

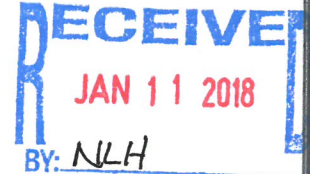
# **Application**

**DEVELOPMENT PLAN AND CONDITIONAL USE APPLICATION**  
**City of Key West Planning Department**  
**1300 White Street, Key West, FL 33040**  
**(305) 809-3720**



**Development Plan & Conditional Use Application**

**Applications will not be accepted unless complete**



Development Plan  
 Major \_\_\_\_\_  
 Minor X

Conditional Use  
 \_\_\_\_\_

Historic District  
 Yes \_\_\_\_\_  
 No \_\_\_\_\_

Please print or type:

- 1) Site Address 2222 NORTH ROOSEVELT BOULEVARD
- 2) Name of Applicant AZO ARCHITECTURE, LLC.
- 3) Applicant is: Owner \_\_\_\_\_ Authorized Representative X  
 (attached Authorization and Verification Forms must be completed)
- 4) Address of Applicant 1107 KEY PLAZA #130  
KEY WEST, FLORIDA 33040
- 5) Applicant's Phone # 305. 360. 8444 Email a20architecture@gmail.com
- 6) Email Address: PETER@UNITEDATLANTICINSURANCE.COM
- 7) Name of Owner, if different than above 2222 NORTH INC.
- 8) Address of Owner 2222 NORTH ROOSEVELT BLVD. / P.O. BOX 5925
- 9) Owner Phone # 305. 394. 1518 Email \_\_\_\_\_
- 10) Zoning District of Parcel CG RE# 00051100-000000
- 11) Is Subject Property located within the Historic District? Yes \_\_\_\_\_ No X  
 If Yes: Date of approval \_\_\_\_\_ HARC approval # \_\_\_\_\_  
 OR: Date of meeting \_\_\_\_\_
- 12) Description of Proposed Development and Use. Please be specific, list existing and proposed buildings and uses, number of dwelling units, parking, restaurant seats, vehicles proposed, etc. If there is more than one use, describe in detail the nature of each use (Give concise description here and use a separate sheet if necessary).  
RENOVATION OF DETERIORATED EXISTING BUILDING TO ACCOMMODATE  
CONFORMING, PROPOSED USE AS BANK. REAR STORAGE BUILDING TO BE  
DEMOLISHED, AND BUILDING COVERAGE TO BE REALLOCATED AS DRIVE-UP  
TELLER STATIONS, COMPLIANT WITH SETBACKS. EXISTING STRUCTURE  
TO BE FLOOD PROOFED TO COMPLY WITH FEMA REGULATIONS. EXISTING  
PARKING TO BE RE-STRIPED, AND WILL PROVIDE [ ] ADA COMPLIANT  
PARKING STALL. IMPERVIOUS SURFACE TO BE IMPROVED BY ADDITION  
OF LANDSCAPED AREAS.

**DEVELOPMENT PLAN AND CONDITIONAL USE APPLICATION**  
**City of Key West Planning Department**  
**1300 White Street, Key West, FL 33040**  
**(305) 809-3720**



13) Has subject Property received any variance(s)? Yes  No

If Yes: Date of approval 04. 2013 Resolution # 2013-41 \*

Attach resolution(s). [\*] VARIANCE APPROVED, NO BUILDING PERMITS APPLIED FOR.

14) Are there any easements, deed restrictions or other encumbrances on the subject property?

Yes  No

If Yes, describe and attach relevant documents.

BOOK 742 PAGE 25 #130853 [SEE ATTACHED]; EASEMENT AGREEMENT  
BETWEEN EAGLE STORES INC. & CROCKETT FAMILY FOR INGRESS/EGRESS

- A. For both *Conditional Uses* and *Development Plans*, provide the information requested from the attached **Conditional Use and Development Plan** sheet.
- B. For *Conditional Uses* only, also include the **Conditional Use Criteria** required under Chapter 122, Article III, Sections 122-61 and 122-62 of the Land Development Regulations (see attached copy of criteria).
- C. For *Major Development Plans* only, also provide the **Development Plan Submission Materials** required under Chapter 108, Article II, Division 7, Sections 108-226 through 108-248 of the Land Development Regulations (see attached copy of criteria) and any additional information as determined by the Planning Staff.
- D. For both *Conditional Uses* and *Development Plans*, one set of plans **MUST** be signed & sealed by an Engineer or Architect.

**Please note, development plan and conditional use approvals are quasi-judicial hearings and it is improper to speak to a Planning Board member or City Commissioner about the project outside of the hearing.**



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## ARCHITECTURE

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1107 KEY PLAZA #130  
KEY WEST, FLORIDA 33040  
A2OARCHITECTURE@GMAIL.COM

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PROJECT: 18.48 | 2222 NORTH ROOSEVELT BLVD.

City of Key West Planning Department  
1300 White Street  
Key West, FL 33040

RE: Development Plan Submission Materials

**Sec. 108-227. Title Block.**

- (1) Name of Development: Commercial Renovation
- (2) Name of Owner / Developer: 2222 North Inc. [Peter Batty Jr.]
- (3) Scale: See applicable drawing sheets.
- (4) North Arrow: See applicable drawing sheets.
- (5) Preparation and revision date(s): January 11, 2019
- (6) Location / Street Address of Development:  
2222 North Roosevelt Blvd., Key West, FL 33040

**Sec. 108-228. Identification of Key Persons.**

- (1) Owner: 2222 North Inc.
- (2) Owner's Authorized Agent: A2O Architecture, LLC.
- (3) Architect and Engineer: A2O Architecture, LLC. and Meridian Engineering
- (4) Surveyor: Oflynn & Associates
- (5) Landscape Architect: Keith Oropeza
- (6) Others Involved in Application: N/A
- (7) Verification Statement: See attached.

**Sec. 108-229. Project Description.**

- (1) Zoning: CG [General Commercial]
- (2) Project Site Size: 19,934 SF
- (3) Legal Description: On the Island of Key West and known on Key West Realty Company's First Subdivision of Part of Tract 21 and Lots 1,2,3,4, and 5, map of which said subdivision is duly recorded in Plat Book 1, at Page 43 of the Public Records of Monroe County, Florida, as Part of Square 49 and adjacent lands described as follows: Commencing at the corner of Patterson Avenue and 5th Street and running along Patterson Avenue in a Southeasterly direction 100 feet; thence at right angles in a Northwesterly direction 211.30 feet to a point that intersects Roosevelt Boulevard, as existing on January 1963; thence Northeasterly and meandering along Roosevelt Boulevard 101.37 feet along a curve to the intersection of 5th Street and Roosevelt

Boulevard; thence in a Southeasterly direction along 5th Street 192.67 feet to the Place of Beginning at the corner of 5th Street and Patterson Avenue. a/k/a 2222 Roosevelt Boulevard, Key West, Florida.

LESS

A portion of Block 49 of Plat of Key West Realty Co's First Subdivision of Tract 21, and Lots 1,2, 3, 4 and 5, Island of Key West, lying according to the Plat thereof in Plat Book 1, at Page 43, of the Public Records of Monroe County, Florida, Southerly of the Existing Right-of-Way line of State Road No. 5, North Roosevelt Boulevard, as shown on the Florida Department of Transportation Right-of-Way map for State Road No. 5, Section 90010, more particularly described as follows:

Beginning at the Point of intersection of the Westerly Right-of-Way Line of 5th Street as shown on said plat of Key West Realty Co's First Subdivision of Part of Tract 21, and Lots 1,2,3,4, and 5, Island of Key West and the Existing Southerly Right-of-Way Line of said State Road No. 5, North Roosevelt Boulevard; thence S 35°08'22" E along the Westerly Right-of-Way line of 5th Street for a distance of 14.86 feet; thence S 55°09'13" W, departing the previously described Right-of-Way Line, for a distance of 1.76 feet to a point on a circular curve concave to the Southwest and said point bears N 50°53'56" E from the center of said curve; thence Northwesterly, along the arc of said curve to the left, having a radius of 18.50 feet and a central angle of 76°47'18" for a distance of 24.79 feet to a point of cusp with a circular curve concave to the Northwest, said point bears S 27°20'08" E from the center of said curve and said point also being on the Existing Southerly Right-of-Way Line of said State Road No. 5, North Roosevelt Boulevard; thence Northeasterly, along the said Southerly Right-of-Way and along the arc of said curve to the left, having a radius of 665.00 feet and a central angle of 01°29'49" for a distance of 17.37 feet to the Point of Beginning.

- (4) Building Size: Principle Structure [2,971.10 SF]  
Accessory Structure [240.9 SF]
- (5) Floor Area Ratio: Permitted [0.8 / 15,947.20 SF]  
Proposed [0.16 / 3,212.70 SF]
- (6) Lot Coverage: Permitted [40% / 7,973.60 SF]  
Proposed [16.1% / 3,212.70 SF]
- (7) Impervious Surface: Existing [93.8% / 18,698.70 SF]  
Proposed [88.6% / 17,658.00 SF]
- (8) Pervious Surface: Existing [6.2% / 1,235.30 SF]  
Proposed [11.4% / 2,276.00 SF]
- (9) Landscape Areas: Existing [6.2% / 1,235.30 SF]  
Proposed [11.4% / 2,276.00 SF]
- (10) Parking Spaces: Permitted [8 - Spaces]  
Proposed [12- Spaces]
- (11) Delineation of Existing / Proposed Structures: See drawing sheets AE1.1 [Existing Site Plan], A1.1 [Proposed Site Plan], and Boundary Survey
- (12) Existing and Proposed Development Type denoted by Land Use including Density / Intensity: CG [Commercial General]; 16 du per acre / 1 du per lot.
- (13) Setbacks: See drawing sheet A1.1.

**Sec. 108-230. Other Project Information.**

- (1) Proposed Stages or Phases of Development or Operation and Facility Utilization: N/A; Structures will be occupied directly following completion of construction and / or completion of federal and state requirements for proposed building use [bank].
- (2) Target Dates for Each Phase: N/A; July 1, 2019 as tentative date for Certificate of Occupancy.
- (3) Expected Date of Completion: As above, July 1, 2019.
- (4) Proposed Development Plan for Site: See drawing sheet A1.1 [Site Plan].
- (5) Description of Characteristics of the Proposed Development: Proposed development will incorporate a community-type bank and two-lane drive-up teller. Parking will consist of 12 marked spaces [11-standard; 1-handicap]. Recycling will largely be handled off-site [bank privacy concerns] however, a 1-CY dumpster will be accommodated, in a fenced area at the rear [south] of the site.
- (6) For Planned Unit Developments: N/A; principle structure is an existing building that will be renovated for re-use. Existing northeast corner of building is a zero lot line due to existing conditions.
- (7) Buildings and Siting Specifications which shall be utilized to reduce potential damage, and to comply with Federal Flood Insurance Regulations: Building siting is pre-determined due to location of existing structure. Federal Flood Insurance Regulations will be accommodated through the use of filled-cell CMU block walls, with flood barrier coating, up to the Design Flood Elevation [DFE]: 9' [AE 8 + 12"]. The two egress openings will be flood proofed [product selection to be determined].
- (8) Protection against Encroachment together with Proposed Mitigation Measures to be employed within Environmentally Sensitive Areas: N/A; existing/proposed structures do not encroach on environmentally sensitive areas.

**Sec. 108-231. Residential Developments.**

- (a) If the development includes residential units...: N/A; no residential units proposed.
- (b) Refer to Division 10 of Article V...: N/A; no residential units proposed.

**Sec. 108-232. Intergovernmental Coordination.**

- (1) Provide proof of coordination with applicable Local, Regional, State and Federal Agencies, including but not limited to the following agencies that will be involved in the project:
  - a. South Florida Regional Planning Council [SFRPC]: DRC Coordination
  - b. City Electric System [CES]: DRC Coordination
  - c. State Dept. of Environmental Protection [DEP]: N/A; DRC Coordination
  - d. Army Corps of Engineers [ACOE]: N/A; DRC Coordination
  - e. South Florida Water Management District [SFWMD]: N/A; DRC Coordination
  - f. State Dept. of Transportation [DOT]: N/A; DRC Coordination
  - g. State Dept. of Community Affairs [DCA]: N/A; DRC Coordination
  - h. Florida Keys Aqueduct Authority [FKAA]: DRC Coordination
  - i. State Fish and Wildlife Conservation Commission [F&GC]: N/A; DRC Coordination
  - j. The County: N/A; DRC Coordination
- (2) Provide evidence that any necessary permit, lease, or other permission from applicable local, regional, state, and federal agencies has been obtained for any activity that will impact wetland communities or submerged land: N/A

- (3) When intergovernmental coordination efforts are incomplete, the applicant shall provide good faith efforts towards resolving intergovernmental coordination issues: Agreed.

# Warranty Deed



09/14/2015 11:39AM  
DEED DOC STAMP CL: Krys

\$0.70

**PREPARED BY:**

STEVEN A. WILLIAMS, ESQ.  
C/O U.S. DEEDS, P.A.  
213 BRENTSHIRE DRIVE  
BRANDON, FL 33511

Doc# 2045317  
Bk# 2760 Pg# 1334

**WHEN RECORDED MAIL TO:**

VICTORIA M. CHERNISKE  
BUXTON & BUXTON, PC, TRUSTBUILDERS  
LAW GROUP  
110 GRACE AVENUE  
P.O. BOX 247  
URBANNA, VA 23175

**PARCEL ID NO.:** 00051100-000000

**PURCHASE PRICE PAID:** \$0.00

**OTHER CONSIDERATION:** \$0.00

**DOCUMENTARY STAMP TAX:** \$0.70

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**Trustee's Deed**

THIS TRUSTEE'S DEED is made on 4.31.2015, by ALVIN B. CROCKETT, JR. AND RUTH M. CROCKETT, TRUSTEES, under THE RUTH M. CROCKETT TRUST, also known as THE CROCKETT TRUST dated January 23, 1997, whose address is P.O. Box 598, North, VA 23128 (herein, "Grantor"), to KOAA, LLC, a Virginia limited liability company, whose address is P.O. Box 598, North, VA 23128 (herein, "Grantee").

GRANTOR, in consideration of Ten Dollars and other valuable consideration, receipt of which is hereby acknowledged, hereby conveys to Grantee, all of Grantor's interest in and to the following described real property located in the County of Monroe, State of Florida:

SEE EXHIBIT A ATTACHED HERETO.

Property street address: 2222 North Roosevelt Blvd., Key West, FL 33040

TOGETHER WITH all of the easements, rights, privileges and appurtenances thereto belonging and all of the estate, right, title, interest and claim, either at law or in equity, of Grantor of, in, to or out of such real property.

TO HAVE AND TO HOLD the above-described real property in fee simple with all appurtenances and for the purposes set forth herein, subject to all matters of record, if any. Grantor hereby fully warrants title to said property and will defend the same against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, Grantor signed and sealed this Trustee's Deed on the date first above written.

**EXEMPT TRANSFER - NO DOCUMENTARY STAMP TAX OR INTANGIBLE PERSONAL PROPERTY TAX IS  
DUE OR PAYABLE IN CONNECTION WITH THE RECORDING HEREOF.**

Witnesses:

Grantor:

The Ruth M. Crockett Trust, also known as  
The Crockett Trust dated January 23, 1997

[Signature]  
Witness #1 signature  
Jacqueline Gonzalez  
Printed name of witness #1

[Signature]  
Alvin B. Crockett, Jr., Trustee

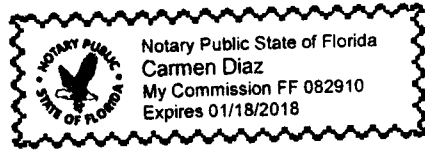
[Signature]  
Witness #2 signature  
Jacqueline Collins  
Printed name of witness #2

STATE OF FL  
COUNTY OF MONROE

This instrument was acknowledged before me on 7.31.2015, by Alvin B. Crockett, Jr.,  
Trustee, under The Ruth M. Crockett Trust also known as The Crockett Trust dated January 23, 1997,   
who is personally known to me or [ ] who has produced \_\_\_\_\_ as  
identification.

[Affix Notary Seal]

[Signature]  
SIGNATURE OF NOTARY PUBLIC  
My commission expires: 1/18/2018



Witnesses:

Grantor:

The Ruth M. Crockett Trust, also known as  
The Crockett Trust dated January 23, 1997

Darlene Rilee  
Witness #1 signature  
Darlene Rilee  
Printed name of witness #1

Ruth M. Crockett Trustee  
Ruth M. Crockett, Trustee

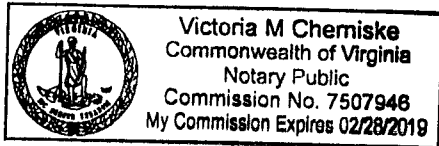
Kristi W. Snow  
Witness #2 signature  
KRISTI W SNOW  
Printed name of witness #2

Commonwealth  
STATE OF Virginia  
COUNTY OF Middlesex

This instrument was acknowledged before me on August 31, 2015, by Ruth M. Crockett, Trustee, under The Ruth M. Crockett Trust, also known as The Crockett Trust dated January 23, 1997,  who is personally known to me or [ ] who has produced \_\_\_\_\_ as identification.

[Affix Notary Seal]

Victoria M. Cherniske  
SIGNATURE OF NOTARY PUBLIC  
My commission expires: 2/28/2019



**EXHIBIT A**

On the Island of Key West and known on KEY WEST REALTY COMPANY'S FIRST SUBDIVISION of Part of Tract 21 and Lots 1, 2, 3, 4 and 5, map of which said subdivision is duly recorded in Plat Book 1 at page 43 of the public records of Monroe County, Florida, as part of Square 49, and adjacent lands described as follows:

COMMENCING at the corner of Patterson Avenue and 5<sup>th</sup> Street, and running along Patterson Avenue in a Southwesterly direction 100 feet; thence at right angles in a Northwesterly direction 211.3 feet +/- to a point that intersects Roosevelt Boulevard, as existing on January, 1963; thence Northeasterly and meandering along Roosevelt Boulevard 101.37 feet +/- along a curve to the intersection of 5<sup>th</sup> Street and Roosevelt Boulevard; thence in a Southeasterly direction along 5<sup>th</sup> Street 192.67 +/-, to the place of beginning at the corner of 5<sup>th</sup> Street and Patterson Avenue. a/k/a 2222 Roosevelt Boulevard, Key West, Florida.

Together with all and singular the buildings and improvements thereon, rights and privileges, tenements, hereditaments, easements and appurtenances thereunto belonging or in anywise appertaining.

This property is not the homestead real property of Grantor.

**MAIL FUTURE TAX STATEMENT TO:**

KOAA, LLC  
P.O. Box 598  
North, VA 23128

*The preparer of this document has been engaged solely for the purpose of preparing this instrument, has prepared the instrument only from the information given and has not been requested to provide, nor has the preparer provided, a title search, an examination of the legal description, an opinion on title or advice on the tax, legal or non-legal consequences that may arise as a result of the conveyance. Further such preparer has not verified the accuracy of the amount of consideration stated to have been paid or upon which any tax may have been calculated nor has the preparer verified the legal existence or authority of any person who may have executed the document. Preparer shall not be liable for any consequences arising from modifications to this document not made or approved by preparer.*

PREPARED BY AND MAIL AFTER  
RECORDING TO:

BUXTON, LASRIS & VANNAN, P.C.  
914 Denbigh Boulevard  
Yorktown, Virginia 23692

DEED OF GRANTORS TO TRUSTEES

THIS DEED, made on this 7th day of April, 1997, by and between ALVIN B. CROCKETT (also known as A. B. CROCKETT) and RUTH C. CROCKETT (also known as RUTH M. CROCKETT), husband and wife, **Grantors**, parties of the first part herein, and A. B. CROCKETT and RUTH M. CROCKETT, as Trustees, either of whom may act, under a Declaration of Trust dated January 23, 1997, unrecorded, and identified as THE CROCKETT TRUST, wherein the Grantors and Beneficiaries are one and the same persons, **Grantees**, parties of the second part herein, whose address is P. O. Box 598, North, Virginia 23128.

WITNESSETH:

That for and in consideration of the benefits accruing to themselves and/or their heirs, executors and/or assigns, acknowledged by the Grantors herein to have value of ONE DOLLAR (\$1.00), and other good and valuable consideration, the receipt of which is hereby acknowledged at and before the signing, sealing and delivery of these presents, the Grantors hereby grant, give, and convey with General Warranty, unto the Trustees all that certain land situate in Monroe County, Florida, described as follows, to-wit:

On the Island of Key West and known on KEY WEST REALTY COMPANY'S FIRST SUBDIVISION of Part of Tract 21 and Lots 1, 2, 3, 4 and 5, map of which said subdivision is duly recorded in Plat Book 1 at page 43 of the public records of Monroe County, Florida, as part of Square 49, and adjacent lands described as follows:

COMMENCING at the corner of Patterson Avenue and 5th Street, and running along Patterson Avenue in a Southwesterly direction 100 feet; thence at right angles in a Northwesterly direction 211.3 feet +/- to a point that intersects Roosevelt Boulevard, as existing on January, 1963; thence Northeasterly and meandering along Roosevelt Boulevard 101.37 feet +/- along a curve to the intersection of 5th Street and Roosevelt Boulevard; thence in a Southeasterly direction along 5th

MONROE COUNTY  
OFFICIAL RECORDS  
FILE # 1015374  
BK# 1467 PG# 1881  
RCD Jul 22 1997 11:48AM  
DANNY L KOLHAGE, CLERK  
DEED DOC STAMPS 0.70  
07/22/1997 PP DEP CLK

FILE # 1015374  
BK# 1467 PG# 1882

Street 192.67 feet +/-, to the place of beginning at the corner of 5th Street and Patterson Avenue. a/k/a 2222 Roosevelt Boulevard, Key West, Florida.

Together with all and singular the buildings and improvements thereon, rights and privileges, tenements, hereditaments, easements and appurtenances thereunto belonging or in anywise appertaining.

IT BEING the same property conveyed to the said Grantors by deed of ALVIN B. CROCKETT and RUTH C. CROCKETT, his wife, dated October 13, 1987, and duly recorded in the Clerk's Office of the Circuit Court of Monroe County, in Official Records Book 1034, at page 1868.

