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**Historic Architectural Review Commission**  
**Staff Report for Item 7**

**To:** Acting Chairman Greg Oropeza and Historic Architectural Review Commission Members

**From:** Enid Torregrosa-Silva, MSHP  
Historic Preservation Planner

**Meeting Date:** October 24, 2023

**Applicant:** Heather Korth, Architect

**Application Number:** H2023-0034

**Address:** 740 Amelia Street

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**Description of Work**

Renovations of existing house and new one-story rear addition. New carport replacement. New pool house and deck at rear.

**Site Facts**

The building under review is a contributing resource to the historic district. The one-story minimal traditional house was built in 1948. Minimal changes have been made to the house at its front elevation, but some modifications are observed at the rear. Staff approved a request for the demolition of a non-historic, non-conforming shed at the rear of the property and its replacement with a pool.



*Current survey and 1962 Sanborn Map*



*Front of the house circa 1965.*



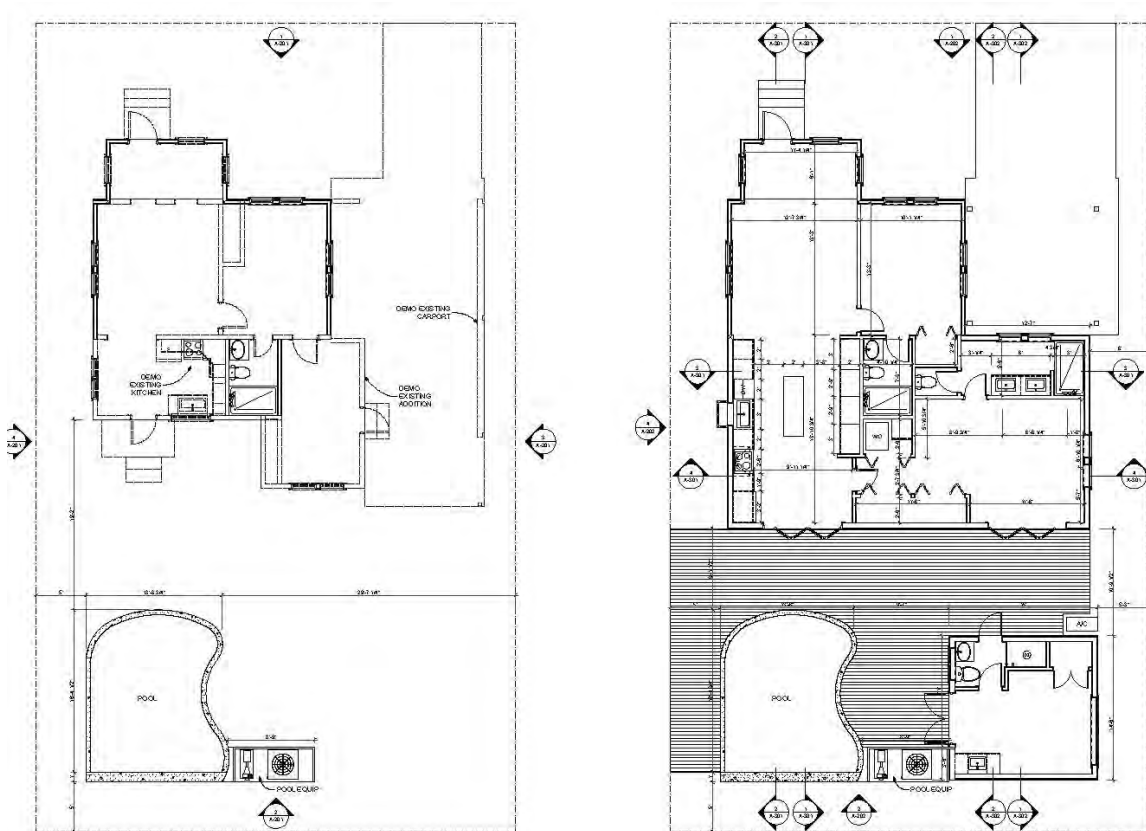
*Front of the house.*

## Guidelines Cited on Review

- Guidelines for windows (pages 29a-1), specifically guideline 6.
- Guidelines for Additions (pages 37a-37k), specifically guidelines 1, 5, 6, 11, 12, 13, 14, 19, 22, and 26.
- New construction (pages 38a-38q), specifically guidelines 1, 2, 10, 12, 18, 22, 23, 24, and 25.
- Decks, patios, hot tubs, spas, pools, and related equipment (page 39a), specifically guideline 1 for new proposed deck.
- Outbuildings (pages 40-41), specifically guidelines 1, 3, and 9.

## Staff Analysis

A Certificate of Appropriateness is under review for renovations to an existing historic house and a new one-story addition that will replace the existing altered rear portion of the house. Renovations to the house include replacement of jalousie windows with impact aluminum single hung units, siding replacement where needed to match existing and new wood front door.



*Existing and Proposed Site Plans.*

The proposed new addition will extend towards the east side, where the double carport roof is located, and the south side of the house. The new addition will be rectangular in footprint and will be covered with a side gable roof. All windows and doors will be new aluminum impact units. The new addition exterior walls will have wood novelty siding and the roof will be finished with 5 v-crimp panels.

The plans also include the replacement of the existing double carport with a new frame structure for a single car. The proposed carport will have a gable roof supported by 4 posts. The carport's roof will be finished with 5 v-crimp panels and there will be no gable ends.

In addition, a new detached accessory structure is proposed in the southeast portion of the site. The structure will have a side gable roof finish with 5 v-crimp metal panels and will extend approximately 13'-9 1/2" from grade to roof's ridge. Exterior walls will be finished with wood novelty siding and windows and doors will be impact aluminum units. The plan includes a deck behind the principal building. New roofs will be of the same or lower in height than the principal.

#### **Consistency with Guidelines Cited Guidelines**

It is the staff's opinion that the proposed design conforms with cited guidelines. The proposed addition will be attached to the rear side of the house and will not alter character defining features of the contributing house. The scale, mass and proportions of the new addition and accessory structure are in keeping with similar land use structures within the area and will not overshadow the principal or surrounding structures. The proposed deck will be behind the principal structure and not visible from the street.

# APPLICATION

Revised

RECEIVED  
SEP 27 2023  
TK

### HARC MAJOR PROJECTS CERTIFICATE OF APPROPRIATENESS

\$463.05 NON-REFUNDABLE BASE APPLICATION FEE - OTHER FEES MAY BE APPLICABLE Rev 10/02/2022 ET



City of Key West  
1300 White Street  
Key West, Florida 33040

HARC COA # <b>HARC 2023-0034</b>	REVISION # <b>0034</b>	INITIAL & DATE <b>TK 9/27/2023</b>
FLOOD ZONE	ZONING DISTRICT	BLDG PERMIT #

**A PRE-APPLICATION MEETING WITH HARC STAFF IS REQUIRED PRIOR TO SUBMITTAL**

ADDRESS OF PROPOSED PROJECT:	740 Amelia St.	
NAME ON DEED:	Robert Bell & Leslie Ludka	PHONE NUMBER 617-771-7744
OWNER'S MAILING ADDRESS:	740 Amelia St.	EMAIL lesliebell613@gmail.com
	Key West, FL 33040	
APPLICANT NAME:	Heather Korth	PHONE NUMBER 720-840-9578
APPLICANT'S ADDRESS:	1201 N. Williams St., Apt 3A	EMAIL heather@korthcollaborativedesign.com
	Denver, CO 80218	
APPLICANT'S SIGNATURE:	<i>Heather M Korth</i>	DATE 9/22/23

**ANY PERSON THAT MAKES CHANGES TO AN APPROVED CERTIFICATE OF APPROPRIATENESS MUST SUBMIT A NEW APPLICATION.**

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND-DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083. THE APPLICANT FURTHER HEREBY ACKNOWLEDGES THAT THE SCOPE OF WORK AS DESCRIBED IN THE APPLICATION SHALL BE THE SCOPE OF WORK THAT IS CONTEMPLATED BY THE APPLICANT AND THE CITY. THE APPLICANT FURTHER STIPULATES THAT SHOULD FURTHER ACTION BE TAKEN BY THE CITY FOR EXCEEDING THE SCOPE OF THE DESCRIPTION OF WORK, AS DESCRIBED HEREIN, AND IF THERE IS CONFLICTING INFORMATION BETWEEN THE DESCRIPTION OF WORK AND THE SUBMITTED PLANS, THE AFOREMENTIONED DESCRIPTION OF WORK SHALL BE CONTROLLING.

PROJECT INCLUDES: REPLACEMENT OF WINDOWS  RELOCATION OF A STRUCTURE \_\_\_\_\_ ELEVATION OF A STRUCTURE \_\_\_\_\_  
PROJECT INVOLVES A CONTRIBUTING STRUCTURE: YES  NO \_\_\_\_\_ INVOLVES A HISTORIC STRUCTURE: YES  NO \_\_\_\_\_  
PROJECT INVOLVES A STRUCTURE THAT IS INDIVIDUALLY LISTED ON THE NATIONAL REGISTER: YES \_\_\_\_\_ NO

DETAILED PROJECT DESCRIPTION INCLUDING MATERIALS, HEIGHT, DIMENSIONS, SQUARE FOOTAGE, LOCATION, ETC.	
GENERAL:	This project consists of remodeling an existing one story single family home built in 1948, adding on to the rear portion, replacing the carport, and building a pool house accessory structure.
MAIN BUILDING:	The historic, front portion of the house will remain the same with only the windows and front door being replaced. The interior will be reconfigured and the rear addition will include an expanded kitchen and master bedroom and bathroom. The rear addition will have a gable roof running parallel to the existing front gable roof creating a sawtooth roof. The existing shed roof carport will be replaced with a gable roof carport that matches the roof orientation and slope of the entry. All new roofs will be equal to or shorter than the existing, historic front gable roof.
DEMOLITION (PLEASE FILL OUT AND ATTACH DEMOLITION APPENDIX):	The non-historic and non-contributing rear portion of the existing home will be demoed and reconfigured to accommodate the new addition. The non-historic and non-contributing carport will also be demoed and replaced.

**APPLICATIONS MUST BE SUBMITTED IN PERSON WITH HARD COPIES BY 3PM ON THE SCHEDULED DEADLINE  
PLEASE SEND AN ELECTRONIC COPY OF ALL DOCUMENTS [CITY\\_HARC@CITYOFKEYWEST-FL.GOV](mailto:CITY_HARC@CITYOFKEYWEST-FL.GOV)**

<b>ACCESSORY STRUCTURE(S):</b> A new 218 sq. ft. pool house will be built in the rear yard. The gable roof will not exceed the height of the main house.	
<b>PAVERS:</b> Existing pavers in the rear yard will be removed.	<b>FENCES:</b> Existing fences will remain as is.
<b>DECKS:</b> A 614 sq. ft. deck will be built around the pool and pool house.	<b>PAINTING:</b> The accessory structure and addition will be painted turquoise to match the existing house color.
<b>SITE (INCLUDING GRADING, FILL, TREES, ETC):</b>	<b>POOLS (INCLUDING EQUIPMENT):</b>
<b>ACCESSORY EQUIPMENT (GAS, A/C, VENTS, ETC):</b>	<b>OTHER:</b>
A split system a/c condenser will be installed adjacent to the pool house.	

<b>OFFICIAL USE ONLY:</b>	<b>HARC COMMISSION REVIEW</b>	<b>EXPIRES ON:</b>
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
REASONS OR CONDITIONS:		
STAFF REVIEW COMMENTS:		
FIRST READING FOR DEMO:	SECOND READING FOR DEMO:	
HARC STAFF SIGNATURE AND DATE:	HARC CHAIRPERSON SIGNATURE AND DATE:	

**THIS APPLICATION MAY BE REVIEWED BY PLANNING DEPARTMENT STAFF.**



## HARC CERTIFICATE OF APPROPRIATENESS: DEMOLITION APPENDIX



**City of Key West**

1300 White Street  
Key West, Florida 33040

HARC COA # <i>H. 2023-0034</i>	INITIAL & DATE
ZONING DISTRICT	BLDG PERMIT #

ADDRESS OF PROPOSED PROJECT:	740 Amelia St., Key West, FL 33040
PROPERTY OWNER'S NAME:	Bob Bell & Leslie Ludka
APPLICANT NAME:	Heather Korth

*I hereby certify I am the owner of record and that the work shall conform to all applicable laws of this jurisdiction. By receiving a Certificate of Appropriateness, I realize that this project will require a Building Permit approval PRIOR to proceeding with the work outlined above and that a final inspection is required under this application. I also understand that any changes to an approved Certificate of Appropriateness must be submitted for review.*

	Leslie Ludka 9/20/2023 DATE AND PRINT NAME
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DETAILED PROJECT DESCRIPTION OF DEMOLITION
The non-historic rear portion of the existing home will be demoed and reconfigured to accommodate the new addition.
This rear portion of the home has a variety of low-sloped roofs that were added onto the main home over time.
The historic portion of the home consists of a gable roof and front entry, both of which will be maintained in their existing configuration.
The low-sloped roof carport, which was also added onto over time, will also be demoed and replaced.

CRITERIA FOR DEMOLITION OF CONTRIBUTING OR HISTORIC STRUCTURES:
<b>Before any Certificate of Appropriateness may be issued for a demolition request, the Historic Architectural Review Commission must find that the following requirements are met (please review and comment on each criterion that applies):</b>
(1) If the subject of the application is a contributing or historic building or structure, then it should not be demolished unless its condition is irrevocably compromised by extreme deterioration or it does not meet any of the following criteria:
(a) The existing condition of the building or structure is irrevocably compromised by extreme deterioration.
(2) Or explain how the building or structure meets the criteria below:
(a) Embodies no distinctive characteristics of a type, period, or method of construction of aesthetic or historic significance in the city and is not a significant and distinguishable building entity whose components may lack individual distinction.

Nothing in this application is intended to alter the authority of the Building Official to condemn for demolition dangerous buildings, as provided in Section 102-218 of the Land Development Regulations and Chapter 14 of the Code of Ordinances.

(b) Is not specifically associated with events that have made a significant contribution to local, state, or national history.

(c) Has no significant character, interest, or value as part of the development, heritage, or cultural characteristics of the city, state or nation, and is not associated with the life of a person significant in the past.

(d) Is not the site of a historic event with significant effect upon society.

(e) Does not exemplify the cultural, political, economic, social, or historic heritage of the city.

(f) Does not portray the environment in an era of history characterized by a distinctive architectural style.

(g) If a part of or related to a square, park, or other distinctive area, nevertheless should not be developed or preserved according to a plan based on the area's historic, cultural, natural, or architectural motif.

