



Historic Architectural Review Commission Staff Report for Item 17

To: Chairman Bryan Green and Historic Architectural Review Commission Members

From: Kathleen McDonald, MHP
Historic Preservation Planner II

Meeting Date: May 25, 2021

Applicant: Titan Contracting

Address: #905 Emma Street

Description of Work:

Change in roof form from flat to gable on existing accessory structure.

Site Facts:

The concrete block structure under review is an accessory to the main structure at 905 Emma Street. The accessory structure is not present on any of the Sanborn maps or historic photos. Staff has determined the accessory structure to be non-historic and non-contributing to the district.

Guidelines Cited on Review:

- Guidelines for Additions and Alterations to Contributing, Non-Contributing and Non-Historic Buildings and Structures (pages 37a-37k), specifically guidelines 1, 6, 8, 12, 13, 14, 19 and 26.

Staff Analysis:

The Certificate of Appropriateness under review proposes renovations to the concrete block accessory structure at 905 Emma Street, which include change in roof form and installation of siding.

This application proposes to change the existing flat roof to a gable roof with a 6:12 slope. This would require the demolition of the existing roof overhangs, but not the existing roof framing. New wood stud walls would be constructed on top of the existing framing to a height of 2 feet, and roof framing consisting of 2-by-6 rafters would complete the 6:12 pitch to match the main structure on site. The new roof would bring the height of the accessory structure to 14-feet-5-inches above grade, which is approximately 10.25 inches lower than the lowest gable of the main structure on site. The new roof of the accessory structure is proposed to have 5v-crimp metal roofing.

This application also proposes to cover the existing concrete block accessory structure in cementitious lap siding.

Consistency with Cited Guidelines:

Staff finds the proposed renovations to be consistent with the cited guidelines.

The accessory structure at 905 Emma Street is a non-historic, non-contributing concrete block building. The structure would increase in height due to the changes in roof form, but the massing would remain appropriate in comparison to surrounding structures. Although the new roof addition would be visible from Emma Street, it would not be obtrusive to the streetscape and it would not overshadow any of the surrounding properties. Staff also finds that the change to a 6:12 gable roof form is comparable to other roof forms in the immediate area.

In terms of the proposal to cover the existing concrete block accessory structure in cementitious lap siding, staff sees no conflict in the guidelines.

APPLICATION

HARC MAJOR PROJECTS CERTIFICATE OF APPROPRIATENESS

\$420 NON-REFUNDABLE BASE APPLICATION FEE - OTHER FEES MAY BE APPLICABLE Rev 12/14/2020 ET



City of Key West

1300 White Street
Key West, Florida 33040

HARC COA #	REVISION #	INITIAL & DATE

A PRE-APPLICATION MEETING WITH HARC STAFF IS REQUIRED PRIOR TO SUBMITTAL

ADDRESS OF PROPOSED PROJECT:

NAME ON DEED:

OWNER'S MAILING ADDRESS:

APPLICANT NAME:

APPLICANT'S ADDRESS:

APPLICANT'S SIGNATURE:

Jim + Cindy Braswell 905 Emma St, Key West, FL	PHONE NUMBER (305) 794-0370 EMAIL blackbeltcaver@aol.com
Titan Contracting	PHONE NUMBER 239-689-5060 EMAIL chris@your.titan.team
<i>Chris John</i>	DATE 4/26/2021

ANY PERSON THAT MAKES CHANGES TO AN APPROVED CERTIFICATE OF APPROPRIATENESS MUST SUBMIT A NEW APPLICATION.

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND-DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083. THE APPLICANT FURTHER HEREBY ACKNOWLEDGES THAT THE SCOPE OF WORK AS DESCRIBED IN THE APPLICATION SHALL BE THE SCOPE OF WORK THAT IS CONTEMPLATED BY THE APPLICANT AND THE CITY. THE APPLICANT FURTHER STIPULATES THAT SHOULD FURTHER ACTION BE TAKEN BY THE CITY FOR EXCEEDING THE SCOPE OF THE DESCRIPTION OF WORK, AS DESCRIBED HEREIN, AND IF THERE IS CONFLICTING INFORMATION BETWEEN THE DESCRIPTION OF WORK AND THE SUBMITTED PLANS, THE AFOREMENTIONED DESCRIPTION OF WORK SHALL BE CONTROLLING.

PROJECT INCLUDES: REPLACEMENT OF WINDOWS RELOCATION OF A STRUCTURE ELEVATION OF A STRUCTURE

PROJECT INVOLVES A CONTRIBUTING STRUCTURE: YES NO INVOLVES A HISTORIC STRUCTURE: YES NO

PROJECT INVOLVES A STRUCTURE THAT IS INDIVIDUALLY LISTED ON THE NATIONAL REGISTER: YES NO

DETAILED PROJECT DESCRIPTION INCLUDING MATERIALS, HEIGHT, DIMENSIONS, SQUARE FOOTAGE, LOCATION, ETC.	
GENERAL:	<i>Residential - Change existing detached garage roof from a flat roof to a pitched roof.</i>
MAIN BUILDING:	<i>No work to be done on the main house</i>
DEMOLITION (PLEASE FILL OUT AND ATTACH DEMOLITION APPENDIX):	

APPLICATIONS MUST BE SUBMITTED IN PERSON WITH HARD COPIES BY 3PM ON THE SCHEDULED DEADLINE
 PLEASE SEND AN ELECTRONIC COPY OF ALL DOCUMENTS CITY_HARC@CITYOFKEYWEST-FL.GOV

ACCESSORY STRUCTURE(S):	
Detached garage roof change to pitched roof. Repair/ replace Hardie Siding	
PAVERS:	N/A
FENCES:	N/A
DECKS:	N/A
PAINTING:	Paint new Hardie Siding
SITE (INCLUDING GRADING, FILL, TREES, ETC):	N/A
POOLS (INCLUDING EQUIPMENT):	N/A
ACCESSORY EQUIPMENT (GAS, A/C, VENTS, ETC):	OTHER:
N/A	

OFFICIAL USE ONLY:	HARC COMMISSION REVIEW	EXPIRES ON:
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
REASONS OR CONDITIONS:		
STAFF REVIEW COMMENTS:		
FIRST READING FOR DEMO:		SECOND READING FOR DEMO:
HARC STAFF SIGNATURE AND DATE:		HARC CHAIRPERSON SIGNATURE AND DATE:

THIS APPLICATION MAY BE REVIEWED BY PLANNING DEPARTMENT STAFF.

