



Historic Architectural Review Commission

Staff Report for Item 13

To: Chairman Bryan Green and Historic Architectural Review Commission Members

From: Kathleen McDonald, MHP
Historic Preservation Planner II

Meeting Date: February 25, 2020

Applicant: Bender & Associates

Application Number: H2020-0008

Address: #616 Eaton Street

Description of Work:

Renovations to historic house. New rear additions and detached addition. New accessory structures. New pool, carport, decks, and site improvements.

Site Facts:

The principal structure on the property at 616 Eaton Street is a two-and-a-half story frame vernacular house. The residence was built circa 1900 and is listed as historic and contributing to the Key West Historic District.

In 2015, this property came before the Historic Architectural Review Commission with plans to renovate the main house, construct a new addition, and construct a new single-family residence at the rear of the property. The property was sold to the owner of 416 Elizabeth Street before construction began.

In 2017, the Development Review Committee approved a lot line adjustment that transferred part of 616 Eaton Street to 416 Elizabeth Street. The property at 616 Eaton Street came back to the HARC Commission that same year with a proposal to relocate an existing pool house from 416 Elizabeth Street to 616 Eaton Street. The pool house, which was constructed in 2013, was approved for relocation to 616 Eaton Street by HARC.

Guidelines Cited on Review:

- Guidelines for Additions and Alterations on Contributing, Non-Contributing and Non-Historic Buildings and Structures (pages 37a-37k), specifically guidelines 1, 5, 6, 11, 12, 13, 14, 16, 19, 22 and 31.
- Guidelines for New Construction in the Historic District (pages 38a-38q), specifically guidelines 1, 10, 11, 12, 13, 14, 18, 24 and 25.
- Guidelines for Outbuildings: Carports, Gazebos, Garages, Sheds, Shelters and Accessory Structures (pages 40-41), specifically guidelines 1, 3, 5 and 9.

Staff Analysis:

This project proposes renovation of the historic structure, construction of new additions to the historic structure, and construction of new structures on the site of 616 Eaton Street.

Renovations to the historic structure include interior renovations as well as improvements to the foundation and framing. It also appears from the plans and the photos of the east side of the building that one window on the first floor of the structure is to be relocated on the same façade.

The new additions to the historic residence are to be located at the rear of the structure. The first section of the addition will have a first floor dedicated to a dining room, powder room, and circulation space. The first section of the addition will also have a second-floor porch, which will have louvred Bahama shutters on the east elevation in order to maintain privacy with the neighbors. The second section of the addition is to have one floor that will be dedicated to a kitchen, a covered porch, and an open dining deck.

New structures to be constructed on site include a building at the rear of the property, a 200 square foot carport structure, and a 144 square foot structure for bike storage. The new building is to have one floor, which will be dedicated to 3 bedrooms, 3 bathrooms, and a laundry room. This new building will be connected to the relocated pool house structure on site via a pervious deck. The carport is to be a wood frame structure with v-crimp roofing. The structure is proposed with a height of 12 feet 3 inches. The carport is to be located set back on the west elevation of the main residence, in line with the new additions. The bike shed structure is also to be wood frame with v-crimp roofing. The storage shed is to have a total height of approximately 11 feet 8 inches.

The plans for this project also include a 250 square foot pool. Pool equipment and mechanical equipment for this project are to be located behind the new building proposed at the rear of the property. This project also proposes a concrete deck around the pool as well as pervious pavers for the driveway.

Consistency with Cited Guidelines and SOIS:

Staff finds this project to be consistent with the cited guidelines.

The additions require minimal changes to the existing historic residence, and if removed in the future, the integrity of the historic building would be unimpaired. The additions will be attached to the least conspicuous side of the existing building, and they are limited in size and scale in

relationship to the historic residence. The additions will not dominate neighboring properties, and the proposed massing and forms are appropriate to the site and surrounding context. The proposed second floor porch is at the rear of the structure and would not be visible from the street, and the proposed louvred Bahama shutters on the east side of the porch would maintain privacy with the neighbors. The proposed windows on the rear addition are visually compatible with the existing building. A small scale hyphen will be used to differentiate the original structure from the new addition.

The new building proposed at the rear of the property is compatible with the district and would not overshadow any historic properties around it. The building's scale, form, massing, height, and proportion are compatible with the existing historic building on site, as well as the surrounding context. Staff also finds that the proposed bike storage structure is appropriate in scale, form, massing, height, proportion, and materiality to the site and surrounding structures.

Guideline 10 for New Construction in the Historic District reads, "Proposals that include garages or carports visible from the public realm can only be located on a site where carports and garages exist on adjacent properties." While the proposed carport may be visible from the public realm, it will be set back on the property so that it will be in line with the rear addition and not adjacent to the historic portion of the house. The two immediately adjacent properties on Eaton Street—one of which is a church—do not have similar garage or carport structures, but there are several examples within the same block as 616 Eaton Street. The property adjoining the rear property line of 616 Eaton Street (615 Fleming Street) and the property adjoining the east property line to the rear (416 Elizabeth Street) each have a carport or garage structure (see photos below). As these properties are technically adjacent to the subject property, staff finds the proposal to be consistent with the cited guideline.



Photo from Google Earth showing the carport structure at 615 Fleming Street.



Photo from Google Earth showing the carport structure at 416 Elizabeth Street.



Map from Monroe County Property Appraiser showing location of properties at 615 Fleming Street and 416 Elizabeth Street in relation to subject property at 616 Eaton Street (outlined in turquoise).

APPLICATION

HARC MAJOR PROJECTS CERTIFICATE OF APPROPRIATENESS

\$400 NON-REFUNDABLE BASE APPLICATION FEE - OTHER FEES MAY BE APPLICABLE



City of Key West

1 300 WHITE STREET
KEY WEST, FLORIDA 33040

HARC COA #	REVISION #	INITIAL & DATE
FLOOD ZONE	ZONING DISTRICT	BLDG PERMIT #

A PRE-APPLICATION MEETING WITH HARC STAFF IS REQUIRED PRIOR TO SUBMITTAL

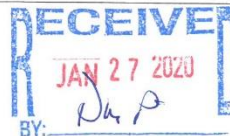
ADDRESS OF PROPOSED PROJECT:	616 Eaton St.	
NAME ON DEED:	FAR NIENTE LLC	PHONE NUMBER N/A
OWNER'S MAILING ADDRESS:	416 Elizabeth St. Key West	EMAIL dana416earthlink.net
APPLICANT NAME:	Bender & Associates	PHONE NUMBER 305-296-1347
APPLICANT'S ADDRESS:	410 Angela St.	EMAIL aalvarez@benderarchitects.com
APPLICANT'S SIGNATURE:	<i>[Signature]</i>	DATE 1/27/2020

ANY PERSON THAT MAKES CHANGES TO AN APPROVED CERTIFICATE OF APPROPRIATENESS MUST SUBMIT A NEW APPLICATION.

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083. THE APPLICANT FURTHER HEREBY ACKNOWLEDGES THAT THE SCOPE OF WORK AS DESCRIBED IN THE APPLICATION SHALL BE THE SCOPE OF WORK THAT IS CONTEMPLATED BY THE APPLICANT AND THE CITY. THE APPLICANT FURTHER STIPULATES THAT SHOULD FURTHER ACTION BE TAKEN BY THE CITY FOR EXCEEDING THE SCOPE OF THE DESCRIPTION OF WORK, AS DESCRIBED HEREIN, AND IF THERE IS CONFLICTING INFORMATION BETWEEN THE DESCRIPTION OF WORK AND THE SUBMITTED PLANS, THE AFOREMENTIONED DESCRIPTION OF WORK SHALL BE CONTROLLING.

PROJECT INCLUDES: REPLACEMENT OF WINDOWS RELOCATION OF A STRUCTURE ELEVATION OF A STRUCTURE
 PROJECT INVOLVES A CONTRIBUTING STRUCTURE: YES NO INVOLVES A HISTORIC STRUCTURE: YES NO
 PROJECT INVOLVES A STRUCTURE THAT IS INDIVIDUALLY LISTED ON THE NATIONAL REGISTER: YES NO

DETAILED PROJECT DESCRIPTION INCLUDING MATERIALS, HEIGHT, DIMENSIONS, SQUARE FOOTAGE, LOCATION, ETC.	
GENERAL:	Renovation of historic structure, construction of new additions to the historic structure, and construction of new structures.
MAIN BUILDING:	The only structure on site is the principle structure
DEMOLITION (PLEASE FILL OUT AND ATTACH DEMOLITION APPENDIX):	N/A



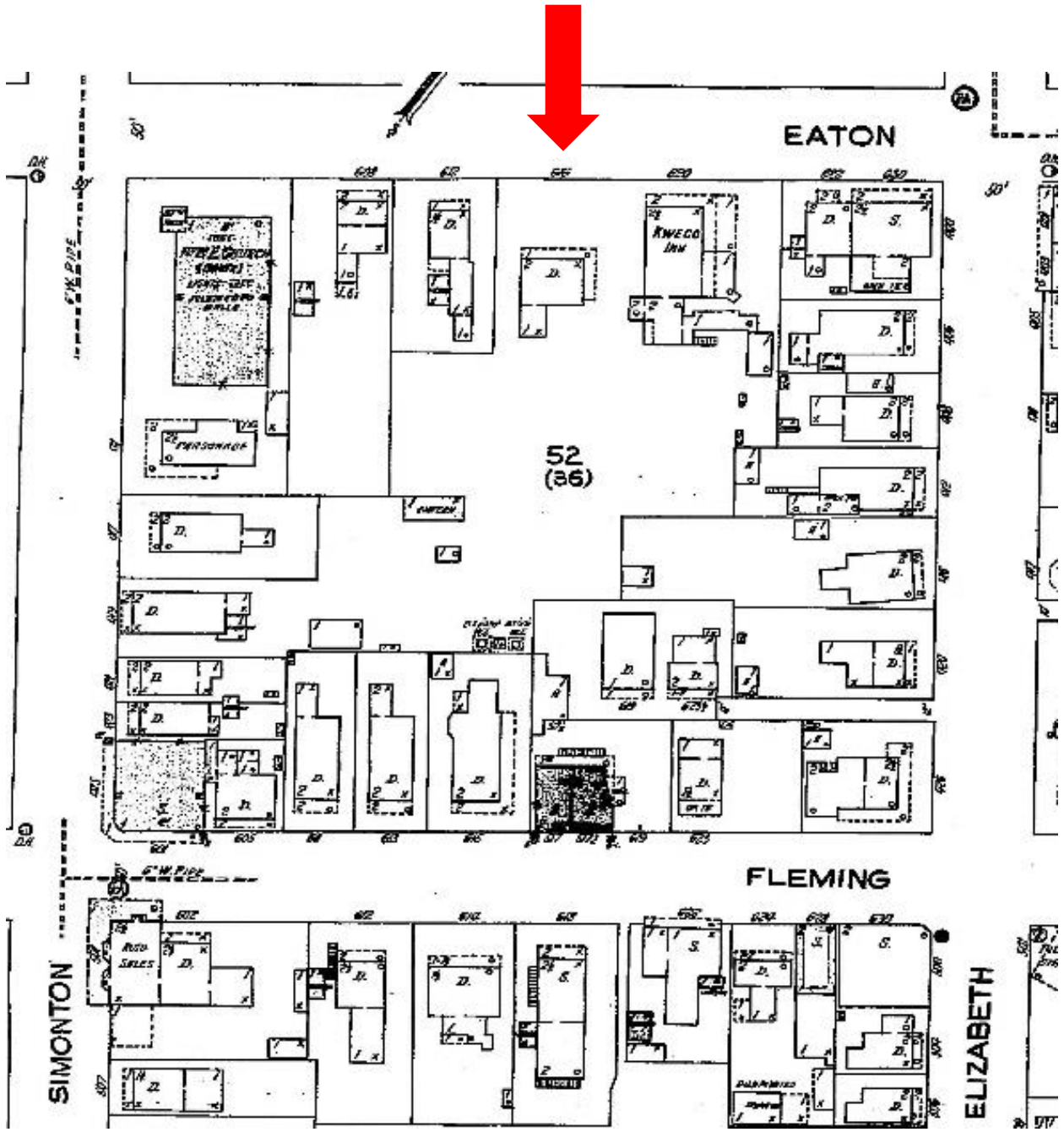
APPLICATIONS MUST BE SUBMITTED IN PERSON WITH HARD COPIES BY 3PM ON THE SCHEDULED DEADLINE
PLEASE SEND AN ELECTRONIC COPY OF ALL DOCUMENTS TO HARC@CITYOFKEYWEST-FL.GOV

ACCESSORY STRUCTURE(S): Two new accessory structures are included (200 sf carport & 144 sf. bike storage.)	
PAVERS: Pervious pavers for driveway	FENCES: Existing
DECKS: PVC Decking	PAINTING: White with Green shutters
SITE (INCLUDING GRADING, FILL, TREES, ETC.): T.B.P.	POOLS (INCLUDING EQUIPMENT): 10'x20'
ACCESSORY EQUIPMENT (GAS, A/C, VENTS, ETC.): See Plans	OTHER:

