



Historic Architectural Review Commission Staff Report for Item 8

To: Chairman Haven Burkee and Historic Architectural Review
Commission Members

From: Daniela Salume, MFA
Historic Architectural Preservationist

Meeting Date: August 27, 2024

Applicant: William P. Horn Architect, PA

Application Number: H2024-0033

Address: 100 Grinnell Street

Description of Work:

Renovations to non-historic building including replacement of 5 V-crimp roofing system with standing seam.

Site Facts:

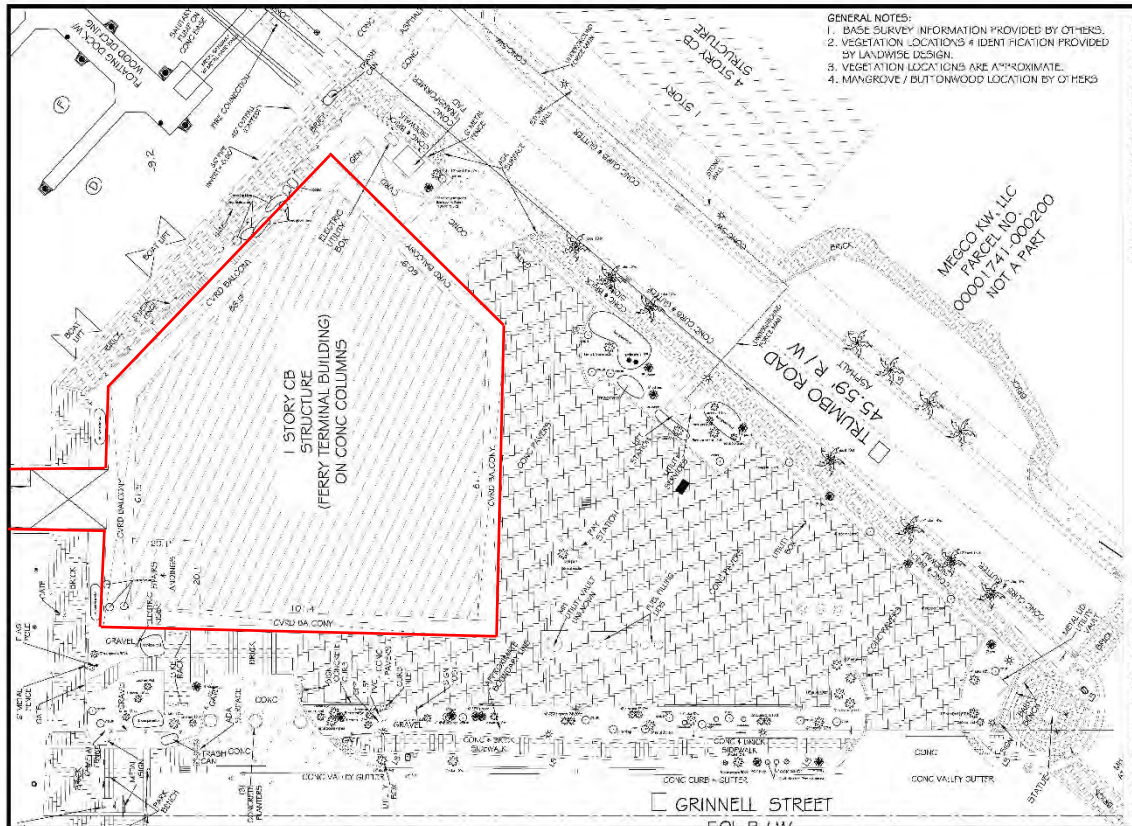
The site under review is at the intersection between Grinnell Street and Trumbo Road. The building is not a contributing structure. The principal one-story structure was built in 2003 and sits over concrete columns. It's known as the Key West Ferry Terminal and is situated within an AE + 10.0' flood zoning area. The building currently has 5 V-crimp roofing system.



Current photo of building under review.



Photo of existing 5 V-crimp roofing system.



Current survey. Red line marks building under review and area of work.

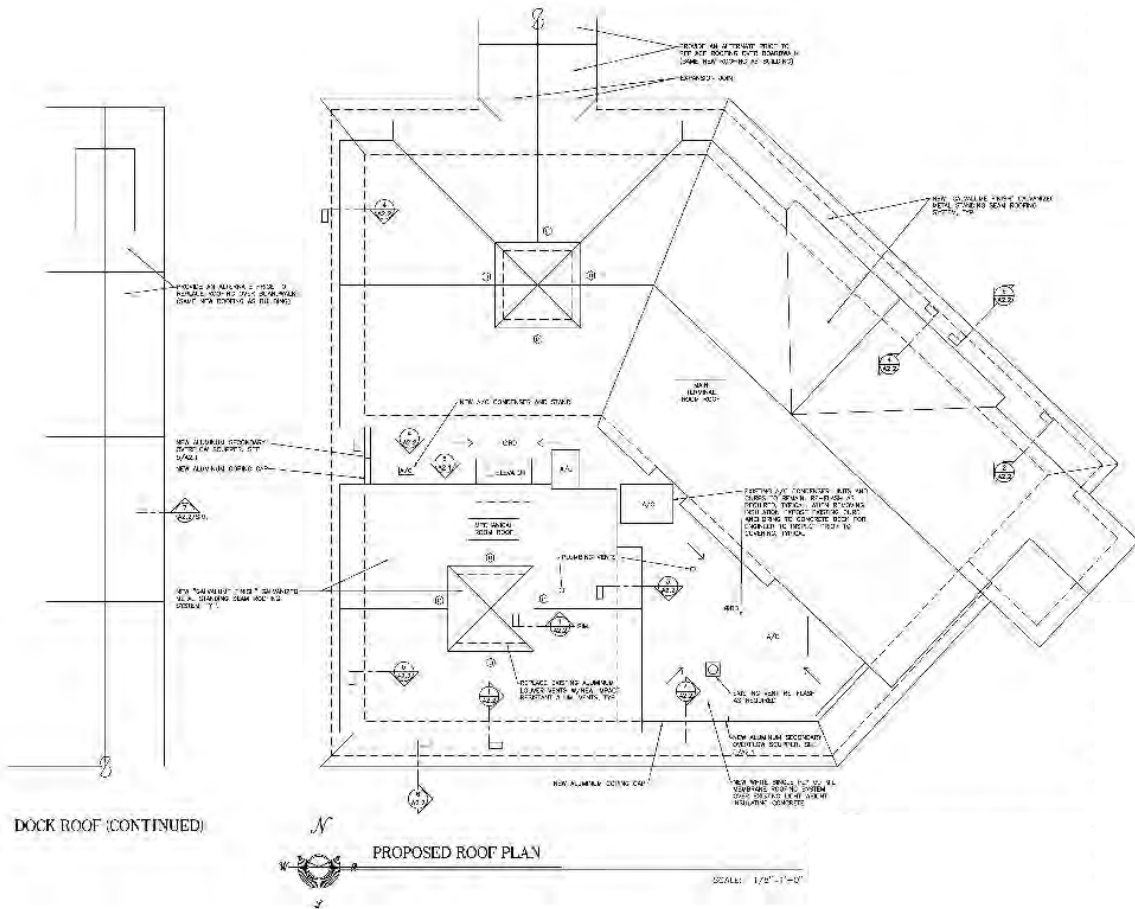
Guidelines Cited on Review:

- Guidelines for Roofing (page 26), specifically guidelines 2 and 3.
- Guidelines for Windows (pages 29a-29k), specifically guidelines A (6, 7, 9), B (4), and C.
- Guidelines for Doors (pages 32-33), specifically guidelines 9 and 10.
- Guidelines for A/C (pages 42-43), specifically guidelines 1 and 5.

Staff Analysis:

A Certificate of Appropriateness under review is for renovations to a non-contributing building which includes the replacement of 5 V-crimp roofing with standing seam. In addition, the roof of the covered pier will be replaced with standing seam. The standing seam will be steel “Series 1300” roof panel with a thickness of 0.032, which will be mechanically attached to the wood deck. Replacement of existing aluminum louver vents with impact resistant aluminum vents will also take place. The plans also include the replacement of storefronts, windows, and doors with aluminum impact units. Plans include

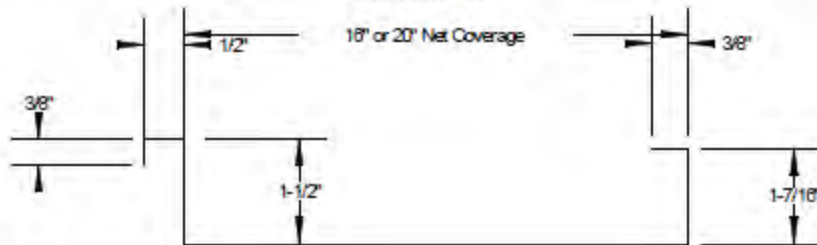
new membrane over flat roofs, new A/C condensers and stands over the flat roof, and new aluminum cap.



Proposed Roof Plan.

"Series 1300" (0.032" Aluminum) Roof Panel attached to Wood Deck

Drawings



Proposed Standing Seam Panel Profile.

Consistency with Guidelines Cited Guidelines:

The plans show a new standing seam roofing system featuring the Englert Series 1300, made of aluminum, with a coverage of either 16” or 20”, including the covered pier. Additionally, the project includes the replacement of exterior windows and doors, a new roofing membrane, and a fresh coat of paint for the exterior of this non-historic building. The roofing guidelines do not specify standing seam as an approved roofing material; however, considering the age and size of the building, staff believes that the proposed standing seam and its components will be appropriate for the building and surrounding properties. The seam height measures 1.5 inches, and due to the scale of the building, the difference will not be perceptible.

APPLICATION

HARC MAJOR PROJECTS CERTIFICATE OF APPROPRIATENESS

RECEIVED
JUL 29 2024
TK



City of Key West

1300 White Street
Key West, Florida 33040

HARC COA # HARC 2024-0033	REVISION # 0033	INITIAL & DATE TK 7/29/24
FLOOD ZONE AE +10.0'	ZONING DISTRICT HRCC-2	BLDG PERMIT #

A PRE-APPLICATION MEETING WITH HARC STAFF IS REQUIRED PRIOR TO SUBMITTAL

ADDRESS OF PROPOSED PROJECT:	100 Grinnell Street, Key West, FL 33040	
NAME ON DEED:	City of Key West	PHONE NUMBER 305 809 3803
OWNER'S MAILING ADDRESS:	201 William Street	EMAIL kolson@cityofkeywest-fl.gov
	Key West, FL 33040	
APPLICANT NAME:	William P. Horn Architect, PA	PHONE NUMBER 305 296 8302
APPLICANT'S ADDRESS:	915 Eaton St.	EMAIL william@wphornarchitect.com
	Key West, FL 33040	
APPLICANT'S SIGNATURE:		DATE 07/24/2024

ANY PERSON THAT MAKES CHANGES TO AN APPROVED CERTIFICATE OF APPROPRIATENESS MUST SUBMIT A NEW APPLICATION.

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND-DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083. THE APPLICANT FURTHER HEREBY ACKNOWLEDGES THAT THE SCOPE OF WORK AS DESCRIBED IN THE APPLICATION SHALL BE THE SCOPE OF WORK THAT IS CONTEMPLATED BY THE APPLICANT AND THE CITY. THE APPLICANT FURTHER STIPULATES THAT SHOULD FURTHER ACTION BE TAKEN BY THE CITY FOR EXCEEDING THE SCOPE OF THE DESCRIPTION OF WORK, AS DESCRIBED HEREIN, AND IF THERE IS CONFLICTING INFORMATION BETWEEN THE DESCRIPTION OF WORK AND THE SUBMITTED PLANS, THE AFOREMENTIONED DESCRIPTION OF WORK SHALL BE CONTROLLING.

PROJECT INCLUDES: REPLACEMENT OF WINDOWS RELOCATION OF A STRUCTURE ELEVATION OF A STRUCTURE
 PROJECT INVOLVES A CONTRIBUTING STRUCTURE: YES NO INVOLVES A HISTORIC STRUCTURE: YES NO
 PROJECT INVOLVES A STRUCTURE THAT IS INDIVIDUALLY LISTED ON THE NATIONAL REGISTER: YES NO

DETAILED PROJECT DESCRIPTION INCLUDING MATERIALS, HEIGHT, DIMENSIONS, SQUARE FOOTAGE, LOCATION, ETC.
GENERAL: Project includes replacing existing V-crimp metal roofing with standing seam metal roofing, replacing existing membrane roofing, replacing existing aluminum storefront exterior doors and windows, repaint exterior, replace existing elevator.
MAIN BUILDING:
DEMOLITION (PLEASE FILL OUT AND ATTACH DEMOLITION APPENDIX):

APPLICATIONS MUST BE SUBMITTED IN PERSON WITH HARD COPIES BY 3PM ON THE SCHEDULED DEADLINE
 PLEASE SEND AN ELECTRONIC COPY OF ALL DOCUMENTS CITY_HARC@CITYOFKEYWEST-FL.GOV

ACCESSORY STRUCTURE(S): N/A	
PAVERS:	FENCES:
DECKS:	PAINTING: Re-paint exterior, colors to be determined
SITE (INCLUDING GRADING, FILL, TREES, ETC):	POOLS (INCLUDING EQUIPMENT):
ACCESSORY EQUIPMENT (GAS, A/C, VENTS, ETC):	OTHER:

OFFICIAL USE ONLY:	HARC COMMISSION REVIEW	EXPIRES ON:
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
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REASONS OR CONDITIONS:		
STAFF REVIEW COMMENTS:		
FIRST READING FOR DEMO:	SECOND READING FOR DEMO:	
HARC STAFF SIGNATURE AND DATE:	HARC CHAIRPERSON SIGNATURE AND DATE:	

THIS APPLICATION MAY BE REVIEWED BY PLANNING DEPARTMENT STAFF.

PROJECT PHOTOS

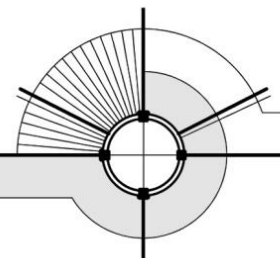


100 GRINNELL STREET
SIDE VIEW

WILLIAM P. HORN ARCHITECT, PA.

915 EATON ST., KEY WEST, FL. 33040 TEL. 305-296-8302

WWW.WPHORNARCHITECT.COM



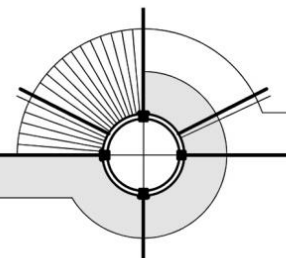


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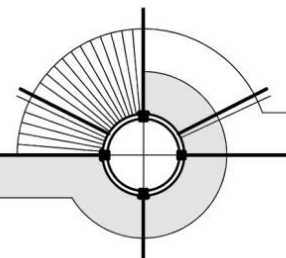


**100 GRINNELL STREET
FRONT VIEW**

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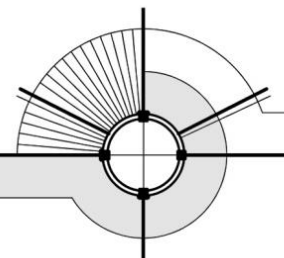


**100 GRINNELL STREET
REAR VIEW**

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1 NORTHWEST SIDE
EX2.1



2 NORTHWEST SIDE
EX2.1



3 SOUTH SIDE
EX2.1



4 EAST SIDE
EX2.1



5 EAST SIDE
EX2.1



6 NORTH SIDE
EX2.1

WILLIAM P. HORN
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FAX (305) 296-1033

LICENSE NO.
AR 13537

FERRY TERMINAL
RENOVATION
100 Grinnell Street
KEY WEST, FLORIDA.

SEAL

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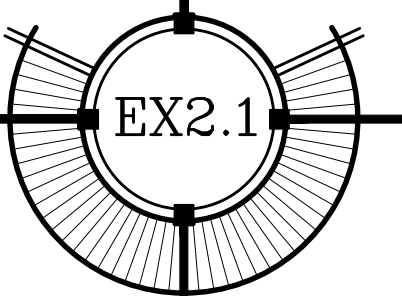
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FERRY TERMINAL RENOVATION
100 Grinnell Street
KEY WEST, FLORIDA





1 INTERIOR PHOTO
EX2.2



2 ROOF WINDOW PHOTO
EX2.2



3 ROOF PHOTO
EX2.2



4 ROOF PHOTO
EX2.2



5 ROOF PHOTO
EX2.2



6 ROOF PHOTO
EX2.2

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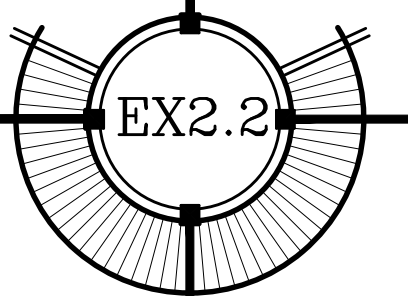
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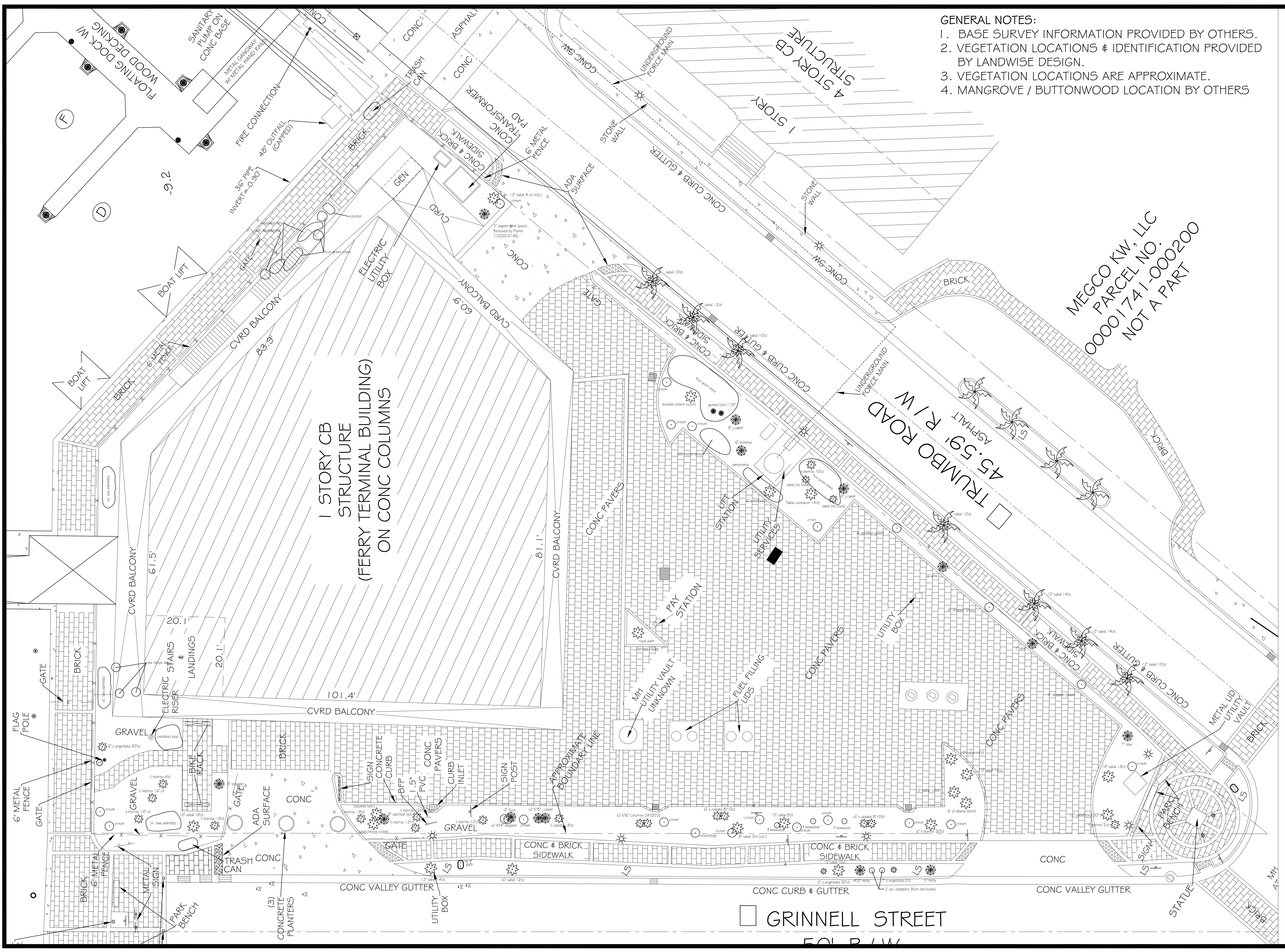
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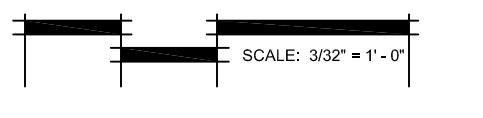
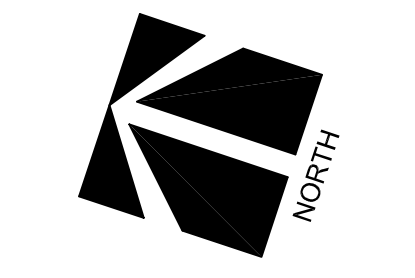
FERRY TERMINAL RENOVATION
100 Grinnell Street
KEY WEST, FLORIDA

SURVEY



- GENERAL NOTES:
1. BASE SURVEY INFORMATION PROVIDED BY OTHERS.
 2. VEGETATION LOCATIONS & IDENTIFICATION PROVIDED BY LANDWISE DESIGN.
 3. VEGETATION LOCATIONS ARE APPROXIMATE.
 4. MANGROVE / BUTTONWOOD LOCATION BY OTHERS

RFQ 23-002
FERRY TERMINAL
REVITALIZATION



MEGCO KW, LLC
 PARCEL NO.
 00001741-000200
 NOT A PART

BASE SURVEY - FERRY TERMINAL

DATE: 5.7.24

REVISIONS:

No.	Date	Notes

SURVEY DOCUMENTS
 NOT-FOR-CONSTRUCTION
 SHEET NUMBER:
SURVEY - 1

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PROPOSED DESIGN

FERRY TERMINAL RENOVATION

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KEY WEST, FLORIDA

WILLIAM P. HORN
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33040

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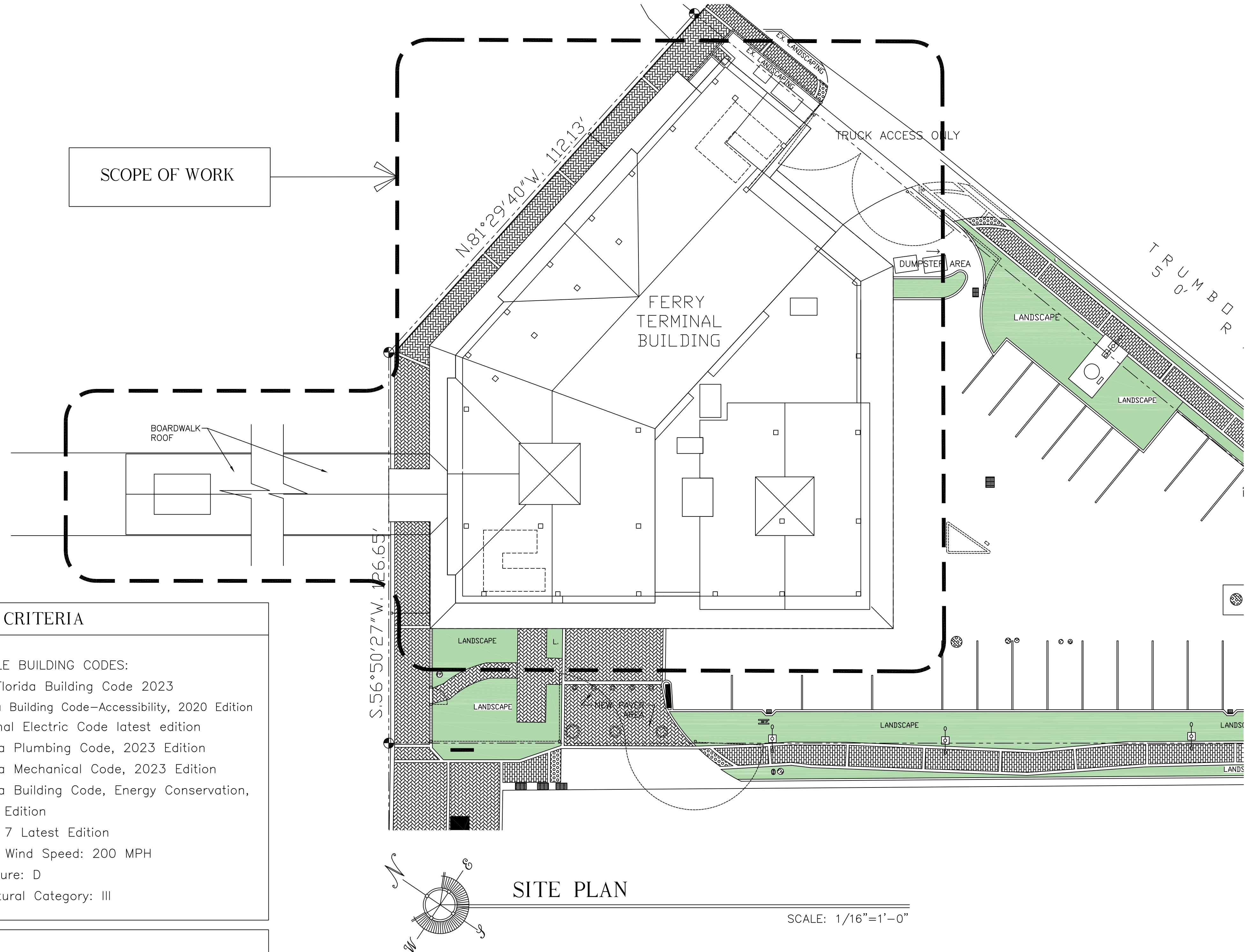
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LOCATION MAP

AREA OF WORK



SCOPE OF WORK



LIST OF DRAWINGS

- A0.1 COVER PAGE
- A1.1 PROPOSED GROUND FLOOR PLAN
- A1.2 PROPOSED FIRST FLOOR PLAN
- A1.3 PROPOSED CLEAR STORY PLAN
- A1.4 PROPOSED ROOF PLAN
- A2.1 ROOF DETAILS
- A2.2 ROOF DETAILS
- A2.3 ROOF DETAILS
- A3.1 STOREFRONT/WINDOW SCHEDULE
- A3.2 LOUVER AND DOOR SCHEDULES
- A4.1 ELEVATOR DETAILS
- A5.1 SPECIFICATIONS
- A5.2 SPECIFICATIONS
- A5.3 SPECIFICATIONS
- A5.4 SPECIFICATIONS
- A5.5 SPECIFICATIONS

- EX1.1 EXISTING GROUND FLOOR PLAN
- EX1.2 EXISTING FIRST FLOOR PLAN
- EX1.3 EXISTING CLEAR STORY PLAN
- EX1.4 EXISTING ROOF PLAN
- EX2.1 EXISTING PHOTOS
- EX2.2 EXISTING PHOTOS

- S-100 GENERAL NOTES
- S-101 DETAILS
- S-102 DETAILS
- S-103 DETAILS
- S-104 DETAILS
- S-105 DETAILS

KEY PERSONNEL

ARCHITECT:
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KEY WEST, FL 33040
TEL. (305) 296-8302

STRUCTURAL ENGINEERING:
ARTIBUS DESIGN LLC
SERGE MASHTAKOV, PE
3710 N ROOSEVELT BLVD.
KEY WEST, FL 33040
TEL. (305) 304-3512

OWNER:
CITY OF KEY WEST

TETRA TECH, INC.
759 SW FEDERAL HWY, SUITE 314
STUART, FL 34994
TEL. (772) 761-3440

KAREN OLSON
DEPUTY DIRECTOR OF PORT &
MARINA SERVICES
1300 WHITE STREET
KEY WEST, FLORIDA 33040
TEL. (305) 809-3803

SCOPE OF WORK

WORK INCLUDES REPLACING ALL EXISTING EXTERIOR DOORS, STOREFRONT WINDOWS AND LOUVERS WITH ALL NEW IMPACT RATED EXTERIOR DOORS, STOREFRONT WINDOWS AND LOUVERS. WORK ALSO INCLUDES REPLACING ALL EXISTING ROOFING WITH NEW ROOF SYSTEMS AND RE-PAINTING THE ENTIRE EXTERIOR OF THE BUILDING AS PER SPECIFICATIONS. THE EXISTING ELEVATOR WILL BE REPLACED WITH A NEW ELEVATOR.
REVIEW THE DRAWINGS AND SPECIFICATIONS FOR THE FULL SCOPE OF WORK.