HARC Certificate of Appropriateness: Demolition Appendix



City of Key West
1300 WHITE STREET
KEY WEST, FLORIDA 33040

HARC COA #	INITIAL & DATE
ZONING DISTRICT	BLDG PERMIT #

ADDRESS OF PROPOSED PROJECT:

905 Emma St., Key West, FL
Jim & Cynthia Braswell
Chris Johnson

I hereby certify I am the owner of record and that the work shall conform to all applicable laws of this jurisdiction. By receiving a Certificate of Appropriateness, I realize that this project will require a Building Permit approval **PRIOR** to proceeding with the work outlined above and that a final inspection is required under this application. I also understand that **any changes to an approved Certificate of Appropriateness must be submitted for review.**

PROPERTY OWNER'S SIGNATURE

Jim Braswell

4/26/2021

DATE AND PRINT NAME

DETAILED PROJECT DESCRIPTION OF DEMOLITION

Existing Detached garage roof is changing from flat to pitched. The demolition portion is only cutting off the flat roof overhang around the perimeter of the building so it can receive the new trusses.

CRITERIA FOR DEMOLITION OF CONTRIBUTING OR HISTORIC STRUCTURES:

Before any Certificate of Appropriateness may be issued for a demolition request, the Historic Architectural Review Commission must find that the following requirements are met (please review and comment on each criterion that applies);

(1) If the subject of the application is a contributing or historic building or structure, then it should not be demolished unless its condition is irrevocably compromised by extreme deterioration or it does not meet any of the following criteria:

(a) The existing condition of the building or structure is irrevocably compromised by extreme deterioration.

(2) Or explain how the building or structure meets the criteria below:

(a) Embodies no distinctive characteristics of a type, period, or method of construction of aesthetic or historic significance in the city and is not a significant and distinguishable building entity whose components may lack individual distinction.

Nothing in this application is intended to alter the authority of the Building Official to condemn for demolition dangerous buildings, as provided in Section 102-218 of the Land Development Regulations and Chapter 14 of the Code of Ordinances.

- (b) Is not specifically associated with events that have made a significant contribution to local, state, or national history.
- (c) Has no significant character, interest, or value as part of the development, heritage, or cultural characteristics of the city, state or nation, and is not associated with the life of a person significant in the past.
- (d) Is not the site of a historic event with significant effect upon society.
- (e) Does not exemplify the cultural, political, economic, social, or historic heritage of the city.
- (f) Does not portray the environment in an era of history characterized by a distinctive architectural style.
- (g) If a part of or related to a square, park, or other distinctive area, nevertheless should not be developed or preserved according to a plan based on the area's historic, cultural, natural, or architectural motif.
- (h) Does not have a unique location or singular physical characteristic which represents an established and familiar visual feature of its neighborhood or of the city, and does not exemplify the best remaining architectural type in a neighborhood.

Nothing in this application is intended to alter the authority of the Building Official to condemn for demolition dangerous buildings, as provided in Section 102-218 of the Land Development Regulations and Chapter 14 of the Code of Ordinances.

- (i) Has not yielded, and is not likely to yield, information important in history.

CRITERIA FOR DEMOLITION OF NON-CONTRIBUTING OR NON-HISTORIC STRUCTURES:

The following criteria will also be reviewed by the Historic Architectural Review Commission for proposed demolitions. The Commission shall not issue a Certificate of Appropriateness that would result in the following conditions (please review and comment on each criterion that applies);

(1) Removing buildings or structures that are important in defining the overall historic character of a district or neighborhood so that the character is diminished.

We are not removing the entire structure. Existing root overhang is being removed to receive new trusses.

(2) Removing historic buildings or structures and thus destroying the historic relationship between buildings or structures and open space.