TO HAVE AND TO HOLD the said property by the Trustees with the appurtenances thereunto belonging, in fee simple, upon the trusts and for the purposes set forth herein and under the said Trust and with the following rights, powers and privileges:

1. Trustees, or either of them, including any Successor Trustee, shall have the power to sell, lease, encumber or otherwise dispose of the property herein described,
2. No one dealing with the Trustees, or either of them, including any Successor Trustee, shall be required to make further inquiry as to the right of such Trustee to act,
3. No one dealing with the Trustees, or either of them, including any Successor Trustee, shall inquire as to the disposition of any proceeds.

This conveyance is expressly made subject to all unexpired conditions, restrictions, reservations, covenants and easements of record.

Whenever used herein, the singular shall include the plural, the plural the singular, and the use of any gender shall include all other genders.

WITNESS: the following signatures and seals.

*Norm M. Bradshaw*  
Witness

*Meghan L. Hokes*  
Witness

*Alvin B. Crockett*  
ALVIN B. CROCKETT

*Ruth C. Crockett*  
RUTH C. CROCKETT

FILE #1015374  
BK#1467 PG#1883

STATE OF VIRGINIA

COUNTY OF York, to-wit:

I, Deborah O'Brien Pace, a Notary Public in and for the State of Virginia, hereby certify that **ALVIN B. CROCKETT** and **RUTH C. CROCKETT**, Grantors and original Trustees, whose names are signed to the foregoing writing dated the 7<sup>th</sup> day of April, 1997, have acknowledged the same before me in my presence in the County and State aforesaid.

Given under my hand this 7<sup>th</sup> day of April, 1997.



Deborah O'Brien Pace  
Notary Public

My commission expires: 3-31-98.

THIS INSTRUMENT WAS PREPARED WITHOUT THE BENEFIT OF TITLE EXAMINATION.

BUXTON, LASRLS & VANNAN, P.C.  
914 Denbigh Boulevard  
Yorktown, Virginia 23692  
(804) 877-2244

[4wd179:dea:21123]  
[TR802:revised5/11/96]

MONROE COUNTY  
OFFICIAL RECORDS

# **Easement Agreement**



EASEMENT

REC 742 PAGE 25  
EASEMENT AGREEMENT

25.00

130853 THIS AGREEMENT made this 31 day of October, 1977, by and between EAGLE FAMILY DISCOUNT STORES, INC., a Florida corporation with offices at Building 151, Opa Locka Airport, Opa Locka, Florida 33054 (hereinafter referred to as "Eagle") and ALVIN B. CROCKETT and RUTH C. CROCKETT, his wife, of 2222 North Roosevelt Boulevard in Key West, Florida (hereinafter referred to as "Crockett")

WHEREAS, Eagle is the owner of certain land located at Roosevelt Boulevard near Fifth Street in Key West, Florida, as more specifically described in Exhibit "A" attached hereto; and

WHEREAS, Crockett is the owner of certain land also located at Roosevelt Boulevard near Fifth Street in Key West, Florida, more specifically described in Exhibit "B" attached hereto, said land being adjacent to the land owned by Eagle; and

WHEREAS, as an inducement by Crockett to Eagle to cause Eagle to purchase said property which is the subject of Exhibit "A" from Crockett, Crockett wishes to grant Eagle certain rights to cross over Crockett's land for the purpose of ingress and egress and the right to park automotive vehicles in the existing painted parking spaces only; and

WHEREAS, as an inducement by Eagle to Crockett to cause Crockett to sell said property which is the subject of Exhibit "A" to Eagle, Eagle wishes to grant to Crockett certain rights to cross over Eagle's land for the purpose of ingress and egress and the right to park automotive vehicles in the existing painted parking spaces only.

NOW, THEREFORE, in consideration of Ten Dollars (\$10.00) in hand paid, each to the other, the receipt and sufficiency of which is hereby acknowledged, the parties intending to be legally bound do agree as follows:

1. Eagle, its employees, customers and business invitees are hereby granted a non-exclusive right to the use of certain areas of Crockett's land as they presently exist for the sole purpose of ingress, and egress, to Eagle's own parcel and the non-exclusive right to park automotive vehicles in the existing painted parking spaces. Said areas are delineated on the plot plan designated Exhibit "C" attached hereto and made a part hereof. This easement area which is shown and described on Exhibit "C" as "Easement Area I" is granted to Eagle solely for the entry and exit to and from Eagle's parcel and the parking of automotive

RECORDED  
INDEXED  
OCT 31 1977  
KEY WEST, FLA.

vehicles in the existing painted parking spaces and for no other purpose and shall be used in common with Crockett, his successors and assigns and their employees, customers and business invitees.

2. Crockett, his employees, customers and business invitees are hereby granted a non-exclusive right to the use of certain areas of Eagle's land as they presently exist for the sole purpose of ingress and egress to Crockett's own parcel and the non-exclusive right to park automotive vehicles in the existing painted parking spaces. Said areas are delineated on the plot plan designated as Exhibit "C" attached hereto. This easement area which is shown and described on Exhibit "C" as "Easement Area II" is granted to Crockett solely for the entry and exit to and from Crockett's parcel and the parking of automotive vehicles in the existing painted parking spaces and for no other purpose and shall be used in common with Eagle, its successors and assigns and their employees, customers and business invitees.

3. In order to induce Eagle to grant the within easement, Crockett agrees to make use of the access ways to and from its property granted herein, in such a way so as not to interfere with the use of same by Eagle, its successors and assigns and their employees, customers and business invitees; and

in order to induce Crockett to grant the within easement, Eagle agrees to make use of the access ways to and from its property granted herein, in such a way so as not to interfere with the use of same by Crockett, his successors and assigns and their employees, customers and business invitees.

Neither Crockett nor Eagle shall ever commit or permit any parking of vehicles in, or any other obstruction of, the existing driveway of the easement areas.

4. Crockett shall be responsible for the maintenance in good repair of the driveways within the easement area described as "Easement Area I". If Crockett fails to maintain as herein provided after thirty (30) days written notice from Eagle, Eagle may perform or cause such maintenance to be performed for the account of Crockett.

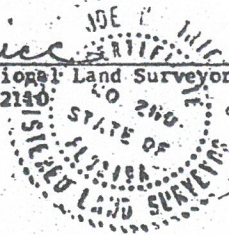
5. Eagle shall be responsible for the maintenance in good repair of the driveways within the easement area described as "Easement Area II". If Eagle fails to maintain as herein provided after thirty (30) days written notice from Crockett, Crockett may perform or cause such maintenance to be performed for the account of Eagle.

DESCRIPTION OF: EXHIBIT "A"  
FOR: JACK C. JEFFCOAT, JR.

On the Island of Key West, and known as KEY WEST REALTY COMPANY'S FIRST SUBDIVISION of Part of Tract 21 and Lots 1, 2, 3, 4, 5, map of which subdivision is duly recorded in Plat Book 1, Page 43, Monroe County, Florida Public Records as part of Square 49 and adjacent lands described as follows: COMMENCE at the intersection of the southwesterly right-of-way line of 5th Street with the northwesterly right-of-way line of Patterson Avenue and run thence Southwesterly along the said right-of-way line of Patterson Avenue for a distance of 100 feet to the Point of Beginning; thence continue southwesterly along the said right-of-way line of Patterson Avenue for a distance of 100 feet to a point, said point being on the westerly boundary line of the herein described parcel of land; thence run northwesterly parallel with the said 5th Street for a distance of 245.44 feet to the south right-of-way line of North Roosevelt Blvd.; thence run easterly along the south right-of-way line of the said North Roosevelt Blvd. for a distance of 105.79 feet, more or less, to a point, said point being on a line 100 feet easterly of and parallel with the said westerly boundary line of the herein described parcel of land; thence run southeasterly and parallel with the said 5th Street and said westerly boundary line for a distance of 211.30 feet back to the POINT OF BEGINNING.

PHILLIPS & TRICE SURVEYING, INC.

*Joe M. Trice*  
Joe M. Trice, Professional Land Surveyor  
Florida Reg Cert No #2130



Key West, Florida  
August 25, 1977

INITIAL	
re one	

DESCRIPTION OF: EXHIBIT "B"  
FOR: JACK C. JEFFCOAT, JR.

On the Island of Key West, and known as KEY WEST REALTY COMPANY'S FIRST SUBDIVISION of Part of Tract 21 and Lots 1, 2, 3, 4, 5, map of which subdivision is duly recorded in Plat Book 1, Page 43, Monroe County, Florida, Public Records as part of Square 49 and adjacent lands described as follows:

BEGIN at the intersection of the southwesterly right-of-way line of 5th Street with the northwesterly right-of-way line of Patterson Avenue and run thence Southwesterly along the said right-of-way line of Patterson Avenue for a distance of 100 feet to a point; thence run northwesterly parallel with the said 5th Street for a distance of 211.30 feet to the south right-of-way line of North Roosevelt Blvd; thence run easterly along the south right-of-way line of the said North Roosevelt Blvd. for a distance of 101.37 feet, more or less, to a point; said point being the intersection of the south right-of-way line of North Roosevelt Boulevard with the southwesterly right-of-way line of 5th Street; thence southeasterly along the said right-of-way line of 5th Street 192.67 feet back to the Point of Beginning.

PHILLIPS & TRICE SURVEYING, INC.

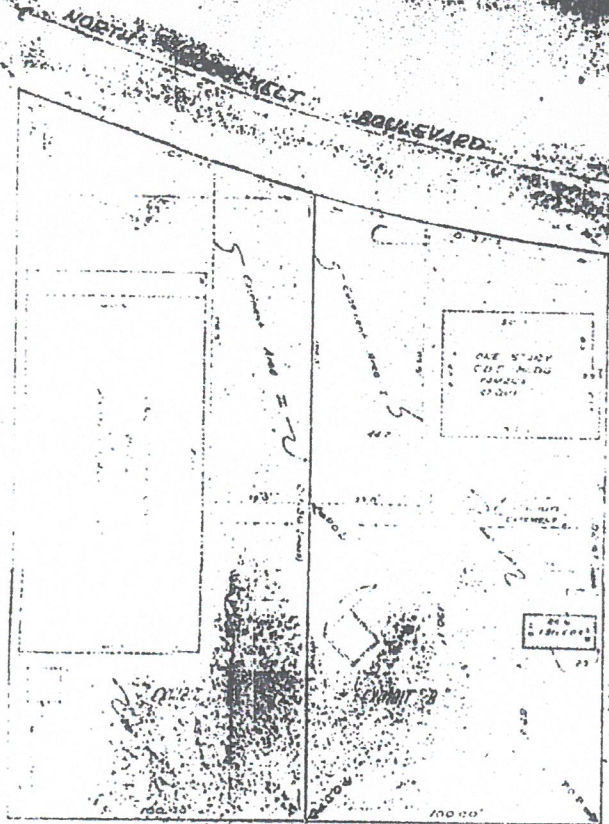
*Joe M. Trice*

Joe M. Trice, Professional Land Surveyor  
Florida Reg Cert No #2110

Key West, Florida  
August 25, 1977

INITIAL	
RC CSC	





PATTERSON AVENUE  
50' R/W

THIS PLAN IS A SURVEY IN RESPECT TO THE  
BOUNDARIES OF THE TRACTS SHOWN BY THE  
PLAN AND IS NOT A GUARANTEE OF THE  
ACCURACY OF THE SURVEY. THE SURVEYOR  
IS NOT RESPONSIBLE FOR THE ACCURACY OF  
THE INFORMATION CONTAINED HEREIN.

WILLIAM J. BROWN SURVEYING, INC.  
1111 1/2 1st Street  
Pittsburgh, Pa. 15222  
Phone: 481-2110

NO.	DESCRIPTION	DATE
1	...	...
2	...	...
3	...	...
4	...	...
5	...	...
6	...	...
7	...	...
8	...	...
9	...	...
10	...	...

DESCRIPTION OF: EASEMENT AREA II  
FOR: JACK C. JEFFCOAT, JR.

On the Island of Key West, and known as KEY WEST REALTY COMPANY'S FIRST SUBDIVISION of Part of Tract 21 and Lots 1, 2, 3, 4, 5, map of which subdivision is duly recorded in Plat Book 1, Page 43, Monroe County, Florida, Public Records as part of Square 49 and adjacent lands described as follows:

COMMENCE at the intersection of the southwesterly right-of-way line of 5th Street with the northwesterly right-of-way line of Patterson Avenue and run thence Southwesterly along the said right-of-way line of Patterson Avenue for a distance of 100 feet to a point ; thence run northwesterly parallel with the said 5th Street for a distance of 107 feet to the Point of Beginning of the parcel of land herein described; thence continue northwesterly parallel with 5th Street 104.3 feet to the south right-of-way line of North Roosevelt Boulevard; thence westerly along the south right-of-way line of North Roosevelt Boulevard 35.5 feet to a point on a line 34 feet westerly and parallel with the previous described course; thence southeasterly parallel with said previous described course 114.5 feet to a point; thence northeasterly parallel with Patterson Avenue 34 feet back to the Point of Beginning.

PHILLIPS & TRICE SURVEYING, INC.

*J. M. Trice*  
J. M. Trice, Professional Land Surveyor  
Florida Reg. Cert No #2110

Key West, Florida  
August 25, 1977

INITIAL	
RC	



DESCRIPTION OF: EASEMENT AREA I  
FOR: JACK C. JEFFCOAT, JR.

On the Island of Key West, and known as KEY WEST REALTY COMPANY'S FIRST SUBDIVISION of Part of Tract 21 and Lots 1, 2, 3, 4, 5, map of which subdivision is duly recorded in Plat Book 1, Page 43, Monroe County, Florida, Public Records as part of Square 49 and adjacent lands described as follows:

COMMENCE at the intersection of the southwesterly right-of-way line of 5th Street with the northwesterly right-of-way line of Patterson Avenue and run thence Southwesterly along the said right-of-way line of Patterson Avenue for a distance of 100 feet to a point; thence run northwesterly parallel with the said 5th Street for a distance of 107 feet to the Point of Beginning of the parcel of land herein described; thence continue northwesterly parallel with 5th Street 104.3 feet to the south right-of-way line of North Roosevelt; thence easterly along the south right-of-way line of North Roosevelt Boulevard 39 feet to a point on a line 38 feet easterly and parallel with the previous described course; thence southeasterly parallel with said previous course 95.5 feet to a point; thence southwesterly parallel with Patterson Avenue 38 feet back to the Point of Beginning.

PHILLIPS & TRICE SURVEYING, INC.

*Joe M. Trice*

Joe M. Trice, Professional Land Surveyor  
 Florida Reg Cert No 2110

Key West, Florida  
 August 25, 1977

INITIAL	
RC JCE	

6. The foregoing covenants are intended to be covenants running with the land, and are intended to inure to the benefit of Eagle and Crockett, their successors or assigns and shall continue in full force and effect until modified or terminated by mutual agreement of the parties then owning the parcels affected.

IN WITNESS WHEREOF, the parties have caused this agreement to be executed by their proper and duly authorized officers.

EAGLE FAMILY DISCOUNT STORES, INC.

Witnesses:

Virginia D. Marshall

Cindy L. Voss

By:

Attest:

[Signature]

Donald L. Davis

Witnesses:

Mary Perkins

Marilyn Rodriguez

Jessette M. Crockett

Linda Caldera

Alvin B. Crockett  
ALVIN B. CROCKETT

Ruth C. Crockett  
RUTH C. CROCKETT

STATE OF FLORIDA )  
COUNTY OF DADE ) ss

RECORDED IN OFFICIAL RECORD BOOK  
MONROE COUNTY, FLORIDA  
RALPH W. [unclear]  
CLERK OF COUNTY COURT  
RECORD VERIFIED

BEFORE ME, the undersigned authority, on this day personally appeared John Weil and Donald L. Davis, President and Secretary respectively of EAGLE FAMILY DISCOUNT STORES, INC., a Florida corporation, known to me to be the persons whose names are subscribed on the foregoing instrument, and acknowledged to me that they executed the same for the purposes therein expressed as the act and deed of said corporation and in the capacity therein stated.

GIVEN under my hand and seal of office, this 7 day of November, 1977

My commission expires:

NOTARY PUBLIC STATE OF FLORIDA AT LARGE  
MY COMMISSION EXPIRES OCT. 19 1980  
BONDED THRU GENERAL INS. UNDERWRITERS

Virginia D. Marshall  
NOTARY PUBLIC

STATE OF FLORIDA )  
COUNTY OF MONROE ) ss

BEFORE ME, the undersigned authority, on this day personally appeared ALVIN B. CROCKETT and RUTH C. CROCKETT, his wife, known to me to be the persons whose names are subscribed on the foregoing instrument, and acknowledged to me that they executed the same for the purposes therein expressed and in the capacity therein stated.

GIVEN under my hand and seal of office this 31st day of October, 1977

My commission expires:

Notary Public, State of Florida at Large  
My Commission Expires Feb. 14, 1981  
Bonded by American Fire & Casualty Company

[Signature]  
NOTARY PUBLIC



# **Property Record Card**

PROPERTY RECORD CARD



Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID 00051100-000000  
 Account# 1051721  
 Property ID 1051721  
 Millage Group 10KW  
 Location 2222 N ROOSEVELT Blvd, KEY WEST  
 Address  
 Legal KW KW REALTY COS FIRST SUB PB1-43 PT SQR 49 TR 21 AND OPP TO ROOSEVELT BLVD C5-337/38 OR311-239/40 OR647-817/18 OR742-25/32E OR1034-1868 OR1467-1881/83 OR2490-784/85 OR2760-1334/37  
 Description  
 (Note: Not to be used on legal documents.)  
 Neighborhood 31040  
 Property Class STORE (1100)  
 Subdivision Key West Realty Co's First Sub  
 Sec/Twp/Rng 05/68/25  
 Affordable No  
 Housing



Owner

KOAA LLC  
 3320 Riviera Dr  
 Key West FL 33040

Valuation

	2018	2017	2016	2015
+ Market Improvement Value	\$127,062	\$139,768	\$153,416	\$167,363
+ Market Misc Value	\$13,941	\$13,941	\$13,940	\$12,120
+ Market Land Value	\$780,862	\$431,529	\$431,696	\$431,696
= Just Market Value	\$921,865	\$585,238	\$599,052	\$611,179
= Total Assessed Value	\$643,762	\$585,238	\$599,052	\$611,179
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$921,865	\$585,238	\$599,052	\$611,179

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
COMM DRY HIGHWAY (10DH)	19,950.48	Square Foot	100	205

Commercial Buildings

Style 1 STORY STORES / 11C  
 Gross Sq Ft 3,080  
 Finished Sq Ft 2,487  
 Perimeter 0  
 Stories 1  
 Interior Walls  
 Exterior Walls MIN WOOD SIDING  
 Quality 350 ()  
 Roof Type  
 Roof Material  
 Exterior Wall1 MIN WOOD SIDING  
 Exterior Wall2  
 Foundation  
 Interior Finish  
 Ground Floor Area  
 Floor Cover  
 Full Bathrooms 0  
 Half Bathrooms 1  
 Heating Type  
 Year Built 1964  
 Year Remodeled  
 Effective Year Built 1980  
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
DUF	FIN DET UTILIT	275	0	0
FLA	FLOOR LIV AREA	2,487	2,487	0
SBF	UTIL FIN BLK	318	0	0
<b>TOTAL</b>		<b>3,080</b>	<b>2,487</b>	<b>0</b>

**Yard Items**

Description	Year Built	Roll Year	Quantity	Units	Grade
ASPHALT PAVING	1966	1967	1	12657 SF	2
WALL AIR COND	1985	1986	1	1 UT	1
CH LINK FENCE	1985	1986	1	720 SF	3
FENCES	1985	1986	1	80 SF	2

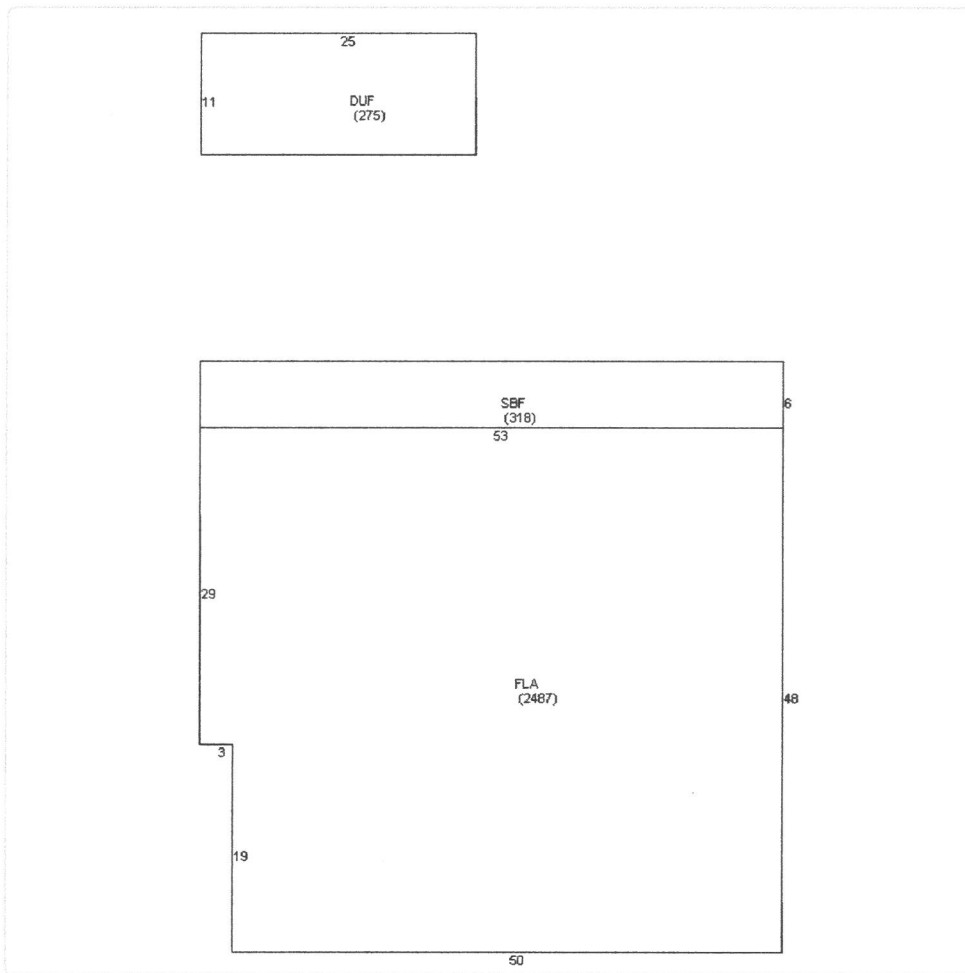
**Sales**

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved
8/31/2015	\$100	Warranty Deed		2760	1334	11 - Unqualified	Improved
10/8/2010	\$100	Warranty Deed		2490	784	18 - Unqualified	Improved
2/1/1976	\$168,000	Conversion Code		742	25	Q - Qualified	Improved

**Permits**

Number	Date Issued	Date Completed	Amount	Permit Type	Notes
07-1889	4/18/2007		\$2,000	Commercial	DISCONNECT BATHROOM FROM HOLDING TANK,TIE INTO SEWE LINE
06-1905	2/14/1998		\$5,000	Commercial	REPLACE APPROX 175' OF PLYWOOD FAC IA AND PAINT
98-0492	2/14/1998	12/31/1998	\$250	Commercial	PAINTING NAME ON BLDG

**Sketches (click to enlarge)**



**Photos**



Map



TRIM Notice

Trim Notice

2018 Notices Only

No data available for the following modules: Buildings, Mobile Home Buildings, Exemptions.