DESIGN CRITERIA

- APPLICABLE BUILDING CODES:
- The Florida Building Code 2023
 - Florida Building Code-Accessibility, 2020 Edition
 - National Electric Code latest edition
 - Florida Plumbing Code, 2023 Edition
 - Florida Mechanical Code, 2023 Edition
 - Florida Building Code, Energy Conservation, 2023 Edition
 - ASCE 7 Latest Edition
 - Basic Wind Speed: 200 MPH
 - Exposure: D
 - Structural Category: III

SITE PLAN

SCALE: 1/16"=1'-0"

SEAL

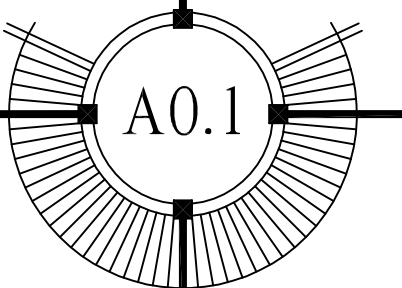
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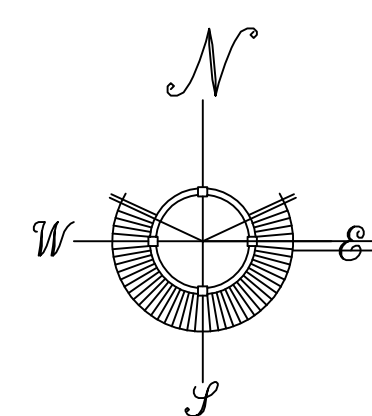
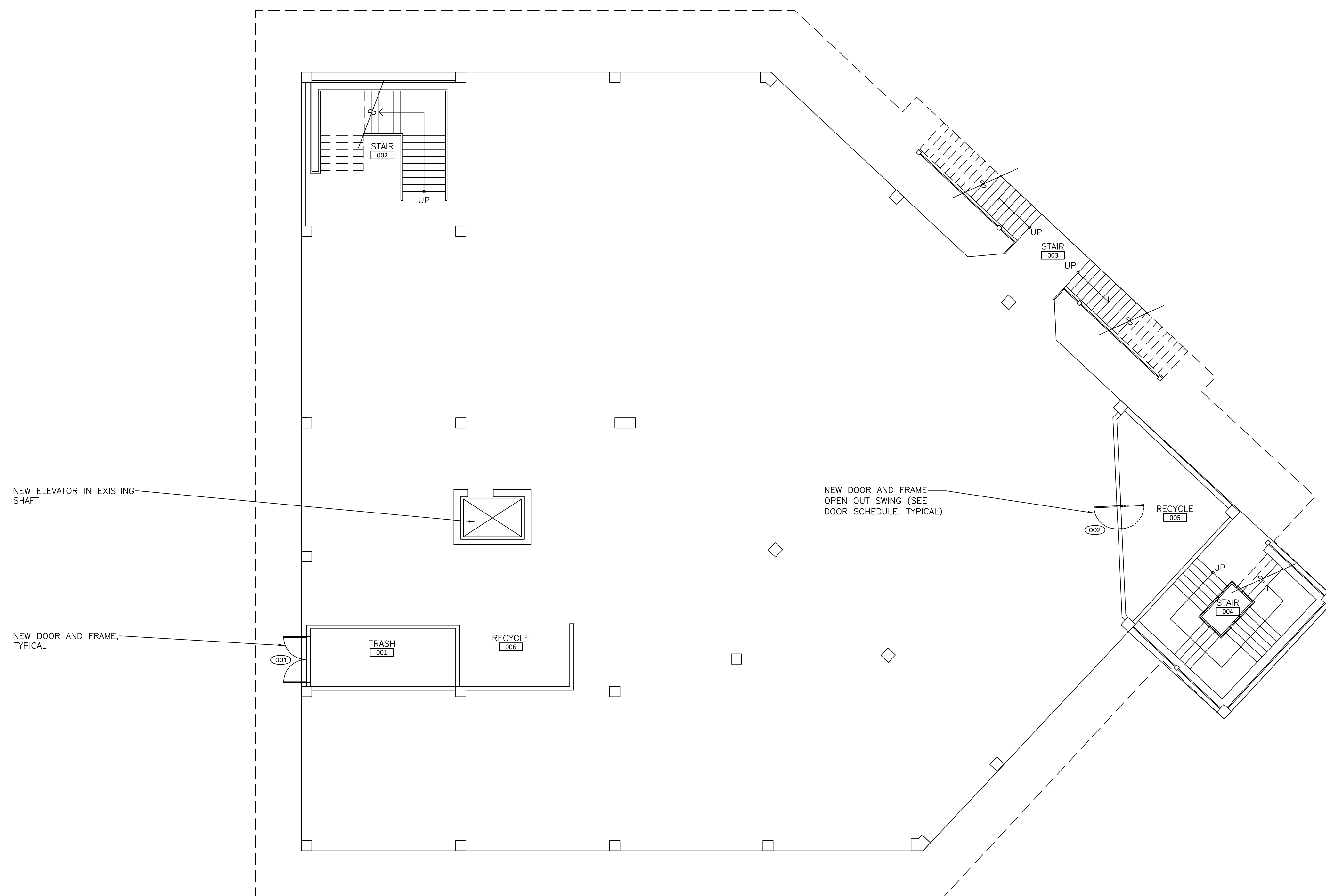
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PROPOSED GROUND FLOOR PLAN

SCALE: 1/8"=1'-0"

SEAL _____

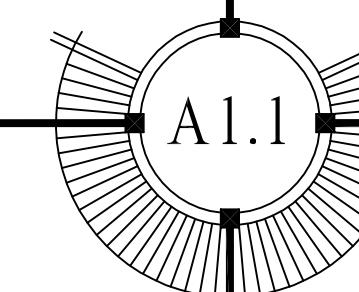
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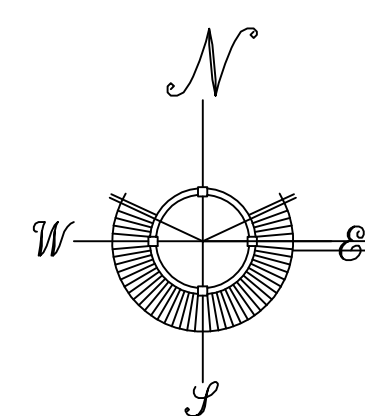
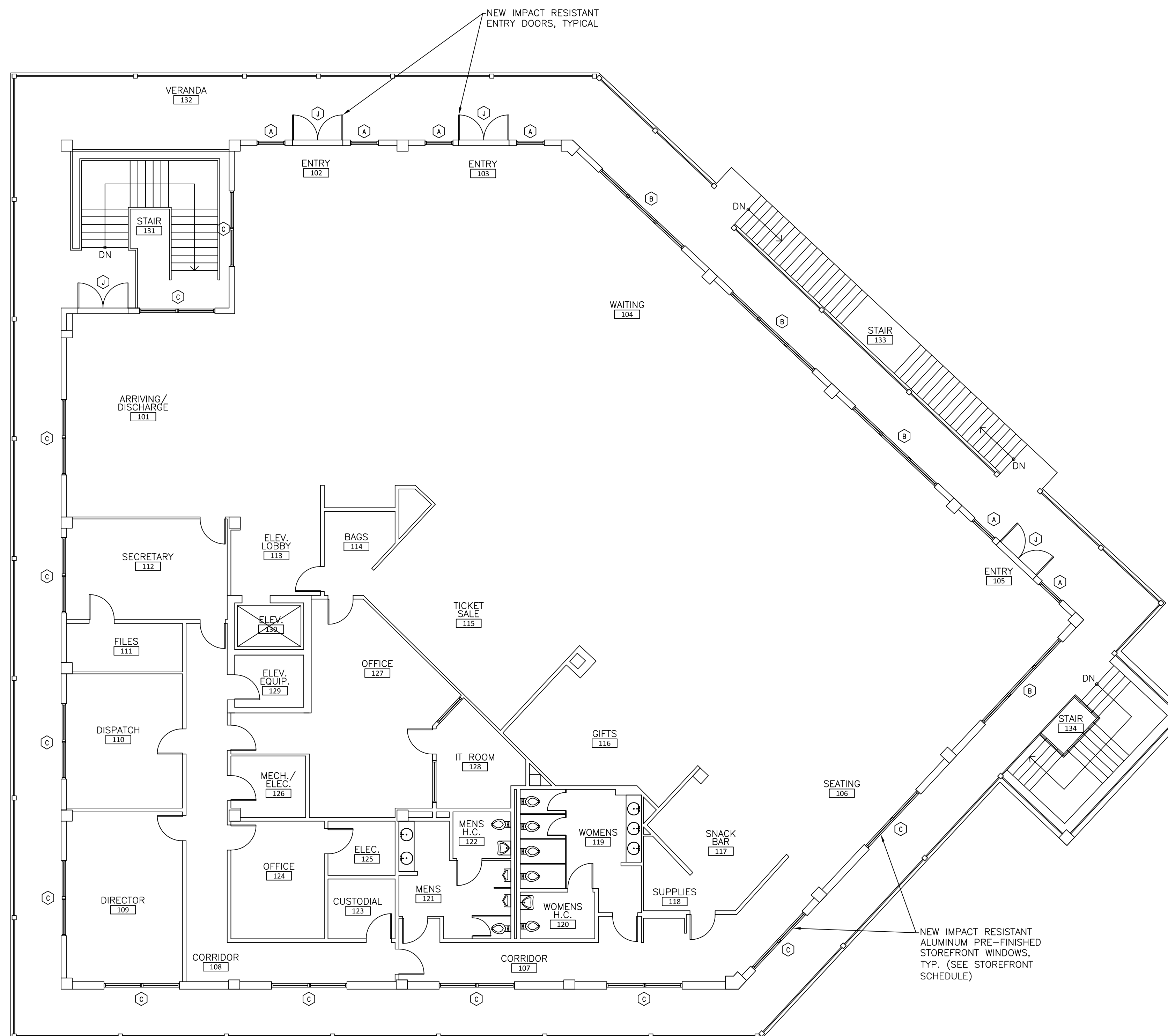
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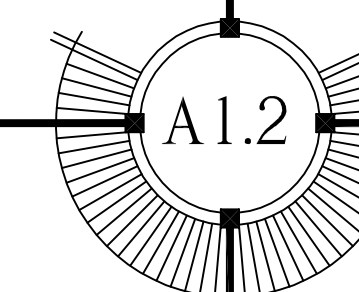
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PROPOSED FIRST FLOOR PLAN

SCALE: 1/8"=1'-0"

FERRY TERMINAL RENOVATION
100 Grinnell Street
KEY WEST, FLORIDA



SEAL _____

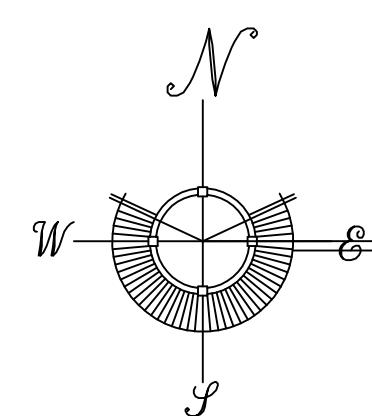
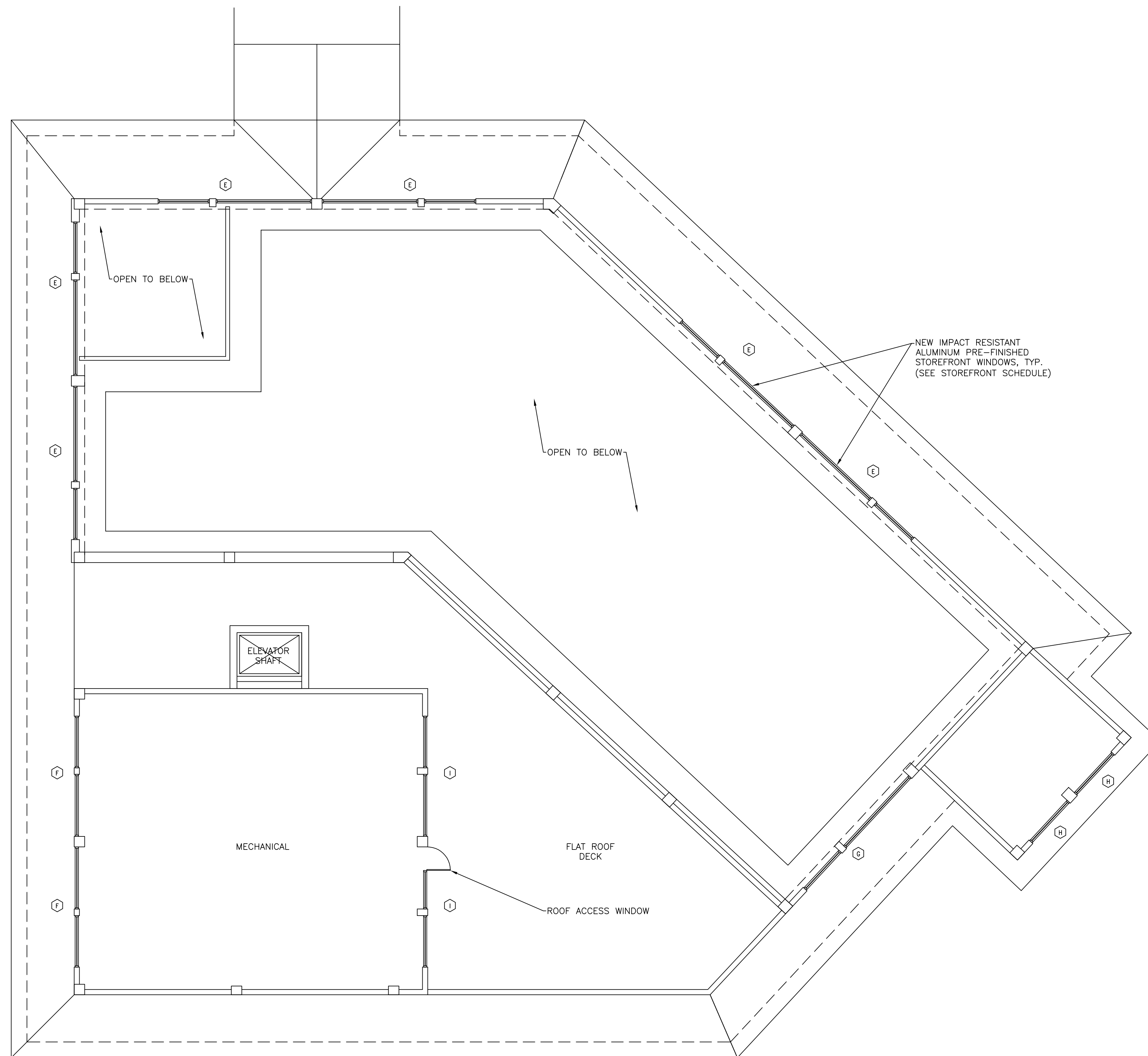
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PROPOSED CLEAR STORY PLAN

SCALE: 1/8"=1'-0"

SCOPE OF NEW ROOF WORK

THE BUILDING SHALL BE OCCUPIED AND OPERATIONAL THROUGHOUT THE COURSE OF THE WORK.
ROOF REPLACEMENT SHALL CONSIST OF THE REMOVAL OF ALL EXISTING SINGLE PLY MEMBRANE ROOFING, FLASHING AND PARAPET TREATMENTS AND EXISTING 5-Y-CRIMP GALVANIZED METAL ROOFING. NEW WORK TO INCLUDE INSTALLATION OF A FULLY ADHERED FIBERTITE, 50 MIL, SINGLE PLY ROOFING SYSTEM (BASIS OF DESIGN) OR EQUAL OVER RIGID SLOPED INSULATION TO MATCH EXISTING. ALL IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS AND WARRANTY REQUIREMENTS AS WELL AS THESE CONTRACT DOCUMENTS INCLUDING SPECIFICATIONS.
THE WORK WILL INCLUDE REVISED FLASHING AND COPING DETAILS FOR THE EXISTING RAISED CURB/PARAPET AROUND THE PERIMETER OF THE FLAT ROOF. NEW WORK INCLUDES INSTALLATION OF A NEW GALVANIZED METAL STANDING SEAM ROOFING SYSTEM OVER GRACE ULTRA HIGH TEMP. SELF ADHERED MEMBRANE. PROVIDE AN ALTERNATE PRICE FOR AN ALUMINUM STANDING SEAM ROOF WITH A 20 YEAR WARRANTY.
NEW ROOFING SYSTEM DETAILS SHALL BE APPLIED TO EXISTING CONDITIONS INCLUDING CURBS, PENETRATIONS, VENTS, SCUPPERS, CABLE WAYS. SEE DRAWINGS AND SPECIFICATIONS.
NO DISRUPTION OF EXISTING FUNCTIONS, OR SERVICES, SHALL BE COORDINATED WITH THE OWNER. NO DISRUPTION OF COMMUNICATIONS WILL BE ALLOWED.

ALTERNATE SECONDARY WATERPROOFING SYSTEM
PROVIDE AN ALTERNATE PRICE TO ADD A SECONDARY WATERPROOFING SYSTEM TO THE EXISTING CONCRETE DECK (FLAT ROOF AREA) AS PER SPEC SECTION 075600.

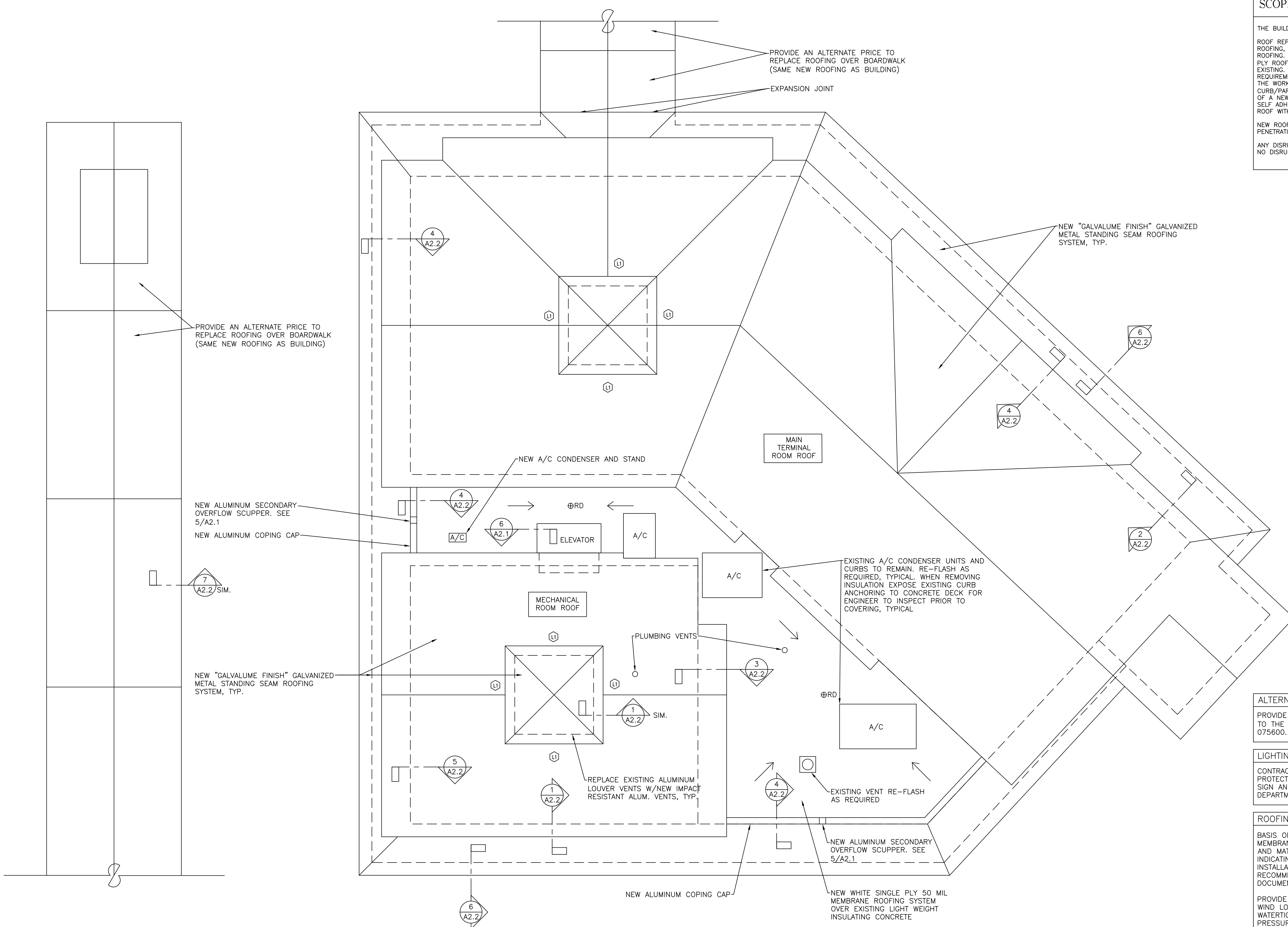
LIGHTING PROTECTION
CONTRACTOR TO PROVIDE A PRICE FOR DESIGNING AND INSTALLING A LIGHTNING PROTECTION SYSTEM. CONTRACTOR TO HAVE A FLORIDA REGISTERED ENGINEER SIGN AND SEAL DRAWINGS OF THE COMPLETE SYSTEM TO SUBMIT TO BUILDING DEPARTMENT FOR PERMIT AND CONSTRUCTION.