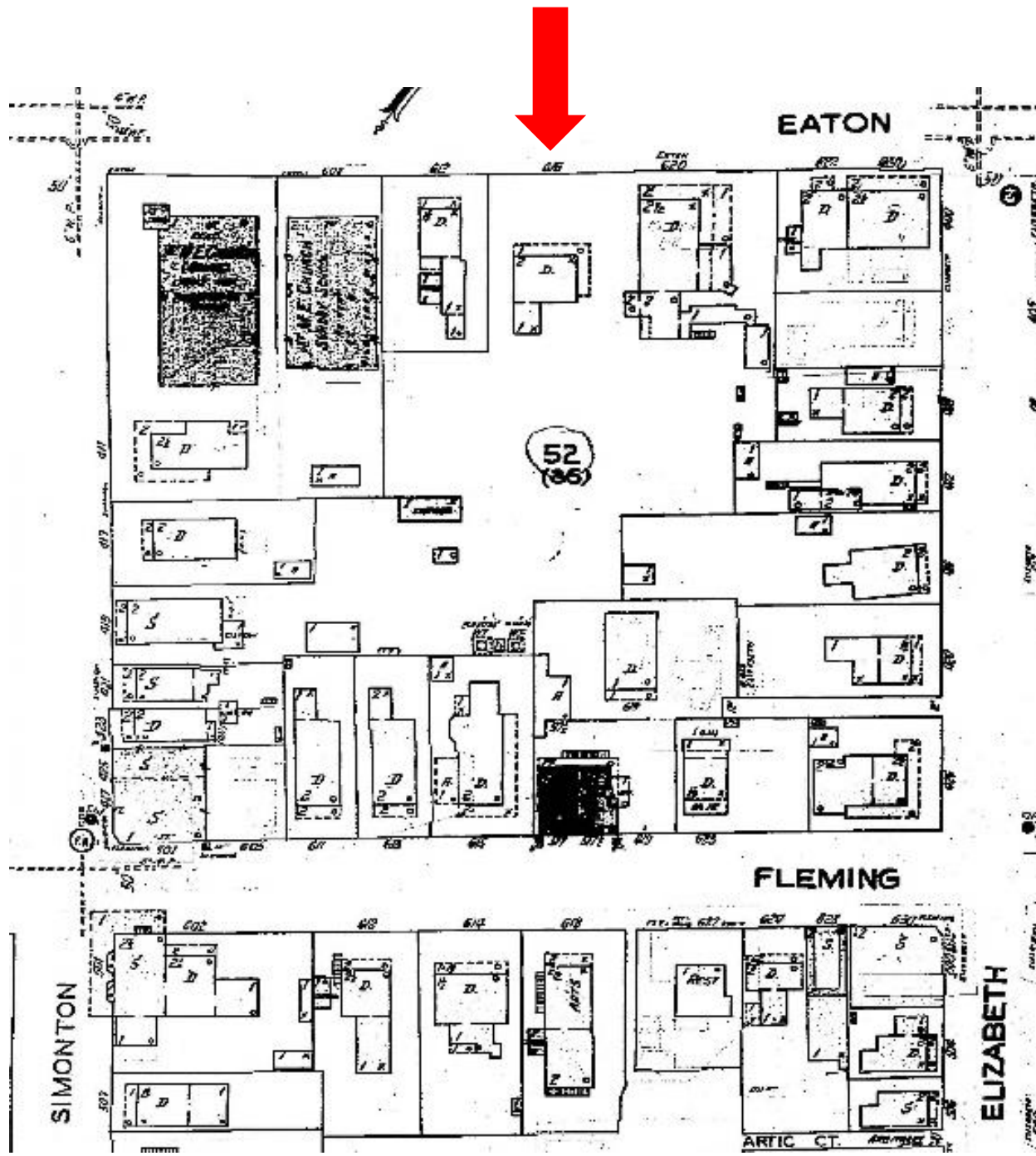
OFFICIAL USE ONLY:		HARC COMMISSION REVIEW		EXPIRES ON:	
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	INITIAL:			
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	INITIAL:			
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	INITIAL:			
REASONS OR CONDITIONS:					
STAFF REVIEW COMMENTS:					
FIRST READING FOR DEMO:			SECOND READING FOR DEMO:		
HARC STAFF SIGNATURE AND DATE:			HARC CHAIRPERSON SIGNATURE AND DATE:		

THIS APPLICATION MAY BE REVIEWED BY PLANNING DEPARTMENT STAFF.

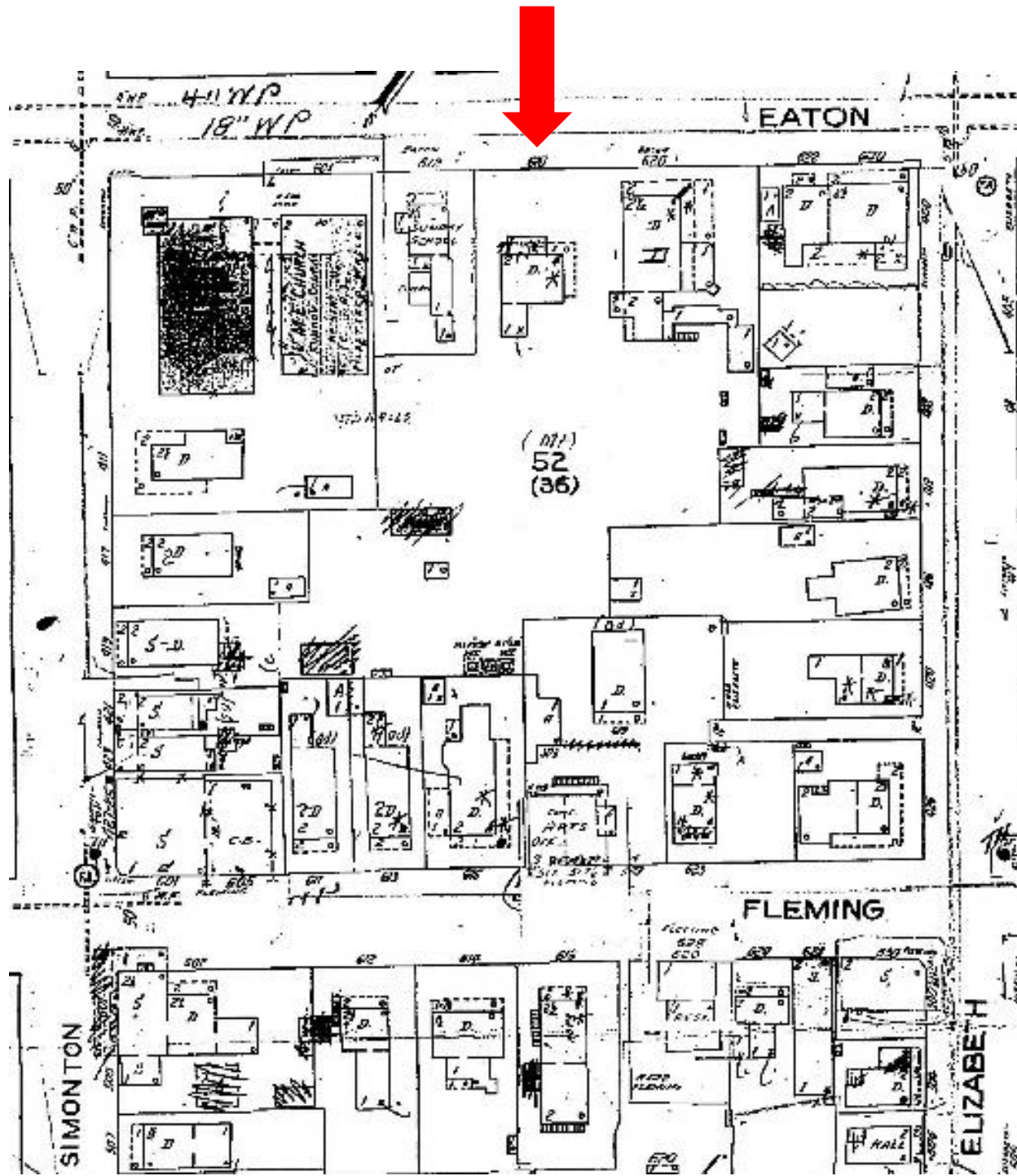
SANBORN MAPS



1926 Sanborn Map indicating 616 Eaton Street.



1948 Sanborn Map indicating 616 Eaton Street.



1962 Sanborn Map indicating 616 Eaton Street.

PROJECT PHOTOS



Historic photo of 616 Eaton Street from 1965.



3
A9 PHOTOGRAPH OF ADJACENT PROPERTY TO THE EAST SCALE: N.T.S.



2
A3 PHOTOGRAPH OF EXISTING NORTH ELEVATION SCALE: N.T.S.



3
A3 PHOTOGRAPH OF ADJACENT PROPERTY TO THE WEST SCALE: N.T.S.



6
A3 PHOTOGRAPH OF EXISTING EATON STREET SCALE: N.T.S.



5
A3 PHOTOGRAPH OF EXISTING EATON STREET (IN FRONT TO THE PROPERTY) SCALE: N.T.S.



4
A3 PHOTOGRAPH OF EXISTING EATON STREET SCALE: N.T.S.

616 EATON
RESIDENCE
616 EATON STREET
KEY WEST, FLORIDA, 33040

410 Angela Street
Key West, Florida 33040
Telephone (305) 296-1347
Facsimile (305) 296-2727
Florida License AAC002022

Bender & Associates
ARCHITECTS p.a.

Project No. 1719

FIRST FLOOR PLAN

Date: 08/21/2019

A3
OF



3 PHOTOGRAPH OF EXISTING EAST ELEVATION SCALE: N.T.S.



2 PHOTOGRAPH OF EXISTING SOUTH ELEVATION SCALE: N.T.S.



3 PHOTOGRAPH OF EXISTING WEST VIEW SCALE: N.T.S.



6 PHOTOGRAPH OF EXISTING SOUTH VIEW SCALE: N.T.S.



5 PHOTOGRAPH OF EXISTING SOUTH VIEW SCALE: N.T.S.



4 PHOTOGRAPH OF EXISTING SOUTH VIEW SCALE: N.T.S.

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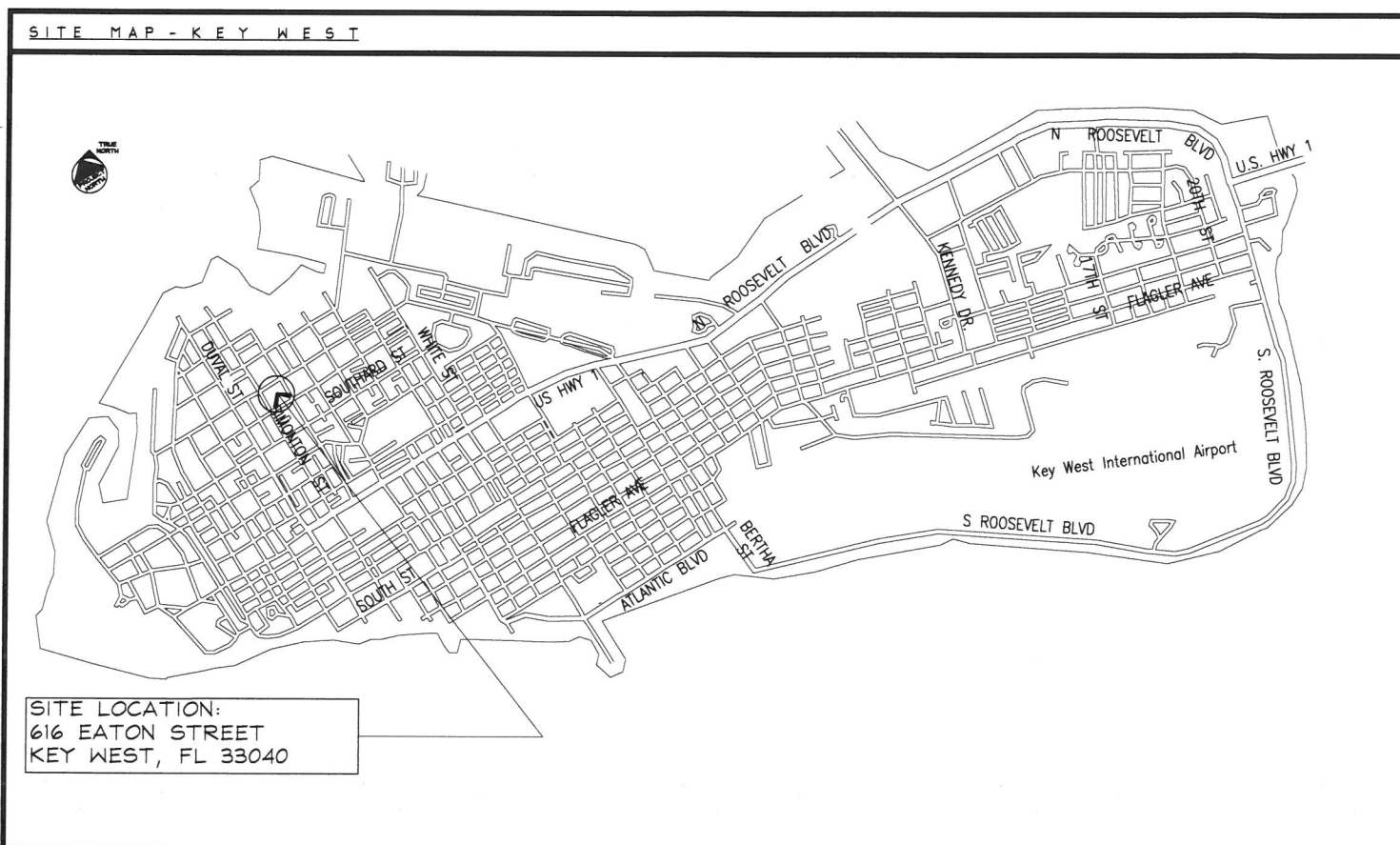
A4

of

PROPOSED DESIGN

616 EATON STREET

Key West Florida 33040
(HARC APPLICATION)



