



TRANSFER OF TRANSIENT UNIT AND LICENSE APPLICATION CITY OF KEY WEST, FLORIDA • PLANNING DEPARTMENT

Address: 1300 White Street • Key West, Florida 33040

Phone: 305-809-3764

Website: www.cityofkeywest-fl.gov

Application Fee Schedule

Transfer of Transient Unit and License Application	\$ 5,105.13
Advertising and Noticing Fee	\$ 358.87
Fire Department Review Fee	\$ 127.63
Total Application Fee	\$ 5,591.63

Deliver the original and 2 signed & sealed surveys and site plans to the Planning Department located at **1300 White Street, Key West, FL 33040**. Due to the complexity and individuality of each transaction, the Planning Department may need additional information prior to processing.

This application is for a transaction involving a transfer from one location (sender site) to another (receiver site). If there is an additional site at either end of the transfer process, this requires another application.

The owner(s) of both the sender site and receiver site are the applicants and must sign the application. Corporations and partnerships must sign as legally required. If another person is acting as the agent or authorized representative of the owner, supporting documentation must be provided as indicated.

Following is the application process for a Transfer of Transient Unit and License:
Development Review Committee (DRC)
Planning Board

A. Fill in the following information.

Sender Site

Address of Site

1004 Eaton Street, Key West, FL 33040

RE# 00005290-000000

Name(s) of Owner(s):

Key Endeavors, LLC

Name of Agent or Person to Contact:

Gregory S. Oropeza, Esq., Oropeza, Stones & Cardenas, PLLC as to both

Address: 221 Simonton Street
Key West, FL 33040

Telephone 305-294-0252

Receiver Site

Address of Site

217 Eanes Lane, Key West, FL 33040

RE# 00017980-000000

Name(s) of Owner(s):

Claude John Gardner, Jr.

Name of Agent or Person to Contact:

Address: 221 Simonton Street
Key West, FL 33040

Email greg@oropezastonescardenas.com

For Sender Site:

"Local name" of property Knowles House Zoning district HMDR

Legal description See Attached Exhibit A

Current use: Guesthouse

Number of existing transient units: 6

Size of site 4,020 SF Number of existing city transient rental licenses: 6

What is being removed from the sender site? 1 Transient License/Unit

What are your plans for the sender site? _____

Single family residence with two (2) transient units and licenses.

For Receiver Site:

"Local name" of property N/A Zoning district HRCC-3

Legal description See Attached Exhibit B

Current use Single Family Residence

Size of site: 3,654 Sq. Ft. Number of existing city transient rental licenses: 0

Number of existing transient and/or residential units: 1 residential unit

Existing non-residential floor area N/A

What will be transferred to the receiver site? 1 Transient License/Unit

What are your plans for the receiver site? _____

The excess residential unit will be relinquished to the City's Beneficial Use pool.

Sender Site: Current Owner Information

FOR INDIVIDUALS

1. NAME _____ 2. NAME _____
ADDRESS _____ ADDRESS _____
TELEPHONE(1) _____ TELEPHONE(1) _____
(2) _____ (2) _____
FAX _____ FAX _____

FOR CORPORATIONS

A. CORPORATE NAME Key Endeavors, LLC Claude John Gardner, Jr.
B. STATE/COUNTRY OF INCORPORATION Florida
C. REGISTERED TO DO BUSINESS IN THE STATE OF FLORIDA X YES NO
D. NAMES OF OFFICERS AND DESIGNATIONS
Michael Ngov, Member, and Sophak Ngov, Manager

FOR PARTNERSHIPS

A. NAME OF PARTNERSHIP: _____
B. STATE OF REGISTRATION: _____
C. GENERAL PARTNER WITH AUTHORITY TO BIND PARTNERSHIP:

FOR CORPORATIONS AND PARTNERSHIPS

NAME AND ADDRESS OF PERSON "IN HOUSE" TO CONTACT:

TELEPHONE(S) 305-294-0252 FAX _____

Receiver Site: Current Owner Information

FOR INDIVIDUALS

1. NAME Claude John Gardner, Jr.

2. NAME _____

ADDRESS 336 Duval Street

ADDRESS _____

TELEPHONE(1) 305-294-0252

TELEPHONE(1) _____

(2) _____

(2) _____

FAX _____

FAX _____

FOR CORPORATIONS

A. CORPORATE NAME _____

B. STATE/COUNTRY OF INCORPORATION _____

C. REGISTERED TO DO BUSINESS IN THE STATE OF FLORIDA __ YES __ NO

D. NAMES OF OFFICERS AND DESIGNATIONS

FOR PARTNERSHIPS

A. NAME OF PARTNERSHIP: _____

B. STATE OF REGISTRATION: _____

C. GENERAL PARTNER WITH AUTHORITY TO BIND PARTNERSHIP:

FOR CORPORATIONS AND PARTNERSHIPS

NAME AND ADDRESS OF PERSON "IN HOUSE" TO CONTACT:

TELEPHONE(S) 305-294-0252 FAX _____

REQUIRED ATTACHMENTS

Sender Site

1. Current survey
2. Current floor plans
3. Copies of current occupational license(s) for transient rental use
OR Letter from City Licensing Official verifying number of licenses and date
4. Copy of last recorded deed to show ownership as listed on application
5. If property is mortgaged, a letter from the mortgagee consenting to the transfer of the transient licenses and the proposed disposition of the property N/A.
6. Proposed site plan if changed for future use N/A.
7. Proposed floor plans if changed for future use N/A.
8. Detailed description of how use of transient rental units will be extinguished.
9. Other N/A.

Receiver Site

1. Current survey
2. Current floor plans
3. Copies of current occupational license(s). N/A.
4. Copy of last recorded deed to show ownership as listed on application
5. If there is a homeowner's or condominium association, provide proof of the association's approval of the transfer. (This approval must be by a majority vote as defined by the governing documents of the association.) N/A.
6. Proposed site plan if changed for future use N/A.
7. Proposed floor plans if changed for future use N/A.
8. Other N/A

~ ***NOTE: The above items constitute one (1) complete application package.***
Two (2) signed & sealed surveys and site plans are required ~

Verification & Authorization Forms



**City of Key West
Planning Department
Verification Form**
(Where Applicant is an entity)

I, Gregory Oropeza, in my capacity as Managing Partner
(print name) (print position; president, managing member)
of Oropeza, Stones & Cardenas, PLLC
(print name of entity)

being duly sworn, depose and say that I am the Authorized Representative of the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

217 Eanes Lane, Key West, Florida 33040

Street address of subject property

I, the undersigned, declare under penalty of perjury under the laws of the State of Florida that I am the Authorized Representative of the property involved in this application; that the information on all plans, drawings and sketches attached hereto and all the statements and answers contained herein are in all respects true and correct.

In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.

Signature of Applicant

Subscribed and sworn to (or affirmed) before me on this 10/17/24 by

date

Gregory S. Oropeza

Name of Applicant

He/She is personally known to me or has presented _____ as identification.

Notary's Signature and Seal

Name of Acknowledger typed, printed or stamped

Commission Number, if any





**City of Key West
Planning Department**

Authorization Form


(Individual or Joint Owner)

Please complete this form if someone other than the owner is representing the property owner in this matter.

I, Claude John Gardner, Jr. authorize
Please Print Name(s) of Owner(s) as appears on the deed

Gregory S. Oropeza, Esq., Oropeza, Stones & Cardenas, PLLC
Please Print Name of Representative

to be the representative for this application and act on my/our behalf before the City of Key West.


Signature of Owner

Signature of Joint/Co-owner if applicable

Subscribed and sworn to (or affirmed) before me on this 10/14/29
Date

by Claude John Gardner, Jr.
Name of Owner

He/She is personally known to me or has presented _____ as identification.

Janel K. Jeselski's
Notary's Signature and Seal
Janel K. Jeselski's
Name of Acknowledger typed, printed or stamped

Commission Number, if any

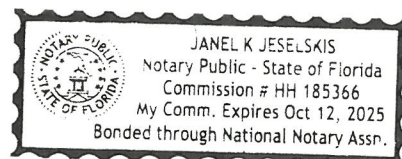


EXHIBIT B

Receiver Site Legal Description

In the City of Key West and is part of Lot 3 in Square Nine of Tract 4 according to Simonton & Wall's Addition to the Town of Key West, further known as Lot 3 in Square Nine of Tract 4 according to Charles W. Tift's Map delineated in July 1874, but as more particularly known and described in a Subdivision of Lots 3 and 4 in Square Nine of Tract 4, as recorded in Deed Book L, Page 130, Public Records of Monroe County, Florida, as Part of Lots 7 and 8 of said Subdivision, further described as follows:

Commencing at a point on the Northeast side of a 25 foot alleyway known as Eanes (Eneas) Alley, 84 feet and 8 inches distant from the corner of said Alley and Division Street and running along the Northeast Side of said Alley in a Northwesterly direction 42 feet and 4 inches; thence at right angles in a Northeasterly direction 86 feet and 4 inches; thence at right angles in a Southeasterly direction 42 feet and 4 inches; thence at right angles in a Southwesterly direction and parallel with Division Street, 86 feet and 4 inches back to the point of beginning.

EXHIBIT A

Sender Site Legal Description

In the City of Key West, Monroe County, Florida, and part of Lot Three (3) of Square Thirty-two (32), according to the plan of the City of Key West, delineated in February, 1829, by William A. Whitehead, and is now better known as Lot Two (2) of a Subdivision of said Lot Three (3) by John Lowe, Jr., and having a front on Eaton Street of Fifty (50) feet, and Three (3) inches and extending back in a Southeasterly direction Eighty (80) feet to Elgin Lane.

Receiver Site Copy of Warranty Deed

Prepared by and return to:
Gregory S. Oropeza
Attorney
Oropeza Stones & Cardenas, PLLC
221 Simonton Street
Key West, FL 33040
(305) 294-0252
File Number: 24-439
Consideration: \$1,750,000.00

Parcel Identification No.: 00017980-000000

[Space Above This Line For Recording Data]

Warranty Deed

(STATUTORY FORM - SECTION 689.02, F.S.)

This Indenture made this 9th day of July, 2024 between Jon Perry and Laura Perry, Husband and Wife whose post office address is 409 Wilson Pike, Brentwood, TN 37027 of the County of Williamson, State of Tennessee, grantor*, and Claude John Gardner, Jr., a single man whose post office address is 336 Duval Street, Key West, FL 33040 of the County of Monroe, State of Florida, grantee*,

Witnesseth that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Monroe County, Florida to-wit:

In the City of Key West and is part of Lot 3 in Square Nine of Tract 4 according to Simonton & Wall's Addition to the Town of Key West, further known as Lot 3 in Square Nine of Tract 4 according to Charles W. Tift's Map delineated in July 1874, but as more particularly known and described in a Subdivision of Lots 3 and 4 in Square Nine of Tract 4, as recorded in Deed Book L, Page 130, Public Records of Monroe County, Florida, as Part of Lots 7 and 8 of said Subdivision, further described as follows:

Commencing at a point on the Northeast side of a 25 foot alleyway known as Eanes (Eneas) Alley, 84 feet and 8 inches distant from the corner of said Alley and Division Street and running along the Northeast Side of said Alley in a Northwesterly direction 42 feet and 4 inches; thence at right angles in a Northeasterly direction 86 feet and 4 inches; thence at right angles in a Southeasterly direction 42 feet and 4 inches; thence at right angles in a Southwesterly direction and parallel with Division Street, 86 feet and 4 inches back to the point of beginning.

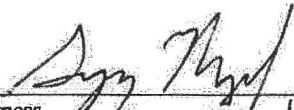
Subject to taxes for 2024 and subsequent years; covenants, conditions, restrictions, easements, reservations, and limitations of record, if any.

and said grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

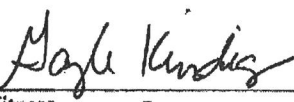
* "Grantor" and "Grantee" are used for singular or plural, as context requires.

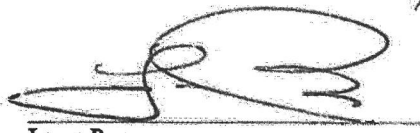
In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:


Witness
Printed Name: Gregg Murphy
Address: 808 Horizon Dr, Franklin, TN 37064


Jon Perry


Witness
Printed Name: Gayle Kindig
Address: 808 Horizon Dr, Franklin, TN 37064



Laura Perry

State of Tennessee
County of Williamson

The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐ online notarization, this 25th day of June, 2024 by Jon Perry and Laura Perry, who ☒ are personally known or ☐ have produced a driver's license as identification.

[Notary Seal]




Notary Public
Printed Name: Catherine Franco
My Commission Expires: 5.14.25

Sender Site Current Occupational Licenses

CITY OF KEY WEST, FLORIDA

Business Tax Receipt

This Document is a business tax receipt
Holder must meet all City zoning and use provisions.
P.O. Box 1409, Key West, Florida 33040 (305) 809-3955

Business Name KNOWLES HOUSE

Location Addr 1004 EATON ST

Lic NBR/Class LIC2023-000504 PROPERTY RENTAL

Issued Date 8/15/2022

Expiration Date: September 30, 2023

TRANSIENT NO USE PERMITTED

Comments: 6 NO USE PERMITTED TRANSIENT UNITS

Restrictions: NO USE PERMITTED

KNOWLES HOUSE
KEY ENDEAVORS LLC
702 COMMERCIAL ST STE 3A
EMPORIA , KS 66801

This document must be prominently displayed.

KEY ENDEAVORS LLC

Receiver Site Current Floor Plans

217 EANES LANE

KEY WEST, FL 33040
RESIDENTIAL RENOVATION

PARCEL: 00017980-000000

PHASE 2-PERMIT SUBMISSION

A2O
ARCHITECTURE

1101 N. MIAMI AVENUE, SUITE 100
MIAMI, FL 33136
TEL: 305.555.1234
WWW.A2OARCHITECTURE.COM

DESIGNED BY
Aileen A. Osborn
DATE: 08/04/2023
PROJECT NO: 217 EANES LANE

DIGITALLY
SIGNED BY
Aileen A. Osborn
DATE: 08/04/2023
PROJECT NO: 217 EANES LANE

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MR. & MRS. PERRY RESIDENCE
RESIDENTIAL RENOVATION

SUBMISSIONS:
PHASE 2 PERMIT SUBMISSION

APPROVALS:
A2O ARCHITECTURE

TITLE:
COVER, SCOPE OF WORK, COPY OF SURVEY

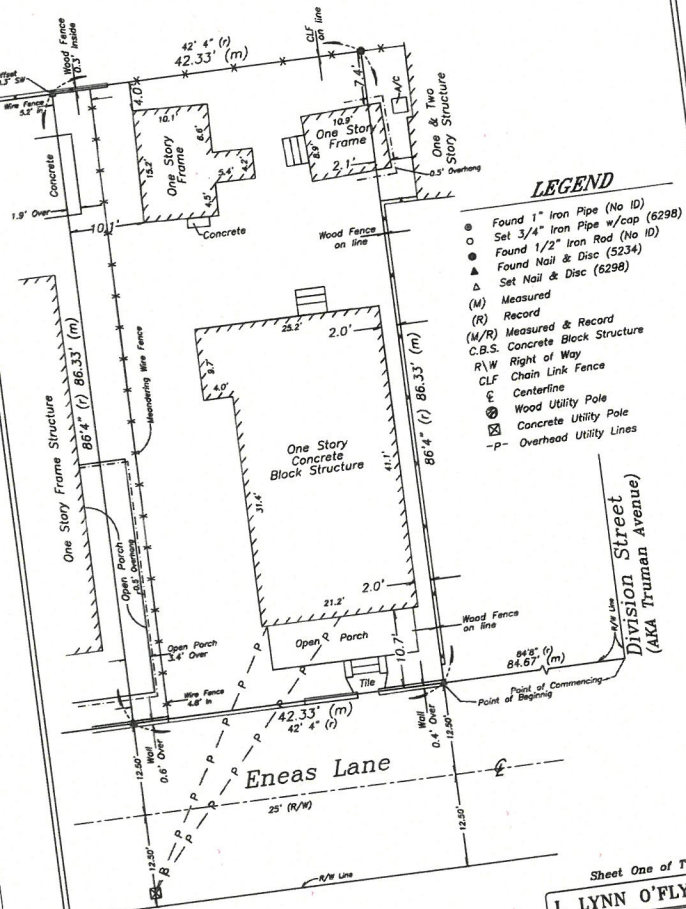
PROJECT # 22.15
SHEET:

G1.0

AUGUST 04, 2023

Boundary Survey Map of part of Lot 3, Square 9
Simonton and Wall's Addition to the Town of Key West

Assumed
1" = 10'



LEGEND

- Found 1" Iron Pipe (No ID)
- Set 3/4" Iron Pipe w/cap (5298)
- Found 1/2" Iron Rod (No ID)
- Found Nail & Disc (5234)
- Set Nail & Disc (5298)
- Measured
- Record
- (M/R) Measured & Record
- C.B.S. Concrete Block Structure
- R/W Right of Way
- CLF Chain Link Fence
- Centerline
- Wood Utility Pole
- Concrete Utility Pole
- Overhead Utility Lines

Sheet One of Two Sheets

J. LYNN O'FLYNN, Inc.
Professional Surveyor & Mapper
P.S. 10000
3430 Duck Ave., Key West, FL 33040
(305) 296-7403 FAX (305) 296-2244

NOTE:
This Survey Map is not full
and complete without the
attached Survey Report.

1 COPY OF SURVEY
SCALE: NOT TO SCALE

DRAWING INDEX

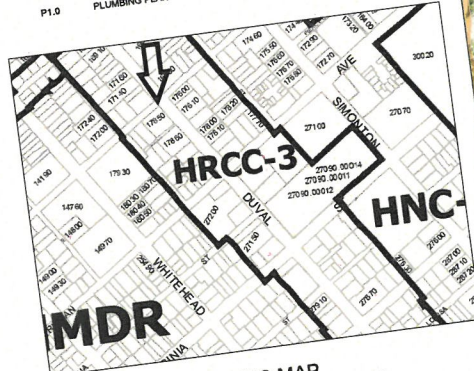
- GENERAL
G1.0 COVER, SCOPE, INDEX AND SURVEY COPY
G1.1 GENERAL NOTES & SPECIFICATIONS
- ARCHITECTURAL (INCLUDED IN PDF)
A1.1 EXISTING & PROPOSED SITE PLANS & SITE DATA TABLE
A1.2 EXISTING & PROPOSED FLOOR PLANS & ROOF PRESSURES
A2.1 EXISTING EXTERIOR ELEVATIONS
A2.2 PROPOSED EXTERIOR ELEVATIONS
A3.1 BUILDING SECTION A-A
A3.2 BUILDING SECTION B-B
A3.3 BUILDING SECTION C-C
A3.4 ENLARGED FLOOR PLANS
A4.1 DOOR & WINDOW SCHEDULE W/ OPENING PRESSURES
A5.1
- STRUCTURAL (INCLUDED IN PDF)
S0.1 STRUCTURAL NOTES
S1.0 FLOOR ONE FRAMING & FOUNDATION PLAN W/ CONNECTOR SCHEDULE
S1.1 ROOF FRAMING PLAN & CONNECTOR SCHEDULE
- MECHANICAL (UNDER SEPARATE PDF)
M-1 COVER & GENERAL NOTES
M-2 FIRST FLOOR HVAC PLAN
M-3 EQUIPMENT SCHEDULE & DETAILS
- ELECTRICAL (INCLUDED IN PDF)
E1.0 ELECTRICAL PLAN
E2.0 ELECTRICAL RISER & PANEL SCHEDULE
- PLUMBING (INCLUDED IN PDF)
P1.0 PLUMBING PLAN

SCOPE OF WORK

- REMOVE PORTION OF EXISTING NON-CONTRIBUTING HISTORIC ADDITION (C. 1948-1962)
- RECONFIGURATION OF INTERIOR SPACES TO ACCOMMODATE RENOVATION
- CONSTRUCT NEW ONE-STORY SIDE ADDITION TO MAIN STRUCTURE WITH DETACHED ACCESSORY COTTAGE AND POOL AT REAR (POOL PERMITTING BY OTHERS)

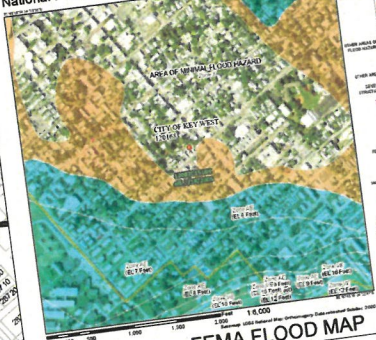
CODE INFORMATION

- APPLICABLE CODES
FLORIDA BUILDING CODE 17TH EDITION
2020, WITH ALL AMENDMENTS
CODE OF ORDINANCES CITY OF KEY WEST
FLORIDA HISTORIC HIGH DENSITY
RESIDENTIAL DISTRICT
- FEMA (FEDERAL EMERGENCY MANAGEMENT AGENCY) REQUIREMENTS
ZONE - X
ASCE 7-16 WIND LOADS
- USE AND OCCUPANCY CLASSIFICATION
RESIDENTIAL R-3
- FEMA (FEDERAL EMERGENCY MANAGEMENT AGENCY)
FLOOD ZONE AE 5
- DESIGN CRITERIA
WIND LOADS: 180 MPH ULTIMATE; 139.4
MPH NOMINAL
WIND EXPOSURE: D
FLOOR LOADS: 40 PSF LL - 20 PSF DL
ROOF LOADS: 20 PSF LL - 15 PSF DL
SEISMIC LOAD: 0



2 ZONING MAP
SCALE: NOT TO SCALE

National Flood Hazard Layer FIRMe



3 FEMA FLOOD MAP
SCALE: NOT TO SCALE

GENERAL NOTES

CODES, PERMITS, AND REGULATIONS

- CONTRACTORS ARE RESPONSIBLE FOR SECURING ALL BUILDING PERMITS REQUIRED BY LOCAL GOVERNING AUTHORITIES.
- CONTRACTORS SHALL MEET ALL LOCAL, COUNTY, STATE AND FEDERAL REGULATIONS OF DEMOLITION, SAFETY, AND SANITARY PRECAUTIONS DURING BUILDING OPERATIONS.
- ALL WORK SHALL COMPLY WITH APPLICABLE CODES, AMENDMENTS, RULES, REGULATIONS, ORDINANCES, LAWS, ORDERS, APPROVALS, ETC. THAT ARE REQUIRED BY PUBLIC AUTHORITIES. IN THE EVENT OF CONFLICT, THE MOST STRINGENT REQUIREMENTS SHALL GOVERN. REQUIREMENTS INCLUDE, BUT ARE NOT NECESSARILY LIMITED TO, THE CURRENTLY APPLICABLE EDITIONS OR PUBLICATIONS OF THE FOLLOWING:
 - FLORIDA BUILDING CODE
 - ALL LOCAL AND MUNICIPAL CODES.
- CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO COMMENCEMENT OF EACH PORTION OF THE WORK. COORDINATE ALL SITE REQUIREMENTS, ISSUES AND UTILITIES.

