

# Application

**DEVELOPMENT PLAN AND CONDITIONAL USE APPLICATION**  
 City of Key West Planning Department  
 3140 Flagler Avenue, Key West, FL 33040  
 (305) 809-3720



Development Plan & Conditional Use Application

Applications will not be accepted unless complete

Development Plan  
 Major   
 Minor \_\_\_\_\_

Conditional Use  
 \_\_\_\_\_

Historic District  
 Yes \_\_\_\_\_  
 No \_\_\_\_\_

Please print or type:

- 1) Site Address 724 Truman
- 2) Name of Applicant Carlos Hue mbes
- 3) Applicant is: Owner \_\_\_\_\_ Authorized Representative   
 (attached Authorization and Verification Forms must be completed)
- 4) Address of Applicant 7344 SW 48<sup>th</sup> St. #201  
Miami, FL 33155
- 5) Applicant's Phone # 305.661.8181 Email villarchitecture@att.net
- 6) Email Address: villarchitecture@att.net
- 7) Name of Owner, if different than above The Most Reverend Thomas G Wonski Archbishop of
- 8) Address of Owner 9401 Biscayne Blvd., Miami Shores, FL 33138 Archdiocese of Miami
- 9) Owner Phone # \_\_\_\_\_ Email \_\_\_\_\_
- 10) Zoning District of Parcel HPS RE# 00030020-000000
- 11) Is Subject Property located within the Historic District? Yes  No \_\_\_\_\_  
 If Yes: Date of approval \_\_\_\_\_ HARC approval # Pending  
 OR: Date of meeting \_\_\_\_\_
- 12) Description of Proposed Development and Use. Please be specific, list existing and proposed buildings and uses, number of dwelling units, parking, restaurant seats, vehicles proposed, etc. If there is more than one use, describe in detail the nature of each use (Give concise description here and use a separate sheet if necessary).

Replacement Bldg for existing Gym Building utilizing existing footprint and envelope



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13) Has subject Property received any variance(s)? Yes \_\_\_\_\_ No

If Yes: Date of approval \_\_\_\_\_ Resolution # \_\_\_\_\_

Attach resolution(s).

14) Are there any easements, deed restrictions or other encumbrances on the subject property?

Yes \_\_\_\_\_ No

If Yes, describe and attach relevant documents.

- 
- A. For both *Conditional Uses* and *Development Plans*, provide the information requested from the attached **Conditional Use and Development Plan** sheet.
- B. For *Conditional Uses* only, also include the **Conditional Use Criteria** required under Chapter 122, Article III, Sections 122-61 and 122-62 of the Land Development Regulations (see attached copy of criteria).
- C. For *Major Development Plans* only, also provide the **Development Plan Submission Materials** required under Chapter 108, Article II, Division 7, Sections 108-226 through 108-248 of the Land Development Regulations (see attached copy of criteria) and any additional information as determined by the Planning Staff.
- D. For both *Conditional Uses* and *Development Plans*, one set of plans **MUST** be signed & sealed by an Engineer or Architect.

**Please note, development plan and conditional use approvals are quasi-judicial hearings and it is improper to speak to a Planning Board member or City Commissioner about the project outside of the hearing.**

City of Key West  
Planning Department



Verification Form  
(Where Authorized Representative is an individual)

I, Horacio C Huembes, being duly sworn, depose and say that I am the Authorized Representative of the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

724 Truman Avenue, Key West, Florida 33040

*Street address of subject property*

All of the answers to the above questions, drawings, plans and any other attached data which make up the application, are true and correct to the best of my knowledge and belief. In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.

A handwritten signature in blue ink, appearing to be "H. C. Huembes", is written over a horizontal line.

*Signature of Authorized Representative*

Subscribed and sworn to (or affirmed) before me on this July 14th, 2016 by \_\_\_\_\_  
*date*

Horacio C Huembes

*Name of Authorized Representative*

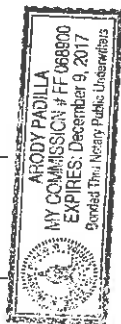
He/She is personally known to me or has presented \_\_\_\_\_ as identification.

A handwritten signature in blue ink, appearing to be "Arody Padilla", is written over a horizontal line.

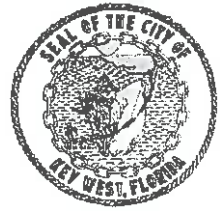
*Notary's Signature and Seal*

\_\_\_\_\_  
*Name of Acknowledger typed, printed or stamped*

\_\_\_\_\_  
*Commission Number, if any*



City of Key West  
Planning Department



Authorization Form  
(Where Owner is a Business Entity)

Please complete this form if someone other than the owner is representing the property owner in this matter.

I, Rev. John C. Baker as  
*Please Print Name of person with authority to execute documents on behalf of entity*

Pastor or for the Archbishop of Miami  
*Name of office (President, Managing Member) Name of owner from deed*

authorize Carlos Huembes  
*Please Print Name of Representative*

to be the representative for this application and act on my/our behalf before the City of Key West.

John C. Baker  
*Signature of person with authority to execute documents on behalf on entity owner*

Subscribed and sworn to (or affirmed) before me on this 7/8/2016  
*Date*

by John Baker  
*Name of person with authority to execute documents on behalf on entity owner*

He/She is personally known to me or has presented \_\_\_\_\_ as identification.

M. Holly Booton  
*Notary's Signature and Seal*

M. Holly Booton  
*Name of Acknowledger typed, printed or stamped*

070470  
*Commission Number, if any*



M. HOLLY BOOTON  
MY COMMISSION # FF 070470  
EXPIRES: December 26, 2017  
Bonded Thru Budget Notary Services

City of Key West  
Planning Department



Verification Form

(Where Authorized Representative is an individual)

I, John O'Neill, being duly sworn, depose and say that I am the Authorized Representative of the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

724 Truman

Street address of subject property

All of the answers to the above questions, drawings, plans and any other attached data which make up the application, are true and correct to the best of my knowledge and belief. In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.

[Signature]  
Signature of Authorized Representative

Subscribed and sworn to (or affirmed) before me on this 7/8/2016 by

John O'Neill  
Name of Authorized Representative

He/She is personally known to me or has presented \_\_\_\_\_ as identification.

M. Holly Booton  
Notary's Signature and Seal

M. Holly Booton  
Name of Acknowledger typed, printed or stamped



070470  
Commission Number, if any

City of Key West  
Planning Department



Authorization Form  
(Where Owner is a Business Entity)

Please complete this form if someone other than the owner is representing the property owner in this matter.

I, Rev. John E. Baker as  
*Please Print Name of person with authority to execute documents on behalf of entity*

Pastor or for the Archdiocese of Miami  
*Name of office (President, Managing Member) Name of owner from deed*

authorize John O'Neill  
*Please Print Name of Representative*

to be the representative for this application and act on my/our behalf before the City of Key West.

John E. Baker  
*Signature of person with authority to execute documents on behalf on entity owner*

Subscribed and sworn to (or affirmed) before me on this 7/8/2016  
*Date*

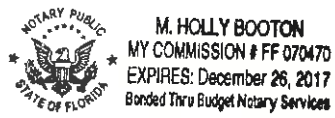
by John Baker  
*Name of person with authority to execute documents on behalf on entity owner*

He She is personally known to me or has presented \_\_\_\_\_ as identification.

M. Holly Booton  
*Notary's Signature and Seal*

M. Holly Booton  
*Name of Acknowledger typed, printed or stamped*

070470  
*Commission Number, if any*



City of Key West  
Planning Department



Verification Form

(Where Authorized Representative is an individual)

I, Tom Pope, being duly sworn, depose and say that I am the Authorized Representative of the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

724 Truman

Street address of subject property

All of the answers to the above questions, drawings, plans and any other attached data which make up the application, are true and correct to the best of my knowledge and belief. In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.