PROJECT DIRECTORY

PROJECT: 616 EATON STREET
ARCHITECT'S PROJECT No.: 1719

CONTACT: DANA DAY
Address: 416 ELIZABETH ST.
Tel: (904) 748-4633 Fax: (904) 725-9295
E-mail: dbender@bellouth.net
Architect: Haven Burkee

ARCHITECT: BENDER & ASSOCIATES ARCHITECTS, P.A.
Address: 410 Angela Street, Key West, FL 33040
Tel: (305) 296-1347 Fax: (305) 296-1347
E-mail: bbender@bellouth.net
Architect: Haven Burkee

ENGINEERING CONSULTANT:
STRUCTURAL: ATLANTIC ENGINEERING SERVICES
Address: 6501 ARLINGTON EXPRESSWAY BUILDING 'B' SUITE 201
Tel: (904) 748-4633 Fax: (904) 725-9295
Representative: Mark J. Keister, P.E.,

DESCRIPTION OF WORK:
DEMOLITION OF NON-HISTORIC ADDITIONS, RENOVATION OF HISTORIC STRUCTURE AND CONSTRUCTION OF NEW ADDITIONS TO THE HISTORIC STRUCTURE.

GENERAL NOTES

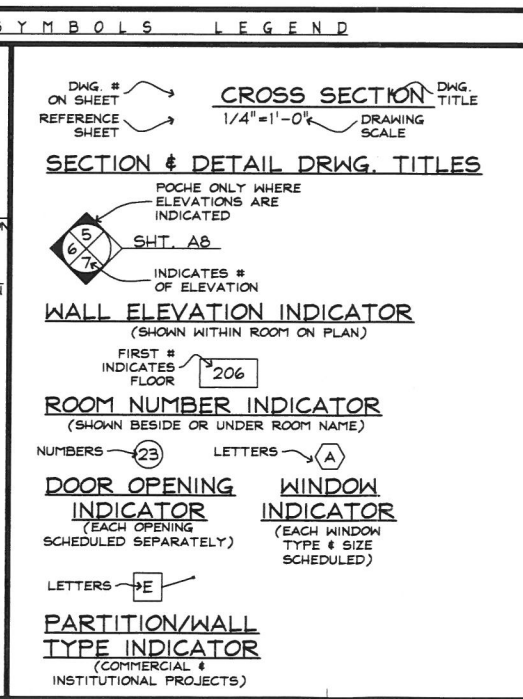
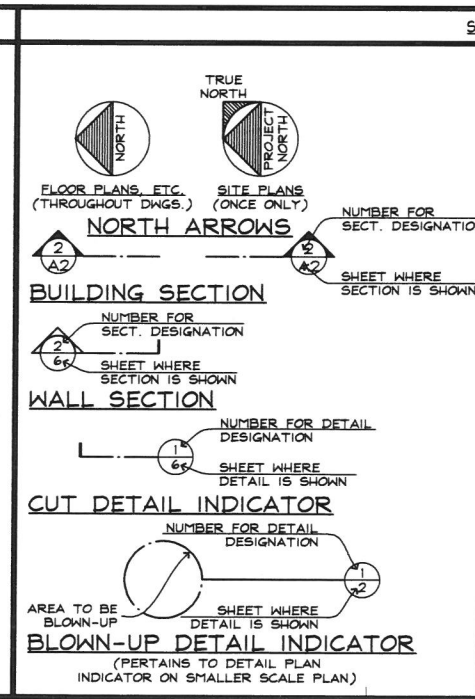
- All work shall comply with the Florida Building Code, latest edition, and all applicable laws, codes and ordinances of the City, County, and the State of Florida. In the City of Key West, applicable Codes forming the basis of this design and compliance requirements for the Contractor include:
FLORIDA BUILDING CODE - Building 2017 EDITION
FLORIDA BUILDING CODE - Existing 2017 EDITION
FLORIDA BUILDING CODE - Residential 2017 EDITION
FLORIDA BUILDING CODE - Plumbing 2017 EDITION
FLORIDA BUILDING CODE - Fuel Gas 2017 EDITION
FLORIDA BUILDING CODE - Mechanical 2017 EDITION
FLORIDA BUILDING CODE - Energy Conservation 2017 EDITION
NATIONAL ELECTRICAL CODE 2017 EDITION
NFPA 101 LIFE SAFETY CODE w/ Florida Modifications
FLORIDA FIRE PREVENTION CODE 2017 EDITION
NFPA 1 2018 EDITION
- This project is designed in accordance with A.S.C.E. 7-10 to resist wind loads of 180 mph (3 second gusts) and in accordance with ASCE 24-14 Flood Resistant Design and Construction.
- Prior to submitting a bid, verify all existing conditions and dimensions on the jobsite, and also after award, but prior to the start of construction.
- Contours and/or existing grades shown are approximate. Verify with field conditions. Final grading shall provide gradual slopes and grades. Slope all grades away from the building. Planting areas shall be graded with soil suitable for planting. Rock and debris will not be allowed.
- Where discrepancies between drawings, specifications, and code requirements occur, adhere to the most stringent requirement.
- Dimensions shall take precedence over scale.
- All new utilities shall be underground.
- Drawings and specifications are complementary. Refer to all sheets of drawings and applicable sections of the specifications for interfaces of work with related trades. NOT TO SCALE
- After completion of construction remove all debris and construction equipment. Restore site to original condition.
- Notify owner of any possible artifacts uncovered during site grading and throughout the course of construction.
- Furnish a receptacle on site to contain construction debris and maintain the site in an orderly manner to ensure public safety and prevent blowing debris.
- Comply with all requirements for selective demolition as specified, shown on the Demolition Plan, or called for in the selective Demolition Notes.

FLORIDA ADMINISTRATIVE CODE

61G1-16.003 Use of Seal. The personal seal, signature and date of the architect or interior designer shall appear on all architectural or interior design documents to be filed for public record and shall be construed to obligate his partners or his corporation. A corporate seal alone is insufficient. Documents shall be signed personally and sealed by the responsible architect or interior designer. Final official record documents (not tracings, etc.) shall be so signed. The signing and sealing of the specification and sheets shall be considered adequate. All drawing sheets and pages shall be so signed and sealed. An architect or interior designer shall not affix, or permit to be affixed, his seal or name to any plan, specifications, drawings, or other related document which was not prepared by him or under his responsible supervising control as provided in Rule Chapter 61G1-23, F.A.C. An architect or interior designer shall not use his seal or do any other act as an architect or interior designer unless holding at the time a certificate of registration and all required renewals thereof.
Specific Authority 481.2065, 481.221 FS. Law Implemented 481.221, 481.225(1)(a), (a), (j), 481.225(1)(g), (h), (i) FS. History-New 12-23-79, Formerly 21B-16.03, Amended 7-27-89, Formerly 21B-16.003, Amended 11-21-94, 4-18-00.

ABBREVIATIONS

AB	ANCHOR BOLT	MIN	MINIMUM
ABC	AGGREGATE BASE COURSE	NTS	NOT TO SCALE
A/C	AIR CONDITIONING	OA	OVERALL
BLKG	BLOCKING	OC	ON CENTER
BUR	BUILT UP ROOF	OD	OUTSIDE DIAMETER
CAB	CABINET	PCF	POUNDS PER CUBIC FOOT
CER	CERAMIC	PL	PROPERTY LINE
CL	CENTER LINE	PLAM	PLASTIC LAMINATE
CLG	CEILING	PLF	POUNDS PER LINEAL FOOT
CMU	CONCRETE MASONRY UNIT	PNL	PANEL
COL	COLUMN	PT	POINT
CONC	CONCRETE	PVC	POLYVINYLCHLORIDE
DBL	DOUBLE	R	RADIUS (OR) RISER
DIAG	DIAGONAL	R/A	RETURN AIR
DS	DOWNSPOUT	REBAR	STEEL REINF. BAR
DTL	DETAIL	REFR.	REFRIGERATOR
DWR	DRAWER	SF	SQUARE FOOT (FEET)
EJ	EXPANSION JOINT	SS	STAINLESS STEEL
EL	ELEVATION	SPEC	SPECIFICATION
ELEC	ELECTRIC	T	TREAD(S)
EQ	EQUAL	TYP	TYPICAL
EXH	EXHAUST	UNO	UNLESS NOTED OTHERWISE
FV	FIELD VERIFY	VCT	VINYL COMPOSITION TILE
GALV	GALVANIZED	VERT	VERTICAL
GI	HORIZONTAL	WD	WOOD
HORZ	HORIZONTAL	WHF	WELDED WIRE FABRIC
HDN	HARDWARE	WH	WATER HEATER
HVAC	HEATING VENTILATING & AIR CONDITIONING	W/O	WITHOUT
FOC	FACE OF CONCRETE		
FOS	FACE OF STUD		
FIN	FINISH		
FE	FIRE EXTINGUISHER		
FND	FOUNDATION		
FTG	FOOTING		
ID	INSIDE DIAMETER		
MAX	MAXIMUM		



MATERIAL DESIGNATIONS

- CONCRETE MASONRY UNITS IN PLAN
- CONC., STUCCO, PLASTER IN ELEV., POURED CONC. IN PLAN
- METAL IN ELEVATION
- METAL IN SECTION
- FINISH WOOD IN ELEV. & IN SECTION
- DIMENSION LUMBER IN SECTION (CONTINUOUS)
- WOOD BLOCKING IN SECTION (DISCONTINUOUS)
- GYPSUM WALL BOARD IN SECTION (LARGE SCALE)
- EARTH, NATURAL SUBSTRATE
- GRAVEL, AGGREGATE BASE COURSE, FILL
- FIBERGLASS BATT INSULATION
- RIGID INSULATION

PARTITIONS & WALLS

- CONCRETE MASONRY UNITS
- POURED CONCRETE
- WOOD FRAME
- METAL STUDS
- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE DEMOLISHED

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SHEET INDEX

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A2.1	PROPOSED ELEVATIONS
A2.2	PROPOSED ELEVATIONS
A3	PHOTOGRAPHS
A4	PHOTOGRAPHS

616 EATON RESIDENCE
616 EATON STREET
KEY WEST, FLORIDA

Bender & Associates
ARCHITECTS
P.A.