OWNERSHIP OF DRAWINGS AND CONTRACT ITEMS

- THE CONTRACT DOCUMENTS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT FOR WHICH THEY ARE PREPARED IS EXECUTED OR NOT. THE CONTRACT DOCUMENTS ARE NOT TO BE USED BY THE OWNER FOR OTHER PROJECTS OR EXTENSIONS TO THE PROJECT NOR ARE THEY TO BE MODIFIED IN ANY MANNER WHATSOEVER EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT. IF COPIES ARE REQUIRED NOTIFY THE ARCHITECT.
- THE CONTRACT DOCUMENTS CONSIST OF THE FOLLOWING:
 - DRAWINGS
 - ANY AND ALL ADDENDA
- IF AT ANY TIME BEFORE COMMENCEMENT OF WORK, OR DURING PROGRESS THEREOF, CONTRACTOR'S METHODS, EQUIPMENT OR APPLIANCES ARE INEFFICIENT OR INAPPROPRIATE FOR SECURING QUALITY OF WORK, OWNER MAY ORDER CONTRACTOR TO HIRE SUBSTITUTES FOR THE QUALITY OR INCREASE THEIR EFFICIENCY. THIS SHALL NOT RELIEVE THE CONTRACTOR OF HIS OBLIGATIONS FROM THEIR OBLIGATIONS TO SECURE QUALITY SPECIFIED IN CONTRACT.
- THE CONTRACTOR SHALL COORDINATE ALL PORTIONS OF THE WORK AS DESCRIBED IN THE CONTRACT DOCUMENTS. NOTIFY THE ARCHITECT AND OWNER IN WRITING FOR RESOLUTION OF ALL DISCREPANCIES PRIOR TO CONSTRUCTION.

GENERAL COORDINATION OF DRAWINGS

- CONTRACTORS SHALL VERIFY THAT NO CONFLICTS EXIST IN LOCATIONS OF PROPOSED WALLS, COORDINATE ALL MECHANICAL, DATA, ELECTRICAL, AND PLUMBING TO BE REMOVED, RELOCATED, OR INSTALLED. ITEMS TO INCLUDE ARE ALL PIPING, DUCT WORK, STRUCTURAL MEMBERS AND CONDUIT, AND EXISTING CONDITIONS. VERIFY THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF ABOVE EQUIPMENT ARE PROVIDED. ELEMENTS TO BE EXPOSED OR CONCEALED SHALL BE DETERMINED AND REVIEWED WITH OWNER PRIOR TO CONSTRUCTION.
- CONTRACTORS AND SUBS SHALL COORDINATE THE LAYOUT AND EXACT LOCATION OF ALL PARTITIONS, DOORS, ACCESSORIES, ELECTRICAL, DATA OUTLETS AND LIGHT SWITCHES WITH ARCHITECTURAL DRAWINGS IN THE FIELD PRIOR TO PROCEEDING WITH CONSTRUCTION.
- THE FINISHED WORK SHALL BE FINI, WELL ANCHORED, IN TRUE ALIGNMENT, PLUMB, LEVEL, WITH SMOOTH, CLEAN, UNIFORM APPEARANCES WITHOUT WAVES, DISTORTIONS, HOLE MARKS, CRACKS, STAINS, OR DISCOLORATION. JOINTING SHALL BE CLOSE FITTING, NEAT AS WELL, Scribed. THE FINISH WORK SHALL HAVE NO EXPOSED UNSUBSTANTIAL ANCHORS OR FASTENERS AND SHALL NOT PRESENT HAZARDOUS, UNSAFE CORNERS. ALL WORK SHALL HAVE THE PROVISION FOR EXPANSION, CONTRACTION, AND SHRINKAGE AS NECESSARY TO PREVENT CRACKS, BUCKLING AND WARPING DUE TO TEMPERATURE AND HUMIDITY CONDITIONS.
- ATTACHMENTS, CONNECTIONS, OR FASTENINGS OF ANY NATURE ARE TO BE PROPERLY AND PERMANENTLY SECURED IN CONFORMANCE WITH BEST PRACTICE AND THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THEM ACCORDINGLY AND TO THESE CONDITIONS. THE DRAWINGS SHOW ONLY SPECIAL CONDITIONS TO ASSIST CONTRACTOR. THEY DO NOT ILLUSTRATE EVERY DETAILED CONNECTION.
- THE CONTRACTORS ARE RESPONSIBLE FOR VERIFYING THE DIMENSIONS AND ELEVATIONS OF EXISTING CONDITIONS AT THE SITE. THE CONTRACTORS AND SUBS SHALL COORDINATE THE LAYOUT AND EXACT LOCATION OF ALL ITEMS IN THE FIELD BEFORE PROCEEDING WITH CONSTRUCTION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTORS TO COORDINATE AND SCHEDULE ALL DELIVERIES AND DISPOSAL, COORDINATION WITH THE OWNER.
- EACH CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AT THE JOB AND SHALL BE RESPONSIBLE FOR THE PROPER FITTING OF HISHER WORK THERE TO.
- ALL EXISTING MATERIALS, EQUIPMENT, AND CONSTRUCTION ARE IDENTIFIED ON DRAWINGS BY THE WORDS "EXISTING" OR "EXIST". UNLESS STATED OTHERWISE, ALL NOTES REFER TO NEW MATERIALS, EQUIPMENT, AND CONSTRUCTION INSTALLED.
- MATERIAL INDICATIONS, NOTES, AND ETC. ARE TYPICAL FOR ALL CONTRACT DRAWINGS (LINO) UNLESS NOTED OTHERWISE.
- ALON MEANS SIMILAR COMPONENTS OF CONSTRUCTION, I.E. WALLS, JAMBS, ETC. SHALL BE IN LINE ACROSS VOIDS.
- THESE DRAWINGS ARE COMPLEMENTARY AND INTERRELATED; WORK OF ANY INDIVIDUAL TRADE IS NOT NECESSARILY CONFINED TO SPECIFIC DOCUMENTS, CHAPTERS OR LOCATIONS.
- IT IS THE INTENT OF THE CONTRACT DOCUMENTS TO BE DESIGNED IN ACCORDANCE WITH ALL CODES AND ORDINANCES IN EFFECT AT THE TIME THE PERMIT IS ISSUED. NOTIFY ARCHITECT IMMEDIATELY UPON DISCOVERY OF SUSPECTED DEVIATION.
- CONSTRUCTION TECHNIQUES, PROCEDURES, SEQUENCING AND SCHEDULING ARE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
- DO NOT SCALE DRAWINGS: USE DIMENSIONS ONLY. ALL DIMENSIONS MUST BE VERIFIED ON THE JOB AND THE ARCHITECT MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- IT IS THE INTENT OF THE DOCUMENTS AND REQUIREMENTS OF ALL CONTRACTORS TO BID AND PROVIDE AND MAINTAIN A COMPLETELY WATERPROOF BUILDING ENVELOPE DURING AND AT THE COMPLETION OF WORK. REPORT TO ARCHITECT ANY CONDITION THAT WOULD PREVENT THIS IMMEDIATELY.
- COORDINATE LOCATIONS AND/OR ELEVATIONS OF FLOOR DRAINS, REGISTER, GRILLES, LOUVERS, DUCTS, UNIT HEATERS, PANELS, ETC. WITH MECHANICAL AND ELECTRICAL CONTRACTORS AND ARCHITECTURAL DRAWINGS.
- WHERE A DETAIL IS SHOWN FOR ONE CONDITION, IT SHALL APPLY TO ALL LIKE OR SIMILAR CONDITIONS, EVEN THOUGH NOT SPECIFICALLY MARKED ON THE DRAWINGS.
- ALL PENETRATIONS IN RATED CONSTRUCTION ARE TO BE SEALED WITH APPROPRIATE MATERIALS AS INDICATED BY THESE DOCUMENTS OR OTHERWISE REQUIRED BY INSPECTORS OR APPLICABLE CODES AND ORDINANCES.
- THERE SHALL BE NO BACK-TO-BACK ELECTRICAL, TELEPHONE, OR OTHER OUTLETS.
- BLOCKING AT OPENINGS, DOORS AND WINDOWS SHALL BE 2X 4 F.P.T. MATERIALS, UNLESS NOTED OTHERWISE HEREIN. AT WALL MOUNTED EQUIPMENT LOCATIONS, USE 1/2" PLYWOOD SHEET MATERIAL, UNLESS NOTED OTHERWISE HEREIN. ALL BLOCKING IN CONTACT W/ CONCRETE OR CMU TO BE PRESSURE TREATED.
- FOLLOW MANUFACTURER'S INSTRUCTION SPECIFICATIONS FOR CONSTRUCTION MATERIALS AND SYSTEMS.

DIMENSIONAL COORDINATION OF DRAWINGS

- DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. VERIFY DIMENSIONS WITH FIELD CONDITIONS. IF DISCREPANCIES ARE DISCOVERED BETWEEN FIELD CONDITIONS AND DRAWINGS OR BETWEEN DRAWINGS, CONTACT THE ARCHITECT FOR RESOLUTION BEFORE PROCEEDING.
- HORIZONTAL DIMENSIONS INDICATED ARE TO / FROM FINISHED FACE OF CONSTRUCTION, EXCEPT AS NOTED.
- VERTICAL DIMENSIONS ARE FROM TOP OF FLOOR SLAB, EXCEPT WHERE NOTED TO BE FROM ABOVE FINISHED FLOOR (A.F.F.).
- DIMENSIONS ARE NOT ADJUSTABLE WITHOUT APPROVAL OF THE ARCHITECT UNLESS OTHERWISE NOTED ON DRAWINGS.
- THE CONTRACTORS SHALL CONTINUOUSLY CHECK ARCHITECTURAL AND STRUCTURAL CLEARANCES FOR ACCESSIBILITY OF EQUIPMENT AND MECHANICAL, AND ELECTRICAL SYSTEMS. NO ALLOWANCE OF ANY

- KIND WILL BE MADE FOR THE CONTRACTOR'S NEGLIGENCE TO FORERIEE MEANS OF INSTALLING EQUIPMENT INTO POSITION INSIDE STRUCTURES OR PROPOSED CONSTRUCTION ELEVATIONS. THE CONTRACTOR IS RESPONSIBLE TO NOTIFY THE ARCHITECT OF ANY ITEMS THAT MAY CAUSE A CHANGE FROM THE DIMENSIONS OUTLINED IN THE CONSTRUCTION DOCUMENTS FOR INSTRUCTIONS TO CLARIFY OR MODIFY OF THE AREA.
- ANY DIMENSION NOTED "VERIFY" OR "VERIFY IN FIELD (VIF)" MUST BE REVIEWED WITH THE ARCHITECT BEFORE BEGINNING CONSTRUCTION.
 - DIMENSIONS INDICATED TO BE "CLEAR" SHALL BE MAINTAINED. ANY DISCREPANCIES OR VARIATIONS IN THESE DIMENSIONS SHALL BE REVIEWED WITH THE ARCHITECT BEFORE PROCEEDING WITH WORK IN THE QUESTIONABLE AREA.

PATCHING, REPAIR AND CONSTRUCTION

- CONTRACTORS ARE RESPONSIBLE FOR AND SHALL PROVIDE PROTECTION FOR ANY EXISTING EQUIPMENT, LANDSCAPE AND SITE CONDITIONS ON SITE, OUTSIDE PROJECT SCOPE OF WORK.
- CUT AND FIT ALL NEW COMPONENTS ETC. FOR ALTERNATION OF EXISTING CONDITIONS AND INSTALLATION OF NEW WORK, CONTRACTOR TO PATCH AND REPAIR ALL DISTURBED AREAS TO MATCH ADJACENT MATERIALS AND FINISHES, UNLESS NOTED OTHERWISE.

SCHEDULING ITEMS

- CONTRACTOR SHALL ORDER AND SCHEDULE DELIVERY OF MATERIALS IN AMPLI TIME TO AVOID DELAYS IN CONSTRUCTION. IF AN ITEM IS FOUND TO BE UNAVAILABLE OR HAVE A LONG LEAD TIME, CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY.

M.E.P. COORDINATION ITEMS

- ALL DATA WORK SHALL BE COORDINATED BY THE CONTRACTOR WITH THE OWNER'S REPRESENTATIVE.
- CONTRACTOR TO COORDINATE AND REVIEW WITH ARCHITECT THE LOCATION OF ALL NEW SLAB PENETRATIONS PRIOR TO BEGINNING ANY WORK. SEAL OPENINGS AS REQUIRED TO MEET ALL APPLICABLE RATINGS AND CODES.
- PROVIDE REQUIRED MECHANICAL DRAWINGS.

WORKING HOURS

- CONTRACTOR TO COORDINATE WITH PROPERTY OWNER AND/OR MUNICIPALITY REQUIREMENTS TO ESTABLISH WORK HOURS, MEANS AND METHODS, SECURITY, DISPOSAL, ETC.

ELECTRICAL

- ELECTRICAL SUB-CONTRACTOR TO UTILIZE EXISTING POWER SOURCE (S) AT BUILDING. PROVIDE REQUIRED ELECTRICAL DRAWINGS.

SECTION 01 00 00 - GENERAL REQUIREMENTS

PART 1 - GENERAL

1.01 DESCRIPTION

- THE CONTRACTOR SHALL FURNISH ALL LABOR AND MATERIALS REQUIRED AND NECESSARY TO PROVIDE A COMPLETE HARBORABLE, WEATHERPROOF, SAFE AND SECURE FRESH BUILDING, SUITABLE FOR HUMAN OCCUPANCY IN ACCORDANCE WITH PROJECT DOCUMENTS.
 - CONTRACTOR SHALL VISIT THE SITE TO BECOME FAMILIAR WITH EXISTING CONDITIONS AND REQUIREMENTS OF CONSTRUCTION PRIOR TO START OF WORK.
 - CONTRACTOR SHALL COMPLETE NEW WORK IN CONFORMANCE WITH THESE DRAWINGS. NOTIFY ARCHITECT IF CONFLICTS APPEAR OR ARE UNCOVERED DURING THE PROGRESS OF THE WORK PRIOR TO ANY FIELD MODIFICATIONS OR CONSTRUCTION. DEVIATIONS FROM PERMITTED DRAWINGS WITHOUT ARCHITECT'S PRIOR WRITTEN APPROVAL, SHALL BE AT THE CONTRACTORS RESPONSIBILITY.
- 1.04 ALLOWANCE
- CONTRACTOR SHALL INCLUDE AND ENUMERATE IN HIS BASE BID THE TOTAL SUMS FOR ALL ALLOWANCES ITEMS, QUANTITIES, PURCHASE, DELIVERY AND INSTALLATION SHALL BE BY CONTRACTOR. ALL OVERAGES OF ALLOWANCE AMOUNTS SHALL BE PAID FOR BY OWNER. ALL SAVINGS OF ALLOWANCE AMOUNTS SHALL BE CREDITED TO OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING, DELIVERY AND INSTALLATION DATES. ALLOWANCE ITEMS, IF ANY, SHALL BE LISTED IN WRITING BY THE OWNER PRIOR TO BIDDING.
- 1.05 PERMIT
- CONTRACTOR SHALL PAY FOR ALL PERMITS, TESTING, FEES, AND INSPECTIONS.

GENERAL CONDITIONS

- THE SCOPE OF WORK IS BASED ON THE CONSTRUCTION DOCUMENTS AND SHALL INCLUDE THE FURNISHING OF MATERIALS AND LABOR REQUIRED FOR THE COMPLETE PROJECT. COMPLY WITH THE CRITERIA DESCRIBED IN THE DRAWINGS.
- COORDINATE WITH OWNERS REPRESENTATIVE FOR SITE STAGING AND TEMPORARY LOBBY RELOCATIONS.
- VISIT THE JOB SITE PRIOR TO SUBMITTING BID. CONTRACTOR SHALL WALK THROUGH THE SITE WITH AN AUTHORIZED REPRESENTATIVE OF THE PROPERTY AND REVIEW CONSTRUCTION REQUIREMENTS. COORDINATE WORK WITH THE OWNER WITH REGARD TO TEMPORARY UTILITIES, ALLOWABLE MATERIAL, TRAFFIC ROUTES, STORAGE OF TOOLS AND MATERIALS, USE OF TOILET FACILITIES, HOURS IN WHICH WORK IS ALLOWED, NOISE AND DUST CONTROL, CLEANUP AND OTHER MATTERS REQUIRING ADHERENCE TO CITY REQUIREMENTS.
- DURING PERFORMANCE OF WORK, BE RESPONSIBLE FOR PROVISION AND MAINTENANCE OF WARNING SIGNS, LIGHT SIGNAL DEVICES, GUARD LIGHTS, BARRICADES, GUARD RAILS, FENCES AND OTHER DEVICES APPROPRIATELY LOCATED ON AND AROUND THE JOB SITE WHICH GIVE PROPER AND UNDERSTANDABLE WARNING TO PERSONS WITH REGARD TO HAZARDOUS CONDITIONS, EQUIPMENT AND OPERATIONS BEING PERFORMED IN CONJUNCTION WITH THE WORK.
- EXISTING CONDITIONS AND DIMENSIONS MAY BE TAKEN FROM INFORMATION FURNISHED BY THE OWNER. VERIFY SPACE DIMENSIONS AND IDENTIFY DISCREPANCIES BETWEEN BUILDING OR SITE ELEMENTS AND DRAWINGS BEFORE COMMENCING CONSTRUCTION. DISCREPANCIES FOUND ON THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING NO LATER THAN (5) WORKING DAYS PRIOR TO THE BID DATE. DISCREPANCIES IDENTIFIED DURING BIDDING WILL BE CLARIFIED BY ADDENDUM.
- DISCREPANCIES IDENTIFIED DURING CONSTRUCTION SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF CONTRACTOR'S CONSTRUCTION MANAGER AND ARCHITECT IN WRITING. DISCREPANCIES IDENTIFIED DURING CONSTRUCTION WILL BE CLARIFIED BY CHANGE ORDERS. CHANGE ORDER APPROVAL IS SUBJECT TO AUTHORIZATION BY OWNERS CONSTRUCTION MANAGER, OR AUTHORIZED REPRESENTATIVE.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COSTS INCURRED FOR NONCOMPLIANCE WITH THESE CONTRACT DOCUMENTS. CONTRACTOR WILL NOT BE ALLOWED CHANGE ORDERS FOR PROBLEMS ARISING FROM NEGLIGENCE OF PROVISIONS INCLUDED IN THESE CONDITIONS.
- ACCOMPLISH THE WORK IN COMPLIANCE WITH THE RESTRICTIONS AND REQUIREMENTS OF THE OWNER. WORK SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT AND APPLICABLE LOCAL AND STATE HANDICAPPED DISABILITY DESIGN REQUIREMENTS. VERIFY THAT THE WORK COMPLIES WITH ALL APPLICABLE LOCAL AND STATE FIRE, SAFETY, HEALTH, ENERGY AND BUILDING CODE REQUIREMENTS.
- REMOVE CONSTRUCTION RUBBISH, SCAFFOLDING, EQUIPMENT, TEMPORARY PROTECTION, TEMPORARY FIELD STRUCTURES, AND OTHER MATERIALS OR EQUIPMENT THAT WAS REQUIRED IN CONNECTION WITH THE CONSTRUCTION, BUT NOT A PERMANENT PART THEREOF.
- SCAFFOLDING SHALL BE BUILT IN ACCORDANCE WITH REQUIREMENTS OF FEDERAL, STATE, AND LOCAL LAWS. TEMPORARY SHORING REQUIRED FOR THE REMOVAL OF EXISTING WORK FOR THE INSTALLATION OF NEW WORK SHALL BE INCLUDED IN THE CONTRACT. BE RESPONSIBLE FOR THIS WORK, CORRECT AND REPAIR DAMAGES CAUSED BY IMPROPER SUPPORT OR FAILURE OF SHORING.
- MAINTAIN ORDERLY HOUSEKEEPING DURING CONSTRUCTION, AND UPON SUBSTANTIAL COMPLETION PERFORM FINAL CLEANUP. FINAL CLEANUP SHALL INCLUDE THE FOLLOWING: SWEEP, DAMP MOP, AND WAX RESILIENT FLOORING, DUST, DIRT, PAINT DRIPPINGS, OIL, GREASE, AND OTHER BLEMISHES SHALL BE REMOVED FROM FINISHED SURFACES, INCLUDING PIPES AND EQUIPMENT. WINDOWS, GLASS UNITS, GLASS DOORS AND MIRRORS SHALL BE WASHED. PAINT OVERRUNS AND PUTTY SMEARS SHALL BE REMOVED AND HARDWARE SHALL BE RUBBED CLEAN WITH FLANNEL CLOTH.
- INsofar AS JOBSITE SAFETY IS CONCERNED, THE ARCHITECT IS RESPONSIBLE SOLELY FOR HIS OWN AND HIS EMPLOYEES' ACTIVITIES ON THE JOBSITE, BUT THIS SHALL NOT BE CONSTRUED TO RELIEVE THE OWNER OR ANY CONSTRUCTION CONTRACTORS FROM THEIR RESPONSIBILITIES FOR MAINTAINING A SAFE JOBSITE. NEITHER THE PROFESSIONAL ACTIVITIES OF THE ARCHITECT, NOR THE PRESENCE OF THE ARCHITECT OR HIS EMPLOYEES AND SUBCONTRACTORS, SHALL BE CONSTRUED TO IMPLY THE

ARCHITECT HAS ANY RESPONSIBILITY FOR METHODS OF WORK PERFORMANCE, SUPERINTENDENCE, SEQUENCING OF CONSTRUCTION, OR SAFETY IN, ON OR ABOUT THE JOBSITE. THE OWNER AGREES THAT THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOBSITE SAFETY AND WARRANTS THAT THIS INTENT SHALL BE MADE EVIDENT IN THE OWNERS AGREEMENT WITH THE CONTRACTOR. THE OWNER ALSO WARRANTS THAT THE ARCHITECT SHALL BE MADE ADDITIONAL INSURED UNDER THE CONTRACTOR'S GENERAL LIABILITY INSURANCE POLICY.