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the

Last Data Upload: 1/10/2019 1:53:26 AM



# **Sunbiz.org Search Results**



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Detail By Document Number](#) /

## Detail by Entity Name

Florida Profit Corporation  
KOOA INC.

### Filing Information

**Document Number** 538349  
**FE/EIN Number** 59-1751175  
**Date Filed** 06/29/1977  
**State** FL  
**Status** ACTIVE

### Principal Address

2222 NO. ROOSEVELT BLVD.  
KEY WEST, FL 33040

Changed: 04/18/2013

### Mailing Address

2222 NO. ROOSEVELT BLVD.  
KEY WEST, FL 33040

Changed: 07/12/1982

### Registered Agent Name & Address

SANDS, MERRELL F. III  
1523 4TH STREET  
KEY WEST, FL 33040

Address Changed: 03/19/1998

### Officer/Director Detail

#### **Name & Address**

Title PST

CROCKETT, ALVIN B.,JR.  
3320 RIVIERA DRIVE  
KEY WEST FL AF

Title VD

CROCKETT, ALVIN B.,JR.  
3320 RIVIERA DRIVE  
KEY WEST, FL

**Annual Reports**

Report Year	Filed Date
2016	02/08/2016
2017	04/13/2017
2018	04/18/2018

**Document Images**

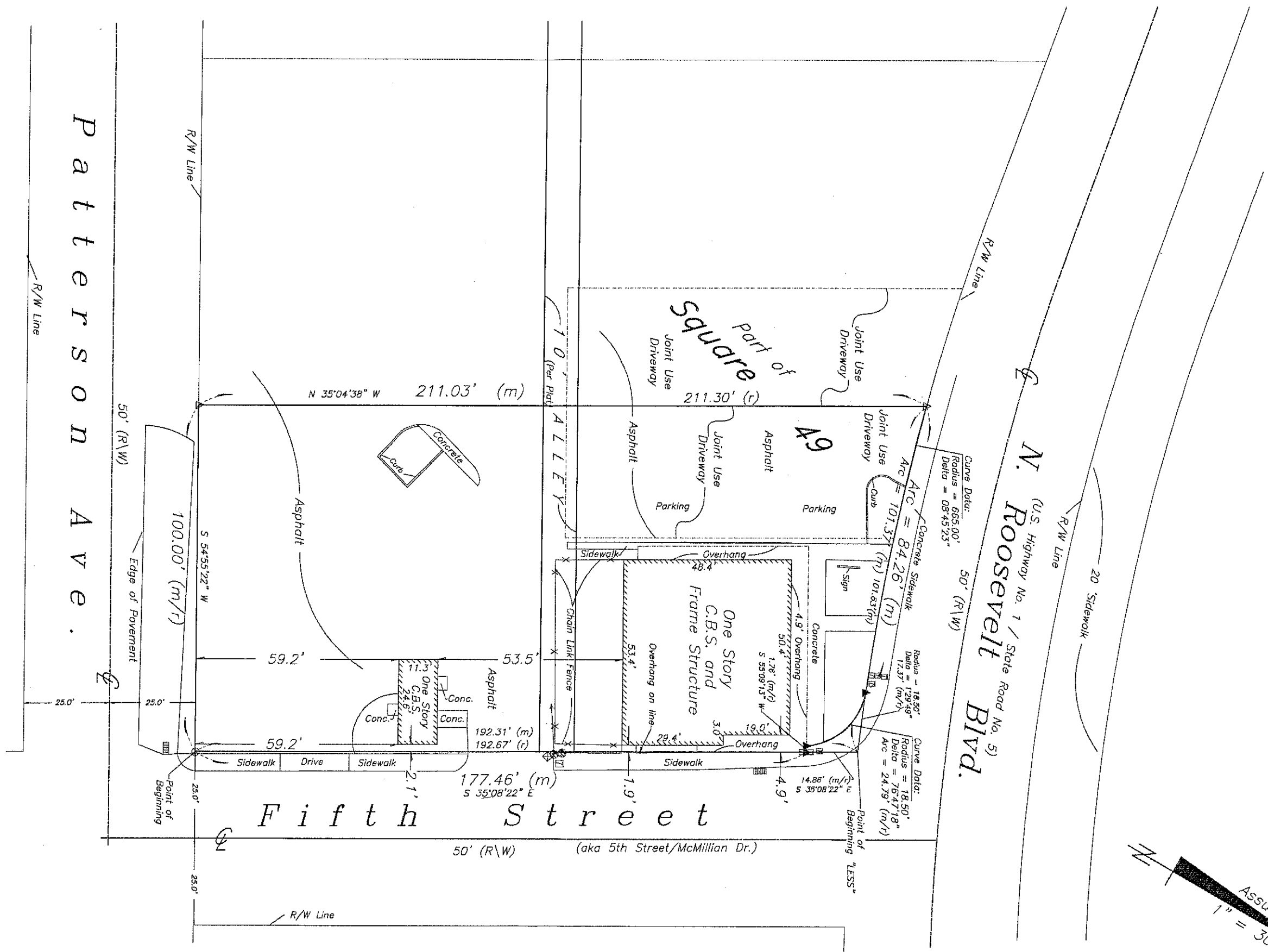
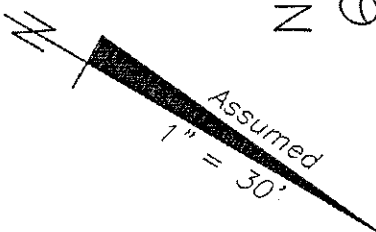
<a href="#">04/18/2018 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">04/13/2017 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">02/08/2016 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">04/22/2015 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">01/28/2014 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">04/18/2013 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">04/06/2012 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
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<a href="#">03/19/1998 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
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<a href="#">04/01/1996 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">04/24/1995 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>

# Survey



NOTE:  
This Survey Map is not full and complete without the attached Survey Report.

## Boundary Survey Map of Part of Square 49 KEY WEST REALTY CO'S FIRST SUBDIVISION



### LEGEND

- |                                     |                                 |
|-------------------------------------|---------------------------------|
| ▲ Set Nail & Disc (6298)            | R\W Right of Way                |
| ▲ Found Nail & Disc (Survey Marker) | ☉ Centerline                    |
| ○ Set 3/4" Iron Pipe w/cap (6298)   | C.B.S. Concrete Block Structure |
| (M) Measured                        | ⊙ Utility Pole                  |
| (R) Record                          | ⊕ BallSouth Box                 |
| (M/R) Measured & Record             | ▣ Catch Basin                   |
| Conc. Concrete                      | ▣ Traffic Utility Lid or Sign   |

Sheet One of Two Sheets

**J. LYNN O'FLYNN, Inc.**

Professional Surveyor & Mapper  
PSM #8298

3430 Duck Ave., Key West, FL 33040  
(305) 296-7422 FAX (305) 296-2244

Boundary Survey Report of Part of Square 49  
KEY WEST REALTY CO'S FIRST SUBDIVISION

NOTES:

1. The legal description shown hereon was furnished by the client or their agent. This survey does not determine or imply ownership.
2. Underground foundations and utilities were not located.
3. All angles are 90° (Measured & Record) unless otherwise noted.
4. Street address: 2322 North Roosevelt Blvd., Key West, FL.
5. This survey is not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
6. Lands shown hereon were not abstracted for rights-of-way, easements, ownership, or other instruments of record.
7. Bearings are assumed and based on the Westerly R/W of Fifth Street. as N 35°08'22" E.
8. Date of field work: November 16, 2018
9. Ownership of fences is undeterminable, unless otherwise noted.
10. Adjoiners are not furnished.
11. The Survey Report is not full and complete without the attached Survey Map.

BOUNDARY SURVEY OF:

On the Island of Key West and known on Key West Realty Company's First Subdivision of Part of Tract 21 and Lots 1,2,3,4, and 5, map of which said subdivision is duly recorded in Plat Book 1, at Page 43 of the Public Records of Monroe County, Florida, as Part of Square 49 and adjacent lands described as follows:

Commencing at the corner of Patterson Avenue and 5th Street and running along Patterson Avenue in a Southeasterly direction 100 feet; thence at right angles in a Northwesterly direction 211.30 feet to a point that intersects Roosevelt Boulevard, as existing on January 1963; thence Northeasterly and meandering along Roosevelt Boulevard 101.37 feet along a curve to the intersection of 5th Street and Roosevelt Boulevard; thence in a Southeasterly direction along 5th Street 192.67 feet to the Place of Beginning at the corner of 5th Street and Patterson Avenue. a/k/a 2322 Roosevelt Boulevard, Key West, Florida.

LESS

A portion of Block 49 of Plat of Key West Realty Co's First Subdivision of Tract 21, and Lots 1,2, 3, 4 and 5, Island of Key West, lying according to the Plat thereof in Plat Book 1, at Page 43, of the Public Records of Monroe County, Florida, Southerly of the Existing Right-of-Way line of State Road No. 5, North Roosevelt Boulevard, as shown on the Florida Department of Transportation Right-of-Way map for State Road No. 5, Section 90010, more particularly described as follows:

Beginning at the Point of intersection of the Westerly Right-of-Way Line of 5th Street as shown on said plat of Key West Realty Co's First Subdivision of Part of Tract 21, and Lots 1,2,3,4, and 5, Island of Key West and the Existing Southerly Right-of-Way Line of said State Road No. 5, North Roosevelt Boulevard; thence S 35°08'22" E along the Westerly Right-of-Way line of 5th Street for a distance of 14.86 feet; thence S 55°09'13" W, departing the previously described Right-of-Way Line, for a distance of 1.76 feet to a point on a circular curve concave to the Southwest and said point bears N 50°53'56" E from the center of said curve; thence Northwesterly, along the arc of said curve to the left, having a radius of 18.50 feet and a central angle of 76°47'18" for a distance of 24.79 feet to a point of cusp with a circular curve concave to the Northwest, said point bears S 27°20'08" E from the center of said curve and said point also being on the Existing Southerly Right-of-Way Line of said State Road No. 5, North Roosevelt Boulevard; thence Northeasterly, along the said Southerly Right-of-Way and along the arc of said curve to the left, having a radius of 665.00 feet and a central angle of 01°29'49" for a distance of 17.37 feet to the Point of Beginning.

BOUNDARY SURVEY FOR: 2322 North Inc.;

J. LYNN O'FLYNN, INC.

J. Lynn O'Flynn, PSM  
Florida Reg. #62398

THIS SURVEY  
IS NOT  
ASSIGNABLE

Sheet Two of Two Sheets

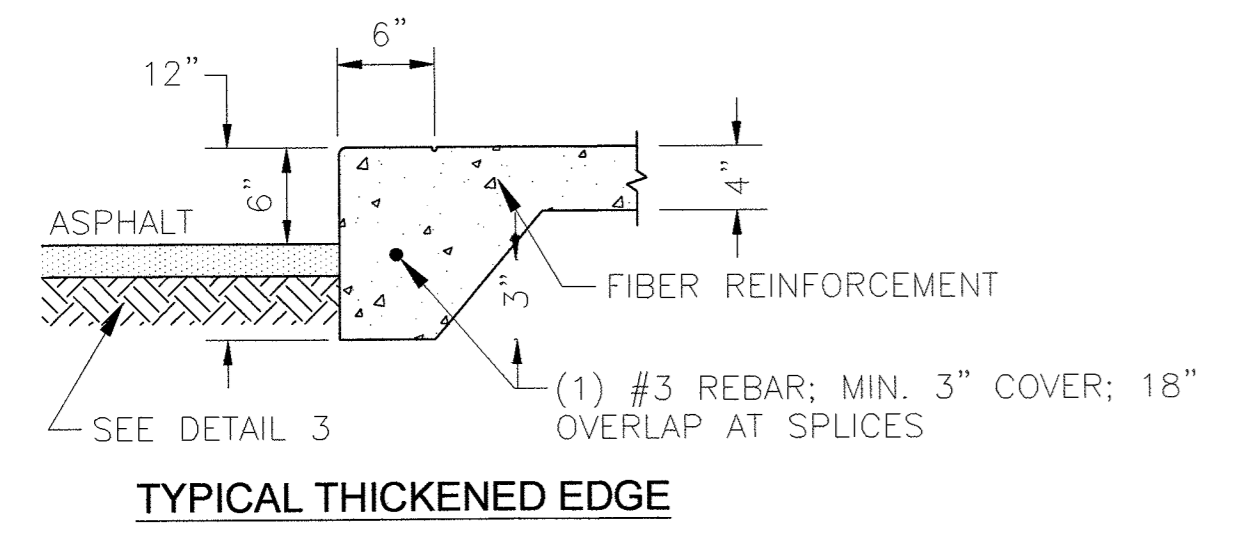
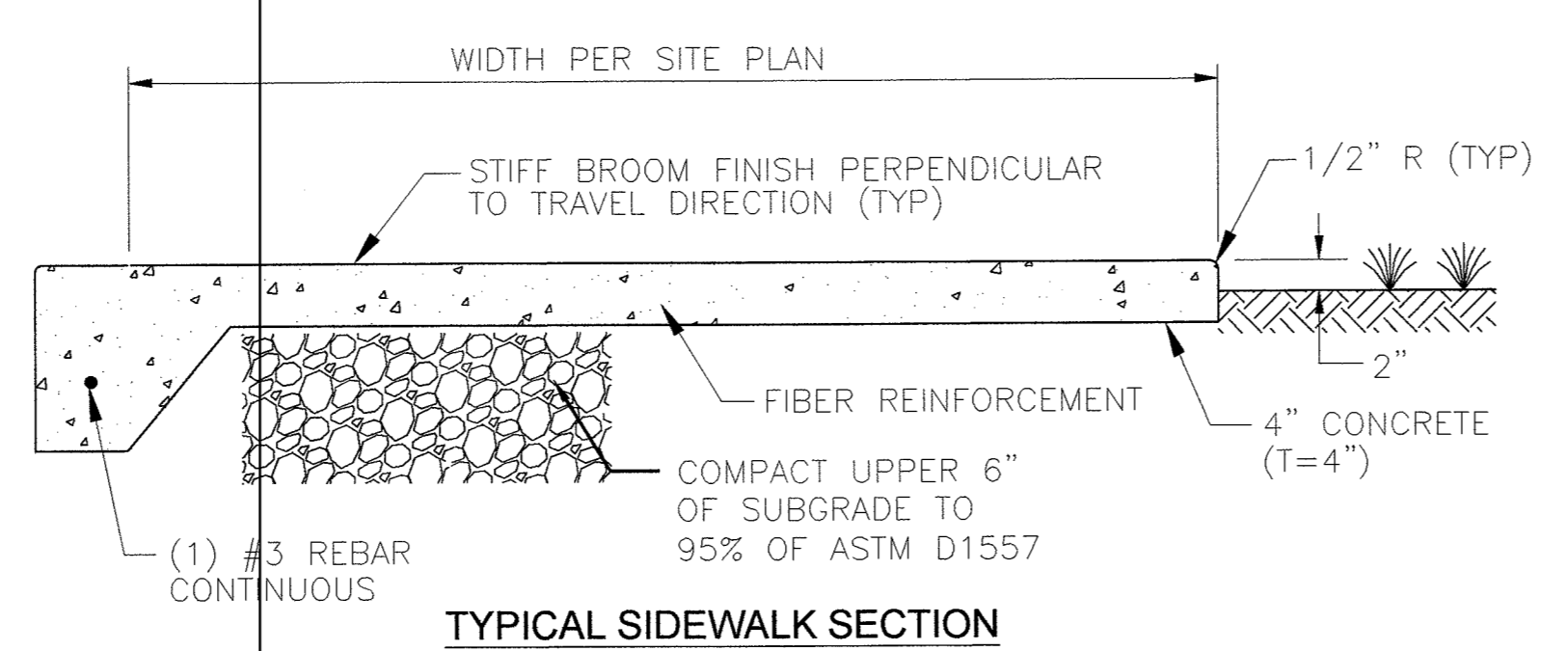
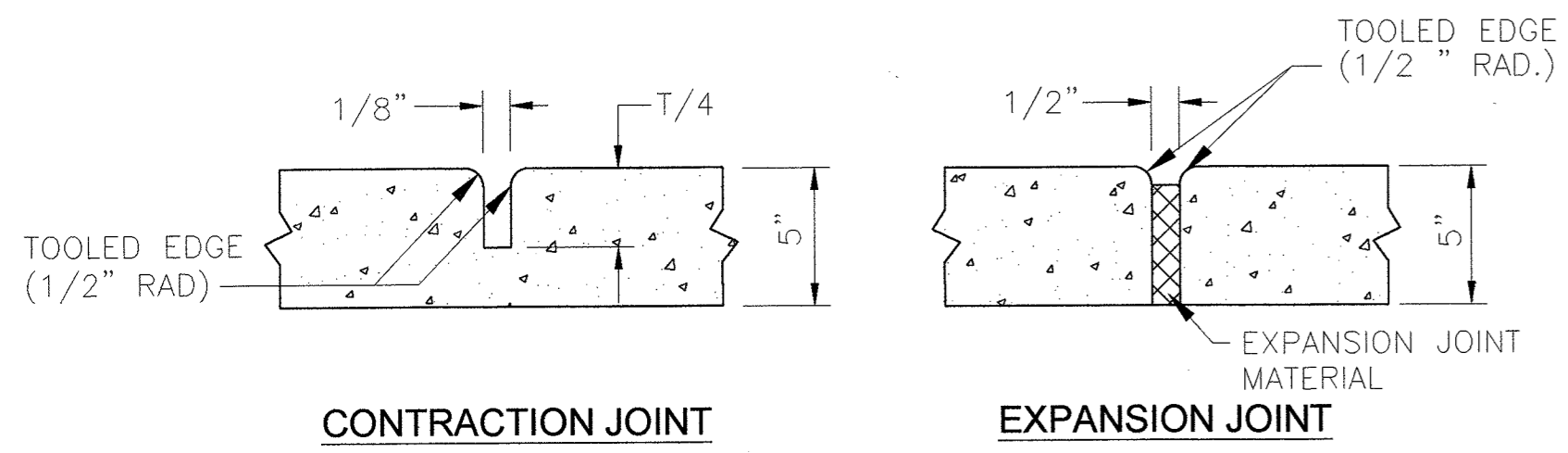
J. LYNN O'FLYNN, Inc.