ROOFING ASSEMBLY - FLAT ROOF
BASIS OF DESIGN: FIBERTITE BY SEAMAN CORP., FIBER TITE-XT 50 MIL MEMBRANE ROOFING ASSEMBLY. DETAILS OF INSTALLATION INCLUDING FASTENERS AND MATERIALS SHALL BE IN ACCORDANCE WITH FLORIDA PRODUCT APPROVAL. INDICATING COMPLIANCE WITH PROJECT WINDLOAD REQUIREMENTS. THE INSTALLATION SHALL COMPLY WITH THE MANUFACTURERS REQUIREMENTS AND RECOMMENDATIONS, THE LATEST INDUSTRY STANDARDS AND THE CONTRACT DOCUMENTS.
PROVIDE A FULL SHOPDRAWING SUBMITTAL INCLUDING COMPLIANCE WITH PROJECT WIND LOADS AND ALL ACCESSORIES AND DETAILS REQUIRED FOR A COMPLETE WATERTIGHT INSTALLATION. REFER TO STRUCTURAL DRAWINGS FOR DESIGN PRESSURES.
PROVIDE A 20 YEAR STANDARD WATER TIGHT UNLIMITED WARRANTY. BASIS OF DESIGN FIBERTITE FBC FL49 30-R23, SYSTEM C-12, C-VB-8.

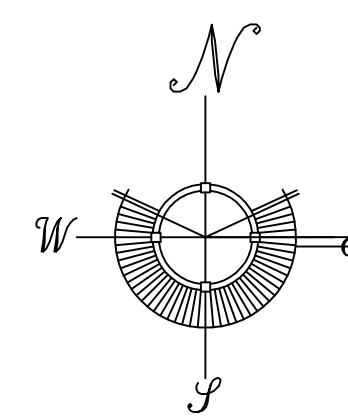
METAL ROOFING - STANDING SEAM ROOFING
BASIS OF DESIGN: ENGLERT, INC. SERIES 1300, FL 11727.1 R17 (-165 PSF)

ALUMINUM ROOFING - STANDING SEAM ROOFING
BASIS OF DESIGN: ENGLERT, INC. SERIES 1300, FL 11727.2 R17 (-180 PSF)

ROOF NOTE
1. DUE TO THE EXISTING BUILDINGS GABLE ROOFING HAVING WOOD DECKING WE ARE NOT ABLE TO FIND A STANDING SEAM ROOF SYSTEM THAT HAS RATED PRESSURES HIGHER THAN THE STRUCTURAL ENGINEERS -231.82 (ZONE 3) NEGATIVE DESIGN PRESSURE.
THE BASIS OF DESIGN SHOWN HERE ARE AS CLOSE AS WE COULD GET TO THE DESIGN PRESSURE. IF THE ROOF DECKING WAS METAL, WE WOULD BE ABLE TO EXCEED DESIGN PRESSURES.
2. THE EXISTING BUILDING WAS CONSTRUCTED IN 1998 TO 115 MPH WIND SPEED. OUR NEW DESIGN PRESSURES ARE BASED ON 200 MPH WIND SPEED.

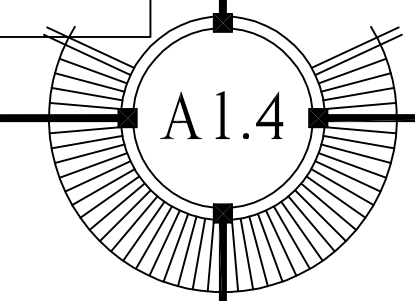


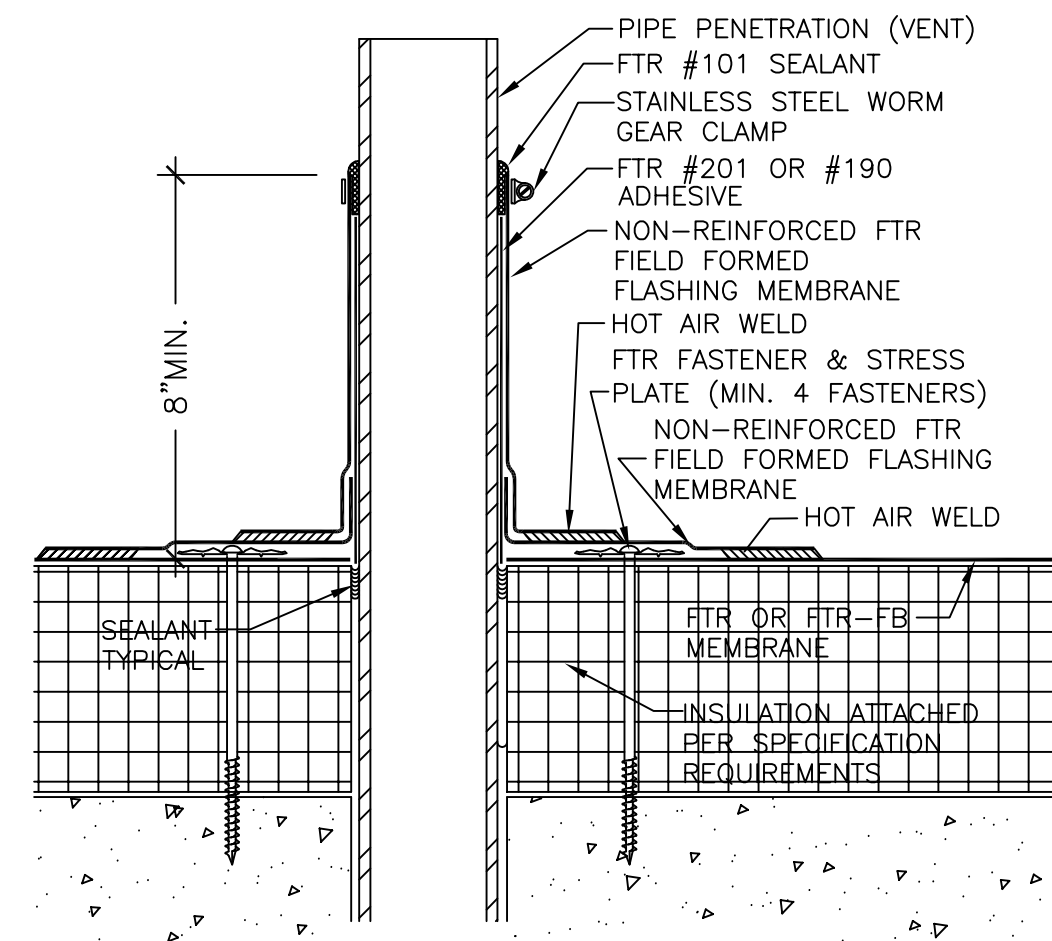
DOCK ROOF (CONTINUED)



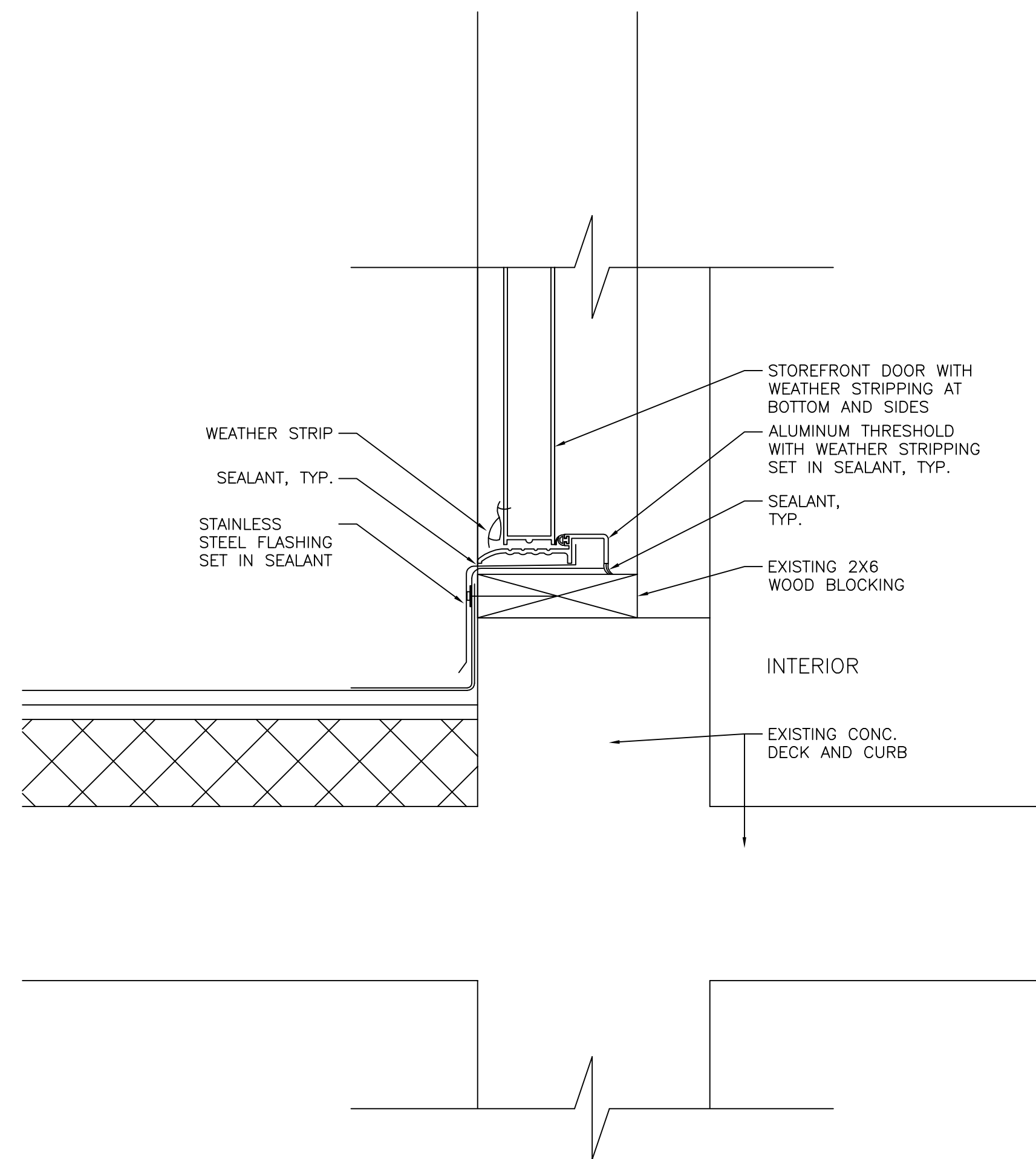
PROPOSED ROOF PLAN

SCALE: 1/8"=1'-0"

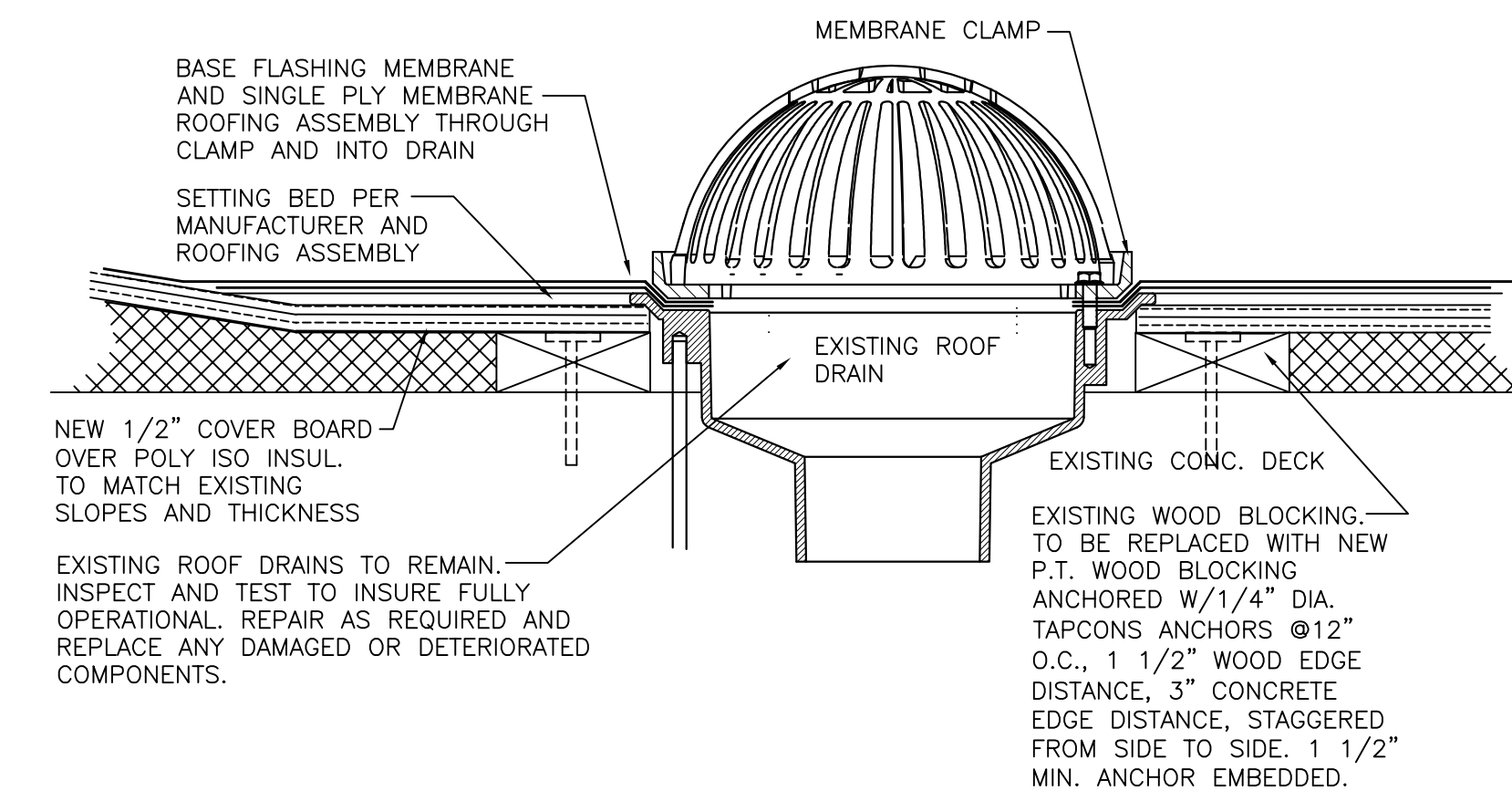




1 PENETRATION FLASHING
A2.1 3"=1'-0"

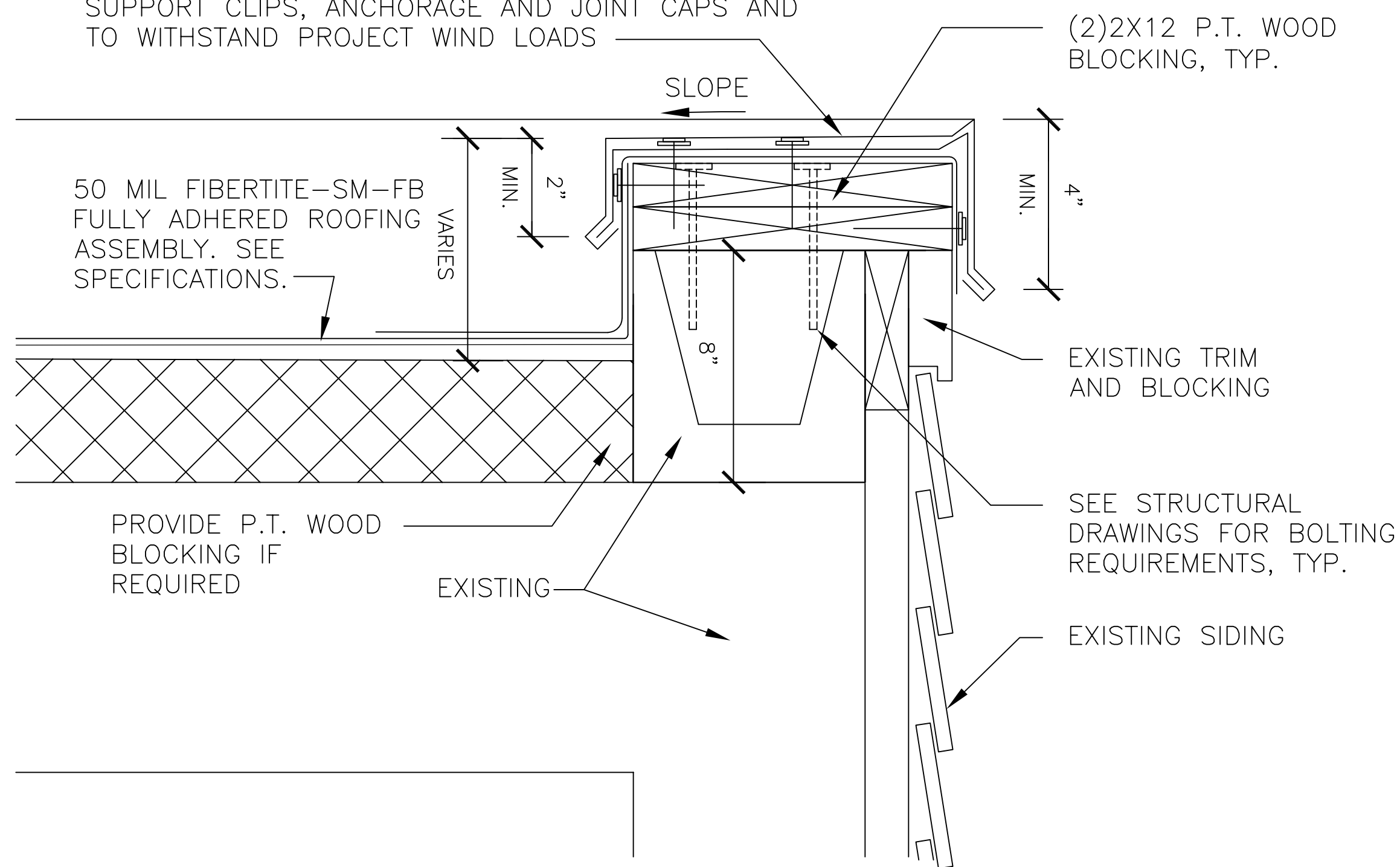


3 DOOR SILL DETAIL
A2.1 3"=1'-0"

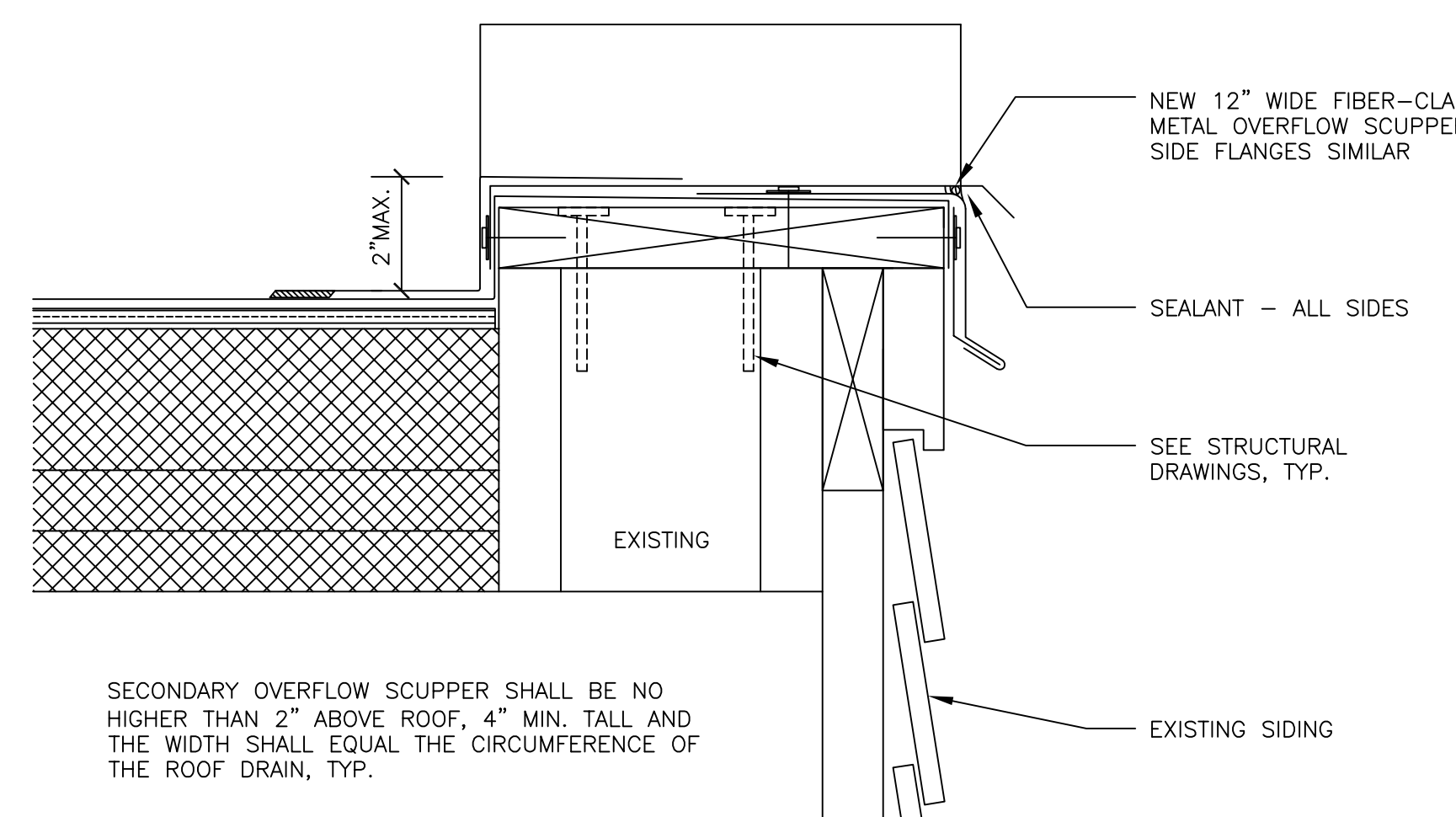


2 ROOF DRAIN DETAIL
A2.1 3"=1'-0"

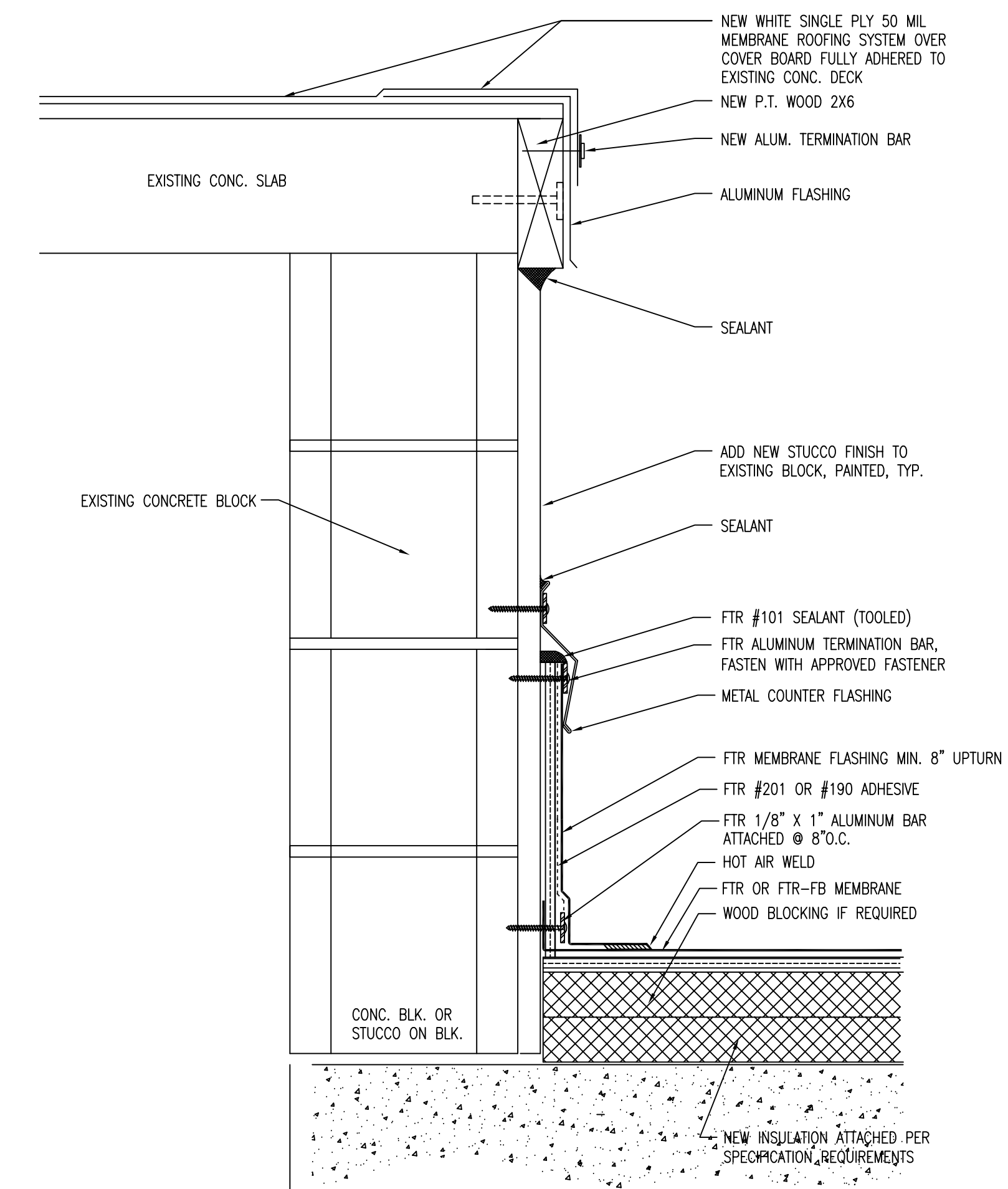
PREFINISHED (KYNAR, WHITE), MANUFACTURED 0.040 ALUM. COPING ASSEMBLY SYSTEM INCLUDING SUPPORT CLIPS, ANCHORAGE AND JOINT CAPS AND TO WITHSTAND PROJECT WIND LOADS