- BE RESPONSIBLE TO THE OWNER FOR DAMAGES THAT OCCUR TO THE OWNER'S FACILITIES BEFORE, DURING, OR AFTER CONSTRUCTION PROCEDURES CAUSED BY CONTRACTOR, CONTRACTOR'S EMPLOYEES, OR SUBCONTRACTORS.
- THE GENERAL CONTRACTOR SHALL VERIFY THAT THE WORK ADHERES TO ALL FIRE, SAFETY, AND BUILDING CODES. CONTRACTOR SHALL VERIFY THAT THE WORK COMPLIES WITH OWNER AND INSURANCE REQUIREMENTS.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN FULL INSURANCE AS REQUIRED BY THE GENERAL CONDITIONS AND THE OWNER. EVIDENCE OF INSURANCE SHALL BE PROVIDED TO THE OWNER BEFORE PAYMENT'S SHALL COMMENCE TO THE CONTRACTOR.
- APPLICABLE STANDARDS OF CONSTRUCTION INDUSTRY HAVE THE SAME FORCE AND EFFECT ON PERFORMANCE OF THE WORK AS IF COPIED DIRECTLY INTO CONTRACT DOCUMENTS OR BOUND AND PUBLISHED THEREWITH. COMPLY WITH STANDARDS IN EFFECT ON THE DATE OF ISSUE OF THE CONTRACT DOCUMENTS, UNLESS OTHERWISE INDICATED.
- WARRANT MATERIALS AND WORKMANSHIP FOR A PERIOD OF (1) YEAR FROM DATE OF ACCEPTANCE BY S CONSTRUCTION MANAGER.
- CONTRACTOR'S CONSTRUCTION MANAGER SHALL REVIEW SHOP DRAWING SUBMISSIONS SOLELY FOR THEIR CONFORMANCE WITH THE DESIGN INTENT AND CONFORMANCE WITH INFORMATION GIVEN IN THE CONSTRUCTION DOCUMENTS. SHALL NOT BE RESPONSIBLE FOR ASPECTS OF A SHOP DRAWING SUBMISSION THAT AFFECT OR ARE AFFECTED BY THE MEANS, METHODS, TECHNIQUES, SEQUENCES AND OPERATIONS OF THE CONSTRUCTION, SAFETY PRECAUTIONS AND PROGRAMS INCIDENTAL THERETO. CONTRACTOR SHALL REVIEW SHOP DRAWINGS WITH RESPECT TO THESE CONDITIONS BEFORE SUBMITTING THEM TO THE ARCHITECT.
- DISSIMILAR METALS SHALL HAVE PROTECTIVE COATING TO PREVENT GALVANIZING.

A²O

ARCHITECTURE

217 EAMES LANE
KEY WEST, FLORIDA 33040

2023.08.24
16:21:38
-04'00'

Digitally
signed by
Allen A
Osborn

2023.08.24
16:21:38
-04'00'

THE OWNER AND ARCHITECT HEREBY
AGREE TO THE FOLLOWING: THE
ARCHITECT SHALL BE RESPONSIBLE FOR
THE DESIGN AND CONSTRUCTION OF
THE PROJECT. THE ARCHITECT SHALL
BE RESPONSIBLE FOR THE DESIGN
AND CONSTRUCTION OF THE PROJECT.
THE ARCHITECT SHALL BE RESPONSIBLE
FOR THE DESIGN AND CONSTRUCTION
OF THE PROJECT.

MR. & MRS. PERRY RESIDENCE

RESIDENTIAL RENOVATION

217 EAMES LANE
KEY WEST, FLORIDA 33040

SUBMISSIONS:

2023.08.24 16:21:38

APPROVALS:

2023.08.24 16:21:38

TITLE:

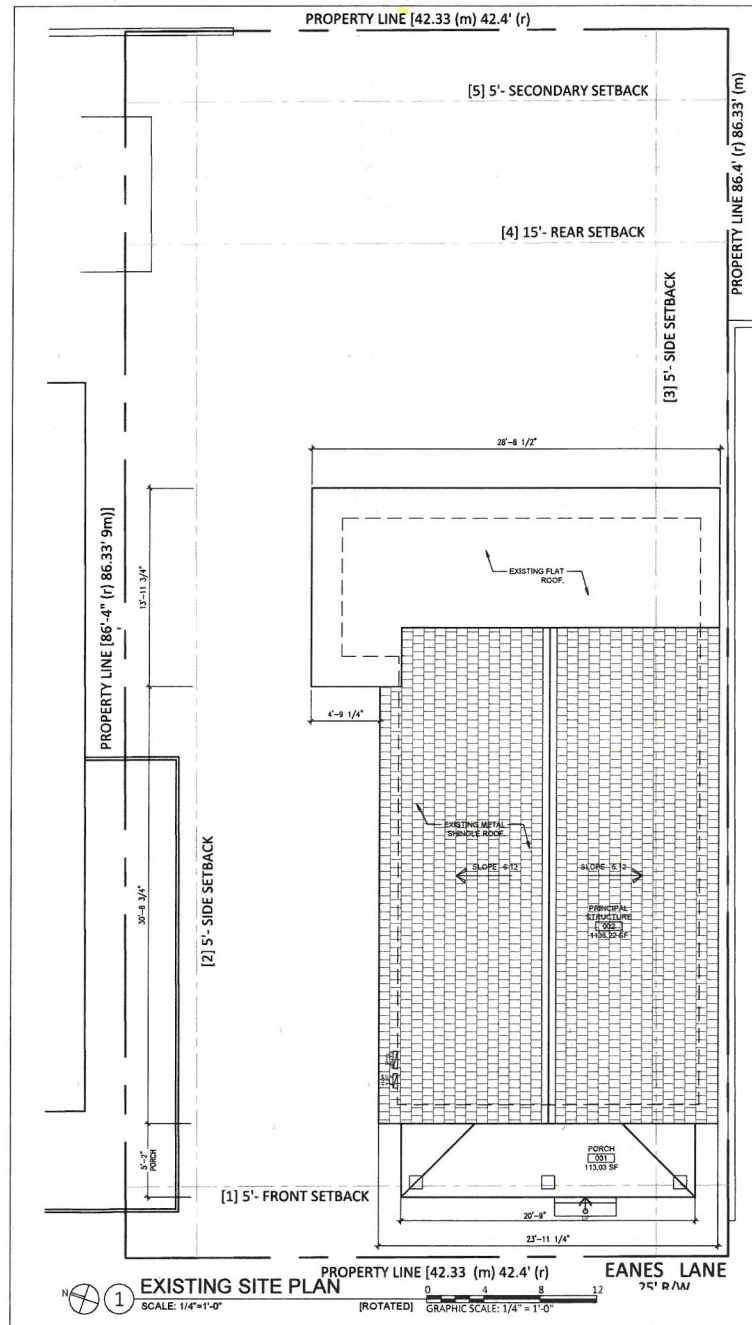
GENERAL
NOTES

PROJECT #: 22.15

SHEET:

G1.1

AUGUST, 04, 2023



REQUIRED RETENTION		
1" X AREA OF SITE = RETENTION VOLUME		
CALCULATION: (1" / (12" / FT)) X (1,102.50 SF) = 91.87 CF		
SITE DRAINAGE RETENTION PLAN TO ACCOMMODATE 10% OF MINIMUM CAPACITY. FINAL SWALE AND/OR TRENCH DRAIN DESIGN T.B.D., COORDINATE WITH LANDSCAPE DESIGN (BY OTHERS).		
PROVIDED RETENTION		
LOCATION	CALCULATION	CAPACITY
SWALE 1:	240.71 SF CATCHMENT AREA X 7.5' DEPTH X 1 FT ³ /12" (12" / 12" = 1) = 150.43 CF	150.43 CF
	REQUIRED RETENTION CAPACITY X 10% (CREDIT FOR USE IF SWALE) 304.37 CF X 10% =	30.44 CF
TOTAL CAPACITY PROVIDED:		180.87 CF
GENERAL NOTES		
1. ALL SWALES TO BE LOCATED OUTSIDE OF ALL BUILDING COVER INCLUDING ROOF OVERHANGS.		
2. COORDINATE SWALE AND/OR TRENCH DRAIN LOCATIONS WITH LANDSCAPE DESIGN PRIOR TO CONSTRUCTION.		
3. SWALE VOLUMES SHOWN ACCOUNT FOR CREDIT PROVIDED FOR USE OF SWALES. 10% OF REQUIRED RETENTION.		

PROJECT SITE DATA				
217 EANES LANE, KEY WEST, FLORIDA 33040				
REAL ESTATE NO.: 00017390-000000				
ZONING DISTRICT	HRCC-3 : DUVAL STREET OCEANSIDE DISTRICT			
FLOOD ZONE	X [0.2 % ANNUAL CHANCE]			
CODE REQUIREMENTS:	REQUIRED/ALLOWED	EXISTING	PROPOSED	COMPLIANCE
LOT SIZE [TOTAL]	4,000 SF	3,654.00 SF	3,654.00 SF	EXISTING
HEIGHT				
PRIMARY	35'-0"	16'-0"	16'-0"	COMPLIES
SETBACKS				
[1] FRONT YARD	5'-0"	4'-1 3/4"	4'-1 3/4"	EXISTING
[2] SIDE YARD 1	5'-0"	13'-1 1/4"	5'-0"	COMPLIES
[3] SIDE YARD 2	5'-0"	0'-6 1/2"	0'-6 1/2"	EXISTING
[4] REAR YARD	15'-0"	32'-2 1/4"	20'-2 3/4"	COMPLIES
[5] POOL / REAR YARD	5'-0"	N/A	12'-6 1/4" / 5'-10 1/2"	COMPLIES
SITE COVERAGES				
RESIDENCE	N/A	1,136.22 SF	1,136.22 SF	N/A
FRONT PORCH	N/A	113.03 SF	113.03 SF	N/A
SIDE PORCH	N/A	0.00 SF	17.66 SF	N/A
COTTAGE	N/A	0.00 SF	200.73 SF	N/A
SWIMMING POOL	N/A	0.00 SF	206.11 SF	N/A
POOL DECK	N/A	0.00 SF	340.16 SF	N/A
EQUIPMENT	N/A	0.00 SF	20.16 SF	N/A
HARC COVERAGES				
SIDE ADDITION	30% MAX. [340.87 SF]	N/A	21.12% [240.02 SF]	COMPLIES
BUILDING COVERAGE	50% MAX. [1,827.00 SF]	34.19% [1,248.25 SF]	46.73% [1,707.66 SF]	COMPLIES
IMPERVIOUS COVERAGE	50% MAX. [1,827.00 SF]	34.19% [1,248.25 SF]	52.35% [1,833.93 SF]	COMPLIES
OPEN SPACE	35% MIN. [1,278.90 SF]	65.81% [2,404.75 SF]	37.54% [1,371.59 SF]	COMPLIES
REAR YARD ACCESSORY COVERAGE	30% MAX. [190.50 SF]	N/A	23.45% [148.75 SF]	COMPLIES

GENERAL SITE PLAN NOTE:

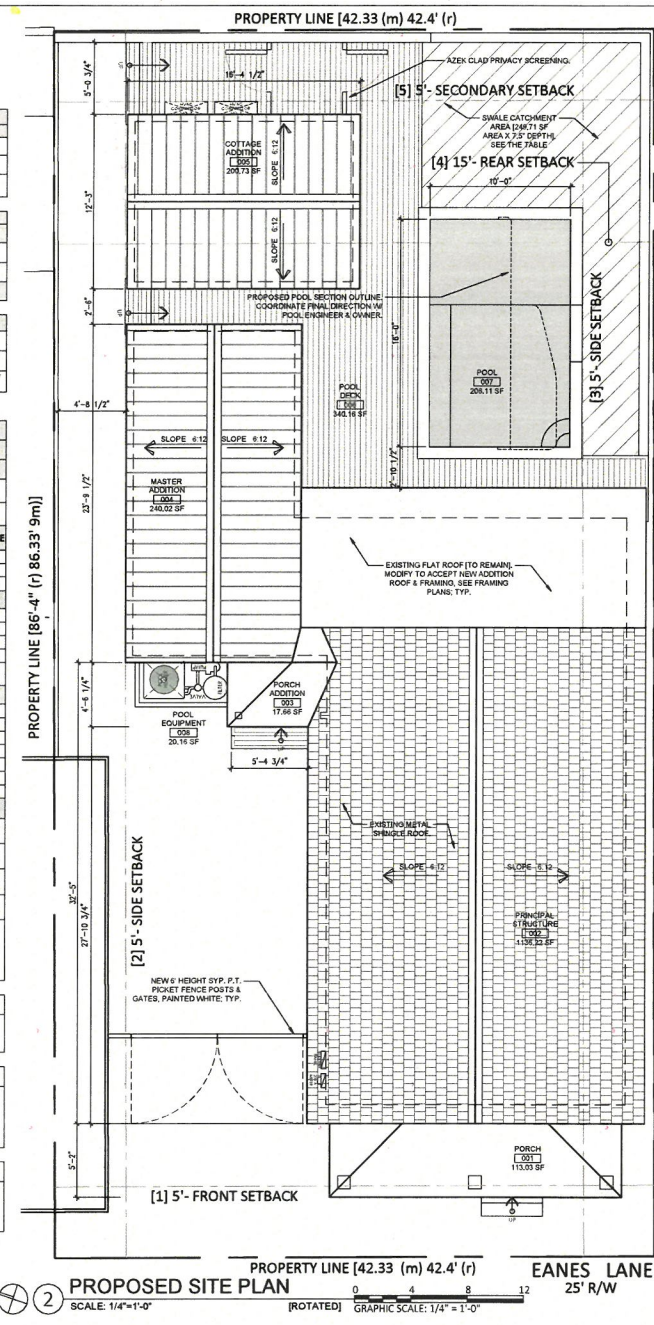
SITE PLAN BASED ON PARCEL SURVEY CONDUCTED BY J. LYNN O'FLYNN, INC.

GENERAL LANDSCAPE NOTE:

LANDSCAPE DESIGN, IRRIGATION, LIGHTING, PLACEMENT, SIZING, AND SPECIES SELECTIONS TO BE PROVIDED BY OTHERS. LANDSCAPING SHOWN REPRESENTS EXISTING LANDSCAPE ITEMS AND PROPOSED LOCATIONS, FOR REFERENCE ONLY.

GENERAL POOL NOTE:

PROPOSED POOL ENGINEERING, AND ASSOCIATED SITE ITEMS UNDER SEPARATE COVER. LAYOUT THEREOF, INCLUDED FOR SITE COVERAGE CALCULATIONS, ONLY.



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Digitally signed by
Allen A. Osborn
Date: 2023.08.24 16:21:56 -0400

RESIDENTIAL RENOVATION

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217 EANES LANE
KEY WEST, FLORIDA 33040

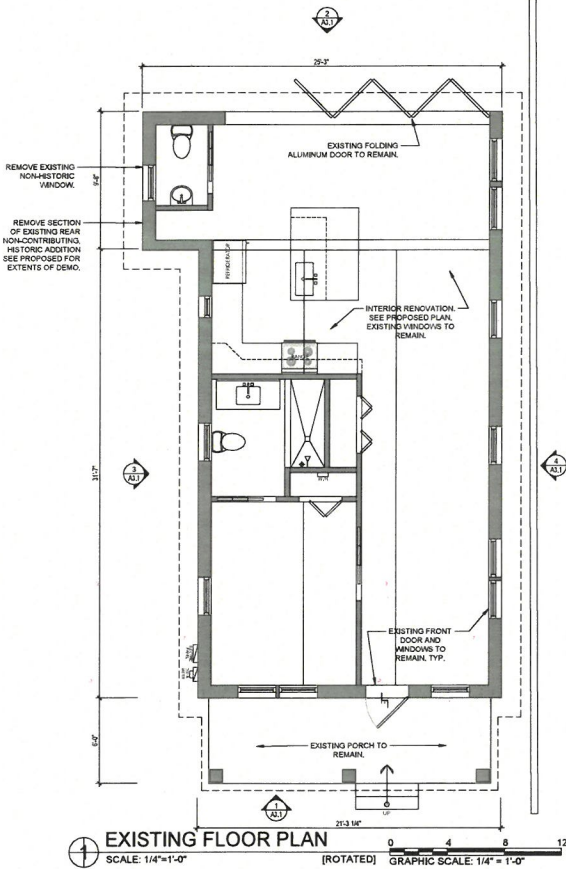
SUBMISSIONS:
100% SITE PLAN SUBMISSION

APPROVALS:
J. LYNN O'FLYNN, INC. (100% SITE PLAN)

TITLE:
EXISTING & PROPOSED
SITE PLANS, &
SITE DATA
TABLE

PROJECT #: 22.15
SHEET:
A1.1

AUGUST, 04, 2023



FLOOR PLAN LEGEND

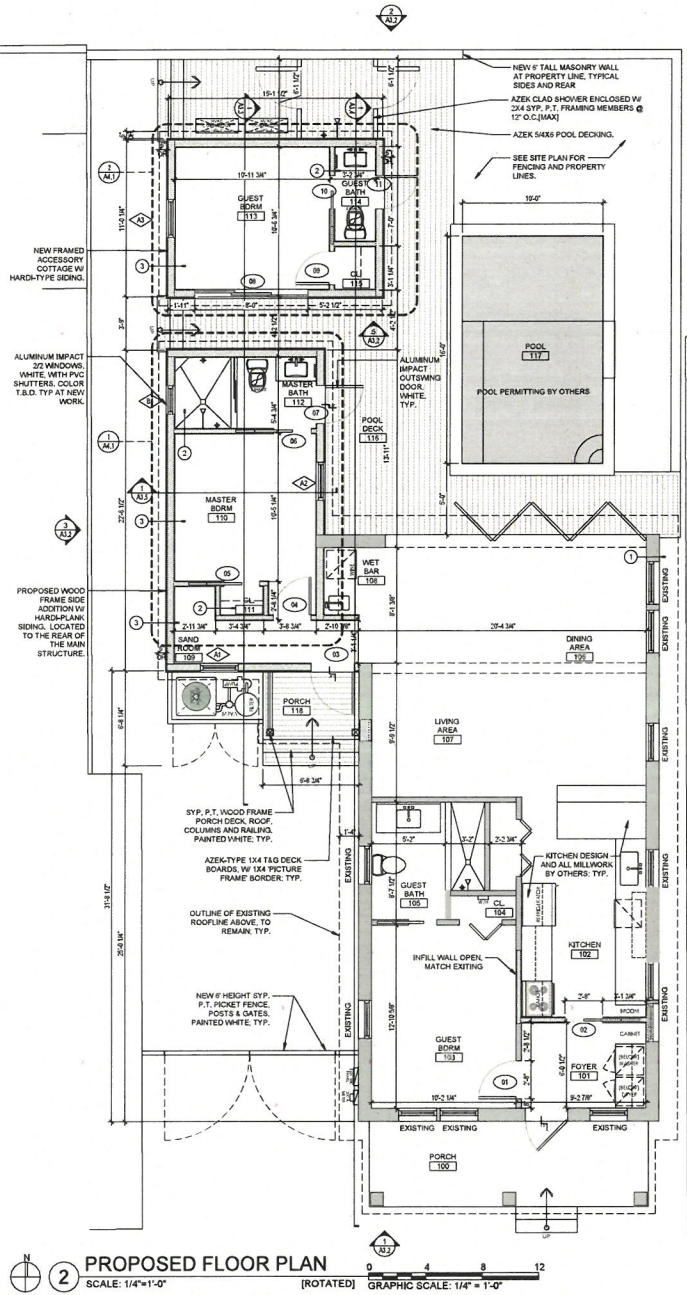
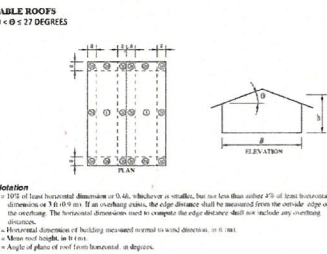
WALL TYPE 1	INTERIOR AND EXISTING WALLS. PATCH, REPAIR AND REPAINT EXISTING EXTERIOR WOOD SIDING TO MATCH. SEE PLAN NOTES.
WALL TYPE 2	INTERIOR 2X4 SYP. P.T. WALL FRAMING W/ FIRE BLOCKING (TYP.) 3/4" O.P.S.P. BOTH SIDES. ROCKWOOL OR EQUIVALENT, R-10 MIN. SEE PLAN DETAILS FOR TIED WALL LOCATIONS, TYP.
WALL TYPE 3	EXTERIOR 2X4 SYP. P.T. WALL W/ 3/4" SHEATHING AND 5/8" HARDIE. ARTISAN HERITAGE LAP SIDING, R-18 MIN. INSULATION, MATCH EXISTING WALL THICKNESS WHERE SHOWN.
WALL TYPE TAG	WALL TYPE TAG.
DOOR R. REFER TO AS.1.	DOOR R. REFER TO AS.1.
WINDOW R. REFER TO AS.1.	WINDOW R. REFER TO AS.1.
ROOM NAME	ROOM ID, NUMBER / CONTRACTOR TO ACCOUNT FOR 3/4" DRYWALL FOR FINISH, UNLESS NOTED OTHERWISE, TYPICAL.

- GENERAL NOTES:
- ALL WORK TO BE PERFORMED BY LICENSED, INSURED CONTRACTORS IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES.
 - GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS AND NOTIFY ARCHITECT OF DISCREPANCIES BEFORE PROCEEDING.
 - COORDINATE WITH INTERIORS, MECHANICAL, ELECTRICAL, PLUMBING AND STRUCTURAL DRAWINGS.
 - WINDOWS/DOORS TO BE INSTALLED WITH FLASHING/WATERPROOFING AS REQUIRED TO COMPLY WITH CONSTRUCTION STANDARDS AND IN COMPLIANCE WITH PRODUCT TESTING APPROVALS AND CURRENT BUILDING CODES.
 - CONTRACTOR TO VERIFY ROUGH OPENINGS OF DOORS AND WINDOWS FOR FRAMING COORDINATION.
 - ALL WOOD FRAMING MEMBERS TO BE #2 GRADE OR BETTER, SOUTHERN YELLOW PINE (SYP), PRESSURE TREATED (P.T.).
 - ALL O.P.S.P. BOARD TO BE 5/8" INSTALL MOISTURE RESISTANT O.P.S.P. BOARD IN DAMP AREAS AND CEMENT BOARD IN SHOWERS. DIMENSION TO MATCH DRYWALL.
 - ALL TREATED LUMBER TO BE USED WHEN FRAMING COMES INTO CONTACT WITH CONCRETE. USE ACO APPROVED FASTENERS ONLY.
 - FLOOR PLAN DIMENSION SHOWN TO FACE OF FRAMING STRUCTURE, UNLESS NOTED "FIN", "CLEAR" OR NOTED OTHERWISE.
 - METAL ROOFING TO BE GALVANIZED CORRUGATED METAL (24 GAUGE MIN) OVER POLYSTYCK UNDERLAYMENT (PEEL & STICK) AS SECONDARY WATER BARRIER.
 - ROOFING CONTRACTOR TO ENSURE THAT ALL ROOF PENETRATIONS ARE SEALED TO MEET CURRENT CODES.
 - SEE AS.1 FOR GENERAL FINISH NOTES.

ROOF WIND LOAD DESIGN INFORMATION: PRIMARY STRUCTURE

APPLYING WIND LOAD FOR:	ZONE	MAX. POS. PRESSURE	MAX. NEG. PRESSURE	FL PRODUCT APPROVAL # OR NOA
GABLE	1	+14.2	-37.1	T.B.D.*
GABLE	2a	+24.9	-79.4	T.B.D.*
GABLE	2b	+14.2	-37.1	T.B.D.*
GABLE	3a	+14.2	-37.1	T.B.D.*
GABLE	3b	+21.5	-79.4	T.B.D.*
GABLE	4	+21.5	-79.4	T.B.D.*

NOTE: CONTRACTOR TO PROVIDE PRODUCT APPROVALS FOR INTENDED WIND CRAFT ROOFING MATERIAL. NOTE ATTACH METAL ROOFING PER MANUFACTURER'S SPECIFICATIONS.