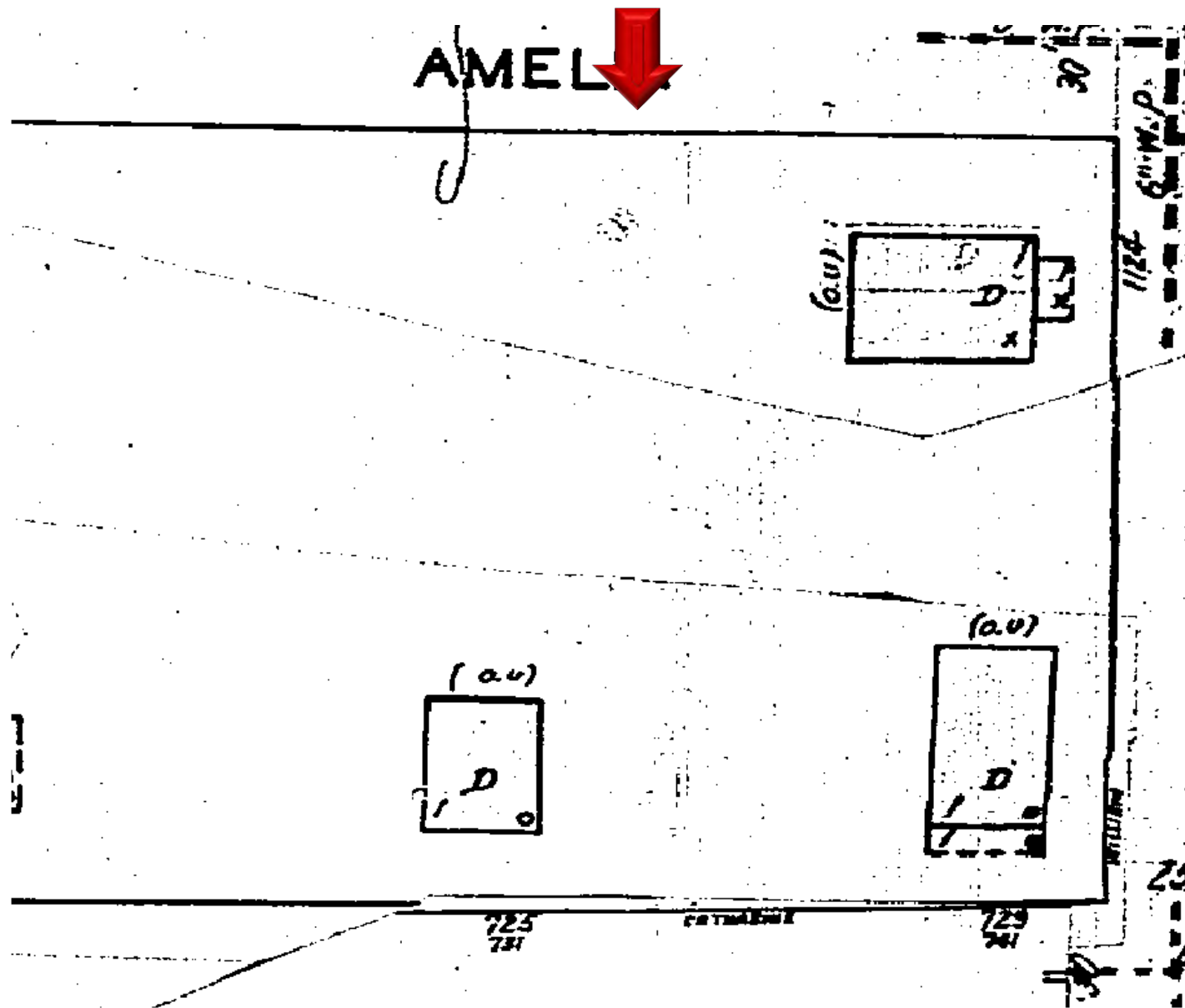
(h) Does not have a unique location or singular physical characteristic which represents an established and familiar visual feature of its neighborhood or of the city, and does not exemplify the best remaining architectural type in a neighborhood.

Nothing in this application is intended to alter the authority of the Building Official to condemn for demolition dangerous buildings, as provided in Section 102-218 of the Land Development Regulations and Chapter 14 of the Code of Ordinances.

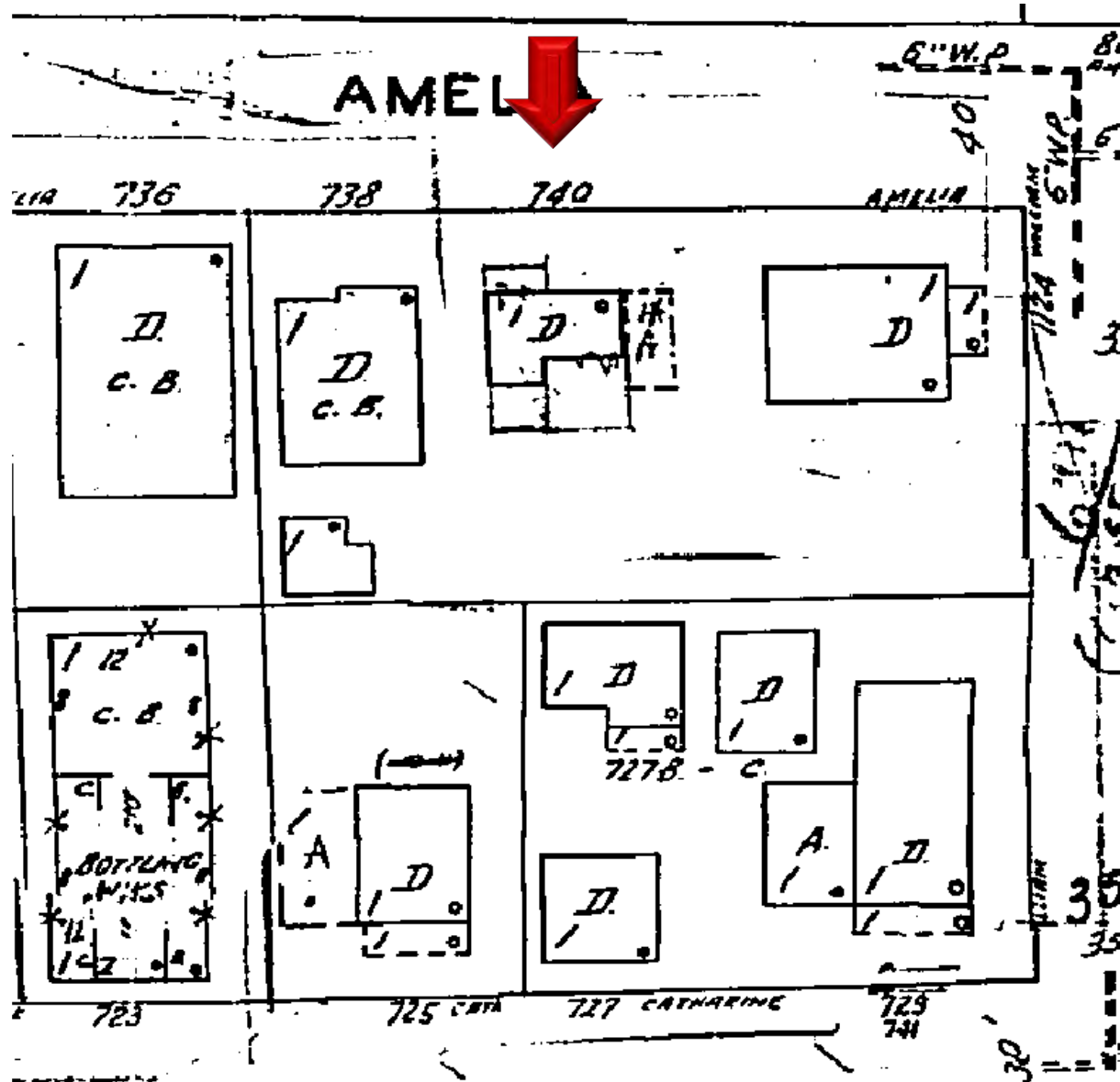
(i) Has not yielded, and is not likely to yield, information important in history,

CRITERIA FOR DEMOLITION OF NON-CONTRIBUTING OR NON-HISTORIC STRUCTURES:
<b>The following criteria will also be reviewed by the Historic Architectural Review Commission for proposed demolitions. The Commission shall not issue a Certificate of Appropriateness that would result in the following conditions (please review and comment on each criterion that applies):</b>
(1) Removing buildings or structure that are important in defining the overall historic character of a district or neighborhood so that the character is diminished.
The rear portion of the existing home and carport are non-historic and non-contributing. None of these structures define the overall historic character of a district or neighborhood.
(2) Removing historic buildings or structures and thus destroying the historic relationship between buildings or structures and open space.
The rear portion of the existing home and carport are non-historic and do not create an historic relationship between the existing home and open space. The structures to be demolished were additions and have detracted from the existing historic home on the property.
(3) Removing an historic building or structure in a complex; or removing a building façade; or removing a significant later addition that is important in defining the historic character of a site or the surrounding district or neighborhood.
The structures to be demolished were later additions to the home that did not define the historic character of the site or the surrounding district or neighborhood.
(4) Removing buildings or structures that would otherwise qualify as contributing.
The rear portion of the existing home and carport are non-historic and non-contributing.

# SANBORN MAPS



Sanborn Map 1948



Sanborn Map 1962

# PROJECT PHOTOS



**740 Amelia Street circa 1965. Monroe County Library.**



# 740 AMELIA STREET



NORTH ELEVATION

# 740 AMELIA STREET



SOUTH ELEVATION

# 740 AMELIA STREET



EAST ELEVATION

740 AMELIA STREET



WEST ELEVATION

# 740 AMELIA STREET



ADJOINING PROPERTIES

# SURVEY

BEARING BASE:  
ALL BEARINGS ARE BASED  
ON  $55^{\circ} 18' 07'' W$  ASSUMED  
ALONG THE CENTERLINE OF  
AMELIA STREET.

ALL ANGLES DEPICTED  
ARE 90 DEGREES UNLESS  
OTHERWISE INDICATED

ALL UNITS ARE SHOWN IN  
U.S. SURVEY FEET

ADDRESS:  
740 AMELIA STREET  
KEY WEST, FL 33040

COMMUNITY NO.: 120162  
MAP NO.: 12087C-1516K  
MAP DATE: 02-18-05  
FRM REVISION DATE: 06/05/2015  
FLOOD ZONE: X-SHADED + X BASE  
ELEVATION: N/A

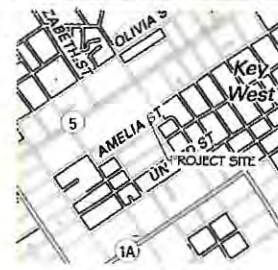
# MAP OF BOUNDARY SURVEY

## LEGEND

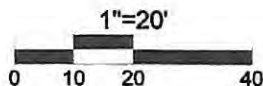
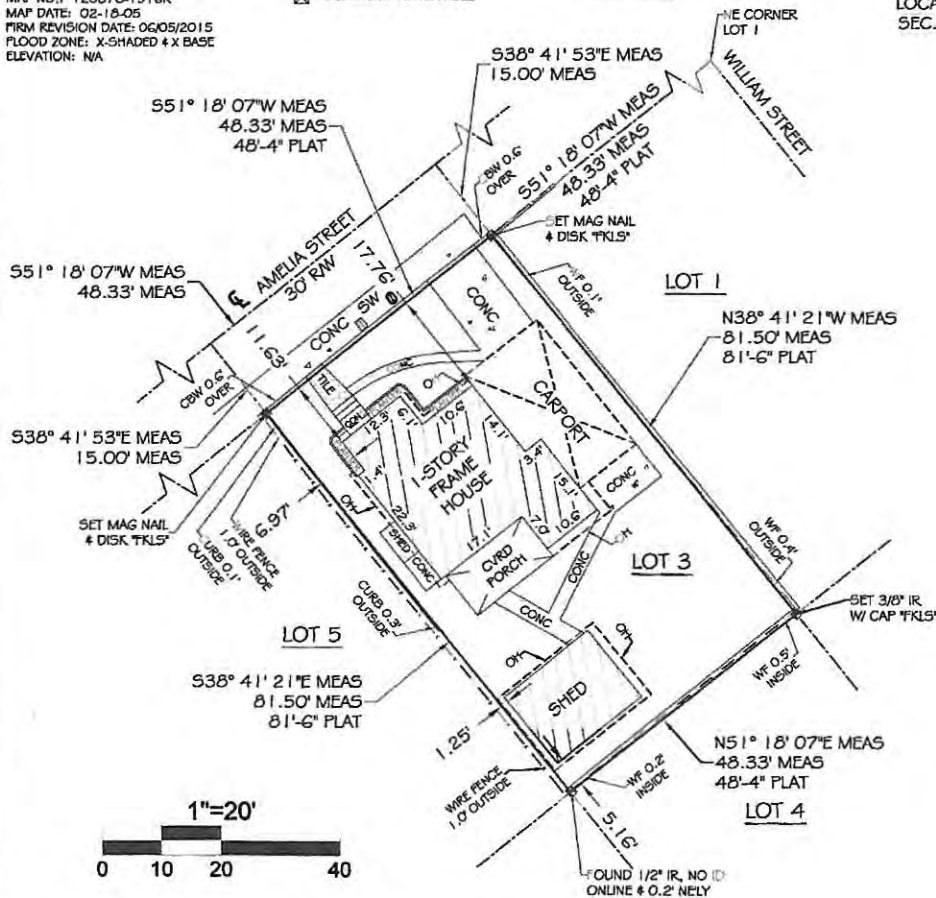
- WATER METER
- SANITARY SEWER CLEAN OUT
- MAILBOX
- WOOD POWER POLE
- CONCRETE POWER POLE



ASSUMED



LOCATION MAP - NTS  
SEC. 06-T685-R25E



TOTAL AREA = 3,938.90 SQFT±

### LEGAL DESCRIPTION -

On the island of Key West, said County and State, Lot Three (3), of a subdivision according to a plat thereof recorded in Plat Book 1, Page 7B, in the Office of the Clerk of the Circuit Court in and for Monroe County, Florida (Tract 12).

NOTE: FOUNDATIONS BENEATH THE SURFACE ARE NOT SHOWN. MEASURED DIMENSIONS EQUAL PLATTED OR DESCRIBED DIMENSIONS UNLESS INDICATED OTHERWISE.

THE FOLLOWING IS A LIST OF ABBREVIATIONS THAT MAY BE FOUND ON THIS SHEET.