4 COPING CAP DETAIL
A2.1 3"=1'-0"



5 COPING CAP SECONDARY OVER FLOW DETAIL
A2.1 3"=1'-0"



6 WALL FLASHING DETAIL
A2.1 3"=1'-0"

SEAL

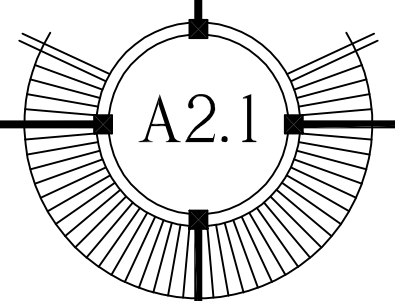
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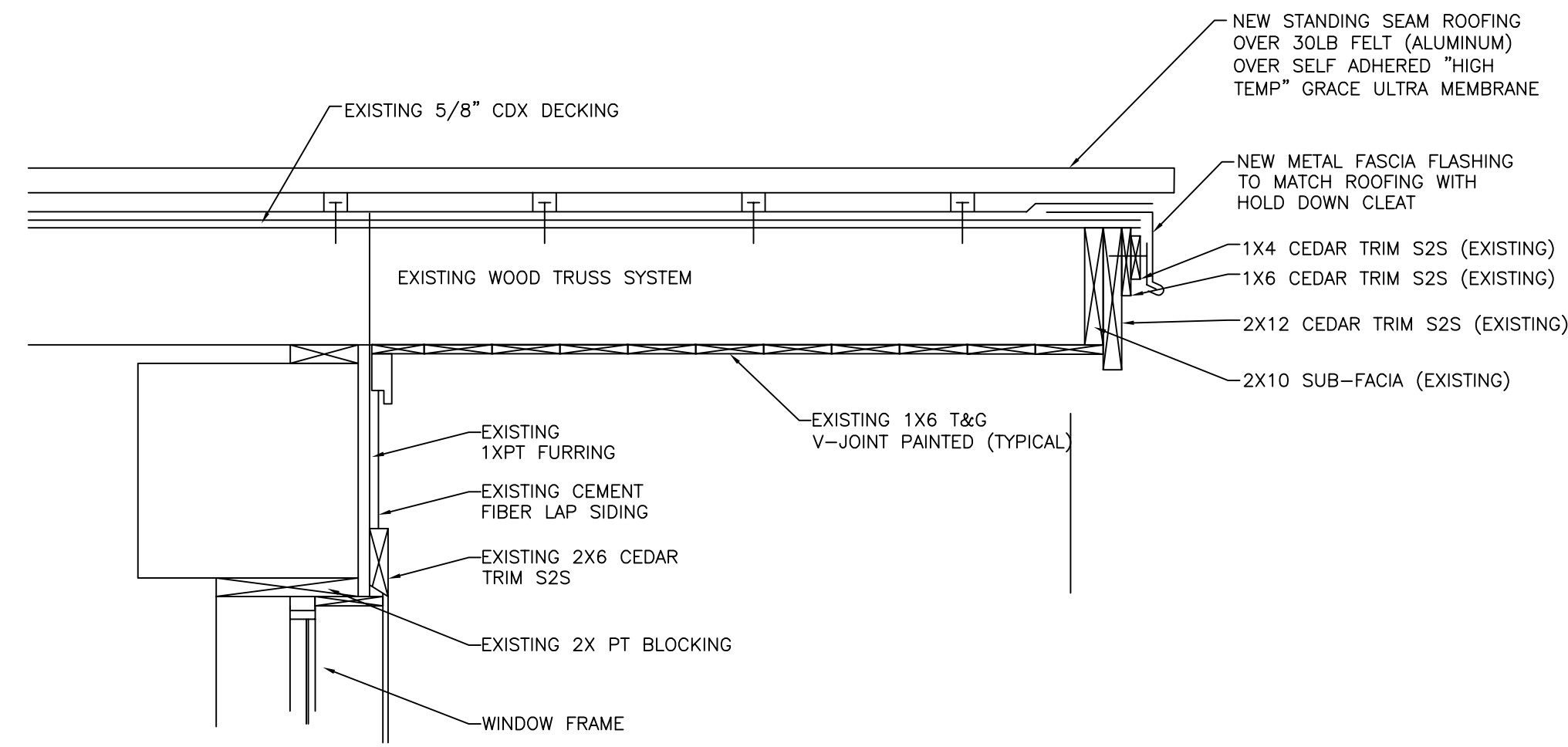
DATE
07-05-2024 BID

REVISIONS

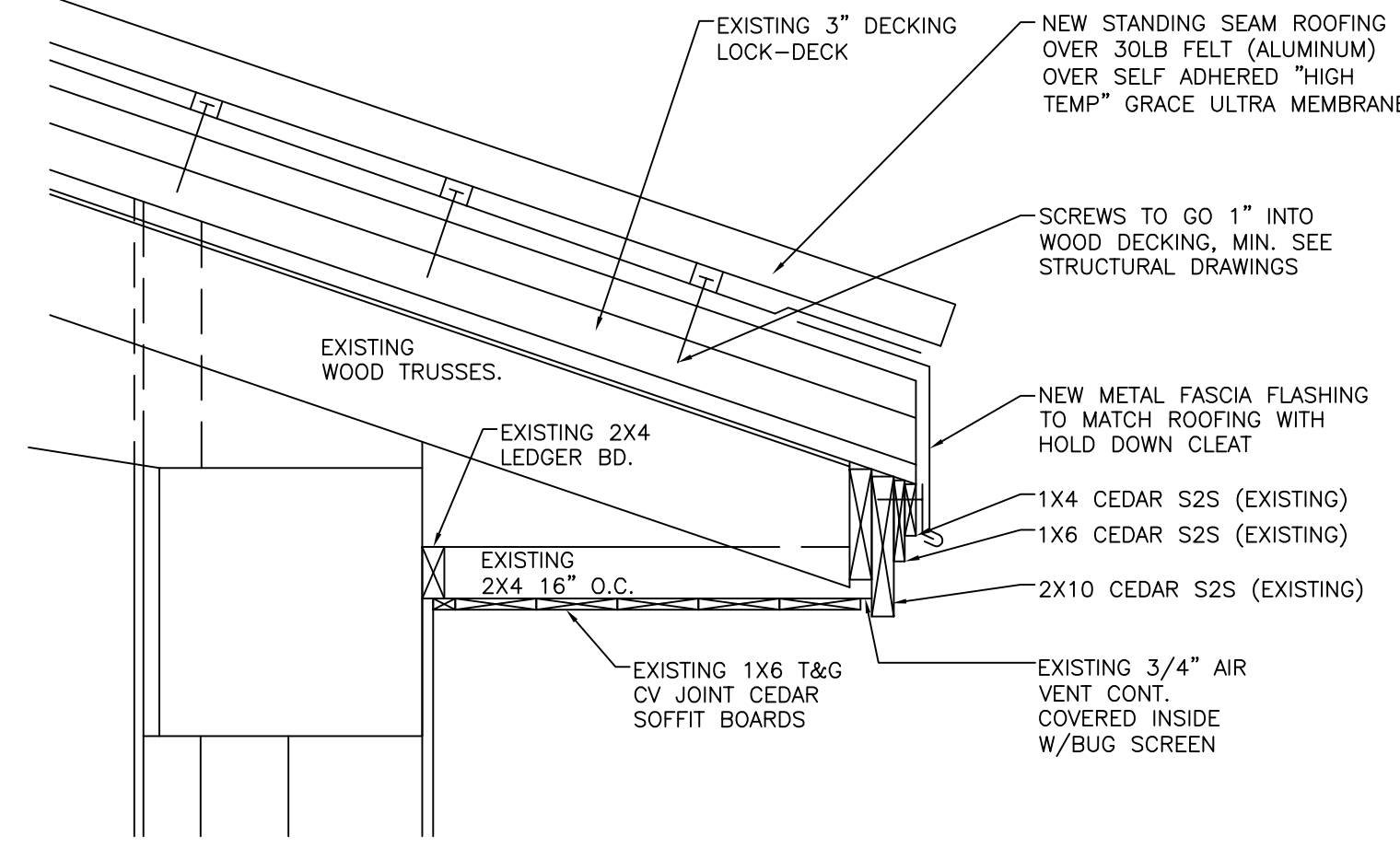
DRAWN BY
JW
EMA

PROJECT NUMBER
2312

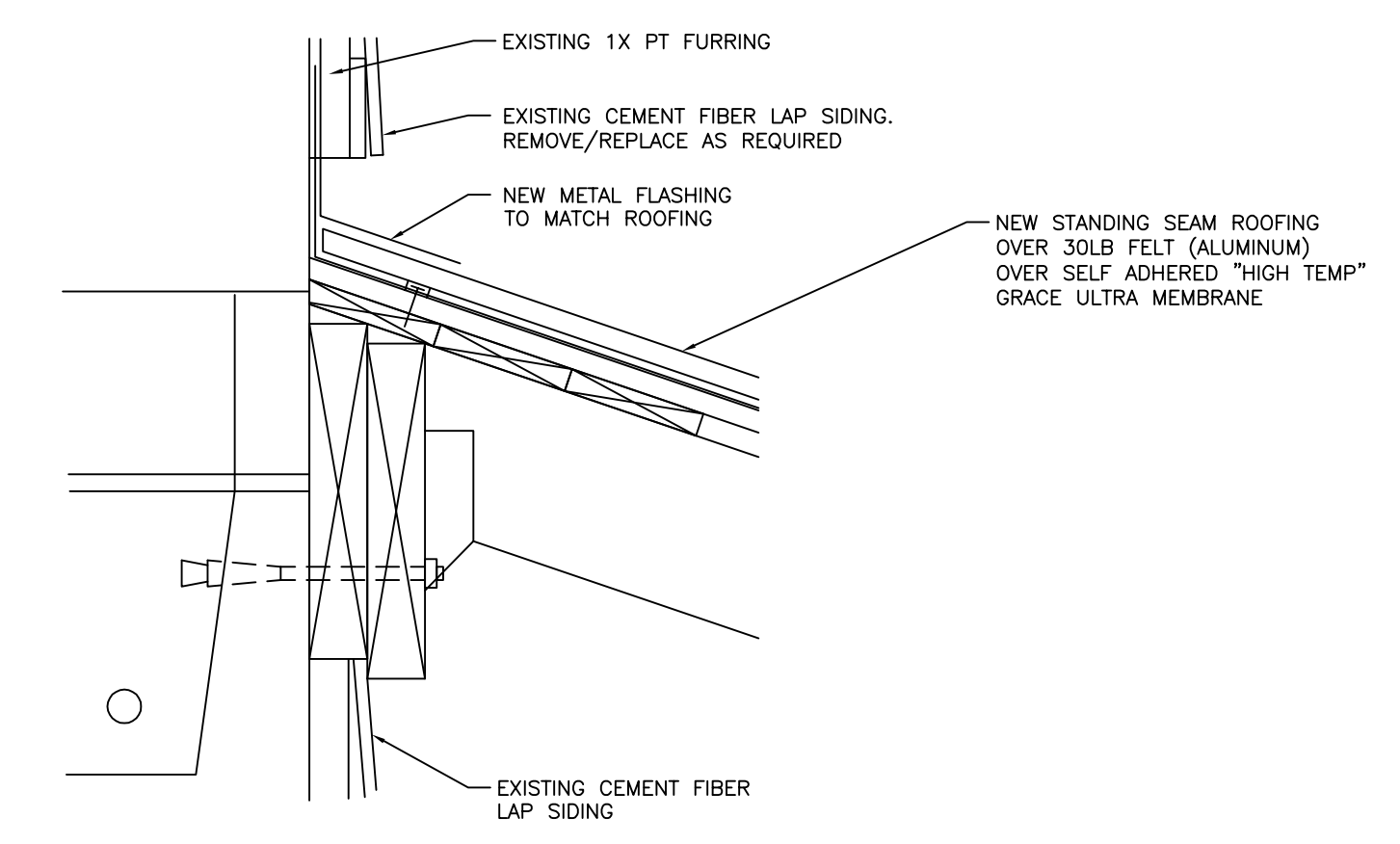




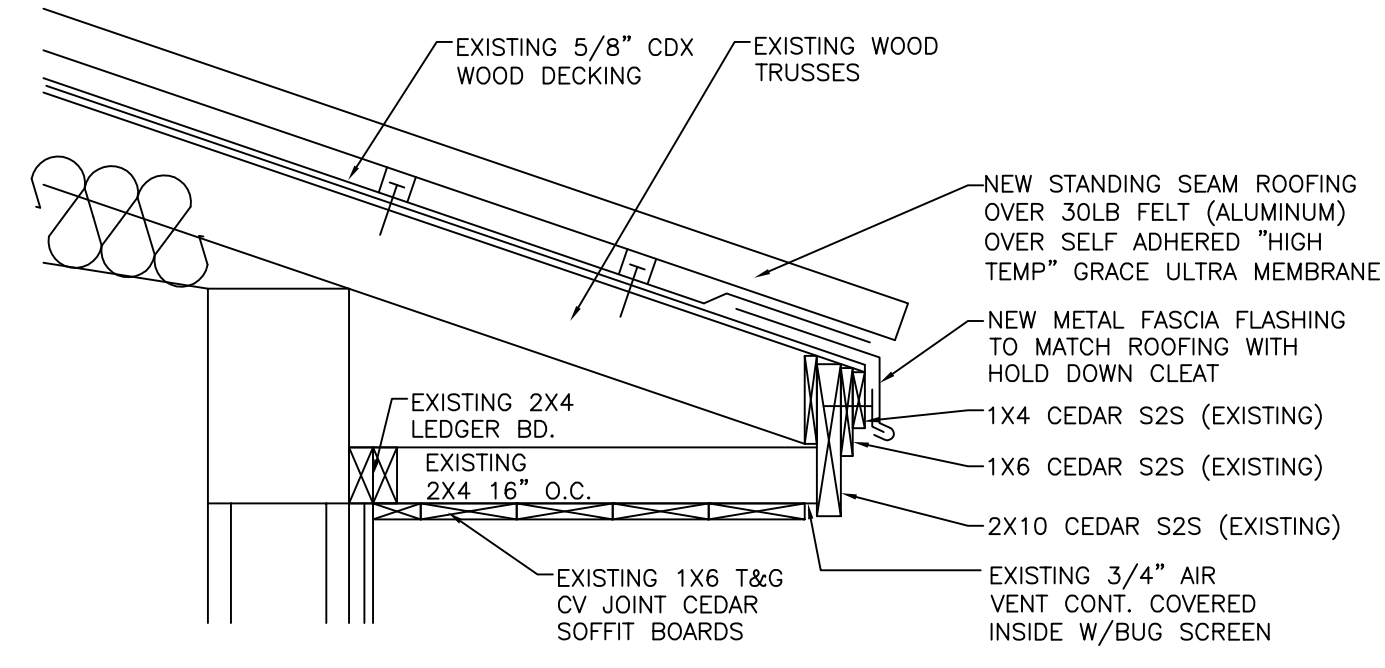
3 MACHINE ROOM GABLE END DETAIL
1"=1'-0"



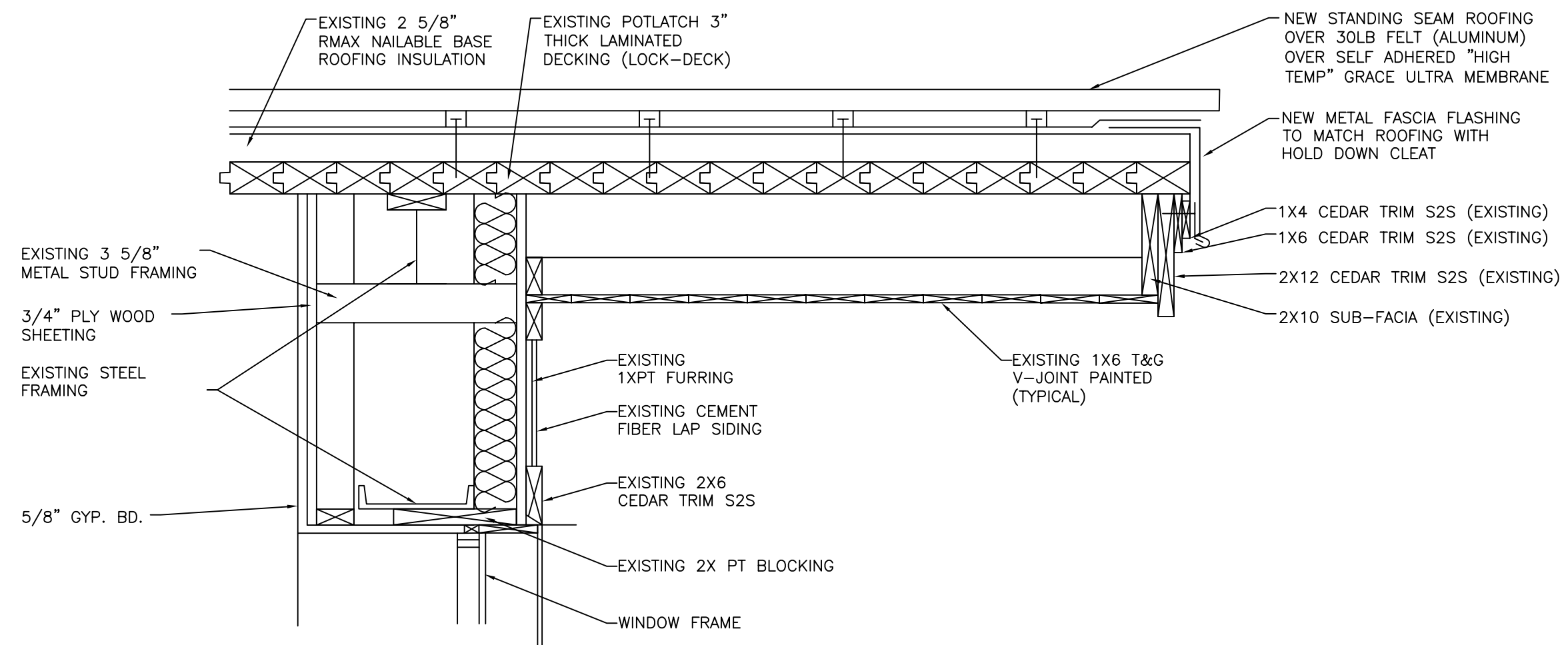
2 TYPICAL SOFFIT AT TERMINAL ROOF DETAIL
1"=1'-0"



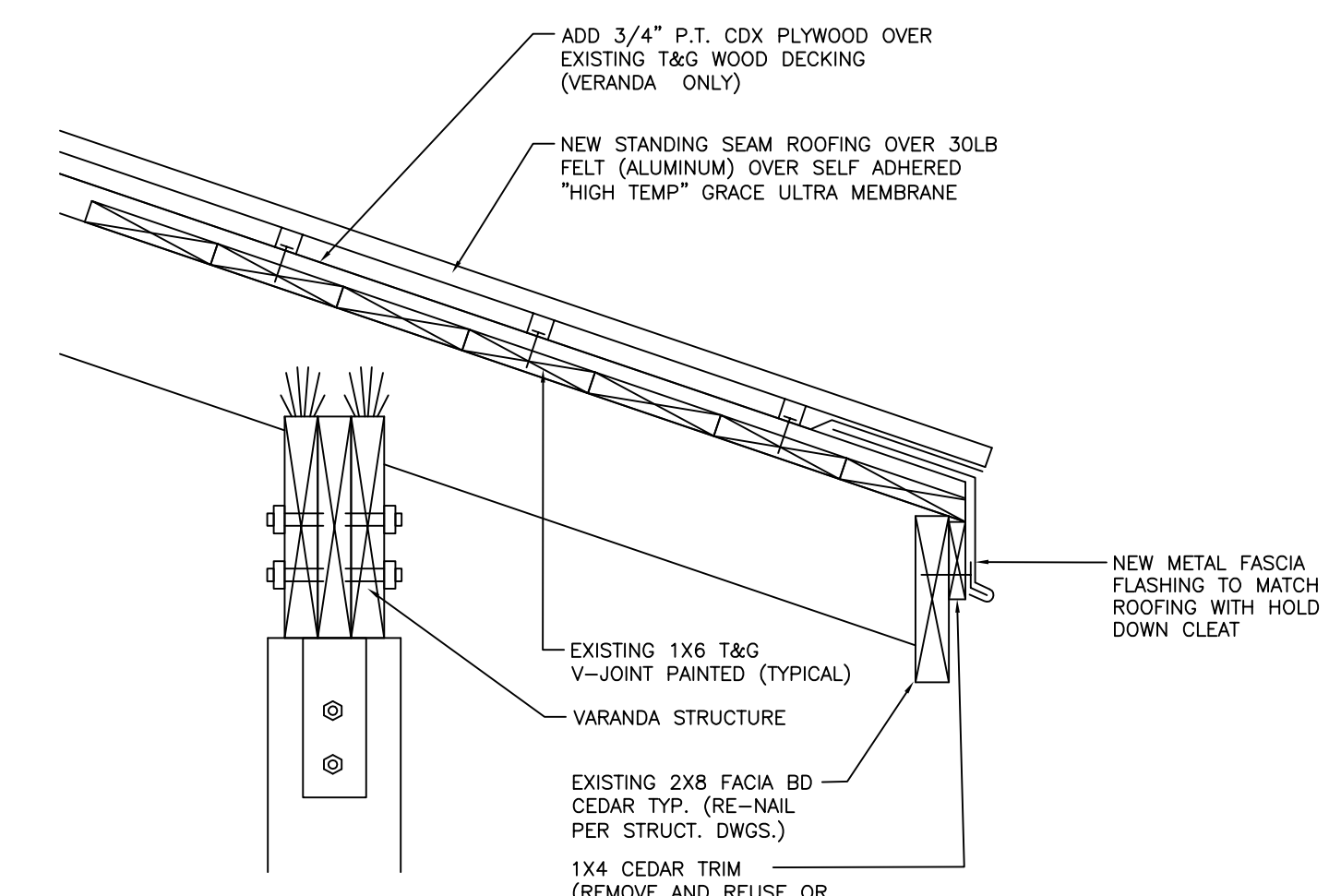
5 TYPICAL VERANDA ROOF DETAIL
1 1/2"=1'-0"



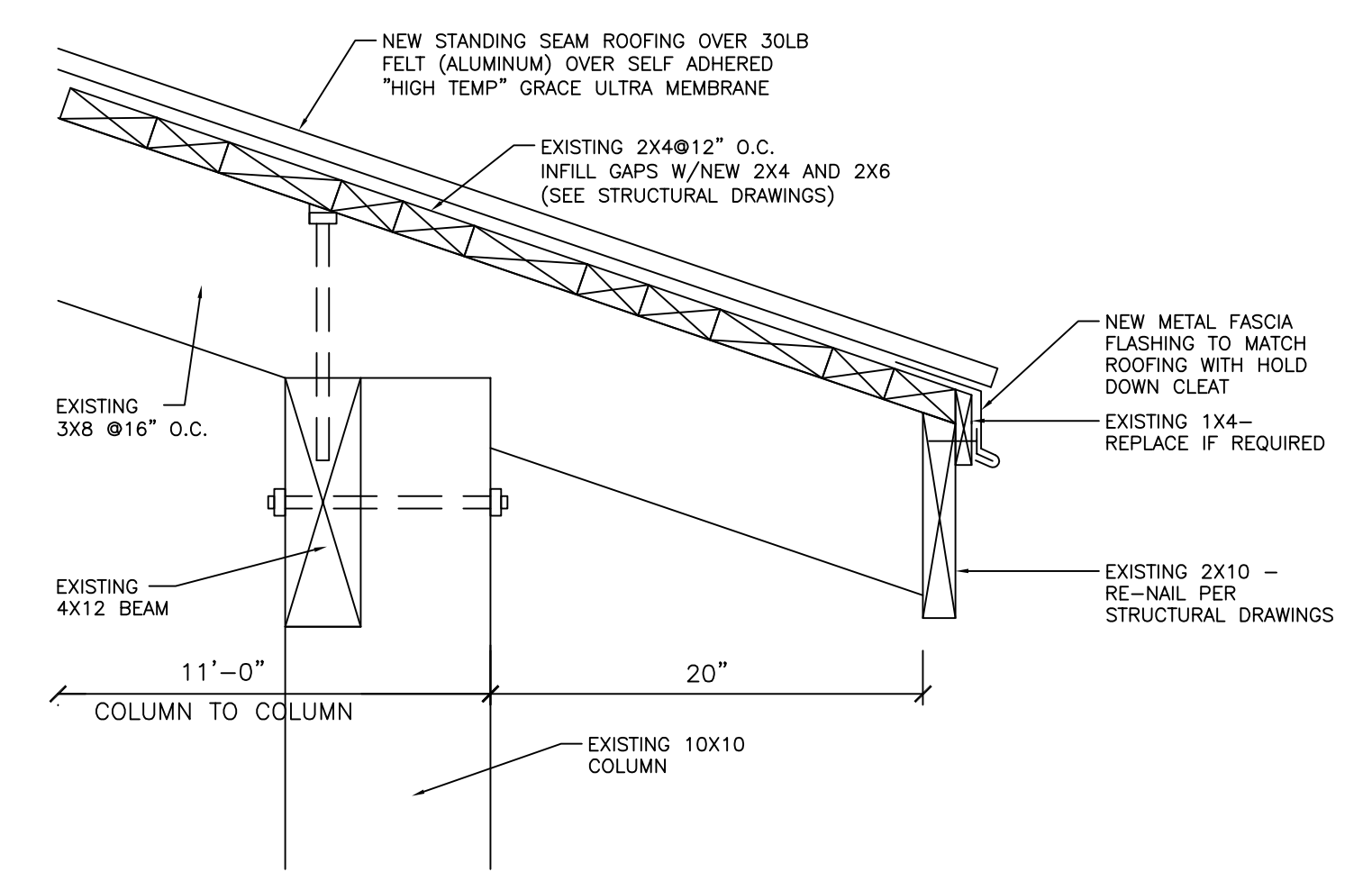
1 TYPICAL SOFFIT AT MACH. ROOF DETAIL
1"=1'-0"



4 TERMINAL ROOF GABLE END DETAIL
1"=1'-0"



6 TYPICAL VERANDA ROOF DETAIL
1 1/2"=1'-0"



7 TYPICAL BOARD WALK ROOF DETAIL - EXISTING (ALTERNATE WORK)
1 1/2"=1'-0"

CONTRACTOR TO REMOVE 1X4 AND 1X6 TRIM, RE-NAIL 2X12 AND 2X10 PER STRUCTURAL DRAWINGS, THEN RE-ATTACH 1X4 AND 1X6 (REPLACE IF REQUIRED) TYPICAL ALL LOCATIONS

EXISTING CEDAR WOOD TRIM, TYPICAL. PATCH/REPLACE AS REQUIRED.