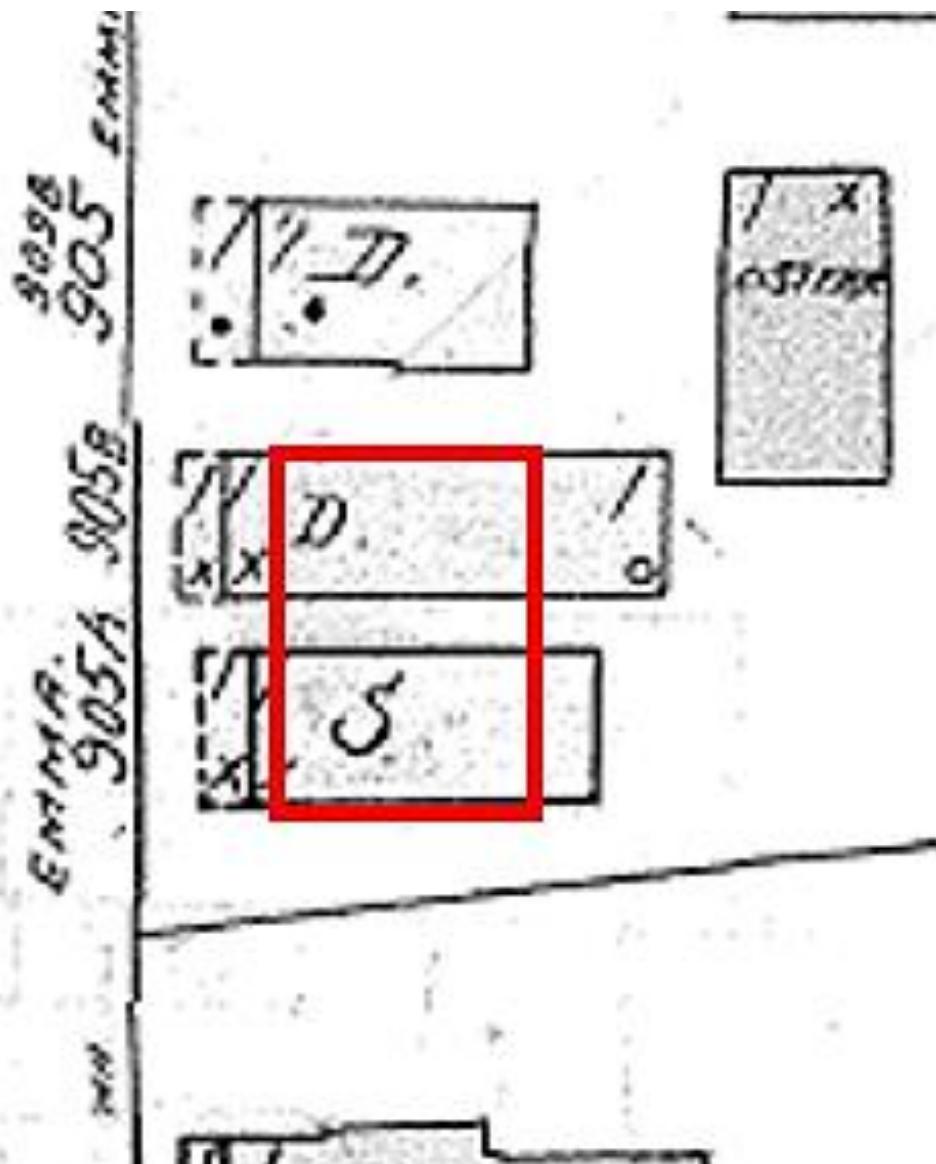
(3) Removing an historic building or structure in a complex; or removing a building facade; or removing a significant later addition that is important in defining the historic character of a site or the surrounding district or neighborhood.

(4) Removing buildings or structures that would otherwise qualify as contributing.

SANBORN MAPS

200

EMMA



1962 Sanborn with the approximate location of the existing accessory structure at 905 Emma Street indicated in red.

PROJECT PHOTOS



Historic photo from 1965 showing the main structure at 905 Emma Street. No historic photos of the accessory structure were located.



Photo of the west elevation of the accessory structure at 905 Emma Street. Taken from Emma Street.



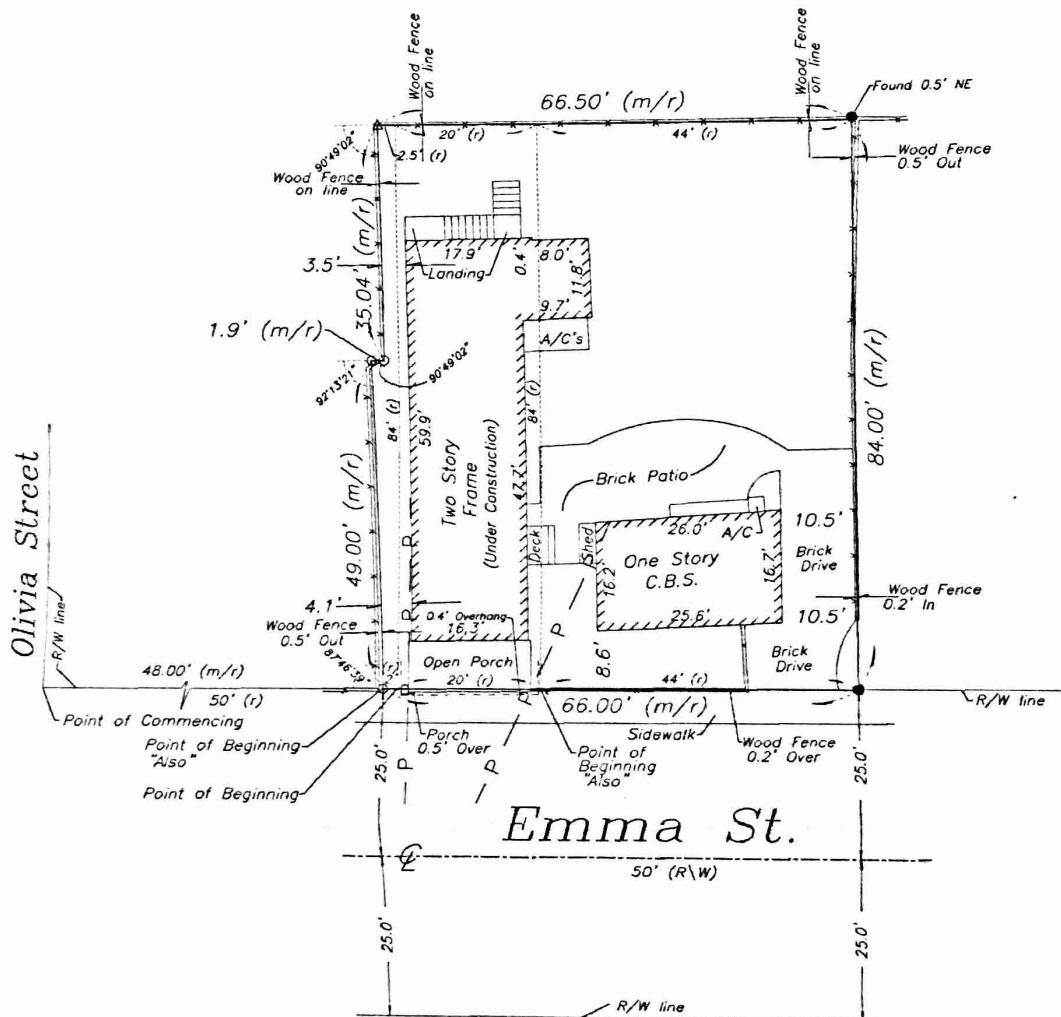
Photo of the south elevation of the accessory structure at 905 Emma Street. Showing existing roof overhangs to be removed.