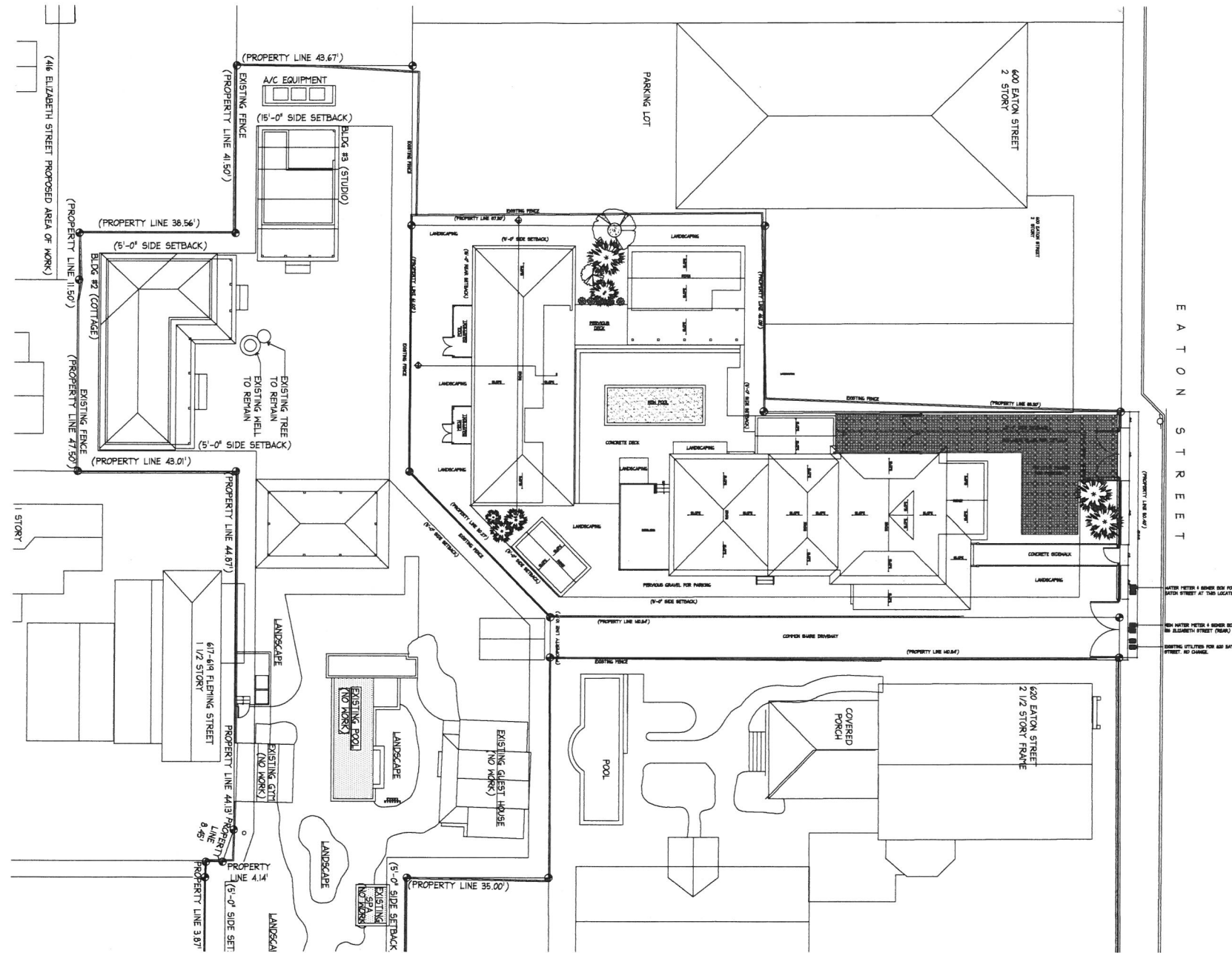
Project No. 1719
Date 10/7/19

C

OF

PROJECT STATISTICS

FEMA FLOOD ZONE	ZONE 'X'		
ZONING DESIGNATION	HM2R		
LOT SIZE	12,392 S.F.		
OCCUPANCY	SINGLE FAMILY		
	REQUIRED	EXISTING	PROPOSED
BUILDING COVERAGE 12,392 S.F. X 40%	4,957 S.F. MAX.	1,878 S.F.	4,932 S.F. (39.1%)
BUILDING HEIGHT	30'-0" MAX.	32'-0"	28'-4" (NEW CONSTRUCTION)
IMPERVIOUS SURFACE 12,392 S.F. X 60%	7,435 S.F. MAX.	1,878 S.F.	7,097 S.F. (54.4%)
FRONT SETBACK (STREET)	10'-0" MIN.	20'-0"	20'-0" (NO CHANGE)
SIDE SETBACK (EAST)	5'-0" MIN.	3'-4"	3'-4" (EXISTING, ALL NEW STRUCTURES MEET SETBACK)
SIDE SETBACK (WEST)	5'-0" MIN.	5'-0"	5'-0" (DETACHED CARPORT 1'-0" MIN)
REAR SETBACK	15'-0" MIN.	15'-0"	15'-0"
OPEN SPACE (35%)	4,337 S.F. MIN.	10,514 S.F.	5,070 S.F. (39.2%)



1 PROPOSED SITE PLAN
A1.1 SCALE: 1/8"=1'-0"



616 EATON RESIDENCE
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KEY WEST, FLORIDA

410 Angela Street
Key West, Florida 33040
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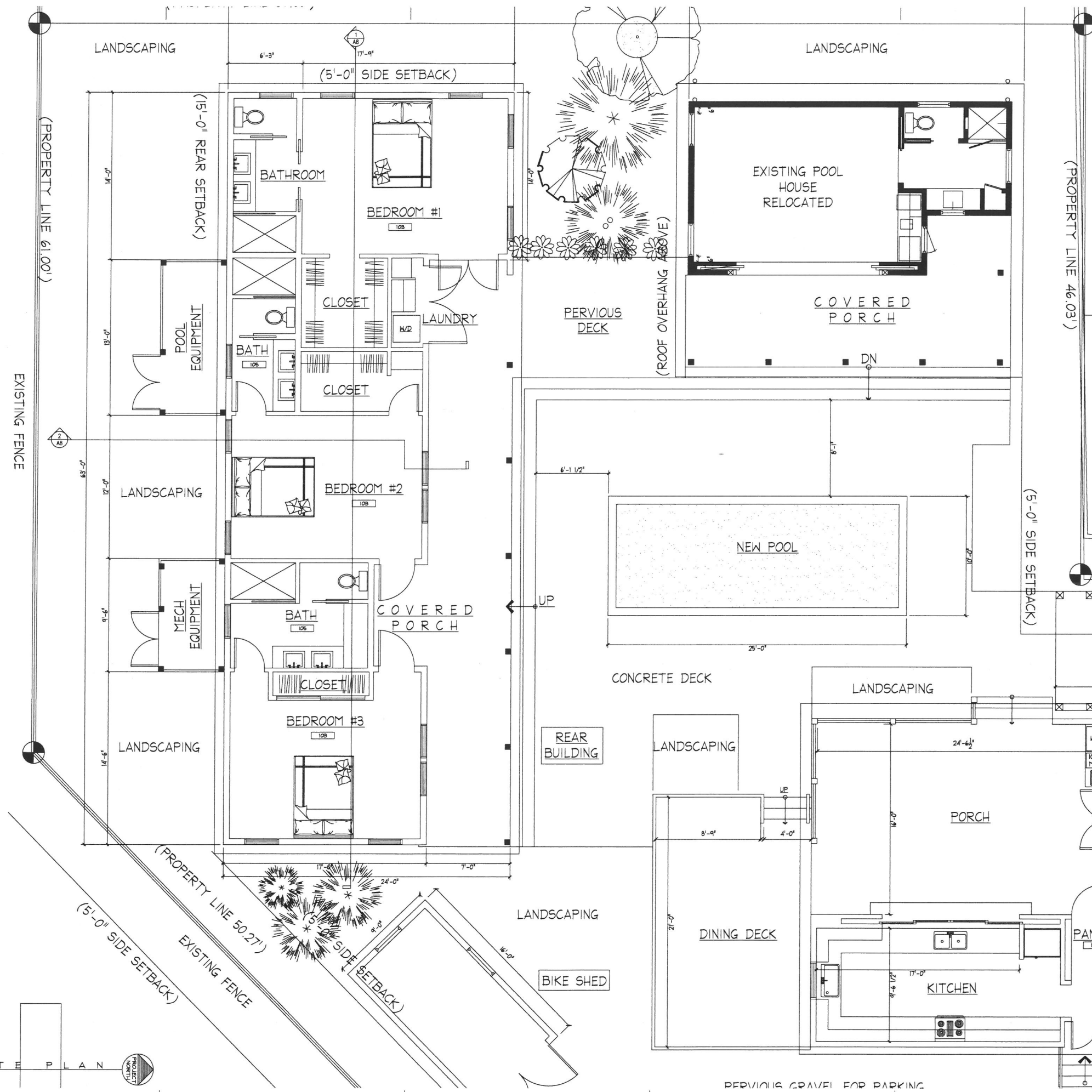
Project No: 1779

SITE PLAN W/ROOF
PLAN

Date: 10/17/19

A1.1

OF



1 PARTIAL PROPOSED SITE PLAN
 A2.1 SCALE: 1/8"=1'-0"
 CLINCK CORPORATION

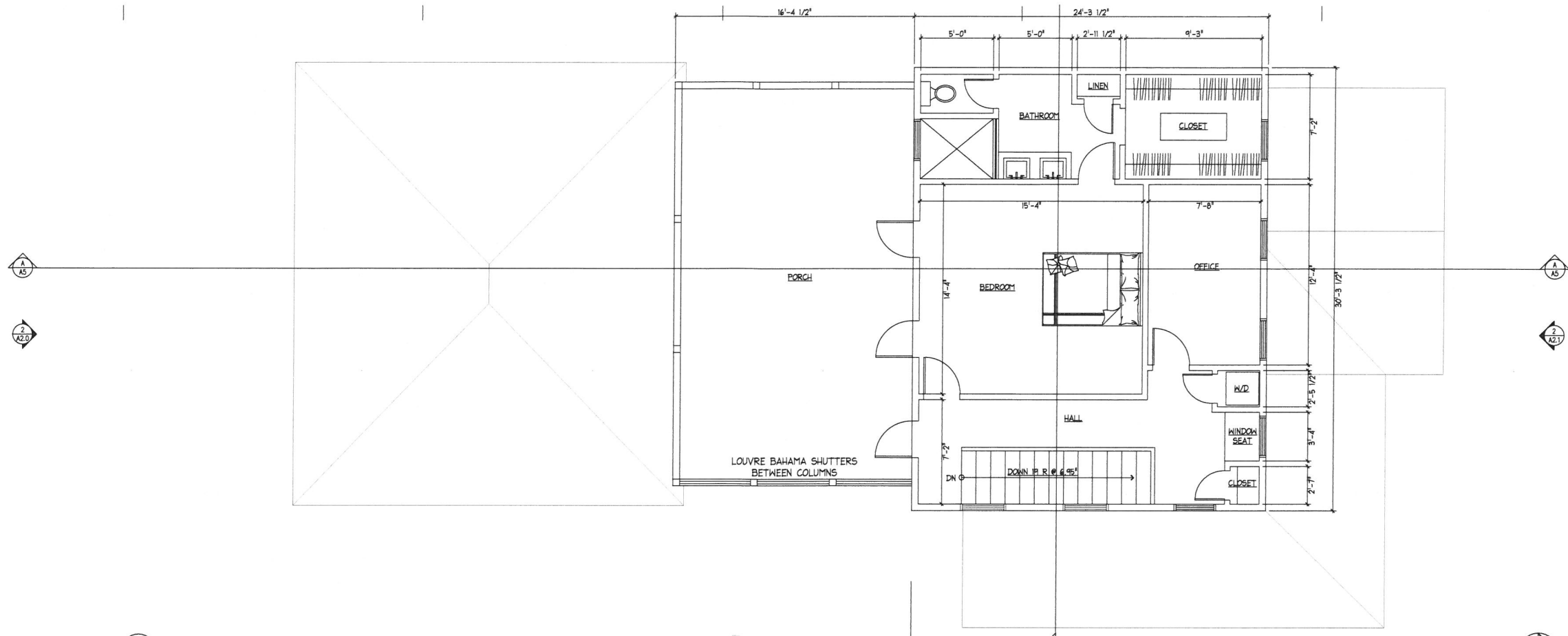
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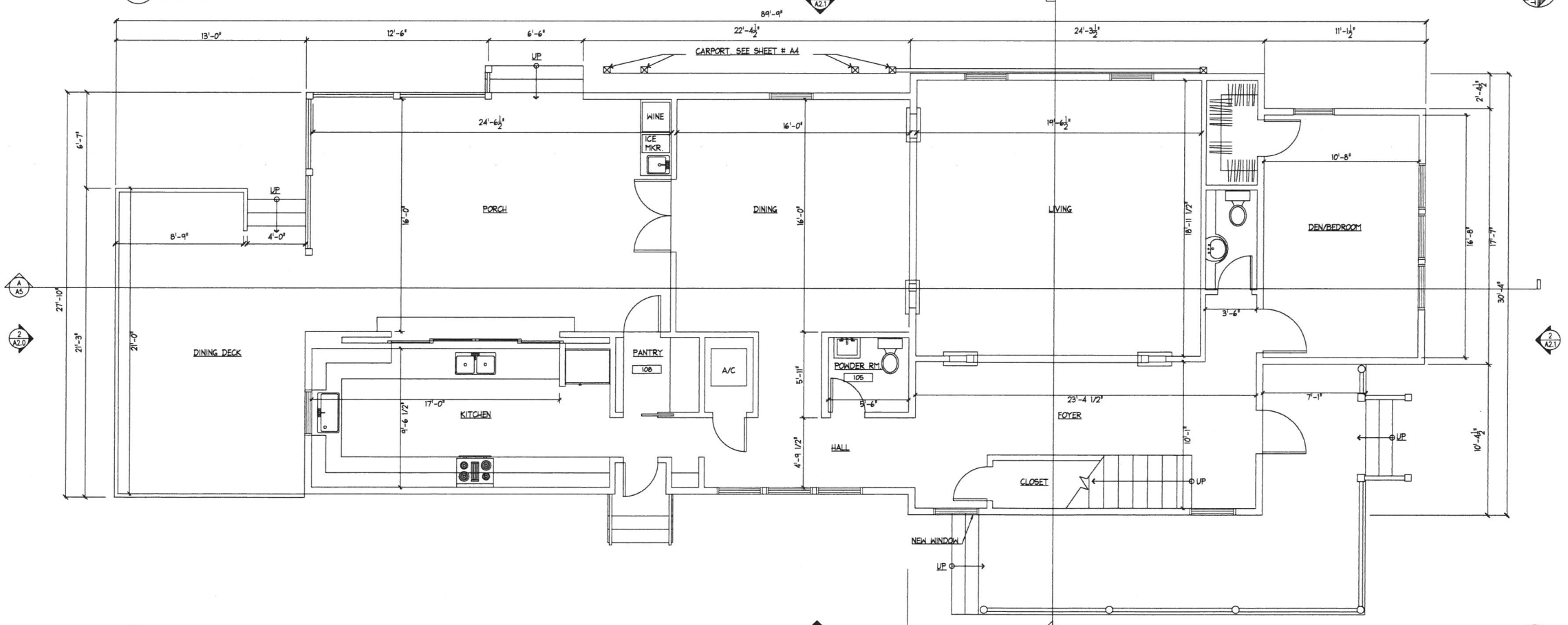
Bender & Associates
 ARCHITECTS
 p.a.