Professional Surveyor & Mapper  
PSM #62398  
3430 Duck Ave., Key West, FL 33040  
(305) 296-7422 FAX (305) 296-2244

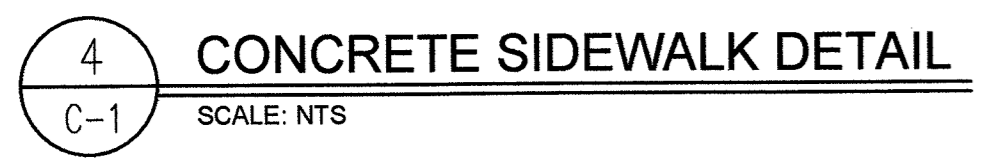
December 7, 2018  
Revised 1/28/19 to add drive cut

I HEREBY CERTIFY that this survey was made under my responsible charge and meets the Standard of Practice as set forth by the Florida Board of Professional Surveyors & Mappers in Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

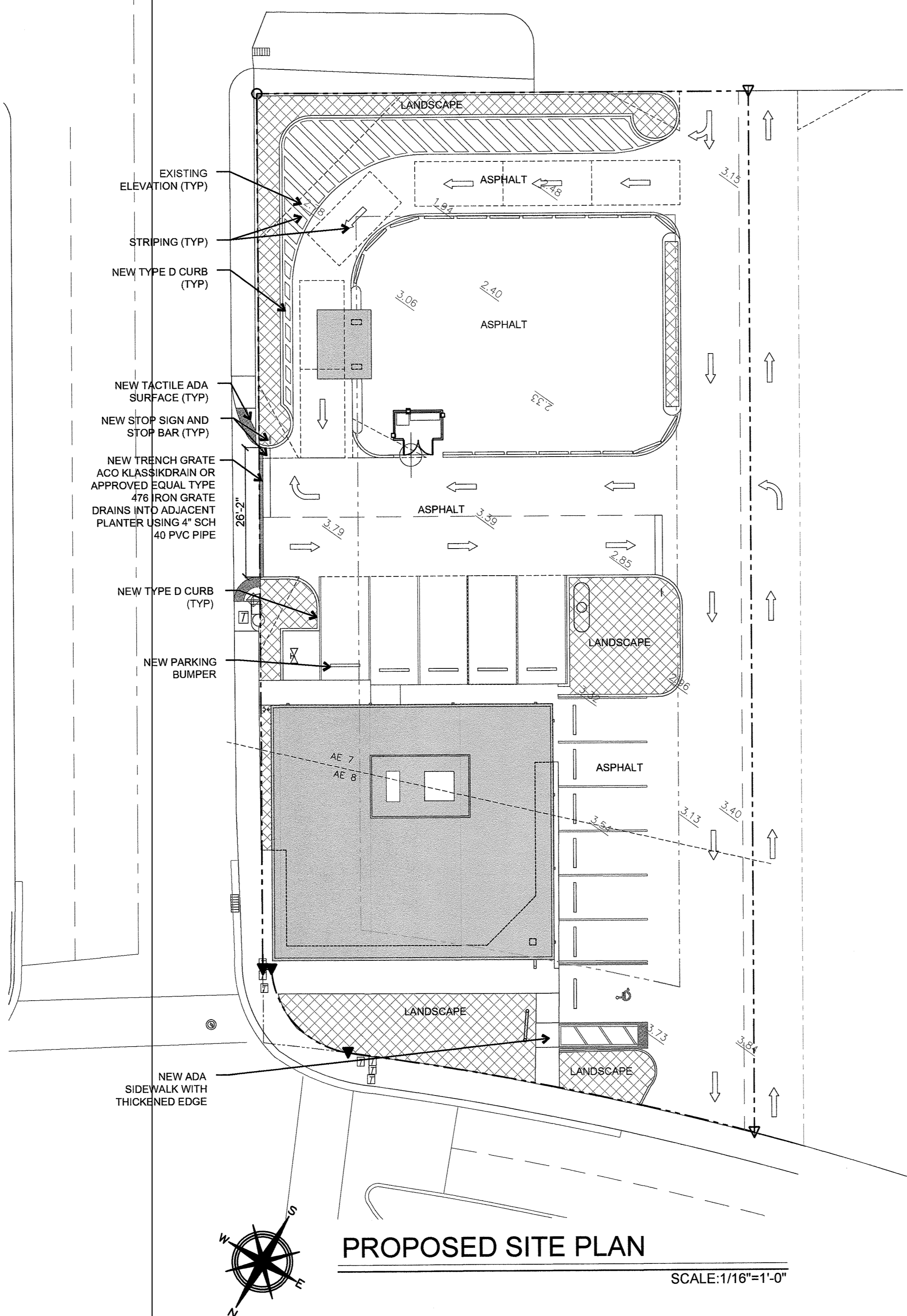
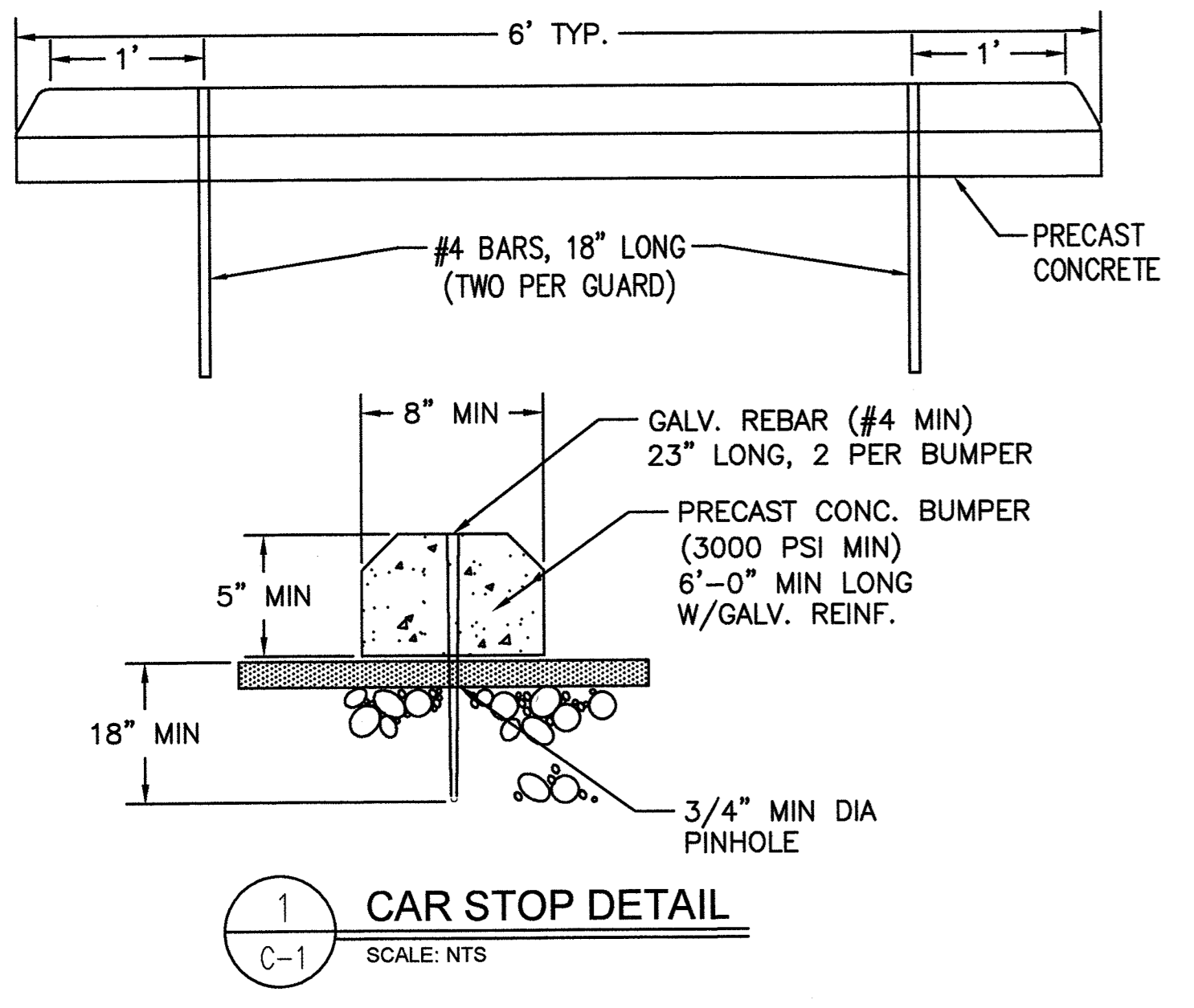
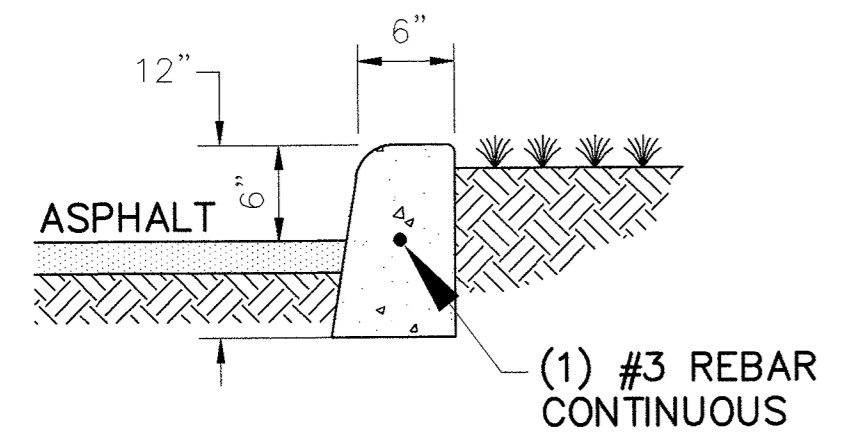
# **Proposed Plans**



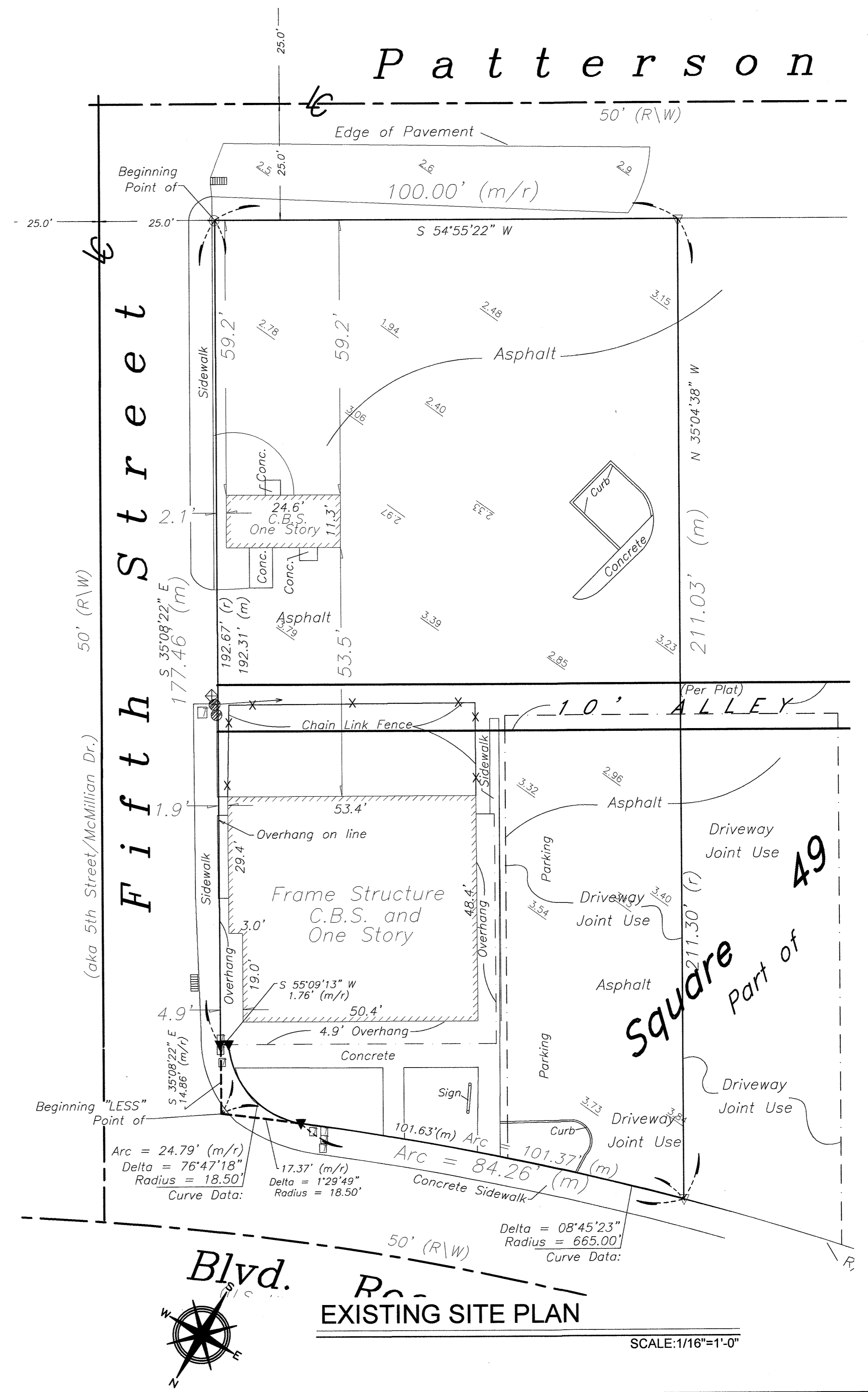
**NOTES:**  
1. PROVIDE EXPANSION JOINTS WHERE NEW SIDEWALKS ABUT STRUCTURES AND CONTROL JOINTS AT INTERVALS EQUAL TO SIDEWALK WIDTH.



**PARKING SPACE STRIPING**  
PARKING SPACE STRIPING SHALL BE 6" WIDE AND EXTEND THE LENGTH OF THE PARKING SPACE (18' TYPICAL PARKING SPACE). CONTRACTOR SHALL USE WHITE PAINT.



**DRAINAGE NOTES:**  
1. IMPERVIOUS COVERAGE WILL DECREASE DUE TO THE INCREASE IN PLANTERS/LANDSCAPE AREAS.  
2. EXISTING ASPHALT TO REMAIN



Meridian Engineering LLC  
201 Front Street, Suite 203  
Key West, Florida 33040  
AUTHORIZATION #29401  
ph:305-355-3263 fax:305-499-9999

Seal: RICHARD J. MILELLI  
No. 59315  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER  
RICHARD J. MILELLI  
PE #58315

General Notes:

COMMERCIAL RENOVATION  
2222 NORTH ROOSEVELT BLVD  
KEY WEST, FLORIDA

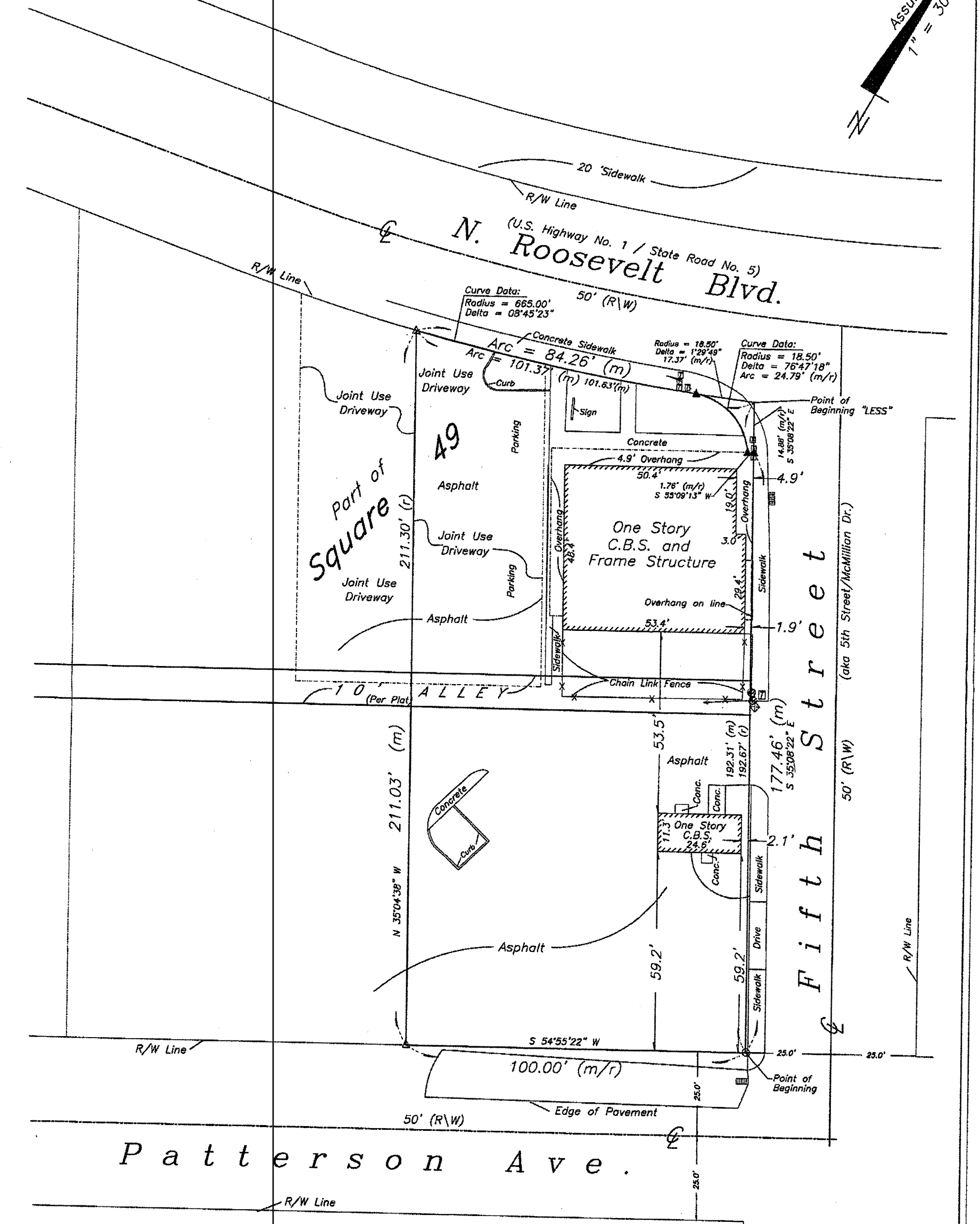
Drawn By: \_\_\_\_\_ Checked By: \_\_\_\_\_  
Project No. \_\_\_\_\_ Scale: AS NOTED  
AutoCad File No. \_\_\_\_\_

Revisions:

Title: DRAINAGE PLAN AND DETAILS  
Sheet Number: C-1  
Date: JANUARY 14, 2019

NOTE:  
This Survey Map is not full and complete without the attached Survey Report.

Boundary Survey Map of Part of Square 49  
KEY WEST REALTY CO'S FIRST SUBDIVISION



- LEGEND**
- △ Set Nail & Disc (6298)
  - ▲ Found Nail & Disc (Survey Marker)
  - Set 3/4" Iron Pipe w/cap (6298)
  - (M) Measured
  - (R) Record
  - (M/R) Measured & Record
  - Conc. Concrete
  - R/W Right of Way
  - C Centerline
  - C.B.S. Concrete Block Structure
  - U Utility Pole
  - B/S BellSouth Box
  - C Catch Basin
  - T Traffic Utility Lid or Sign

Sheet One of Two Sheets  
**J. LYNN O'FLYNN, Inc.**  
Professional Surveyor & Mapper  
PSM #6598  
3430 Duck Ave., Key West, FL 33040  
(305) 238-7425 Fax: (305) 238-2244

**1 COPY OF SURVEY**  
SCALE AS SHOWN. REFER TO  
SEALED COPY PROVIDED.

qPublic.net Monroe County, FL

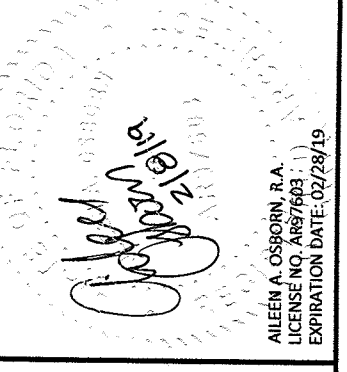


Parcel ID 00051100-000000 Alternate ID 2051721 Owner Address KOA/LLC  
Sec/Twp/Rng 05168/25 3320/Diviers Dr 3320/Diviers Dr  
Property Address 2222 N. ROOSEVELT BLVD Class STORE Key West, FL 33040  
KEY WEST

**2 LOCATION MAP**  
SCALE: NOT TO SCALE

# 2222 N. ROOSEVELT BLVD. KEY WEST, FL 33040 COMMERCIAL RENOVATION

RE: 0051100-000000



## PLANNING REVIEW

### SCOPE OF WORK

- A. RENOVATION OF EXISTING COMMERCIAL STRUCTURE.
- B. DEMOLITION OF EXISTING STORAGE BUILDING [277.98 SF].
- C. REALLOCATION OF BUILDING AREA FOR DRIVE-UP TELLER AWNING [240.9 SF].
- D. [1]-NEW HANDICAP PARKING SPACE, AND [11]-STANDARD PARKING SPACES.
- E. [2]-ADA RESTROOMS
- F. NEW ELECTRICAL SERVICE PANEL, AND METER [LOCATION].

### CODE INFORMATION

**APPLICABLE CODES**  
FLORIDA BUILDING CODE 6TH EDITION 2017, WITH ALL AMENDMENTS.  
CODE OF ORDINANCES CITY OF KEY WEST, FLORIDA  
ACSE 24-14 FLOOD RESISTANT DESIGN AND CONSTRUCTION  
ACSE 7-10 WIND LOADS  
NFPA 13 STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS

**USE AND OCCUPANCY CLASSIFICATION**  
BUSINESS GROUP B

**EXISTING BUILDINGS**  
ALTERATION LEVEL 3

**FEMA (FEDERAL EMERGENCY MANAGEMENT AGENCY) REQUIREMENTS**  
FLOOD ZONE AE 8

**DESIGN CRITERIA**  
WIND LOADS: 180 MPH ULTIMATE; 139.4 MPH NOMINAL  
WIND EXPOSURE: B  
FLOOR LOADS: 40 PSF LL - 20 PSF DL  
ROOF LOADS: 20 PSF LL - 15 PSF DL  
SEISMIC LOAD: 0

### PROJECT TEAM

**ARCHITECTURE**  
A2O ARCHITECTURE LLC  
A: 1107 KEY PLAZA #130, KEY WEST, FL, 33040  
E: A2OARCHITECTURE@GMAIL.COM  
P: 305-360-8644

**ENGINEERING**  
MERIDIAN ENGINEERING  
A: 201 FRONT ST. SUITE #203, KEY WEST, FL 33040  
E: RMILLELLI@MEFLKEYS.COM  
P: 305.293.3263

**LANDSCAPE ARCHITECTURE**  
KEITH OROPEZA  
A: 1815 EDGEWATER DRIVE, ORLANDO FL, 32804  
E: KORPEZA@SMEINC.COM  
P: 407.222.9583

02.08.2019  
PLANNING  
01.11.2019  
DRG PLANS

NOTES:  
1. CLARIFICATIONS ARE PROVIDED FOR INCLUSION INTO PERMIT DRAWINGS, AND SHALL REPLACE PREVIOUSLY SUBMITTED SHEET.