Photo of the east elevation of the accessory structure at 905 Emma Street.

SURVEY

Boundary Survey Map of part of Tract 3
Island of Key West



LEGEND

- Found 2" Iron Pipe (Fence Post)
- Set 3/4" Iron Pipe w/cap (6298)
- Found 1/2" Iron Rod (5234)
- ▲ Found Nail & Disc (PTS)
- △ Set Nail & Disc (6298)
- (M) Measured
- (R) Record
- (M/R) Measured & Record
- C.B.S. Concrete Block Structure
- R\W Right of Way
- CLF Chain Link Fence
- £ Centerline
- ⊗ Wood Utility Pole
- ☒ Concrete Utility Pole
- P- Overhead Utility Lines

NOTE:
This Survey Map is not
full and complete without
the attached Survey Report.

Sheet One of Two Sheets

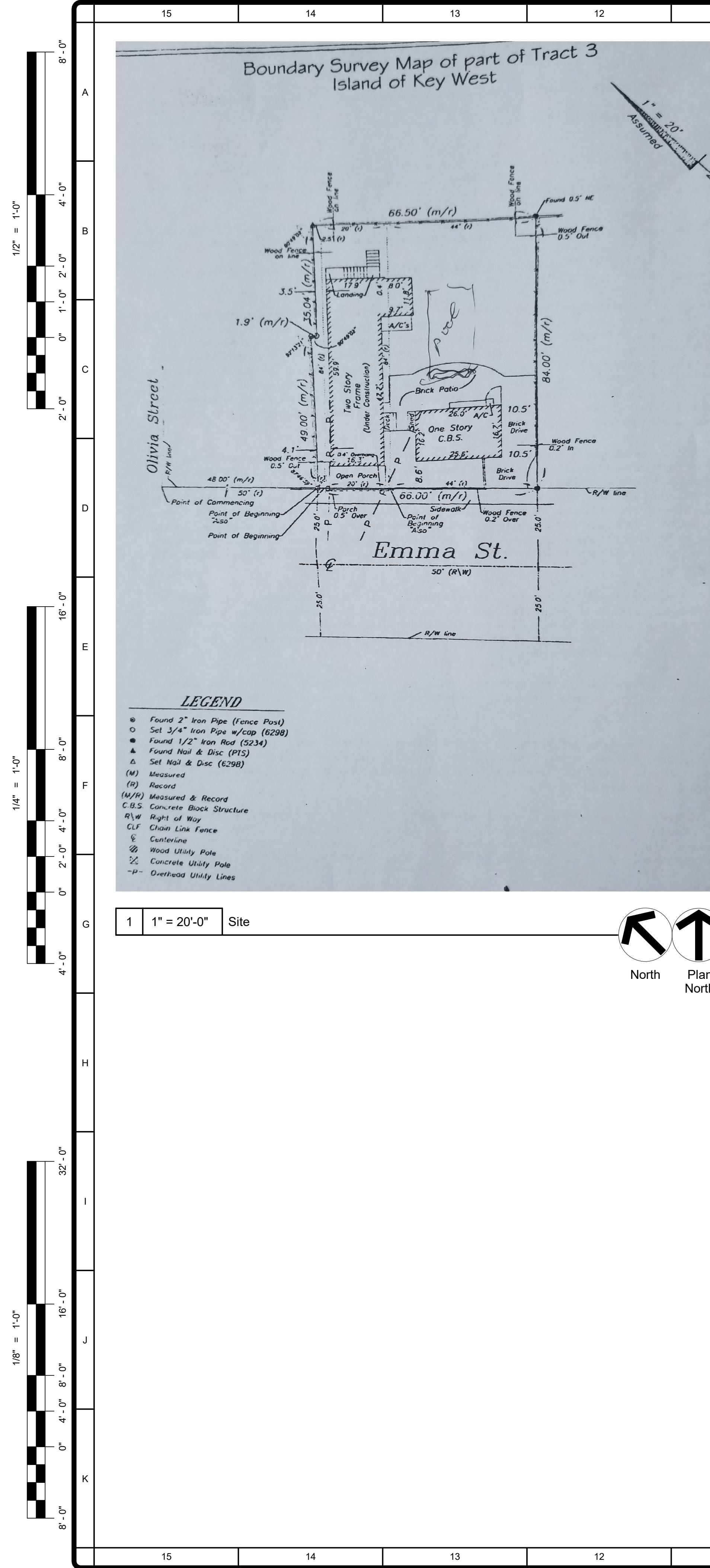
J. LYNN O'FLYNN, Inc.