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Date: 2023.08.24 16:22:20 -0400

MR. & MRS. PERRY RESIDENCE
217 JAMES LANE
KEYWEST, FLORIDA 33040

RESIDENTIAL RENOVATION

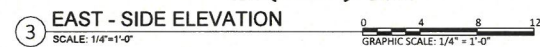
SUBMISSIONS:
754.771.1101 (PH) & 754.771.1102 (FAX)

APPROVALS:
754.771.1101 (PH) & 754.771.1102 (FAX)

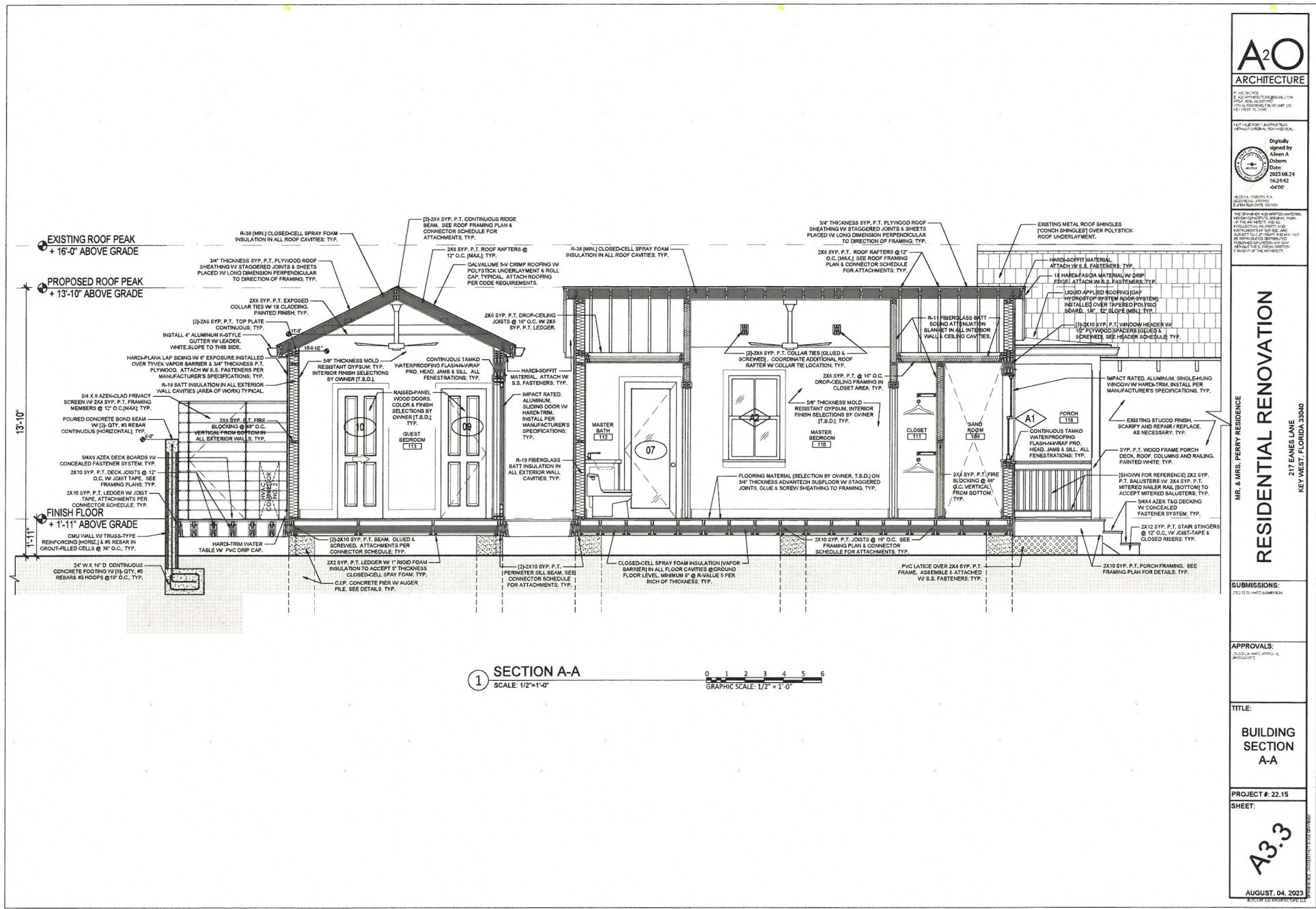
TITLE:
EXISTING & PROPOSED FLOOR PLANS, & ROOF PRESSURES

PROJECT # 22.15
SHEET:
A2.7

AUGUST 04, 2023
BY: A2O ARCHITECTURE



1



A²O

ARCHITECTURE

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Digitally signed by
Adam A. Osborn
Date: 2023.08.24 16:26:42 -0400

RESIDENTIAL RENOVATION

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217 EAMES LANE
KEY WEST, FLORIDA 33040

SUBMISSIONS:
2023.03.25 10:42 AM CDM

APPROVALS:
CDM, CDM, CDM, CDM, CDM

TITLE:
BUILDING SECTION A-A

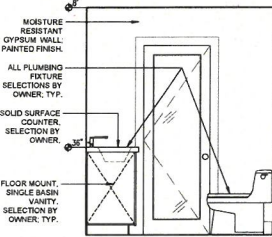
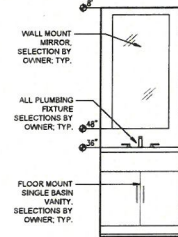
PROJECT # 22.15
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A3.3
AUGUST 04, 2023





A3.5

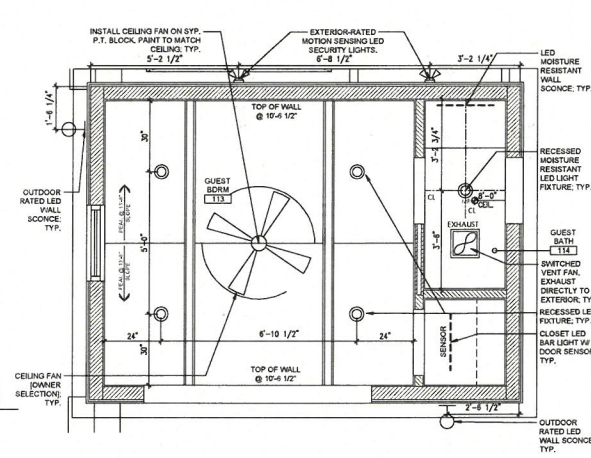
AUGUST, 04, 2023



2A INTERIOR ELEVATION
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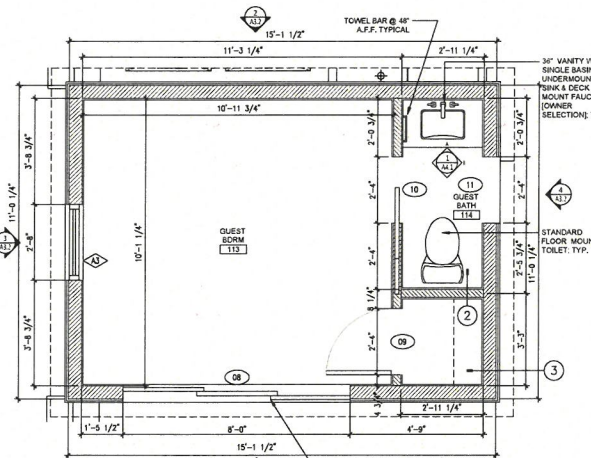
2B INTERIOR ELEVATION
SCALE: 1/2"=1'-0"

GRAPHIC SCALE: 1/2"=1'-0"



4 COTTAGE ENLARGED CEILING PLAN
SCALE: 1/2"=1'-0"

GRAPHIC SCALE: 1/2"=1'-0"



2 COTTAGE ENLARGED PLAN
SCALE: 1/2"=1'-0"

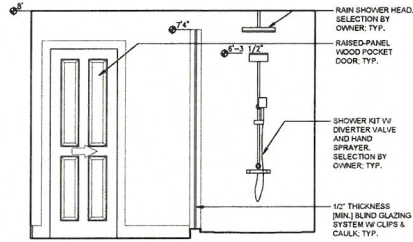
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GENERAL NOTES [CEILING PLAN]

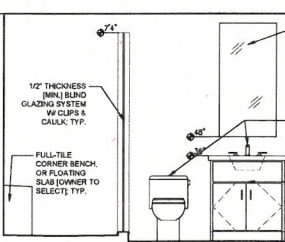
- ALL WORK TO BE PERFORMED BY LICENSED CONTRACTORS IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES.
- GENERAL CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND CONDITIONS AND NOTIFY ARCHITECT OF DISCREPANCIES BEFORE PROCEEDING.
- WINDOWS/DOORS TO BE INSTALLED WITH FLASHING/WATERPROOFING AS REQUIRED TO COMPLY WITH CONSTRUCTION STANDARDS AND IN COMPLIANCE WITH PRODUCT TESTING APPROVALS.
- COORDINATE WITH INTERIORS, MECHANICAL, ELECTRICAL, PLUMBING AND STRUCTURAL DRAWINGS.
- CEILING PLAN DIMENSIONS SHOWN TO FRAME.
- CONTRACTOR TO VERIFY ROUGH OPENINGS OF DOORS AND WINDOWS PRIOR TO ORDERING PRODUCTS FOR INSTALLATION.
- ALL GYPSUM BOARD TO BE P.F. INSTALL MOISTURE RESISTANT GYPSUM BOARD IN DAMP AREAS AND CEMENT BOARD IN SHOWERS.
- COORDINATE WITH MECHANICAL SHEETS FOR DIFFUSER LOCATIONS.

NOTE:

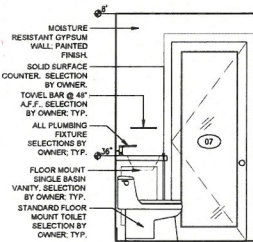
- SEE ELECTRICAL FOR POWER SWITCHING.
- ALL FIXTURE SELECTIONS BY OWNER.



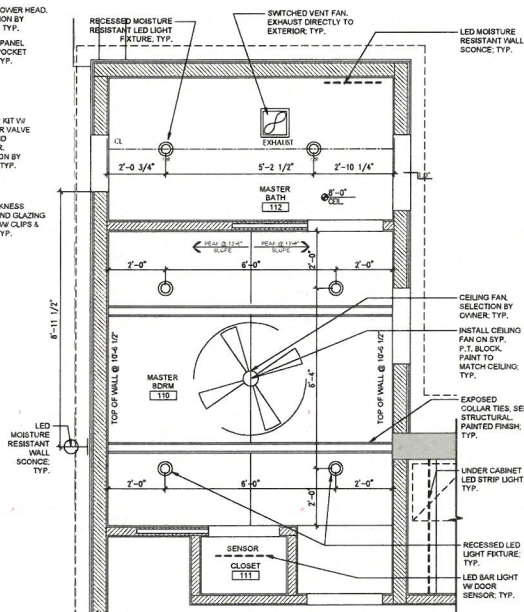
1C INTERIOR ELEVATION
SCALE: 1/2"=1'-0"



1A INTERIOR ELEVATION
SCALE: 1/2"=1'-0"

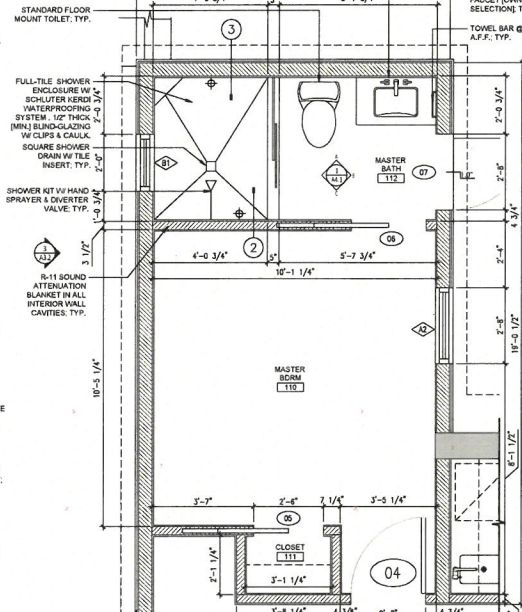


1B INTERIOR ELEVATION
SCALE: 1/2"=1'-0"



3 MASTER SUITE CEILING PLAN
SCALE: 1/2"=1'-0"

GRAPHIC SCALE: 1/2"=1'-0"



1 MASTER SUITE ENLARGED PLAN
SCALE: 1/2"=1'-0"

GRAPHIC SCALE: 1/2"=1'-0"

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KEY WEST, FL 33406

DESIGNED BY
ALEXANDER A. DUBOM
DATE: 2023.08.24
162550
04102

THESE PLANS ARE AN INSTRUMENT OF PROFESSIONAL SERVICE. THEY ARE TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OR MODIFICATION OF THESE PLANS WITHOUT THE WRITTEN CONSENT OF A2O ARCHITECTURE IS PROHIBITED.

RESIDENTIAL RENOVATION

MR. & MRS. PERRY RESIDENCE
217 EMERALD LANE
KEY WEST, FLORIDA 33040

SUBMISSIONS:

2023.08.24 PERRY SUBMITTALS

APPROVALS:

2023.08.24 PERRY APPROVALS

TITLE:

ENLARGED FLOOR PLANS
&
CEILING PLAN

PROJECT # 22.15

SHEET:

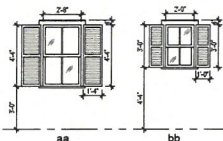
A4.7

AUGUST, 04, 2023

DESIGNED BY ALEXANDER A. DUBOM

WINDOW SCHEDULE						
WINDOW NO.	WINDOW TYPE	SIZE	BASIS OF DESIGN (OR EQUAL, W/ ARCHITECT APPROVAL)		WIND PRESSURES Pressure shown based on ASCE 7-16 NOMINAL Wind factor of 0.6	FL. PRODUCT APPROVAL # OR NOA
			MANUF. / MODEL	DESCRIPTION, SEE SCHEDULE NOTES FOR SELECTION DETAILS		
A1	aa	2'-4" X 6'-4"	CGI SENTINEL	SINGLE HUNG ALUMINUM IMPACT WINDOW	+34.6 -46.2	+75 -75 NOA 20-0722.09
A2	bb	2'-4" X 6'-4"			+34.6 -46.2	
A3	bb	2'-4" X 6'-4"			+34.6 -46.2	
B1	bb	2'-0" X 3'-0"			+30.0 -40.0	

WINDOW TYPES



WALL TYPE 1B



SHUTTER NOTES:
1. BASED ON LARSON ARCHITECT PVC COMPOSITE.

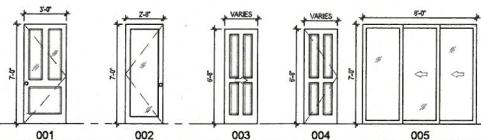
GENERAL FINISH NOTES FOR BASIS OF DESIGN

- VERIFY SELECTIONS/ FINISHES W/ OWNER PRIOR TO PRODUCT ORDERING.
- WINDOW NOTES:
a. LAMINATED IMPACT LOW-E GLAZING.
b. CLEAR GLASS
c. WHITE FRAME
d. PVC SHUTTERS
e. HARDWARE SELECTION BY OWNER
- DOOR NOTES:
a. LAMINATED LOW-E GLAZING
b. CLEAR GLASS
c. WHITE FRAME
d. HARDWARE SELECTION BY OWNER
e. CONTRACTOR TO VERIFY STYLE & HANDING W/ OWNER'S PRIOR TO ORDER.

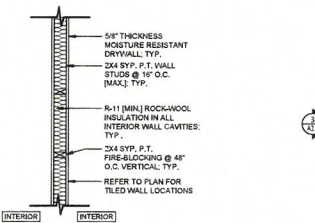
NOTE: CONTRACTOR TO PROVIDE NOA'S FOR WINDOWS & DOORS TO COMPLY W/ SITE PRESSURE.

DOOR SCHEDULE								
DOOR NO.	DOOR TYPE	SIZE	FRAME	BASIS OF DESIGN		WIND PRESSURE EXPOSURE	NOA MAX. PRESSURE	FL. PRODUCT APPROVAL # OR NOA
(#)			MATR. FINISH	MANUFACTURER	ACTION	(OR EAVE AS ARCHITECT APPROVAL, MARVIN ACCEPTABLE) VERIFY DOOR HANDING W/ MANUFACTURER		
						DESIGNATIONAL USE SCHEDULE NOTES FOR SELECTION DETAILS		
						All Exposed Surfaces are based upon ASCE 7-16 NOMINAL Wind factor of 0.6		
MAIN HOUSE								
01	002	2'-4" X 7'-0"	ALUMINUM/WOOD	T.B.D.	LH	SLIDER PANELED POCKET DOOR	N/A	N/A
02	003	2'-4" X 6'-4"	WOOD/PAINTED	T.B.D.	RH	POCKET SLIDER PANELED POCKET DOOR	N/A	N/A
03	001	2'-4" X 7'-0"	ALUMINUM	CGI	RHR	ENTRY, OUTSLIDING PIVOT W/ SIDE LITE	+33.3 -36.2	+80 -80 NOA 20-0722.16
04	004	2'-4" X 6'-4"	WOOD/PAINTED	T.B.D.	RH	SLIDER PANELED POCKET DOOR	N/A	N/A
05	003	2'-4" X 6'-4"	WOOD/PAINTED	RH	POCKET	SLIDER PANELED POCKET DOOR	N/A	N/A
06	003	2'-4" X 6'-4"	WOOD/PAINTED	LH	POCKET	SLIDER PANELED POCKET DOOR	N/A	N/A
07	002	2'-4" X 7'-0"	ALUMINUM	CGI	RHR	FROSTED / PRIVACY GLASS T.B.D.	+33.6 -44.0	+80.0 -80.0 NOA 20-0722.16
COTTAGE								
08	005	6'-0" X 7'-0"	ALUMINUM	CGI	OCL	3 PANEL SLIDER DOOR	+31.1 -39.0	+80.0 -80.0 NOA 20-0722.06
09	004	2'-4" X 6'-4"	WOOD/PAINTED	T.B.D.	RHR	SLIDER PANELED POCKET DOOR	N/A	N/A
10	003	2'-4" X 6'-4"	WOOD/PAINTED	RH	POCKET	SLIDER PANELED POCKET DOOR	N/A	N/A
11	002	2'-4" X 7'-0"	ALUMINUM	CGI	RHR	FROSTED / PRIVACY GLASS T.B.D.	+33.6 -44.0	+80.0 -80.0 NOA 20-0722.16
DOOR TYPES								

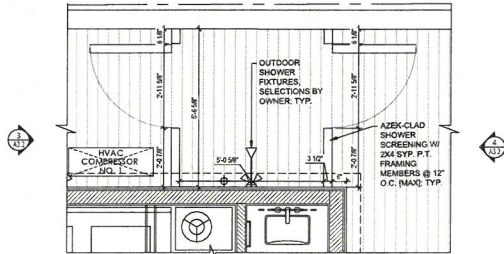
DOOR TYPES



4 WALL TYPE-3
SCALE: 3/4"=1'-0"

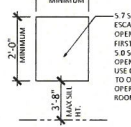


5 WALL TYPE-2
SCALE: 3/4"=1'-0"

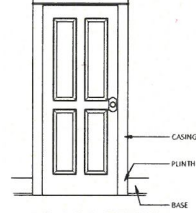


3 OUTDOOR SHOWER ENLARGED PLAN
SCALE: 1/2"=1'-0"

TYPICAL BEDROOM ESCAPE WINDOW DETAIL



DOOR DETAIL



WINDOW DETAIL



HEADER TRIM

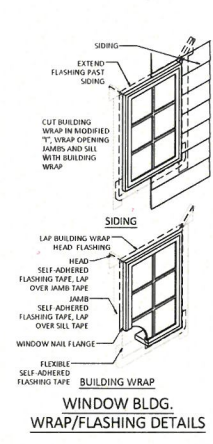


BASE TRIM



- DOOR & WINDOW NOTES**
- ALL DOORS AND WINDOWS SHALL BE RATED TO WITHSTAND PRESSURES ASSOCIATED WITH 180 MPH WINDS IN ACCORDANCE WITH ASCE 7. DOORS AND WINDOWS SHALL BE MANUFACTURED UNITS DESIGNED AND INSTALLED TO ALLOW A MAXIMUM OF 5% LEAKAGE PER LINEAL FOOT OF OPERABLE GLASS AND A MAXIMUM OF 5% CHG PER SF OF EXTERIOR DOOR AREA. UNITS SHALL BE GASKETED, WEATHER STRIPPED OR OTHERWISE SEALED.
 - PROVIDE ONE EGRESS WINDOW PER EACH BEDROOM UNLESS THERE IS A SECOND LOT SUCH AS A SLEEPING PORCH OR SIDE HINGED DOOR TO THE EXTERIOR. EGRESS WINDOWS SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" ABOVE FLOOR LEVEL AND MUST HAVE A MINIMUM NET CLEAR OPENING OF 20" WIDTH AND A NET CLEAR OPENING AREA OF NO LESS THAN 5.7 SQ.
 - ALL EXTERIOR DOORS SHALL BE SOLID CORE, 1 3/4" THICK, WEATHER PROOF TYPE. ALL INTERIOR DOORS SHALL BE 1 3/4" THICK. UNITS SHALL BE GLAZED OR RASSED PANEL BOTH SIDES. UNITS SHALL HAVE PATTERNS ON DIVIDED LITES UNLESS OTHERWISE NOTED. UNITS SHALL BE OF THE SIZE AND TYPE INDICATED ON THE DRAWINGS WITH VARIOUS PREPARED TO ACCEPT PAINT OR OTHER FINISH AS SPECIFIED. DOORS SHALL MEET MINIMUM STANDARD FOR EACH TYPE.
 - A FURNISH AND INSTALL COMPLETE HARDWARE SETS, SCHEDULE, SIZE, DETAIL, AND GRADE. 2 OR 3 FOR HEAVY RESIDENTIAL/COMMERCIAL USE. FINISH AND TITLE TO BE SELECTED BY THE OWNER. ALL EXTERIOR HARDWARE TO BE SALT RESISTANT.
 - ALL SLIDING GLASS DOORS AND SHOWER ENCLOSURES SHALL HAVE 1" TEMPERED GLASS.
 - WOOD OPERATING AND FIXED WINDOWS SHALL BE EQUIPPED WITH SALT RESISTANT HARDWARE AND REMOVABLE SCREENS. ALL UNITS SHALL BE SOLID GLAZED (UNLESS OTHERWISE NOTED ON THE DRAWINGS) WITH TRUE DIVIDED LITES OR PATTERNS INDICATED ON THE DRAWINGS.
 - WINDOW UNITS SHALL DISPLAY LABELS INDICATING COMPLIANCE WITH THE STATE OF FLORIDA MODEL ENERGY CODE, SECTION 502.4. FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION.
 - PROVIDE CLEAR GLAZING, GASKETED OR OTHERWISE SEALED. PROVIDE SAFETY GLASS AS REQUIRED AND/OR SHOWN ON THE DRAWINGS.
 - FASTEN DOOR AND WINDOW FRAMES IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS AND/OR PRODUCT APPROVAL DETAILS. PROVIDE SEPARATION BARRIERS WITH DOOR AND WINDOW FRAMES THAT ARE INSTALLED AGAINST NON-COMPATIBLE PRESSURE-TREATED WOOD FRAMING.
- 1. PROVIDE OPTIMUM DRYWALL ON ALL WALLS UNLESS OTHERWISE NOTED AND AS FOLLOWS:**
- STEEL FURNISH CHANNELS, ASTM C-845, WITH FLANGE EDGES BENT BACK IN DEGREES AND DOUBLED OVER TO FORM MINIMUM 1/2" MINIMUM THICKNESS OF BASE (UNCOATED) METAL, GALVANIZED FINISH TYPICAL AND MINIMUM DEPTH AS FOLLOWS, THICKNESS IS 0.0129 INCH, DEPTH IS 1 1/2"
 - OPTIONAL BOARD, 5/8" THICKNESS (UNLESS OTHERWISE INDICATED). ASTM C-840 AND ASTM C-16. USE TYPE X FOR FIRE RESISTANCE RATED ASSEMBLIES, PROVIDE TAPERED EDGES, USE WATER RESISTANT OPTIMUM BOARD, ASTM C-830 WHERE INDICATED FOR ALL AREAS SUBJECT TO MOISTURE. PROVIDE GALVANIZED METAL THIN ACCESSORIES COMPLYING WITH ASTM C-13047. PROVIDE TAPE AND THREE COAT SCHEDULE 5, SCREW OPTIMUM BOARD TO METAL FRAMING.
 - A FIRE RATED WALL ASSEMBLY SHALL BE INSTALLED CONTINUOUS PAST ANY INTERIOR PARTITIONING SHEET INSULATION LACING, PENETRATIONS, AND TREATMENT OF EXCLUDED ELECTRICAL BOXES, ETC. SHALL BE IN ACCORDANCE WITH ASSEMBLY GUIDELINES.
 - CERAMIC TILE SHALL BE FURNISHED AND INSTALLED WHERE INDICATED. THE GROUTING PRODUCTS SHALL BE AS MANUFACTURED BY AMERICAN OLEFIN, DAL-TEC CORPORATION OR APPROVED EQUAL. TILE SHALL BE SELECTED BY OWNER. PROVIDE ALL TRIM AND ACCESSORIES NECESSARY TO PROVIDE A COMPLETE INSTALLATION INCLUDING BULLSEYE, COVE, BASE, BRADS, ETC. USE BONDAL MULTIPURPOSE PREMIUM THIN SET GROUT W/ LATHEX ADDITIVE B-730 OR EQUAL (MAY ALSO USE 4) USE MOISTURE RESISTANT, 5/8" THICK CONCRETE BACKER BOARD UNDER ALL TILE.