SEAL

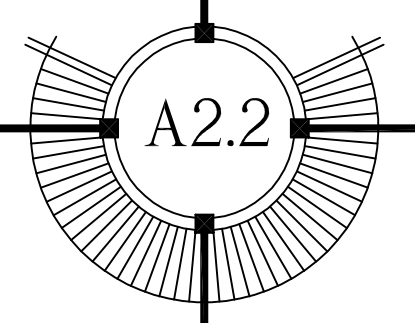
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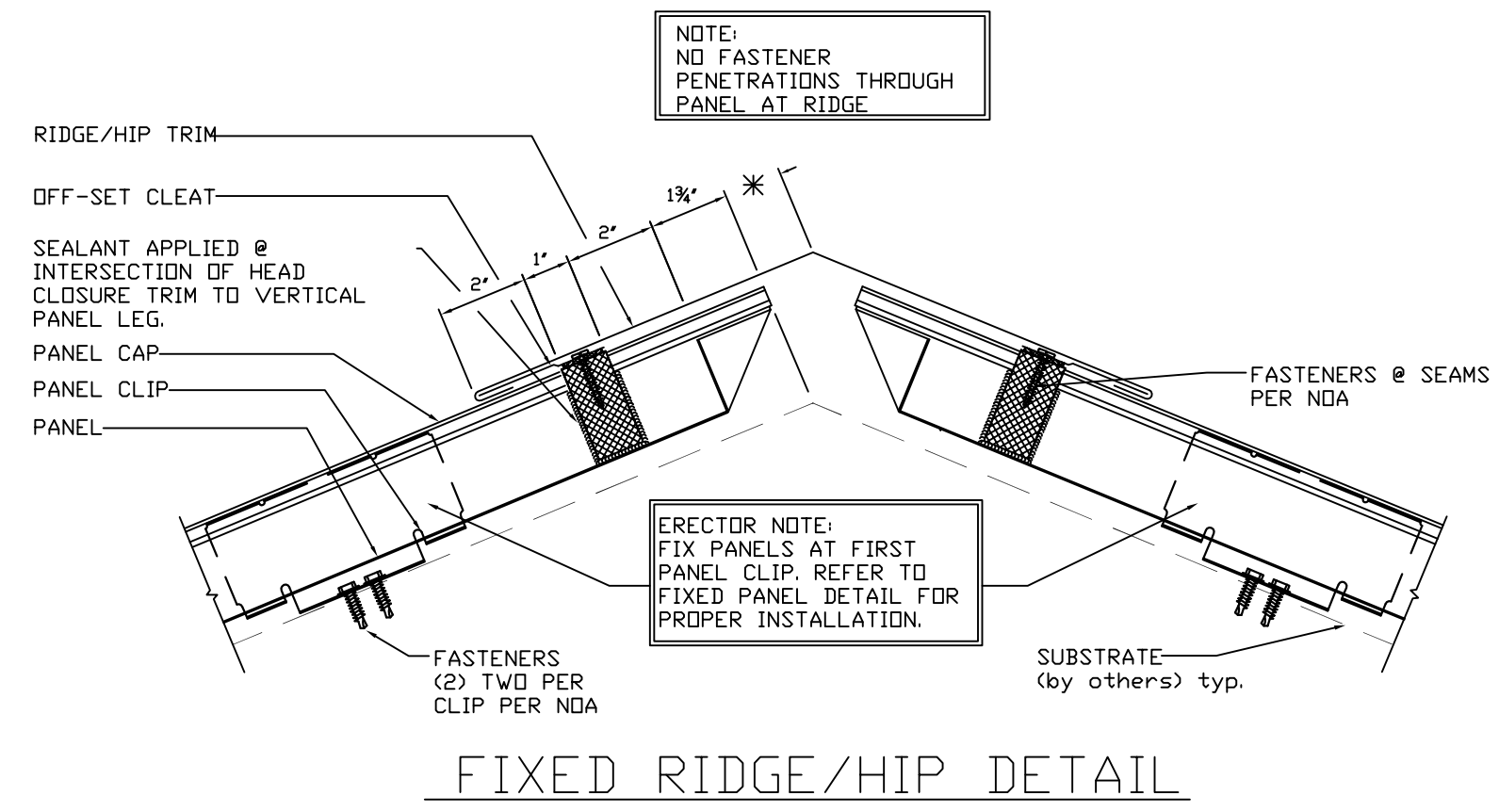
DATE
07-05-2024 BID

REVISIONS

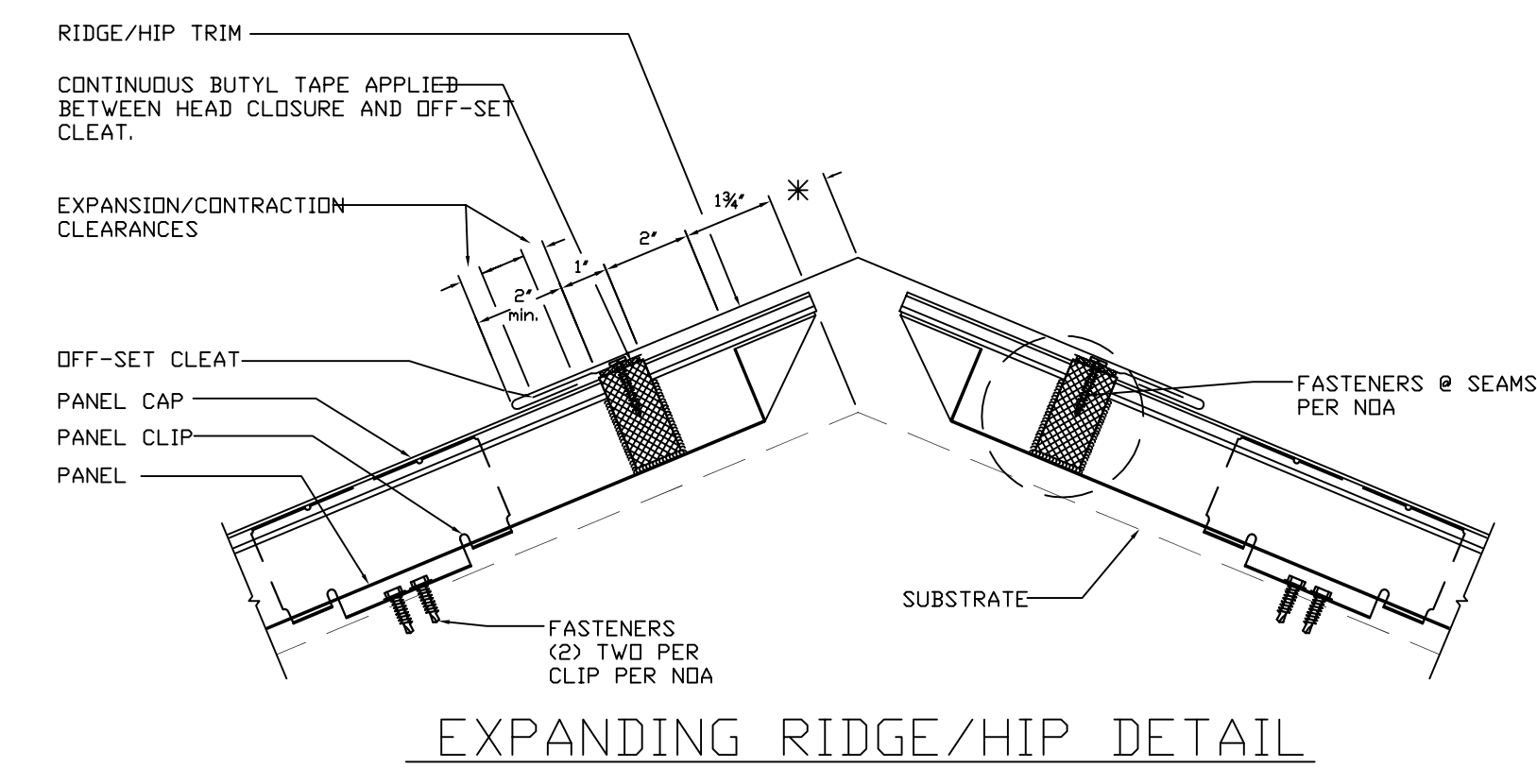
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PROJECT NUMBER
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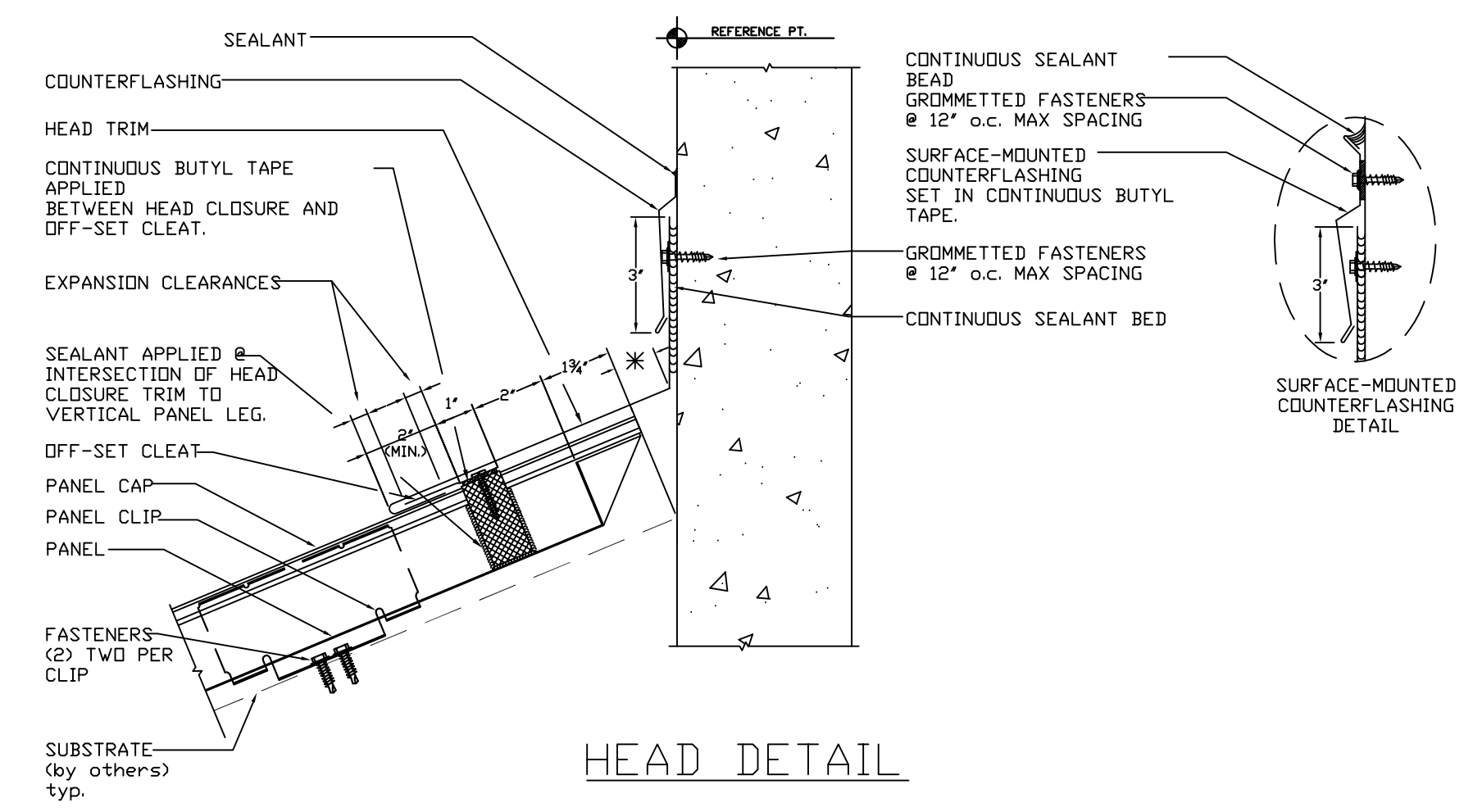




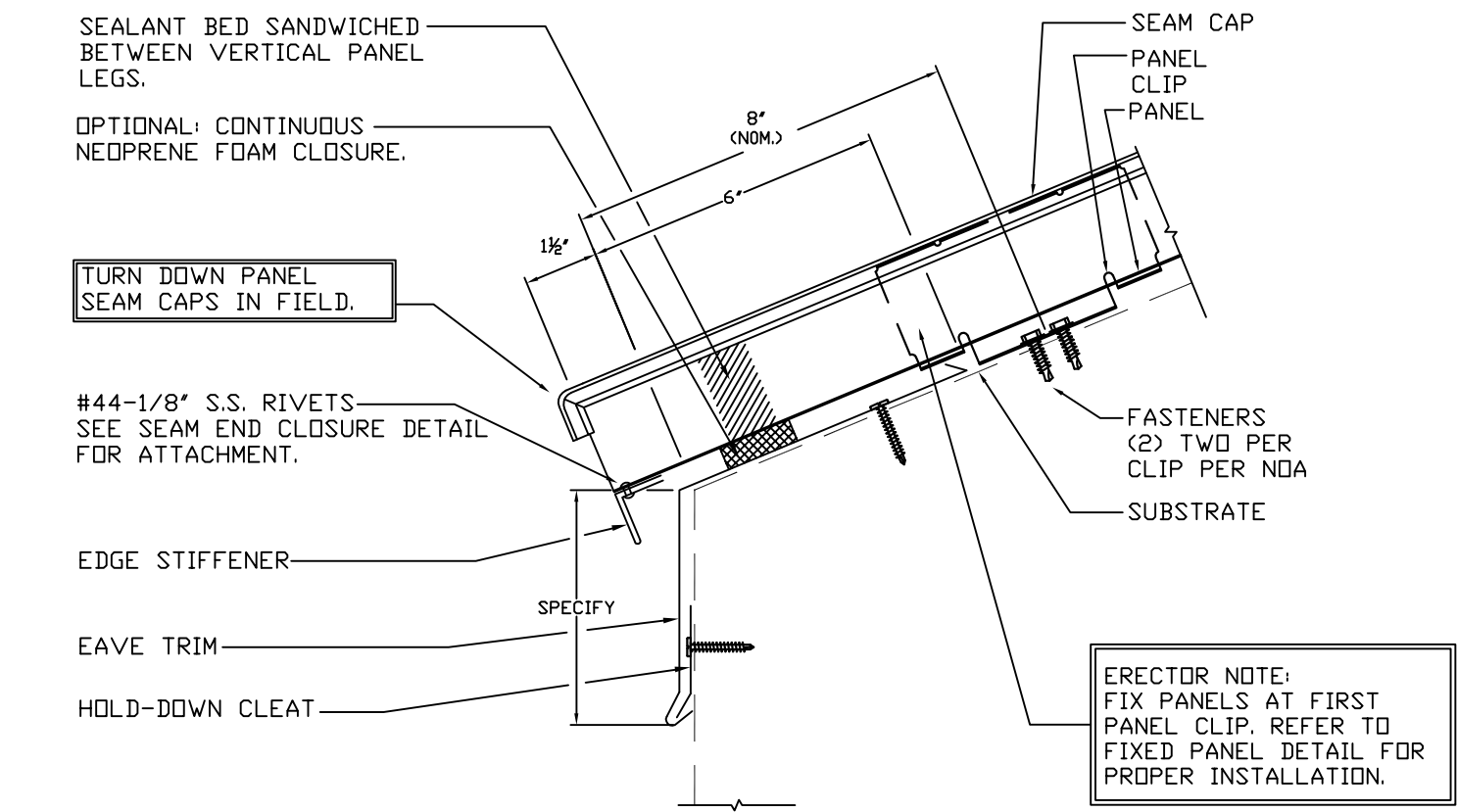
FIXED RIDGE/HIP DETAIL



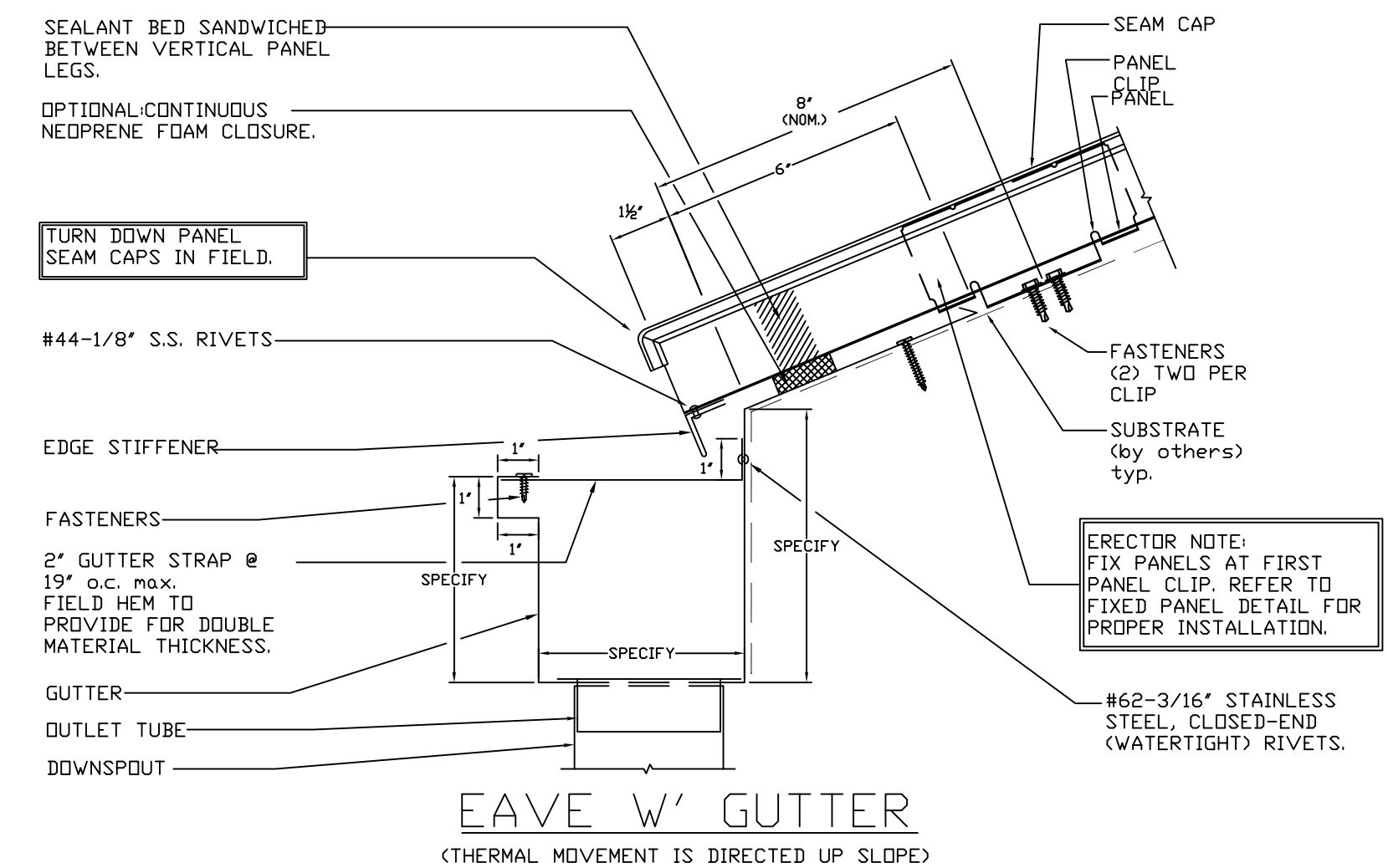
EXPANDING RIDGE/HIP DETAIL



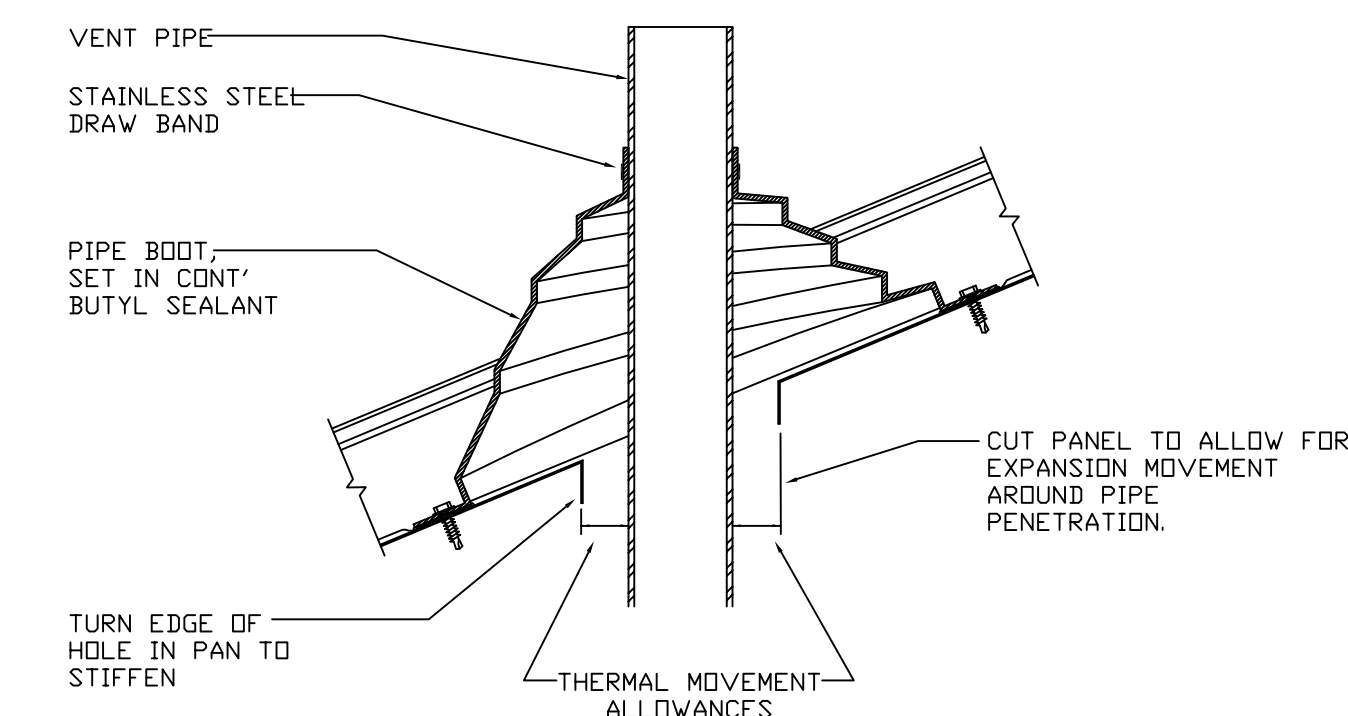
HEAD DETAIL



EAVE DETAIL
(THERMAL MOVEMENT IS DIRECTED UP SLOPE)