Project No: 1774
 PARTIAL SITE PLAN
 Date: 10/17/91

A1.2
 OF



1 PROPOSED SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"



2 PROPOSED FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

NEW ADDITION HISTORIC EXISTING

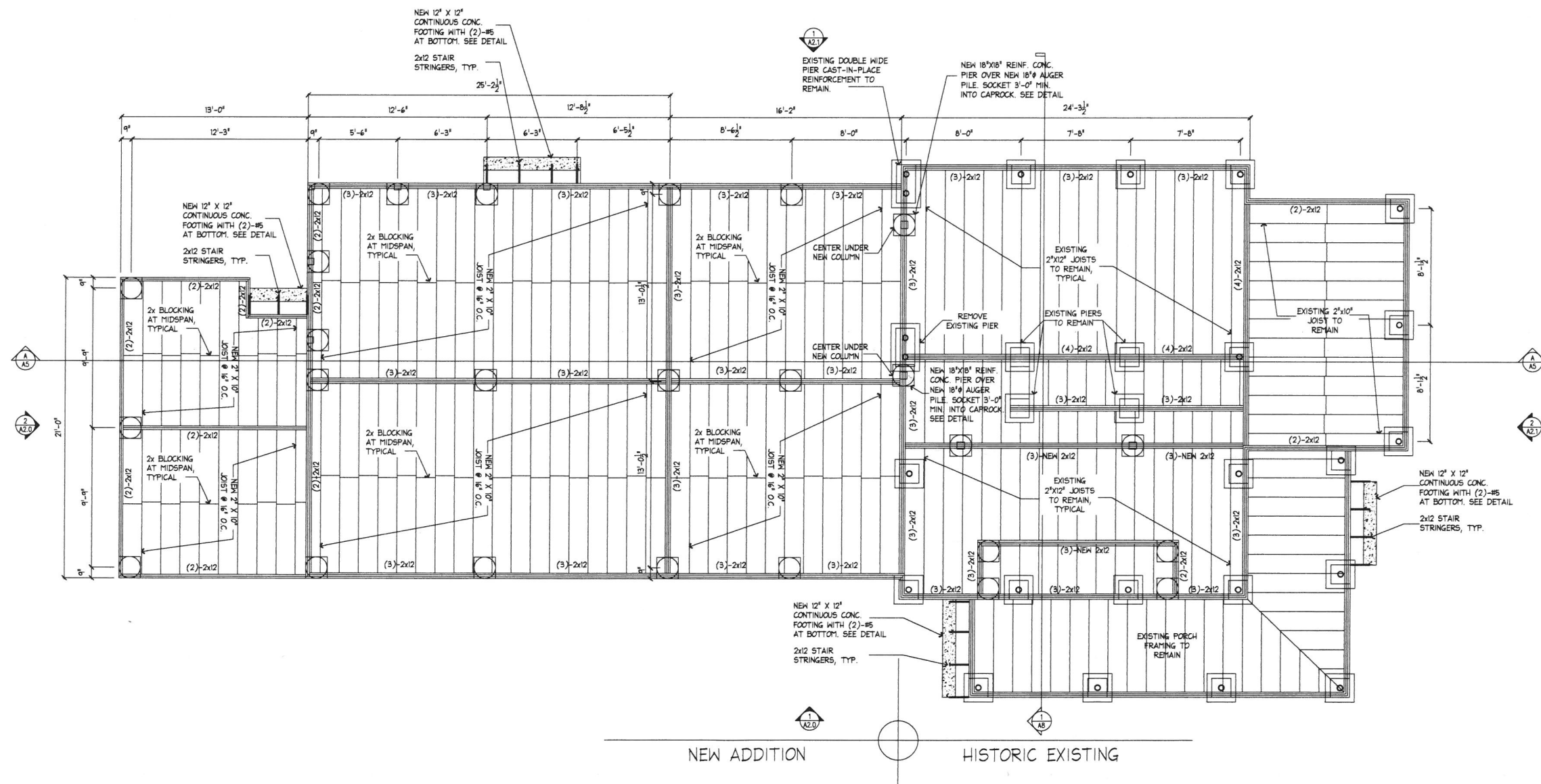
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616 EATON STREET
KEY WEST, FLORIDA

410 Angela Street
Key West, Florida 33040
Telephone (305) 296-1347
Facsimile (305) 296-2727
Florida License AAC002022

Bender & Associates
ARCHITECTS p.a.

Project No. 179
HISTORIC BUILDING +
ADDITION
PROPOSED PLANS
Date: 10/17/99

A2
OF



2 PROPOSED FOUNDATION / FRAMING FIRST FLOOR PLAN
 A2.1 SCALE: 1/4" = 1'-0"

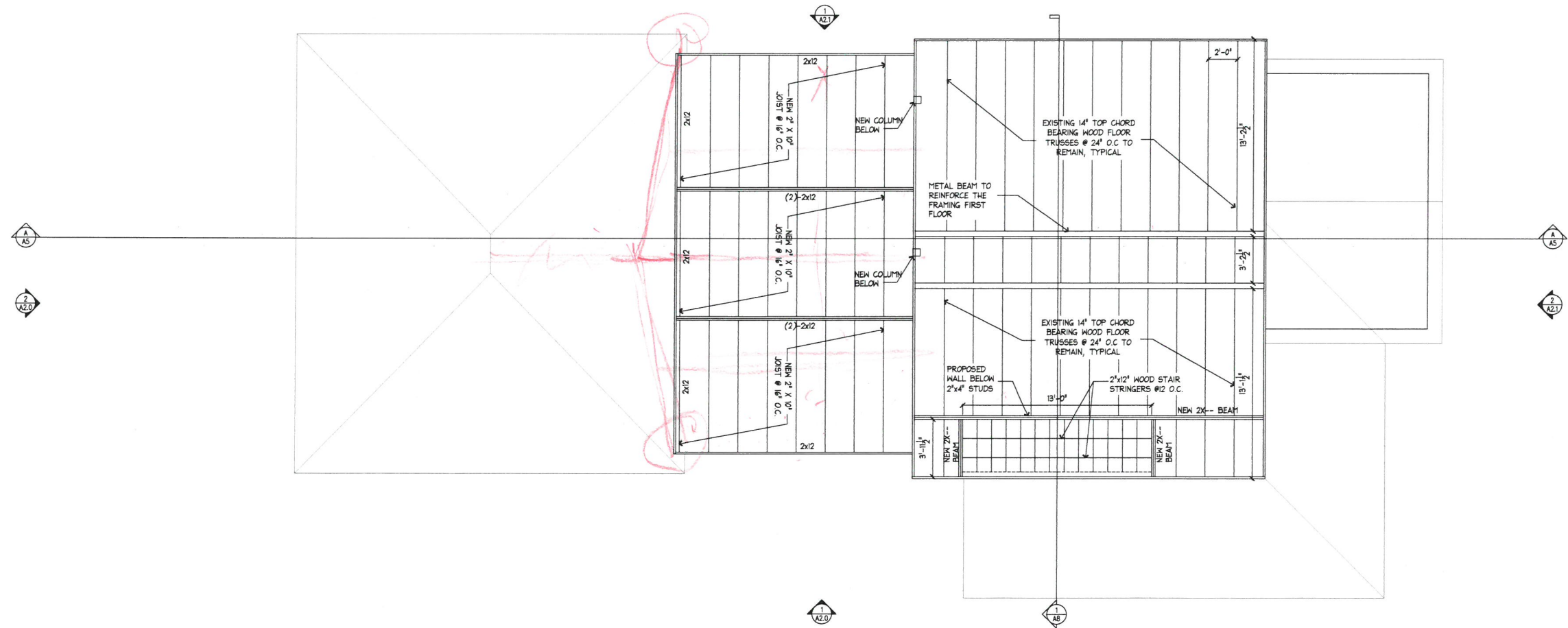
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 KEY WEST, FLORIDA

410 Angela Street
 Key West, Florida 33640
 Telephone (305) 296-1347
 Facsimile (305) 296-2727
 Florida License AAC002022

Bender & Associates
 ARCHITECTS
 p.a.

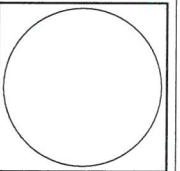
Project No: 1719
 HISTORIC BUILDING +
 ADDITION
 PROPOSED PLANS
 Date: 10/17/19

A2.1
 of



2 PROPOSED FRAMING SECOND FLOOR PLAN
 A2.2 SCALE: 1/4"=1'-0"

616 EATON RESIDENCE
 616 EATON STREET
 KEY WEST, FLORIDA



410 Angela Street
 Key West, Florida 33040
 Telephone (305) 296-1347
 Facsimile (305) 296-2727
 Florida License AA0002022

Bender & Associates
 ARCHITECTS
 p.a.

Project No: 1799
 HISTORIC BUILDING +
 ADDITION
 PROPOSED PLANS
 Date: 10/17/99

A2.2
 OF



NEW ADDITION HISTORIC EXISTING

1 PROPOSED WEST ELEVATION
A2.3 SCALE: 1/4" = 1'-0"



2 PROPOSED SOUTH ELEVATION
A2.3 SCALE: 1/4" = 1'-0"

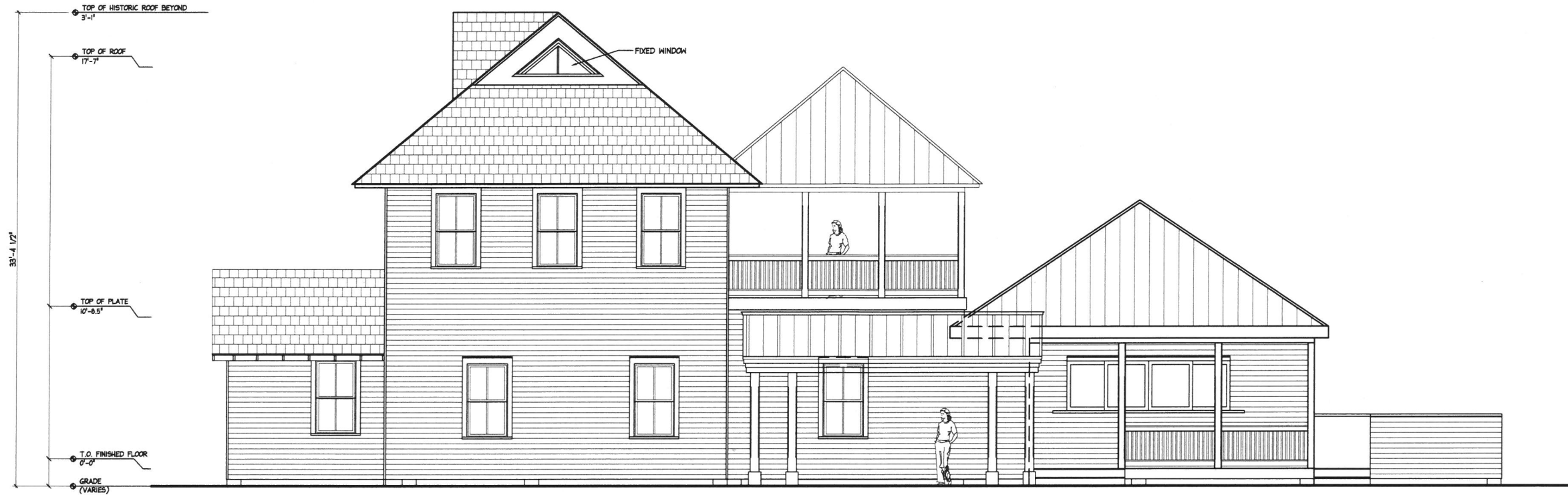
616 EATON
RESIDENCE
616 EATON STREET
KEY WEST, FLORIDA, 33040

410 Angela Street
Key West, Florida 33040
Telephone (305) 296-1347
Facsimile (305) 296-2727
Florida License AAC002022

Bender & Associates
ARCHITECTS
p.a.

