Year Built: 1938

Building 1 Details

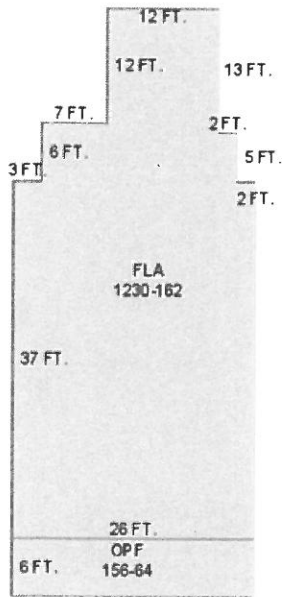
Building Type R1	Condition P	Quality Grade 350
Effective Age 73	Perimeter 162	Depreciation % 65
Year Built 1938	Special Arch 0	Grnd Floor Area 1,230
Functional Obs 0	Economic Obs 0	

Inclusions: R1 includes 1 3-fixture bath and 1 kitchen.

Roof Type GABLE/HIP	Roof Cover METAL	Foundation WD CONC PADS
Heat 1 NONE	Heat 2 NONE	Bedrooms 3
Heat Src 1 NONE	Heat Src 2 NONE	

Extra Features:

2 Fix Bath	0	Vacuum	0
3 Fix Bath	0	Garbage Disposal	0
4 Fix Bath	0	Compactor	0
5 Fix Bath	0	Security	0
6 Fix Bath	0	Intercom	0
7 Fix Bath	0	Fireplaces	0
Extra Fix	0	Dishwasher	0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
1	FLA	1:WD FRAME	1	1990	N	N	0.00	0.00	1,230

Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2011	59,594	0	240,808	300,402	132,813	25,500	107,313
2010	59,594	0	304,000	363,594	130,850	25,500	105,350
2009	96,509	0	462,080	558,589	127,410	25,500	101,910
2008	114,190	0	471,200	585,390	127,283	25,500	101,783
2007	116,958	0	516,800	633,758	123,576	25,500	98,076
2006	250,207	0	304,000	554,207	120,562	25,500	95,062
2005	261,478	0	212,800	474,278	117,050	25,500	91,550

2004	157,788	0	212,800	370,588	113,641	25,500	88,141
2003	157,788	0	94,240	252,028	111,523	25,500	86,023
2002	111,355	0	80,560	191,915	108,910	25,500	83,410
2001	100,268	0	80,560	180,828	107,195	25,500	81,695
2000	100,268	0	57,760	158,028	104,073	25,500	78,573
1999	88,517	0	57,760	146,277	101,337	25,500	75,837
1998	59,925	0	57,760	117,685	99,742	25,500	74,242
1997	54,638	0	51,680	106,318	98,075	25,500	72,575
1996	45,825	0	51,680	97,505	95,219	25,500	69,719
1995	43,357	0	51,680	95,038	92,897	25,500	67,397
1994	38,775	0	51,680	90,455	90,455	25,500	64,955
1993	38,775	0	51,680	90,455	90,455	25,500	64,955
1992	38,775	0	51,680	90,455	90,455	25,500	64,955
1991	38,775	0	51,680	90,455	90,455	25,000	65,455
1990	34,226	0	40,280	74,507	74,507	25,000	49,507
1989	31,115	0	39,520	70,635	70,635	25,000	45,635
1988	25,287	0	34,960	60,247	60,247	25,000	35,247
1987	24,962	0	20,824	45,786	45,786	25,000	20,786
1986	25,101	0	20,064	45,165	45,165	25,000	20,165
1985	24,291	0	12,373	36,664	36,664	25,000	11,664
1984	22,564	0	12,373	34,937	34,937	25,000	9,937
1983	22,564	0	12,373	34,937	34,937	25,000	9,937
1982	23,058	0	12,373	35,431	35,431	25,000	10,431

Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

There are no sales to display for this parcel.

This page has been visited 98,688 times.

Monroe County Property Appraiser
Karl D. Borglum
P.O. Box 1176
Key West, FL 33041-1176