[Signature]

Signature of Authorized Representative

Subscribed and sworn to (or affirmed) before me on this 7/8/2016 by

date

Tom Pope

Name of Authorized Representative

He/She is personally known to me or has presented \_\_\_\_\_ as identification.

M. Holly Booton

Notary's Signature and Seal

M. Holly Booton

Name of Acknowledger typed, printed or stamped



M. HOLLY BOOTON  
MY COMMISSION # FF 070470  
EXPIRES: December 26, 2017  
Bonded Thru Budget Notary Services

070470

Commission Number, if any



City of Key West  
Planning Department



Authorization Form  
(Where Owner is a Business Entity)

Please complete this form if someone other than the owner is representing the property owner in this matter.

I, Rev. John C. Baker as  
*Please Print Name of person with authority to execute documents on behalf of entity*

Pastor of the Archbishop of Miami  
*Name of office (President, Managing Member) Name of owner from deed*

authorize Tom Pope  
*Please Print Name of Representative*

to be the representative for this application and act on my/our behalf before the City of Key West.

John C. Baker  
*Signature of person with authority to execute documents on behalf on entity owner*

Subscribed and sworn to (or affirmed) before me on this 7/8/2016  
*Date*

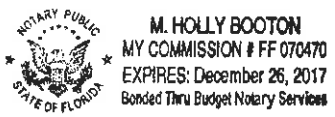
by John Baker  
*Name of person with authority to execute documents on behalf on entity owner*

He is personally known to me or has presented \_\_\_\_\_ as identification.

M. Holly Booton  
*Notary's Signature and Seal*

M. Holly Booton  
*Name of Acknowledger typed, printed or stamped*

070470  
*Commission Number, if any*



City of Key West  
Planning Department



Authorization Form  
(Where Owner is a Business Entity)

Please complete this form if someone other than the owner is representing the property owner in this matter.

I, Rev. John C. Baker as  
*Please Print Name of person with authority to execute documents on behalf of entity*

Pastor or for the Archbishop of Miami  
*Name of office (President, Managing Member) Name of owner from deed*

authorize Ashley Monnier  
*Please Print Name of Representative*

to be the representative for this application and act on my/our behalf before the City of Key West.

John C. Baker  
*Signature of person with authority to execute documents on behalf on entity owner*

Subscribed and sworn to (or affirmed) before me on this 7/8/2016  
*Date*

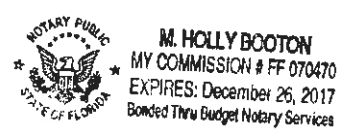
by John Baker  
*Name of person with authority to execute documents on behalf on entity owner*

He/She is personally known to me or has presented as identification.

M. Holly Booton  
*Notary's Signature and Seal*

M. Holly Booton  
*Name of Acknowledger typed, printed or stamped*

070470  
*Commission Number, if any*



**City of Key West  
Planning Department**



**Verification Form**  
*(Where Authorized Representative is an individual)*

I, JORGE VILLOVICENCIO being duly sworn, depose and say that I am the Authorized Representative of the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

724 TRUMAN AVE. KEY WEST, FL. 33040  
*Street address of subject property*

All of the answers to the above questions, drawings, plans and any other attached data which make up the application, are true and correct to the best of my knowledge and belief. In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.

[Signature]  
*Signature of Authorized Representative*

Subscribed and sworn to (or affirmed) before me on this 7/13/16 by  
*date*

JORGE VILLOVICENCIO  
*Name of Authorized Representative*

He/She is personally known to me or has presented \_\_\_\_\_ as identification.

[Signature]  
*Notary's Signature and Seal*

\_\_\_\_\_  
*Name of Acknowledger typed, printed or stamped*



\_\_\_\_\_  
*Commission Number, if any*

J. PATRICK FITZGERALD & ASSOCIATES, P.A.

ATTORNEYS AT LAW  
110 MERRICK WAY  
SUITE 3-B

CORAL GABLES, FLORIDA 33134

TELEPHONE (305) 443-9162  
TELEFAX (305) 443-6613

J. PATRICK FITZGERALD  
ROBERTO J. DIAZ  
THOMAS H. COURTNEY  
MAURA FITZGERALD JENNINGS

PALM BEACH ADDRESS  
1615 FORUM PLACE, SUITE 200  
WEST PALM BEACH, FLORIDA 33401  
(561) 659-6438

OF COUNSEL:  
SUZANNE A. DOCKERTY

Reply To:  
Coral Gables

February 15, 2013

To Whom It May Concern:

Re: Real Estate and related interests held by the Archbishop of the Archdiocese of Miami  
Property: St. Mary Star of the Sea Parish  
Address: 1010 Windsor Lane, Key West, Florida 33040

This letter shall serve as an opinion of title to confirm ownership for the above-referenced Property. I hereby certify that the fee simple title owner of the Property is The Most Reverend Thomas G. Wenski, Archbishop of the Archdiocese of Miami, his successors in office, a corporation sole.

Property conveyed to the Roman Catholic Church is taken in the name of the bishop or archbishop of the diocese. This presents the concept of a "corporation sole." A corporation sole consists of a single person (and his successors in office) who is made a corporation by common law in order to give him legal capacity and advantages which, as a natural person, he would otherwise not have. Upon the death, retirement or removal of the bishop or archbishop, the powers automatically pass to the next appointed bishop or archbishop of the diocese. The concept of the corporation sole originated as a means to the orderly transfer of Church property serving to keep title within the Church and for it not to be treated as the estate of the bishop or archbishop. The State of Florida recognizes corporation soles under common law for acquiring, holding and disposing of title to Church property. As such, the archbishop is not deemed a corporate entity under Florida law.

Attached are copies of the Succession Affidavits confirming passage from The Most Reverend Coleman F. Carroll to The Most Reverend Edward A. McCarthy, and then from The Most Reverend Edward A. McCarthy to The Most Reverend John C. Favalora; and from The Most Reverend John C. Favalora to The Most Reverend Thomas G. Wenski.

Very truly yours,



Suzanne A. Dockerty

5501-613

77221901

77 SEP 7 AM 10 29

RE 8792 #1022

AFFIDAVIT

STATE OF FLORIDA:  
                  SS:  
COUNTY OF DADE :

BEFORE ME, the undersigned authority, personally appeared REVEREND MONSIGNOR NOEL FOGARTY, who being on oath, first duly sworn, deposes and says:

1. That he is a resident of Dade County, Florida, a priest of the Roman Catholic Church and Vicar General and Chancellor of the Archdiocese of Miami, Florida.

2. The Affiant further says that on the twenty-sixth (26) day of July, 1977, The Most Reverend Coleman P. Carroll, Archbishop of the Archdiocese of Miami, County of Dade, State of Florida, died (see Exhibit "A"), at which time he was succeeded by The Most Reverend Edward A. McCarthy as Archbishop of the Archdiocese of Miami, pursuant to a Papal Bull issued by His Holiness Pope Paul VI on July 7, 1976 in which Archbishop Edward A. McCarthy was designated as Co-Adjutor Archbishop of the Archdiocese of Miami, with right of succession and, as such, The Most Reverend Edward A. McCarthy assumes all right, title and interest to all property, real, personal and/or mixed, together with whatever else is officially registered in the name of The Most Reverend Coleman P. Carroll as Archbishop of the Archdiocese of Miami.

3. The Affiant further says that the Archdiocese of Miami comprises the following counties: Glades, Martin, Hendry, Palm Beach, Collier, Broward, Dade and Monroe, all within the State of Florida.