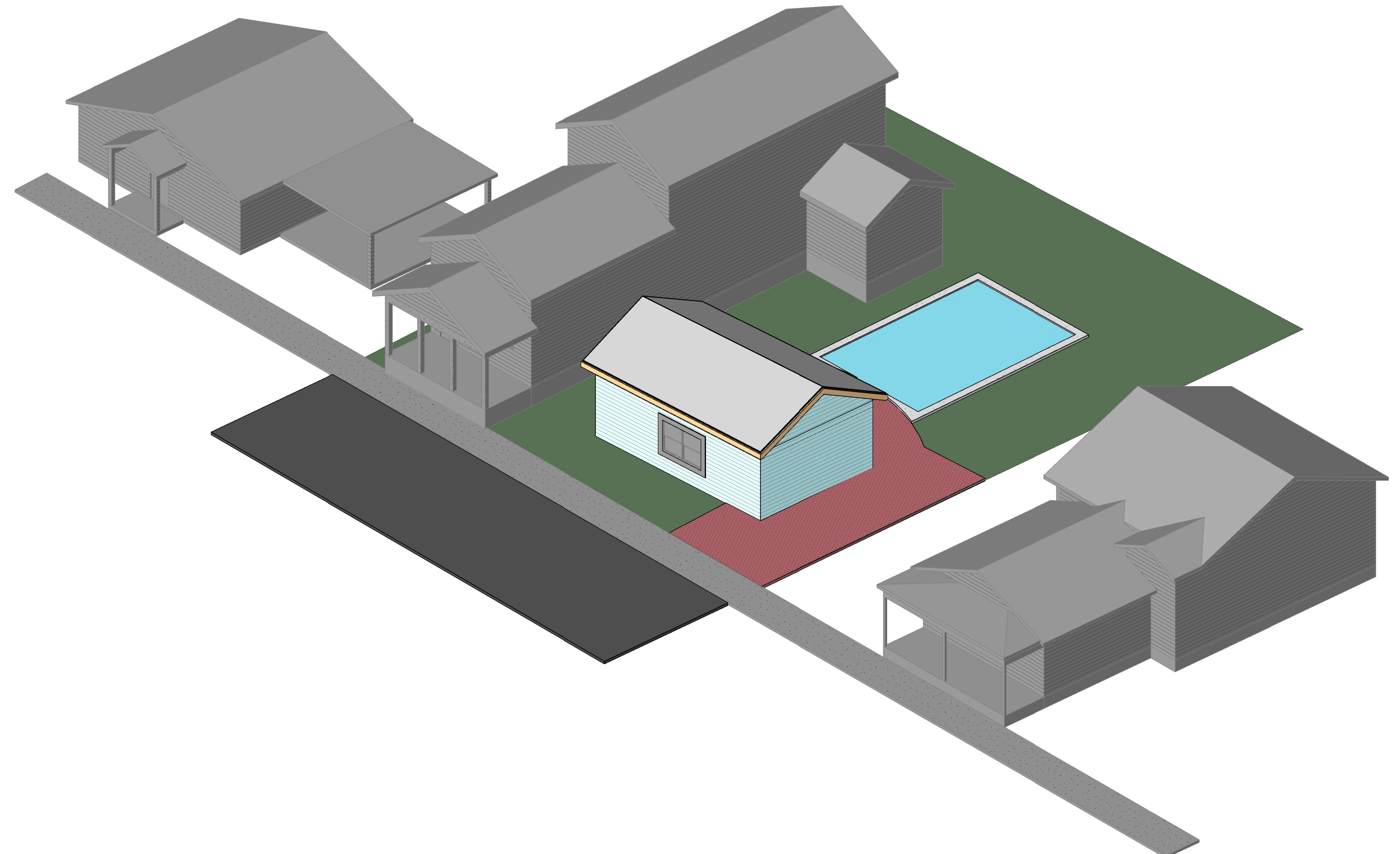
Professional Surveyor & Mapper
PSM #8298