### DRAWING INDEX

GENERAL	ARCHITECTURAL	CIVIL	LANDSCAPE	SAFETY
G1.0 COVER, SCOPE, INDEX AND SURVEY COPY	AE1.1 EXISTING SITE PLAN AE2.1 EXISTING FLOOR PLAN AE3.1 EXISTING ELEVATIONS A1.1 PROPOSED SITE PLAN AND DATA A2.1 PROPOSED FLOOR PLAN A3.1 PROPOSED ELEVATIONS	C-1 CIVIL PLAN AND DETAILS	L-1 CONCEPTUAL LANDSCAPE PLAN	LFS-1 LIFE SAFETY PLAN AND CODE REFERENCES

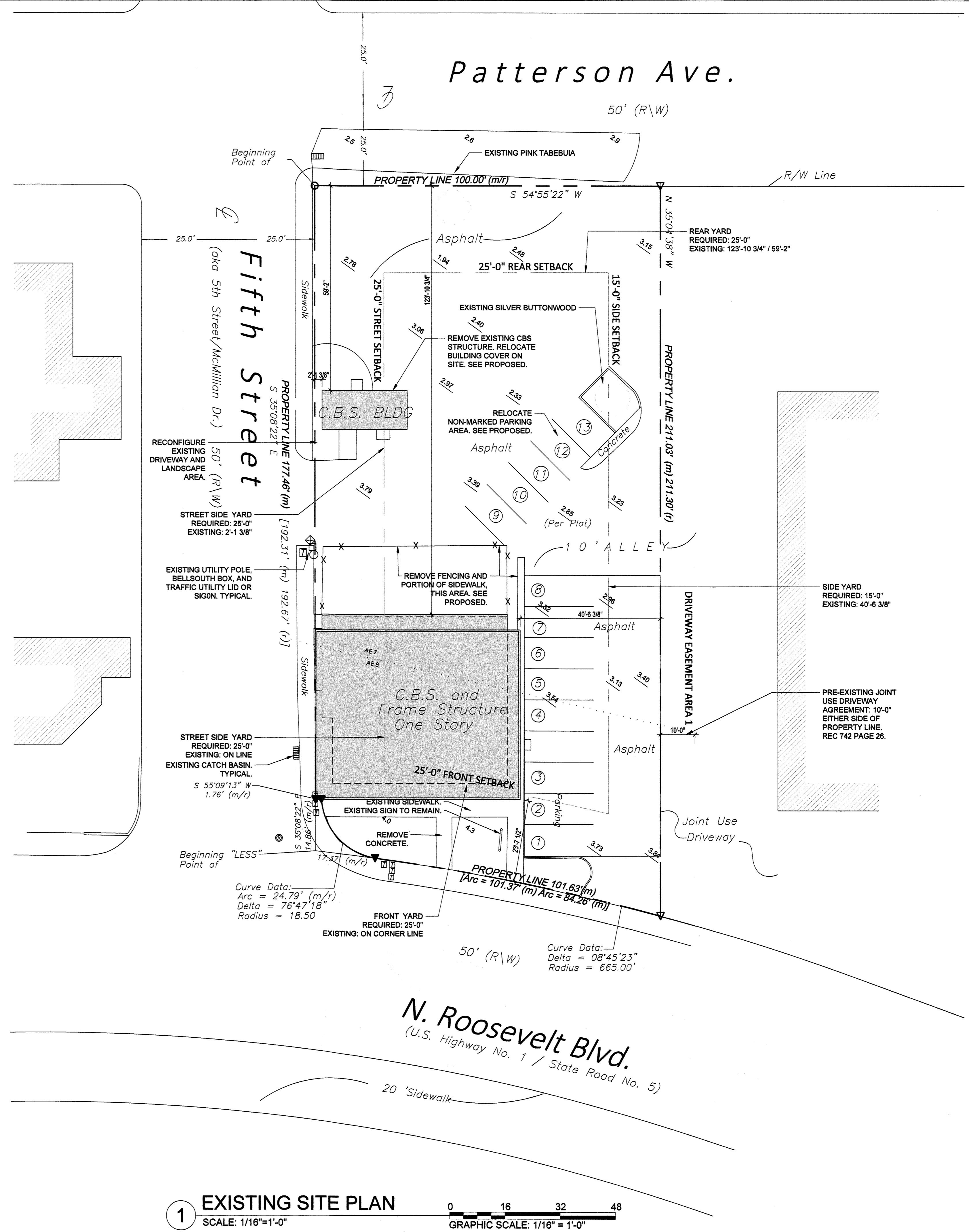
SUBMISSIONS:  
01.11.2019 - DRG PLANS  
02.08.2019 - PLANNING

TITLE:  
**COVER, INDEX  
SCOPE, INDEX  
& SURVEY**

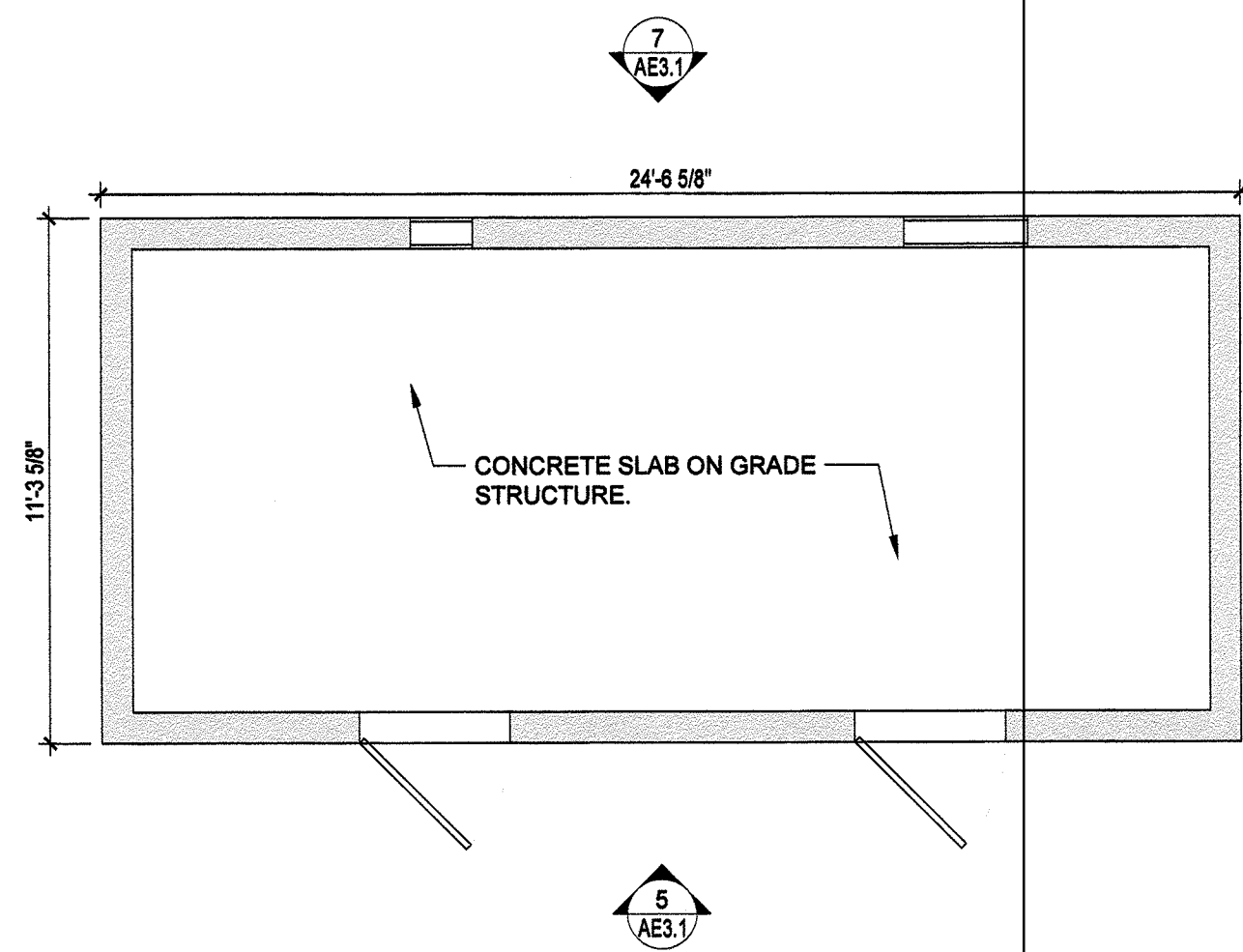
PROJECT #: 18-48

SHEET:  
**G1.0**

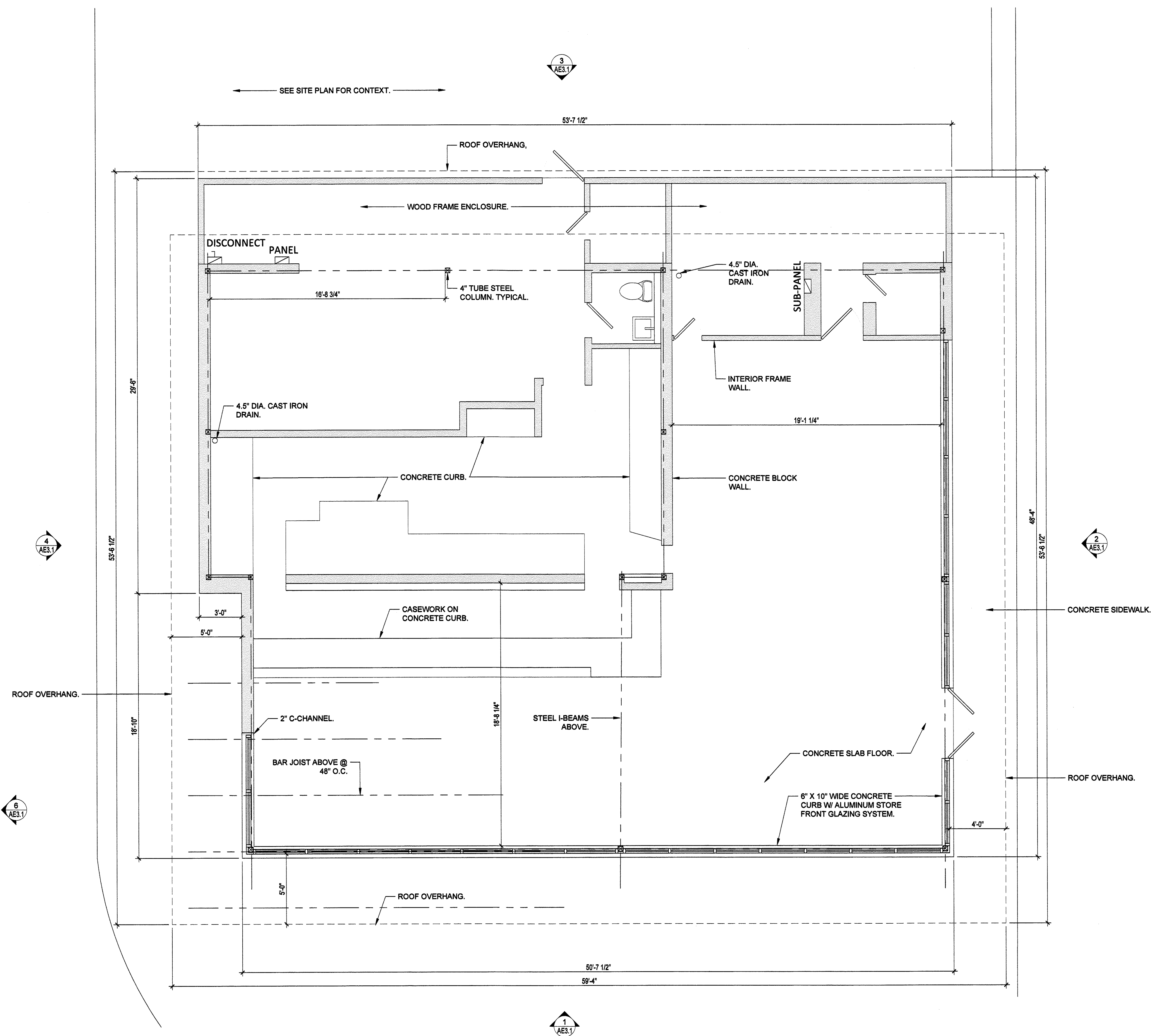
PROJECT SITE DATA		
2222 N. ROOSEVELT BLVD., KEY WEST, FLORIDA 33040		
REAL ESTATE NO.: 00051100-000000		
ZONING DISTRICT / LAND USE	CG COMMERCIAL GENERAL	
FLOOD ZONE	AE 7 / AE8	
CODE REQUIREMENTS:	REQUIRED	EXISTING
LOT SIZE [TOTAL]	15,000 SF	19,934 SF
HEIGHT		
PRINCIPLE STRUCTURE	30'-0"	12'-11 3/4"
ACCESSORY STRUCTURE	30'-0"	9'-2"
SETBACKS [PRINCIPLE STRUCTURE]		
FRONT YARD	25'-0"	0'-0" / 23'-7 1/2"
STREET SIDE YARD	20'-0"	0'-0"
SIDE YARD	15'-0"	40'-6 3/8"
REAR YARD	25'-0"	123'-10 3/4"
SETBACKS [ACCESSORY STRUCTURE]		
FRONT YARD	25'-0"	N/A
STREET SIDE YARD	20'-0"	2'-1 3/8"
SIDE YARD	15'-0"	N/A
REAR YARD	5'-0"	59'-2"
FLOOR AREA RATIO	0.8	0.17
BUILDING COVERAGE [TOTAL]	40% [7,973.6 SF]	17.2% [3,429.4 SF]
PRINCIPLE STRUCTURE	-	3,151.1 SF
ACCESSORY STRUCTURE	-	278.3 SF
IMPERVIOUS COVERAGE [TOTAL]	60% [11,960.4 SF]	93.8% [18,698.7 SF]
OPEN SPACE / LANDSCAPE [TOTAL]	20% [3,986.8 SF]	6.2% [1,235.3 SF]
PARKING AREA [SEC 108-607]	10% PARKING AREA [512 SF]	6.9% [354.9 SF]
ADDITIONAL / BUFFER [SEC.108-347]	NOT REQUIRED	880.4 SF
PARKING [TOTAL]	9 VEHICLE/ 3 BICYCLE	13/0
CAR [STANDARD] SEC 108-572 (15)	1:300 SF GROSS=9	13
CAR [ACCESSIBLE] SEC 108-650	UP TO 25 STANDARD=1	0
BICYCLE SEC 108-572	25% OF TOTAL REQ. VEH.=3	0



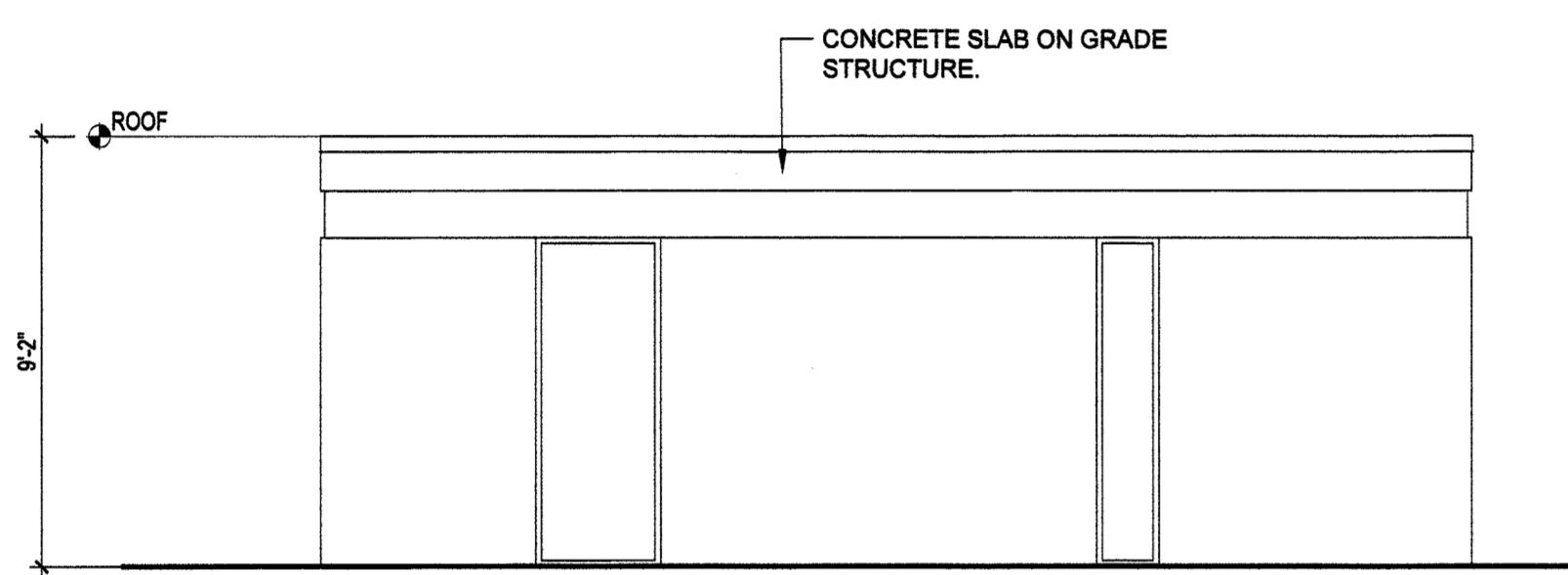
**1 EXISTING SITE PLAN**  
 SCALE: 1/16"=1'-0"  
 GRAPHIC SCALE: 1/16" = 1'-0"



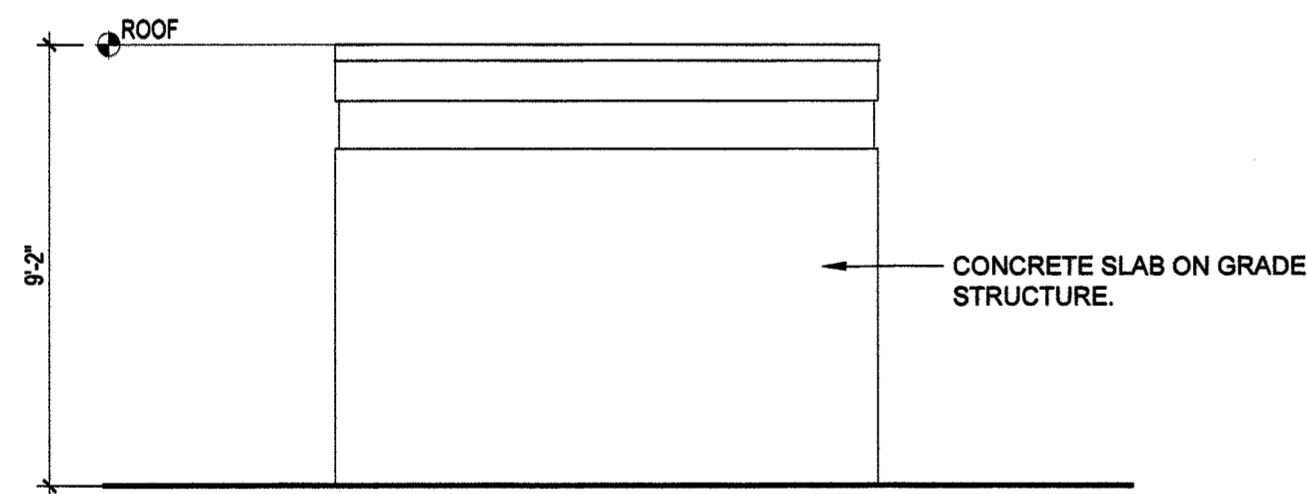
**2** EXISTING STORAGE FLOOR PLAN  
SCALE: 1/4"=1'-0"



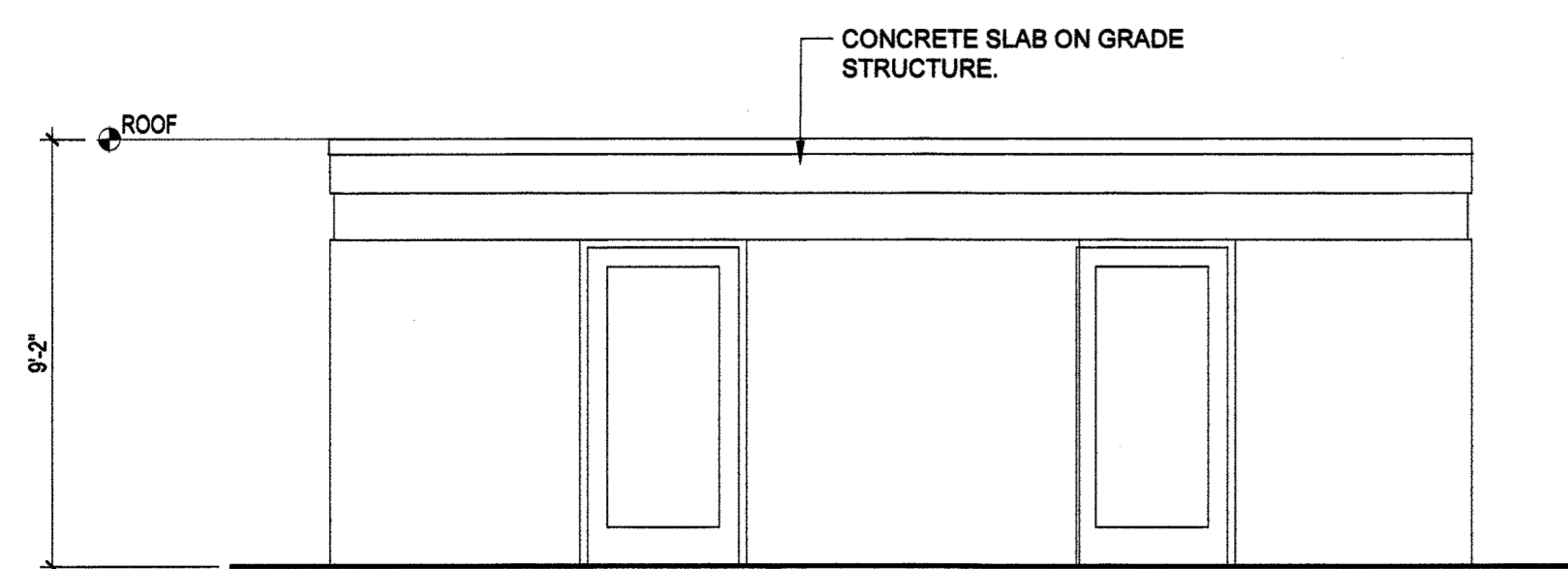
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SCALE: 1/4"=1'-0"  
GRAPHIC SCALE: 1/4" = 1'-0"



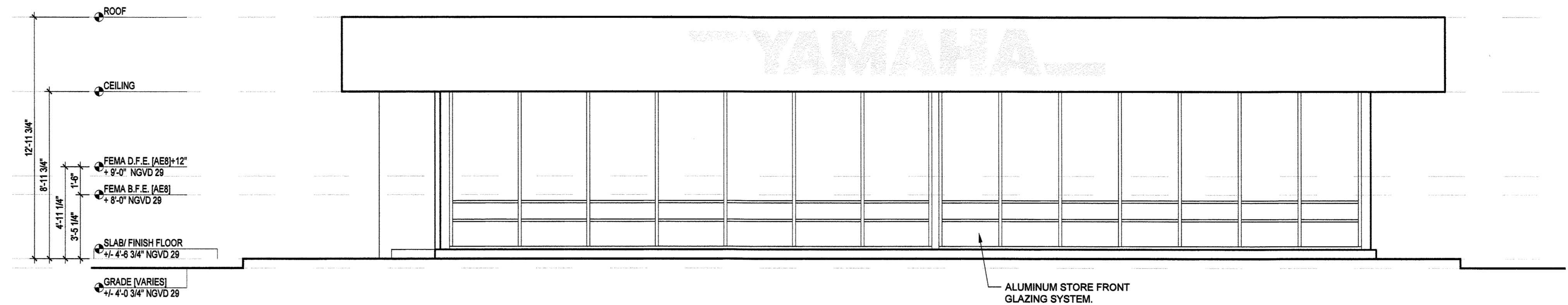
7 EXISTING STORAGE ELEVATION (SOUTH)  
SCALE: 1/4"=1'-0"