- |   |
|---|
| <ul style="list-style-type: none"> <li>DPF = DRAINAGE PREVENTER</li> <li>DO = DRAIN OUTLET</li> <li>C&amp;E = 2" GALVANIZED CURB &amp; GUTTER</li> <li>CB = CONCRETE BLOCK</li> <li>CMW = CONCRETE BLOCK WALL</li> <li>CL = CENTERLINE</li> <li>CUF = CHAINLINK FENCE</li> <li>CM = CONCRETE MANSARD</li> <li>CONC = CONCRETE</li> <li>CPY = CONCRETE PERISPHERE</li> <li>COVR = COVERED</li> <li>DELA = GUTTER DRAINAGE</li> <li>DISC = GRANULITE EASEMENT</li> <li>D = DRAINAGE</li> <li>ENCLOSURE = ENCLOSURE</li> <li>EP = EDGE OF PAVEMENT</li> <li>FT = FINISHED FLOOR ELEVATION</li> <li>FL = FIRE HYDRANT</li> <li>FR = FENCE RISER</li> <li>FRG = FOUND</li> <li>FO = FENCE OUTSIDE</li> <li>FOU = FENCE ONLINE</li> <li>GLY = GUY WIRE</li> <li>HIS = HEAVY IRON</li> <li>IP = IRON PIPE</li> <li>IR = IRON ROD</li> <li>L = ARC LENGTH</li> <li>LS = LANSCHAINS</li> <li>MAS = MANHOLE</li> <li>MEAS = MEASURED</li> <li>MEW = MEAN HIGH WATER LINE</li> <li>MOVD = NATIONAL GEODETIC VERTICAL DATUM (1985)</li> <li>N75 = NOT TO SCALE</li> <li>OP = OVERPASS</li> <li>OW = OVERROAD WIRE</li> <li>PC = POINT OF CURVE</li> <li>PM = PARKING MARK</li> <li>POC = POINT OF COMMENCEMENT CURVE</li> <li>POP = PERMANENT CONTROL POINT</li> <li>PR = PARKING SIGN</li> <li>PVS = POINT OF BEGINNING</li> <li>PI = POINT OF INTERSECTION</li> <li>POC = POINT OF COMMENCEMENT</li> <li>POC = POINT OF REVERSE CURVE</li> <li>PRM = PERMANENT REFERENCE MONUMENT</li> <li>PT = POINT OF TANGENT</li> <li>R = RADIUS</li> <li>RAW = RIGHT OF WAY LINE</li> <li>SSC&amp;C = SANITARY SEWER CLEAN OUT</li> <li>SW = SIDE WALK</li> <li>TEMP = TEMPORARY SPURWAYS</li> <li>TOP = TOP OF BANK</li> <li>TOS = TOP OF SLOPE</li> <li>TS = TRAFFIC SIGN</li> <li>TRF = TRUCK</li> <li>UR = UNRECOVERABLE</li> <li>UL = UTILITY UNDERPINNING</li> <li>WD = WOOD FENCE</li> <li>WF = WOOD FENCE</li> <li>WM = WOOD MASTING</li> <li>WM = WATER METER</li> <li>WPP = WOOD POWER POLE</li> <li>WL = LINE OF DEBERS ON SHORE</li> <li>WV = WATER VALVE</li> </ul> |
|---|

### CERTIFIED TO -

Juan Gonzalez;  
Fidelity National Title;  
Green and Piotrkowski, PLLC;  
Mark and Michelle Weinberg;

NOTE: LEGAL DESCRIPTIONS HAVE BEEN FURNISHED BY THE CLIENT OR HIS/HER REPRESENTATIVE. PUBLIC RECORDS HAVE NOT BEEN RESEARCHED BY THE SURVEYOR TO DETERMINE THE ACCURACY OF THESE DESCRIPTIONS NOR HAVE ADJOINING PROPERTIES BEEN RESEARCHED TO DETERMINE OVERLAPS OR HATCHES. ADDITIONS OR DELETIONS TO SURVEY MAP OR REPORT BY OTHER THAN THE SIGNING PARTY IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY. THE BOLD LINE SHOWN HEREON REPRESENTS THE SURVEYOR'S OPINION OF THE DEEP LINES - THE MEAN HIGH WATER LINE WAS NOT DETERMINED FOR THIS SURVEY; THE APPARENT MEAN HIGH WATER LINE IS SHOWN FOR REFERENCE ONLY.

SCALE:	1"=20'
FIELD WORK DATE:	05/16/2016
REVISION DATE:	XX/XX/XXXX
SHEET:	1 OF 1
DRAWN BY:	MPB
CHECKED BY:	EAL
JOB NO.:	16-229

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 6J, § 7, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.007, FLORIDA STATUTES AND COMPLIES WITH CHAPTER 177, FLORIDA STATUTES.

SIGNED:

ERIC A. ISAACS, 2661 26755, PROFESSIONAL SURVEYOR AND MAPPER, L#17247

NOT VALID WITHOUT THE SIGNATURE AND THE RAISED SEAL OF A FLORIDA SURVEYOR AND MAPPER



**FLORIDA KEYS  
LAND SURVEYING**  
19960 OVERSEAS HIGHWAY  
SUGARLOAF KEY, FL 33042  
PHONE: (305) 394-3690  
FAX: (305) 509-7373  
EMAIL: FKL5email@gmail.com

# PROPOSED DESIGN



# BELL/LUDKA PHASE 3: HOUSE RENOVATION & ADDITION

## 740 AMELIA STREET



LOCATION MAP



### SHEET INDEX

- A-001 COVER SHEET
- A-101 SITE PLANS
- A-102 DEMO & PROPOSED PLANS
- A-201 EXISTING ELEVATIONS
- A-202 PROPOSED ELEVATIONS
- A-301 SECTIONS
- A-302 SECTIONS

### SCOPE OF WORK

Phase 1, Permit #BLD2023-2703, consisted of demoing a non-contributing shed and building a new pool.

This project consists of remodeling an existing one story single family, built in 1948, and adding on to the rear portion of the building. The historic, front portion of the house will remain the same with only the windows and front door being replaced. The rear addition will include an expanded kitchen and master bedroom and bathroom. The rear addition will have a gable roof running parallel to the existing front gable roof creating a sawtooth roof. The foundation will be replaced with concrete piers. Electrical and plumbing will be replaced and relocated accordingly. An electric tankless hot water heater and split ac/heat pump system will also be installed. The shed roof carport will be replaced with a gable roof carport that matches the roof orientation and slope of the entry. All new roofs will be equal to or shorter than the existing, historic front gable roof. A new pool house accessory structure and deck will also be constructed, and includes new footers and associated plumbing and electrical. A concrete pad will be poured to accommodate a new condenser adjacent to the pool house.

### PROJECT NOTES

- A. MATERIALS:**
- ALL MATERIALS SHALL BE NEW UNLESS OTHERWISE NOTED.
  - CONTRACTOR SHALL FURNISH AND INSTALL ALL MATERIALS REQUIRED FOR THE ASSEMBLIES IN WHICH THEY ARE PART. THIS INCLUDES ALL FASTENERS, JOINERS AND SEALERS.
- B. CONTRACT DOCUMENTS:**
- THE DRAWINGS, ARRANGEMENTS, ANNOTATIONS AND GRAPHICAL PRESENTATIONS ON THE CONTRACT DOCUMENTS ARE THE PROPERTY OF THE ARCHITECT WHO RETAINS OWNERSHIP AND AUTHORSHIP OF THE DOCUMENT IN ITS ENTIRETY. THE DOCUMENTS ARE INSTRUMENTS OF SERVICE AND ARE THE INTELLECTUAL AND PHYSICAL PROPERTY OF THE ARCHITECT. AUTHORIZED USE OF THE DOCUMENTS ARE GRANTED SOLELY FOR THIS PROJECT AND NOT FOR THE CONSTRUCTION OF ANY OTHER PROJECT.
  - THE CONTRACTOR SHALL CAREFULLY EXAMINE ALL CONTRACT DOCUMENTS. THE CONTRACTOR SHALL COORDINATE THE WORK WITH ALL TRADES, INCLUDING BUT NOT LIMITED TO, STRUCTURAL, ELECTRICAL, MECHANICAL, PLUMBING, CIVIL DRAWINGS, AND SPECIALTY DRAWINGS INCLUDING SHOP DRAWINGS AND MATERIAL SPECIFICATIONS. ANY DEVIATIONS OR INCONSISTENCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO COMMENCEMENT OR CONTINUATION OF WORK.
  - ALL DRAWINGS ARE DIAGRAMMATIC AND SCHEMATIC IN NATURE. WORK INCLUDES CERTAIN COMPONENTS, APPURTENANCES AND RELATED SPECIALTIES THAT MAY NOT BE SHOWN. WORK ALSO INCLUDES ALL COMPONENTS OF ASSEMBLIES TO WHICH ARE PART OF THE ASSEMBLY. ARCHITECT SHALL PROVIDE ALL NECESSARY COMPONENTS REQUIRED FOR A COMPLETED STRUCTURE READY FOR HUMAN OCCUPANCY.
- C. RELATED - REFERENCED DOCUMENTS:**
- ALL GENERAL CONDITIONS, SPECIAL REQUIREMENTS OR GENERAL REQUIREMENTS OF THE CONSTRUCTION SPECIFICATIONS OF MATERIAL MANUFACTURERS ARE MADE PART OF THIS SPECIFICATION AND HAVE THE SAME AFFECT AS IF COMPLETELY REPRODUCED.
  - ALL WORK SHALL BE CONDUCTED BY THE CONTRACTOR IN ACCORDANCE WITH THE LATEST ADOPTED EDITIONS OF BUILDING CODES AS OF THE DATE THE PERMIT IS ISSUED FOR THIS PROJECT. CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN CURRENT CODE AND THE DRAWINGS OR SPECIFICATIONS TO THE ARCHITECT PRIOR TO WORK.
  - ALL WORK SHALL BE IN ACCORDANCE WITH INDUSTRY STANDARDS.
- D. AGREEMENTS:**
- ALL AGREEMENTS BETWEEN THE CONTRACTOR AND OWNER SHALL BE IN WRITING.
  - ALL AGREEMENTS SHALL SPELL OUT THE DUTIES AND RESPONSIBILITIES OF EACH PARTY.
- E. QUALIFICATIONS & ASSURANCES:**
- THE CONTRACTOR AND ALL SUB-CONTRACTORS SHALL HAVE A MINIMUM OF 5 YEARS EXPERIENCE IN RESIDENTIAL CONSTRUCTION OF THE TRADE FOR WHICH THEY ARE CONTRACTED.
  - WHERE THE OWNER ACTS ON HIS OWN BEHALF WITH HIS/HER OWN FORCES, THE OWNER WARRANTS THAT HE/SHE HAS THE QUALIFICATIONS AND EXPERIENCE NECESSARY FOR THE ORGANIZATION AND COMPLETION OF WORK TO THE SAME STANDARDS AS THAT OF A HIRED CONTRACTOR.
  - THE CONTRACTOR AND ALL SUB-CONTRACTORS SHALL BE FULLY LICENSED AND BONDED FOR THE WORK FOR WHICH THEY ARE RESPONSIBLE. PROOF OF LICENSURE SHALL BE PROVIDED TO THE OWNER PRIOR TO EXECUTION OF THE AGREEMENT.
  - ALL MATERIALS AND WORKMANSHIP SHALL BE WARRANTED FOR A MINIMUM OF 1 YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION UNLESS OTHERWISE NOTED. THE WARRANTY SHALL INCLUDE THE COST OF MATERIALS, LABOR AND ANY COST ASSOCIATED WITH THE REPAIR.
  - MANUFACTURERS WARRANTIES SHALL BE THE PROPERTY OF THE OWNER AND SHALL BE TRANSFERRED TO THE OWNER UPON SUBSTANTIAL COMPLETION. MANUFACTURERS WARRANTIES SHALL NOT RELEASE THE BUILDER OF HIS RESPONSIBILITY DURING THE WARRANTY PERIOD.
  - ROOF SYSTEMS SHALL BE WARRANTED FOR A MINIMUM PERIOD OF 10 YEARS TO INCLUDE MATERIALS, LABOR AND ANY COST ASSOCIATED WITH THE REPAIR.

- F. PERMITS & FEES:**
- ALL PERMITS AND FEES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
  - CONTRACTOR SHALL SCHEDULE AND COORDINATE ALL INSPECTIONS. ARCHITECT AND OWNER SHALL BE NOTIFIED IN ADVANCE OF INSPECTIONS TO ENABLE THE ARCHITECT AND OWNER TO BE PRESENT IF DESIRED.
- G. MISCELLANEOUS:**
- CONTRACTOR SHALL HAVE A SAFETY PROGRAM IN PLACE AND SHALL BE SOLELY RESPONSIBLE FOR THE IMPLEMENTATION OF SUCH POLICY.
  - THIS PROJECT HAS BEEN DESIGNED IN ACCORDANCE WITH ALL BUILDING CODES, INCLUDING LOCAL AMENDMENTS. AT THE TIME OF PRODUCTION, ARCHITECT ASSUMES IMMEDIATE SUBMITTAL OF DRAWINGS TO THE BUILDING DEPARTMENT UPON COMPLETION. ARCHITECT IS NOT RESPONSIBLE FOR CODE CHANGES OCCURRING MORE THAN 6 MONTHS AFTER COMPLETION OF THESE DRAWINGS.

### GENERAL NOTES

All work shall comply with the Florida Building Code, latest edition, and all applicable laws, codes and ordinances of the city, county, and the state of Florida. In the city of Key West, applicable Codes forming the basis of this design and compliance requirements for the contractor include:

- BUILDING: Florida Building Code, Residential, 2020
- ELECTRICAL: Florida Building Code, Residential, 2020
- PLUMBING: Florida Building Code, Plumbing, 2020
- MECHANICAL: Florida Building Code, Mechanical, 2020
- EXISTING BUILDING: Florida Building Code, Existing Building, 2020

This project was designed in accordance with ASCE 7-16 and to resist a 180 mph ultimate wind load.

Contours and/or existing grades shown are approximate. Verify with field conditions. Final grading shall provide gradual slopes and grades. Slope all grades away from the building. Planting areas shall be graded with soil suitable for planting. Rock and debris will not be allowed.

Contractor shall verify all existing site conditions, their relationships, dimensions and locations and shall notify Architect of any discrepancies with these documents. Where discrepancies between drawings, specifications and code requirements occur, adhere to the most stringent requirement. Do not scale these drawings. Dimensions shall take precedence over scale. Drawings and specifications are complementary. Refer to all sheets of drawings and applicable sections of the specifications for interfaces of work with related trades.

Any errors, omissions, or conflicts found in the drawings shall be brought to the attention of the Architect before proceeding with the work.

The Contractor shall be responsible for all means, methods, techniques, sequences, procedures and coordination of the work.