- THERMAL & MOISTURE PROTECTION**
- PROVIDE INSULATION AS SHOWN ON THE DRAWINGS AND AS FOLLOWS:
 - FACED MINERAL FIBER BLANKET INSULATION: PROVIDE THERMAL INSULATION PROVIDED BY COMBINING MINERAL FIBER OF TYPE DESCRIBED BELOW WITH THE INSULATING RESINS TO COMPLY WITH ASTM C-660 FOR TYPE II, CLASS A BLANKETS WITH REFLECTIVE VAPOR RETARDER MEMBRANE FACING WITH FLAME SPREAD OF 25 OR LESS FOR SCORING RATIO OR FOR POLYESTER FIBER INSULATION VAPOR RETARDER MEMBRANE ON ONE FACE, AS FOLLOWS:
 - MINIMAL FIBER TYPE, FIBERS MANUFACTURED FROM GLASS
 - SURFACE BURNING CHARACTERISTICS, MAXIMUM FLAME SPREAD VALUE OF 25 AND MAXIMUM SMOKE DEVELOPED VALUE OF 50
 - FLANGED UNITS: PROVIDE BLANKET INSULATION FABRICATED WITH FACING THAT INCORPORATES 1" WIDE FLANGES ALONG THE EDGES TO ATTACH TO FRAMING MEMBERS
 - POLYISOCYANURATE BOARD INSULATION: PROVIDE RIGID, CELLULAR THERMAL INSULATION WITH GLASS FIBER REINFORCED POLYISOCYANURATE CLOSED CELL FOAM CORE AND ALUMINUM FOL FACING LAMINATED TO BOTH SIDES AND COMPLYING WITH 15 MIN 5.1077 CLASS 2, GEL, R VALUES OF 8 AND 7.2 AT 40 AND 75 DEGREES FAHRENHEIT, RESPECTIVELY AND FOLLOWS:
 - SURFACE BURNING CHARACTERISTICS, MAXIMUM FLAME SPREAD VALUE OF 25 AND MAXIMUM SMOKE DEVELOPED VALUE OF 50
 - THICKNESS, 1" FOR SPECIFICATION CRITERIA (SEE DRAWINGS FOR REQUIRED THICKNESS OR R VALUE AT EACH LOCATION) COMPLY WITH MANUFACTURER RECOMMENDATIONS FOR INSTALLATION. SEAL ALL JOINTS AS REQUIRED.
 - INSULATION SHALL BE 8" MINIMUM IN ATTIC SPACES.
 - FLASHING SHALL BE GALVANIZED AND INCLUDE BASE FLASHING, STOPS, BUILT-IN VALLEYS, GUTTERS, SCUPPERS, AND MISCELLANEOUS METAL ACCESSORIES, USE ZINC COATED, COMMERCIAL QUALITY ASTM A-526 OR HOT DIPPED GALVANIZED, 24 GAUGE STEEL UNLESS OTHERWISE NOTED. SHAPES SHALL MATCH EXISTING PROFILES OF FLASHING AND STOPS. SHOP FABRICATE TO THE MAXIMUM EXTENT POSSIBLE. COMPLY WITH DETAILS SHOWN AND APPLICABLE REQUIREMENTS OF SCAHON "ARCHITECTURAL SHEET METAL MANUAL" AND MANUFACTURER RECOMMENDATIONS.
 - PROVIDE SEALANTS AS FOLLOWS:
 - SILICONE ADHESIVE CAULK: 25 YR. PAINTABLE, NON-STAINING, MILDEW RESISTANT FOR INTERIOR AND EXTERIOR USE, FOR WOOD AND MASONRY. AS A FILLER FOR CRACKS, JOINTS AND HOLES IN PREPARATION FOR PAINT OR OTHER FINISH.
 - POLYSEALSEAL ALL PURPOSE ADHESIVE CAULK, PAINTABLE, NON-STAINING, MILDEW RESISTANT FOR INTERIOR AND EXTERIOR USE AS A FILLER AND JOINT SEAL AT TILE, TUB AND COUNTERTOPS.
 - SILICONE RUBBER SEALANT: IS IT-500 (T-43), CLASS A, ONE PART NON-SAG LOW MODULUS SILICONE RUBBER SEALANT FOR INTERIOR AND EXTERIOR USE IN WORKING JOINTS WHERE SOME MOVEMENT IS ANTICIPATED. FOR WOOD, MASONRY, METAL AND GLASS. PROVIDE BACKER ROD DEPTH IN JOINTS IN ALL JOINTS GREATER THAN 1/2"



WINDOW BLDG. WRAP/FLASHING DETAILS



P. MRS. PERRY RESIDENCE
247 E. PERRY AVE.
KEY WEST, FL 34002

Digitally signed by
Allen A. Osborn
Date: 2023.08.24
16:26:18
-04'00'

RESIDENTIAL RENOVATION

SUBMISSIONS:
7/21/23 HPC & AMERICAN

APPROVALS:
COUNCIL MEMBER A
PROCLAIMER

TITLE:
DOOR & WINDOW SCHEDULES W/ PRESSURES

PROJECT #: 22.15

SHEET:

A5.7
AUGUST 04, 2023

GENERAL NOTES [DESIGN CRITERIA]

- FLOOR LIVE LOAD: 40 PSF; ROOF LIVE LOAD: 20 PSF.
- ULTIMATE WIND SPEED: 150 MPH. NOMINAL WIND SPEED: 133.4 MPH.
- WIND EXPOSURE: C
- SOIL BEARING VALUE: 3000 PSF (MIN.)
- DESIGN: ASCE 24-14, RISK CATEGORY: II
- INTERNAL PRESSURE COEFFICIENT: 0.15

GENERAL NOTES
[FOUNDATION & CONCRETE]

- ALL WORK TO BE PERFORMED BY LICENSED, INSURED CONTRACTORS IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES.
- GENERAL CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND CONDITIONS AND NOTIFY ARCHITECT OF DISCREPANCIES BEFORE PROCEEDING.
- COORDINATE WITH ELECTRICAL AND STRUCTURAL DRAWINGS.
- ALL FOOTINGS TO BE PLACED UPON FIRM, UNDISTURBED, NATURAL ROCK (CAPROCK), UNLESS OTHERWISE NOTED.
- DIAMETER OF AUGER PILES SHALL BE NO SMALLER THAN 18" DIA, UNLESS OTHERWISE NOTED. AUGER PILE EMBEDMENT TO BE NO LESS THAN 36" INTO ROCK (CAPROCK), UNLESS OTHERWISE NOTED.
- CENTER ALL FOOTINGS BENEATH WALLS, COLUMNS, OR GRID LINES, UNLESS OTHERWISE NOTED.
- ALL CAST-IN-PLACE CONCRETE SHALL CONSIST OF TYPE I PORTLAND CEMENT, STONE AGGREGATE, AND MUST ATTAIN A 4000 PSI COMPRESSIVE STRENGTH WITHIN 28-DAYS, UNLESS OTHERWISE NOTED.
- ALL CONCRETE WORK AND REINFORCING DETAILS SHALL BE CONSTRUCTED IN ACCORDANCE WITH AMERICAN CONCRETE INSTITUTE, ACI 318. EXPOSED EDGES OF CONCRETE SHALL HAVE 1/2" CHAMFER, USE STANDARD HOODS ON CORNERS, UNLESS OTHERWISE NOTED.
- CONCRETE FORMS SHALL BE VETTED IMMEDIATELY PRIOR TO PLACING CONCRETE.
- MIXING, PLACING, AND CURING OF ALL CONCRETE MUST BE IN ACCORDANCE WITH AMERICAN CONCRETE INSTITUTE, ACI 308R. HOT WEATHER CONCRETING: NEW CONCRETE EXPOSED TO DIRECT SUNLIGHT SHALL BE COVERED AND SPRAYED WITH WATER.
- ALL REINFORCING SHALL BE HIGH STRENGTH DEFORMED BARS CONFORMING TO ASTM A615, GRADE 60.
- WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185, AND SHALL BE LAPPED ONE FULL MESH (MIN.). ALL SPLICES TO BE WIRED TOGETHER.
- REINFORCEMENT COVERAGE SHALL BE 2" MINIMUM, WHEN FORMS ARE USED, AND 3" MINIMUM WHEN POURED AGAINST EARTH, UNLESS OTHERWISE NOTED.
- LAP SPLICES SHALL BE A MINIMUM OF 48 BAR DIAMETERS. MAKE ALL BARS CONTINUOUS AROUND CORNERS.
- PROVIDE ALL ACCESSORIES NECESSARY TO SECURE REINFORCING IN PROPER POSITION, AS INDICATED ON THE DRAWINGS, AND IN ACCORDANCE WITH AMERICAN CONCRETE INSTITUTE, ACI 318. ALL ACCESSORIES TO BE GALVANIZED OR BETTER QUALITY / STRENGTH.
- ANCHOR BOLTS, NUTS AND WASHERS SHALL BE GALVANIZED STEEL OR BETTER QUALITY / STRENGTH.
- MANUFACTURED STRAPS AND ANCHORS SHALL BE STAINLESS STEEL, UNLESS SPECIFIED OTHERWISE, AND SHALL BE ATTACHED / FASTENED PER THE MANUFACTURER'S EXACT SPECIFICATIONS. IN NO EVENT SHALL A STRUCTURAL MEMBER (IE: JOIST, PIER, PLATE, RAFTER, GIRL OR TRUSS) BE WITHOUT ANCHORAGE DEVICES FOR WIND UPLIFT PROTECTION, UNLESS SPECIFICALLY NOTED AND ADDRESSED BY ALTERNATE MEANS.

GENERAL NOTES [WOOD & FRAMING]

- ALL FRAMING SHALL BE SOUTHERN PINE, MOISTURE CONTENT: 19% (±2) DENSE, AS GRADED BY THE SOUTHERN PINE INSPECTION BUREAU, UNLESS OTHERWISE NOTED.
- ALL TIMBER CONSTRUCTION SHALL CONFORM TO THE LATEST EDITION APTC.
- ALL WOOD SHALL BE PRESSURE TREATED WITH CHEMICALS TO PROTECT FROM DESTRUCTIVE INSECTS AND DECOMPOSITION. ALLOW WOOD TO DRY FOLLOWING TREATMENT.
- CONTRACTOR SHALL PROVIDE CONNECTORS AND FASTENERS COMPATIBLE WITH PRESSURE TREATED WOOD MEMBERS (ACQ APPROVED). CONTRACTOR SHALL ALSO PROVIDE SEPARATION BARRIER (POLYESTER WATER PROOFING MEMBRANE OR SIMILAR) FOR NON-COMPATIBLE COMPONENTS SUCH AS ALUMINUM DOOR AND WINDOW FRAMES.
- ALL WOOD CONNECTIONS SHALL BE SIMPSON STRONG-TIE CO. CONNECTORS (OR EQUAL QUALITY / STRENGTH). ALL CONNECTORS SHALL BE INSTALLED WITH MANUFACTURER'S SPECIFIED FASTENERS PRIOR TO LOADING.
- CUTTING / NOTCHING OF BEAMS AND / OR JOISTS SHALL CONFORM TO THE FOLLOWING:
 - NOTCH DEPTH IN THE TOP OR BOTTOM OF BEAMS AND / OR JOISTS SHALL NOT EXCEED ONE-SIXTH OF THE DEPTH OF THE MEMBER, AND SHALL NOT BE LOCATED IN THE MIDDLE ONE-THIRD OF THE MEMBER SPAN (INCLUDES BRIDGEMOUTH CUTS).
 - NOTCH DEPTH AT THE ENDS OF THE MEMBER SHALL NOT EXCEED ONE-FOURTH OF THE DEPTH OF THE MEMBER.
 - THE TENSION SIDE OF BEAMS, JOISTS, AND RAFTERS (IF OR GREATER NOMINAL THICKNESS), SHALL NOT BE NOTCHED EXCEPT AT THE ENDS OF THE MEMBERS.
 - HOLES BORED OR CUT INTO JOISTS SHALL NOT BE CLOSER THAN 2" TO THE TOP OR BOTTOM OF THE JOISTS. THE DIAMETER OF SAID HOLES SHALL NOT EXCEED ONE-THIRD OF THE MEMBER DEPTH.
 - HOLES BORED IN BEARING WALL STUDS SHALL NOT EXCEED ONE-THIRD OF THE DEPTH OF THE STUD.
- PROVIDE MID-SPAN BLOCKING BETWEEN ALL JOISTS 2X6 OR GREATER, AT INTERVALS NOT TO EXCEED 6'-0" CLEAR, AND AT ALL SUPPORTS.
- PROVIDE SOLID BLOCKING AT 48" O.C. (MIN.) FROM FLOOR, BETWEEN STUDS.
- ALL WALLS STUDS SHALL BE SPF #2 DENSE GRADE, OR BETTER. SEE PLANS FOR WALL STUD SIZE AND SPACING.
- ALL STUDDED BEARING WALLS SHALL BE PROVIDED WITH (2) 2QTY. CONTINUOUS TOP PLATES, AND (1) QTY. CONTINUOUS BOTTOM PLATE, WITH (1) QTY. (MIN.) ROW OF HORIZONTAL BRIDGING AT MID-HEIGHT OF WALL (SEE W. JOIST), UNLESS OTHERWISE NOTED. SPLICES OF TOP PLATE SHALL OCCUR OVER STUDS, AND SHALL BE STAGGERED 48" (MIN.).
- EXTERIOR WALL STUDS SHALL BE STRAPPED TO ROOF RAFTERS OR TRUSSES WITH SIMPSON STRONG-TIE CO. CONNECTORS (OR EQUAL QUALITY / STRENGTH). CONTRACTOR SHALL PROVIDE (2) QTY. STUDS (MIN.) FOR GABLE TRUSSES AND BEAM BEARING PORTS.
- WHERE WOOD BEAMS, JOISTS, ETC. FRAME INTO (INTERSECT) OTHER STRUCTURAL MEMBERS, CONTRACTOR SHALL INSTALL SITE SPECIFIC SIMPSON "LUS" SERIES GALVANIZED (OR BETTER QUALITY / STRENGTH) JOIST HANGERS AT EACH END OF MEMBER.
- PLYWOOD DECKING SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE AMERICAN PLYWOOD ASSOCIATION (APA). PLYWOOD SHEATHING SHALL BE APA STRUCTURAL, 1" IDENTIFIABLE BY APA GRADE-TRADEMARK, AND SHALL MEET THE REQUIREMENTS OF U.S. PRODUCT STANDARD PS-90 OR APA PRP-108. ALL PLYWOOD WITH AN EDGE EXPOSED TO THE EXTERIOR SHALL BE EXTERIOR GRADE.
- FLOOR DECKING SHALL BE A MINIMUM THICKNESS OF 3/4" (2-QTY. LAYERS) AND SHALL BE GLUED AND FASTENED TO FLOOR FRAMING. ROOF DECKING SHALL BE A MINIMUM THICKNESS OF 3/4" THICKNESS, AND NAILED WITH 8d NAILS AT 6" O.C. (FIELD), 4" O.C. (EDGES).
- FINISH CARPENTRY SHALL INCLUDE CABINETRY, FRAMES, PANELING, AND TRIM. PROFILES ARE TO BE SELECTED BY ARCHITECT OR OWNER, OR AS NOTED ON THE DRAWINGS. CABINETS SHALL BE CUSTOM OR PREMIUM GRADES AS NOTED, OR AS DETERMINED BY ARCHITECT OR OWNER. PARTICLE OR PRESS BOARD SHALL NOT BE USED.
- SELECT GRADE SOUTHERN YELLOW PINE SHALL BE USED AS A QUALITY STANDARD FOR BASE, FRAMES, AND TRIM UNLESS OTHERWISE NOTED. ALL WORK SHALL BE PERFORMED BY SKILLED FINISH CARPENTERS.
- WOOD SHELVING SHALL 3/4" PLYWOOD WITH EDGE BANDING, AND PAINTED.
- ADSK (OR EQUAL CELLULAR PVC ALTERNATE) TO BE USED WHERE INDICATED, WITHIN THE CONSTRUCTION DOCUMENTS.

GENERAL NOTES [STRUCTURAL]

- ALL WORK TO BE PERFORMED BY LICENSED, INSURED CONTRACTORS IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES.
- GENERAL CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND CONDITIONS AND NOTIFY ARCHITECT OF DISCREPANCIES BEFORE PROCEEDING.
- COORDINATE WITH ELECTRICAL, PLUMBING, AND STRUCTURAL DRAWINGS.
- THE WORK DEPICTED IN THESE DRAWINGS IS INTENDED TO COMPLY WITH THE CURRENT EDITION OF THE FLORIDA BUILDING CODE WITH ALL AMENDMENTS, AND ASCE 7-15. THE STRUCTURE IS DESIGNED TO WITHSTAND THE PRESSURES ASSOCIATED WITH 150 MPH (ULTIMATE) WIND LOADS IN ACCORDANCE WITH ASCE 7-15. IN ADDITION, THE STRUCTURE IS DESIGNED FOR FLOOR LIVE LOADS OF 40 PSF.
- ARCHITECT'S WRITTEN APPROVAL MUST BE SECURED FOR ALL STRUCTURAL SUBSTITUTIONS, AND / OR MODIFICATIONS.
- THE CONTRACTOR SHALL VERIFY ALL OPENINGS THROUGH FLOORS, ROOFS, AND WALLS WITH MECHANICAL AND ELECTRICAL CONTRACTORS, RESPECTIVE CONTRACTORS SHALL PROVIDE ALL CONNECTORS, HANGERS, ETC., AND APPROVAL THEREOF.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY BRACING AND SUPPORTS TO WITHSTAND ALL CONSTRUCTION AND WIND LOADS UNTIL ALL FIELD CONNECTIONS ARE COMPLETED AND SHEAR WALLS ARE IN PLACE.
- CONTRACTOR SHALL PROVIDE SHOP AND / OR ERECTION DRAWINGS FOR ALL REINFORCING, PRECAST CONCRETE, STRUCTURAL STEEL, LAMINATED FRAMING MEMBERS, AND METAL DECKING AND SHALL VERIFY / COORDINATE EXISTING AND PROPOSED DIMENSIONS PRIOR TO FABRICATION.
- ALL PRECAST CONCRETE, STRUCTURAL STEEL, AND OTHER MAJOR STRUCTURAL SHOP / ERECTION DRAWINGS SUBMITTED SHALL INCLUDE SITE SPECIFIC DESIGN CALCULATIONS, AND BEAR THE SEAL OF A PROFESSIONAL ENGINEER.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING A WATER-TIGHT BUILDING ENVELOPE, WATERPROOFING, VAPOR BARRIERS, WATER STOPS, ETC. SHALL BE PROVIDED AS INDICATED IN THE DRAWINGS AND WHERE REQUIRED. THESE DOCUMENTS DO NOT REFLECT EVERY INSTANCE.
- ALL DOUBLE AND TRIPLE MEMBER BEAMS TO BE FASTENED TOGETHER W/ GLUE (BASE OF DESIGN LIQUID NAILS CONSTRUCTION ADHESIVE) AND (3) QTY. 3" (MIN.) 16D RING-SHANK NAILS @ 12" O.C. (MIN.), NAIL BOTH SIDES. AND STAGGER COURSES FOR TRIPLE MEMBER BEAMS.

GENERAL NOTES [ROOF]

- ALL WORK TO BE PERFORMED BY LICENSED, INSURED CONTRACTORS IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES.
- GENERAL CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND CONDITIONS AND NOTIFY ARCHITECT OF DISCREPANCIES BEFORE PROCEEDING.
- COORDINATE WITH ELECTRICAL AND STRUCTURAL DRAWINGS.
- FLOOR PLAN DIMENSIONS SHOWN TO FACE OF FRAME / STRUCTURE, UNLESS NOTED "FIN." "CLEAR," OR OTHERWISE.
- METAL ROOFING TO BE 5/8" CRIMP GALVANIZED METAL (26 GAUGE MIN.) OVER POLYESTER UNDERLAYMENT (PEEL & STICK), AS SECONDARY WATER BARRIER.
- ROOFING CONTRACTOR TO ENSURE THAT ROOF PENETRATIONS ARE SEALED AS REQUIRED.