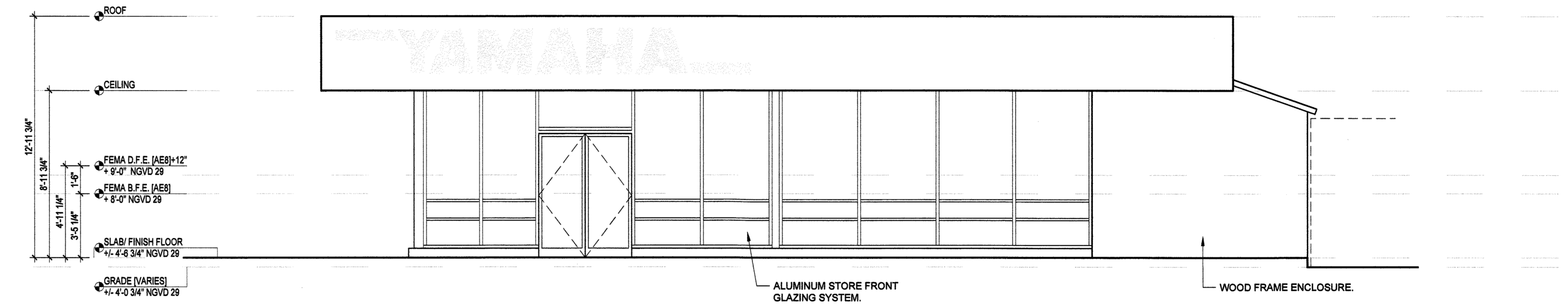
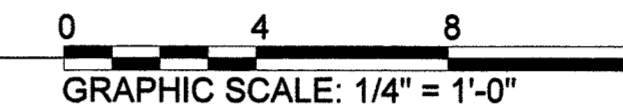
6 EXISTING STORAGE ELEVATION (SIDES)  
SCALE: 1/4"=1'-0"



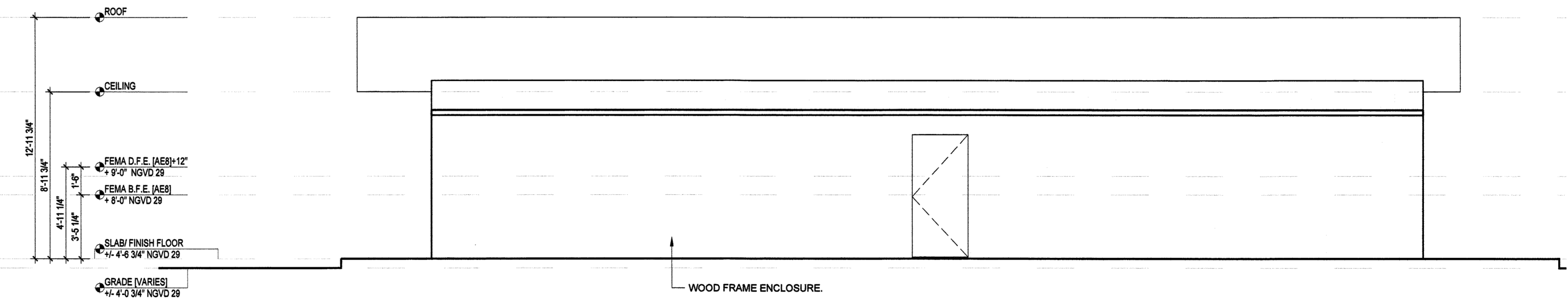
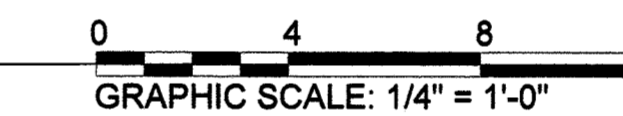
5 EXISTING STORAGE ELEVATION (NORTH)  
SCALE: 1/4"=1'-0"



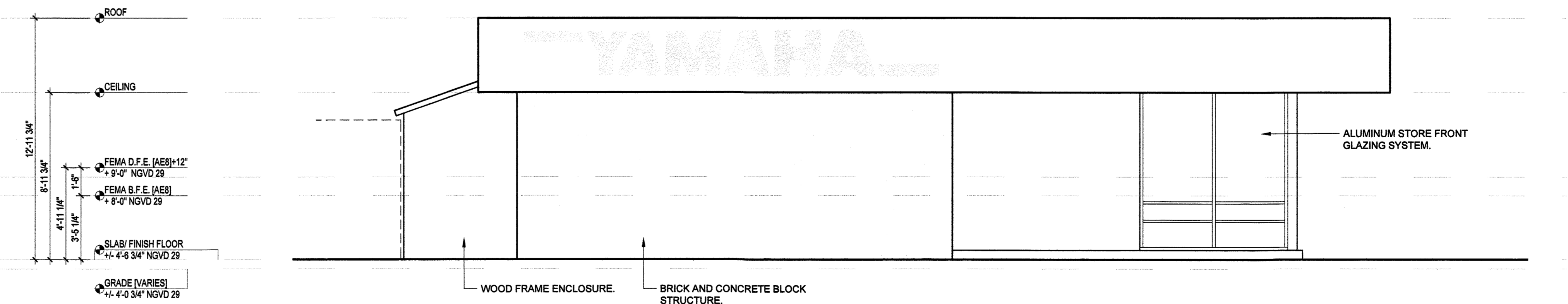
1 EXISTING FRONT ELEVATION (NORTH)  
SCALE: 1/4"=1'-0"



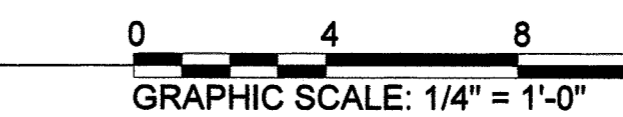
2 EXISTING SIDE ELEVATION (WEST)  
SCALE: 1/4"=1'-0"



3 EXISTING REAR ELEVATION (SOUTH)  
SCALE: 1/4"=1'-0"

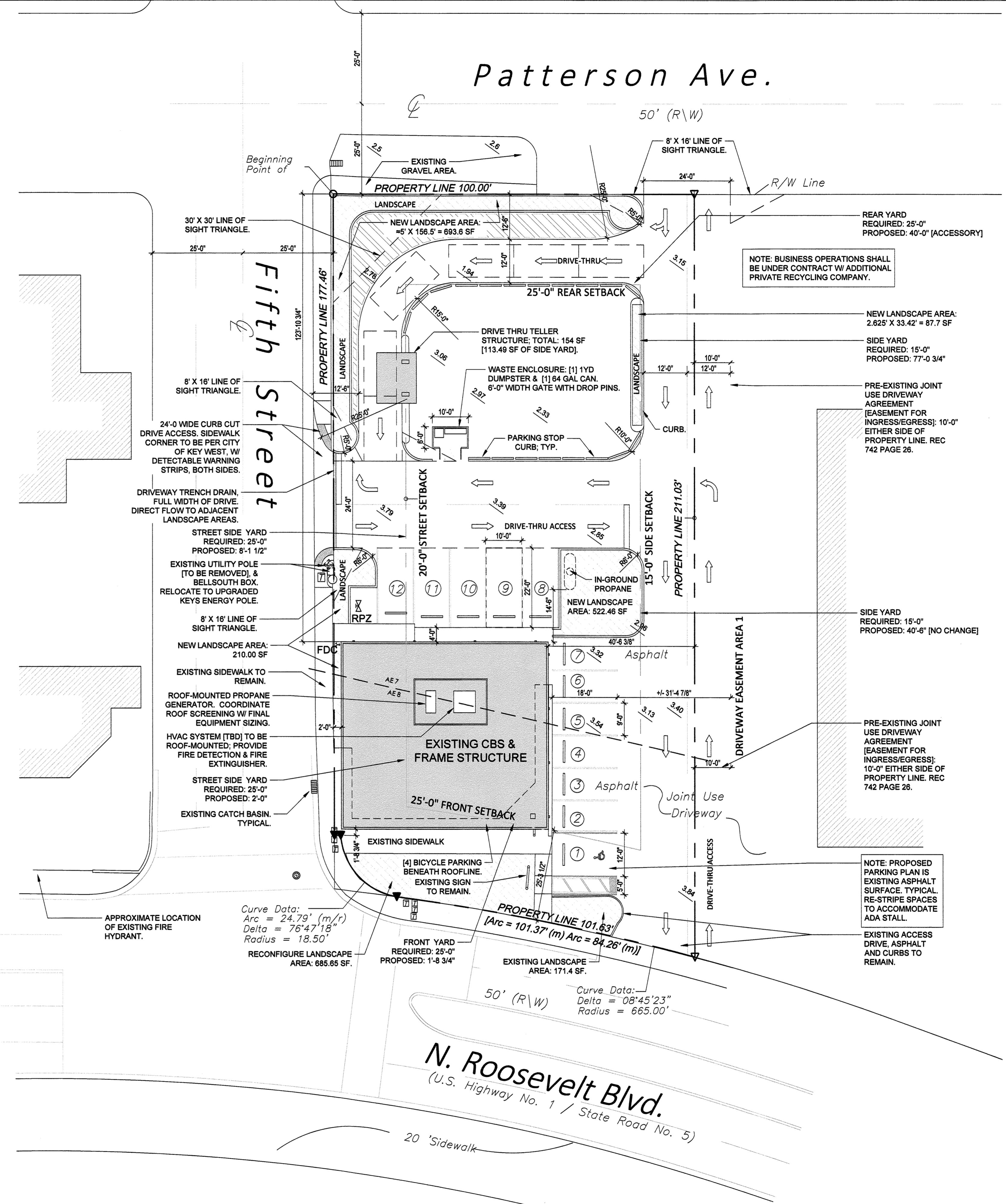


4 EXISTING SIDE ELEVATION (EAST)  
SCALE: 1/4"=1'-0"





PROJECT SITE DATA				
2222 N. ROOSEVELT BLVD., KEY WEST, FLORIDA 33040				
REAL ESTATE NO.: 00051100-000000				
ZONING DISTRICT / LAND USE	CG COMMERCIAL GENERAL			
FLOOD ZONE	AE 7 / AE8			
CODE REQUIREMENTS:	REQUIRED	EXISTING	PROPOSED	COMPLIANCE
LOT SIZE [TOTAL]	15,000 SF	19,934 SF	NO CHANGE	YES
HEIGHT				
PRINCIPLE STRUCTURE	30'-0"	12'-11 3/4"	14'-0"	YES
ACCESSORY STRUCTURE	30'-0"	9'-2"	11'-6"	YES
SETBACKS [PRINCIPLE STRUCTURE]				
FRONT YARD	25'-0"	0'-0" / 23'-7 1/2"	1'-8 3/4" / 25'-3 1/2"	IMPROVE
STREET SIDE YARD	20'-0"	0'-0"	2'-0"	IMPROVE
SIDE YARD	15'-0"	40'-6 3/8"	NO CHANGE	YES
REAR YARD	25'-0"	123'-10 3/4"	NO CHANGE	YES
SETBACKS [ACCESSORY STRUCTURE]				
FRONT YARD	25'-0"	N/A	N/A	N/A
STREET SIDE YARD	20'-0"	2'-1 3/8"	8'-1 1/2"	IMPROVE
SIDE YARD	15'-0"	N/A	N/A	YES
REAR YARD	5'-0"	59'-2"	40'-0"	YES
FLOOR AREA RATIO	0.8	0.17	0.15	YES
BUILDING COVERAGE [TOTAL]	40% [7,973.6 SF]	17.2% [3,429.4 SF]	15.7% [3,125.8 SF]	YES
PRINCIPLE STRUCTURE	-	3,151.1 SF	2,971.8 SF	
ACCESSORY STRUCTURE	-	278.3 SF	154 SF	
IMPERVIOUS COVERAGE [TOTAL]	60% [11,960.4 SF]	93.8% [18,698.7 SF]	88.1% [17,566.5 SF]	IMPROVE
OPEN SPACE / LANDSCAPE [TOTAL]	20% [3,986.8 SF]	6.2% [1,235.3 SF]	11.9% [2,367.5 SF]	IMPROVE
PARKING AREA [SEC 108-607]	10% PARKING AREA [512 SF]	6.9% [354.9 SF]	17.6% [900.5 SF]	YES
ADDITIONAL / BUFFER [SEC.108-347]	NOT REQUIRED	880.4 SF	1,467 SF	YES
PARKING [TOTAL]	9 VEHICLE/ 3 BICYCLE	13/0	12/4	YES
CAR [STANDARD] SEC 108-572 (15)	1:300 SF GROSS=9	13	11	YES
CAR [ACCESSIBLE] SEC 108-650	UP TO 25 STANDARD=1	0	1	YES
BICYCLE SEC 108-572	25% OF TOTAL REQ. VEH.=3	0	4	YES



**1 PROPOSED SITE PLAN**  
SCALE: 1/16" = 1'-0"  
GRAPHIC SCALE: 1/16" = 1'-0"

**A2O ARCHITECTURE**  
11111 BAYVIEW BLVD., SUITE 100, MIAMI, FL 33147  
TEL: 305-304-4141 FAX: 305-304-4142  
WWW.A2OARCHITECTURE.COM

ARCHITECT: [Signature]

CONSULTANTS: [Signature]

2222 NORTH INC.  
COMMERCIAL RENOVATION  
2222 NORTH ROOSEVELT BLVD.  
KEY WEST, FLORIDA 33040

SUBMISSIONS:  
01.11.2019 - PRE PLANS  
04.08.2019 - PLANNING

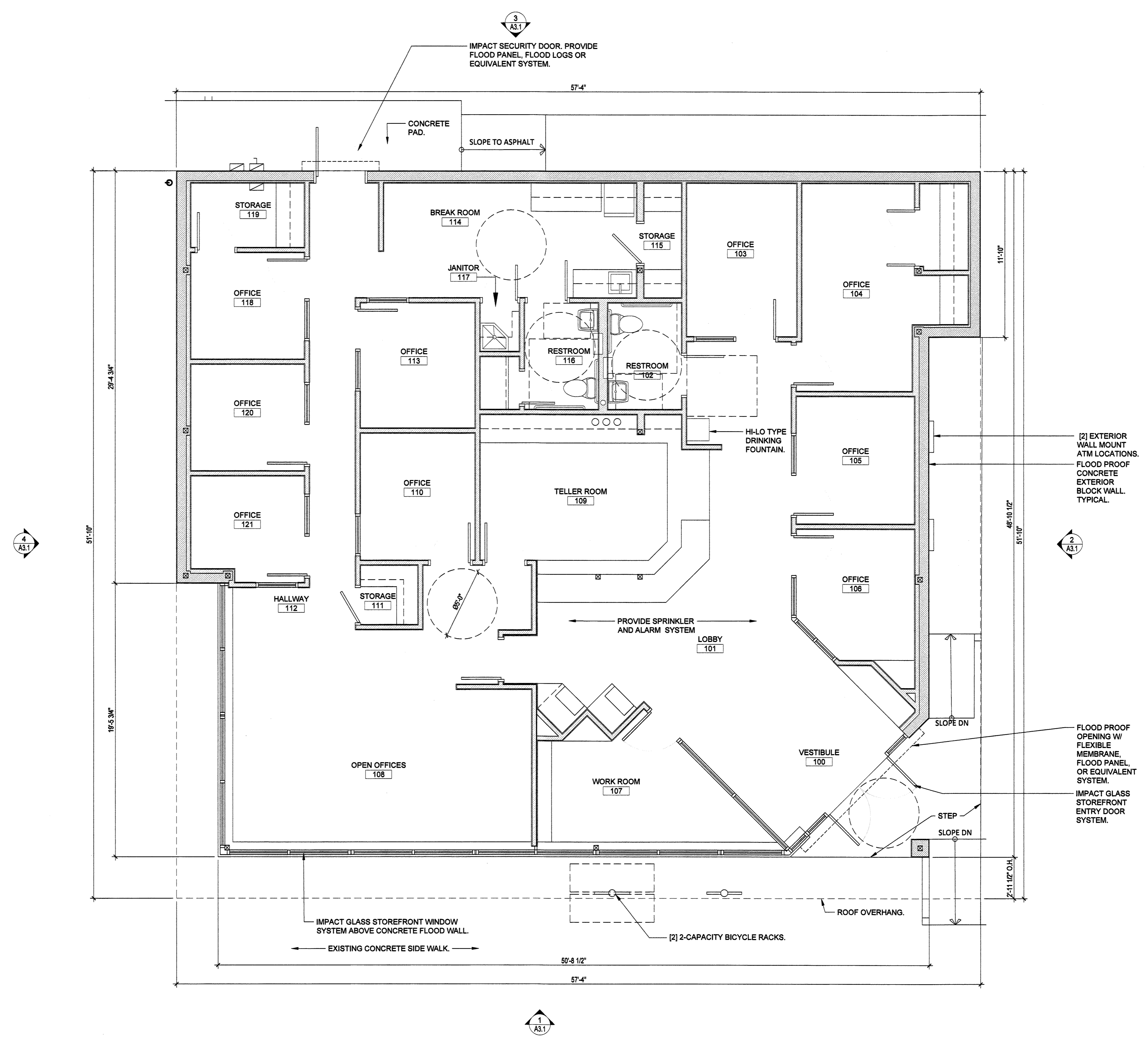
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PROJECT #: 18.48

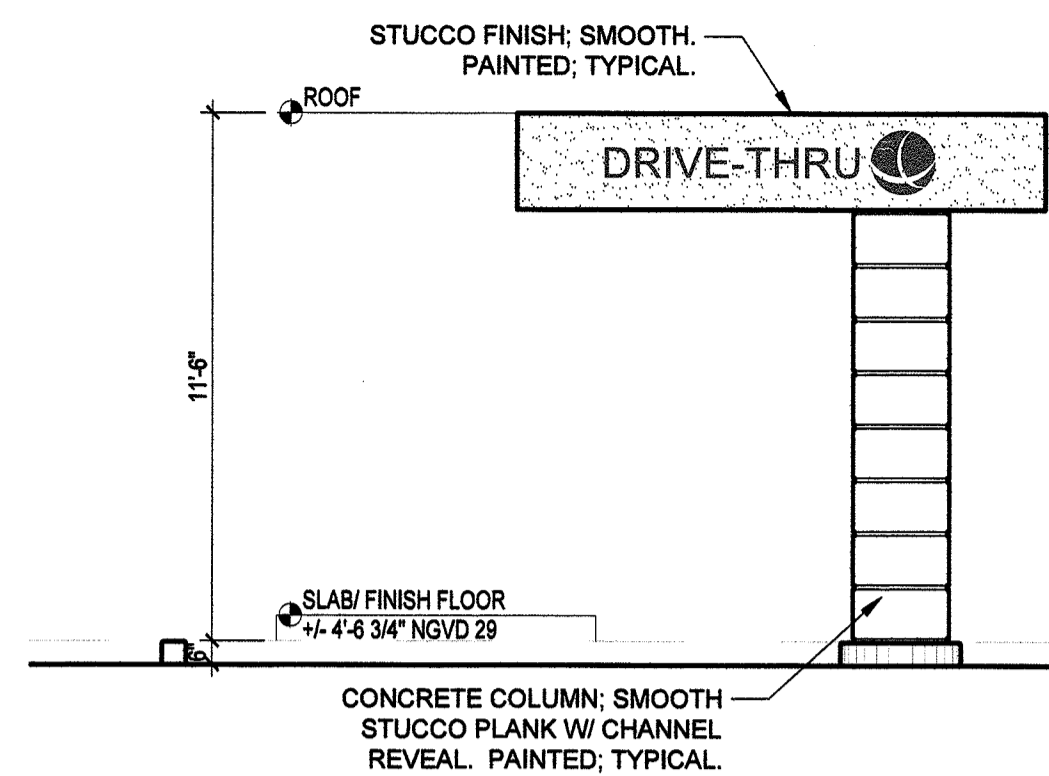
SHEET: **A7.7**

FEB. 8, 2019

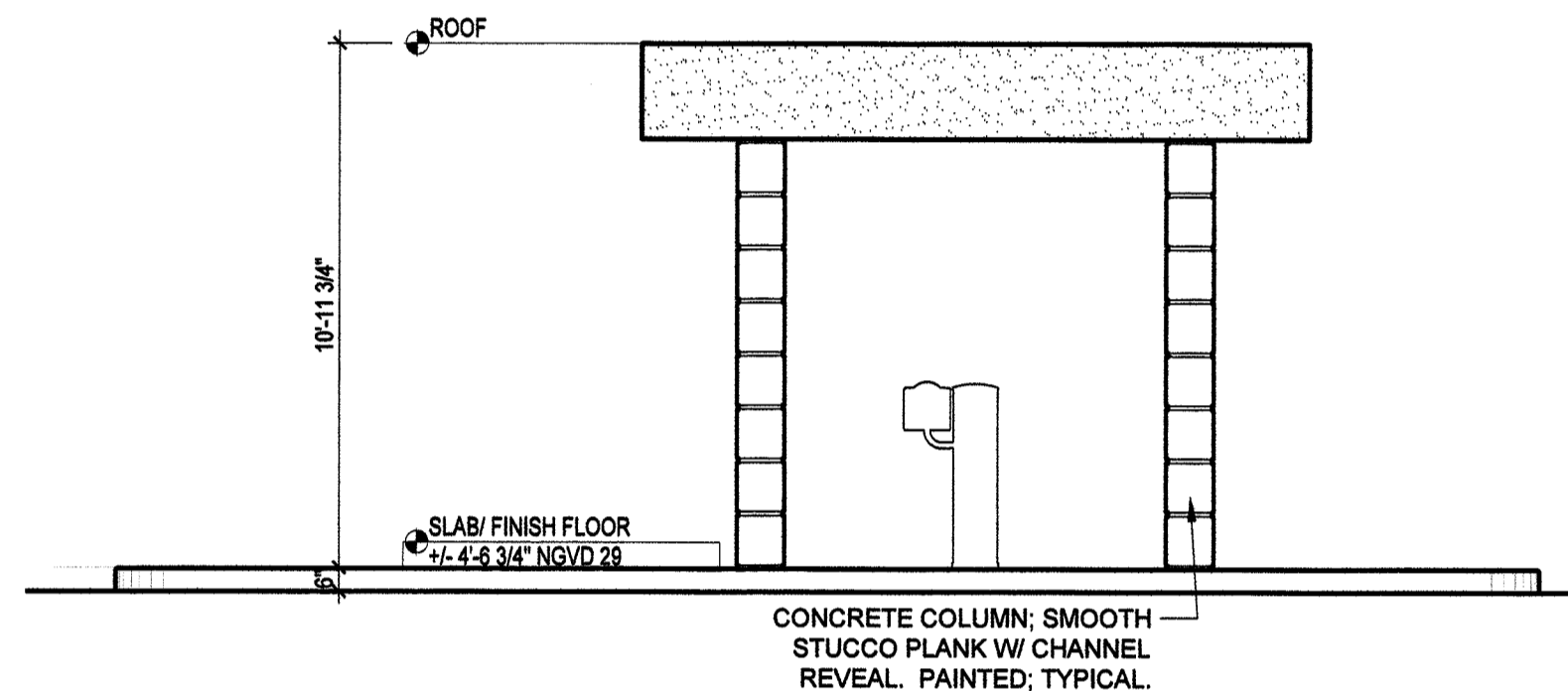
© 2019 BY A2O ARCHITECTURE, LLC



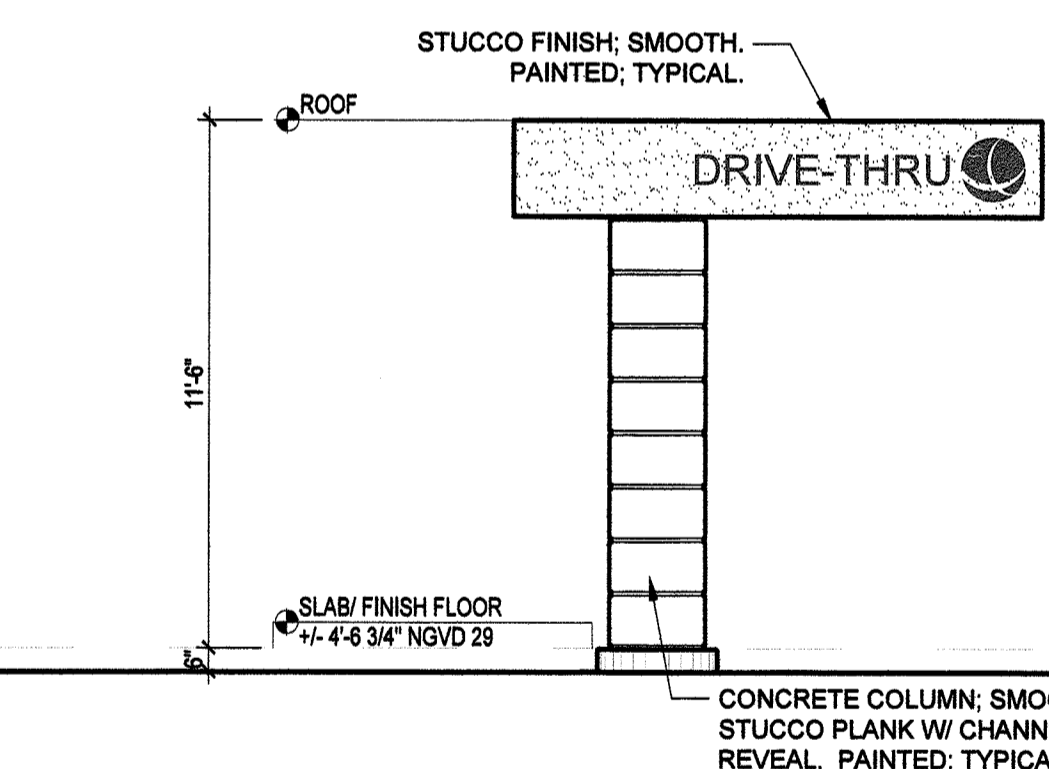
**1** PROPOSED FLOOR PLAN  
SCALE: 1/4" = 1'-0"  
GRAPHIC SCALE: 1/4" = 1'-0"