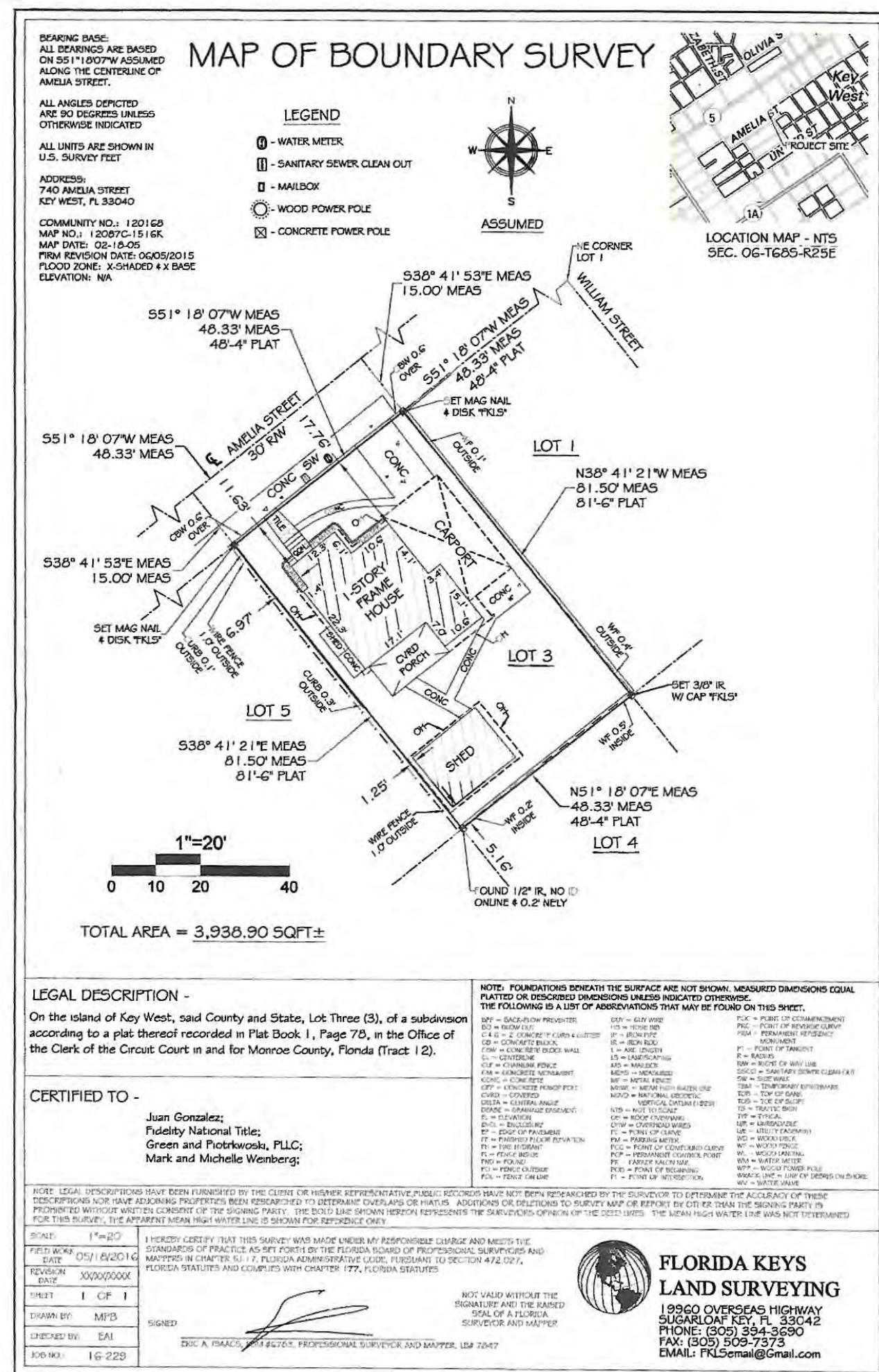
In the event that any unusual conditions not covered by these documents are encountered during construction, the owner and Architect shall be notified immediately.

All materials and equipment shall be installed per manufacturer's instructions.

All existing plumbing and electrical to remain. See plans for additional plumbing and electrical work.

Contractor shall maintain the job site in a neat and safe condition at all times throughout the construction period.

After completion of construction, remove all debris and construction equipment. Restore site to original condition. Notify owner of any possible artifacts uncovered during site grading and throughout the course of construction. Furnish a receptacle on site to contain construction debris and maintain the site in an orderly manner to ensure public safety and prevent blowing debris. Comply with all requirements for selective demolition as specified, shown on the demolition plan, or called for in the selective demolition notes.



SURVEY



### ARCHITECTURE & DESIGN

**Heather Korth, Licensed Architect**  
FL License No: AR98012  
CO License No: 00402981

1201 N. Williams Street, Apr 3A  
Denver, CO 80218  
Heather@KorthCollaborativeDesign.com  
720.840.9578

## BELL/LUDKA RENOVATION

**740 AMELIA STREET  
KEY WEST, FL 33040**

**OWNER**  
**BOB BELL & LESLIE LUDKA**  
740 AMELIA STREET  
KEY WEST, FL 33040

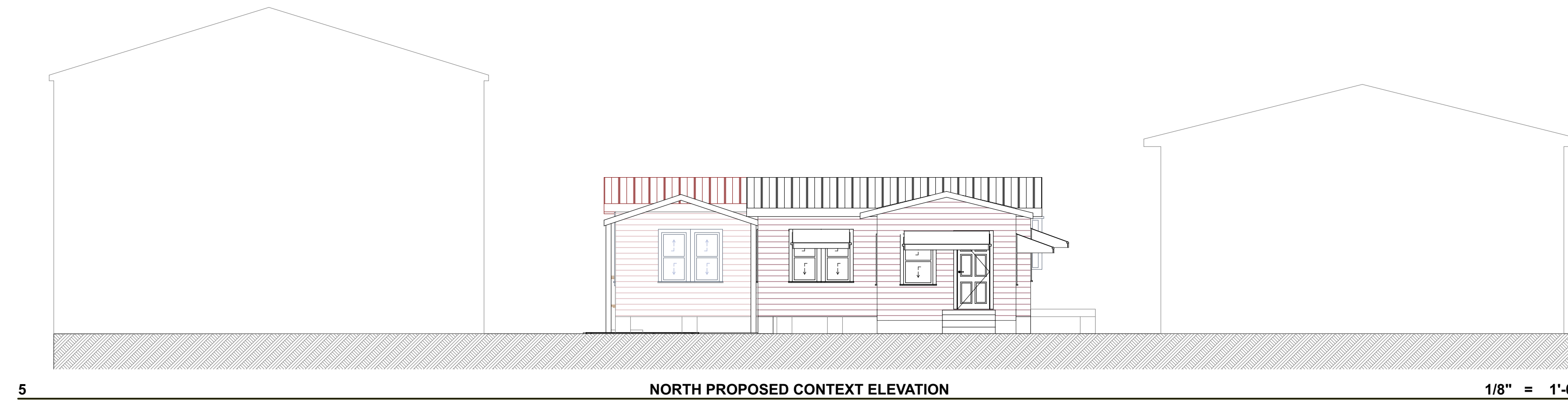
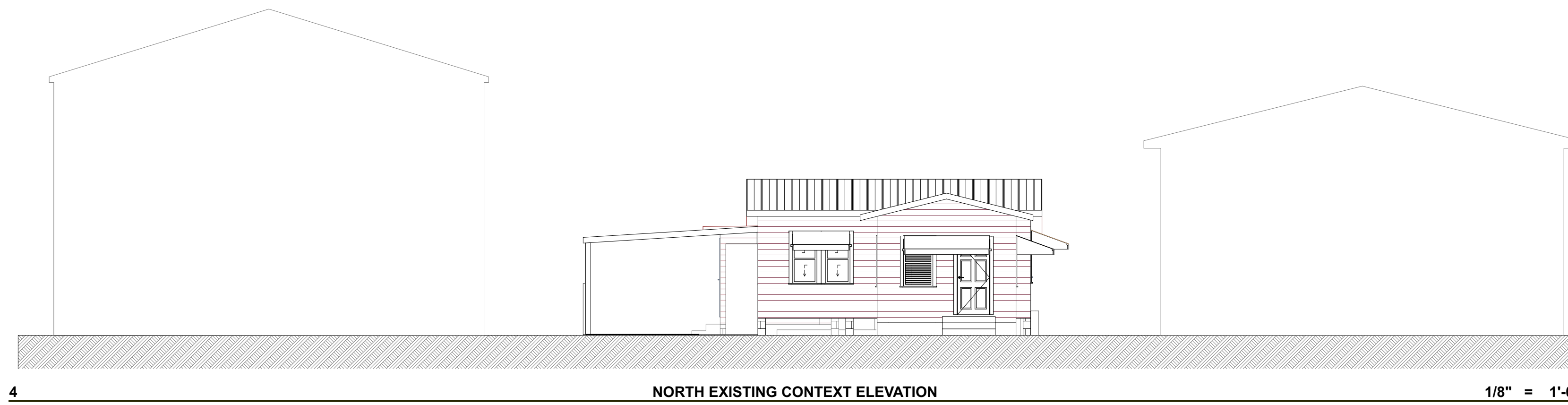
**GENERAL CONTRACTOR:**  
##GC Name  
##GC License Number  
##GC Street Address  
##GC City, State Zip



DATE	DESCRIPTION
9/19/23	CONCEPT DESIGN

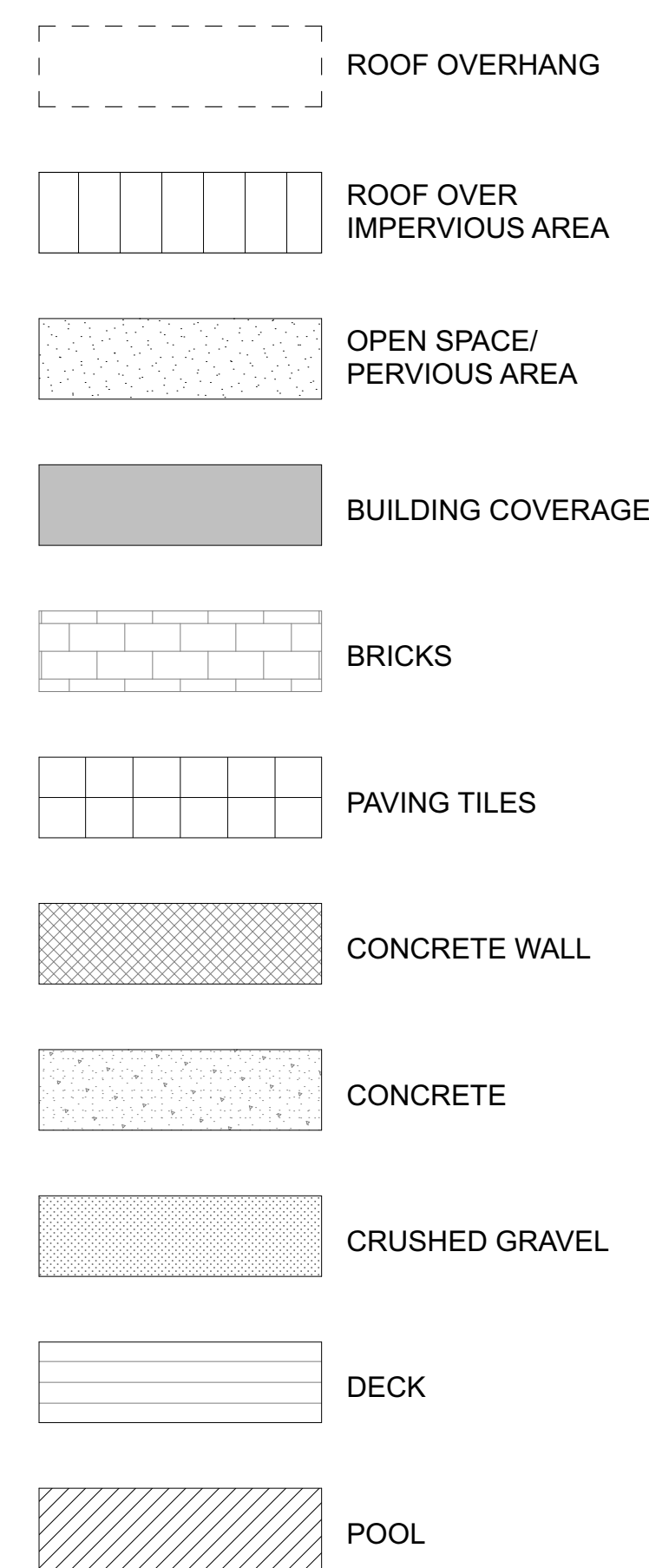
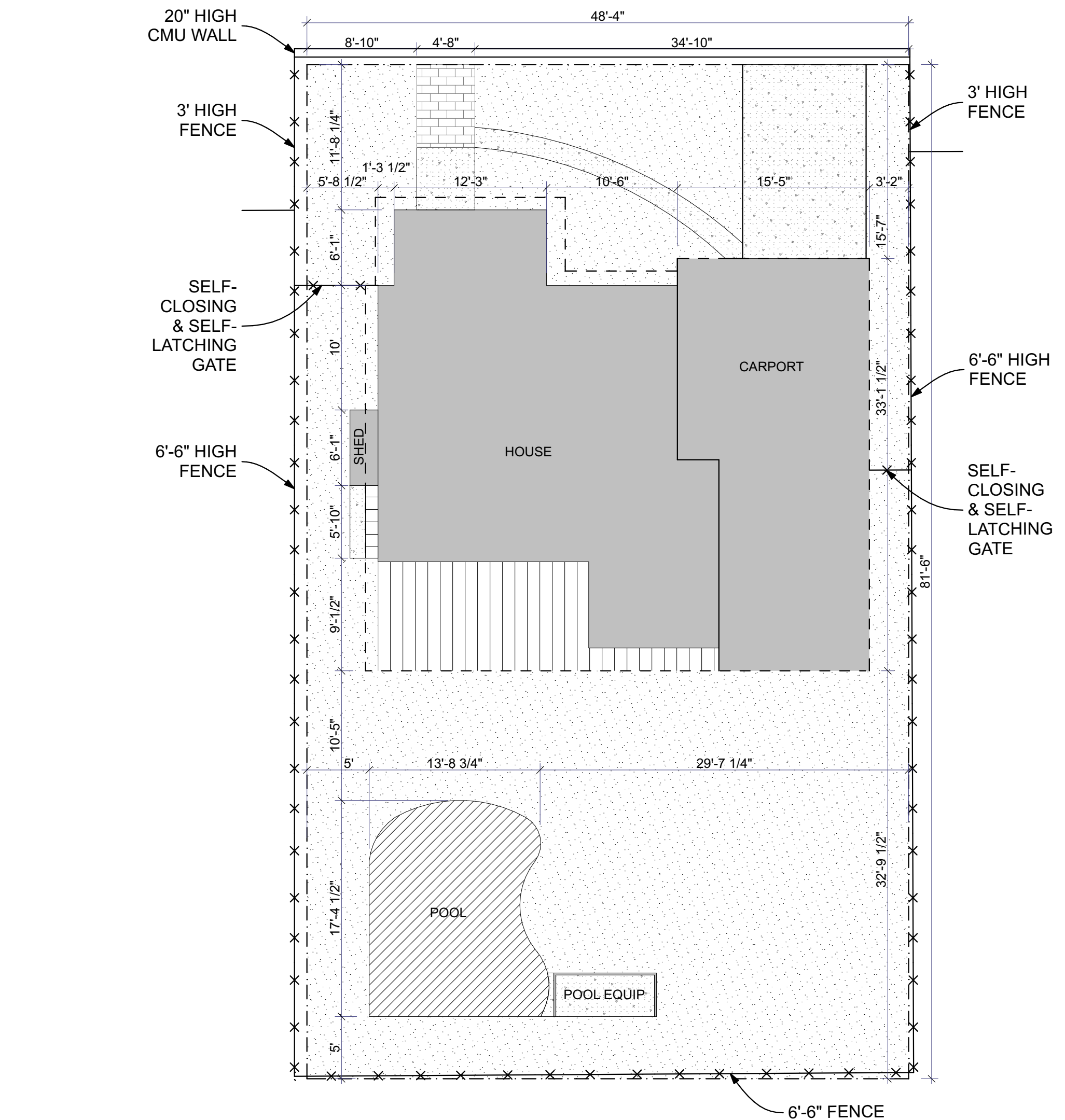
## COVER SHEET