FURTHER AFFIANT SAYETH NAUGHT...

*Noel Fogarty*

(SEAL)  
REVEREND MONSIGNOR NOEL  
FOGARTY, Vicar General  
and Chancellor of the  
Archdiocese of Miami

SWORN TO and SUBSCRIBED before me this 23<sup>rd</sup> day of August, A.D., 1977.

*Joseph M. Fitzgerald*  
NOTARY PUBLIC - State of  
Florida, at Large



My Commission Expires:

MY COMMISSION EXPIRES SEP 28 1979

6.0

871171

OFF REC 1334 HASE2367

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AFFIDAVIT

STATE OF FLORIDA

COUNTY OF DADE

SS:

Before me, the undersigned authority, personally appeared The Most Reverend Edward A. McCarthy, Archbishop Emeritus of the Archdiocese of Miami, who being duly sworn according to law, deposes and says as follows:

1. that on December 20, 1994, The Most Reverend John C. Favalora was installed as the Archbishop of the Archdiocese of Miami, succeeding myself, The Most Reverend Edward A. McCarthy.

2. that effective December 20, 1994, The Most Reverend John C. Favalora, as Archbishop of the Archdiocese of Miami, his successors in office, a corporation sole, is the Metropolitan Archbishop of the Archdiocese of Miami which embraces the counties of Dade, Broward and Monroe in the State of Florida.

3. that pursuant to the Canon Law of the Roman Catholic Church, The Most Reverend John C. Favalora, has all rights of succession to myself, The Most Reverend Edward A. McCarthy.

4. that under the doctrine of corporation sole, the title to all property in the Archdiocese of Miami, which encompasses the counties of Dade, Broward and Monroe, was held by The Most Reverend Edward A. McCarthy, as Archbishop of the Archdiocese of Miami, his successors in office, a corporation sole, as of July 26, 1977 through December 20, 1994.

5. that under the doctrine of corporation sole, the title to all property in the Archdiocese of Miami, which encompasses the counties of Dade, Broward and Monroe, is held by The Most Reverend John C. Favalora, as Archbishop of the Archdiocese of Miami, his successors in office, a corporation sole, as of December 20, 1994.

6. That under penalties of perjury, I declare that I have examined this certification and to the best of my knowledge and belief it is true, correct, and complete.

FURTHER AFFIANT SAYETH NOT.

*Edward A. McCarthy*  
The Most Reverend Edward A. McCarthy

The foregoing instrument was acknowledged before me this 20<sup>th</sup> day of December, 1994, by The Most Reverend Edward A. McCarthy, Archbishop Emeritus of the Archdiocese of Miami, who is personally known to me or who has produced \_\_\_\_\_ as identification.

*Ethel Marinelli*  
NOTARY PUBLIC-STATE OF FLORIDA,  
At Large

FILED  
NOV 22 1994  
3M DEB 72 PZ 59  
COUNTY OF DADE  
MONROE COUNTY FLA

Commission Expires: June 5, 1997

OFFICIAL NOTARY SEAL  
ETHEL MARINELLI  
COMMISSION NUMBER  
CG284717  
BY COMMISSION EXP.  
JUNE 5 1997

Recorded in  
Book 1334 Page 2367  
Date of Recording  
Clerk Clerk Court





## THE CITY OF KEY WEST

Post Office Box 1409 Key West, FL 33041-1409 (305) 809-3700

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**TO:** Ginny Haller, Planner II

**FROM:** Elizabeth Ignoffo, E.I., Permits Engineer

**CC:** Thomas E. Pope, P.A., Architect

**DATE:** July 11, 2016

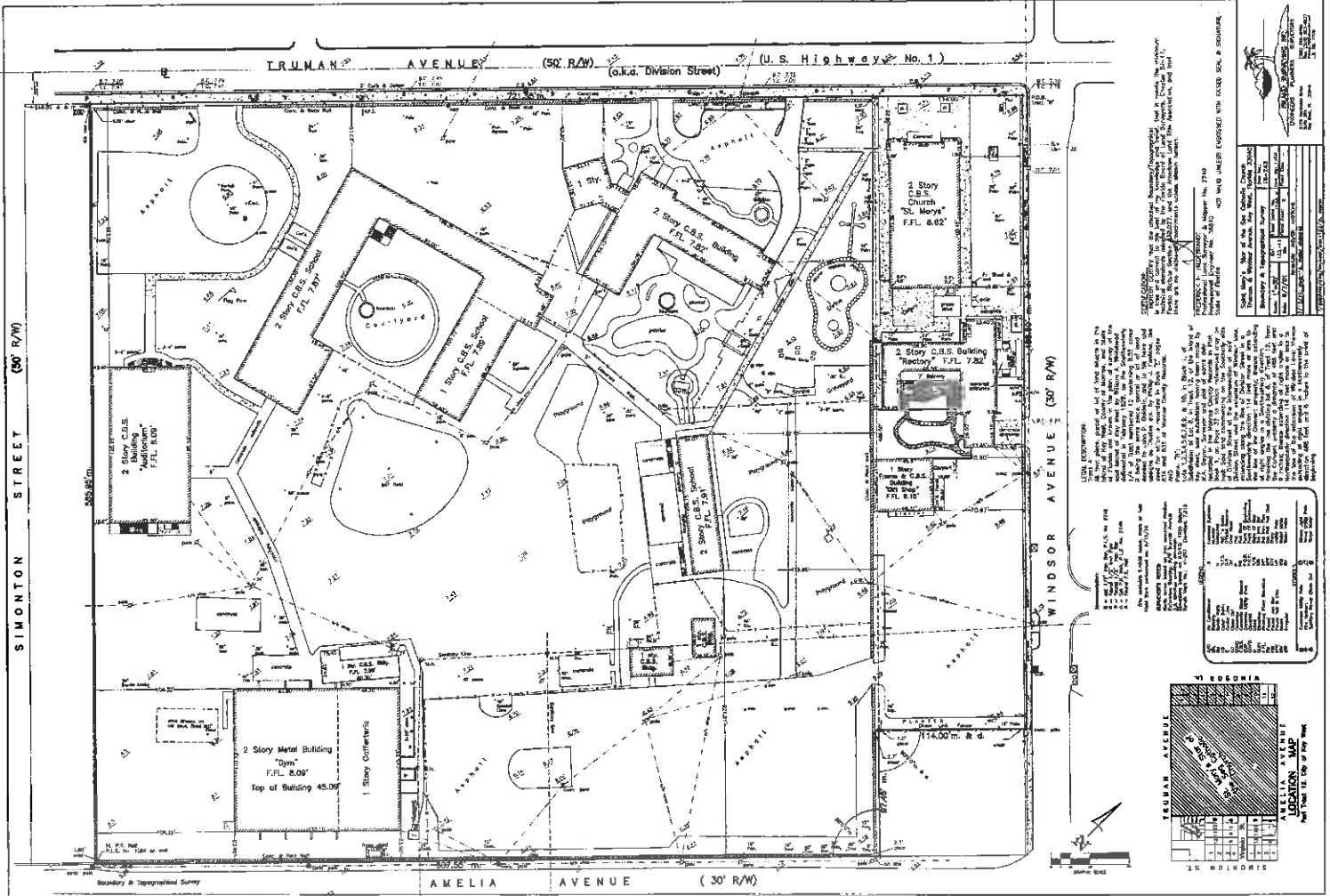
**SUBJECT:** **Proposed Gymnasium Building**  
**Saint Mary's Star of the Sea**  
**724 Truman Avenue**  
**Stormwater Management Plan Exemption**

Plans for the proposed gymnasium building replacement, dated June 13, 2016, were reviewed. The new steel building will be built on the same footprint as the existing steel with concrete foundation structure. A canopy, less than 500 sq.ft., will be erected over the main entrance.