NAILING OF ROOF & SIDING SHEATHING

- ALL EXTERIOR SURFACES SHALL BE SHEATHED WITH CDX PLYWOOD UNLESS NOTED OTHERWISE.
- SHEATHING SHALL BE THE THICKNESS AS INDICATED WITHIN THE CONSTRUCTION DOCUMENTS. THAT THICKNESS MAY NOT BE LESS THAN 1/2" FOR WALL-SHEATHING, AND 5/8" FRAMING @ 16" O.C. MAX. / 3/4" THICKNESS FOR 24" O.C. FOR ROOF-SHEATHING.
- PLYWOOD TO BE INSTALLED WITH LONG DIMENSION PERPENDICULAR TO FRAMING, WITH END JOINTS STAGGERED.
- ROOF SHEATHING TO BE FASTENED TO FRAMING W/ ACQ APPROVED #4 RING-SHANK NAILS @ 6" O.C. ALONG EDGES, GABLE END WALLS AND GABLE RAFTERS (OR TRUSSES). NAILING SHALL OCCUR @ 6" O.C. FOR INTERMEDIATE FRAMING (FIELDS).
- WALL SHEATHING TO BE FASTENED TO FRAMING W/ ACQ APPROVED #4 RING-SHANK NAILS @ 6" O.C. ALONG EDGES, 6" O.C. (FIELD), AND A DOUBLE ROW @ 4" O.C. ALONG TOP AND BOTTOM PLATES (STAGGERED).

A²O
ARCHITECTURE

PROJECT: RESIDENTIAL RENOVATION
217 DANES LANE
KEY WEST, FL 33040

LET: RESIDENTIAL RENOVATION
RECALL: RESIDENTIAL RENOVATION

Digitally signed
by William A. Padden
Date: 2023.08.24
16:26:39 -0400

WILLIAM A. PADDEN
FL ARCHITECTURE BOARD

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SUBMISSIONS:

2023.02.20 FIRST SUBMISSION

APPROVALS:

2023.08.24 WILLIAM A. PADDEN

TITLE:

STRUCTURAL
NOTES

PROJECT #: 22.15

SHEET:

50.7

AUGUST, 04, 2023

8/23/23 15:43:00 PLEASANTVILLE, FL

CONNECTOR SCHEDULE		
#	CONNECTION DESCRIPTION	CONNECTOR / LOAD
FLOOR FRAMING		
1.	[2]-2X10 SYP. P.T. PERIMETER BEAM TO 16"X16" POURED CONCRETE COLUMNS [ALL PIER]	SIMPSON HD3B : 3130# W/ 5/8" DIA. X 12" [MIN.] ANCHOR BOLT W/ 3" COVERAGE [MIN.]
2.	2X12 SYP. P.T. STAIR STRINGERS TO 12X16" CONCRETE SPREAD FOOTING [ALL STAIRS]	SIMPSON HGAM10KTA : 810#; ISOLATE FROM CONCRETE W/ POLYSTICK FLASHING
3.	2X10 SYP. P.T. FLOOR LEDGERS AND/OR BEAMS [ALL FLOOR FRAMING CORNERS]	SIMPSON ML2BZ : 1000# W/ SDS FASTENERS @ EACH INTERSECTION
4.	[2]-2X10 P.T. SYP. P.T. BEAM TO 2X10 SYP. P.T. BEAMS AND/OR LEDGERS [ALL INTERSECTIONS]	SIMPSON LUS210-Z : 1830# @ EA. END
5.	2X10 P.T. SYP. P.T. JOISTS TO 2X10 SYP. P.T. BEAMS AND/OR LEDGERS [ALL INTERSECTIONS]	SIMPSON LUS210Z : 1340# @ EA. END OF JOIST
6.	2X10 SYP. P.T. FLOOR LEDGERS TO 2X10 FRAMING [ALL WOOD TO WOOD LEDGERS]	FASTEN MASTER 5" [FILL005] LEDGERLOK @ 12" O.C. STAGGERED TOP & BOTTOM
7.	2X10 SYP. P.T. FLOOR LEDGERS TO MASONRY [ALL SINGLE WOOD TO MASONRY LEDGERS]	1/4" X 5" S.S. TAPCONS @ 12" O.C. STAGGERED TOP & BOTTOM & 2" FROM EDGES
8.	[2]-2X10 SYP. P.T. FLOOR LEDGERS TO MASONRY [ALL DOUBLE WOOD TO MASONRY LEDGERS]	1/4" X 6" S.S. TAPCONS @ 12" O.C. STAGGERED TOP & BOTTOM & 2" FROM EDGES
9.	2X8 SYP. P.T. STUDS @ 16" O.C. TO [2]-2X10 SYP. P.T. PERIMETER BEAM [ALL 2X8 STUDS]	SIMPSON LST18 : 1235# @ EA. STUD
ROOF FRAMING		
10.	2X8 SYP. P.T. STUDS @ 16" O.C. TO [2]-2X8 SYP. P.T. TOP PLATE [ALL 2X8 STUDS]	[1]-QTY. SIMPSON H8Z : 780# @ EA. STUD
11.	2X8 SYP. P.T. ROOF RAFTERS @ 12" O.C. TO [2]-2X8 SYP. P.T. TOP PLATE [ALL 2X8 RAFTERS]	[1]-QTY. SIMPSON H8Z : 780# @ EA. RAFTER
12.	2X6 SYP. P.T. ROOF RAFTERS @ 12" O.C. TO [2]-2X6 SYP. P.T. RIDGE BEAM [ALL 2X6 RAFTERS]	[1]-QTY. SIMPSON LRU26Z : 1275 # @ EA. RAFTER
13.	2X12 SYP. P.T. ROOF RAFTERS @ 12" O.C. TO [2]-2X12 SYP. P.T. LEDGER [ALL 2X12 RAFTERS]	SIMPSON LUS210Z : 1340# @ EA. END
14.	[2]-2X6 SYP. P.T. COLLAR TIES TO 2X6 SYP. P.T. ROOF RAFTERS [ALL COLLAR TIES]	[4]-QTY. FASTEN MASTER 3" [FILL003] LEDGERLOK @ 2" FROM EDGES
15.	6X6 SYP. P.T. PORCH COLUMNS TO BEAMS @ TOP & BOTTOM [ALL COLUMNS]	[2]-QTY. 1/2" DIA. S.S. CARRIAGE BOLTS W/ NUTS & WASHERS @ EA. INTERSECTION

GENERAL CONNECTOR NOTES:

- ISOLATE ALL CONNECTORS FROM P.T. MEMBERS W/ POLYSTICK MEMBRANE.
- UNLESS OTHERWISE SPECIFIED, ALL CONNECTORS AND FASTENERS TO BE STAINLESS STEEL OR BEST QUALITY AVAILABLE [PREMIUM].
- VERIFY QUALITY OF NON STAINLESS STEEL CONNECTORS WITH ARCHITECT PRIOR TO PURCHASE AND / OR INSTALLATION.
- THE SIZES OF EXISTING FRAMING MEMBERS ARE ASSUMED, AND ARE SUBJECT TO VERIFICATION FOLLOWING DEMOLITION.
- COORDINATE W/ ARCHITECT IF CONDITIONS VARY WHICH PROHIBIT CONNECTOR USE.

REINFORCED CONCRETE:

ALL CONCRETE WORK SHALL CONFORM WITH ALL REQUIREMENTS OF LATEST EDITION OF "ACI 301-SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" EXCEPT AS MODIFIED BY THE SUPPLEMENTAL REQUIREMENTS LISTED BELOW.

- 1.1 - QUALITY OF CONCRETE: CONCRETE SHALL BE OF NORMAL WEIGHT, AND IS TO ATTAIN AS A MINIMUM, A 28-DAY COMPRESSIVE STRENGTH CURE 4000 PSI. MAXIMUM ALLOWABLE SLUMP OF THE CONCRETE SHALL BE FOUR INCHES [4"]. NO WATER IS TO BE ADDED TO THE CONCRETE ENROUTE TO, OR ON THE JOB SITE.
- 1.2 - CURING OF CONCRETE: A CURING COMPOUND MAY BE APPLIED TO THE SURFACE OF "GREEN" CONCRETE SLABS AS SOON AS IS PRACTICAL, FOLLOWING PLACEMENT.
- 1.3 - CONCRETE REINFORCING: ALL REINFORCING SHALL BE OF GRADE 60 STEEL [MINIMUM, LOW-CARBON STEEL MAY BE SUBSTITUTED WITHOUT CONSULTING ARCHITECT. CHANGES TO QUANTITIES OF REINFORCING STEEL MUST BE APPROVED BY ARCHITECT / ENGINEER OF RECORD.
- 1.4 - COVERAGE OF CONCRETE: THE FOLLOWING MINIMUM CONCRETE COVERAGE (INCHES) SHALL BE PROVIDED FOR CONCRETE REINFORCING:

A. CONCRETE CAST AGAINST AND EXPOSED TO EARTH	3"
B. CONCRETE EXPOSED TO EARTH AND/OR WEATHER	2"
C. CONCRETE NOT EXPOSED TO EARTH AND/OR WEATHER:	
1. SLABS, WALLS, AND JOISTS [11" OR SMALLER]	2"
2. BEAMS AND COLUMNS	2"
3. REINFORCING OR TIES	2"

FASTENING OF FLOOR SHEATHING:

- SHEATHING SHALL BE THE THICKNESS AS INDICATED WITHIN THE CONSTRUCTION DOCUMENTS. THAT THICKNESS MAY NOT BE LESS THAN 3/4" FOR FLOOR SHEATHING. INSTALL TWO LAYERS OF 3/4" THICKNESS SHEATHING WHEN INSTALLING TILE FLOOR FINISH. NO EXCEPTIONS.
- PLYWOOD TO BE INSTALLED WITH LONG DIMENSION PERPENDICULAR TO FRAMING, WITH END JOINTS STAGGERED. PLACE SUBSEQUENT LAYERS OF SHEATHING PERPENDICULAR TO PREVIOUS LAYER.
- FLOOR SHEATHING TO BE FASTENED TO FRAMING W/ POLYURETHANE CONSTRUCTION ADHESIVE [BASES OF DESIGN: LIQUID NAILS] & #10 X 3" SCREWS, APPROVED FOR USE IN ACD LUMBER, @ 6" O.C. ALONG EDGES & @ 8" O.C. FOR INTERMEDIATE FRAMING [FIELDS].

EXTERIOR WALL VAPOR BARRIER:

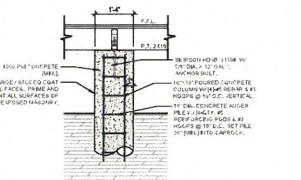
- INSTALL TYVEE HOUSEWRAP VAPOR BARRIER (OR EQUIVALENT PRODUCT) ON EXTERIOR OF ALL NEW WALL SHEATHING [BETWEEN SHEATHING AND JOINTS].
- USE STAINLESS STEEL TAPERS TO ATTACH VAPOR BARRIER TO SHEATHING.
- SEAL ALL OPENINGS [DOOR, WINDOW, AND SKYLIGHTS] W/ SPECIFIED FLASHING. FLASHING TO OVERLAP VAPOR BARRIER.
- LAP ALL JOINTS AS SPECIFIED BY PRODUCT MANUFACTURER AND/OR FLORIDA BUILDING CODE.

HEADER SCHEDULE	
OPENING SIZE [WIDTH]	HEADER BEAM
0'-0" TO 6'-0"	[3] - 2X8 W/ [2] - 1/2" PLYWOOD SPACERS
6'-0" TO 8'-0"	[3] - 2X10 W/ [2] - 1/2" PLYWOOD SPACERS
8'-0" TO 10'-0"	[3] - 2X12 W/ [2] - 1/2" PLYWOOD SPACERS

NOTE: HEADER BEAMS TO BE GLUED & SCREWED [BASIS OF DESIGN: LIQUID NAILS CONSTRUCTION ADHESIVE, #10 X 3" S.S. [OR ACO APPROVED] FASTENERS & SELECT STRUCTURAL #2 OR BETTER QUALITY P.T. PINE THROUGHOUT.

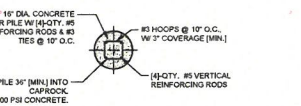
STUD SCHEDULE @ HEADERS [EA. SIDE]	
OPENING SIZE [WIDTH]	STUD QUANTITY
0'-0" TO 3'-0"	[1] - JACK STUD; [1] - KING STUD
3'-0" TO 6'-0"	[2] - JACK STUD; [1] - KING STUD
6'-0" TO 8'-0"	[2] - JACK STUD; [2] - KING STUD
8'-0" TO 10'-0"	[2] - JACK STUD; [3] - KING STUD
10'-0" TO 12'-0"	[3] - JACK STUD; [3] - KING STUD

BAR - SPLICING SCHEDULE	
BAR & COLUMNS	SLABS, WALLS, & FOOTINGS
BAR SIZE / SPLICE LENGTH	BAR SIZE / SPLICE LENGTH
#3 / 18"	#3 / 12"
#4 / 20"	#4 / 16"
#5 / 26"	#5 / 20"
#6 / 33"	#6 / 26"
#7 / 45"	#7 / 36"
#8 / 59"	#8 / 47"
#9 / 74"	#9 / 60"
#10 / 95"	#10 [MASONRY] / 30"



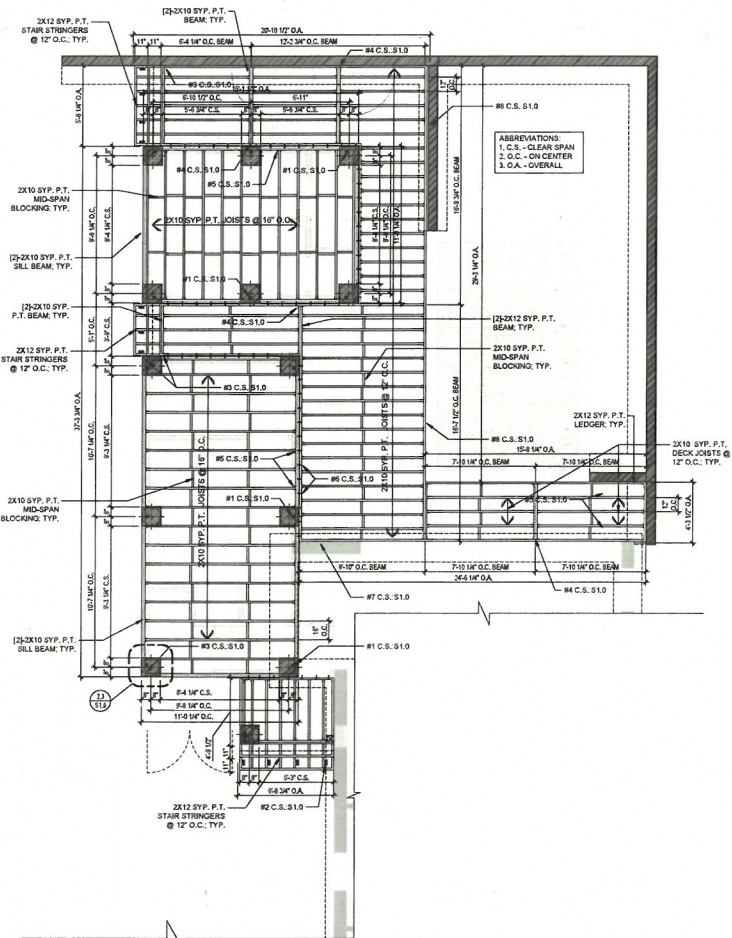
2 PIER A DETAIL - VERTICAL

SCALE: 1/2" = 1'-0"



3 PIER A DETAIL - HORIZONTAL

SCALE: 1/2" = 1'-0"



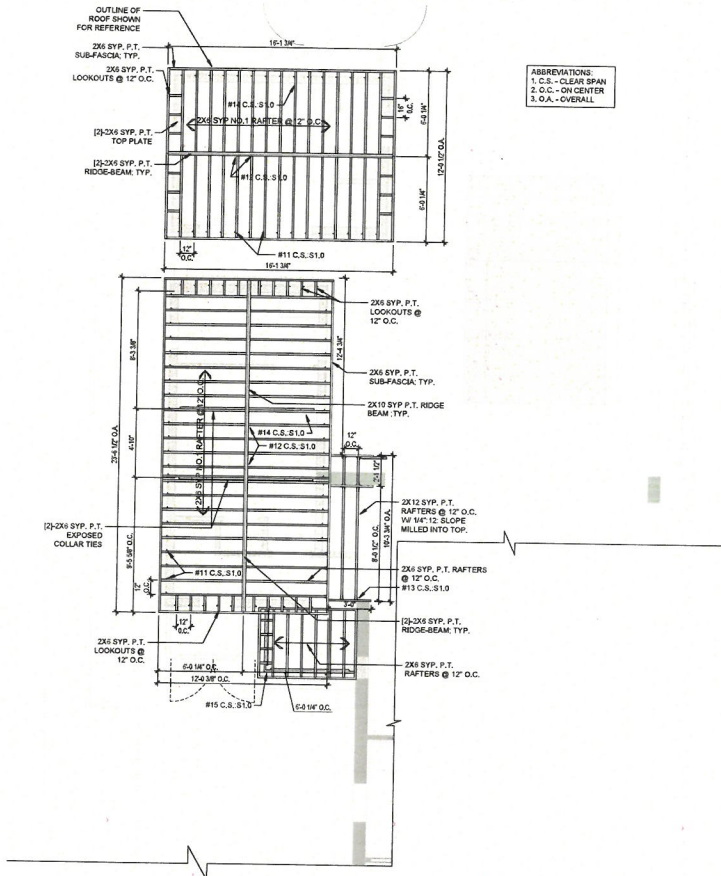
CONNECTOR SCHEDULE		
#	CONNECTION DESCRIPTION	CONNECTOR / LOAD
1.	[2]-2X10 SYP. P.T. PERIMETER BEAM TO 16"X16" POURED CONCRETE COLUMNS [ALL PIER]	BEAM-PIER / FLOOR SIMPSON HD3B : 3130W W/ 5/8" DIA. X 12" [MIN.] ANCHOR BOLT W/ 3" COVERAGE [MIN.]
2.	2X12 SYP. P.T. STAIR STRINGERS TO 12X16" CONCRETE SPREAD FOOTING [ALL STAIRS]	STINGER-FOOTING / FLOOR SIMPSON HGAM10KTA : 810W; ISOLATE FROM CONCRETE W/ POLYSTICK FLASHING
3.	2X10 SYP. P.T. FLOOR LEDGERS AND/OR BEAMS [ALL FLOOR FRAMING CORNERS]	LEDGER-OR-BEAM-BEAM / FLOOR SIMPSON ML26Z : 1000W W/ SDS FASTENERS @ EACH INTERSECTION
4.	[2]-2X10 P.T. SYP. P.T. BEAM TO 2X10 SYP. P.T. BEAMS AND/OR LEDGERS [ALL INTERSECTIONS]	BEAM-BEAM-OR-LEDGER / FLOOR SIMPSON LUS210-2-Z : 1830W @ EA. END
5.	2X10 P.T. SYP. P.T. JOISTS TO 2X10 SYP. P.T. BEAMS AND/OR LEDGERS [ALL INTERSECTIONS]	JOISTS-LEDGER-OR-BEAM / FLOOR SIMPSON LUS210Z : 1340W @ EA. END OF JOIST
6.	2X10 SYP. P.T. FLOOR LEDGERS TO 2X10 FRAMING [ALL WOOD TO WOOD LEDGERS]	LEDGER-BEAM / FLOOR FASTEN MASTER 5" [FML005] LEDGERLOK @ 12" O.C. STAGGERED TOP & BOTTOM
7.	2X10 SYP. P.T. FLOOR LEDGERS TO MASONRY [ALL SINGLE WOOD TO MASONRY LEDGERS]	LEDGER-WALL / FLOOR 1/4" X 5" S.S. TAPCONS @ 12" O.C. STAGGERED TOP & BOTTOM & 2" FROM EDGES
8.	[2]-2X10 SYP. P.T. FLOOR LEDGERS TO MASONRY [ALL DOUBLE WOOD TO MASONRY LEDGERS]	LEDGER-WALL / FLOOR 1/4" X 6" S.S. TAPCONS @ 12" O.C. STAGGERED TOP & BOTTOM & 2" FROM EDGES
9.	2X6 SYP. P.T. STUDS @ 12" O.C. TO [2]-2X10 SYP. P.T. PERIMETER BEAM [ALL 2X6 STUDS]	STUD-BEAM / FLOOR SIMPSON LSTA18 : 1235W @ EA. STUD
ROOF FRAMING		
10.	2X6 SYP. P.T. STUDS @ 12" O.C. TO [2]-2X8 SYP. P.T. TOP PLATE [ALL 2X6 STUDS]	STUD-TOP PLATE / UPLIFT [1]-QTY. SIMPSON H8Z : 780W @ EA. STUD
11.	2X6 SYP. P.T. ROOF RAFTERS @ 12" O.C. TO [2]-2X8 SYP. P.T. TOP PLATE [ALL 2X6 RAFTERS]	RAFTER-TOP PLATE / UPLIFT [1]-QTY. SIMPSON H8Z : 780W @ EA. RAFTER
12.	2X6 SYP. P.T. ROOF RAFTERS @ 12" O.C. TO [2]-2X8 SYP. P.T. RIDGE BEAM [ALL 2X6 RAFTERS]	RAFTER-RIDGE BEAM / UPLIFT [1]-QTY. SIMPSON LRU26Z : 1275 @ EA. RAFTER
13.	2X12 SYP. P.T. ROOF RAFTERS @ 12" O.C. TO [2]-2X12 SYP. P.T. LEDGER [ALL 2X12 RAFTERS]	RAFTER-LEDGER / UPLIFT SIMPSON LUS210Z : 1340W @ EA. END
14.	[2]-2X6 SYP. P.T. COLLAR TIES TO 2X6 SYP. P.T. ROOF RAFTERS [ALL COLLAR TIES]	COLLAR TIE-RAFTER / UPLIFT [4]-QTY. FASTEN MASTER 3" [FML003] LEDGERLOK @ 2" FROM EDGES
15.	6X6 SYP. P.T. PORCH COLUMNS TO BEAMS @ TOP & BOTTOM [ALL COLUMNS]	BEAM-COLUMN / UPLIFT [2]-QTY. 1/2" DIA. S.S. CARRIAGE BOLTS W/ NUTS & WASHERS @ EA. INTERSECTION

- GENERAL CONNECTOR NOTES:
- ISOLATE ALL CONNECTORS FROM P.T. MEMBERS W/ POLYSTICK MEMBRANE.
 - UNLESS OTHERWISE SPECIFIED, ALL CONNECTORS AND FASTENERS TO BE STAINLESS STEEL, OR BEST QUALITY AVAILABLE [PREMIUM].
 - VERIFY QUALITY OF NON STAINLESS STEEL CONNECTORS WITH ARCHITECT PRIOR TO PURCHASE AND / OR INSTALLATION.
 - THE SIZES OF EXISTING FRAMING MEMBERS ARE ASSUMED, AND ARE SUBJECT TO VERIFICATION FOLLOWING DEMOLITION.
 - COORDINATE W/ ARCHITECT IF CONDITIONS VARY WHICH PROHIBIT CONNECTOR USE.