Project No. 1719
HISTORIC BUILDING +
ADDITION
PROPOSED ELEVATIONS
Date: 08/21/2019

A2.3
of



1 PROPOSED EAST ELEVATION
A2.4 SCALE: 1/4" = 1'-0"



2 PROPOSED NORTH ELEVATION
A2.4 SCALE: 1/4" = 1'-0"

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Project N.º 1719
HISTORIC BUILDING +
ADDITION
PROPOSED ELEVATIONS
Date: 08/21/2019

A2.4
OF



2 PROPOSED BUILDING SECTION
 A2.5 SCALE: 1/4"=1'-0"



616 EATON RESIDENCE
 616 EATON STREET
 KEY WEST, FLORIDA

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 Key West, Florida 33040
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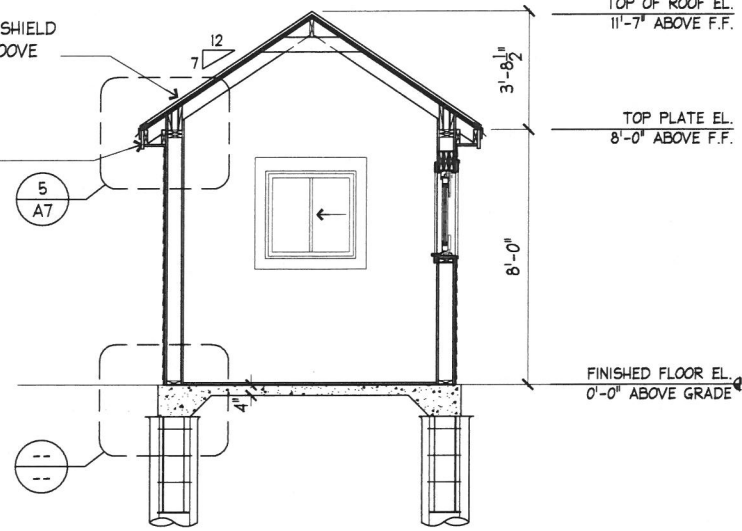
Bender & Associates
 ARCHITECTS p.a.

Project No: 179A
 HISTORIC BUILDING +
 ADDITION
 PROPOSED PLANS
 Date: 10/17/94

A2.5
 OF

V-CRIMP ROOFING OVER ICE AND WATER SHIELD
OVER 5/8" PLYWOOD OVER 1X6 T&G V-GROOVE
SHEATING OVER 2X RAFTERS

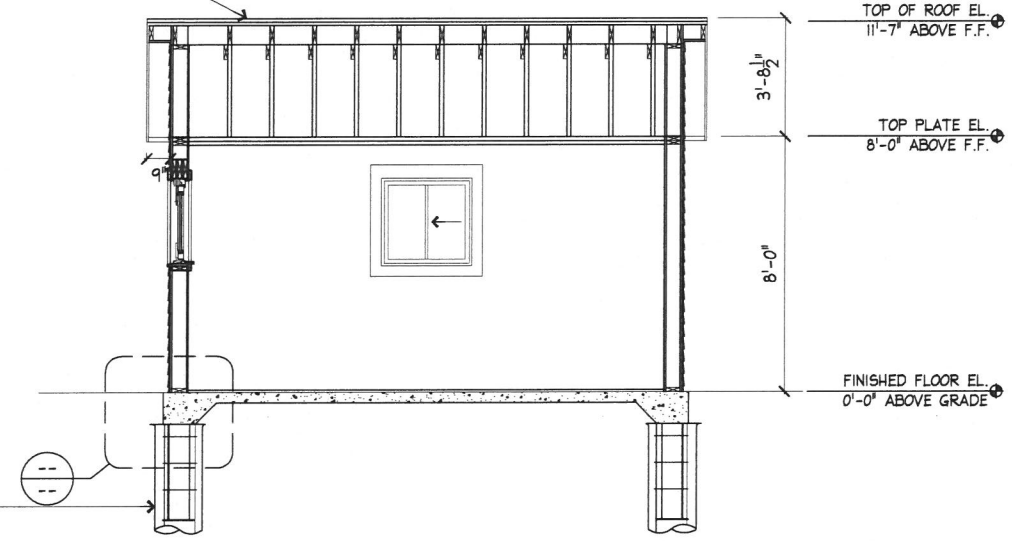
PAINTED WD. FASCIA



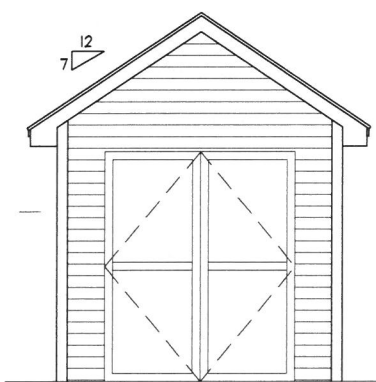
6 BUILDING SECTION
SCALE: 3/8" = 1'-0"

V-CRIMP ROOFING OVER ICE AND WATER SHIELD
OVER 5/8" PLYWOOD OVER 1X6 T&G V-GROOVE
SHEATING OVER 2X RAFTERS

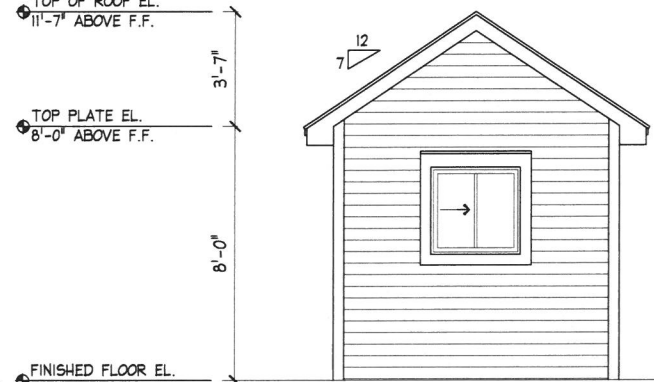
TUBE STEEL SLEEVE SET INTO
AUGER PILE. SEE DETAIL ----



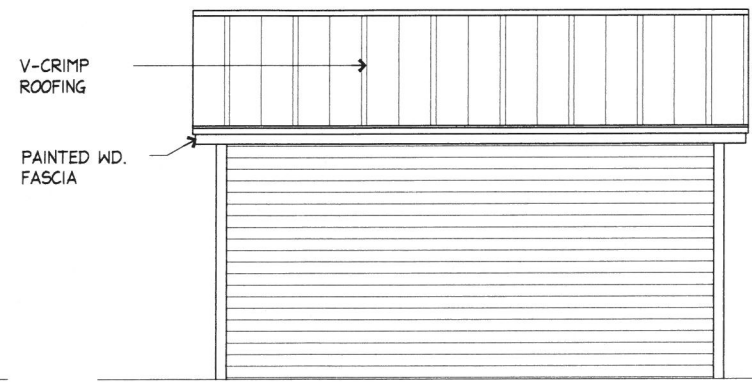
7 BUILDING SECTION
SCALE: 3/8" = 1'-0"



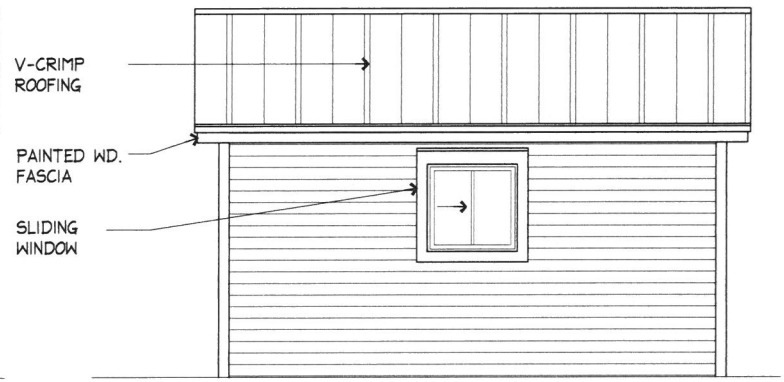
3 EAST ELEVATION
SCALE: 3/8" = 1'-0"



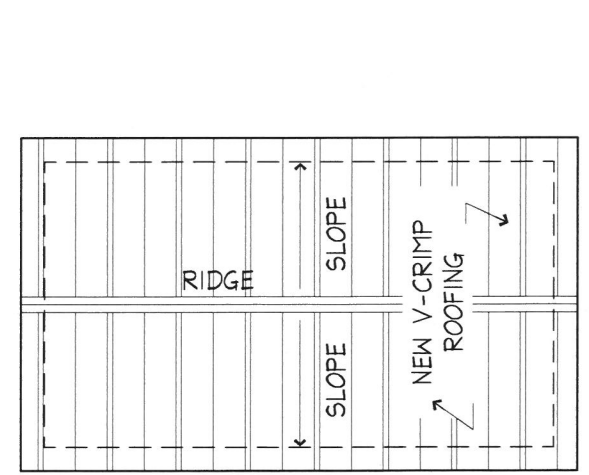
4 WEST ELEVATION
SCALE: 3/8" = 1'-0"



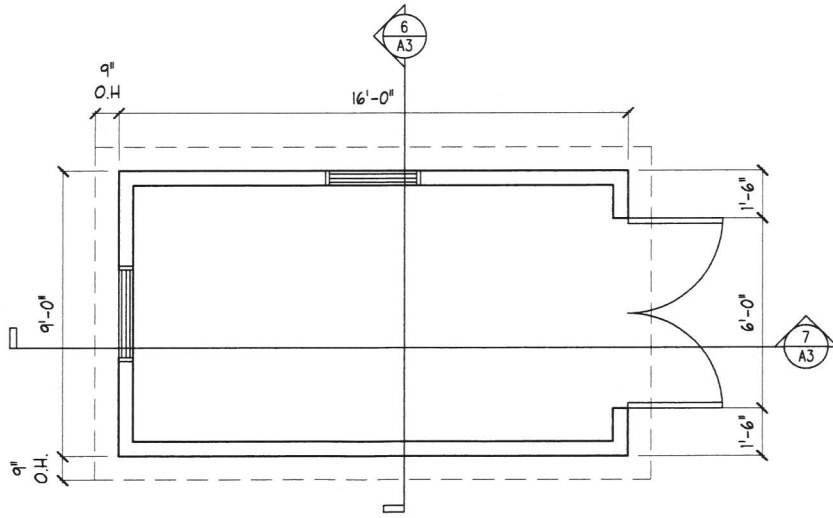
5 SOUTH ELEVATION
SCALE: 3/8" = 1'-0"



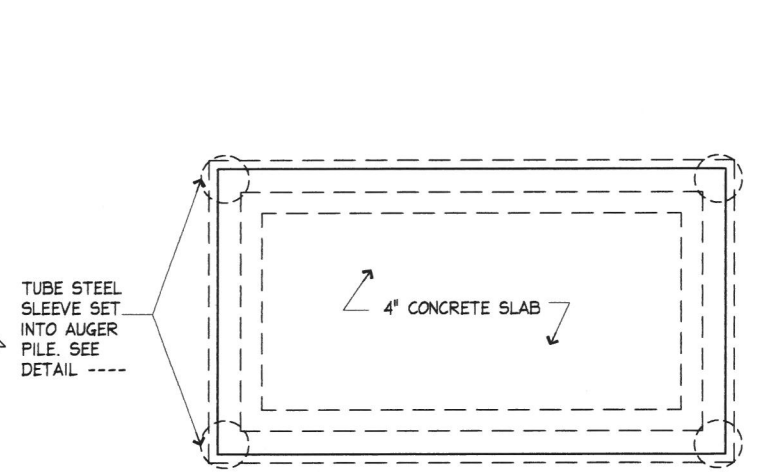
1 NORTH ELEVATION
SCALE: 3/8" = 1'-0"



3 ROOF PLAN
SCALE: 3/8" = 1'-0"



1 FIRST FLOOR PLAN
SCALE: 3/8" = 1'-0"



2 FOUNDATION PLAN
SCALE: 3/8" = 1'-0"

616 EATON
RESIDENCE
616 EATON STREET
KEY WEST, FLORIDA, 33040

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Key West, Florida 33040
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Facsimile (305) 296-2727
Florida License AAC002022

Bender & Associates
ARCHITECTS p.a.

Project N.º 1719
BIKE SHED PLANS
AND ELEVATIONS
Date: 08/21/2019

A3

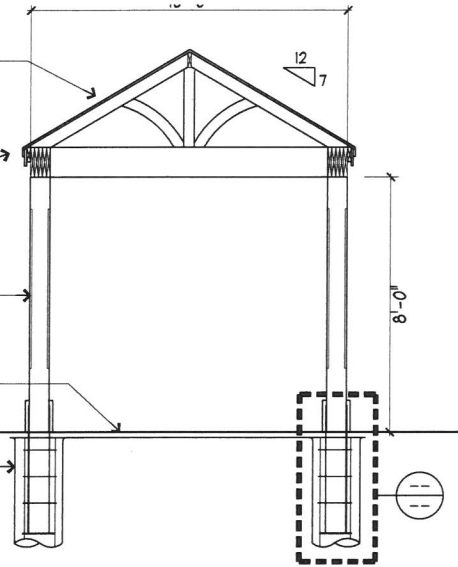
V-CRIMP ROOFING OVER ICE AND WATER SHIELD
OVER 5/8" PLYWOOD OVER 1X6 T&G V-GROOVE
SHEATHING OVER 2X RAFTERS

PAINTED WD. FASCIA

PAINTED WD. 8X8 COLUMN. 3/4" CHAMFER AT EACH
CORNER, BEGINNING 12" ABOVE BASE TRIM AND
ENDING 12" BELOW BOTTOM OF BEAM.