Pursuant to City of Key West Code of Ordinances Sec. 108-716, construction or modification which does not create an impervious surface exceeding 500 square feet is exempt from obtaining a permit for surface water management. Therefore, a stormwater management plan will not be required for this application.



# Survey



**LEGAL DESCRIPTION:**  
All that portion of lot 14 of Block 14 of the City of Chicago, Cook County, Illinois, known as the 'St. Mary's C.B.S. Church and School' and more particularly described as follows: To-wit: The portion of the above described lot 14 bounded on the north by the center line of Truman Avenue (U.S. Highway No. 1), on the east by the center line of Windsor Avenue, on the south by the center line of Amelia Avenue, and on the west by the center line of Simonton Street, containing approximately 0.12 acre, more or less.

**PROPOSED IMPROVEMENTS:**  
As shown on the attached plan, to-wit: The proposed improvements shown thereon.

**PREPARED BY:**  
H. L. ...

**DATE:** ...

**SCALE:** 1" = 100'

NO.	DESCRIPTION	AREA (S.Q. FT.)	AREA (S.Q. METERS)
1	2 Story C.B.S. Church	10,000	929.03
2	1 Story C.B.S. School	8,000	742.81
3	2 Story C.B.S. Gym	12,000	1114.28
4	1 Story C.B.S. Cafeteria	4,000	371.44
5	Playground	20,000	1847.56
6	Parking	10,000	929.03
7	Driveway	2,000	185.80
8	Other	2,000	185.80
<b>TOTAL</b>		<b>68,000</b>	<b>6312.25</b>

**AMELIA AVENUE**

**LOCATION MAP**

Part of the City of Chicago



NO.	DESCRIPTION	AREA (S.Q. FT.)	AREA (S.Q. METERS)
1	2 Story C.B.S. Church	10,000	929.03
2	1 Story C.B.S. School	8,000	742.81
3	2 Story C.B.S. Gym	12,000	1114.28
4	1 Story C.B.S. Cafeteria	4,000	371.44
5	Playground	20,000	1847.56
6	Parking	10,000	929.03
7	Driveway	2,000	185.80
8	Other	2,000	185.80
<b>TOTAL</b>		<b>68,000</b>	<b>6312.25</b>

# **Landscape Plan & Buffer Modification**



THE CITY OF KEY WEST  
Tree Commission

Post Office Box 1409 Key West, FL 33041-1409  
Telephone: 305-809-3764

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September 14, 2016

Most Rev Thomas G. Wenski  
Archbishop of the Archdiocese of Miami  
7344 SW 48<sup>th</sup> Street  
Miami, FL 33155

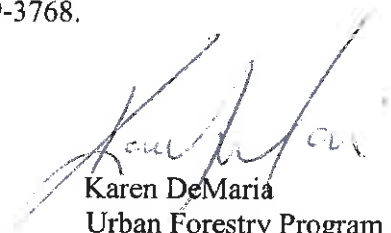
To Whom It May Concern:

The City of Key West Tree Commission recently considered your permit application, T16-8099 for Final Landscape Plan Approval for reconstruction of a gymnasium at property located on 724 Truman Avenue, Key West, FL at their regularly scheduled meeting on September 13, 2016.

The Tree Commission **Approved** the **Final Landscape Plan** for the above mentioned property. If you have any questions please call the office at (305) 809-3768.

Sincerely,

  
David Jackson  
Chairman, Tree Commission

  
Karen DeMaria  
Urban Forestry Program Manager  
City of Key West  
3140 Flagler Avenue  
Key West, FL 33040  
Office: 305/809-3768  
Fax: 305/809-3978  
[kdemaria@cityofkeywest-fl.gov](mailto:kdemaria@cityofkeywest-fl.gov)

cc: Basilica at St. Mary's, 1010 Windsor Lane, Key West, FL 33040

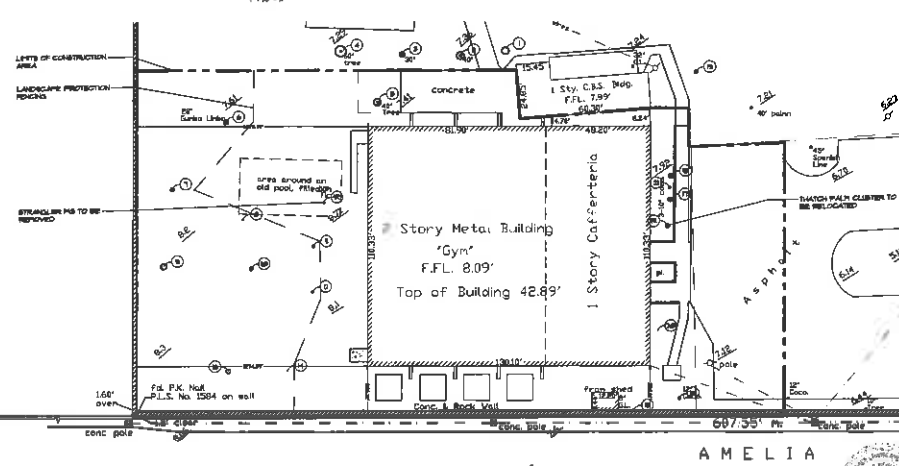
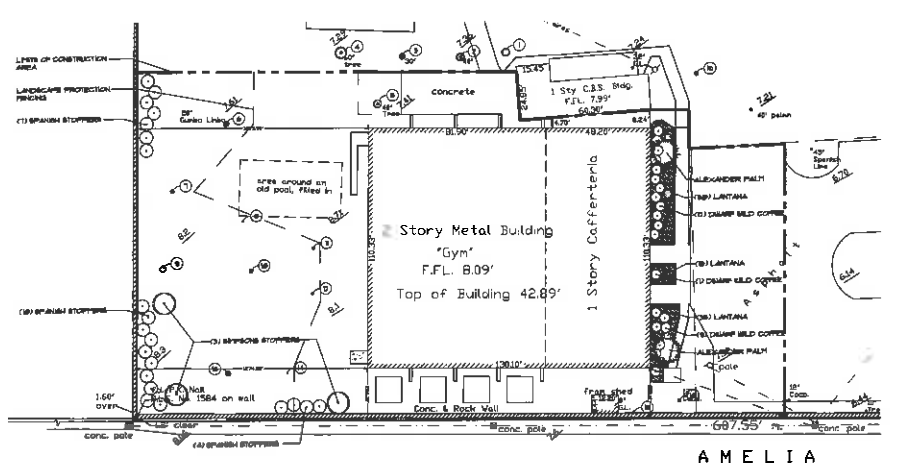
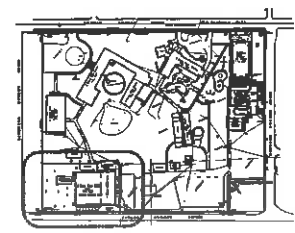
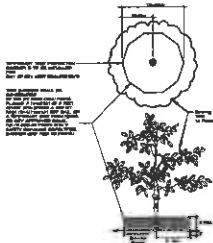
cc: Cynthia's Blue Palms, 1006 16<sup>th</sup> Terrace, Key West, FL 33040