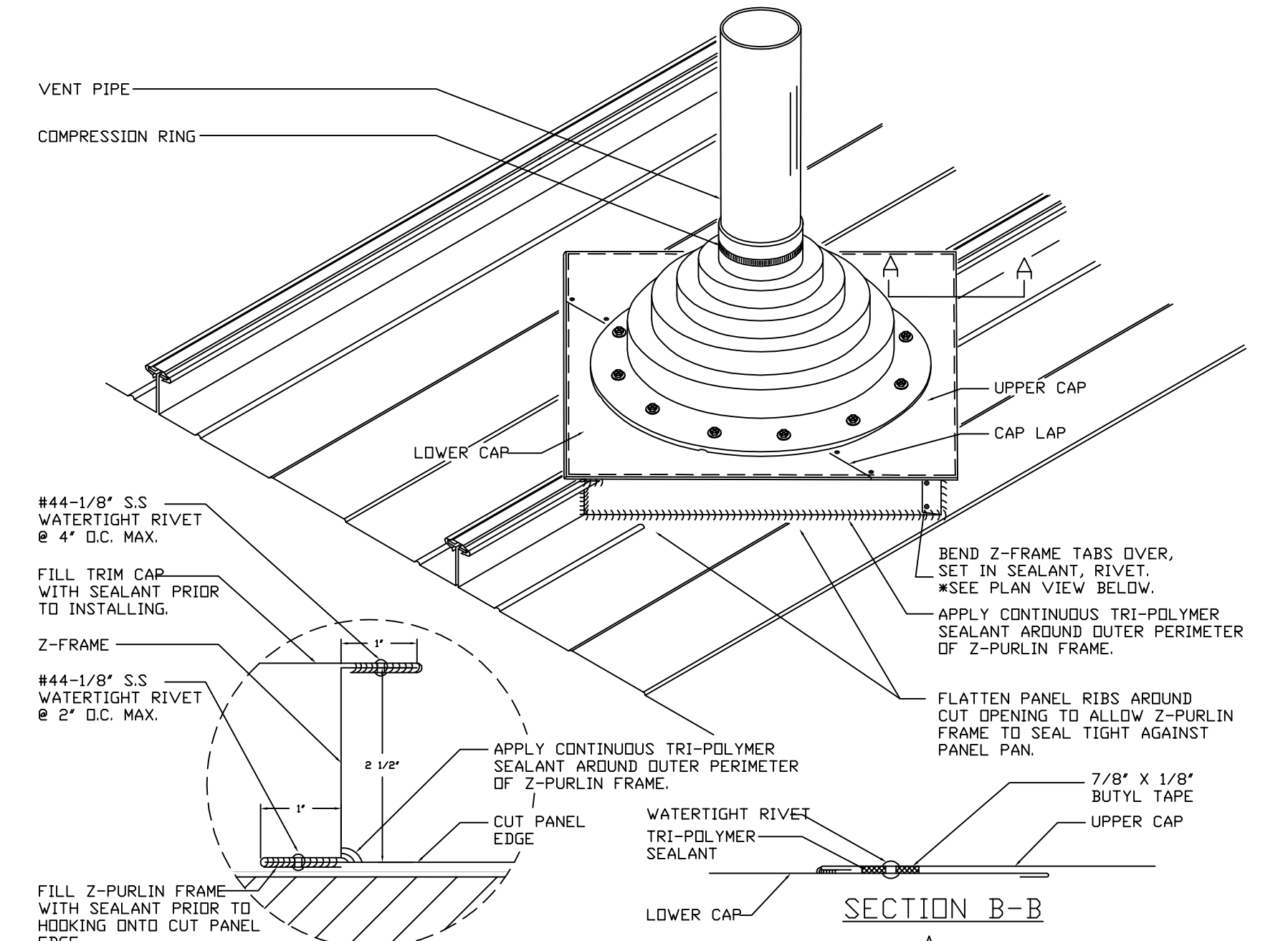


EAVE W/ GUTTER
(THERMAL MOVEMENT IS DIRECTED UP SLOPE)



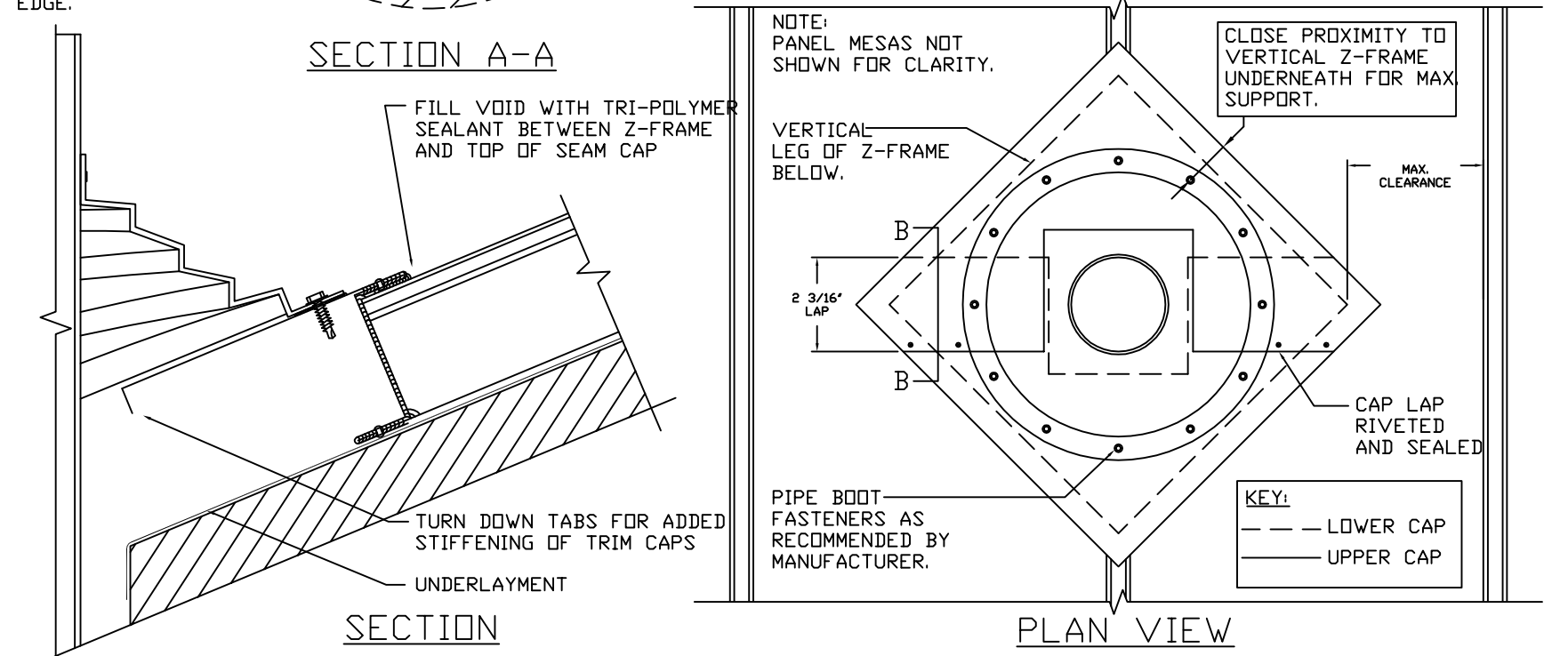
PIPE BOOT THROUGH PANEL

NOTE: FLATTEN PANEL RIBS TO ALLOW BOOT TO NEST FLAT AGAINST THE PANEL PAN.



SECTION A-A

SECTION B-B



SECTION

PLAN VIEW

1 STANDARD STANDING SEAM ROOF DETAILS SCALE: NTS

PIPE BOOT THROUGH PANEL SEAM

SEAL

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07-05-2024 BID

REVISIONS

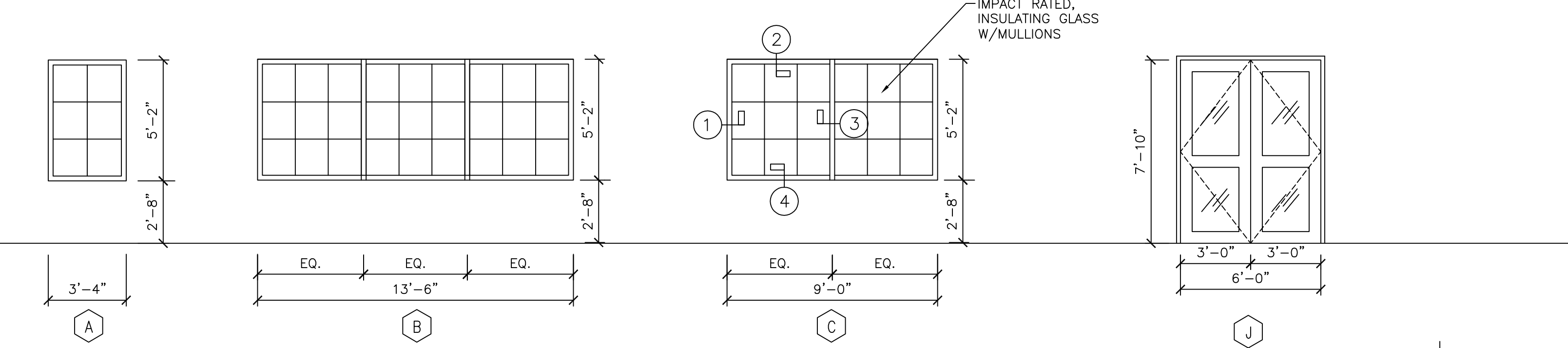
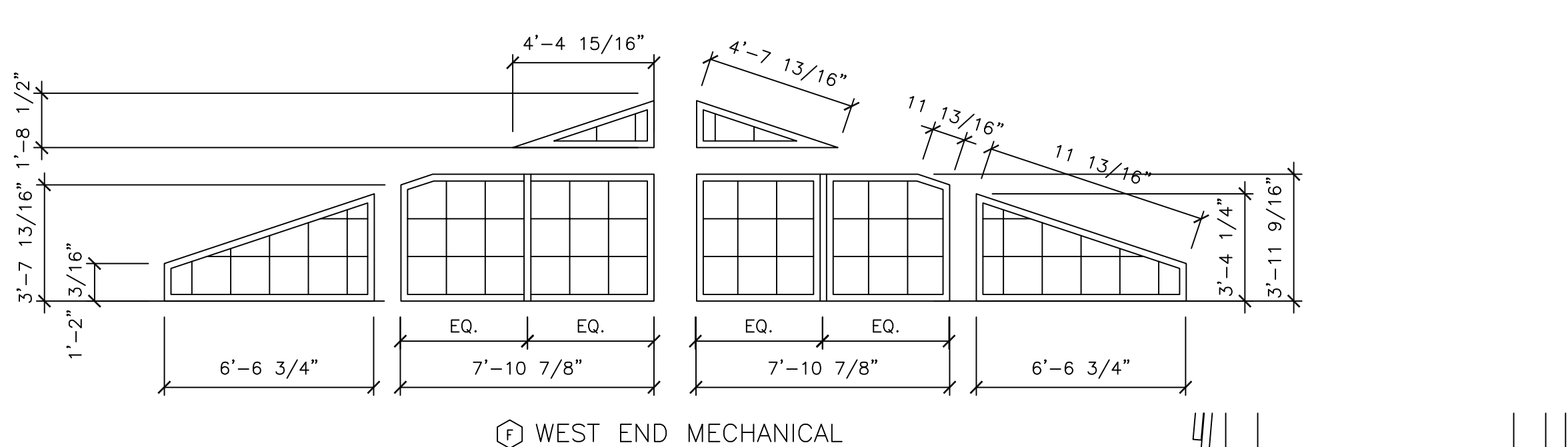
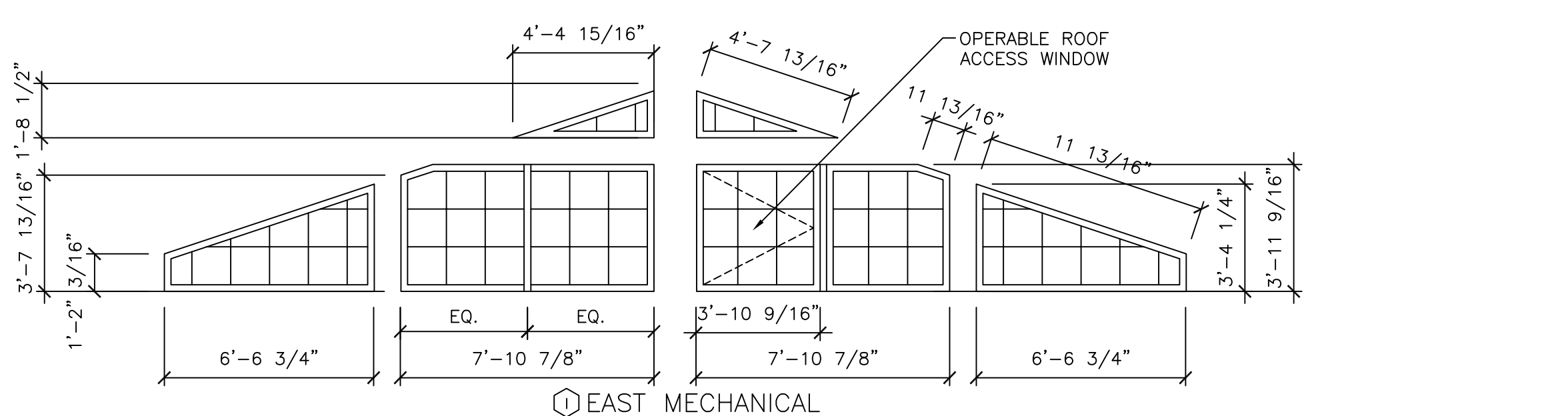
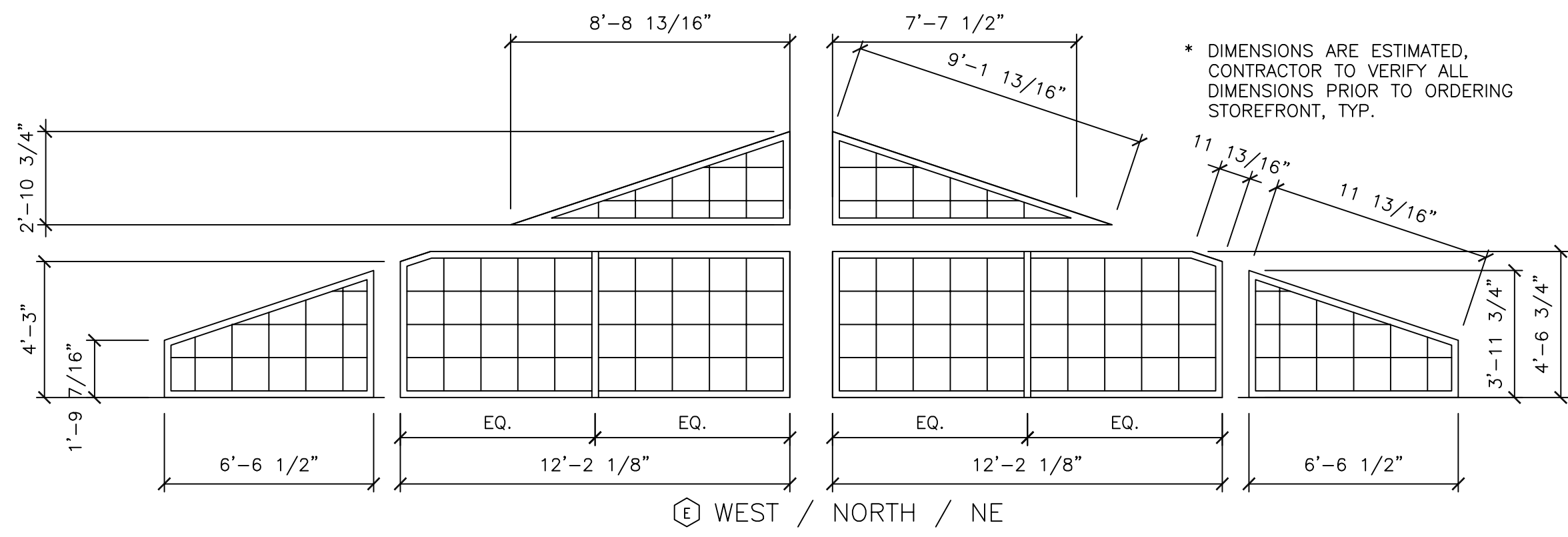
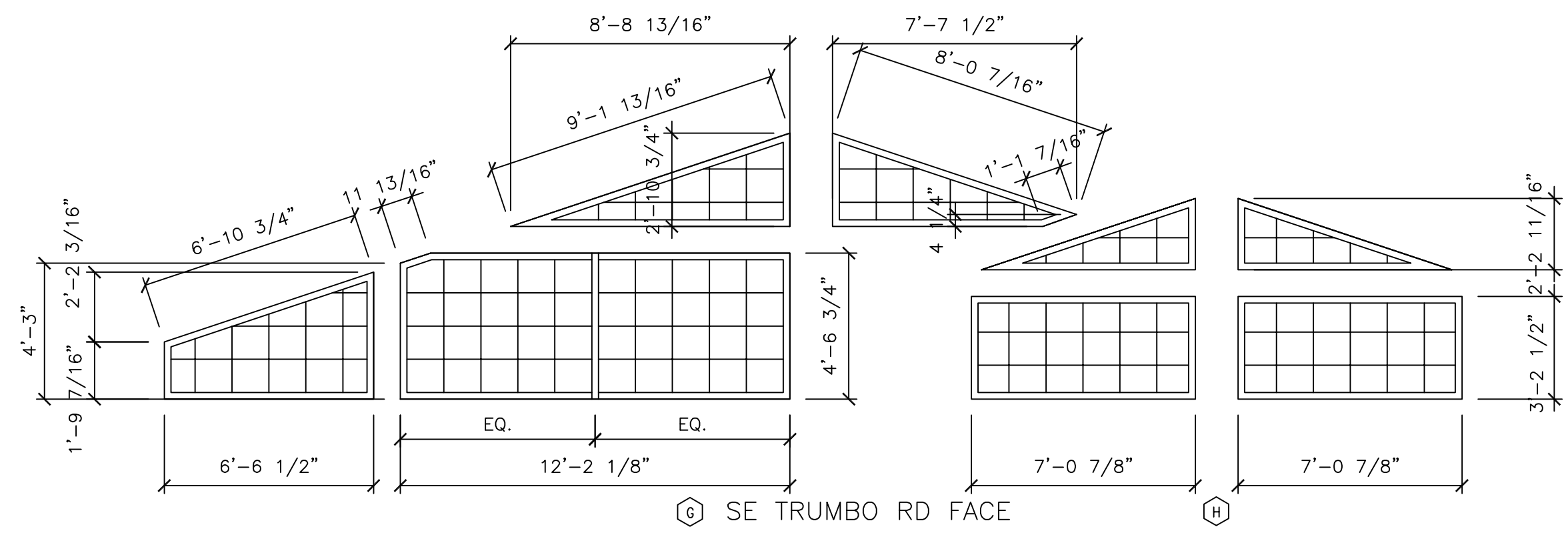
DRAWN BY
JW
EMA

PROJECT NUMBER
2312

NO.	WIDTH	HEIGHT	FINISH	GLAZING	FRAME MAT.	DESIGN PRESSURES		PRODUCT APPROVAL #	MANUF. WIND LOAD RATING	MANUF./MODEL	TYPE
						(FIELD)	(CORNER)				
A	3'-2"	5'-2"	PAINTED	IMPACT	ALUMINUM	+69.81/-91.79	FL #19973		+100.0/-100.0	ALDORA-SERIES FRONT SET	IMPACT RESISTANT AND INSULATED GLASS, TYP.
B	13'-2"	5'-2"	PAINTED	IMPACT	ALUMINUM	+63.23/-78.62	FL #19973		+100.0/-100.0	ALDORA-SERIES FRONT SET	IMPACT RESISTANT AND INSULATED GLASS, TYP.
C	8'-8"	5'-2"	PAINTED	IMPACT	ALUMINUM	+65.14/-82.44	FL #19973		+100.0/-100.0	ALDORA-SERIES FRONT SET	IMPACT RESISTANT AND INSULATED GLASS, TYP.
D	NOT USED										
E	VARIES	VARIES	PAINTED	IMPACT	ALUMINUM	+68.77/-89.69	FL #19973		+100.0/-100.0	ALDORA-SERIES FRONT SET	IMPACT RESISTANT AND INSULATED GLASS, TYP.
F	VARIES	VARIES	PAINTED	IMPACT	ALUMINUM	+72.37/-96.90	FL #19973		+100.0/-100.0	ALDORA-SERIES FRONT SET	IMPACT RESISTANT AND INSULATED GLASS, TYP.
G	VARIES	VARIES	PAINTED	IMPACT	ALUMINUM	+68.77/-89.69	FL #19973		+100.0/-100.0	ALDORA-SERIES FRONT SET	IMPACT RESISTANT AND INSULATED GLASS, TYP.
H	VARIES	VARIES	PAINTED	IMPACT	ALUMINUM	+70.06/-92.28	FL #19973		+100.0/-100.0	ALDORA-SERIES FRONT SET	IMPACT RESISTANT AND INSULATED GLASS, TYP.
I	VARIES	VARIES	PAINTED	IMPACT	ALUMINUM	+77.37/-96.90	FL #19973		+100.0/-100.0	ALDORA-SERIES FRONT SET	IMPACT RESISTANT AND INSULATED GLASS, TYP.
J	6'-0"	7'-10"	PAINTED	IMPACT	ALUMINUM	+65.09/-82.35	FL #17682		+100.0/-100.0	ALDORA-SERIES SUMMIT	SWINGING DOOR, WEATHER STRIPPING, INSULATED AND IMPACT GLASS, ADA & PANIC HARDWARE, CLOSURE, DEADBOLT

*CONTRACTOR TO VERIFY ALL OPENING DIMENSIONS AND COORDINATE WITH MANUFACTURED PRODUCTS AVAILABLE. CONTRACTOR RESPONSIBLE FOR FINAL OPENING SIZES AND COORDINATION. CONTRACTOR TO INCORPORATE ANY REQUIRED MULLION STRUCTURAL SUPPORTS REQUIRED BY MANUFACTURER BETWEEN MULTIPLE OPENINGS.