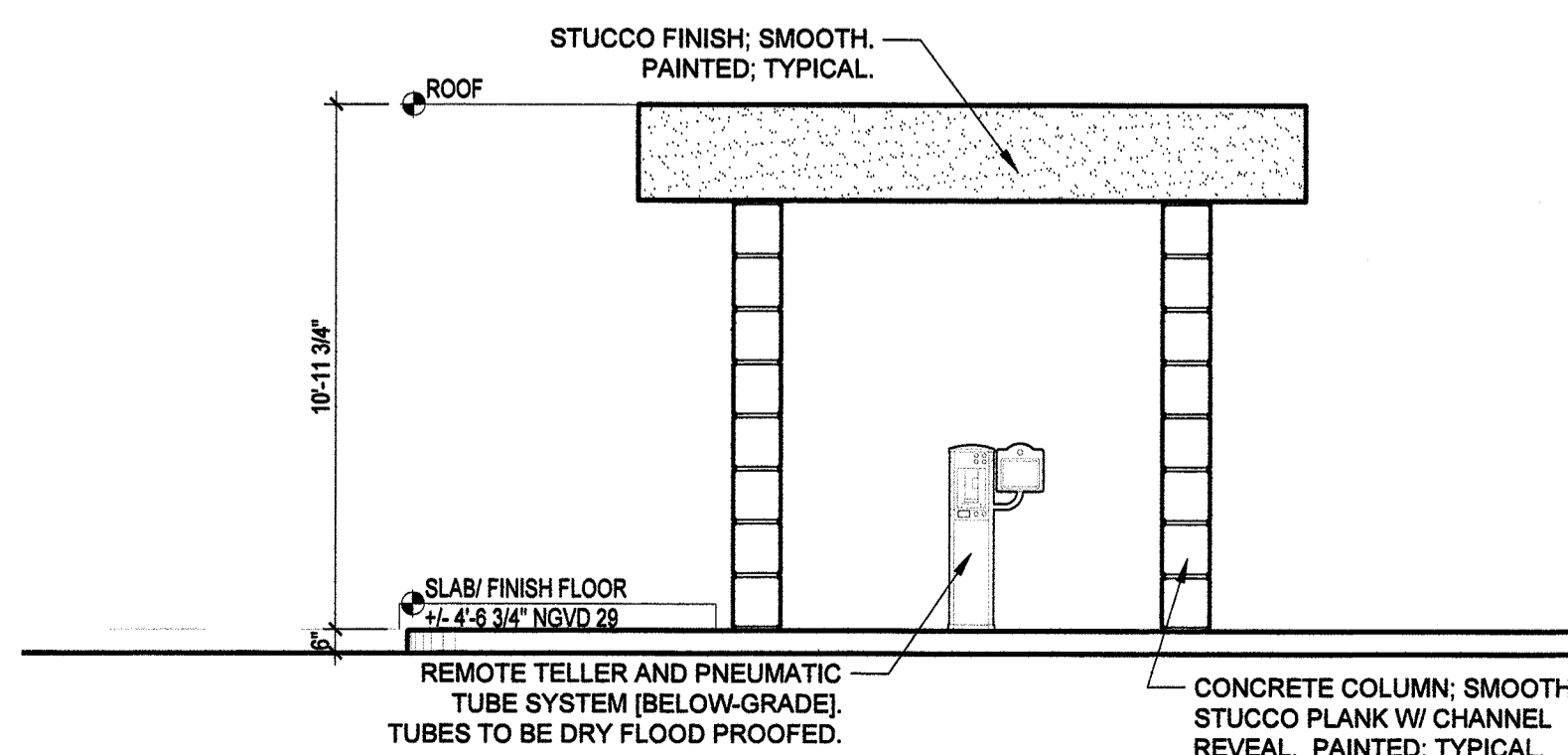
**5 DRIVE-UP TELLER ELEVATION (NORTH)**  
SCALE: 1/4"=1'-0"



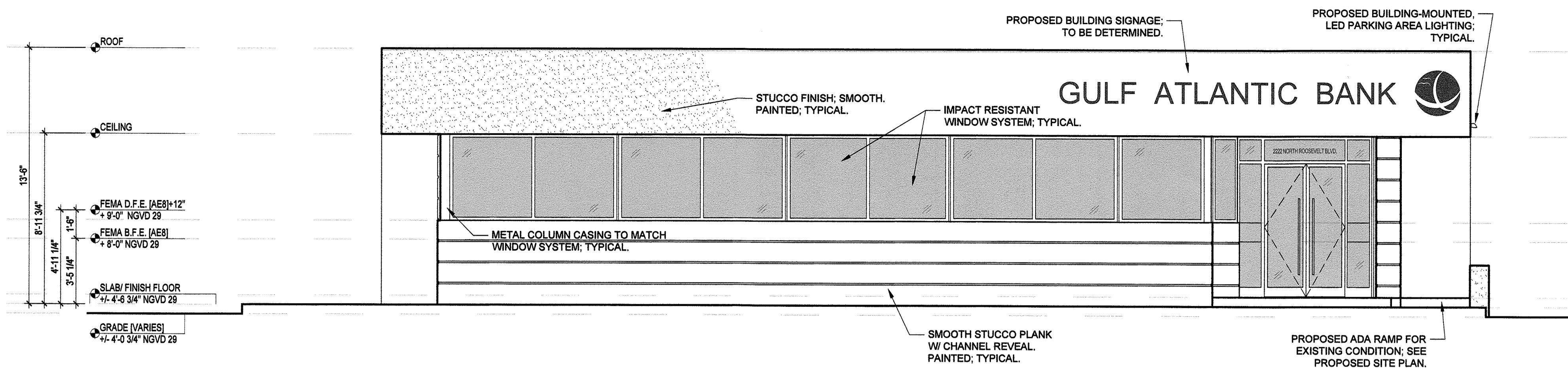
**7 DRIVE-UP TELLER ELEVATION (WEST)**  
SCALE: 1/4"=1'-0"



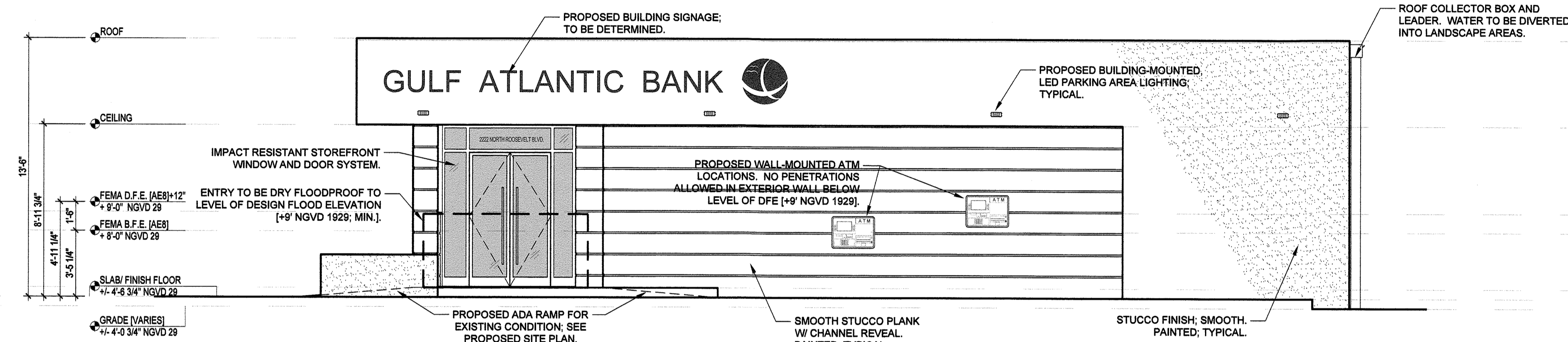
**6 DRIVE-UP TELLER ELEVATION (SOUTH)**  
SCALE: 1/4"=1'-0"



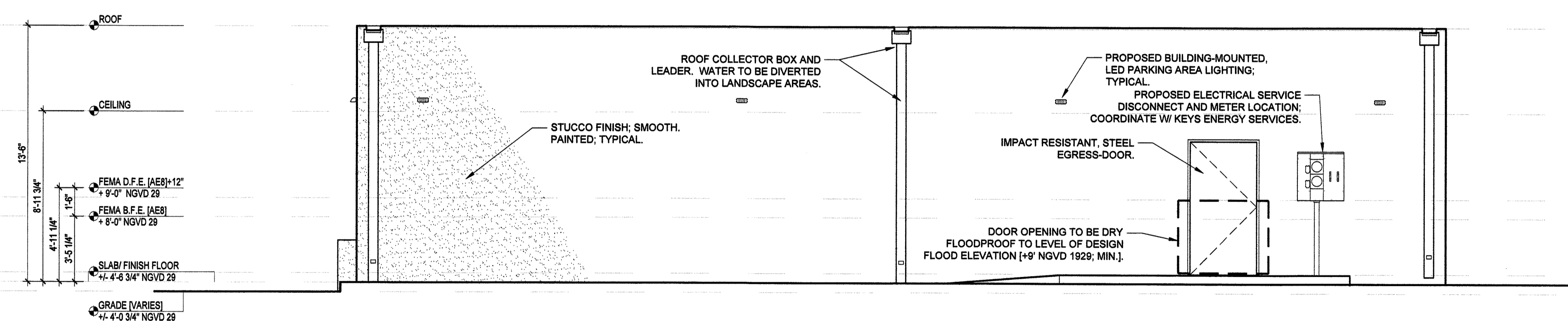
**5 DRIVE-UP TELLER ELEVATION (EAST)**  
SCALE: 1/4"=1'-0"



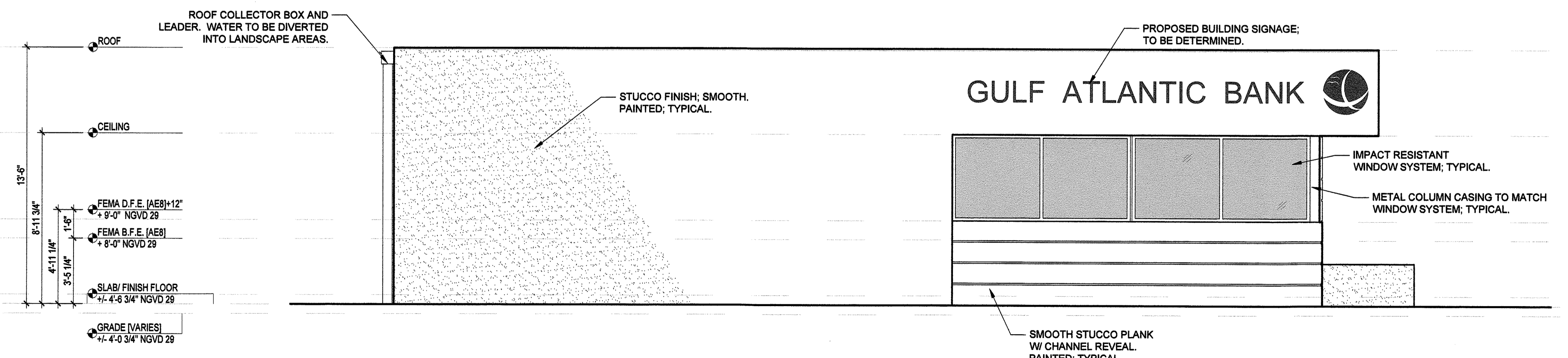
**1 PROPOSED FRONT ELEVATION (NORTH)**  
SCALE: 1/4"=1'-0"  
GRAPHIC SCALE: 1/4" = 1'-0"



**2 PROPOSED SIDE ELEVATION (WEST)**  
SCALE: 1/4"=1'-0"  
GRAPHIC SCALE: 1/4" = 1'-0"



**3 PROPOSED REAR ELEVATION (SOUTH)**  
SCALE: 1/4"=1'-0"  
GRAPHIC SCALE: 1/4" = 1'-0"



**4 PROPOSED SIDE ELEVATION (EAST)**  
SCALE: 1/4"=1'-0"  
GRAPHIC SCALE: 1/4" = 1'-0"

**LIFE SAFETY - GENERAL NOTES:**

1. FINAL LOCATION OF FIRE EXTINGUISHERS TO BE COORDINATED WITH FIRE MARSHAL.
2. CONTRACTOR TO PROVIDE FIRE ALARM SHOP DRAWINGS FOR COMPLIANT SYSTEM.
3. CONTRACTOR TO PROVIDE FIRE PROTECTION SHOP DRAWINGS FOR COMPLIANT SYSTEM.

**LIFE SAFETY - CODE REFERENCES:**

Chapter 3: Use and Occupancy Classification  
 • Section 304 Business Group B

Chapter 6: Types of Construction  
 • Type III-B

Chapter 10: Means of Egress:

**Section 1004: Occupant Load**

- Max floor area per occupant: 100 gross
- 1004.2 Increase not to exceed 1 person per 7sf of occupiable floor space.

**Section 1005: Egress Sizing**

- 3 inches per occupant stairs
  - o .3 [XX occupants / X stairs] = XX" per stair
- 2 inches per occupant for other components
  - o [DOOR WIDTH- 3"] / .2 = egress capacity of a single door

**Section 1006: Exit and Exit Access Doorways**

- Two exits shall be provided where:
  - o Occupant load exceeds 49 for 8 occupancies.
- Common path of egress travel distance 100' per table 1006.2.1

**Section 1011: Stairways**

- Stairway width shall be per 1005.1 but not less than 44 inches.

**Section 1013: Exit Signs**

- Exits shall be marked with readily visible sign from any direction of egress travel. Sign placement shall be such that no point in an exit corridor or passageway is more than 100 feet from the nearest visible sign.
  - o Signs are not required in rooms or areas that only require one exit.
  - o Main exterior exit doors that are obviously and clearly identifiable as exits need not have exit signs where approved by the building official.

**Section 1017: Exit Access Travel Distance**

- Travel distances shall not exceed values in Table 1017.2: 300' with sprinkler system per 903.3.1.1

**Section 1028: Exit Discharge**

- Exits shall discharge directly to the exterior of the building.

**LIFE SAFETY PLAN LEGEND:**

	COMBO EXIT LIGHT	LED EXIT SIGN, DIRECTION AS SHOWN ON PLAN. WIRED & CIRCUITED.
	EMERGENCY LIGHT	LED EMERGENCY LIGHT. WIRED & CIRCUITED.
	FIRE EXTINGUISHER	FIRE EXTINGUISHER CAB
	HORN / STROBE	WALL MOUNTED FIRE ALARM COMBINATION AUDIBLE/VISUAL SIGNALING NIT. HORN/FLASHING "FIRE" LIGHT MIN. 75CD. MOUNTED AT 80" AF-F.
	SMOKE DETECTOR	CEILING MOUNTED COMBO SMOKE DETECTOR AND CO2 SENSOR. WIRED AND CIRCUITED.
		3 HR. FIRE RATED WALL CONSTRUCTION MIN. U914
		EXIT ACCESS TRAVEL DISTANCES (FBC 1017)

**OCCUPANCY ZONE LEGEND:**

BUSINESS AREA - 100 GROSS

**LIFE SAFETY - OCCUPANCY CALCULATIONS**

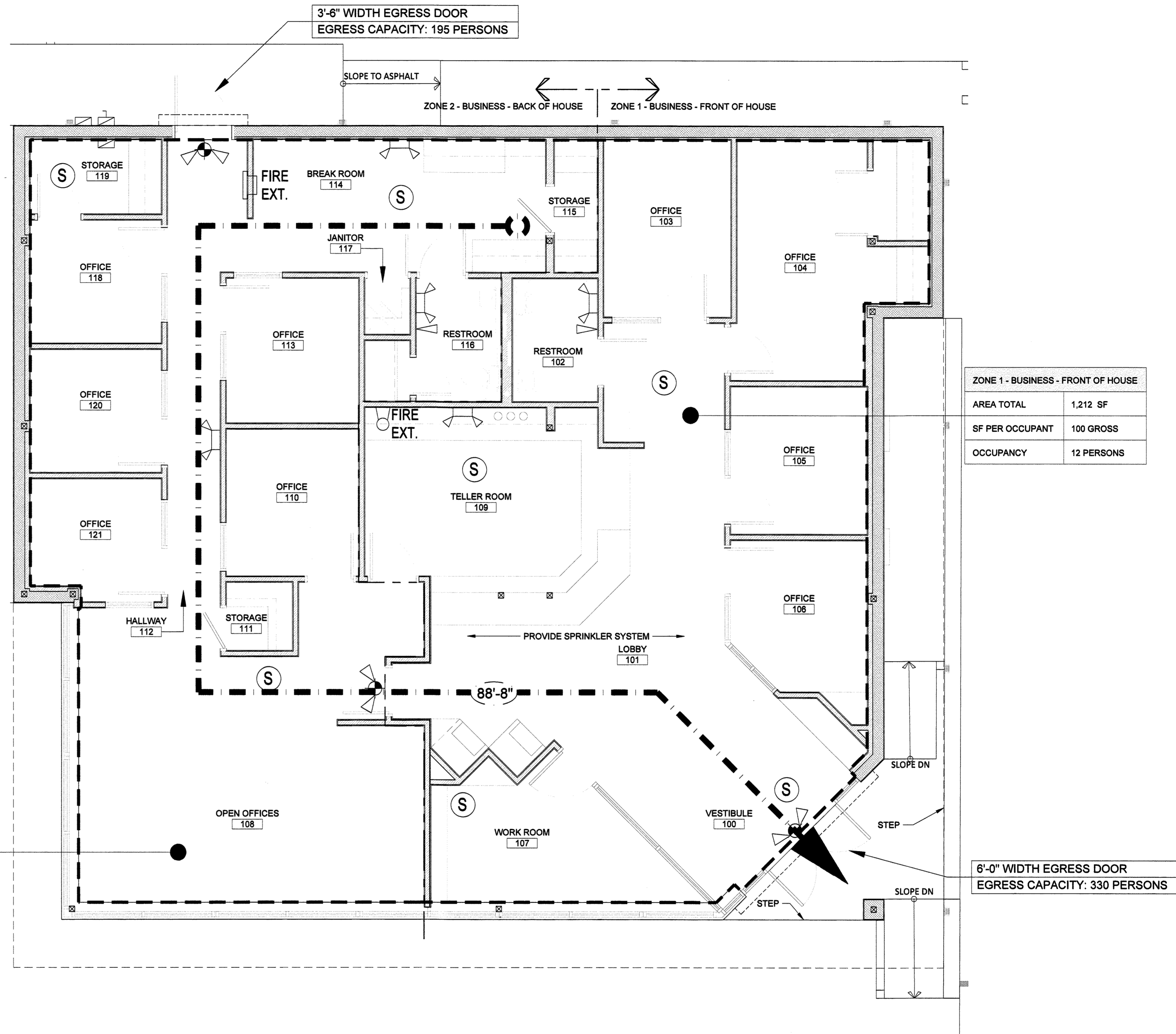
FIRST FLOOR	ZONE	SF	OCCUPANCY
	ZONE 1	1,212 SF	= 12 PERSONS
	ZONE 2	1,150.6 SF	= 12 PERSONS
<b>TOTAL BUILDING OCCUPANCY: 24 PERSONS</b>			

**FIRE PROTECTION SYSTEM REQUIREMENTS**

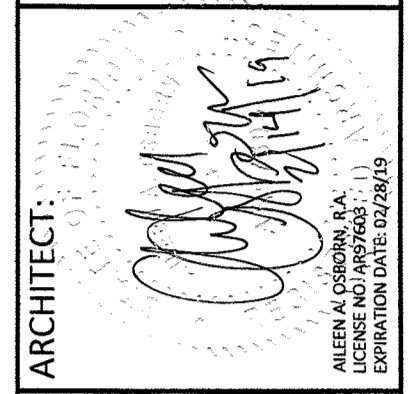
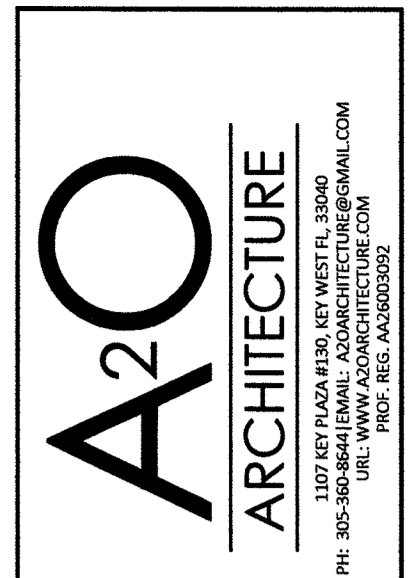
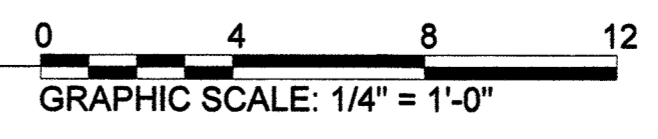
1. SPRINKLER - SYSTEM TO COMPLY WITH NFPA 13.
2. ALARM - SYSTEM TO COMPLY WITH NFPA 72.
3. LIFE SAFETY - BUILDING TO COMPLY WITH NFPA 101.