**EXISTING TREES & PALMS**

ID	Species	Common	Size	Condition	Value
1	Quercus prinus	White Oak	12' x 12"	Excellent	High
2	Quercus laevis	Live Oak	10' x 10"	Excellent	High
3	Quercus alba	White Oak	12' x 12"	Excellent	High
4	Quercus sp.	Oak	10' x 10"	Excellent	High
5	Quercus sp.	Oak	10' x 10"	Excellent	High
6	Quercus sp.	Oak	10' x 10"	Excellent	High
7	Quercus sp.	Oak	10' x 10"	Excellent	High
8	Quercus sp.	Oak	10' x 10"	Excellent	High
9	Quercus sp.	Oak	10' x 10"	Excellent	High
10	Quercus sp.	Oak	10' x 10"	Excellent	High
11	Quercus sp.	Oak	10' x 10"	Excellent	High
12	Quercus sp.	Oak	10' x 10"	Excellent	High
13	Quercus sp.	Oak	10' x 10"	Excellent	High
14	Quercus sp.	Oak	10' x 10"	Excellent	High
15	Quercus sp.	Oak	10' x 10"	Excellent	High
16	Quercus sp.	Oak	10' x 10"	Excellent	High
17	Quercus sp.	Oak	10' x 10"	Excellent	High
18	Quercus sp.	Oak	10' x 10"	Excellent	High
19	Quercus sp.	Oak	10' x 10"	Excellent	High
20	Quercus sp.	Oak	10' x 10"	Excellent	High

**PROPOSED NEW PLANTING**

ID	Species	Common	Size	Condition	Value
1	Quercus prinus	White Oak	12' x 12"	Excellent	High
2	Quercus laevis	Live Oak	10' x 10"	Excellent	High
3	Quercus alba	White Oak	12' x 12"	Excellent	High
4	Quercus sp.	Oak	10' x 10"	Excellent	High
5	Quercus sp.	Oak	10' x 10"	Excellent	High
6	Quercus sp.	Oak	10' x 10"	Excellent	High
7	Quercus sp.	Oak	10' x 10"	Excellent	High
8	Quercus sp.	Oak	10' x 10"	Excellent	High
9	Quercus sp.	Oak	10' x 10"	Excellent	High
10	Quercus sp.	Oak	10' x 10"	Excellent	High
11	Quercus sp.	Oak	10' x 10"	Excellent	High
12	Quercus sp.	Oak	10' x 10"	Excellent	High
13	Quercus sp.	Oak	10' x 10"	Excellent	High
14	Quercus sp.	Oak	10' x 10"	Excellent	High
15	Quercus sp.	Oak	10' x 10"	Excellent	High
16	Quercus sp.	Oak	10' x 10"	Excellent	High
17	Quercus sp.	Oak	10' x 10"	Excellent	High
18	Quercus sp.	Oak	10' x 10"	Excellent	High
19	Quercus sp.	Oak	10' x 10"	Excellent	High
20	Quercus sp.	Oak	10' x 10"	Excellent	High



**St Mary's Gym Replacement**

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**THOMAS E. POPE, P.A. ARCHITECT**

615 White Street, Suite 111  
 Raleigh, NC 27601  
 Phone: 408.397.1111

Scale: As Shown  
 Revision: 11/11/11

Sheet: 11

11.7.11: Revised and Approved by Greg Reynolds, PE  
 Landscape Architect #14 048724

# Site Plans

**THOMAS E. POPE, P.A.**  
ARCHITECTURE, RESTORATION, PLANNING  
610 WHITE STREET  
KEY WEST, FLORIDA 33040  
(305) 296-3611  
FAX (305) 294-2923  
TEPOPEPA@AOL.COM

August 1, 2016

## **Project Analysis**

St. Mary's Star of the Sea Catholic School Gymnasium Replacement Building  
724 Truman Avenue, Key West

The following is a complete analysis of the proposed project including development plan review and approval criteria.

Existing development is depicted in attached surveys and plans, including:

- Size of site
- Buildings
- Structures
- Parking
- FEMA flood zones
- Topography
- Easements
- Utility locations
- Existing vegetation
- Existing stormwater
- Adjacent land uses
- Adjacent buildings
- Adjacent driveways

Proposed development is depicted in attached plans prepared by licensed engineers and architect, including:

- Buildings
- Setbacks
- Parking
- Driveway dimensions & material
- Utility locations
- Garbage & recycling
- Signs
- Lighting
- Project Statistics
- Building Elevations
- Height of buildings
- Finished floor elevations
- Height of existing and proposed grades
- Drainage Plan
- Landscape Plan

### **Solutions Statement:**

The proposed development is wholly consistent with the character and intent of the HPS future land use designation and the current zoning district.

### **Key persons and entities involved in this project are as follows:**

Owner: Most Rev. Thomas G. Wenski, Archbishop  
of the Archdiocese of Miami

Authorized Agent: Horacio Carlos Huembes  
Villa & Associates, Inc.

Architect: Horacio Carlos Huembes  
Villa & Associates, Inc.

Legal and Equitable Owners: Most Rev. Thomas G. Wenski, Archbishop  
of the Archdiocese of Miami

<b>SITE DATA</b>	<b>ALLOWED</b>	<b>EXISTING</b>	<b>PROPOSED</b>	<b>COMPLIANCE</b>
ZONING	HPS	HPS	HPS	Complies
SITE SIZE	na	355,095 sf	355,095 sf	Complies
FEMA FLOOD ZONE	Zone X	Zone X	Zone X	Complies
FAR	.8	No change	to existing	Complies
DENSITY	na			Complies
COMMERCIAL FLOOR AREA	na			Complies
LANDSCAPING				Waiver Requested
HEIGHT	25'	37'	36'3"	Complies
BUILDING COVERAGE	30%	No change	to existing	Complies
INPERVIOUS SURFACE	50%	No change	to existing	Complies
LOT SIZE/PROJECT SITE	na	355,095 sf	355,095 sf	Complies
LOT WIDTH	na	607'	607'	Complies
LOT DEPTH	na	585'	585'	Complies
FRONT SETBACK	na	No change	to existing	Complies
SIDE SETBACK	7.5'	106.25'	106.25'	Complies
STREET SIDE SETBACK	na	na	na	Complies
REAR SETBACK	7.5'	23.86'	23.86'	Complies

**Other Project Information:**

The target date for commencement shall follow entitlement approvals as quickly as possible

**Intergovernmental Coordination:**

Because this is a replacement building and there will be no impacts to existing conditions no intergovernmental coordination is required.

**Schedule and Process:**

Schedule is anticipated as follows:

1. Planning Board 9/15/16
2. HARC 9/27/16
3. Tree Commission 10/25/16

**Phasing:**

Construction will be single phased

**ANALYSIS: EVALUATION FOR COMPLIANCE WITH THE LDRS**

**Concurrency Facilities and Other Utilities or Services (Section 108-233)**

**The anticipated public facility impacts of the proposed development:**

The following concurrency analysis demonstrates that the proposed replacement building will have the same impacts to the facilities as the existing building.

**The ability of existing facilities to accommodate the proposed replacement buildings adopted level of service standards:**

All necessary services exist on or are available to the site and will accommodate the proposed replacement building at the adopted levels of service.



**Any existing facility deficiencies that will need to be corrected prior to the completion of the proposed replacement building.**

There are no existing facility deficiencies that will need to be corrected prior to the completion of the proposed replacement building

**The facility improvements or additions necessary to accommodate the impact of the proposed development at the adopted level of service standards and the entities responsible for the design and installation of all required facility improvements or additions:**

There are no facility improvements or additions necessary to accommodate any increased impact since the replacement building will have the same impacts as the existing building.

**The date such facility improvements or additions will need to be completed to be:**

NA – No improvements required.

**Fire Protection (Section 108-233 (8))**

The replacement building will be fully sprinkled and will meet all current codes.

**Site Location and Character of Use (Section 108-235):**

The replacement building will be in the same footprint / envelope and will have the same use as the existing building.