HEADER SCHEDULE	
OPENING SIZE [WIDTH]	HEADER BEAM
0'-0" TO 6'-0"	[3] - 2X8 W/ [2] - 1/2" PLYWOOD SPACERS
6'-0" TO 8'-0"	[3] - 2X10 W/ [2] - 1/2" PLYWOOD SPACERS
8'-0" TO 10'-0"	[3] - 2X12 W/ [2] - 1/2" PLYWOOD SPACERS

NOTE: HEADER BEAMS TO BE GLUED & SCREWED [BASIS OF DESIGN: LIQUID NAILS CONSTRUCTION ADHESIVE, #10 X 3" S.S. (OR ACO APPROVED) FASTENERS & SELECT STRUCTURAL #2 OR BETTER QUALITY P.T. PINE THROUGHOUT.

STUD SCHEDULE @ HEADERS [EA. SIDE]	
OPENING SIZE [WIDTH]	STUD QUANTITY
0'-0" TO 3'-0"	[1] - JACK STUD; [1] - KING STUD
3'-0" TO 6'-0"	[2] - JACK STUD; [1] - KING STUD
6'-0" TO 8'-0"	[2] - JACK STUD; [2] - KING STUD
8'-0" TO 10'-0"	[2] - JACK STUD; [3] - KING STUD
10'-0" TO 12'-0"	[3] - JACK STUD; [3] - KING STUD



1 ROOF FRAMING PLAN
SCALE: 1/4"=1'-0"

0 4 8 12
GRAPHIC SCALE: 1/4" = 1'-0"

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A. Odom
Date: 2023.08.24
16:28:44
-0500

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RESIDENTIAL RENOVATION
217 EMMES LANE
KEY WEST, FLORIDA 33040

SUBMISSIONS:
[1]-1/2" X 1/2" X 1/2" X 1/2"

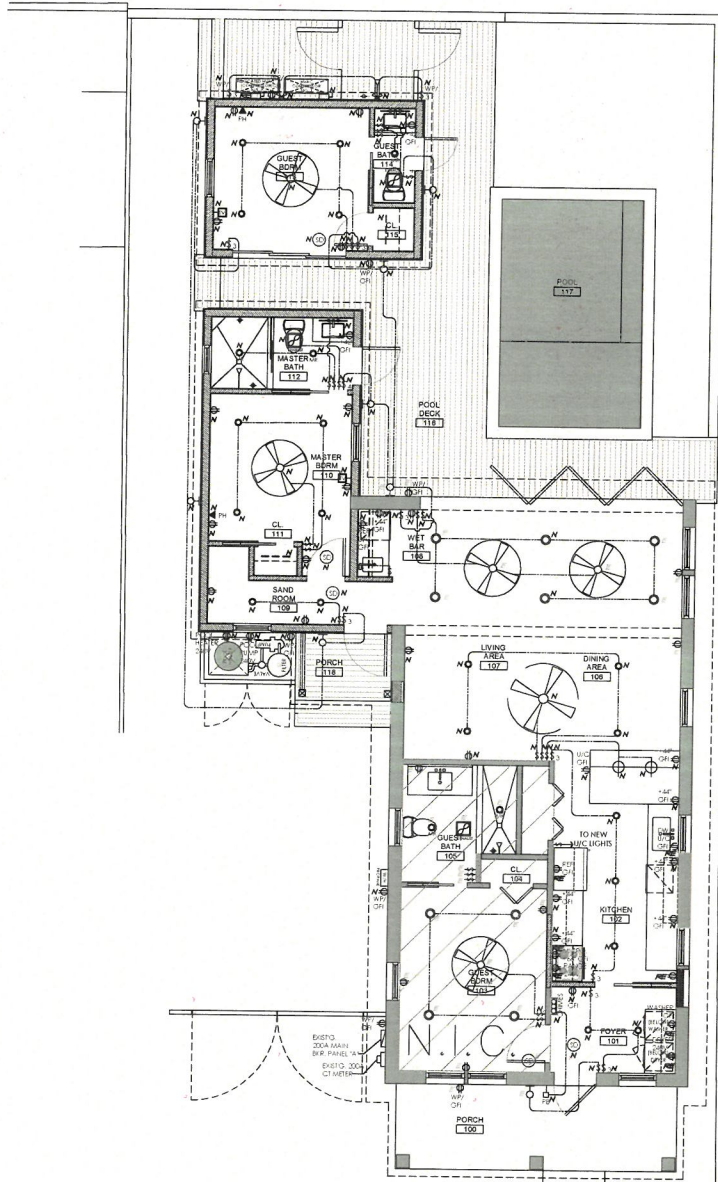
APPROVALS:
[1]-1/2" X 1/2" X 1/2" X 1/2"

TITLE:
ROOF FRAMING
PLAN &
CONNECTOR
SCHEDULE

PROJECT #: 22.15

SHEET:
S1.7

AUGUST, 04, 2023



NEW ELECTRIC PLAN
SCALE: 1/4"=1'-0"
GRAPHIC SCALE: 1/4"=1'-0"

NOTE:
ELECTRICIAN TO FIELD VERIFY EXISTING
CONDITIONS & ALL OWNER SUPPLIED EQUIPMENT
REQUIREMENTS. PROVIDE AS-BUILT CALCULATIONS
AND PANEL LAYOUT TO ARCHITECT & BUILDING
DEPARTMENT AT COMPLETION OF PROJECT. NOTIFY
ARCHITECT WITH ANY DISCREPANCIES.

NOTE:
PROVIDE ARC-FAULT & TAMPER RESISTIVE
OUTLETS AS REQUIRED DUE TO WORK. PROVIDE
AS CODE INDICATES. (V.I.F.)

GENERAL NOTES:

- E OR EX- DENOTES EXISTING DEVICE.
- RE- DENOTES RELOCATE EXISTING DEVICE. CONTRACTOR SHALL EXTEND CONDUIT AND WIRE AS NEEDED FOR A COMPLETE WORKING SYSTEM. REFER TO NEW ELECTRIC FLOOR PLAN FOR NEW LOCATION.
- N- DENOTES NEW DEVICE. IF NOT NOTED, CONSIDER NEW.
- R- DENOTES EXISTING TO BE REMOVED.
- REN- EXISTING DEVICE TO BE RENOVATED. SEE NEW ELECTRIC PLAN FOR DEVICE SPECIFICS.

GENERAL ELECTRIC NOTES

- DO NOT SCALE ELECTRICAL DRAWINGS. REFER TO THE ARCHITECTURAL PLANS AND ELEVATIONS FOR THE EXACT LOCATION AND VERIFY WITH OWNER'S REPRESENTATIVE.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE AND SHALL COMPLY WITH ALL LOCAL CODE REGULATIONS AND RESTRICTIONS.
- "ROMEX" WIRE MAY BE USED.
- PROVIDE GROUND FAULT INTERRUPTER CIRCUITS FOR ALL WEATHER-PROOF RECEPTACLES, BATHROOM RECEPTACLES, AND KITCHEN RECEPTACLES. (PER NEC 210-8)
- PLACE ALL RECEPTACLES VERTICALLY IN WALLS.
- ALL NEW SMOKE DETECTORS ARE TO BE CONNECTED AND POWERED BY HOUSE ELECTRIC AND HAVE BATTERY BACK-UP. CONNECT ALL SMOKE DETECTORS IN TANDUM SO THAT THEY ALL SOUND SIMULTANEOUSLY.
- ALL BEDROOM RECEPTACLES TO BE ARC-FAULT TYPE CIRCUITS PER NEC 210-12.

CEILING PLAN LEGEND

FIXTURE TYPE	DESCRIPTION
○	RECESSED LIGHT FIXTURE
— — —	LINEAR LED TAPE LIGHT
□	WALL MOUNT SCONCE
⊗	CEILING MOUNT LIGHT FIXTURE
⊕	HANGING LIGHT FIXTURE
✂	CEILING FAN
▽	TRACK LIGHTING
⊞	EXHAUST FAN. SEE MECHANICAL

SWITCHING LEGEND

⊙	BATTERY POWERED SMOKE DETECTOR
⊞	SINGLE POLE LIGHT SWITCH
⊞	3-WAY LIGHT SWITCH
⊞	DIMMER LIGHT SWITCH

POWER LEGEND

⊞	STANDARD 120 V DUPLEX RECEPTACLE
⊞	220 V DUPLEX RECEPTACLE
⊞	STANDARD 120 V QUAD RECEPTACLE
⊞	GROUND FAULT CIRCUIT INTERRUPTER RECEPTACLE
⊞	WET LOCATION RECEPTACLE
ADD	ALARM DIGITAL
⊞	JUNCTION BOX (PROVIDE ADEQUATE BRACING WHERE REQ.)
⊞	TELEVISION CABLE OUTLET. PROVIDE STD. & CAT 6 CABLE
⊞	TELEPHONE DATA OUTLET
⊞	DISCONNECT SWITCH

ELECTRICAL SPECIFICATION

- SCOPE: FURNISH ALL LABOR AND MATERIALS NECESSARY FOR THE INSTALLATION OF THE COMPLETE ELECTRICAL SYSTEM AS SPECIFIED HEREIN AND INDICATED ON THE CONTRACT DRAWINGS.
- APPLICABLE CODES: THE INSTALLATION SHALL COMPLY WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE AND ALL LOCAL CODES.
- MATERIALS AND SUBSTITUTIONS: THE CONTRACTOR SHALL SUBMIT A LIST OF ALL MAJOR EQUIPMENT AND MATERIALS TO THE ARCHITECT FOR REVIEW. NO SUBSTITUTIONS WILL BE ALLOWED WITHOUT THE PERMISSION OF THE ARCHITECT. IN WRITING. ALL EQUIPMENT SHALL BE NEW AND BEAR THE MANUFACTURER'S NAME AND TRADE NAME. ALL EQUIPMENT SHALL BE U.L. LISTED.
- PERMITS: CONTRACTOR SHALL PAY ALL REQUIRED FEES AND SHALL OBTAIN ALL NECESSARY PERMITS FOR INSTALLATION OF THE WORK.
- WORKMANSHIP: ALL WORK SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER. EXPOSED CONDUITS AND/OR CABLES, WHERE PERMITTED, SHALL BE RUN PARALLEL AND AT RIGHT ANGLE TO MAJOR BUILDING CONSTRUCTIVE MEMBERS. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EQUIPMENT AND DEVICES WITH THE ARCHITECT AT THE TIME OF INSTALLATION.
- CONDUIT SYSTEMS: CONDUIT SHALL BE EMT CONCEALED IN WALLS AND SUSPENDED CEILING AND EXPOSED IN UNFINISHED AREAS. EXTERIOR CONDUIT SHALL BE GALVANIZED RIGID STEEL. ALUMINUM CONDUIT SHALL NOT BE PERMITTED. MINIMUM SIZE CONDUIT SHALL BE 3/4". CONNECTIONS TO MOTORS AND OTHER VIBRATING EQUIPMENT SHALL BE MADE WITH LIQUIDTIGHT FLEXIBLE METAL CONDUIT.
- OUTLET BOXES: FOUR INCH SQUARE FOR SWITCHES AND RECEPTACLES AND FOUR INCH OCTAGONAL FOR LIGHTING FIXTURES, WITH APPROVED PLASTER RINGS AND COVERPLATES. WHERE MULTIPLE NUMBER OF SWITCHES OCCUR IN ONE LOCATION ON THE PLANS, PROVIDE A MULTISWITCH OUTLET BOX AND A COMMON COVERPLATE. PROVIDE BARRIERS WITHIN THE BOX AS MAY BE REQUIRED BY CODE.
- WIRE AND CABLE: TYPE THW OR THWN, 90° VOLT AC COPPER CONDUCTORS, COLOR CODED, WITH THE MINIMUM SIZE TO BE #14 AWG. WITH INSULATED GROUND TYPE "NM" METAL CLAD CABLE MAY BE USED WHERE PERMITTED BY APPLICABLE CODES.
- WIRING DEVICES: "ARROW HART" OR APPROVED EQUAL, AS FOLLOWS: DUPLEX RECEPTACLES (W/ OR RECEPTACLES) 15 AMP, 120/240 VOLT, 1-PHASE, 3-WAY TOGGLE SWITCHES, 15 AMP, 120/240 VOLT, 1-PHASE, 3-WAY TOGGLE SWITCHES. COVERPLATES SHALL BE PAINTABLE PLASTIC. EDGES OF PLATES SHALL HAVE FULL CONTACT WITH BOX AND COMPLETELY COVER WALL OPENING.
- LIGHTING FIXTURES: AS SPECIFIED ON THE DRAWINGS, COMPLETE WITH LAMPS.
- PANELBOARDS AND CIRCUIT BREAKERS: PANELBOARDS SHALL BE SQUARE D TYPE "MCO" WITH THE SIZE AND NUMBER OF CIRCUIT BREAKERS AS INDICATED ON THE DRAWINGS. CIRCUIT BREAKERS SHALL BE 15 AMP, 120/240 VOLT, 1-PHASE, 3-WAY TOGGLE SWITCHES. MULTIPOLAR BREAKERS SHALL HAVE COMMON TRIP WITH INTEGRAL TRIP MECHANISM. HANDLES SHALL NOT BE PERMITTED. PANELBOARDS SHALL HAVE COPPER BUS WITH FULL CAPACITY NEUTRAL. WHERE SPACES AND/OR PROVISIONS ARE INDICATED, BUS ASSEMBLY SHALL EXTEND TO FULL LENGTH WITH ALL NECESSARY HARDWARE TO ACCOMMODATE CIRCUIT BREAKERS. PROVIDE TYPEWRITTEN DIRECTORY ON INSIDE OF DOOR. WHEN NEW WORK IS CALLED FOR IN EXISTING PANELBOARDS, NEW BREAKERS SHALL MATCH EXISTING AND DIRECTORY SHALL BE UPDATED TO REFLECT ANY CHANGES.
- GROUNDING: ALL SYSTEMS SHALL BE GROUNDED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE AND ALL LOCAL CODES. THE UTILITY COMPANIES, SPECIAL SYSTEMS AND EQUIPMENT AS REQUIRED.
- EXISTING CONDITIONS: THE CONTRACTOR SHALL VISIT THE SITE AND CAREFULLY EXAMINE ALL EXISTING CONDITIONS THAT MAY AFFECT HIS BID.
- EXISTING ELECTRICAL INSTALLATION: ALL EXISTING ELECTRICAL WORK WHICH WILL NOT BE RENDERED OBSOLETE AND WHICH MAY BE DISTURBED DUE TO ANY CHANGES REQUIRED UNDER THIS CONTRACT SHALL BE RESTORED TO ITS ORIGINAL OPERATING CONDITION. OTHER ELECTRICAL MATERIAL OR MATERIAL RENDERED OBSOLETE SHALL BE ABANDONED WHERE CONCEALED AND REMOVED WHERE EXPOSED. OLD UNUSED WIRING AND DEVICES SHALL BE REMOVED FROM THE ABANDONED CONCEALED CONDUITS AND OUTLETS SHALL BE PROVIDED WITH BLANK COVERS. EXCEPT AS OTHERWISE SPECIFIED, ALL DISCONNECTED MATERIAL THAT IS NOT TO BE REUSED SHALL BE REMOVED FROM THE SITE.
- INTERRUPTION OF SERVICE: THE CONTRACTOR SHALL NOT DISCONTINUE ANY ELECTRICAL SERVICE TO THE BUILDING WITHOUT FIRST OBTAINING APPROVAL FROM THE ARCHITECT AND OWNER.
- SCHEDULING OF WORK: THE CONTRACTOR SHALL ARRANGE WITH THE ARCHITECT FOR SCHEDULING OF WORK.
- COORDINATION AND REPAIR: WHERE EXISTING ELECTRICAL INSTALLATIONS INTERFERE WITH NEW WORK AND WHERE SUCH INSTALLATIONS ARE TO REMAIN IN USE, THE INSTALLATIONS SHALL BE DISCONNECTED AND RELOCATED AND/OR RECONNECTED TO COORDINATE WITH THE WORK INDICATED ON THE CONTRACT DRAWINGS AND AS SPECIFIED.
- WATERPROOFING: WHERE ANY WORK PIERCES WATERPROOFING, INCLUDING WATERPROOF CONCRETE AND/OR MASONRY EXTERIOR WALLS, CONTRACTOR SHALL PROVIDE ALL NECESSARY SLEEVES, CAULKING, AND FLASHING REQUIRED TO MAINTAIN ABSOLUTE WEATHERTIGHT.
- FIREPROOFING: OPENINGS AND PASSAGE OF CONDUITS THROUGH FLOOR SLABS AND FIRE RATED WALLS OR PARTITIONS SHALL BE SEALED WITH U.L. LISTED FIRE STOPPING METHODS TO MAINTAIN THE FIRE RESISTANCE RATING.
- EQUIPMENT IDENTIFICATION: EXCEPT WHERE OTHER MEANS OF IDENTIFICATION ARE SPECIFIED, PANELBOARDS, METERS, SAFETY SWITCHES, REMOTE CONTROL SWITCHES, AND MOTOR CONTROL PUSHBUTTON STATIONS SHALL BE IDENTIFIED WITH BLACK PHENOLIC NAMEPLATES WITH WHITE LETTERS, MINIMUM 1/2" HIGH TO SHOW THE NAME AND NUMBER, IF ANY, OF THE EQUIPMENT CONTROLLED.
- TESTS: THE CONTRACTOR SHALL TEST ALL OF THE EQUIPMENT INSTALLED UNDER THIS CONTRACT AND DEMONSTRATE ITS PROPER OPERATION TO THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL PROVIDE ALL REQUIRED LABOR, MATERIAL, AND INSTRUMENTS FOR THE TESTS.
- OPERATING INSTRUCTIONS: UPON COMPLETION OF ALL WORK AND OF ALL TESTS, FURNISH THE NECESSARY SKILLED LABOR AND HELPERS FOR OPERATING ALL ELECTRICAL SYSTEMS AND EQUIPMENT IN ORDER TO INSTRUCT AND TRAIN THE OWNER'S REPRESENTATIVE IN THE OPERATION AND MAINTENANCE OF ALL EQUIPMENT FURNISHED.

A2O
ARCHITECTURE

Digitally signed by
Shawn A Osborn
Date: 2023.08.24
16:28:42 -0400

CONSULTANTS:

RESIDENTIAL RENOVATION

MR. & MRS. PERRY RESIDENCE

217 EANES LANE
KEY WEST, FLORIDA 33040

SUBMISSIONS:

ELECTRIC
PLAN

PROJECT # 22-15

TITLE:

E7.0
APR. 17, 2023

6/19/2023 10:00:00 AM

EXIST'G. ELECTRIC PANEL "A"

SUB-TOTAL	65.178 WATTS
(N.C.) = NON-COINCIDENTAL LOAD	
FIRST 10,000 WATTS @ 100%	10,000 WATTS
BALANCE @ 40%	22,071 WATTS
A/C LOAD @ 100%	5,000 WATTS
<hr/>	
TOTAL LOAD	37,071 WATTS
37,071 WATTS / 240 VOLTS =	
RE-USE EXISTING 200 AMP SERVICE (N.F.)	154.5 AMPS



SHEET: E2.0


APR. 17, 2023

TITLE: **ELECTRIC
RISER &
PANEL
SCHEDULE**

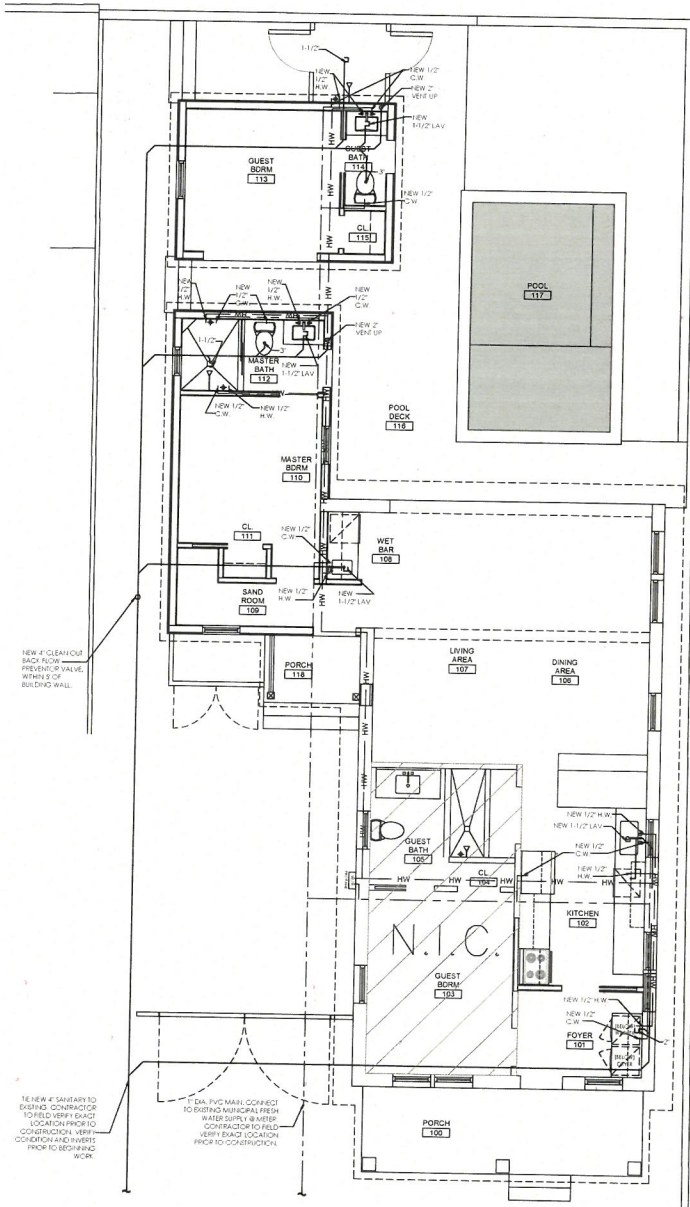
SUBMISSIONS:

MR. & MRS. PERRY RESIDENCE
RESIDENTIAL RENO
217 EANES LANE
KEY WEST, FLORIDA 33040

CONSULTANTS:

Architect:  Digitally signed by Aileen A. Osborn
Date: 2023.08.21 16:29:09 -04'00'

A₂O
ARCHITECTURE

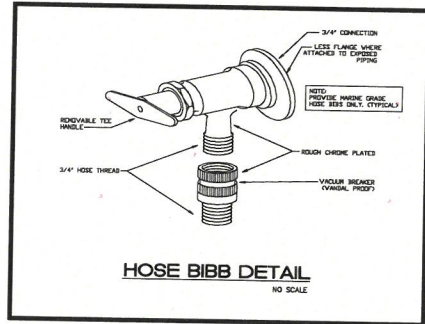
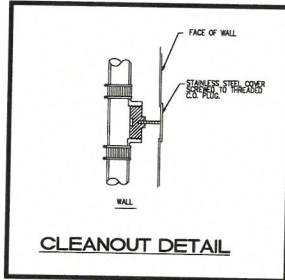


1 NEW PLUMBING PLAN
SCALE: 1/4"=1'-0"
GRAPHIC SCALE: 1/4"=1'-0"

PLUMBING FIXTURE SCHEDULE			
NAME	FIXTURE	MODEL #	ACCESSORIES / NOTES
T.W.H. #1	TANKLESS WATER HEATER	NAYEN NPH-199E	LP GAS, NON-RECOILATION, EXTERIOR WALL MOUNTED, NEW AUTOMATIC TANKLESS WATER HEATER SHALL MEET THE STANDARDS OF THE LATEST ENERGY EFFICIENCY AND GAS CODES, AND SHALL BARE THE PROPER "UL" RATING FOR OUTDOOR USE AND ASSEMBLY.