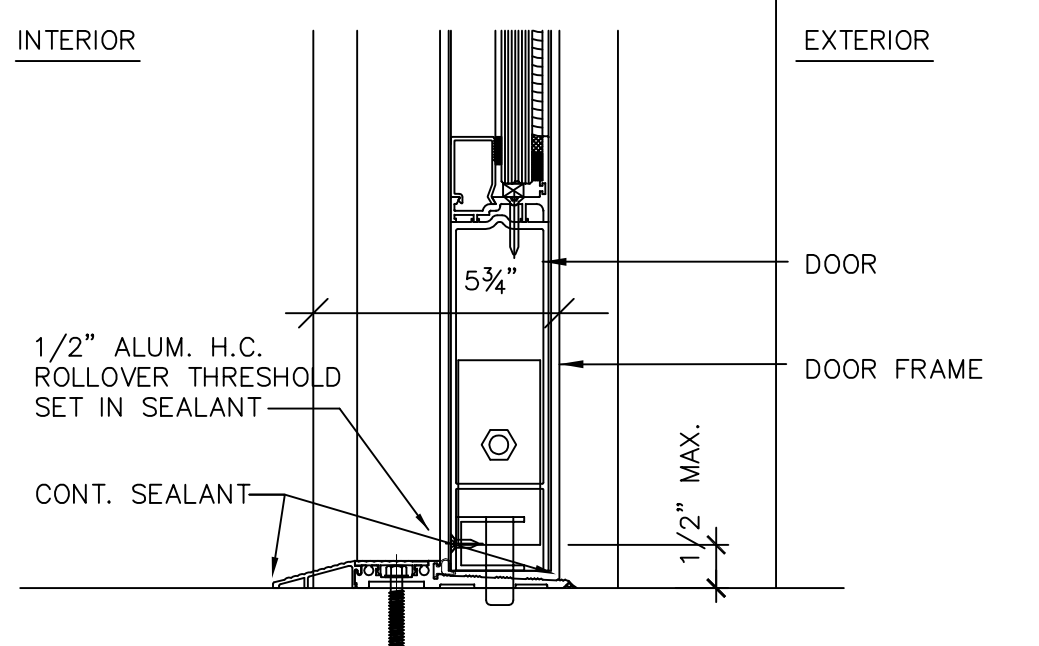
- NOTES:
- ALL EXTERIOR OPENINGS SHALL BE PROVIDED WITH DOORS, WINDOWS, OR LOUVERS WHICH MEET ASCE/SEI 7-16, FLORIDA BUILDING CODE, 2023 EDITION. WIND PRESSURE ON COMPONENTS AND CLADDING (CH 30 PART 1)
 - ALL PRESSURES SHOWN ARE BASED UPON ASD DESIGN, WITH A LOAD FACTOR OF 0.6, 200 MPH WIND LOAD AND IMPACT REQUIREMENTS, SEE SPECIFICATIONS.
 - ALUM. STOREFRONT FRAMES, WINDOWS AND LOUVERS SHALL BE PREFINISHED WITH COLOR TO BE SELECTED BY THE ARCHITECT FROM MANUFACTURERS FULL RANGE OF AVAILABLE COLOR SELECTIONS.
 - STOREFRONT ENTRY DOOR SHALL HAVE HARDWARE BY THE ASSEMBLY MANUFACTURER TO INCLUDE BUTTS, PULLS, DEADBOLTS WITH INSIDE THUMB TURN OPERATION, CONCEALED CLOSURE WITH HOLD OPEN, MUTES, STOPS, THRESHOLD AND WEATHERSTRIPPING, ALL IN ACCORDANCE WITH STORMPROOF ASSEMBLY REQUIREMENTS. COORDINATE KEYING REQUIREMENTS WITH OWNER. A FULL SHOP DRAWINGS SUBMITTAL IS REQUIRED AND SHALL INCLUDE ALL COMPONENTS OF THE STOREFRONT, WINDOW AND LOUVER ASSEMBLIES, INCLUDING PRODUCT APPROVALS FOR EACH MANUFACTURED PRODUCT, INDICATING TESTED COMPLIANCE WITH LOADING AND IMPACT REQUIREMENTS AS WELL AS SIZE, TYPE AND SPACING OF THE ANCHORS TO MEET LOADING REQUIREMENTS. ACCESSORY COMPONENTS SUCH AS BLOCKING, FLASHING AND SEALS AND ADJACENT CONSTRUCTION SHALL BE INDICATED, WHETHER PROVIDED BY THE ASSEMBLY MANUFACTURER OR OTHERS.
 - DESIGN PRESSURES PROVIDED BY STRUCTURAL ENGINEER.
 - ALL EXTERIOR FENESTRATIONS SHALL HAVE A MAXIMUM U-FACTOR AND SHGC AS PER FLORIDA COMMERCIAL (AND RESIDENTIAL IF APPLICABLE) ENERGY CONSERVATION BUILDING CODE 2023 UNLESS OTHERWISE NOTED IN PERFORMANCE METHOD CALCULATIONS PROVIDED BY ENGINEER. THE THERMAL ENVELOPE OF THE BUILDING SHALL COMPLY WITH FLORIDA COMMERCIAL ENERGY CONSERVATION BUILDING CODE 2023 AND SECTION C402.5.2, FOR AIR LEAKAGE AND AIR BARRIER REQUIREMENTS. FOR RESIDENTIAL PROJECTS USE THE RESIDENTIAL SECTION OF THE CODE AND SECTION R402.4 AND TABLE 402.4.1.1 FOR MANDATORY AIR LEAKAGE REQUIREMENTS. CONTRACTOR TO ENSURE ALL EXTERIOR DOORS AND WINDOWS ARE SEALED TO COMPLY WITH AIR LEAKAGE AND AIR BARRIER REQUIREMENTS. ALL EXTERIOR FENESTRATIONS SHALL BE GASKETED, WEATHER-STRIPPED OR OTHERWISE SEALED. ALL STOREFRONT SYSTEMS SHALL HAVE U-FACTOR=1.0, SHGC=0.50 MAX. AIR INFILTRATION RATES OF 0.5 CFM/SF FOR SWINGING GLAZED DOORS, WINDOWS=0.2 CFM/S.F. AND STOREFRONT GLAZING=0.06 CFM/S.F.
 - CONTRACTOR TO PROVIDE FULL SET OF SHOP DRAWINGS SPECIFIC TO THIS PROJECT, INCLUDING BUT NOT LIMITED TO WINDOW, LOUVER AND STOREFRONT ELEVATIONS, SILL/JAMB/HEAD DETAILS, GLASS TYPE, NOA OR FLORIDA PRODUCT APPROVALS, FINISH SAMPLES, ETC.
 - PROVIDE CLEAR GLASS, IMPACT RATED, TYPICAL.
 - COORDINATE W/OWNER ON HARDWARE AND LOCKING REQUIREMENTS. (MATCH EXISTING AS BEST AS POSSIBLE WHILE MEETING N.O.A. REQUIREMENTS), TYPICAL.
 - PATCH ALL WALLS (EXTERIOR AND INTERIOR) AS REQUIRED TO MATCH EXISTING, TYPICAL.



STOREFRONT DOORS AND WINDOWS - BASIS OF DESIGN

WINDOWS = ALDORA-SERIES FRONT SET ALUMINUM IMPACT RESISTANT STOREFRONT SYSTEM- IMPACT INSULATING GLASS TYPE "E1", BLAST RESISTANT (HW#2) (MISSILE LEVEL E). USE REINFORCED MULLION CONFIGURATION AS PER FLORIDA PRODUCT APPROVAL REQUIREMENTS FOR EXTERIOR MULLIONS, TYP. USE ANCHORING PER FLORIDA PRODUCT APPROVAL THAT MEETS DESIGN WIND LOAD REQUIREMENTS, TYPICAL.

EXTERIOR DOORS = ALDORA-SERIES SUMMIT (IMPACT RESISTANT, MISSILE LEVEL E, INSULATING AND IMPACT GLASS TYPE "J" STOREFRONT ENTRANCE SYSTEM). USE REINFORCED MULLION CONFIGURATION AS PER FLORIDA PRODUCT APPROVAL REQUIREMENTS FOR EXTERIOR MULLIONS, TYP. USE ANCHORING PER FLORIDA PRODUCT APPROVAL THAT MEETS DESIGN WIND LOAD REQUIREMENTS, TYPICAL. DOORS TO HAVE DEADBOLT, PANIC HARDWARE, CLOSER, WEATHER STRIPPING AND HANDICAP COMPLIANT. COORDINATE WITH OWNER ON KEYING AND SECURITY REQUIREMENTS.



SEAL

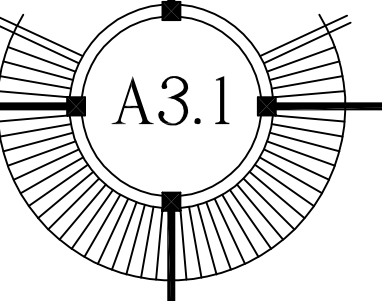
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EMA

PROJECT NUMBER
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1 STOREFRONT DETAIL
SCALE: 3"=1'-0"

2 STOREFRONT HEAD DETAIL
SCALE: 3"=1'-0"

3 STOREFRONT JAMB DETAIL
SCALE: 3"=1'-0"

4 STOREFRONT SILL DETAIL
SCALE: 3"=1'-0"

LOUVER SCHEDULE

NO.	WIDTH	HEIGHT	FINISH	FRAME MAT.	DESIGN PRESSURES		PRODUCT APPROVAL #	MANUF. WIND LOAD RATING	MANUF./MODEL	DESCRIPTION
					(FIELD)	(CORNER)				
L1	6'-0"	2'-0"	PRE-FINISHED	ALUMINUM		+68.80/-89.77	N.O.A.#20-1015.04	+120.0/-120.0	RUSKIN COMPANY--MODEL EME520MD	ALUMINUM LOUVER, IMPACT RESISTANT, W/BIRD SCREENS

*CONTRACTOR TO VERIFY ALL OPENING DIMENSIONS AND COORDINATE WITH MANUFACTURED PRODUCTS AVAILABLE. CONTRACTOR RESPONSIBLE FOR FINAL OPENING SIZES AND COORDINATION. CONTRACTOR TO INCORPORATE ANY REQUIRED MULLION STRUCTURAL SUPPORTS REQUIRED BY MANUFACTURER BETWEEN MULTIPLE OPENINGS.

NOTES:

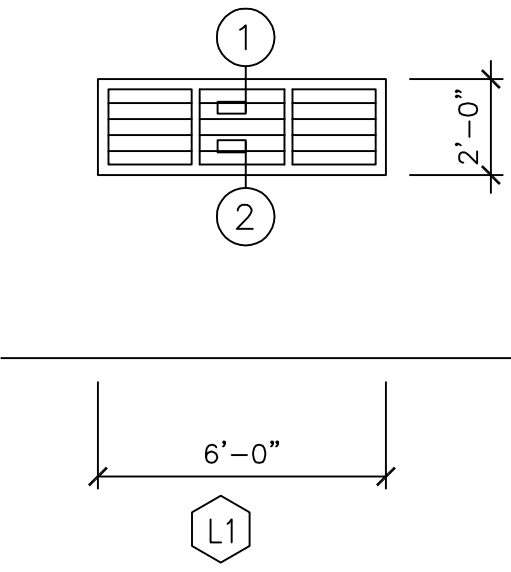
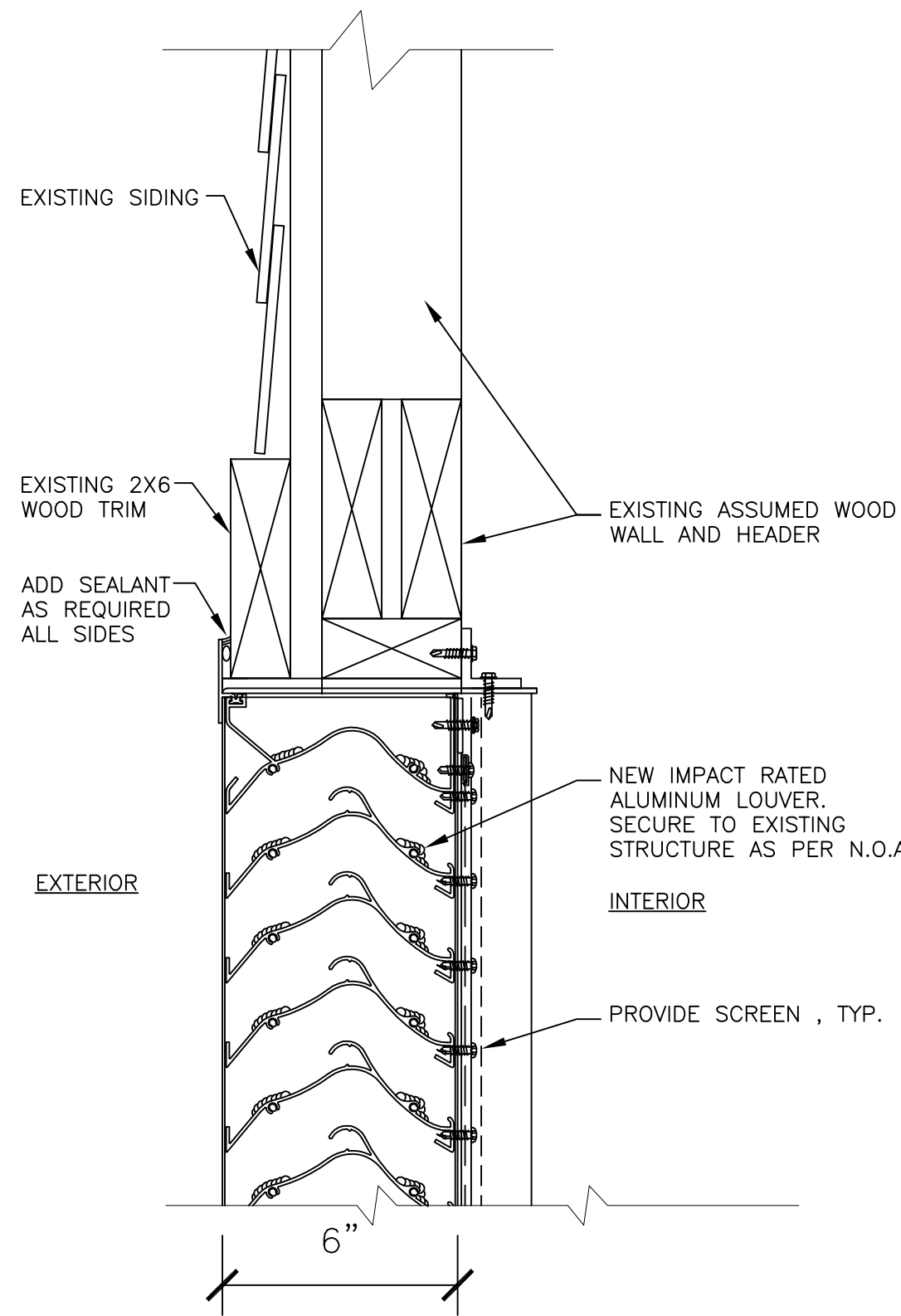
- ALL EXTERIOR OPENINGS SHALL BE PROVIDED WITH DOORS, WINDOWS, OR LOUVERS WHICH MEET ASCE/SEI 7-16, FLORIDA BUILDING CODE, 2023 EDITION. WIND PRESSURE ON COMPONENTS AND CLADDING (CH 30 PART 1) WIND PRESSURE ON COMPONENTS AND CLADDING (CH 30 PART 1)
- ALL PRESSURES SHOWN ARE BASED UPON ASD DESIGN, WITH A LOAD FACTOR OF 0.6. 200 MPH WIND LOAD AND IMPACT REQUIREMENTS, SEE SPECIFICATIONS.
- ALUM. STOREFRONT FRAMES, WINDOWS AND LOUVERS SHALL BE PREFINISHED WITH COLOR TO BE SELECTED BY THE ARCHITECT FROM MANUFACTURERS FULL RANGE OF AVAILABLE COLOR SELECTIONS.
- A FULL SHOP DRAWINGS SUBMITTAL IS REQUIRED AND SHALL INCLUDE ALL COMPONENTS OF THE STOREFRONT, WINDOW AND LOUVER ASSEMBLIES, INCLUDING PRODUCT APPROVALS FOR EACH MANUFACTURED PRODUCT, INDICATING TESTED COMPLIANCE WITH LOADING AND IMPACT REQUIREMENTS AS WELL AS SIZE, TYPE AND SPACING OF THE ANCHORS TO MEET LOADING REQUIREMENTS. ACCESSORY COMPONENTS SUCH AS BLOCKING, FLASHING AND SEALS AND ADJACENT CONSTRUCTION SHALL BE INDICATED, WHETHER PROVIDED BY THE ASSEMBLY MANUFACTURER OR OTHERS.
- DESIGN PRESSURES PROVIDED BY STRUCTURAL ENGINEER.
- CONTRACTOR TO PROVIDE FULL SET OF SHOP DRAWINGS SPECIFIC TO THIS PROJECT, INCLUDING BUT NOT LIMITED TO WINDOW, LOUVER AND STOREFRONT ELEVATIONS, SILL/JAMB/HEAD DETAILS, GLASS TYPE, NOA OR FLORIDA PRODUCT APPROVALS, FINISH SAMPLES, ETC.
- PATCH ALL WALLS (EXTERIOR AND INTERIOR) AS REQUIRED TO MATCH EXISTING, TYPICAL.

DOOR SCHEDULE

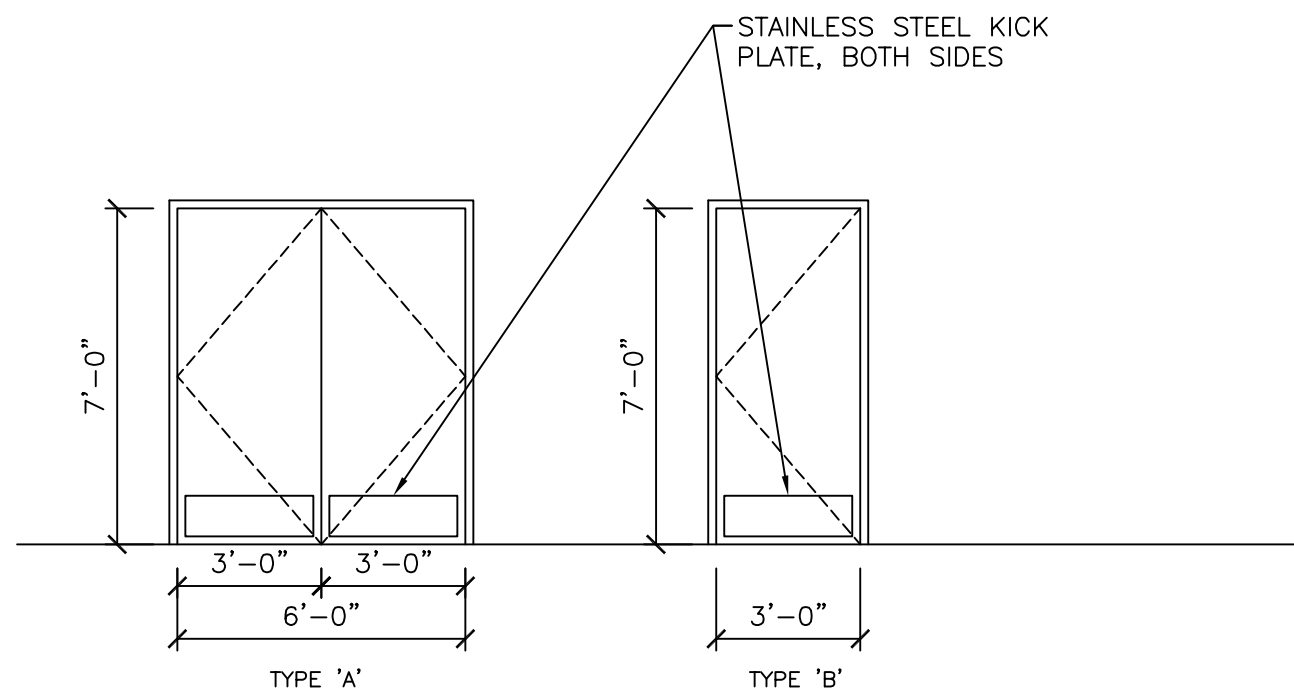
NO.	LOCATION	SIZE (APPROX.)*			DOOR			FRAME		HARDWARE	N.O.A. #	DESIGN PRESSURES		MANUF. WIND LOAD RATING	MANUFACTURER	REMARKS
		WIDTH	HEIGHT	THICK	MATERIAL	FINISH	TYPE	MATERIAL	FINISH			(FIELD)	(CORNER)			
001	TRASH	7'-0" PAIR	7'-0"	1 3/4"	GALV. METAL	PAINT	A	GALV. METAL	PAINT	STORAGE	23-0821.19	65.62/-83.40	+90/-90		STEELCRAFT H SERIES	EXTERIOR, SWINGING DOOR, IMPACT RESISTANT, WEATHER STRIPPING, INSULATED, ADA HARDWARE
002	RECYCLE	3'-0"	7'-0"	1 3/4"	GALV. METAL	PAINT	B	GALV. METAL	PAINT	STORAGE	23-0821.18	68.88/-89.92	+100/-100		STEELCRAFT H SERIES	EXTERIOR, SWINGING DOOR, IMPACT RESISTANT, WEATHER STRIPPING, INSULATED, ADA HARDWARE

*CONTRACTOR TO VERIFY ALL OPENING DIMENSIONS AND COORDINATE WITH MANUFACTURED PRODUCTS AVAILABLE. CONTRACTOR RESPONSIBLE FOR FINAL OR WOOD FRAMED OPENING SIZES AND COORDINATION. CONTRACTOR TO INCORPORATE ANY REQUIRED MULLION STRUCTURAL SUPPORTS REQUIRED BY MANUFACTURER BETWEEN MULTIPLE OPENINGS.

- ALL EXTERIOR OPENINGS OF THE BUILDING ENVELOPE SHALL BE PROVIDED WITH DOORS AND WINDOWS WHICH MEET ASCE/SEI 7-16, FLA. BUILDING CODE, 2023 EDITION. WIND PRESSURE ON COMPONENTS AND CLADDING (CH 30 PART 1) ALL PRESSURES SHOWN ARE BASED UPON ASD DESIGN, WITH A LOAD FACTOR OF 0.6. 200 MPH WIND LOAD AND IMPACT REQUIREMENTS, SEE SPECIFICATIONS.
- DOORS SHALL BE PREFINISHED TO BE SELECTED BY THE ARCHITECT FROM THE MANUFACTURERS FULL RANGE OF AVAILABLE COLOR SELECTIONS INCLUDING CLEAR ANODIZED ALUM. COLOR
- DESIGN PRESSURES ARE PROVIDED BY THE STRUCTURAL ENGINEER.
- ALL FIRE RATED DOORS TO HAVE A PERMANENTLY AFFIXED LABEL NOTING RATING.
- ALL EXTERIOR FENESTRATIONS SHALL HAVE A MAXIMUM U-FACTOR AND SHGC AS PER FLORIDA COMMERCIAL (AND RESIDENTIAL IF APPLICABLE) ENERGY CONSERVATION BUILDING CODE 2023 UNLESS OTHERWISE NOTED IN PERFORMANCE METHOD CALCULATIONS PROVIDED BY ENGINEER.
- THE THERMAL ENVELOPE OF THE BUILDING SHALL COMPLY WITH FLORIDA COMMERCIAL ENERGY CONSERVATION BUILDING CODE 2023 AND SECTION C402.5, AND TABLE C402.5.2. FOR AIR LEAKAGE AND AIR BARRIER REQUIREMENTS. CONTRACTOR TO ENSURE ALL EXTERIOR DOORS AND WINDOWS ARE SEALED TO COMPLY WITH AIR LEAKAGE AND AIR BARRIER REQUIREMENTS. FOR RESIDENTIAL PROJECTS USE THE RESIDENTIAL SECTION OF THE CODE AND SECTION R402.4 AND TABLE 402.4.1.1 FOR MANDATORY AIR LEAKAGE REQUIREMENTS. ALL EXTERIOR FENESTRATIONS SHALL BE GASKETED, WEATHER-STRIPPED OR OTHERWISE SEALED.
- PROVIDE A FULL SET OF PROJECT SPECIFIC SHOP DRAWINGS MEETING DESIGN WIND LOADS FOR EACH OPENING AND INCLUDING ALL ELEVATIONS, JAMB/HEAD/THRESHOLD DETAILS AND ANY REQUIRED NOA'S OR FLORIDA PRODUCT APPROVALS.
- ALL METAL EXTERIOR DOORS TO BE INSULATED AND HAVE PROPER WEATHER STRIPPING IN ADDITION TO NOA REQUIREMENTS.
- CONTRACTOR TO MEET ALL CODE AND N.O.A. (OR FL. PRODUCT APPROVAL) REQUIREMENTS.
- CONTRACTOR TO PROVIDE FULL SET OF SHOP DRAWINGS SPECIFIC TO THIS PROJECT, INCLUDING BUT NOT LIMITED TO WINDOW, LOUVER AND STOREFRONT ELEVATIONS, SILL/JAMB/HEAD DETAILS, GLASS TYPE, NOA OR FLORIDA PRODUCT APPROVALS, FINISH SAMPLES, ETC.
- ALL DOOR HARDWARE TO MATCH EXISTING AS BEST AS POSSIBLE (MAINTAIN N.O.A. REQUIREMENTS). COORDINATE WITH OWNER ON ALL HARDWARE AND REQUIREMENTS.
- PATCH WALLS (EXTERIOR AND INTERIOR) AS REQUIRED TO MATCH EXISTING, TYPICAL.