3430 Duck Ave., Key West, FL 33040
(305) 296-7422 FAX (305) 296-2244

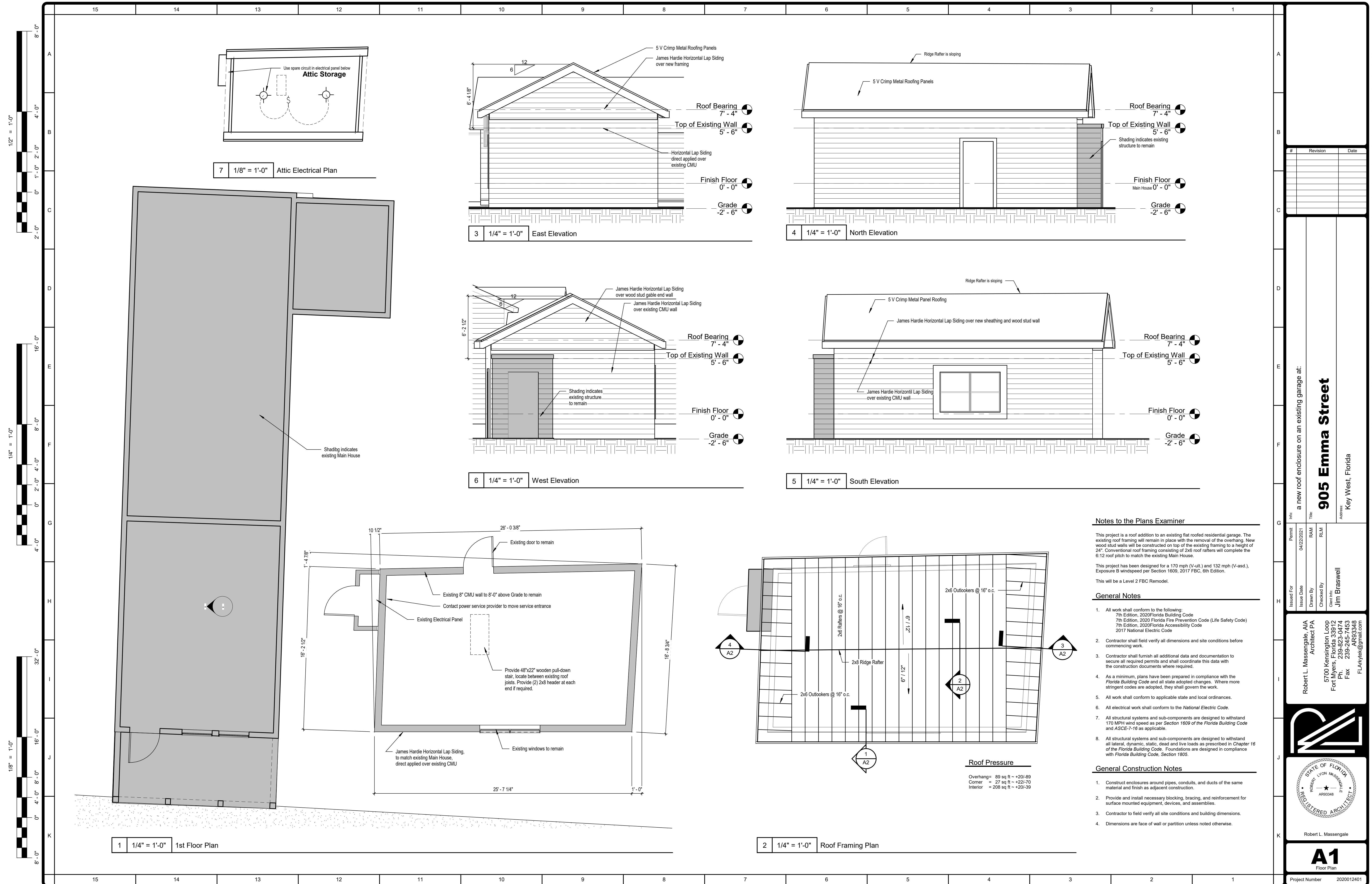
PROPOSED DESIGN

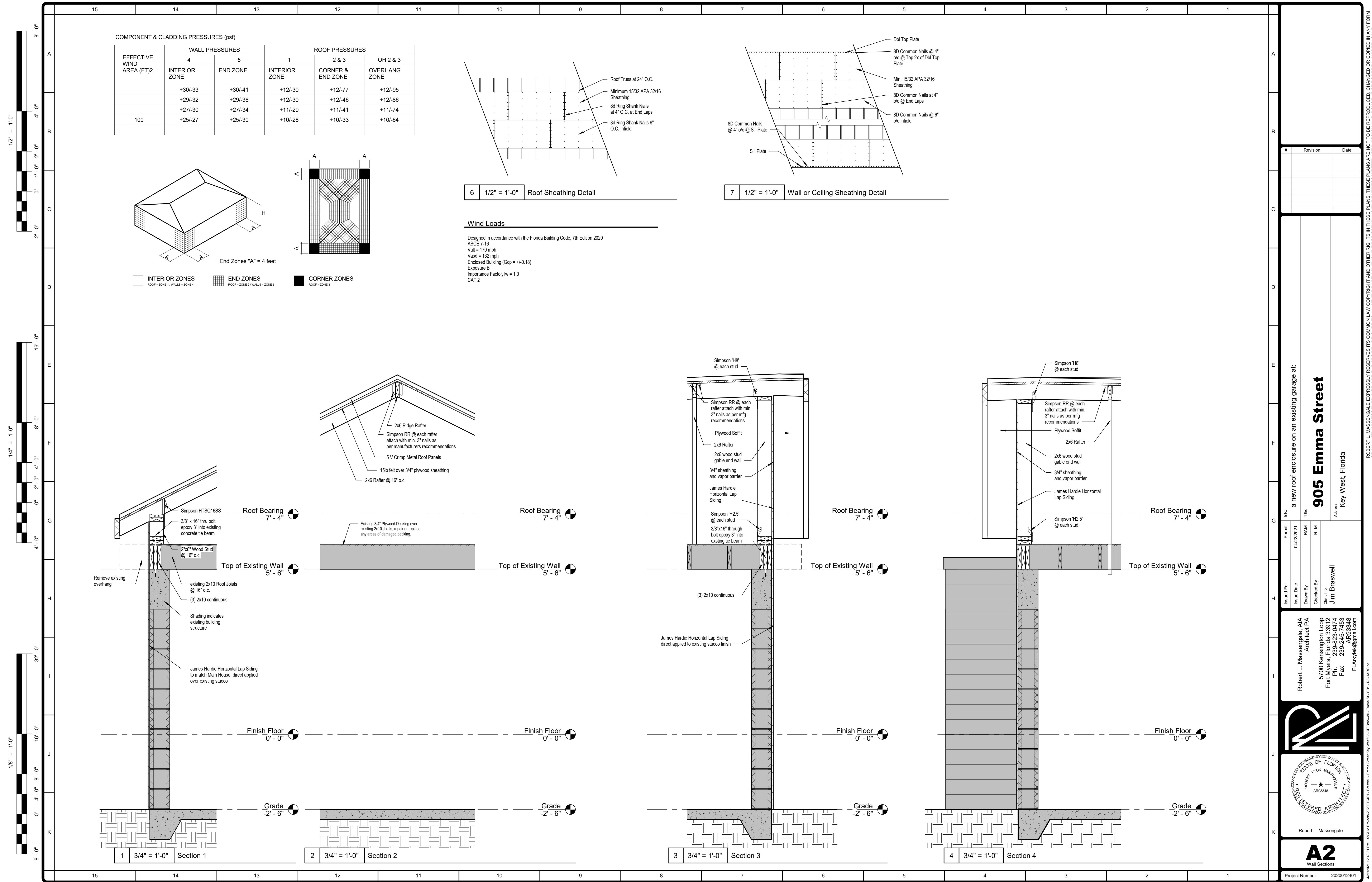


**Jim Braswell
905 Emma Street
Key West, Florida**



ROBERT L. MASSENGALE EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY, WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF ROBERT L. MASSENGALE.





NOTICING

Public Meeting Notice

The Historic Architectural Review Commission will hold a public meeting at **5:00 p.m., May 25, 2021 at City Hall, 1300 White Street**, Key West, Florida. In order to view the live feed of the meeting, you can tune in to Comcast channel 77, AT&T Uverse channel 99, or type this link into your browser: <http://keywestcity.granicus.com/MediaPlayer>. If you wish to participate virtually, please contact HARC staff at 305-809-3973. The purpose of the hearing will be to consider a request for:

CHANGE IN ROOF FORM FROM FLAT TO GABLE ON EXISTING ACCESSORY STRUCTURE. DEMOLITION OF ROOF OVERHANGS.

#905 EMMA STREET

Applicant –Titan Construction Application #H2021-0023

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 1300 White Street, call 305-809-3973 or visit our website at www.cityofkeywest-fl.gov.

THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION

ADA ASSISTANCE: It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 800-955-8771 or 800-955-8770 (Voice) or the ADA Coordinator at 305-809-3811 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.