**Location and screening of mechanical equipment, utility hardware and waste storage areas (Section 108-279):**

All mechanical equipment will be located appropriately and screened from public view by the existing historic wall.

**Utility lines (Section 108-282):**

Utilities will be placed underground as appropriate.

**Commercial and manufacturing activities conducted in enclosed buildings (Section 108-283):**

NA

**Exterior Lighting (Section 108-284):**

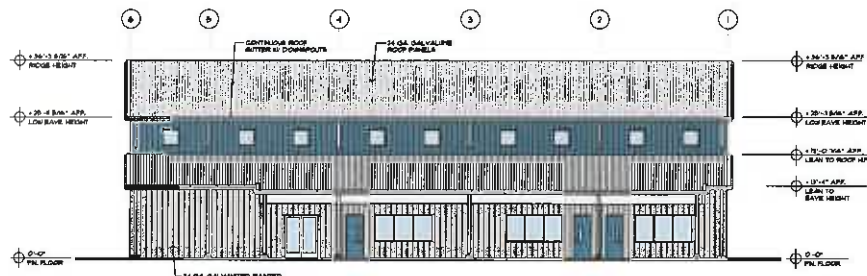
Per Section 108-284, all proposed lighting shall shield and arrange lighting sources to eliminate glare from roadways and streets and shall direct light away from properties lying outside the district. Shielding of lighting elements shall be accomplished by using directional fixtures or opaque shades. Street lighting is existing.

**Signs (Section 108-285):**

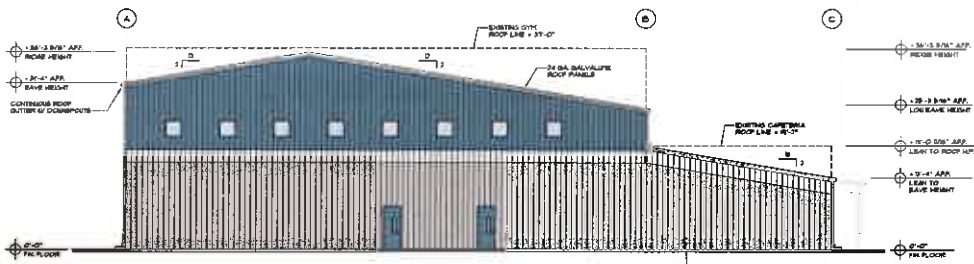
NA – none proposed

**Pedestrian sidewalks (Section 108-286):**

There is no new sidewalk proposed, pedestrian ingress and egress will be clearly marked and accessible as not to interfere with vehicular traffic or public right-of access.



NORTH EAST ELEVATION 1/8" = 1'-0"



SOUTH EAST ELEVATION 1/8" = 1'-0"


PROPOSED GYMNASIUM BUILDING  
 FOR  
 SAINT MARY'S STAR OF MARY CATHOLIC SCHOOL  
 124 TRILAKA AVENUE, WEST PALM BEACH, FL 33411  
 OWNER: MOST REV. JOHN THOMAS G. WELSH, ARCHBISHOP OF MIAMI  
 ARCHDIOCESE OF MIAMI, 941 ESCAYNE BLVD., MIAMI BEACH, FL 33139



VILLA & ASSOCIATES INC.  
 ARCHITECTURE PLANNING INTERIOR DESIGN  
 3800 UNIVERSITY BLVD., SUITE 200  
 WEST PALM BEACH, FL 33411  
 PHONE: (561) 833-3333  
 FAX: (561) 833-3334  
 WWW.VILLA-ARCH.COM



DATE:	SCALE:
06/24/16	1/8" = 1'-0"
CITY: MIAMI, FLORIDA	
PROJECT: SAINT MARY'S STAR OF MARY CATHOLIC SCHOOL	
SHEET NO.: A-4	
TOTAL SHEETS: 6	

**Loading docks (Section 108-287):**

NA – none proposed/required

**Storage Areas (Section 108-288):**

NA – No outdoor storage areas are proposed

**On-Site and Off-Site Parking and Vehicular, Bicycle, and Pedestrian Circulation (Section 108-244):**

The replacement building will have no parking impacts on the existing off street parking lot because the size and use are the same as the existing building.

**Housing (Section 108-245):**

NA

**Economic resources (Section 108-245):**

NA

**Special Conditions (Section 108-2447):**

The proposal complies with the goals, objectives and policies of the comprehensive plan. There are no conflicts with the existing public facilities, such as wastewater treatment and transportation.

There is no impact on the unincorporated portion of the county.

**Construction Management Plan and Inspection Schedule (Section 108-248):**

The construction will be completed in a single phase with the necessary demolition of the areas indicted on the site plans and reconstruction to follow.

**Open Space, Screening, Buffers and Landscaping (Article V and VI) of Chapter 108:**

There are no impacts on Open Space because the proposed replacement building will maintain the foot print of the existing building. The landscape buffer requirements will be met with the perimeter wall and existing canopy trees with the addition of other native trees within the buffer area as noted in the requested waiver.

**Request for Modification, (Section 108-347):**

This application / request for modification to the standards of this ordinance is hereby filed with the city planning office and shall be considered by the planning board after reviewing the recommendations of the city planner or designated staff. The planning board shall render the final action.

This request is to modify:

Section 108-347 to allow the existing historic wall to act as screening component of landscape buffer yard.

The waiver in is the public interest as it allows the design of the site to conform to, and enhance, Amelia Street. The modification will not have an adverse impact on the public interest, or on adjacent property.

The modification is not discretionary, considering similar situations in the general area. The project is bring the property into greater conformance with the code.

Superior alternative. The development will provide new sub canopy trees along the interior side of the historic wall.

Protection of significant features. The waiver or modification will significantly enhance existing environmental features through the increase of sub canopy trees

Deprivation of reasonable use. Strict application of the requirements would effectively deprive the owner of reasonable use of the land.

Technical impracticality. Strict application of the requirement is technically impractical.

**Stormwater and Surface Water Management (Article VIII):**

No stormwater management plan is required because there is no increase in footprint.

**Flood Hazard Areas (Division 4 – Sections 108-821 through 108-927):**

The proposed project is located in the X Flood Zone. All FEMA requirements will be met.

**Utilities (Article IX):**

Electrical service shall be provided by Keys Energy. The proposed development project will use existing utility mains for potable and sewer water. Landscaping will consist of native and permitted species as shown on proposed landscape plan.

**CONCURRENCY ANALYSIS:**

The City's Comprehensive Plan Objective 9-1.5 directs the City to ensure that facilities and services needed to support development are available concurrent with the impacts of new development.

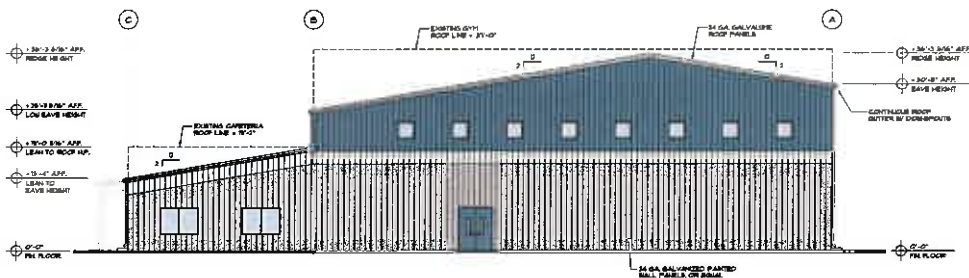
The following specific issues are outlined:

1. Potable Water & Sanitary Sewer
2. Recreation (for residential development only)
3. Solid Waste
4. Drainage
5. Roads/Trip Generation

No concurrency analysis is required because the building size and use remain the same as existing conditions. No impacts are anticipated.