A-001

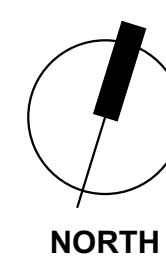


5 NORTH PROPOSED CONTEXT ELEVATION 1/8" = 1'-0"

1 EXISTING SITE PLAN 1/8" = 1'-0"



SITE PLAN KEY

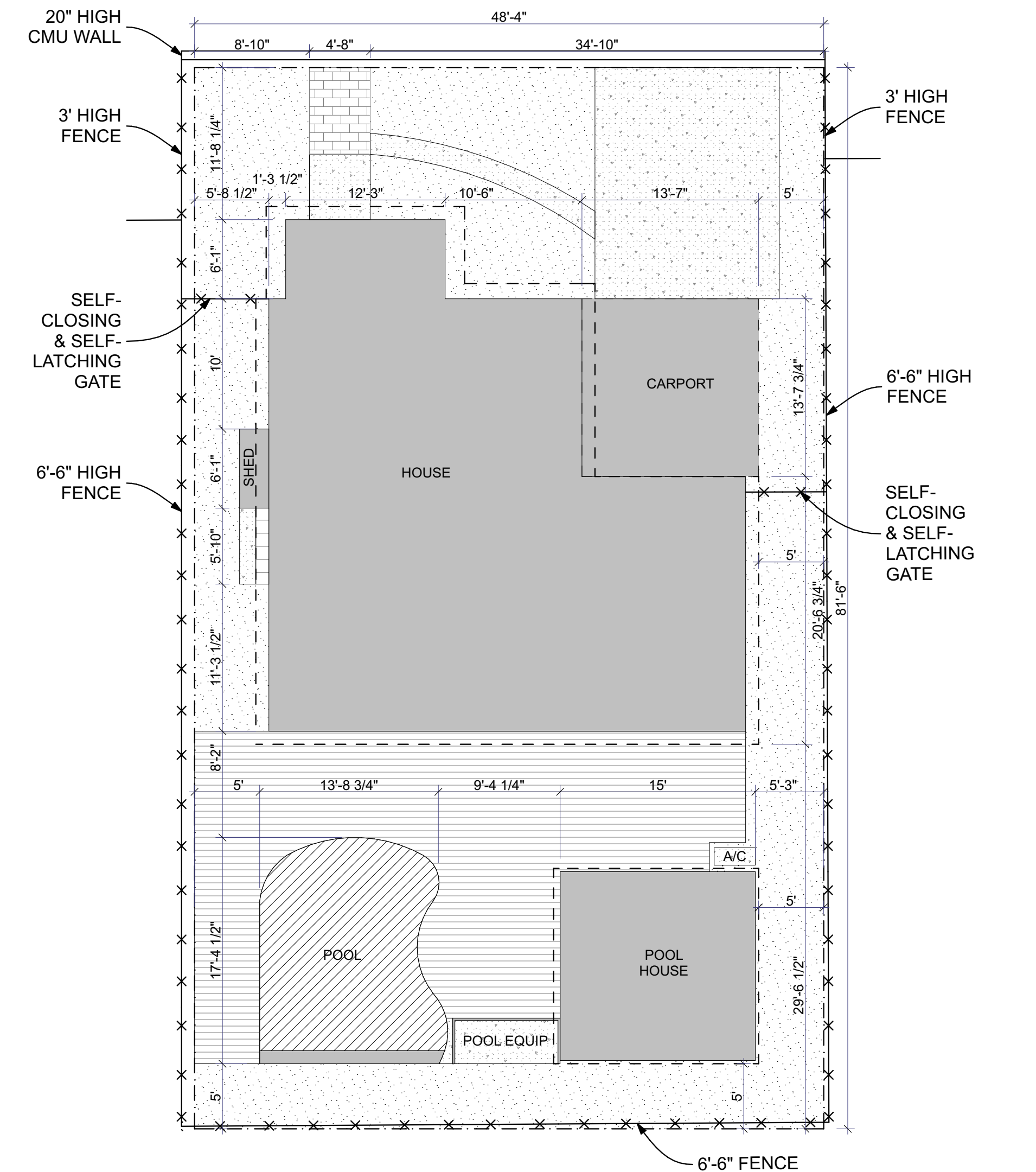


NORTH

	EXISTING CONDITIONS (SQ FT)	PROPOSED (SQ FT)
LOT SIZE		
	3939	3939
BUILDING COVERAGE		
HOUSE	708	1119
CARPORT	454	185
ROOF OVER IMPERVIOUS AREA	173	6
SHED	14	14
POOL HOUSE ACCESSORY STRUCTURE	0	218
POOL EQUIPMENT ENCLOSURE	2	2
POOL WALL	0	14
TOTAL BUILDING COVERAGE	1351	1558
	34.30%	39.55%
IMPERVIOUS AREAS		
HOUSE	708	1119
CARPORT	454	185
ROOF OVER IMPERVIOUS AREA	173	6
SHED	14	14
POOL HOUSE ACCESSORY STRUCTURE	0	218
POOL EQUIPMENT ENCLOSURE	2	2
POOL WALL	0	14
CONCRETE	225	316
BRICK	31	31
POOL	220	206
POOL EQUIPMENT	28	28
TOTAL IMPERVIOUS AREAS	1855	2139
	47.09%	54.30%
OPEN SPACE/PERVIOUS AREAS		
LANDSCAPING	2084	1186
DECK	0	614
TOTAL OPEN SPACE/PERVIOUS AREAS	2084	1800
	52.91%	45.70%
LOT SIZE CHECK		
	3939	3939

ZONING:	HMDR	ALLOWED	EXISTING	PROPOSED
FLOOD ZONE	X			
MAX HEIGHT		30 FT	13 FT 10 IN	NO CHANGE
BUILDING COVERAGE		40% MAX	34.30%	39.55%
IMPERVIOUS RATIO		60% MAX	47.09%	54.30%
OPEN SPACE		35% MIN	52.91%	45.70%
MINIMUM LOT SIZE		4,000 SQ FT	3,939 SQ FT	NO CHANGE
MINIMUM LOT WIDTH		40 FT	48 FT 4 IN	NO CHANGE
MINIMUM LOT DEPTH		90 FT	81 FT 6 IN	NO CHANGE
MINIMUM SETBACKS				
FRONT		10 FT	11 FT 8.25 IN	NO CHANGE
EAST SIDE		5 FT	3 FT 2 IN	5 FT
WEST SIDE		5 FT	5 FT 8.5 IN	NO CHANGE
REAR		15 FT	32 FT 9.5 IN	29 FT 6.5 IN

\*\*POOL AND ACCESSORY STRUCTURE MEET 5 FT SETBACK REQUIREMENT  
\*\*CARPORT IS GREATER THAN 1 FT FROM PROPERTY LINES



2 PROPOSED SITE PLAN 1/8" = 1'-0"



Korth Collaborative Design, LLC

ARCHITECTURE & DESIGN

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CO License No: 00402981

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Denver, CO 80218  
Heather@KorthCollaborativeDesign.com  
720.840.9578

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KEY WEST, FL 33040

OWNER  
BOB BELL & LESLIE LUDKA  
740 AMELIA STREET  
KEY WEST, FL 33040

GENERAL CONTRACTOR:  
#GC Name  
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#GC Street Address  
#GC City, State Zip



DATE	DESCRIPTION
9/19/23	CONCEPT DESIGN

## SITE PLANS

A-101



Korth Collaborative Design, LLC

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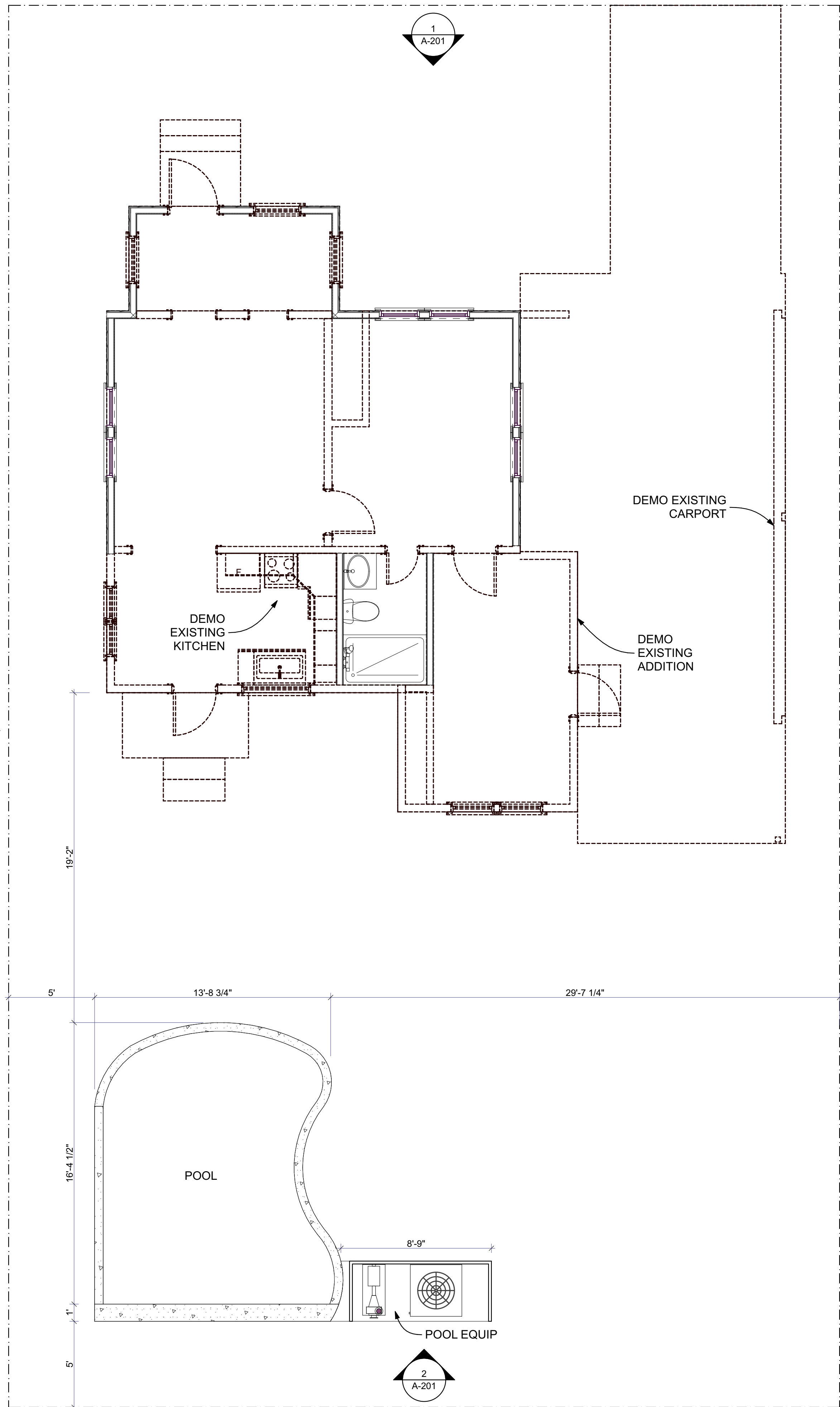
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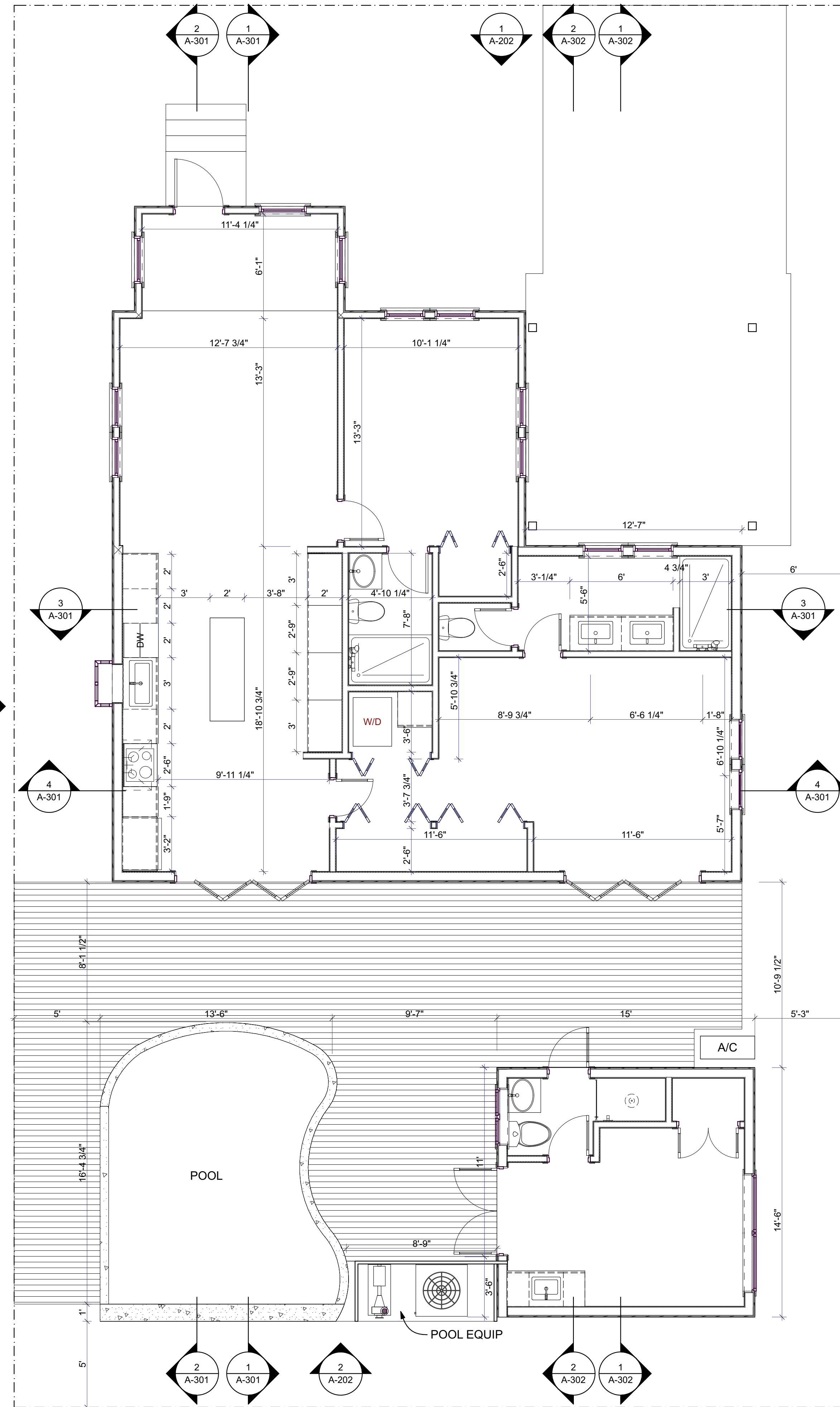
### DEMO & PROPOSED PLANS