PROPERTY APPRAISER INFORMATION

 **qPublic.net™** Monroe County, FL
Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID	00015090-000000
Account#	1015431
Property ID	1015431
Millage Group	11KW
Location	905 EMMA St, KEY WEST
Address	
Legal Description	KW PT LOT 7 SQR 4 TR 3 UU-179 OR180-566/68 OR261-287/89 OR818-2031 OR934-1070/71 OR985-1618 OR985-1619 OR985-1620 OR988-1334 OR1030-1106 OR1032-2279 OR1401-280/82 OR1404-1515/16 OR1407-2026 OR1454-1179/80 OR1698-2187/89 OR1899-208/10 OR2713-2116/19 OR2767-917/21 OR2772-437/39 OR2831-1029/30 OR2838-2007 OR2917-1928/31
(Note: Not to be used on legal documents.)	
Neighborhood	6021
Property Class	MULTI FAMILY LESS THAN 10 UNITS (0800)
Subdivision	
Sec/Twp/Rng	06/68/25
Affordable Housing	No

**Owner**

BRASWELL JAMES L	BRASWELL CYNTHIA G
905 Emma St	905 Emma St
Key West FL 33040	Key West FL 33040

Valuation

	2020	2019	2018	2017
+ Market Improvement Value	\$383,469	\$387,506	\$362,119	\$342,644
+ Market Misc Value	\$41,707	\$11,009	\$11,211	\$2,957
+ Market Land Value	\$482,976	\$488,423	\$488,423	\$488,423
= Just Market Value	\$908,152	\$886,938	\$861,753	\$834,024
= Total Assessed Value	\$907,337	\$886,938	\$861,753	\$834,024
- School Exempt Value	(\$25,000)	(\$25,000)	\$0	\$0
= School Taxable Value	\$882,337	\$886,938	\$861,753	\$834,024

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
MULTI RES DRY (0800)	5,420.00	Square Foot	0	0

Buildings

Building ID	1097	Exterior Walls	ABOVE AVERAGE WOOD
Style	2 STORY ELEV FOUNDATION	Year Built	1939
Building Type	S.F.R. - R1 / R1	Effective Year Built	2013
Gross Sq Ft	1920	Foundation	CONC BLOCK
Finished Sq Ft	1540	Roof Type	GABLE/HIP
Stories	2 Floor	Roof Coverage	METAL
Condition	AVERAGE	Flooring Type	CONC/S/B GRND
Perimeter	294	Heating Type	FCD/AIR DUCTED with 0% NONE
Functional Obs	0	Bedrooms	4
Economic Obs	0	Full Bathrooms	1
Depreciation %	6	Half Bathrooms	0
Interior Walls	WALL BD/WD WAL	Grade	550
Code	Description	Sketch Area	Perimeter
FLA	FLOOR LIV AREA	1,540	294
OPU	OP PR UNFIN LL	69	64
OPF	OP PRCH FIN LL	119	48
OUF	OP PRCH FIN UL	192	56
TOTAL		1,920	462

Building ID	1098	Exterior Walls	C.B.S.
Style	GROUND LEVEL	Year Built	1991
Building Type	S.F.R. - R1 / R1	Effective Year Built	2013
Gross Sq Ft	463	Foundation	CONCR FTR
Finished Sq Ft	442	Roof Type	FLAT OR SHED
Stories	1 Floor	Roof Coverage	TAR & GRAVEL
Condition	AVERAGE	Flooring Type	CONC/S/B GRND
Perimeter	86	Heating Type	NONE with 0% NONE
Functional Obs	0	Bedrooms	1
Economic Obs	0	Full Bathrooms	1
Depreciation %	6	Half Bathrooms	0
Interior Walls	DRYWALL	Grade	500
Code	Description	Sketch Area	Perimeter

FLA	FLOOR LIV AREA	442	442	86
SBF	UTIL FIN BLK	21	0	20
TOTAL		463	442	106

Yard Items

Description	Year Built	Roll Year	Quantity	Units	Grade
FENCES	1979	1980	1	384 SF	2
FENCES	1996	1997	1	804 SF	2
FENCES	2016	2017	1	200 SF	2
BRICK PATIO	2016	2017	1	718 SF	3
BRICK PATIO	2019	2020	1	100 SF	2
RES POOL	2019	2020	1	264 SF	4