ZONE 2 - BUSINESS - BACK OF HOUSE	
AREA TOTAL	1,150.6 SF
SF PER OCCUPANT	100 GROSS
OCCUPANCY	12 PERSONS

ZONE 1 - BUSINESS - FRONT OF HOUSE	
AREA TOTAL	1,212 SF
SF PER OCCUPANT	100 GROSS
OCCUPANCY	12 PERSONS



**1 LIFE SAFETY PLAN**  
 SCALE: 1/4"=1'-0"



CONSULTANTS:  
 [Faint text]

2222 NORTH INC.  
**COMMERCIAL RENOVATION**  
 2222 NORTH ROOSEVELT BLVD.  
 KEY WEST, FLORIDA 33040

SUBMISSIONS:  
 01.13.2019 - ARCHITECTS  
 02.08.2019 - FINISHING

TITLE:  
**LIFE SAFETY PLAN**  
 PROJECT #: 18-48

SHEET:  
**LFS-7**  
 FEB. 8, 2019  
 DRAWING SIZE: A36X42 | DO NOT SCALE DRAWINGS | PLOTTED: 2/24/2019 4:55 PM  
 © 2019 BY A2O ARCHITECTURE, LLC

# **Elevation Certificate**

# ELEVATION CERTIFICATE

**Important:** Follow the instructions on pages 1-9.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A - PROPERTY INFORMATION						FOR INSURANCE COMPANY USE
A1. Building Owner's Name 2222 North Inc					Policy Number:	
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 2222 N. Roosevelt Blvd.					Company NAIC Number:	
City KEY WEST		State Florida		ZIP Code 33040		
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) (Tax Parcel # 00051100-000000) (KW REALTY COS FIRST SUB PT SQR 49 TR 21 PB1-43)						
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>NON-RESIDENTIAL</u>						
A5. Latitude/Longitude: Lat. <u>24.5607 N</u> Long. <u>-81.7789 W</u> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983						
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.						
A7. Building Diagram Number <u>1A</u>						
A8. For a building with a crawlspace or enclosure(s):						
a) Square footage of crawlspace or enclosure(s) <u>0</u> sq ft						
b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>0</u>						
c) Total net area of flood openings in A8.b <u>0</u> sq in						
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No						
A9. For a building with an attached garage:						
a) Square footage of attached garage <u>0</u> sq ft						
b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade <u>0</u>						
c) Total net area of flood openings in A9.b <u>0</u> sq in						
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No						
SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION						
B1. NFIP Community Name & Community Number City of Key West 120168			B2. County Name Monroe		B3. State Florida	
B4. Map/Panel Number 12087C1517	B5. Suffix K	B6. FIRM Index Date 02/18/2005	B7. FIRM Panel Effective/ Revised Date 07/05/2018	B8. Flood Zone(s) AE	B9. Base Flood Elevation(s) (Zone AO, use Base Flood Depth) 8	
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9: <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other/Source: _____						
B11. Indicate elevation datum used for BFE in Item B9: <input checked="" type="checkbox"/> NGVD 1929 <input type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____						
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA						

**ELEVATION CERTIFICATE**

OMB No. 1660-0008  
Expiration Date: November 30, 2018

<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>			<b>FOR INSURANCE COMPANY USE</b>
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 2222 N. Roosevelt Blvd.			Policy Number:
City KEY WEST	State Florida	ZIP Code 33040	Company NAIC Number

**SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)**

C1. Building elevations are based on:  Construction Drawings\*  Building Under Construction\*  Finished Construction

\*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations – Zones A1–A30, AE, AH, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO. Complete Items C2.a–h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters.

Benchmark Utilized: BAYOU Vertical Datum: 1929

Indicate elevation datum used for the elevations in items a) through h) below.

NGVD 1929  NAVD 1988  Other/Source: \_\_\_\_\_

Datum used for building elevations must be the same as that used for the BFE.

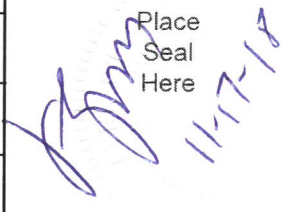
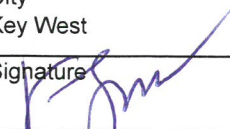
Check the measurement used.

- a) Top of bottom floor (including basement, crawlspace, or enclosure floor) 4.6  feet  meters
- b) Top of the next higher floor 0.0  feet  meters
- c) Bottom of the lowest horizontal structural member (V Zones only) 0.0  feet  meters
- d) Attached garage (top of slab) 0.0  feet  meters
- e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment and location in Comments) 9.7  feet  meters
- f) Lowest adjacent (finished) grade next to building (LAG) 3.8  feet  meters
- g) Highest adjacent (finished) grade next to building (HAG) 4.6  feet  meters
- h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support 3.8  feet  meters

**SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION**

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Were latitude and longitude in Section A provided by a licensed land surveyor?  Yes  No  Check here if attachments.

Certifier's Name J. Lynn O'Flynn	License Number 6298	Place Seal Here 
Title P.S.M.		
Company Name J. Lynn O'Flynn, Inc.		
Address 3430 Duck Avenue		
City Key West	State Florida	
Signature 	Date 11/17/2018	Telephone (305) 296-7422

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments (including type of equipment and location, per C2(e), if applicable)

C2. e) – ELECTRIC EQUIPMENT

LONGITUDE AND LATITUDE WERE DETERMINED BY USING GOOGLE EARTH.

# ELEVATION CERTIFICATE

OMB No. 1660-0008  
Expiration Date: November 30, 2018

<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>			<b>FOR INSURANCE COMPANY USE</b>
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 2222 N. Roosevelt Blvd.			Policy Number:
City KEY WEST	State Florida	ZIP Code 33040	Company NAIC Number

**SECTION E – BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED)  
FOR ZONE AO AND ZONE A (WITHOUT BFE)**

For Zones AO and A (without BFE), complete Items E1–E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1–E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
- a) Top of bottom floor (including basement, crawlspace, or enclosure) is \_\_\_\_\_ . \_\_\_\_\_  feet  meters  above or  below the HAG.
- b) Top of bottom floor (including basement, crawlspace, or enclosure) is \_\_\_\_\_ . \_\_\_\_\_  feet  meters  above or  below the LAG.
- E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 1–2 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is \_\_\_\_\_ . \_\_\_\_\_  feet  meters  above or  below the HAG.
- E3. Attached garage (top of slab) is \_\_\_\_\_ . \_\_\_\_\_  feet  meters  above or  below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is \_\_\_\_\_ . \_\_\_\_\_  feet  meters  above or  below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance?  Yes  No  Unknown. The local official must certify this information in Section G.

**SECTION F – PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION**

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.

Property Owner or Owner's Authorized Representative's Name			
Address	City	State	ZIP Code
Signature	Date	Telephone	

Comments

Check here if attachments.



**ELEVATION CERTIFICATE**

OMB No. 1660-0008

Expiration Date: November 30, 2018

**IMPORTANT: In these spaces, copy the corresponding information from Section A.**

FOR INSURANCE COMPANY USE

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.  
2222 N. Roosevelt Blvd.

Policy Number:

City  
KEY WESTState  
FloridaZIP Code  
33040

Company NAIC Number

**SECTION G – COMMUNITY INFORMATION (OPTIONAL)**

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8–G10. In Puerto Rico only, enter meters.

- G1.  The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2.  A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3.  The following information (Items G4–G10) is provided for community floodplain management purposes.

G4. Permit Number

G5. Date Permit Issued

G6. Date Certificate of  
Compliance/Occupancy Issued

G7. This permit has been issued for:  New Construction  Substantial Improvement

G8. Elevation of as-built lowest floor (including basement) of the building: \_\_\_\_\_  feet  meters Datum \_\_\_\_\_

G9. BFE or (in Zone AO) depth of flooding at the building site: \_\_\_\_\_  feet  meters Datum \_\_\_\_\_

G10. Community's design flood elevation: \_\_\_\_\_  feet  meters Datum \_\_\_\_\_

Local Official's Name \_\_\_\_\_ Title \_\_\_\_\_

Community Name \_\_\_\_\_ Telephone \_\_\_\_\_

Signature \_\_\_\_\_ Date \_\_\_\_\_

Comments (including type of equipment and location, per C2(e), if applicable)

Check here if attachments.

# BUILDING PHOTOGRAPHS

See Instructions for Item A6.

OMB No. 1660-0008  
Expiration Date: November 30, 2018

## ELEVATION CERTIFICATE

<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>			<b>FOR INSURANCE COMPANY USE</b>
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 2222 N. Roosevelt Blvd.			Policy Number:
City KEY WEST	State Florida	ZIP Code 33040	Company NAIC Number

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.



Photo One

Photo One Caption      Front View & Foundation      11/17/2018



Photo Two

Photo Two Caption      Rear View      11/17/2018

**ELEVATION CERTIFICATE**

**BUILDING PHOTOGRAPHS**

Continuation Page

OMB No. 1660-0008  
Expiration Date: November 30, 2018

<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>			<b>FOR INSURANCE COMPANY USE</b>
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 2222 N. Roosevelt Blvd.			Policy Number:
City KEY WEST	State Florida	ZIP Code 33040	Company NAIC Number

If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8.



Photo One

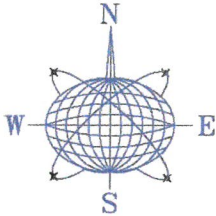
Photo One Caption    SIDE VIEW & FOUNDATION    11/17/2018



Photo Two

Photo Two Caption    SIDE VIEW & ELECTRIC METER    11/17/2018

# **Traffic Pattern Letter**



## MERIDIAN ENGINEERING

201 FRONT STREET, SUITE 207, KEY WEST, FLORIDA 33040  
PH: 305-293-3263 FAX: 305-293-4899  
EMAIL: rmilelli@historictours.com

February 8, 2019

Mr. Kelly Crowe, City Engineer  
Key West Engineering Department  
1300 White Street  
Key West, FL 33040

**RE: Gulf Atlantic Community Bank – SITE PLAN  
2222 North Roosevelt Blvd.  
Key West, Florida**

Dear Mr. Crowe:


The purpose of this letter is to confirm a couple of items for the proposed site plan at Gulf Atlantic Community Bank. We have worked with the project architect, A2O Architecture, to develop a more appropriate site layout with respect to ingress/egress of the site, bank teller queue, and traffic curbing. In developing the site plan, we utilized a program called Autoturn, AASHTO Geometric Design of Highways and Streets, and various sections of FDOT guidelines to confirm the validity of the proposed site elements. In addition, we reviewed several as-built conditions of similar situations for banks in other locations. Those specific locations were:

- Bank of America Financial Center, 9190 Biscayne Blvd, Miami Shores, FL 33138
- Bank of America Financial Center, 5000 Biscayne Blvd, Miami, FL 33137

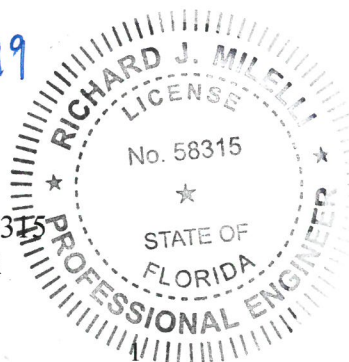
For reference, the most important update to the site plan [dated: 02.08.2019] included removal of one drive-thru teller lane [only 1 to remain], as well as a change in the access to the teller lane [now located near Patterson Avenue]. In addition, ADA accessible curbing / ramps have been implemented on the Fifth Street ingress/egress location.

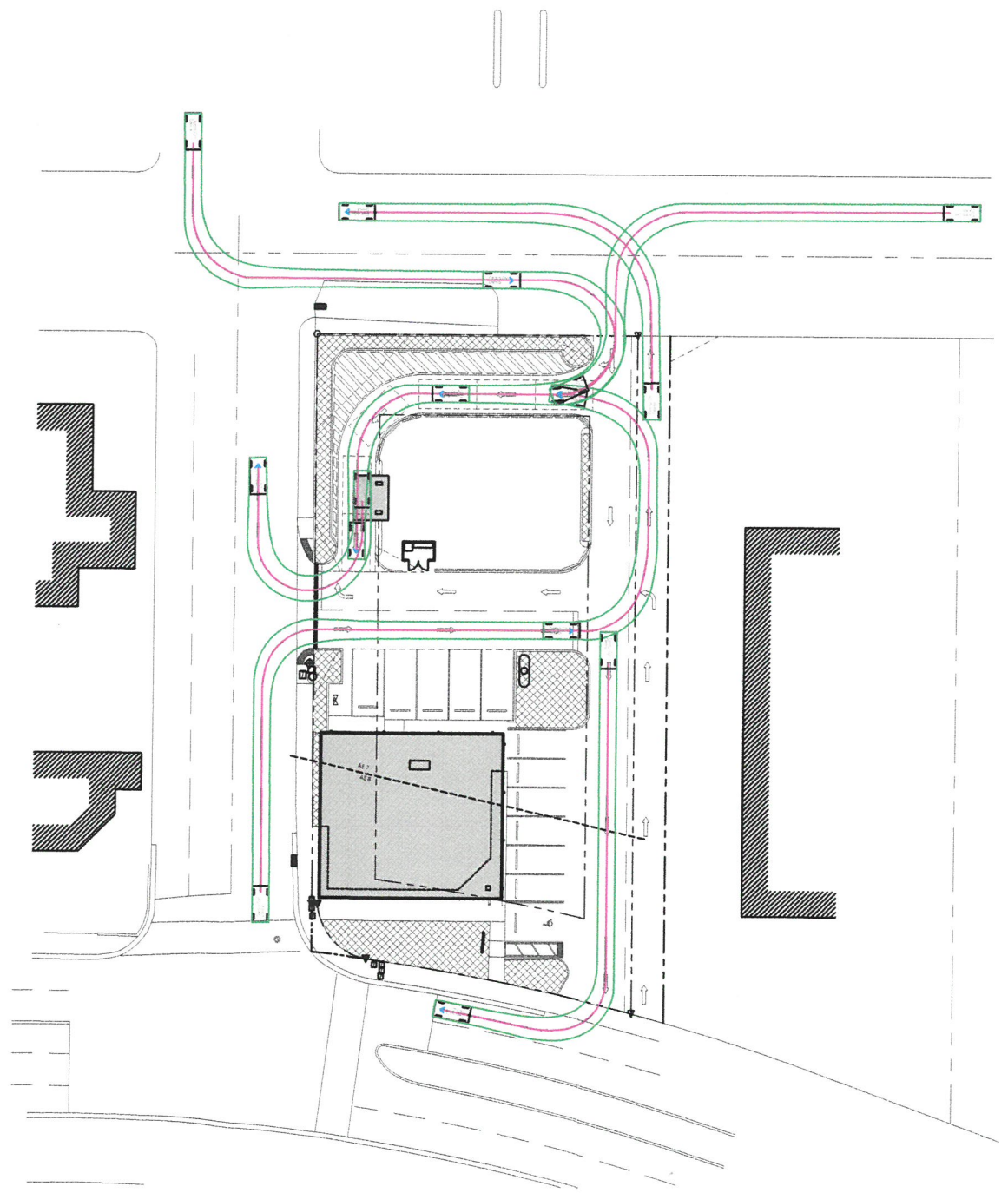
If you have any questions or need additional information, please call me.

Sincerely,

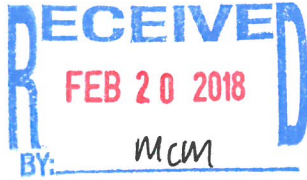
 2/8/19

Richard J. Milelli  
Florida Professional Engineer #58315  
Certificate of Authorization 29401





# **Authorization Form**



City of Key West  
Planning Department



Authorization Form  
(Where Owner is a Business Entity)

Please complete this form if someone other than the owner is representing the property owner in this matter.

I, ALVIN B. CROCKETT as  
*Please Print Name of person with authority to execute documents on behalf of entity*

PRESIDENT of KOAA INC.  
*Name of office (President, Managing Member) Name of owner from deed*

authorize AILEEN A. OSBORN / AZO ARCHITECTURE, LLC.  
*Please Print Name of Representative*

to be the representative for this application and act on my/our behalf before the City of Key West.

[Signature]  
*Signature of person with authority to execute documents on behalf on entity owner*

Subscribed and sworn to (or affirmed) before me on this February 19, 2019  
*Date*

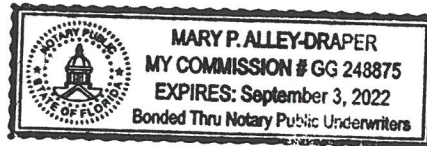
by Alvin B. Crockett II  
*Name of person with authority to execute documents on behalf on entity owner*

He/She is personally known to me or has presented \_\_\_\_\_ as identification.

Mary P. Alley-Draper  
*Notary's Signature and Seal*

MARY P. ALLEY-DRAPER  
*Name of Acknowledger typed, printed or stamped*

#GG-248875  
*Commission Number, if any*





City of Key West  
Planning Department



Authorization Form  
(Where Owner is a Business Entity)

Please complete this form if someone other than the owner is representing the property owner in this matter.

I, ALVIN B. CROCKETT as  
*Please Print Name of person with authority to execute documents on behalf of entity*

PRESIDENT of KOAA INC.  
*Name of office (President, Managing Member)* *Name of owner from deed*

authorize PETER E BATTY/2222 NORTH INC  
*Please Print Name of Representative*

to be the representative for this application and act on my/our behalf before the City of Key West.

*A.B. Crockett*  
*Signature of person with authority to execute documents on behalf on entity owner*

Subscribed and sworn to (or affirmed) before me on this January 10, 2019  
*Date*

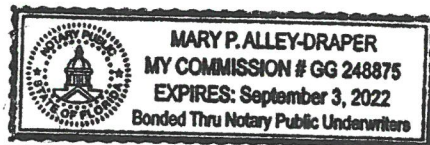
by *Peter E. Batty*  
*Name of person with authority to execute documents on behalf on entity owner*

He/She is personally known to me ~~or has presented~~ \_\_\_\_\_ as identification.

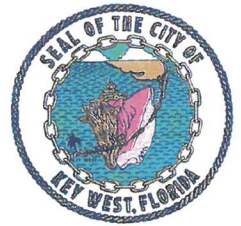
*Mary P. Alley-Draper*  
*Notary's Signature and Seal*

MARY P. ALLEY-DRAPER  
*Name of Acknowledger typed, printed or stamped*

#GG 248875  
*Commission Number, if any*



City of Key West  
Planning Department



Authorization Form  
(Where Owner is a Business Entity)

Please complete this form if someone other than the owner is representing the property owner in this matter.

I, Peter E. Batty as  
*Please Print Name of person with authority to execute documents on behalf of entity*

PRESIDENT of 2222 North Inc.  
*Name of office (President, Managing Member)* *Name of owner from deed*

authorize A20 ARCHITECTURE/ AILEEN & ALEX OSBORN  
*Please Print Name of Representative*

to be the representative for this application and act on my/our behalf before the City of Key West.

*Signature of person with authority to execute documents on behalf on entity owner*

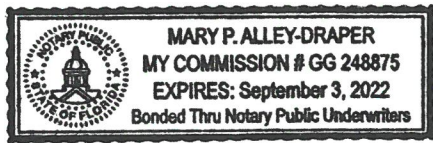
Subscribed and sworn to (or affirmed) before me on this Jan 10. 2019  
*Date*

by A20 Architecture / Aileen & Alex Osborn  
*Name of person with authority to execute documents on behalf on entity owner*

He/She is personally known to me ~~or has presented~~ \_\_\_\_\_ as identification.

Mary P. Alley-Draper  
*Notary's Signature and Seal*

MARY P. ALLEY-DRAPER  
*Name of Acknowledger typed, printed or stamped*



\_\_\_\_\_  
*Commission Number, if any*

# Verification Form

City of Key West  
Planning Department



Verification Form

(Where Authorized Representative is an Entity)

I, AILEEN A. OSBORN, in my capacity as PRESIDENT : AZO ARCHITECTURE, LLC.  
(print name) (print position; president, managing member)

of AZO ARCHITECTURE, LLC.  
(print name of entity serving as Authorized Representative)

being duly sworn, depose and say that I am the Authorized Representative of the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

2222 N. ROOSEVELT BLVD., KEY WEST, FL 33040  
Street Address of subject property

All of the answers to the above questions, drawings, plans and any other attached data which make up the application, are true and correct to the best of my knowledge and belief. In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.

Aileen Osborn  
Signature of Authorized Representative  
AILEEN A. OSBORN

Subscribed and sworn to (or affirmed) before me on this 01.11.2019 by  
date

AZO ARCHITECTURE, LLC.  
Name of Authorized Representative

He/She is personally known to me or has presented FL Drivers License as identification.

Terese Perez  
Notary's Signature and Seal

Terese Perez  
Name of Acknowledger typed, printed or stamped

03/17/2021  
Commission Number, if any