NOTE:
NEW AUTOMATIC TANKLESS LP GAS WATER HEATER SHALL MEET THE STANDARDS OF THE LATEST ENERGY EFFICIENCY, & FUEL GAS CODE, & SHALL BARE THE PROPER "UL" RATING FOR OUTDOOR USE AND ASSEMBLY.

- GENERAL PLUMBING NOTES:**
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE FPG (PLUMBING 2009 TYP. 10.3) AND WITH ALL APPLICABLE REGULATIONS. DRAWINGS REFER TO ALL DRAWINGS FOR COORDINATION OF THE PLUMBING WORK.
 - ARRANGE AND PAY FOR ALL PERMITS, LICENSES, INSPECTIONS AND TESTS. OBTAIN THE REQUIRED CERTIFICATES AND PRESENT TO OWNER.
 - GUARANTEE: THE COMPLETED INSTALLATION SHALL BE FULLY GUARANTEED AGAINST DEFECTIVE MATERIALS AND/OR IMPROPER WORKMANSHIP FOR A MINIMUM OF ONE YEAR FOR MATERIAL AND LABOR.
 - ALL HORIZONTAL SANITARY PIPING SHALL SLOPE AT 1/8" INCH PER FOOT MINIMUM FOR 3" AND LARGER AND AT 1/4" SLOPE FOR 2" PIPES AND SMALLER.
 - NOT USED.
 - PLUMBING FIXTURES: FIXTURES SHALL BE AS SELECTED BY OWNER AND SHALL BE FURNISHED AND INSTALLED BY THIS CONTRACTOR. FIXTURES SHALL BE COMPLETE WITH DRAINS, TRAPS, SUPPLIES AND ANY OTHER ACCESSORY REQUIRED. FITTINGS AND FLANGES SHALL COMPLY WITH THE FPG WATER SAVING STANDARDS.
 - MATERIALS:
 - STORM, SOIL, WASTE AND VENT: SANITARY PIPE, P.V.C. DWV, SCHEDULE 40.
 - DOMESTIC WATER: COPPER PIPE, TYPE L WITH SWEAT WROUGHT COPPER FITTINGS TYPE "L" IN CONCEALED SPACES IS ACCEPTABLE. SLOPE PIPING FROM CONCRETE WITH INSULATING MATERIAL.
 - DOMESTIC WATER SUPPLY: 1/2" MINIMUM THICKNESS STAINLESS STEEL BRANDED SUPPLY LINE WITH ANGLE SHUT OFF VALVES.
 - INSULATION: INSULATE ALL HOT WATER AND HOT RETURN WITH 1" FIBERGLASS INSULATION.
 - ALL AUTOMATIC ELECTRIC WATER HEATERS SHALL MEET THE STANDARDS OF THE LATEST ENERGY EFFICIENCY CODE.
 - PIPING TEST AND CONNECTIONS:
 - TEST: ALL SANITARY AND DOMESTIC WATER SUPPLY PIPING SHALL BE TESTED FOR LEAKS BEFORE PIPING IS CONCEALED OR CONNECTED TO EQUIPMENT AND PLUMBING FIXTURES.
 - DISINFECTION: ALL DOMESTIC WATER PIPING SHALL BE DISINFECTED BY INTRODUCING A SOLUTION OF CALDUM HYPOCHLORITE OF 50 PARTS PER MILLION OF CHLORINE AND AS FOR MINN STANDARDS.
 - HOSE BIBBS: SHALL BE 1/2" INCH BRASS CONSTRUCTION WITH SHUT OFF VALVE AND WAGAM BREAKER.
 - ALL OUTDOORS FLOOR CLEAN OUTS SHALL BE TERMINATED UP TO GRADE AND SHALL BE MARKED.
 - CONTRACTOR SHALL COORDINATE EXACT LOCATION OF SANITARY AND DOMESTIC WATER PIPING BEFORE STARTING ANY WORK. NOTIFY ARCHITECT OF ANY DEVIATIONS FROM DESIGN DRAWINGS.



A2O

ARCHITECTURE

Digitally signed by
Alicia A. Osborn
Date: 2023.08.27 16:29:57 -0400

CONSULTANTS:

MRS. & MRS. PERRY RESIDENCE

SUBMISSIONS:

PLUMBING PLAN

TITLE:

P1.0

PROJECT # 22.16

APPROVALS:

APR. 17, 2023

RESIDENTIAL RENOVATION

217 E. LANE LANE

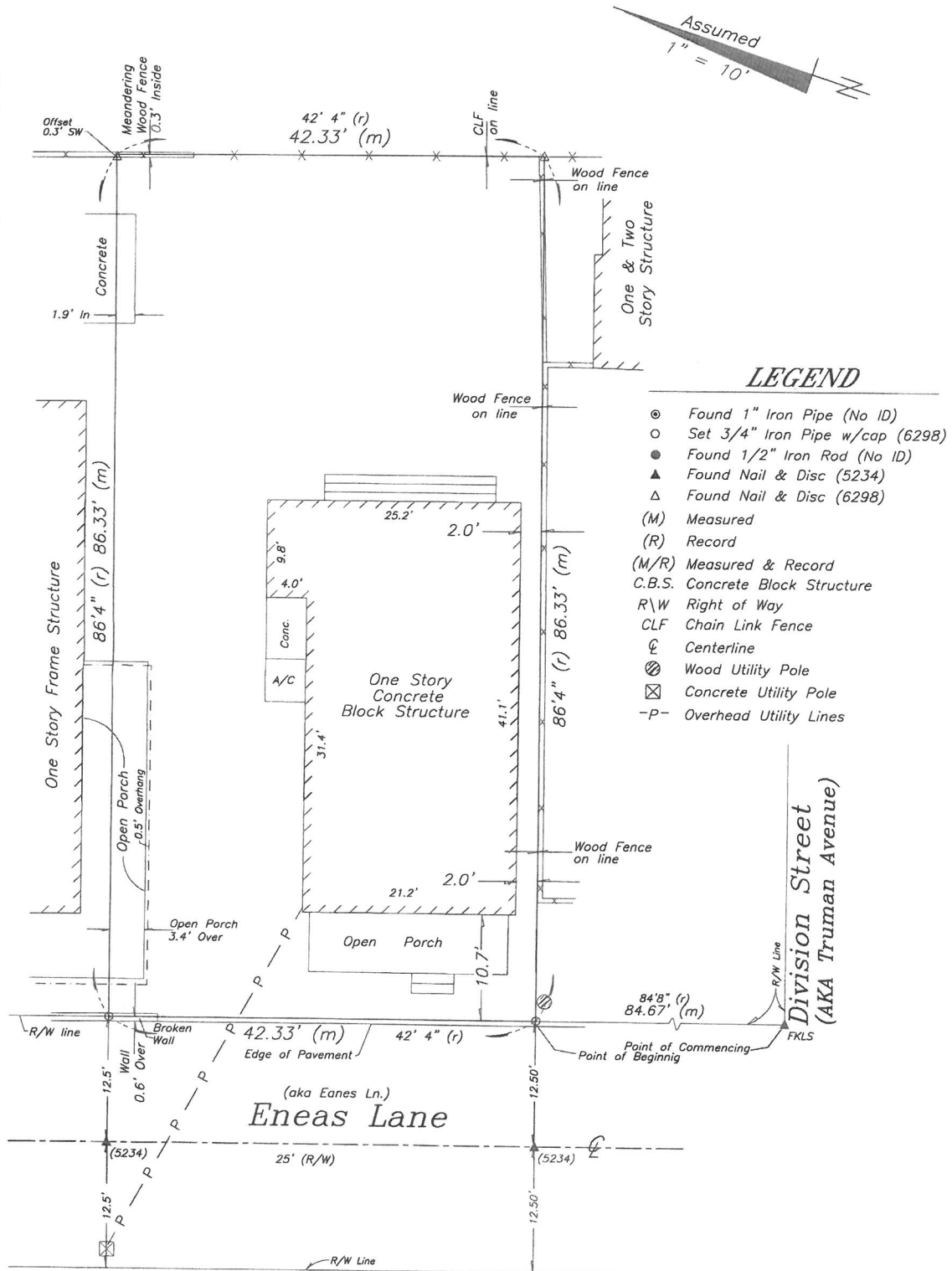
KEY WEST, FLORIDA 33040

Sender Site Detailed Description of How Use of Transient Rental Units
will be Extinguished.

The Sender Site shall convert to a single family residence with two (2)
transient units and licenses.

Receiver Site Current Survey

Boundary Survey Map of part of Lot 3, Square 9 Simonton and Wall's Addition to the Town of Key West



NOTE:
This Survey Map is not full
and complete without the
attached Survey Report.

Sheet One of Two Sheets

J. LYNN O'FLYNN, Inc.



Professional Surveyor & Mapper
PSM #6298

3430 Duck Ave., Key West, FL 33040
(305) 296-7422 FAX (305) 296-2244

Boundary Survey Report of part of Lot 3, Square 9
Simonton and Wall's Addition to the Town of Key West

NOTES:

1. The legal description shown hereon was furnished by the client or their agent. This survey does not determine or imply ownership.
2. Underground foundations and utilities were not located.
3. All angles are 90° (Measured & Record) unless otherwise noted.
4. Street address: 217 Eneas Lane, Key West, FL.
5. This survey is not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
6. Lands shown hereon were not abstracted for rights-of-way, easements, ownership, or other instruments of record.
7. North Arrow is assumed and based on the legal description.
8. Date of field work: May 17, 2022
9. Ownership of fences is undeterminable, unless otherwise noted.
10. Adjoiners are not furnished.
11. The Survey Report is not full and complete without the attached Survey Map.

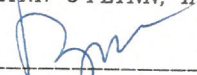
BOUNDARY SURVEY OF: In the City of Key West and is part of Lot 3 in Square Nine of Tract 4 according to Simonton & Wall's Addition to the Town of Key West, further known as Lot 3 in Square Nine of Tract 4 according to Charles W. Tift's Map delineated in July 1874, but as more particularly known and described in a Subdivision of Lots 3 and 4 in Square Nine of Tract 4 recorded in Deed Record Book "L", page 130, Monroe County, Florida Public Records as Part of Lots 7 and 8 of said Subdivision.

Commencing at a point on the Northeast side of a 25 foot alleyway known as Eanes (Eneas) Alley, 84 feet and 8 inches distant from the corner of said Alley and Division Street and running along the Northeast Side of said Alley in a Northwesterly direction 42 feet and 4 inches; thence at right angles in a Northeasterly direction 86 feet and 4 inches; thence at right angles in a Southeasterly direction 42 feet and 4 inches; thence at right angles in a Southwesterly direction and parallel with Division Street, 86 feet and 4 inches back to the point of beginning.

BOUNDARY SURVEY FOR: Jon Perry and Laura Perry;
Oropeza Stones Cardenas, PLLC;
Old Republic National Title Insurance Company;

I HEREBY CERTIFY that this survey was made under my responsible charge and meets the Standard of Practice as set forth by the Florida Board of Professional Surveyors & Mappers in Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

J. LYNN O'FLYNN, INC.


J. Lynn O'Flynn, PSM
Florida Reg. #6298

May 17, 2022

THIS SURVEY
IS NOT
ASSIGNABLE

Sheet Two of Two Sheets

J. LYNN O'FLYNN, Inc.



Professional Surveyor & Mapper
PSM #6298

3430 Duck Ave., Key West, FL 33040
(305) 296-7422 FAX (305) 296-2244

Sender Site Current Floor Plans

[illegible][illegible]

<p> TI.1 TITLE, SITE DATA, SURVEY, & PROJECT INFO CI.0 SURVEYS EX.1 EXISTING FLOOR PLAN & ELEVATIONS AI.1 ARCHITECTURAL SITE PLAN, FLOOR PLAN, & ELEVATIONS </p>	<p> SCOPE OF WORK: DEMO EXISTING ONE STORY BUILDING. NEW ONE STORY RESIDENCE AND NEW POOL AT THE REAR YARD. </p>
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T. S. NEAL
ARCHITECTS INC.
948 POWELL AVENUE
LITTLE ROCK, AR
72205
501-482-2827

215 EANES LANE
KEY WEST, FL 33040

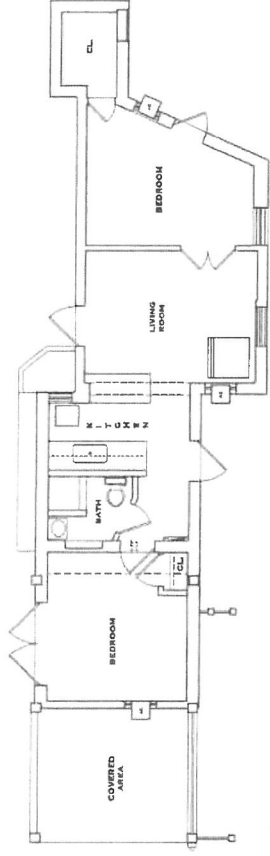
DRAWING TITLE:
EXISTING FLOOR PLAN
& ELEVATIONS

DRAWN: TSN
CHECKED: TSN
DATE: 10/20/2017

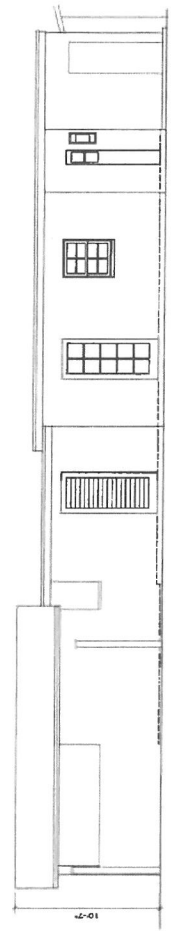
EX1.1
SHEET #

A
TSN

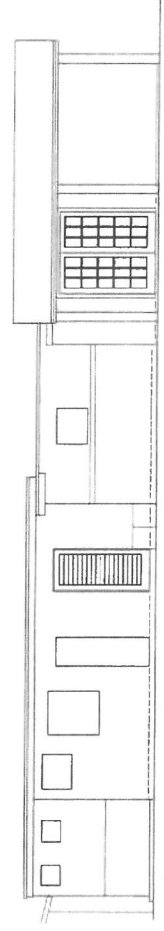
TIMOTHY BETH NEAL P.L.A. REGISTRATION # AB87263



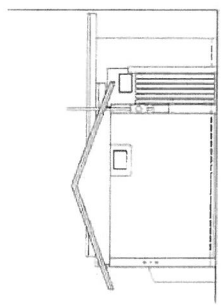
1. EXISTING FLOOR PLAN
SCALE 1/4" = 1'-0"



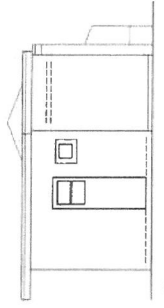
3. EXISTING SOUTHEAST ELEVATION
SCALE 1/4" = 1'-0"



4. EXISTING NORTHWEST ELEVATION
SCALE 1/4" = 1'-0"



2. EXISTING SOUTHWEST ELEVATION
SCALE 1/4" = 1'-0"

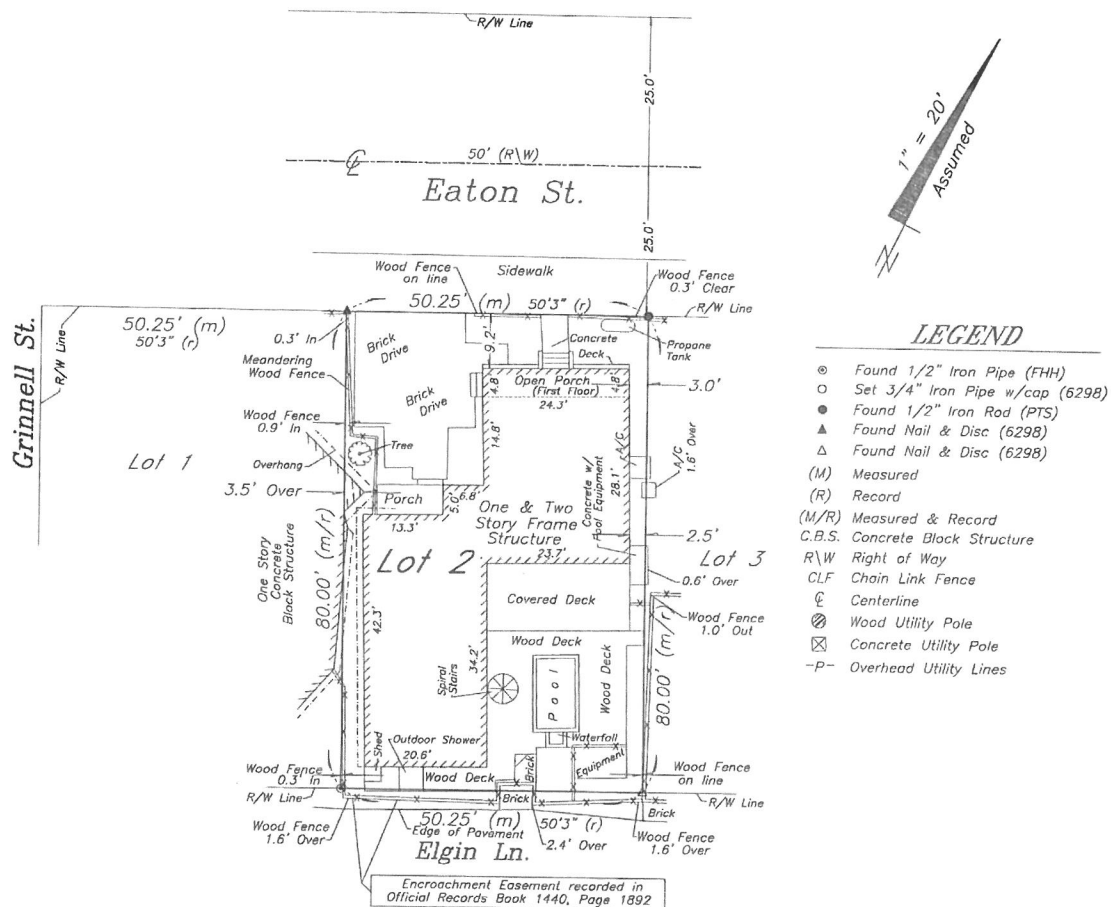


5. EXISTING NORTHEAST ELEVATION
SCALE 1/4" = 1'-0"



Sender site Current Survey

Boundary Survey Map of part of Lot 3, Square 32 Island of Key West, known as Lot 2 of John Lowe, Jr. Subdivision



NOTES:

1. The legal description shown hereon was furnished by the client or their agent.
2. Underground foundations and utilities were not located.
3. All angles are 90° (Measured & Record) unless otherwise noted.
4. Street address: 1004 Eaton Street, Key West, FL.
5. This survey is not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
6. Lands shown hereon were not abstracted for rights-of-way, easements, ownership, or other instruments of record.
7. North Arrow is assumed and based on the legal description.
8. All concrete and bricking is not shown.
9. Date of field work: April 23, 2021
10. Ownership of fences is undeterminable, unless otherwise noted.
11. Adjainers are not furnished.

BOUNDARY SURVEY OF: In the City of Key West, and being a part of Lot Three (3) of Square Thirty-Two (32), according to the plan of the City of Key West, delineated in February, 1829, by William A. Whitehead, and is now better known as Lot Two (2) of a Subdivision of said Lot Three (3) by John Lowe, Jr., and having a front on Eaton Street of Fifty (50) feet, and Three (3) inches and extending back in a Southeasterly direction Eighty (80) feet to Elgin Lane.

BOUNDARY SURVEY FOR: Bryan Whitmore;
Oropeza Stones & Cardenas;
Old Republic National Title Insurance Company;

I HEREBY CERTIFY that this survey was made under my responsible charge and meets the Standard of Practice as set forth by the Florida Board of Professional Surveyors & Mappers in Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

J. LYNN O'FLYNN, INC.

J. Lynn O'Flynn, PSM
Florida Reg. #6298

April 26, 2021

THIS SURVEY
IS NOT
ASSIGNABLE

J. LYNN O'FLYNN, Inc.



Professional Surveyor & Mapper
PSM #8298

3430 Duck Ave., Key West, FL 33040
(305) 296-7422 FAX (305) 296-2244

Sender Site Copy of Warranty Deed

Prepared by and return to:
Gregory S. Oropeza, Esq.
Oropeza, Stones & Cardenas, PLLC
221 Simonton Street
Key West, FL 33040
305-294-0252

[Space Above This Line For Recording Data]

Quit Claim Deed

This Quit Claim Deed made this 10 day of May 2021 between Paul J. Masse, also errantly referred to in that certain Quit Claim Deed recorded in Official Records Book 2496, Page 526, Public Records of Monroe County, Florida as Paul J. Vollmert as Trustee under the Paul J. Vollmert Living Trust dated November 26, 2010 grantor, and Key Endeavors LLC, a Florida limited liability company, whose post office address is 702 Commercial Street, Suite 3A, Emporia, KS 666801, grantee.

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable consideration to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, does hereby remise, release, and quitclaim to the said grantee, and grantee's heirs and assigns forever, all the right, title, interest, claim and demand which grantor has in and to the following described land, situate, lying and being in Monroe County, Florida to-wit:

In the City of Key West, Monroe County, Florida, and part of Lot Three (3) of Square Thirty-two (32), according to the plan of the City of Key West, delineated in February, 1829, by William A. Whitehead, and is now better known as Lot Two (2) of a Subdivision of said Lot Three (3) by John Lowe, Jr., and having a front on Eaton Street of Fifty (50) feet, and Three (3) inches and extending back in a Southeasterly direction Eighty (80) feet to Elgin Lane.

Subject to taxes for the year 2021 and subsequent years.

The preparer of this instrument was neither furnished with, nor requested to review, an abstract on the described property and, therefore, expresses no opinion as to condition of title. The subject property is not the homestead of the Grantor nor that of Grantor's spouse nor is it contiguous to homestead property of Grantor or Grantor's spouse.

To Have and to Hold, the same together with all and singular the appurtenances thereto belonging or in anywise appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever of grantors, either in law or equity, for the use, benefit and profit of the said grantee forever.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in the presence of:

[Signature]
Signature of Witness
Gregory Oropeza
Printed Name of Witness

Alexis Vogel'in
Signature of Witness
Alexis Vogel'in
Printed Name of Witness

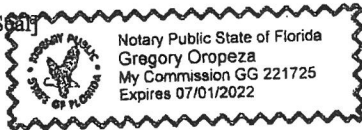
By: [Signature]
Paul J. Masse, individually and as trustee

STATE OF

COUNTY OF

The foregoing instrument was acknowledged before me by means of ☐ physical presence or ☐ online notarization this 10
day of June 2021 by PAUL J. MASSE, who ☐ is personally known or ☐ have produced driver's licenses as
identification.

[Notary Seal]



[Signature]
Notary Public
Printed Name: _____
My Commission Expires: _____