A-102



1st FLOOR PLAN-DEMO

1/4" = 1'-0"



1st FLOOR-PROPOSED

1/4" = 1'-0"



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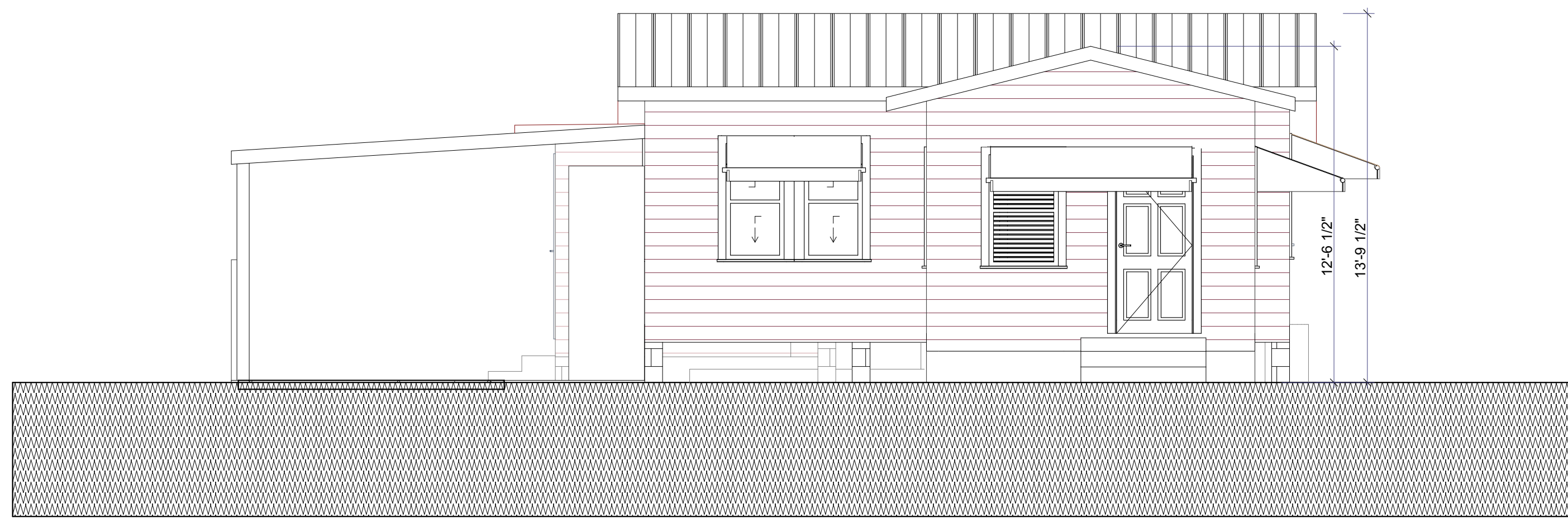
GENERAL CONTRACTOR:  
#GC Name  
##GC License Number  
#GC Street Address  
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DATE	DESCRIPTION
9/19/23	CONCEPT DESIGN

### EXISTING ELEVATIONS

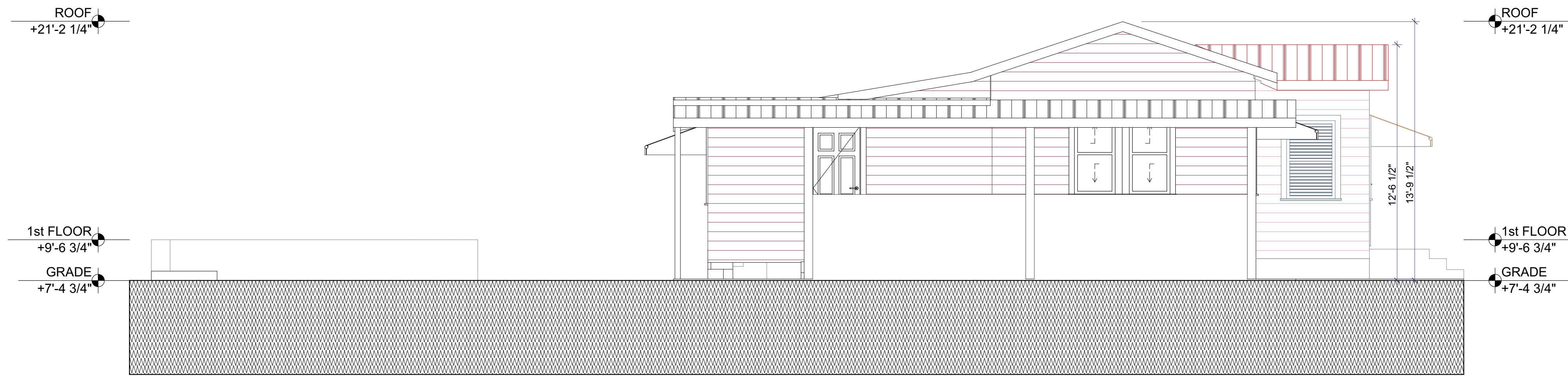
A-201



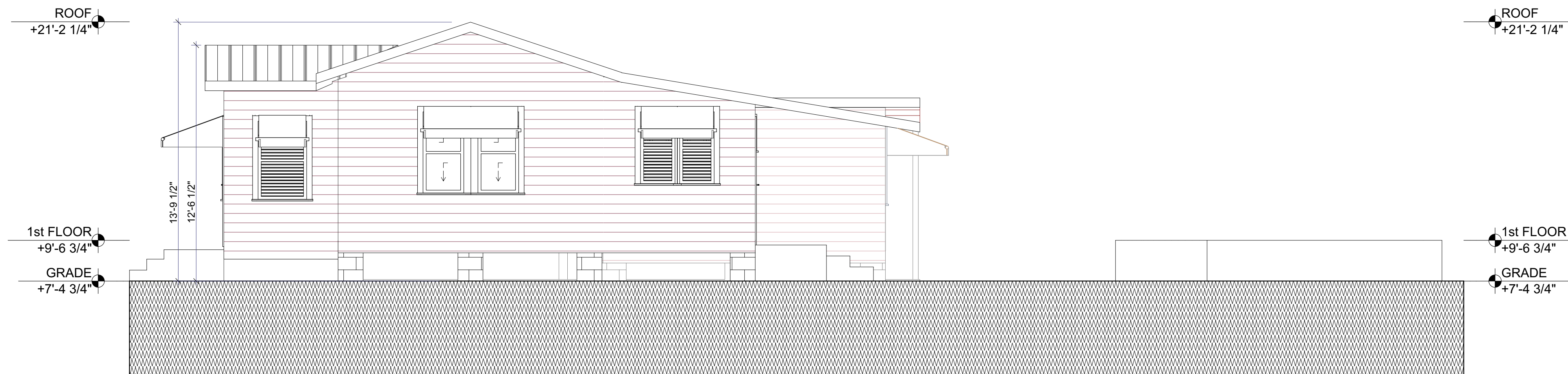
1 NORTH ELEVATION-EXISTING 1/4" = 1'-0"



2 SOUTH ELEVATION-EXISTING 1/4" = 1'-0"



3 EAST ELEVATION-EXISTING 1/4" = 1'-0"



4 WEST ELEVATION-EXISTING 1/4" = 1'-0"



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 KEY WEST, FL 33040

OWNER  
**BOB BELL & LESLIE LUDKA**  
 740 AMELIA STREET  
 KEY WEST, FL 33040

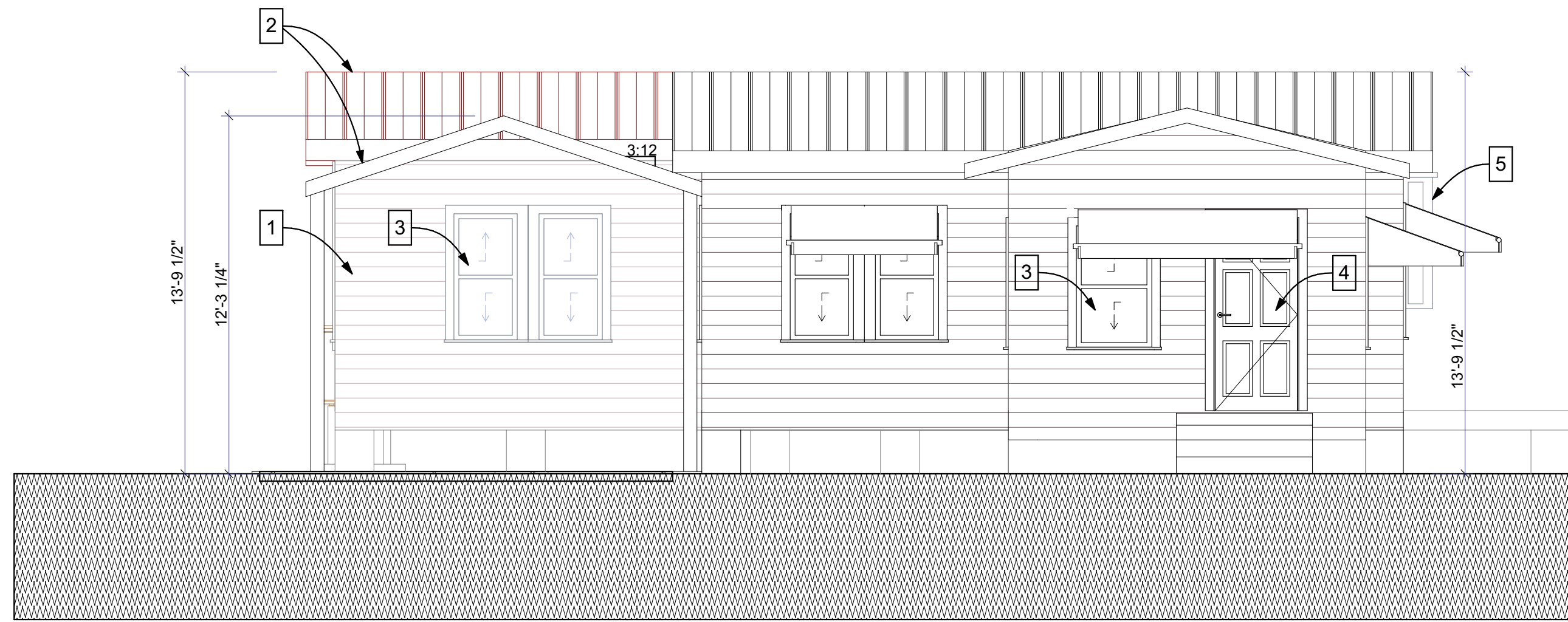
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 #GC Name  
 ##GC License Number  
 #GC Street Address  
 #GC City, State Zip



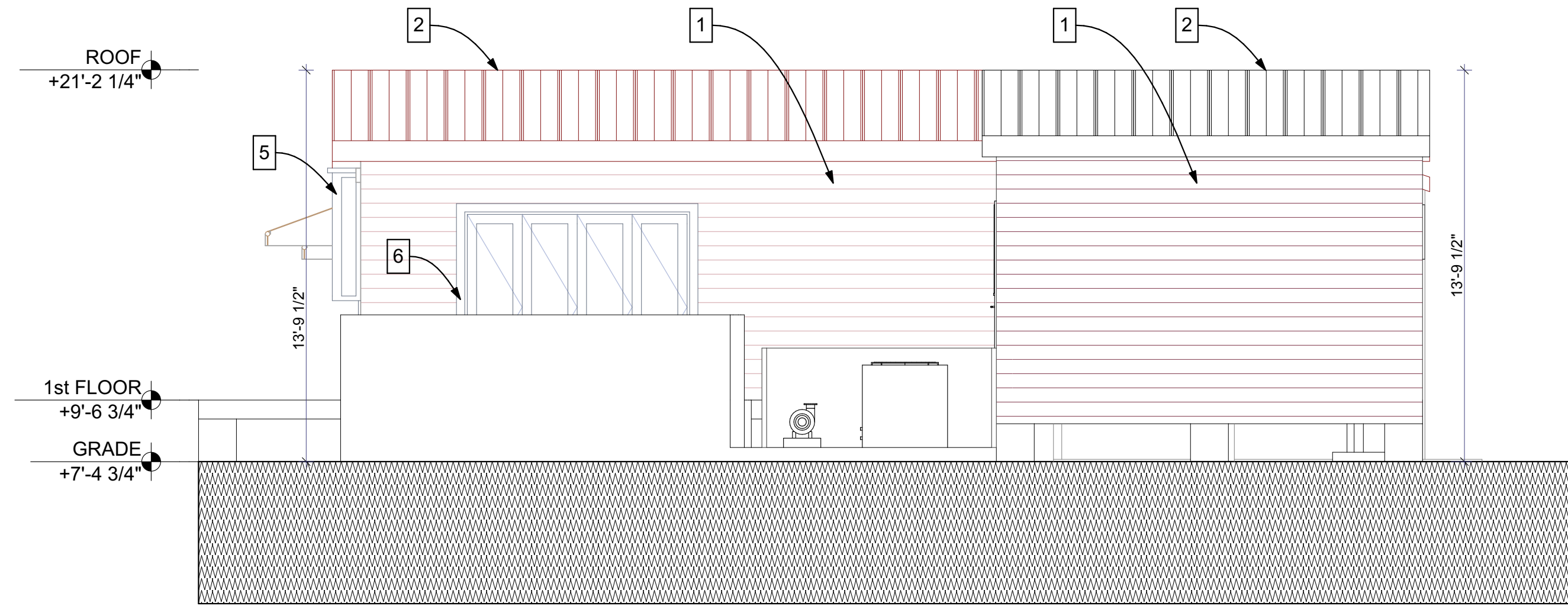
DATE	DESCRIPTION
9/19/23	CONCEPT DESIGN

# PROPOSED ELEVATIONS

A-202



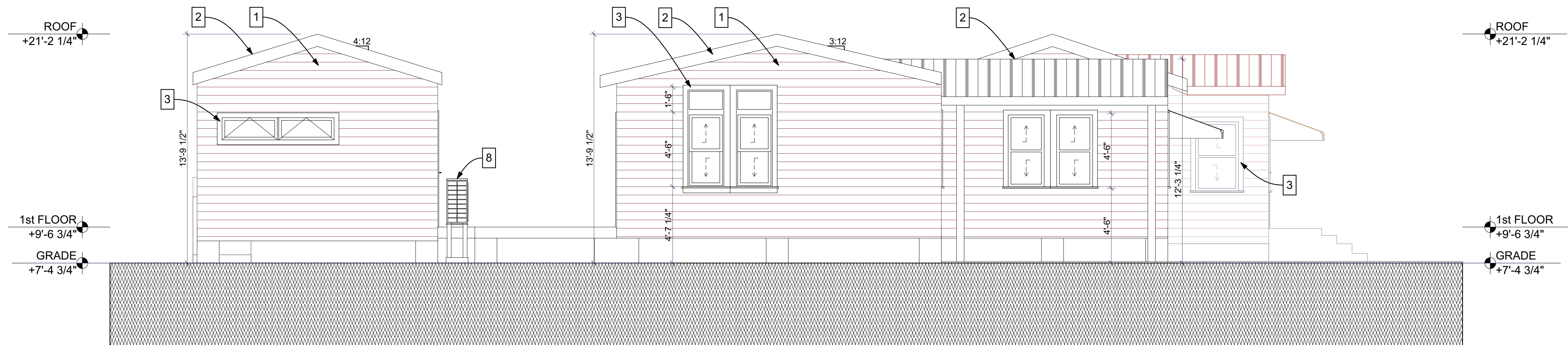
1 NORTH ELEVATION-PROPOSED 1/4" = 1'-0"