SOUTH WEST ELEVATION 1/8" = 1'-0"



NORTH WEST ELEVATION 1/8" = 1'-0"

REVISIONS	
<b>PROPOSED GYMNASIUM BUILDING</b> <b>SANCT MARY'S STAR OF THE SEA CATHOLIC SCHOOL</b> 724 TRUMAN AVENUE, WEST WEST F. ORLA, FLORIDA OWNER: MOST REV. FRANK THOMAS G. WENSKI, ARCHBISHOP OF MIAMI ARCHDIOCESE OF MIAMI, 1001 BISCAYNE BLVD., MIAMI BEACH, FL 33139	
	<b>VILLA &amp; ASSOCIATES</b> INC. PROFESSIONAL ENGINEER STATE OF FLORIDA LICENSE NO. 33155 - CIVIL ENGINEER CONSULTANT
DATE: 02-14-16 DATE PLOTTED: 02-16-16	SHEET: OF 6



## THE CITY OF KEY WEST

Post Office Box 1409 Key West, FL 33041-1409 (305) 809-3700

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**TO:** Ginny Haller, Planner II

**FROM:** Elizabeth Ignoffo, E.I., Permits Engineer

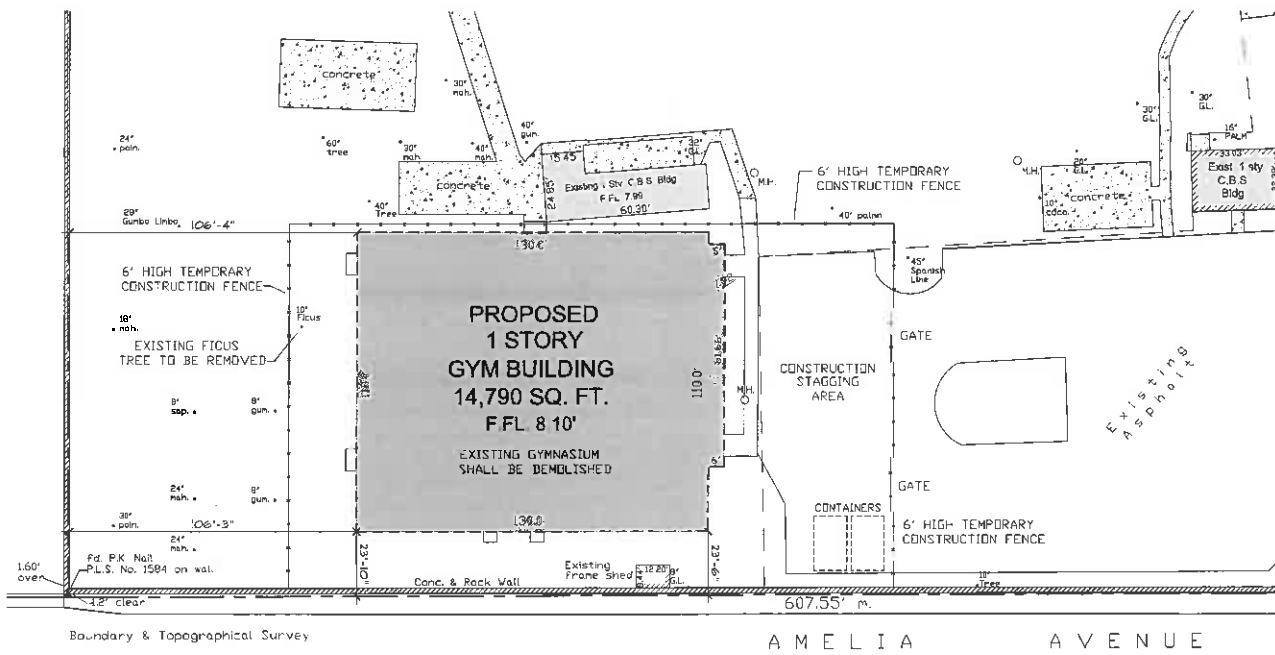
**CC:** Thomas E. Pope, P.A., Architect

**DATE:** July 11, 2016

**SUBJECT:** **Proposed Gymnasium Building**  
**Saint Mary's Star of the Sea**  
**724 Truman Avenue**  
**Stormwater Management Plan Exemption**

Plans for the proposed gymnasium building replacement, dated June 13, 2016, were reviewed. The new steel building will be built on the same footprint as the existing steel with concrete foundation structure. A canopy, less than 500 sq.ft., will be erected over the main entrance.


Pursuant to City of Key West Code of Ordinances Sec. 108-716, construction or modification which does not create an impervious surface exceeding 500 square feet is exempt from obtaining a permit for surface water management. Therefore, a stormwater management plan will not be required for this application.



**DEMOLITION NOTES**

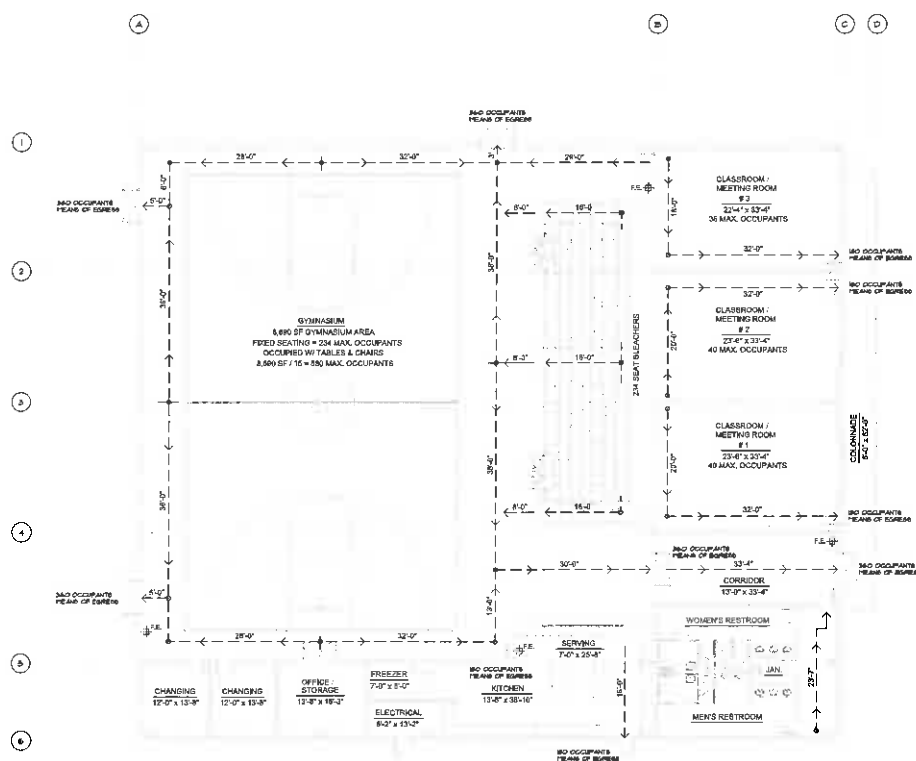
1. ALL ITEMS TO BE DEMOLISHED AND DISPOSED OF, MUST BE TAKEN AWAY FROM THE GENERAL PROPERTY OF ANY ITEMS SUSPECTED OF BEING CONSIDERED HAZARDOUS WASTE (SOLVENTS, ASPHALT, ETC.). SHALL BE HANDLED AS PER LOCAL CODES, AND PROPER AUTHORITIES ADVISED. THE OWNER SHALL BE RESPONSIBLE FOR ALL POSSIBLE LIABILITIES BY BORING, INSURANCE, AND CONSENT OF REGULATION AND QUALIFICATIONS.
2. ALL LANDSCAPED AREA NOT BEING REMOVED (INCLUDING TREES) TO REMAIN AS THEY ARE, MUST BE PROTECTED DURING CONSTRUCTION, AND DAMAGED AREAS REPAIRED.
3. OBJECTS, BILLS AND BRICKS TO REMAIN IN PLACE SHALL BE PROTECTED AT ALL TIMES FROM DAMAGE.
4. ELECTRICAL, PLUMBING, AND MECHANICAL ITEMS BEING REMOVED TO BE COMPLETELY DISCONNECTED AT SOURCE (ELECTRICAL PANELS, CIRCUITS, AND BRICKS) TO BE MARKED. ALL PLUMBING LINES LEADING TO AND FROM BUILDING ARE TO BE CAPPED AS REQUIRED.
5. FACILITIES WILL HAVE TO BE MAINTAINED IN OPERATION DURING DEMOLITION AND CONSTRUCTION. COORDINATE ALL PHASES WITH OWNER AND ALL PROVIDE SPECIALLY POWER.
6. ALL DEMOLITION MUST BE DONE CAREFULLY TO SAVE UNDISTURBED POLES, LINES AND OTHER AERIAL AND UNDERGROUND FACILITIES.