NEW PAVERS

SLEEVE 8X8 COLUMNS INTO TUBE STEEL SLEEVE. TUBE
STEEL SLEEVE SET INTO AUGER PILE. SEE DETAIL ----



6 BUILDING SECTION
A4 SCALE: 3/8" = 1'-0"

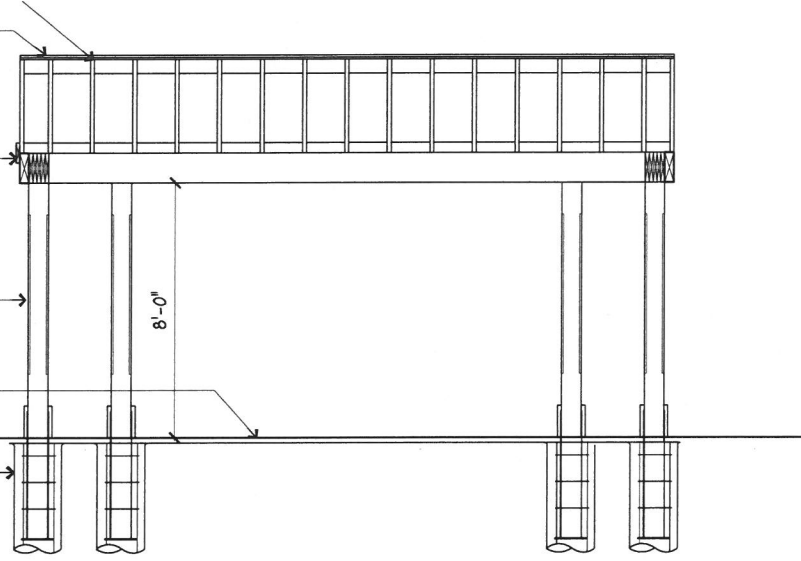
V-CRIMP ROOFING

PAINTED WD. FASCIA

PAINTED WD. 8X8 COLUMN. 3/4" CHAMFER AT EACH
CORNER, BEGINNING 12" ABOVE BASE TRIM AND
ENDING 12" FROM BOTTOM OF BEAM

PAVERS

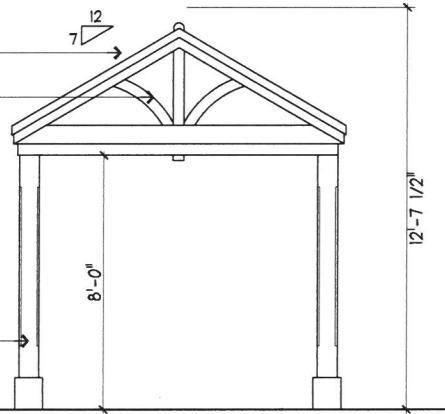
SLEEVE 8X8 COLUMNS INTO TUBE STEEL SLEEVE. TUBE
STEEL SLEEVE SET INTO AUGER PILE. SEE DETAIL ----



5 BUILDING SECTION
A4 SCALE: 3/8" = 1'-0"

METAL FLASHING OVER 1X6 PAINTED WD. FASCIA
OPEN GABLE WITH CROSS BRACING AT GABLE ENDS

PAINTED WD. 8X8 COLUMN. 3/4" CHAMFER AT EACH
CORNER, BEGINNING 12" ABOVE BASE TRIM AND
ENDING 12" FROM TOP OF COLUMN.



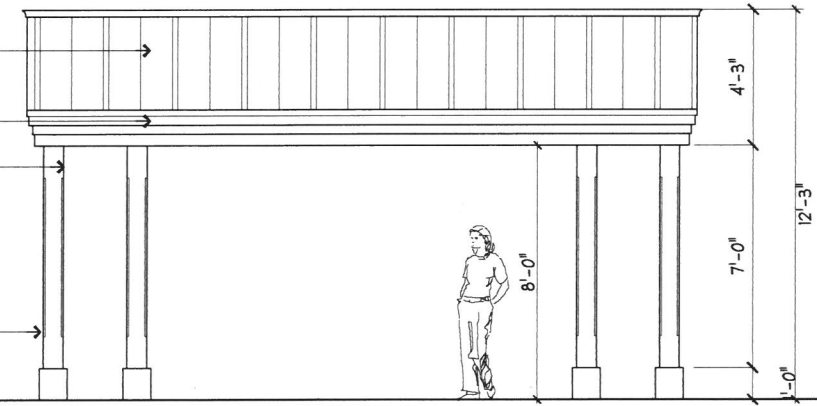
4 NORTH ELEVATION
A4 SCALE: 3/8" = 1'-0"

V-CRIMP ROOFING

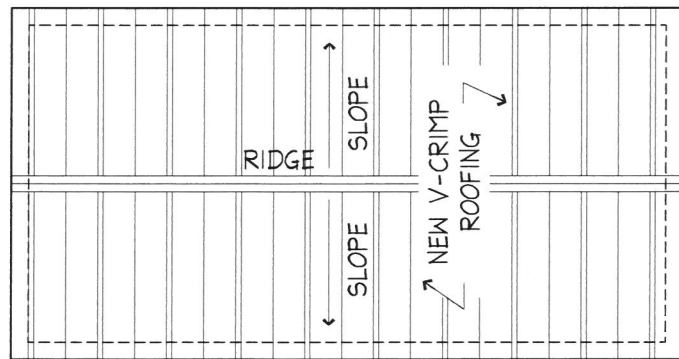
PAINTED WD. FASCIA

PAINTED WD. FASCIA

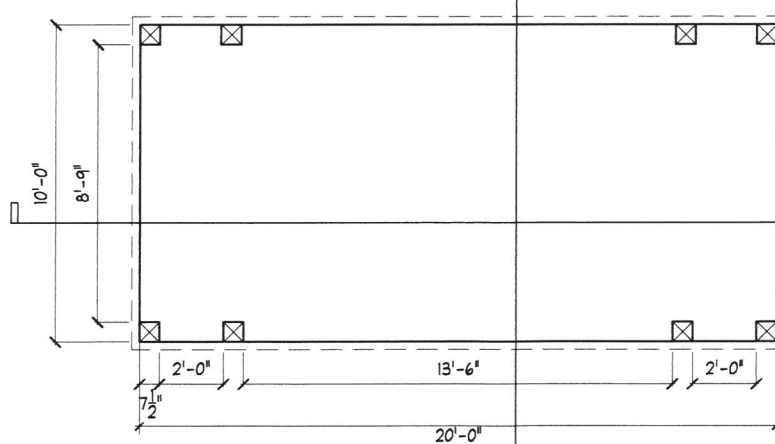
PAINTED WD. 8X8 COLUMN. 3/4" CHAMFER AT
EACH CORNER, BEGINNING 12" ABOVE BASE
TRIM AND ENDING 12" FROM TOP OF COLUMN.



3 SOUTH ELEVATION
A4 SCALE: 3/8" = 1'-0"

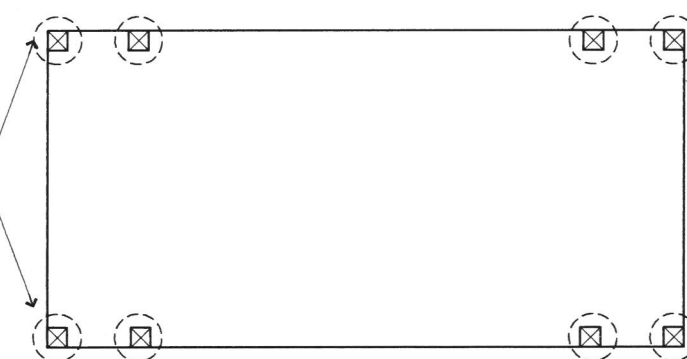


2 ROOF PLAN
A4 SCALE: 3/8" = 1'-0"



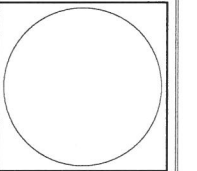
2 FIRST FLOOR PLAN
A4 SCALE: 3/8" = 1'-0"

NEW 8X8 COLUMN
SET INTO TUBE
STEEL SLEEVE.
CAST INTO 18"Ø
AUGER PILE. SOCKET
AUGER PILE 3'-0"
MIN. INTO CAPROCK.
SEE DETAIL



1 FOUNDATION PLAN
A4 SCALE: 3/8" = 1'-0"

**616 EATON
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616 EATON STREET
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Bender & Associates
ARCHITECTS p.a.

Project No. 1719
CARPORT PLANS
AND ELEVATIONS
Date: 08/21/2019

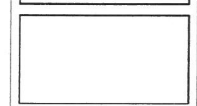
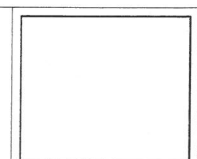
A4
of



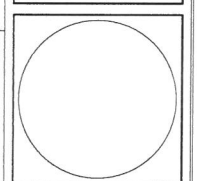
2 EAST ELEVATION
 A5.1 SCALE: 1/4" = 1'-0"



1 NORTH ELEVATION
 A5.1 SCALE: 1/4" = 1'-0"



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Bender & Associates
 ARCHITECTS
 p.c.

Project # 1719
 REAR BUILDING
 PROPOSED ELEVATIONS
 Date: 08/21/2019

A5.1
 of

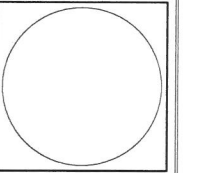


2 EAST ELEVATION
A5.2 SCALE: 1/4" = 1'-0"



1 NORTH ELEVATION
A5.2 SCALE: 1/4" = 1'-0"

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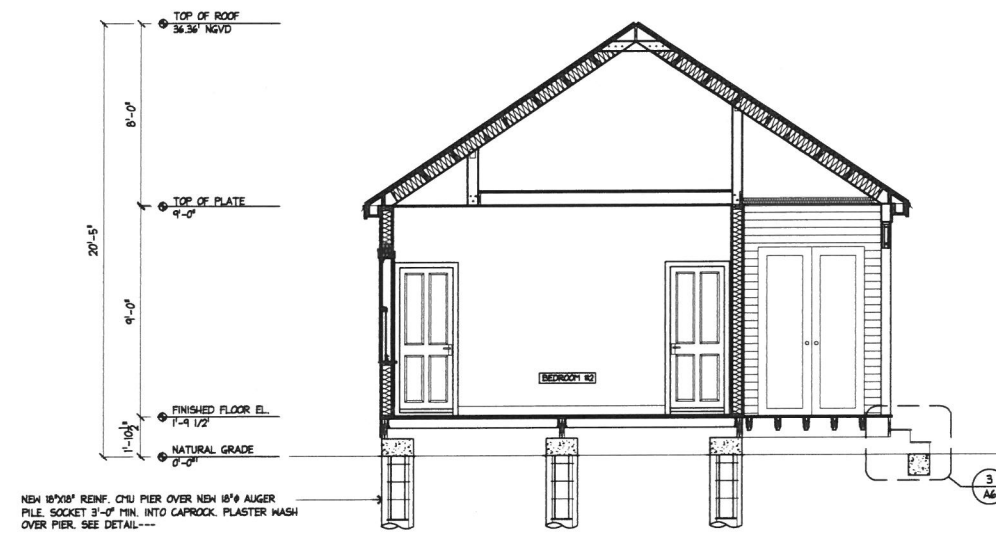
Project # 1719

REAR BUILDING
PROPOSED ELEVATIONS

Date: 08/21/2019

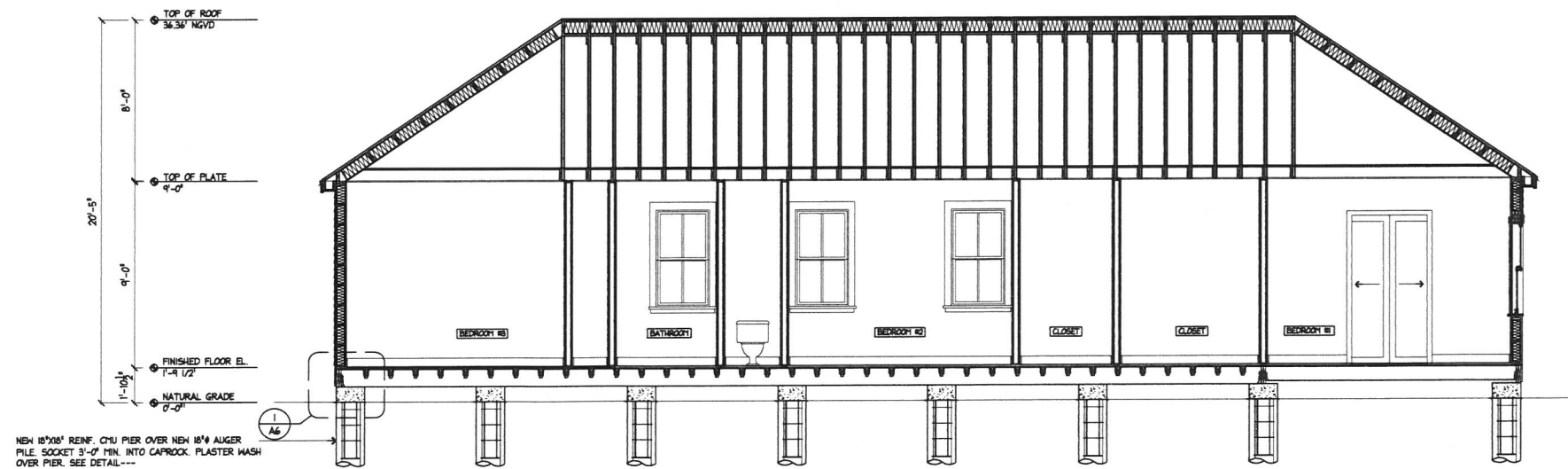
A5.2

of



NEW 18"x18" REINF. C14 PIER OVER NEW 18" AUGER
 PILE SOCKET 3'-0" MIN. INTO CAPROCK. PLASTER WASH
 OVER PIER. SEE DETAIL---

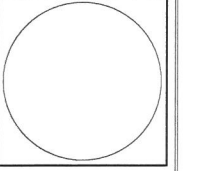
2 BUILDING SECTION
 A5.3 SCALE: 1/4" = 1'-0"



NEW 18"x18" REINF. C14 PIER OVER NEW 18" AUGER
 PILE SOCKET 3'-0" MIN. INTO CAPROCK. PLASTER WASH
 OVER PIER. SEE DETAIL---

1 BUILDING SECTION
 A5.3 SCALE: 1/4" = 1'-0"

616 EATON
 RESIDENCE
 616 EATON STREET
 KEY WEST, FLORIDA, 33040



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Bender & Associates
 ARCHITECTS
p.a.