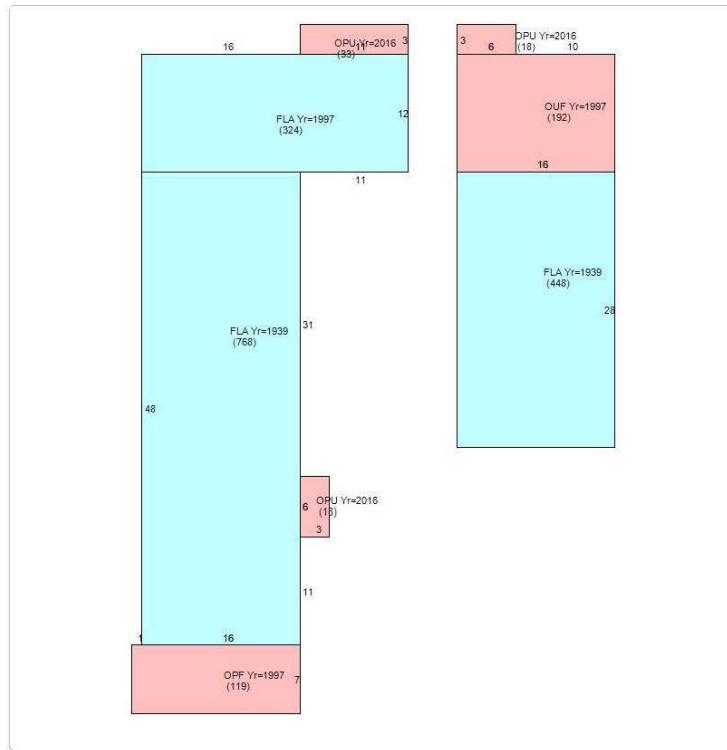
Sales

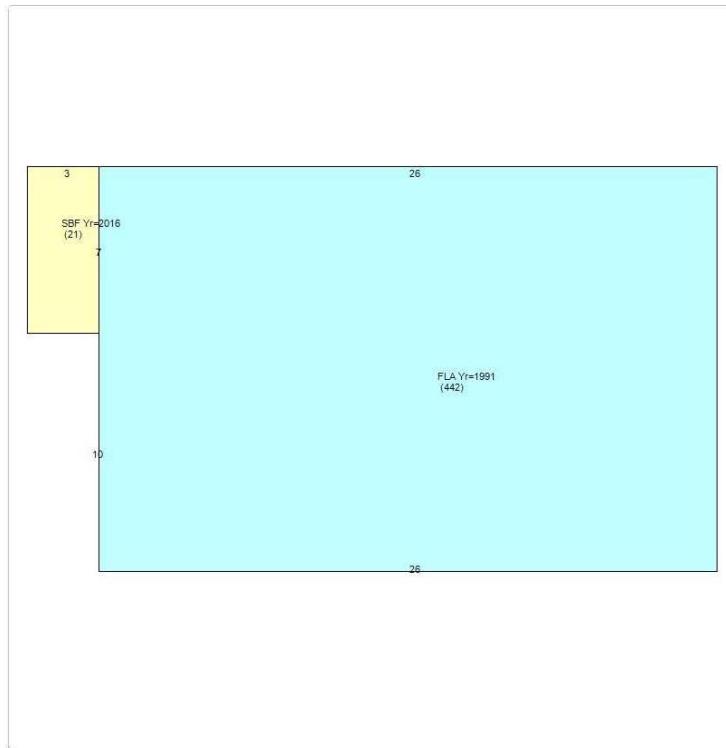
Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved
7/12/2018	\$1,108,100	Warranty Deed	2178716	2917	1928	30 - Unqualified	Improved
2/5/2017	\$100	Warranty Deed	2110018	2838	2007	11 - Unqualified	Improved
12/13/2016	\$885,000	Warranty Deed	2103914	2831	1029	02 - Qualified	Improved
11/30/2015	\$100	Warranty Deed		2772	437	11 - Unqualified	Improved
9/28/2015	\$530,300	Warranty Deed		2767	917	12 - Unqualified	Improved
11/25/2014	\$100	Certificate of Title		2713	2116	12 - Unqualified	Improved
5/29/2003	\$560,000	Warranty Deed		1899	0208	Q - Qualified	Improved
5/21/2001	\$137,500	Quit Claim Deed		1698	2187	P - Unqualified	Improved
4/1/1997	\$85,000	Warranty Deed		1454	1179	O - Unqualified	Improved
5/1/1996	\$8,000	Warranty Deed		1404	1515	O - Unqualified	Vacant
4/1/1996	\$150,000	Warranty Deed		1401	0280	Q - Qualified	Improved

Permits

Number	Date Issued	Date Completed	Amount	Permit Type	Notes
18-0762	4/1/2019	9/20/2019	\$35,000	Residential	POOL WILL MEASURE 12X22
18-0783	4/1/2019	9/18/2019	\$10,000	Residential	CONTINUATION OF PAVER DECKING AROUND POOL
19-0353	4/1/2019	9/18/2019	\$800	Residential	EXTEND DRIVEWAY 10X10
18-1888	5/3/2018	5/29/2018	\$12,500	Residential	REPLACE 14 SQRS VCRIMO
16-3523	9/15/2016	11/29/2016	\$8,000	Residential	COVERING EXISTING FRONT PORCH, EXISTING WINDOW AND PUT DOOR IN. REMOVE BACK DOOR AND INSTALL NEW ONE AND REPLACE SLIDING BACK DOOR
16-1888	5/13/2016	11/29/2016	\$2,500	Residential	REMOVE FRONT DOOR ON 905 AND REPLACE WITH 6 OVER 6 PANEL DOOR PAINT WHITE
16-1244	3/31/2016	11/29/2016	\$1,800	Residential	R/R 35sf NOVELTY SIDING AND PAINT TO MATCH. R/R 65sf OF LAP SIDING AND PAINT TO MATCH
16-792	2/29/2016	11/29/2016	\$1,800	Residential	WIRING/INSTALL OF KITCHEN GFI'S GARBAGE DISPOSAL RANGE AND FRIDGE AC COMPRESSORS/HANDLERS
15-5157	2/10/2016	3/4/2016	\$12,080		INSTALL NEW 2 TON DUCTLESS. TOTAL 3 UNITS
15-5164	12/29/2015	3/4/2016	\$36,500		R&REXISTING KITCHEN CABINETS AND 2 VANITIES. REMODEL 1 BATH AND SHOWER. INSTALL 90sf OF TIEL PATCHES AND REPAIR 90sf DRYWALL
03-3314	9/15/2003	11/20/2003	\$350		HUNG REPAIRED SHUTTERS
03-0741	3/19/2003	8/4/2003	\$1850		ROOFING
9701789	7/1/1997	12/1/1997	\$8,950		RENOVATIONS
9701733	6/1/1997	12/1/1997	\$2,000		PLUMBING
9701792	6/1/1997	12/1/1997	\$1,500		WOOD FENCE
9701822	6/1/1997	12/1/1997	\$2,000		5 SQS MODIFIED RUBBER ROOF
9701904	6/1/1997	12/1/1997	\$2,000		ELECTRICAL
9701552	5/1/1997	12/1/1997	\$1,800		FINISH STAIRWAY AT REAR
9802943	7/1/1996	12/1/1997	\$1		WOOD DECKING(PORCH)

View Tax Info[View Taxes for this Parcel](#)**Sketches** (click to enlarge)



**Photos**

5/18/2021

qPublic.net - Monroe County, FL - Report: 00015090-000000

Map