CONSTRUCTION SITE PLAN 1/16"=1'-0"


<p><b>VILLA &amp; ASSOCIATES</b> INC.</p> <p>2345 SW 10th Street • Miami, FL 33135 • (305) 551-1111</p>
<p>PROPOSED GYMNASIUM BUILDING FOR: SAINT MARY'S STAR OF THE SEA CATHOLIC SCHOOL OWNER: MOST REV. BEND SINCE, ARCHBISHOP OF MIAMI ARCHDIOCESE OF MIAMI, 5401 BISCAYNE BLVD., MIAMI BEACH, FL 33156</p>
<p>DATE: 12-16-18 1:16"=1'-0"</p> <p>SHEET: 1 OF 1</p> <p>CS-1 OF 1</p>

# **Life Safety Plan**





NOTE:  
ALL FIXED SEATING SHALL BE PURCHASED BY OWNER DIRECT FROM MANUFACTURER AND INSTALLED BY MANUF. MANUFACTURER SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL. CONTRACTOR SHALL COORDINATE SCHEDULE OF INSTALLATION W/ FURNITURE MANUFACTURER.

**PRELIMINARY LIFE SAFETY FLOOR PLAN** 1/8" = 1'-0"

- NOTES:
- BUILDING SHALL BE EQUIPPED WITH A MONITORED FIRE ALARM SYSTEM IN ACCORDANCE WITH FFPC 2014 AND TIED TO THE SCHOOL FIRE ALARM SYSTEM.
  - BUILDING SHALL BE EQUIPPED WITH A MONITORED FIRE SPRINKLER PROTECTION SYSTEM IN ACCORDANCE WITH FFPC 2014

**OCCUPANCY CLASSIFICATION ANALYSIS:**  
AS PER FBC 2014 AND FLORIDA FIRE PREVENTION CODE 2014  
ASSEMBLY OCCUPANCY - AS PER FBC 2014 SECTION 503.3  
NON SEPARATED USES - AS PER FBC 2014 SECTION 506.3  
OCCUPANCIES WITHIN BUILDING:  
ASSEMBLY SECTION 503 - 8,960 SQ. FT.  
EDUCATIONAL SECTION 505 - 2,362 SQ. FT.

308.3.2 Alternative building area and height.  
The alternate building area and height of the building or portion thereof shall be based on the most restrictive alternative for the occupancy groups under consideration for the type of construction of the building in accordance with Section 503.1.

**BUILDING TYPE ANALYSIS:**  
AS PER FBC 2014 AND FLORIDA FIRE PREVENTION CODE 2014  
1. OCCUPANCY CLASSIFICATION: ASSEMBLY - GROUP A-4  
FBC 2014 - CHAPTER 3 - SECTION 503 - GROUP A  
FBC 2014 - CHAPTER 12 - NEW OCCUPANCY OCCUPANCIES  
2. CONSTRUCTION TYPE: TYPE I-A  
TYPE I-A  
3. TABLE SCHEDULED BLDG.  
AS PER FBC - TABLE 503.8 TABLE 503  
3. BUILDING AREA: 11,322 SQ. FT. (11,322 SQ. FT.)  
TYPE I-A IN THE SPRINKLED BUILDING SHALL BE PERMITTED TO BE INCREASED TO 45,125 SQ. FT. MAXIMUM ALLOWED.  
NOTE: 11,322 SQ. FT. IS THE TOTAL BUILDING AREA PROPOSED.  
4. OCCUPANT LOAD AS PER FBC 2014 1024.1.1  
AND FLORIDA FIRE PREVENTION CODE 2014  
ASSEMBLY OCCUPANCY @ 35 (8,960/35) = 256 OCCUPANTS  
EDUCATIONAL OCCUPANCY @ 20 (2,362/20) = 118 OCCUPANTS  
BUILDING OCCUPANCY (TOTAL) 374 MAXIMUM OCCUPANTS

NUMBER OF EXITS: 4 PROVIDED WHERE 3 ARE REQUIRED

**COMMON PATH OF TRAVEL:**  
THE MAXIMUM COMMON PATH OF TRAVEL FOR ASSEMBLY OCCUPANCY IN A FULLY SPRINKLED BUILDING AS PER FLORIDA FIRE PREVENTION CODE SECTION 101-12.2.5.1.2 SHALL BE MAXIMUM 75 FEET FOR 50 OCCUPANTS OR LESS AND 20 FEET FOR ANY AMOUNT HIGHER THAN 50 OCCUPANTS.  
NOTE:  
ALL SPACES IN THIS BUILDING HAVE COMMON PATH OF TRAVEL DISTANCE LENGTHS THAT ARE LESS THAN 20 FEET.

**DEAD END CORRIDORS:**  
THE MAXIMUM DEAD END CORRIDOR FOR ASSEMBLY OCCUPANCY IN A FULLY SPRINKLED BUILDING AS PER FLORIDA FIRE PREVENTION CODE SECTION 101-12.2.5.1.3 SHALL BE MAXIMUM 20 FEET.  
NOTE:  
THERE ARE NO DEAD END CORRIDORS GREATER THAN 20 FT. IN THIS BUILDING.

**TRAVEL DISTANCE TO EXITS:**  
THE MAXIMUM TRAVEL DISTANCE FOR ASSEMBLY OCCUPANCY IN A FULLY SPRINKLED BUILDING AS PER FLORIDA FIRE PREVENTION CODE SECTION 101-12.2.6(1) SHALL BE MAXIMUM 250 FEET.  
NOTE:  
ALL SPACES IN THIS BUILDING HAVE TRAVEL DISTANCE LENGTHS THAT ARE LESS THAN 250 FEET.

PROPOSED GYMNASIUM BUILDING

SANITARY MARV STARS OF THE SEA CATHOLIC SCHOOL  
17A TRUMAN AVENUE, WEST PALM BEACH, FLORIDA 33411  
OWNER: MOST REVEREND THOMAS G. WENGER, ARCHBISHOP OF MIAMI  
ARCHDIOCESE OF MIAMI, 3841 BISCAYNE BLVD., MIAMI BEACH, FL 33138

VILLA & ASSOCIATES INC.  
ARCHITECTURAL PLANNING & ENGINEERING  
10000 W. BIRCHWOOD BLVD., SUITE 100, WEST PALM BEACH, FL 33411  
(561) 841-1111

DATE: 02-14-16  
SCALE: 1/8" = 1'-0"  
DRAWN BY: [Signature]  
CHECKED BY: [Signature]  
PROJECT NO: A-3.1 of 6