Project No. 1719
 REAR BUILDING
 PROPOSED SECTIONS
 Date: 08/21/2019

A5.3
 OF

NOTICING

Public Meeting Notice

The Historic Architectural Review Commission will hold a public meeting at 5:30 p.m., February 25, 2020 at City Hall, 1300 White Street, Key West, Florida. The purpose of the hearing will be to consider a request for:

**RENOVATIONS TO HISTORIC HOUSE. NEW REAR ADDITIONS
AND DETACHED ADDITION. NEW ACCESSORY STRUCTURES.
NEW POOL, CARPORT, DECKS, AND SITE IMPROVEMENTS.**

#616 EATON STREET

Applicant – Bender & Associates Application #H2020-0008

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 1300 White Street, call 305-809-3975 or visit our website at www.cityofkeywest-fl.gov.

THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION

ADA ASSISTANCE: It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 800-955-8771 or 800-955-8770 (Voice) or the ADA Coordinator at 305-809-3811 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.

HARC POSTING AFFIDAVIT

STATE OF FLORIDA:
COUNTY OF MONROE:

BEFORE ME, the undersigned authority, personally appeared Ana Alvarez, who, first being duly sworn, on oath, depose and says that the following statements are true and correct to the best of his/her knowledge and belief:

1. That a legal notice for Public Notice of Hearing of the Historic Architectural Review Commission (HARC) was placed on the following address:
616 Eaton St. on the 19th day of February, 2020.

This legal notice(s) contained an area of at least 8.5"x11".

The property was posted to notice a public hearing before the Key West Historic Architectural Review Commission to be held on February 25, 2020.

The legal notice(s) is/are clearly visible from the public street adjacent to the property.

The Certificate of Appropriateness number for this legal notice is H2020-0008

2. A photograph of that legal notice posted in the property is attached hereto.

Signed Name of Affiant:

Ana Catalina Alvarez
Date: 02/19/2020
Address: 410 Angela St.
City: Key West
State, Zip: FL 33040

The foregoing instrument was acknowledged before me on this 18 day of February, 2020.

By (Print name of Affiant) Ana Catalina Alvarez who is personally known to me or has produced _____ as identification and who did take an oath.

NOTARY PUBLIC

Sign Name: [Signature]
Print Name: BERT BENDER

Notary Public - State of Florida (seal)

My Commission Expires: Oct. 22, 2023

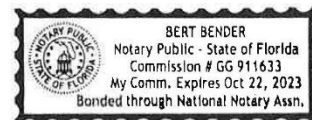




Photo of notice posted at 616 Eaton Street.



Photo of notice posted on fence at 616 Eaton Street.

PROPERTY APPRAISER INFORMATION



Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID 00006210-000000
 Account# 1006432
 Property ID 1006432
 Millage Group 10KW
 Location 616 EATON ST, KEY WEST
 Address
 Legal KW PT LOTS 1-2-3-4 SQR 36 G56-165/66 OR1251-2426/39EST OR1430-1752/55PET OR1555-1637/38P/R OR2582-257/58 OR2699-351/53 OR2703-2336/37C OR2843-210/11 OR2847-2000/02C
 Description (Note: Not to be used on legal documents.)
 Neighborhood 6108
 Property Class SINGLE FAMILY RESID (0100)
 Subdivision
 Sec/Typ/Rng 06/58/25
 Affordable No
 Housing



Owner

[FARNIENTE LLC](#)
 C/O FIDUCIARY COUNSELLING INC
 30 E 7th St Ste 2000
 Saint Paul MN 55101

Valuation

	2019	2018	2017	2016
+ Market Improvement Value	\$231,498	\$91,965	\$95,136	\$105,743
+ Market Misc Value	\$9,172	\$9,521	\$9,871	\$1,012
+ Market Land Value	\$1,793,397	\$1,579,065	\$1,579,065	\$1,134,080
= Just Market Value	\$2,034,067	\$1,680,551	\$1,684,072	\$1,240,835
= Total Assessed Value	\$1,848,606	\$1,680,551	\$1,373,778	\$1,240,835
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$2,034,067	\$1,680,551	\$1,684,072	\$1,240,835

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
RES SUPERIOR DRY (015D)	19,018.00	Square Foot	0	0

Buildings

Building ID 407
 Style 2 STORY ELEV FOUNDATION
 Building Type S.F.R. - R1 / R1
 Gross Sq Ft 2511
 Finished Sq Ft 2008
 Stories 2 Floor
 Condition POOR
 Perimeter 290
 Functional Obs 0
 Economic Obs 0
 Depreciation % 28
 Exterior Walls ABOVE AVERAGE WOOD
 Year Built 1939
 Effective Year Built 1999
 Foundation W/D CONC PADS
 Roof Type IRR/CUSTOM
 Roof Coverage METAL
 Flooring Type CONC S/B GRND
 Heating Type NONE with 0% NONE
 Bedrooms 3
 Full Bathrooms 3
 Half Bathrooms 0
 Grade 550
 Number of Fire Pl 0

Code	Description	Sketch Area	Finished Area	Perimeter
OPX	EXC OPEN PORCH	503	0	166
FLA	FLOOR LIV AREA	2,008	2,008	322
TOTAL		2,511	2,008	488

Yard Items

Description	Year Built	Roll Year	Quantity	Units	Grade
FENCES	2015	2016	0	1800 SF	2
FENCES	2016	2017	0	200 SF	5

Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved
3/8/2017	\$0	Warranty Deed	2117669	2847	2000	11 - Unqualified	Improved
3/8/2017	\$5,250,000	Warranty Deed	2113718	2843	2843	30 - Unqualified	Improved
9/16/2014	\$0	Warranty Deed		2703	2336	11 - Unqualified	Improved
8/15/2014	\$1,850,000	Warranty Deed		2699	351	02 - Qualified	Improved
7/31/2012	\$1,700,000	Warranty Deed		2582	257	38 - Unqualified	Improved

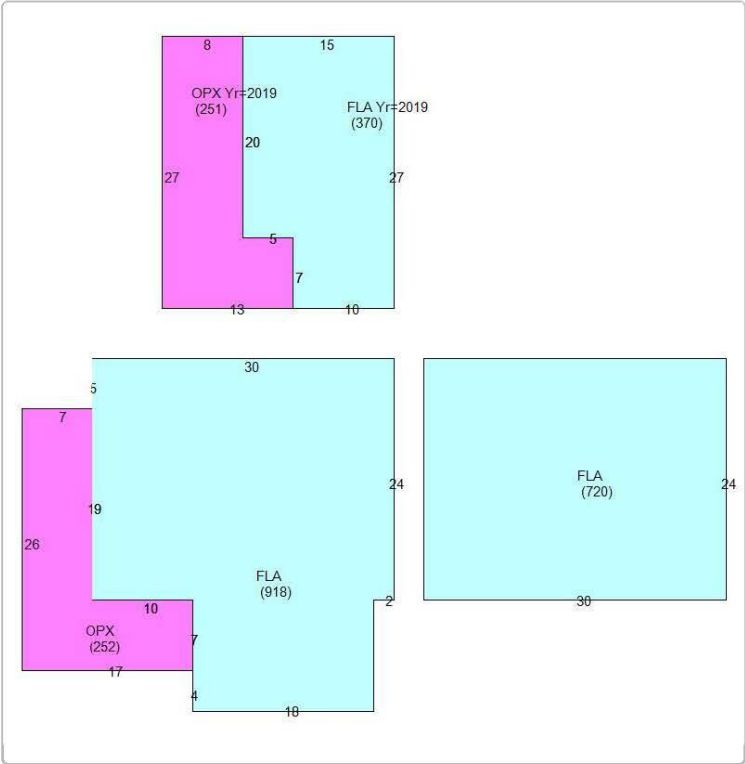
Permits

Number	Date Issued	Date Completed	Amount	Permit Type	Notes
	11/19/2019		\$0		
16-3431	11/19/2019	3/9/2017	\$0	Residential	Closed at the request of the property owner's attorney Bart Smith who was present in this office on this date PLUMBING FOR NEW RESIDENTIAL SFR
16-3432	11/19/2019	3/19/2017	\$0	Residential	Closed at the request of the property owner's attorney Bart Smith who was present in this office on this date ELECTRIC FOR NEW RESIDENTIAL SINGLE FAMILY HOME
18-0326	11/19/2019		\$175,000	Residential	NEW STUDIO, BUILDING 3, SINGLE STORY 650SF
18-0327	11/19/2019		\$250,000	Residential	NEW COTTAGE BUILDING 2 1084SF PER PLANS
18-3391	11/19/2019		\$50,000	Residential	COMPLETE WRING PERPLANS IN TWO NEW STRUCTURES
19-0487	11/19/2019		\$0	Residential	RELOCATE EXISTING SINGLE STORY BUILDING NEW FOUNDATIONS
16-3375	2/17/2017	10/17/2017	\$450,000	Residential	RENOVATION OF HISTORIC STRUCTURE, DEMO REAR ADDITIONS, ADD NEW ADDITION, SITE WORK AND DEMO OF SIDE ADDITION [PER PLANS
16-3429	10/17/2016	3/17/2017	\$1,400,000	Residential	
15-4678	11/20/2015	11/19/2017	\$18,000	Residential	WIRE 616 EATON ST PER PLANS
15-4686	11/16/2015	11/15/2017	\$15,000	Residential	
15-3992	10/13/2015	10/12/2017	\$150,000	Residential	RESTORATION & REMODEL OF HISTORIC STRUCTURE, INTERIOR/EXTERIOR OF STRUCTURE
15-0253	2/13/2015	2/12/2017	\$12,500	Residential	WIDEN DRIVE TO 15' CREATE 13' PRIVATE DRIVE, REPLACE 26' OF IRON FENCE AND 2 GATES INSTALL 300 LF OF 6' WOODEN PICKET FENCE IN REAR
15-0227	1/29/2015	1/28/2017	\$1,500	Residential	EXPLOARATORY DEMO OF FLOOR TO VERIFY CONDITION
12-4030	11/14/2012	1/6/2014	\$2,000	Residential	4 SQS. CLEAN & PAINT ROOF WITH SILVER BRITE PAINT.
06-5837	11/15/2006	10/5/2007	\$8,300	Residential	REWIRE TO CODE FOR FIRE SEPAQRATIONS
06-5995	11/15/2006	11/15/2008	\$8,500	Residential	NEW SERVICE FOR COMMON AREAS ONLY
06-6012	11/8/2006	11/8/2008	\$39,500	Residential	BUILD A SWIMMING POOL 8'x20' & 7'X7' SPA
06-5883	10/24/2006	10/24/2008	\$0	Residential	REVISION FOR AUGER FOUNDATION
00-2843	9/22/2000	11/3/2000	\$925	Residential	REPAIR PORCH
97-2768	8/15/1997	11/3/1998	\$2,000	Residential	REPAIRS TO ROOF
A95-1275	4/1/1995	10/1/1995	\$2,400	Residential	4 SQS SGL PLY ROOFING

View Tax Info

[View Taxes for this Parcel](#)

Sketches (click to enlarge)



Photos



Map



TRIM Notice

Trim Notice

2019 Notices Only

No data available for the following modules: Commercial Buildings, Mobile Home Buildings, Exemptions.

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Developed by



Version 2.3.41