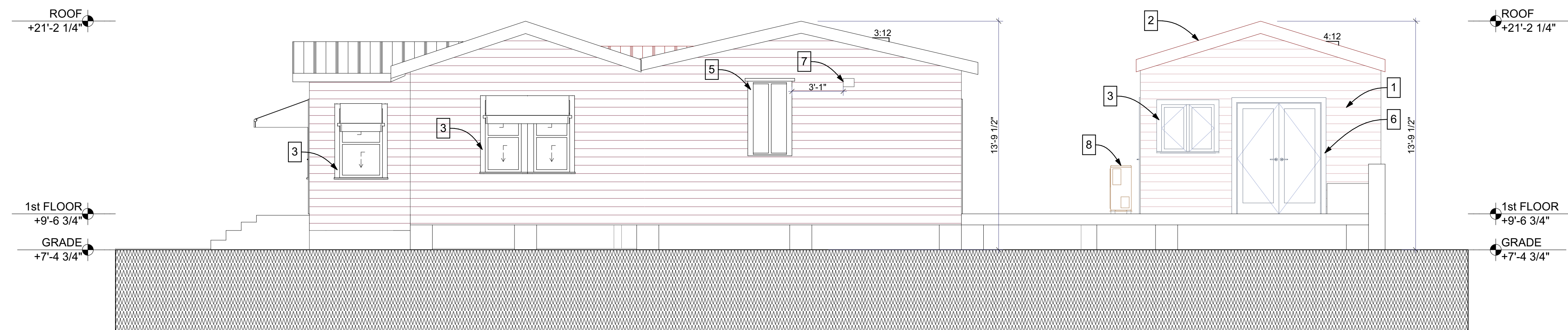
2 SOUTH ELEVATION-PROPOSED 1/4" = 1'-0"

NOTES:

1. NOVELTY SIDING TO MATCH EXISTING, MATCH TURQUOISE PAINT
2. 5V METAL CRIMP ROOF
3. ALUMINUM, IMPACT-RATED WINDOW
4. SOLID WOOD, IMPACT-RATED DOOR
5. GREENHOUSE WINDOW
6. ALUMINUM, IMPACT-RATED DOOR
7. EXHAUST VENT FOR RANGE HOOD
8. SPLIT SYSTEM A/C CONDENSER



3 EAST ELEVATION-PROPOSED 1/4" = 1'-0"



4 WEST ELEVATION-PROPOSED 1/4" = 1'-0"



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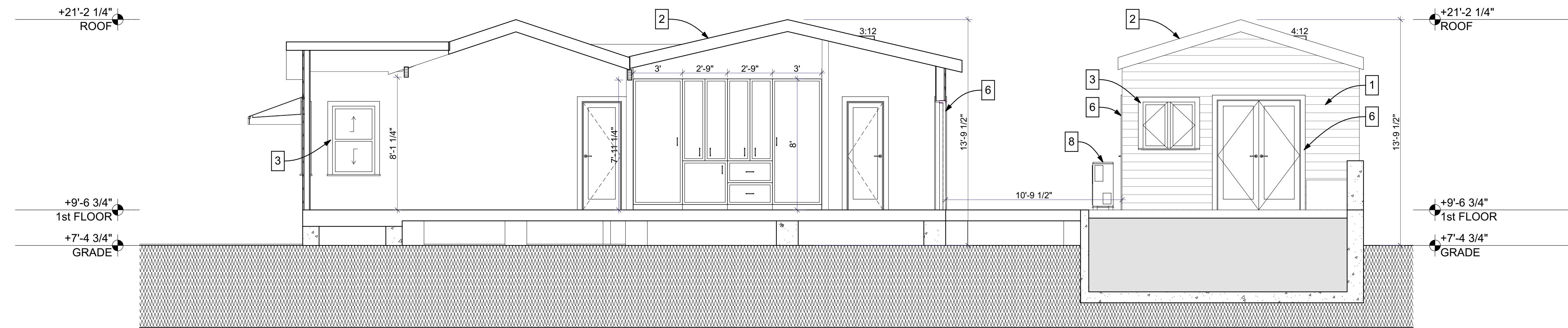
DATE	DESCRIPTION
9/19/23	CONCEPT DESIGN

## SECTIONS

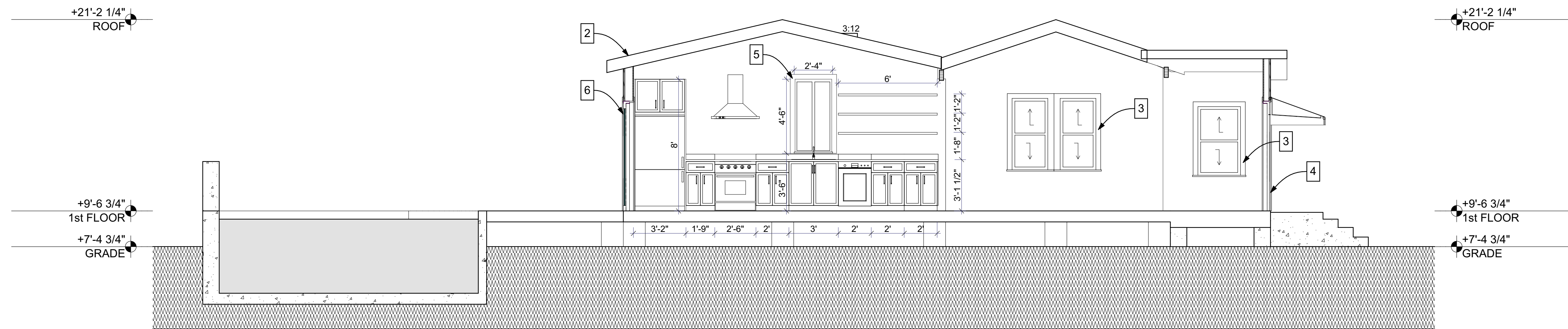
A-301

NOTES:

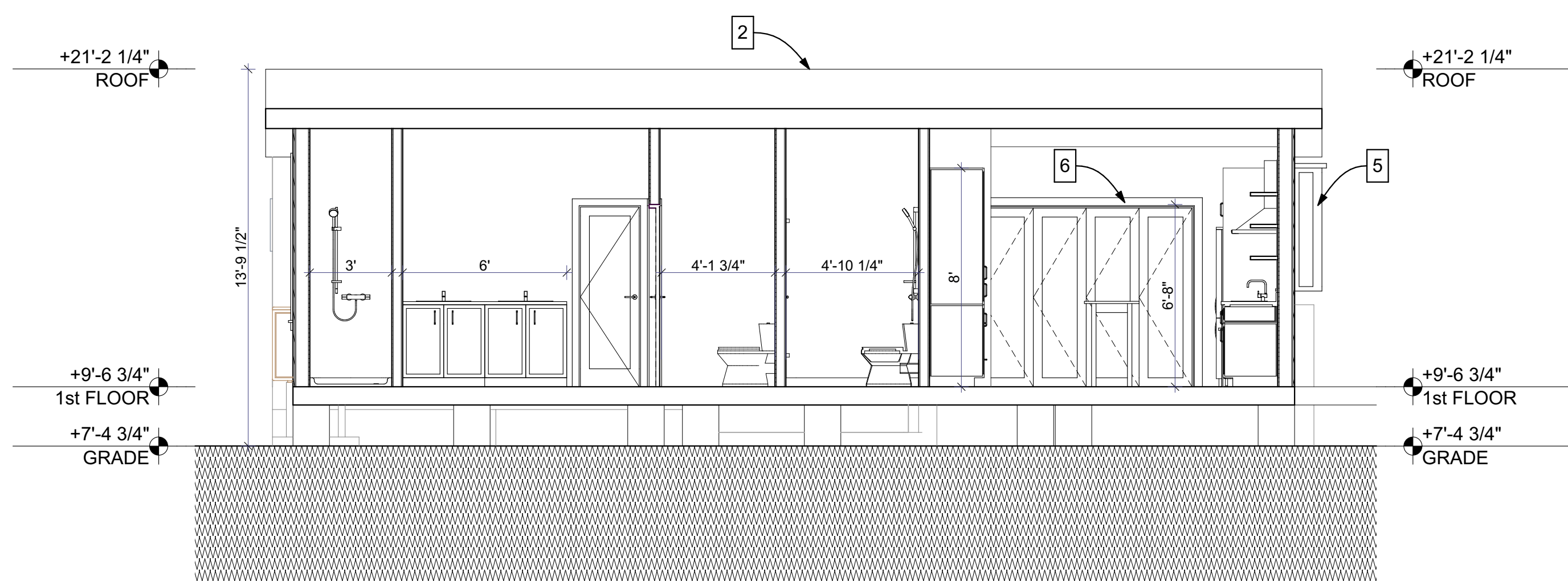
1. NOVELTY SIDING TO MATCH EXISTING, MATCH TURQUOISE PAINT
2. 5V METAL CRIMP ROOF
3. ALUMINUM, IMPACT-RATED WINDOW
4. SOLID WOOD, IMPACT-RATED DOOR
5. GREENHOUSE WINDOW
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7. EXHAUST VENT FOR RANGE HOOD
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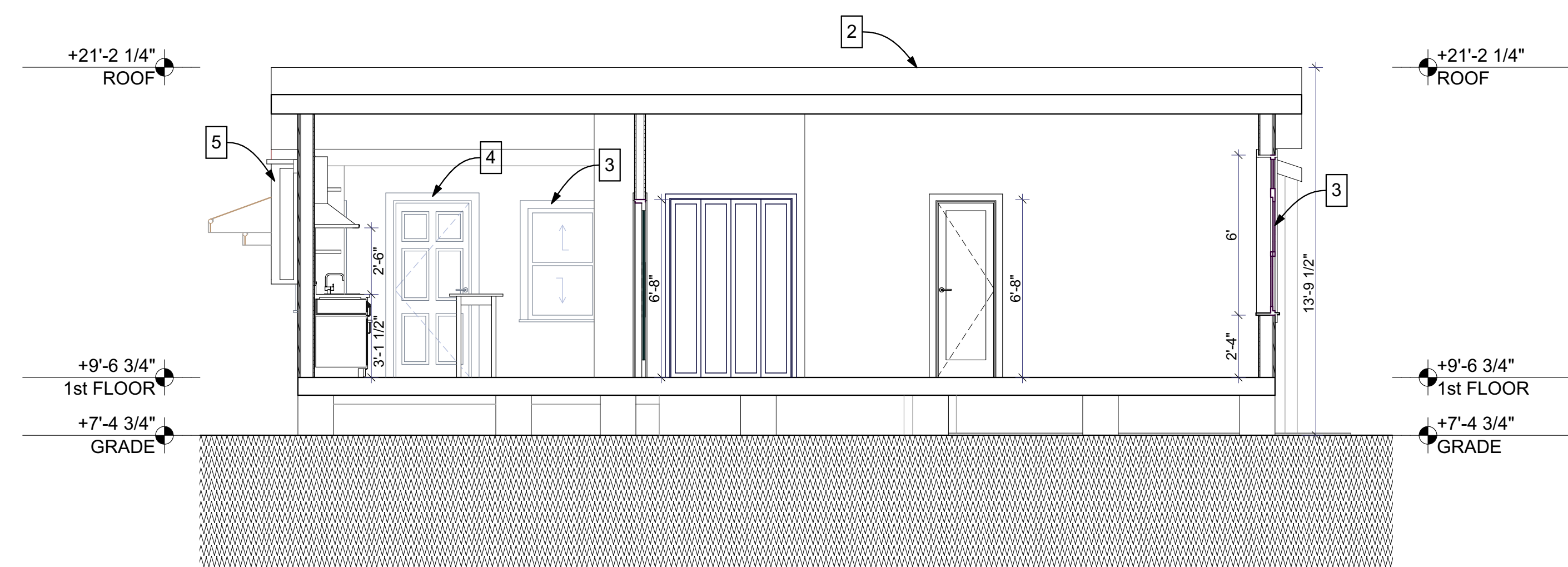
1 SECTION 1 1/4" = 1'-0"



2 SECTION 2 1/4" = 1'-0"



3 SECTION 3 1/4" = 1'-0"



4 SECTION 4 1/4" = 1'-0"



Korth Collaborative Design, LLC

ARCHITECTURE & DESIGN

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KEY WEST, FL 33040

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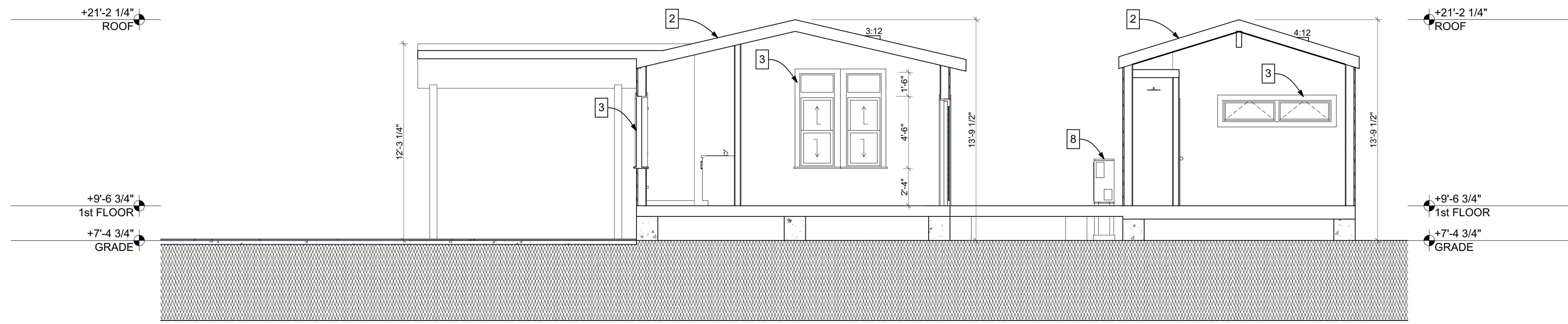
GENERAL CONTRACTOR:  
#GC Name  
##GC License Number  
#GC Street Address  
#GC City, State Zip



DATE	DESCRIPTION
9/19/23	CONCEPT DESIGN

## SECTIONS

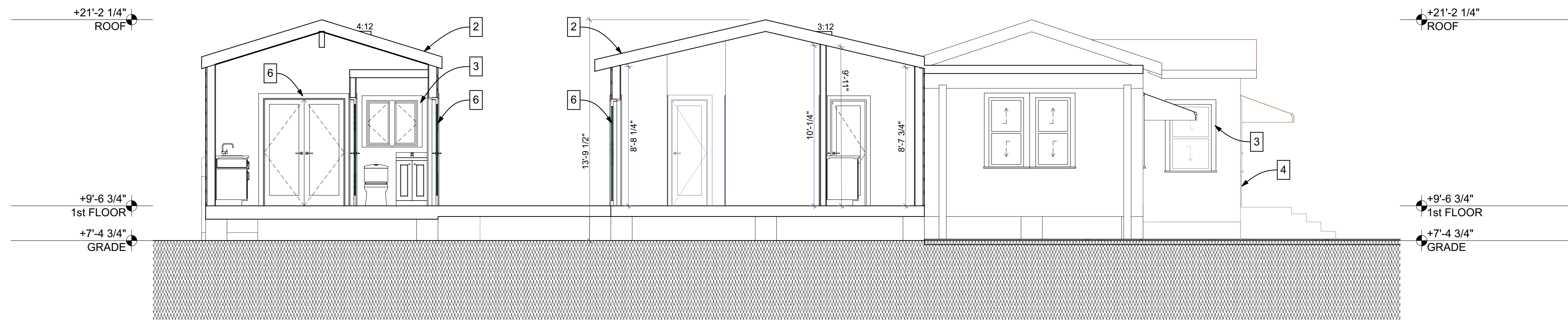
A-302



1 SECTION 5 1/4" = 1'-0"

### NOTES:

- NOVELTY SIDING TO MATCH EXISTING, MATCH TURQUOISE PAINT
- 5V METAL CRIMP ROOF
- ALUMINUM, IMPACT-RATED WINDOW
- SOLID WOOD, IMPACT-RATED DOOR
- GREENHOUSE WINDOW
- ALUMINUM, IMPACT-RATED DOOR
- EXHAUST VENT FOR RANGE HOOD
- SPLIT SYSTEM A/C CONDENSER



2 SECTION 6 1/4" = 1'-0"

# NOTICING



# Public Meeting Notice

The Historic Architectural Review Commission will hold a public meeting at 5:00 p.m., October 24, 2023, at City Hall, 1300 White Street, Key West, Florida. The purpose of the hearing will be to consider a request for:

**RENOVATION OF EXISTING HOUSE AND NEW ONE-STORY REAR ADDITION. NEW CARPORT REPLACEMENT. NEW POOL HOUSE AND DECK AT REAR. DEMOLITION OF REAR ADDITION AND CARPORT.**

**#740 AMELIA STREET**

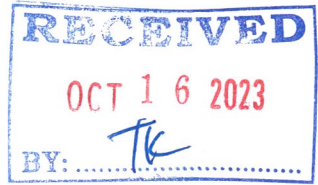
**Applicant – Heather Korth, Architect Application #H2023-0034**

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 1300 White Street, call 305-809-3973 or visit our website at [www.cityofkeywest-fl.gov](http://www.cityofkeywest-fl.gov).

**THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION**

ADA ASSISTANCE: It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 800-955-8771 or 800-955-8770 (Voice) or the ADA Coordinator at 305-809-3811 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.

# HARC POSTING AFFIDAVIT



STATE OF FLORIDA:  
COUNTY OF MONROE:

**BEFORE ME**, the undersigned authority, personally appeared Leslie Ludha, who, first being duly sworn, on oath, depose and says that the following statements are true and correct to the best of his/her knowledge and belief:

1. That a legal notice for Public Notice of Hearing of the Historic Architectural Review Commission (HARC) was placed on the following address: 740 AMELIA Street Key West on the 16 day of October, 2023.

This legal notice(s) contained an area of at least 8.5"x11".

The property was posted to notice a public hearing before the Key West Historic Architectural Review Commission to be held on October 24, 2023.

The legal notice(s) is/are clearly visible from the public street adjacent to the property.

The Certificate of Appropriateness number for this legal notice is \_\_\_\_\_.

2. A photograph of that legal notice posted in the property is attached hereto.

**Signed Name of Affiant:**

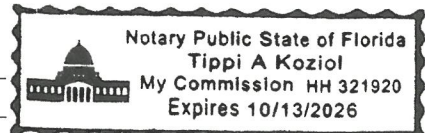
Leslie M Ludha  
**Date:** 10/16/23  
**Address:** 740 AMELIA Street  
**City:** Key West Florida  
**State, Zip:** 33040

The forgoing instrument was acknowledged before me on this 16 day of October, 2023.

By (Print name of Affiant) Leslie Ludha who is personally known to me or has produced FL DL as identification and who did take an oath.

**NOTARY PUBLIC**

Sign Name: Tippi A. Koziol  
 Print Name: Tippi A. Koziol  
 Notary Public - State of Florida (seal)  
 My Commission Expires: 10/13/23





Public Meeting Notice

# PROPERTY APPRAISER INFORMATION

# Monroe County, FL

## Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

## Summary

**Parcel ID** 00030760-000000  
**Account#** 1031542  
**Property ID** 1031542  
**Millage Group** 10KW  
**Location Address** 740 AMELIA St, KEY WEST  
**Legal Description** KW JERGUSONS SUB PB1-78 LOT 3 OF TR 12 G42-496/97 OR2216-1809 OR2804-1696/97 OR3016-1685 OR3216-1290  
 (Note: Not to be used on legal documents.)  
**Neighborhood** 6096  
**Property Class** SINGLE FAMILY RESID (0100)  
**Subdivision** Jerguson Sub  
**Sec/Twp/Rng** 06/68/25  
**Affordable** No  
**Housing**



## Owner

BELL ROBERT WILLIAM  
740 Amelia St  
Key West FL 33040

LUDKA LESLIE MARIE  
740 Amelia St  
Key West FL 33040

## Valuation

	2023 Preliminary Values	2022 Certified Values	2021 Certified Values	2020 Certified Values
+ Market Improvement Value	\$123,773	\$73,319	\$62,593	\$63,451
+ Market Misc Value	\$8,402	\$3,140	\$3,140	\$3,140
+ Market Land Value	\$729,660	\$563,238	\$460,548	\$460,548
= Just Market Value	\$861,835	\$639,697	\$526,281	\$527,139
= Total Assessed Value	\$558,331	\$542,069	\$526,281	\$527,139
- School Exempt Value	(\$25,000)	(\$25,000)	(\$25,000)	\$0
= School Taxable Value	\$533,331	\$517,069	\$501,281	\$527,139

## Historical Assessments

Year	Land Value	Building Value	Yard Item Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value	Maximum Portability
2022	\$563,238	\$73,319	\$3,140	\$639,697	\$542,069	\$25,000	\$517,069	\$97,628
2021	\$460,548	\$62,593	\$3,140	\$526,281	\$526,281	\$25,000	\$501,281	\$0
2020	\$460,548	\$63,451	\$3,140	\$527,139	\$527,139	\$0	\$527,139	\$0
2019	\$451,212	\$55,791	\$3,140	\$510,143	\$510,143	\$0	\$510,143	\$0
2018	\$485,265	\$56,663	\$3,140	\$545,068	\$545,068	\$0	\$545,068	\$0

The Maximum Portability is an estimate only and should not be relied upon as the actual portability amount. Contact our office to verify the actual portability amount.

## Land

Land Use	Number of Units	Unit Type	Frontage	Depth
RESIDENTIAL DRY (010D)	3,939.00	Square Foot	0	0

## Buildings

<b>Building ID</b>	2403	<b>Exterior Walls</b>	ABOVE AVERAGE WOOD
<b>Style</b>	1 STORY ELEV FOUNDATION	<b>Year Built</b>	1948
<b>Building Type</b>	S.F.R. - R1 / R1	<b>EffectiveYearBuilt</b>	2009
<b>Building Name</b>		<b>Foundation</b>	WD CONC PADS
<b>Gross Sq Ft</b>	1182	<b>Roof Type</b>	GABLE/HIP
<b>Finished Sq Ft</b>	689	<b>Roof Coverage</b>	METAL
<b>Stories</b>	1 Floor	<b>Flooring Type</b>	SFT/HD WD
<b>Condition</b>	GOOD	<b>Heating Type</b>	FCD/AIR NON-DC with 0% NONE

Perimeter	124	Bedrooms	1
Functional Obs	0	Full Bathrooms	1
Economic Obs	0	Half Bathrooms	0
Depreciation %	15	Grade	450
Interior Walls	WALL BD/WD WAL	Number of Fire Pl	0

Code	Description	Sketch Area	Finished Area	Perimeter
CPF	COVERED PARKING FIN	357	0	82
FLA	FLOOR LIV AREA	689	689	124
OPU	OP PR UNFIN LL	16	0	16
OPF	OP PRCH FIN LL	120	0	46
<b>TOTAL</b>		<b>1,182</b>	<b>689</b>	<b>268</b>

**Yard Items**

Description	Year Built	Roll Year	Size	Quantity	Units	Grade
CONC PATIO	1959	1960	0 x 0	1	160 SF	2
FENCES	1969	1970	0 x 0	1	196 SF	3
TILE PATIO	1969	1970	0 x 0	1	24 SF	4
WALL AIR COND	1985	1986	0 x 0	1	1 UT	1
UTILITY BLDG	2017	2023	20 x 15	1	300 SF	3

**Sales**

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page
3/21/2023	\$910,000	Warranty Deed	2410805	3216	1290
3/30/2020	\$494,000	Warranty Deed	2262187	3016	1685
7/5/2016	\$465,000	Warranty Deed		2804	1696

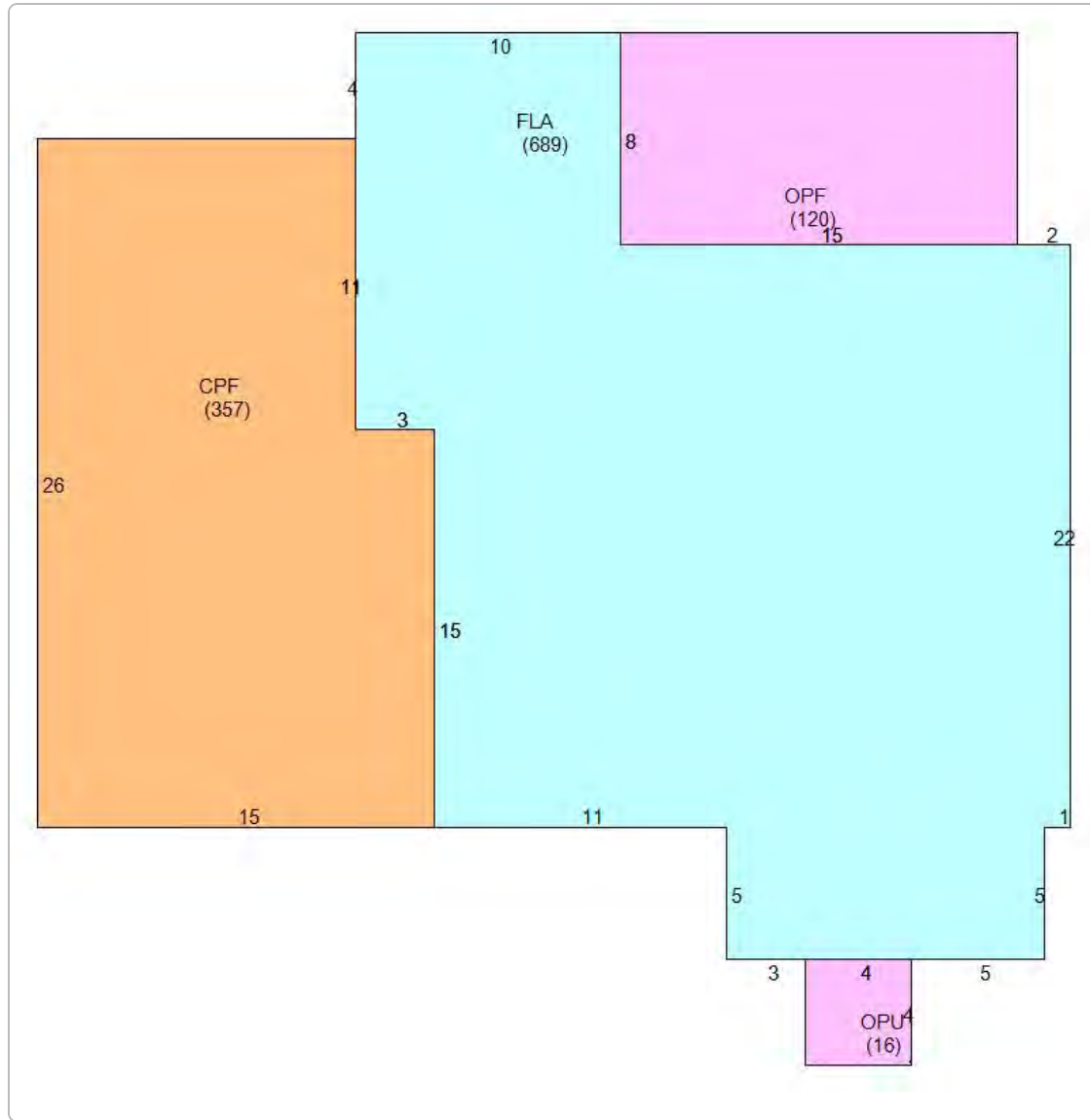
**Permits**

Number	Date Issued	Date Completed	Amount	Permit Type
11-0558	2/18/2011	1/19/2012	\$6,835	

**View Tax Info**

[View Taxes for this Parcel](#)

**Sketches (click to enlarge)**



Photos



Map



TRIM Notice

2023 TRIM Notice (PDF)

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the

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