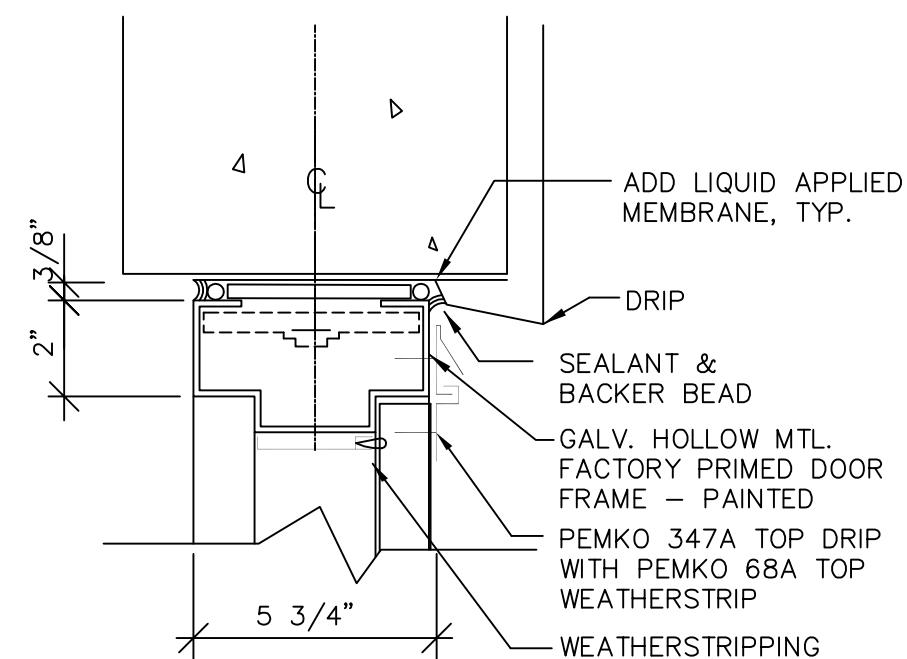


1
A3.2
LOUVER HEAD DETAIL
(JAMBS AND SILL SIMILAR) SCALE: 3"=1'-0"

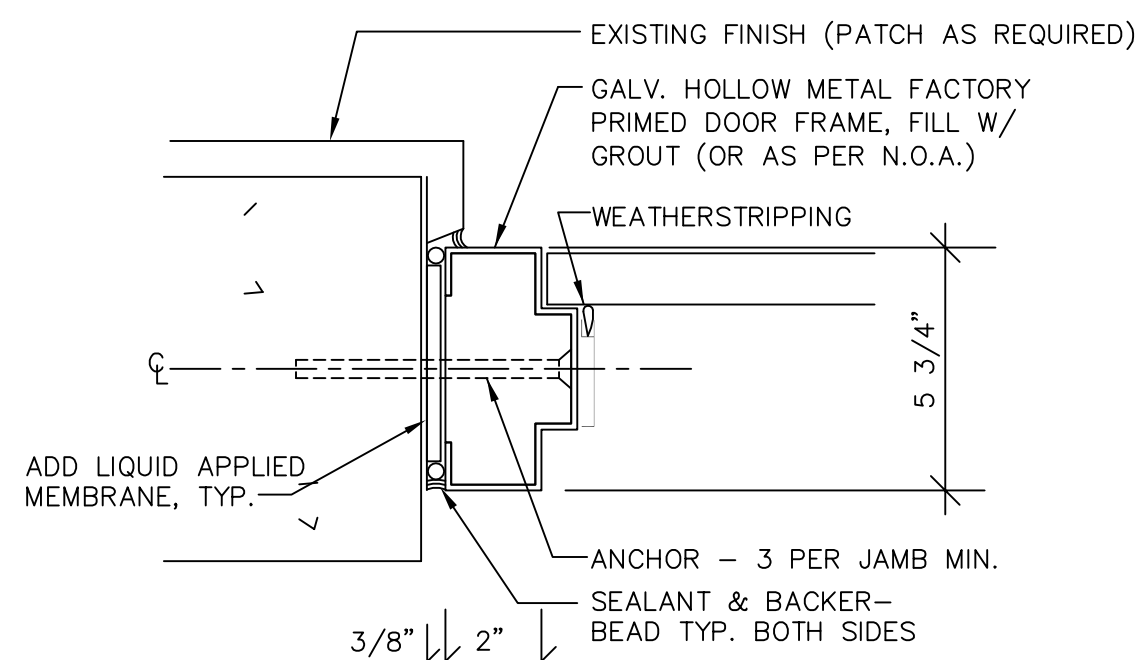


SWINGING DOORS BASIS OF DESIGN

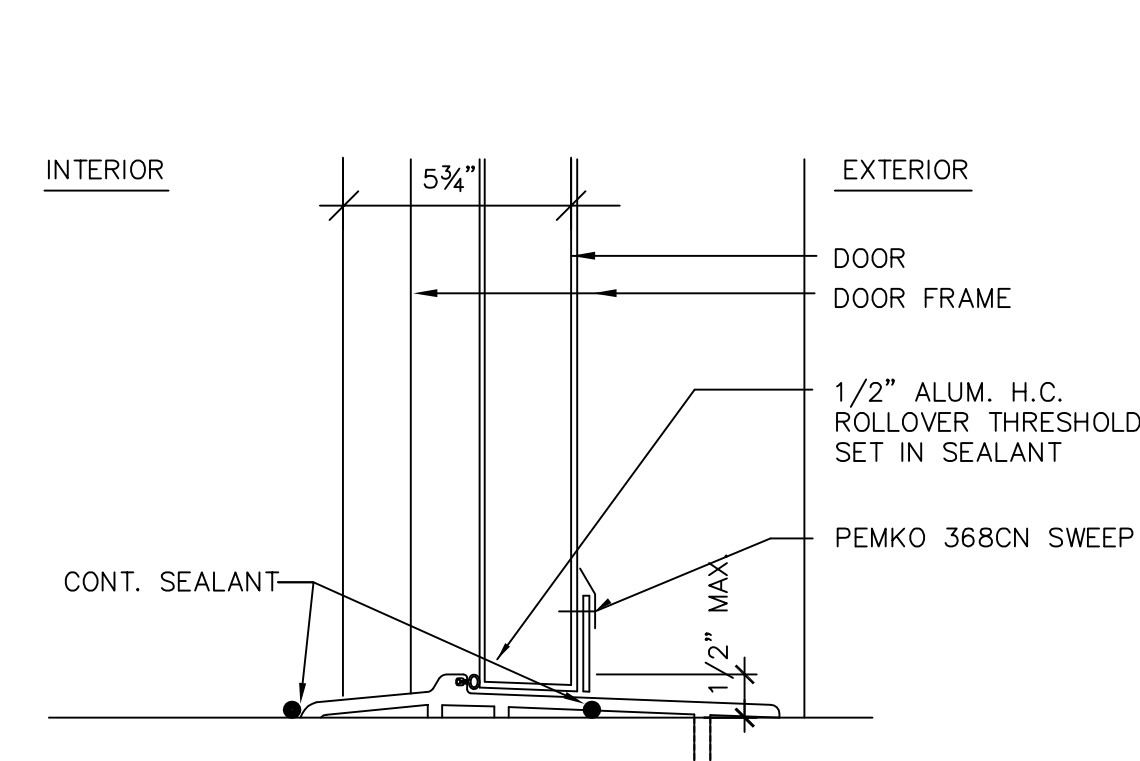
- SCHLAGE LOCK COMPANY, LLC. - SINGLE FLUSH OUT SWING DOOR - STEELCRAFT H SERIES FLUSH OUTSWING GALV. METAL DOOR, NOA #23-0821.18 (+100/-100)
- SCHLAGE LOCK COMPANY, LLC. - DOUBLE FLUSH OUT SWING DOOR - STEELCRAFT H SERIES FLUSH OUTSWING GALV. METAL DOOR, NOA #23-0821.19 (+90/-90)



2
A3.2
HEAD DETAIL
EXT. DOOR FRAME-METAL 3"=1'-0"



3
A3.2
JAMB DETAIL
EXT. DOOR FRAME-METAL 3"=1'-0"



4
A3.2
THRESHOLD DETAIL - H.C.
3"=1'-0"

SECTION 142400 - HYDRAULIC ELEVATORS

NEW ELEVATOR (BASIS OF DESIGN):

SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE ELEVATOR SYSTEM BY MOWERY - ME200H STANDARD HYDRAULIC ELEVATOR (HOLELESS), OR COMPARABLE PRODUCT BY ONE OF THE FOLLOWING:
1. OTIS ELEVATOR CO.
2. THYSSENKRUPP ELEVATOR
3. SCHINDLER ELEVATOR CORP.

TWO STOP, FRONT OPENING, 2500 LB. CAPACITY, 125 FPM, 11'-6" TRAVEL, 2-STOPS

12'-3" CLEAR OVERHEAD (TO HOIST BM.)

COORDINATE ALL DETAILS OF THE INSTALLATION WITH THE ELEVATOR MANUFACTURER PRIOR TO CONSTRUCTION. PROVIDE A COMPLETE SHOP DRAWING SUBMITTAL FOR REVIEW INCLUDING ALL DETAILS OF CONSTRUCTION, ELECTRICAL REQUIREMENTS AND SAFETY FEATURES.

PROVIDE ALL REQUIRED FEATURES INCLUDING:
PIT - WITH ACCESS LADDER, PIT LIGHT, ELEC. OUTLET, SUMP AND SUMP PUMP.
SHAFT - WITH RAIL SUPPORT, PENETRATIONS, HOIST BM., INFILL AT JAMBS AND SILLS AND MISC. WORK REQUIRED FOR A COMPLETE FINISH INSTALLATION.
MACHINE ROOM - WITH VENTILATION/COOLING (COORD. W/ MECH. ENG.)
COMPLY WITH ALL REQUIRED FIRE DEPARTMENT REQUIREMENTS.

ALL FEATURES SHALL COMPLY WITH STATE OF FLORIDA AND ADA HANDICAPPED REQUIREMENTS AND SHALL BE STRETCHER ACCESSIBLE.

INFORMATIONAL SUBMITTALS

A. QUALIFICATION DATA: FOR INSTALLER.
B. MANUFACTURER CERTIFICATES: SIGNED BY ELEVATOR MANUFACTURER CERTIFYING THAT HOISTWAY, PIT, AND MACHINE ROOM LAYOUT AND DIMENSIONS, AS SHOWN ON DRAWINGS, AND ELECTRICAL SERVICE, AS SHOWN AND SPECIFIED, ARE ADEQUATE FOR ELEVATOR SYSTEM BEING PROVIDED.
C. SAMPLE WARRANTY: FOR SPECIAL WARRANTY.

CLOSEOUT SUBMITTALS

A. OPERATION AND MAINTENANCE DATA: FOR ELEVATORS TO INCLUDE IN EMERGENCY, OPERATION, AND MAINTENANCE MANUALS.
1. IN ADDITION TO ITEMS SPECIFIED IN SECTION 017823 "OPERATION AND MAINTENANCE DATA", INCLUDE DIAGNOSTIC AND REPAIR INFORMATION AVAILABLE TO MANUFACTURER'S AND INSTALLER'S MAINTENANCE PERSONNEL.
B. INSPECTION AND ACCEPTANCE CERTIFICATES AND OPERATING PERMITS: AS REQUIRED BY AUTHORITIES HAVING JURISDICTION FOR NORMAL, UNRESTRICTED ELEVATOR USE.
C. CONTINUING MAINTENANCE PROPOSAL: SUBMIT A CONTINUING MAINTENANCE PROPOSAL FROM INSTALLER TO OWNER, IN THE FORM OF STANDARD ONE-YEAR MAINTENANCE AGREEMENT, STARTING ON DATE INITIAL MAINTENANCE SERVICE IS CONCLUDED. STATE SERVICES, OBLIGATIONS, CONDITIONS, AND TERMS FOR AGREEMENT PERIOD AND FOR FUTURE RENEWAL OPTIONS.

WARRANTY

A. MANUFACTURER'S SPECIAL WARRANTY: MANUFACTURER AGREES TO REPAIR, RESTORE, OR REPLACE ELEVATOR WORK THAT FAILS IN MATERIALS OR WORKMANSHIP WITHIN SPECIFIED WARRANTY PERIOD.

1. FAILURES INCLUDE, BUT ARE NOT LIMITED TO, OPERATION OR CONTROL SYSTEM FAILURE, INCLUDING EXCESSIVE MALFUNCTIONS; PERFORMANCES BELOW SPECIFIED RATING; EXCESSIVE WEAR; UNUSUAL DETERIORATION OR AGING OF MATERIALS OR FINISHES; UNSAFE CONDITIONS; NEED FOR EXCESSIVE MAINTENANCE; ABNORMAL NOISE OR VIBRATION; AND SIMILAR UNUSUAL, UNEXPECTED, AND UNSATISFACTORY CONDITIONS.
2. WARRANTY PERIOD: FIVE YEAR(S) FROM DATE OF SUBSTANTIAL COMPLETION.

PERFORMANCE REQUIREMENTS

A. REGULATORY REQUIREMENTS: COMPLY WITH ASME A17.1/CSA B44.
B. ACCESSIBILITY REQUIREMENTS: COMPLY WITH SECTION 407 IN THE U.S. ARCHITECTURAL & TRANSPORTATION BARRIERS COMPLIANCE BOARD'S ADA-ABA ACCESSIBILITY GUIDELINES AND WITH ICC A117.1.
C. NONPROPRIETARY SYSTEMS AND EQUIPMENT: PROVIDE SYSTEMS AND EQUIPMENT THAT CAN BE SERVICED AND REPAIRED BY ALL MAJOR ELEVATOR REPAIR CONTRACTORS.

ELEVATORS

1. CAR ENCLOSURES:
A. INSIDE HEIGHT: 92 INCHES TO UNDERSIDE OF CEILING.
B. FRONT WALLS (RETURN PANELS): SATIN STAINLESS STEEL, NO. 4 FINISH WITH INTEGRAL CAR DOOR FRAMES.
C. CAR FIXTURES: POLISHED STAINLESS STEEL, NO. 8 FINISH.
D. SIDE AND REAR WALL PANELS: TEXTURED STAINLESS STEEL.
E. REVEALS: SATIN STAINLESS STEEL, NO. 4 FINISH.
F. DOOR FACES (INTERIOR): TEXTURED STAINLESS STEEL.
G. DOOR SILLS: ALUMINUM, MILL FINISH.
H. CEILING: SATIN STAINLESS STEEL, NO. 4 FINISH.
I. HANDRAILS: 1/2" BY 2" RECTANGULAR SATIN STAINLESS STEEL, NO. 4, AT REAR OF CAR.
J. FLOOR PREPARED TO RECEIVE RUBBER FLOOR TILE.

HOISTWAY ENTRANCES:

A. HEIGHT: 84 INCHES.
B. TYPE: SINGLE-SPEED SIDE SLIDING.
C. FRAMES: SATIN STAINLESS STEEL, NO. 4 FINISH.
D. DOORS: SATIN STAINLESS STEEL, NO. 4 FINISH.
E. SILLS: ALUMINUM, MIL FINISH.

OPERATION SYSTEMS

A. GENERAL: PROVIDE MANUFACTURER'S STANDARD MICROPROCESSOR OPERATION SYSTEM AS REQUIRED TO PROVIDE TYPE OF OPERATION INDICATED.
B. AUXILIARY OPERATIONS: IN ADDITION TO PRIMARY OPERATION SYSTEM FEATURES, PROVIDE THE FOLLOWING OPERATIONAL FEATURES FOR ELEVATORS WHERE INDICATED:
1. SINGLE-CAR BATTERY-POWERED LOWERING: WHEN POWER FAILS, CAR IS LOWERED TO THE LOWEST FLOOR, OPENS ITS DOOR, AND SHUTS DOWN. SYSTEM INCLUDES RECHARGEABLE BATTERY AND AUTOMATIC RECHARGING SYSTEM.
2. AUTOMATIC DISPATCHING OF LOADED CAR: WHEN CARLOAD EXCEEDS 80 PERCENT OF RATED CAPACITY, DOORS START CLOSING.

HOISTWAY ENTRANCES

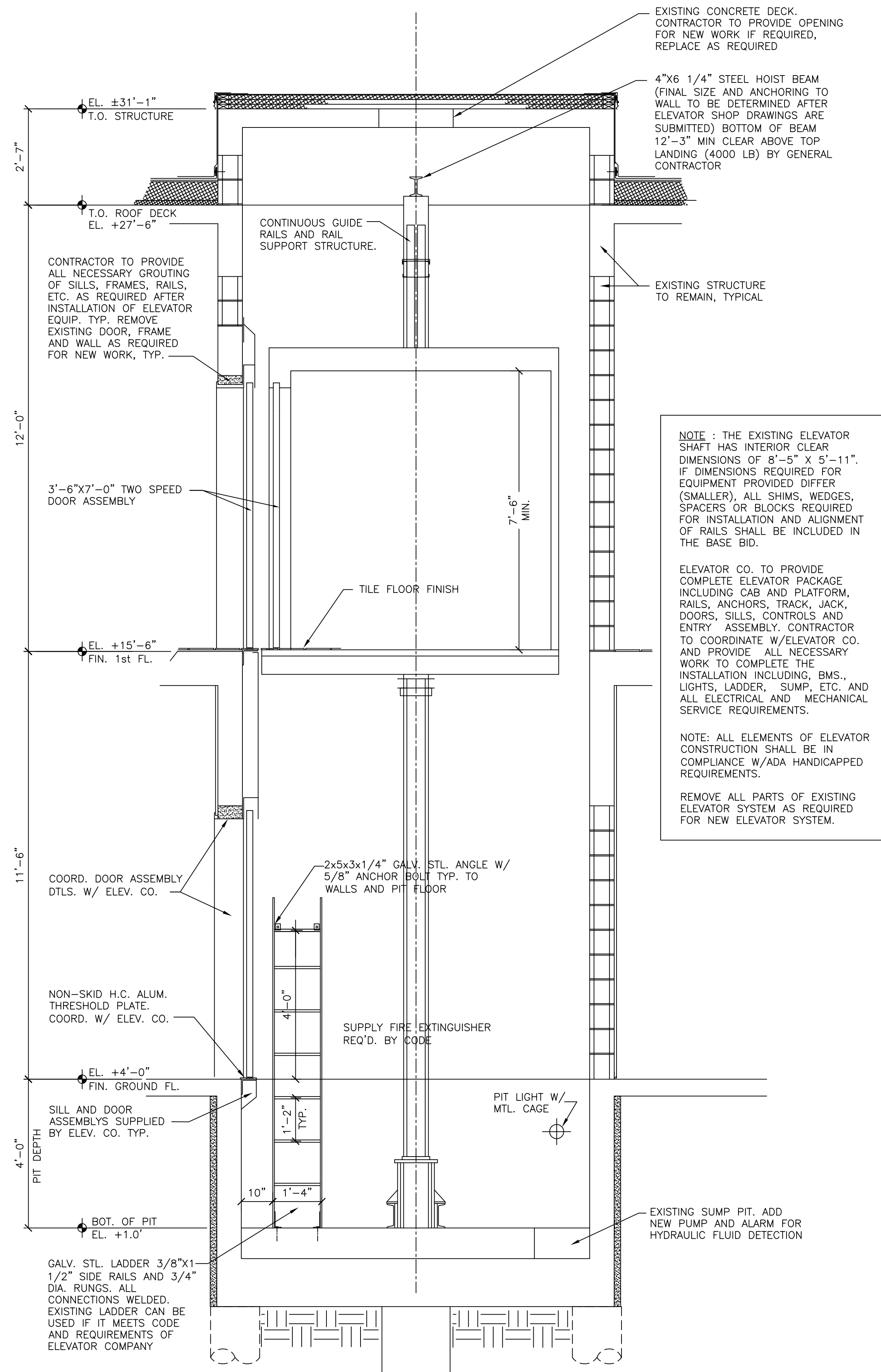
A. HOISTWAY ENTRANCE ASSEMBLIES: MANUFACTURER'S STANDARD HORIZONTAL-SLIDING, DOOR-AND-FRAME HOISTWAY ENTRANCES COMPLETE WITH TRACK SYSTEMS, HARDWARE, SILLS, AND ACCESSORIES. FRAME SIZE AND PROFILE SHALL ACCOMMODATE HOISTWAY WALL CONSTRUCTION.
1. WHERE GYPSUM BOARD WALL CONSTRUCTION IS INDICATED, FRAMES SHALL BE SELF-SUPPORTING WITH REINFORCED HEAD SECTIONS.
B. FIRE-RATED HOISTWAY ENTRANCE ASSEMBLIES: DOOR AND FRAME ASSEMBLIES SHALL COMPLY WITH NFPA 80 AND BE LISTED AND LABELED BY A TESTING AND INSPECTING AGENCY ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION BASED ON TESTING AT AS CLOSE-TO-NEUTRAL PRESSURE AS POSSIBLE ACCORDING TO NFPA 252 OR UL 10B.
1. FIRE-PROTECTION RATING: 1 1/2" HOURS.

MAINTENANCE

A. INITIAL MAINTENANCE SERVICE: BEGINNING AT SUBSTANTIAL COMPLETION, MAINTENANCE SERVICE SHALL INCLUDE 12 MONTHS' FULL MAINTENANCE BY SKILLED EMPLOYEES OF ELEVATOR INSTALLER. INCLUDE MONTHLY PREVENTIVE MAINTENANCE, REPAIR OR REPLACEMENT OF WORN OR DEFECTIVE COMPONENTS, LUBRICATION, CLEANING, AND ADJUSTING AS REQUIRED FOR PROPER ELEVATOR OPERATION. PARTS AND SUPPLIES SHALL BE MANUFACTURER'S AUTHORIZED REPLACEMENT PARTS AND SUPPLIES.
1. PERFORM MAINTENANCE DURING NORMAL WORKING HOURS.
2. PERFORM EMERGENCY CALLBACK SERVICE DURING NORMAL WORKING HOURS WITH RESPONSE TIME OF TWO HOURS OR LESS.

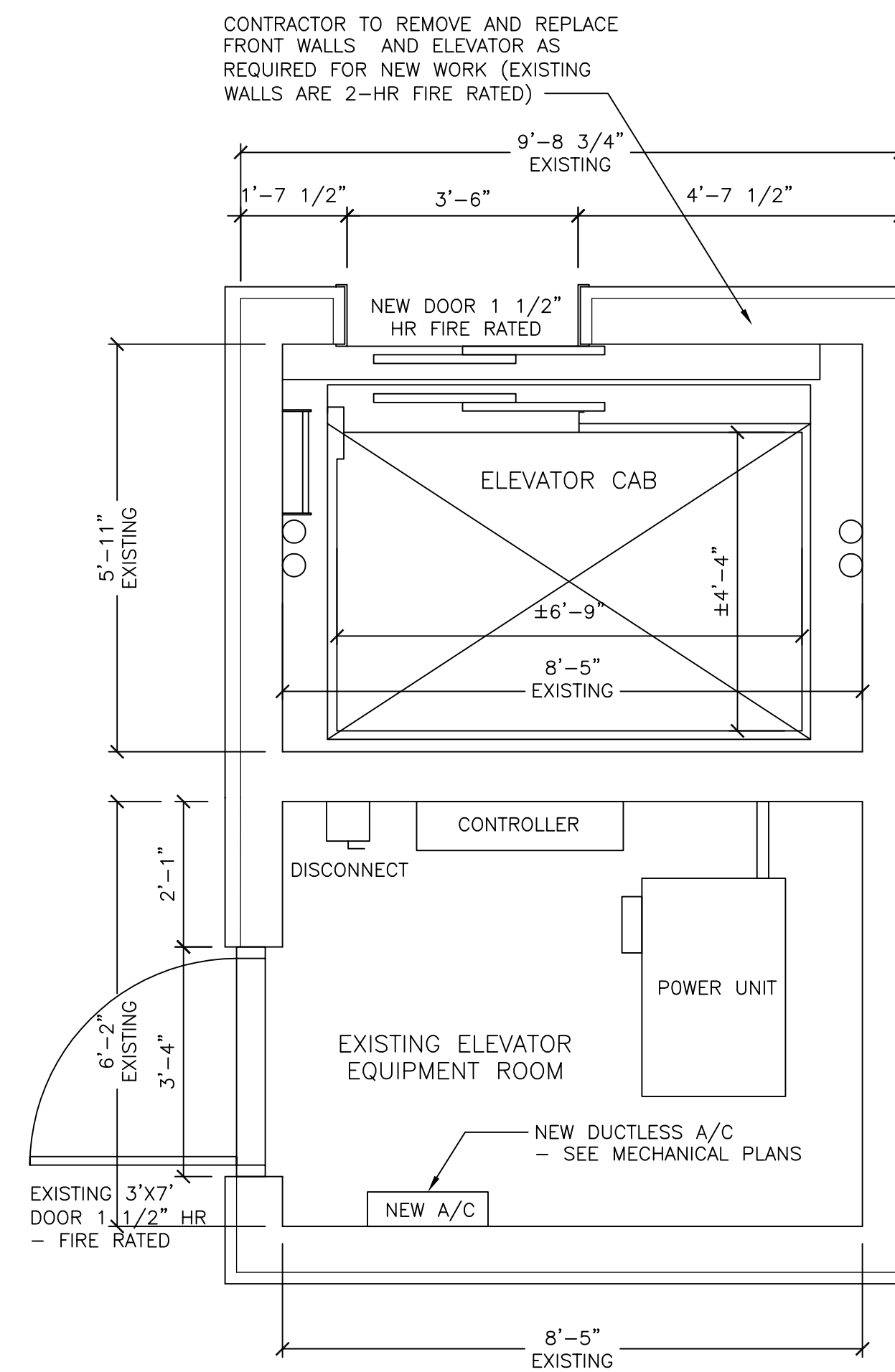
EXISTING ELEVATOR:

THE EXISTING ELEVATOR IS A THYSSEN KRUPP 2500 LB, SERIAL #EJ-9167 (CONSTRUCTED IN 1999).
CONTRACTOR TO VISIT SITE AND INSPECT EXISTING CONDITIONS AS NECESSARY FOR THE NEW WORK.



1 ELEVATOR SECTION

SCALE: 1/2"=1'-0"



2 ELEVATOR AND MACHINE ROOM PLAN

SCALE: 1/2"=1'-0"

SEAL

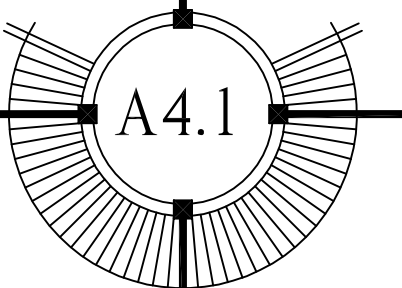
THESE DRAWINGS MAY NOT BE REPRODUCED WITHOUT WRITTEN AUTHORIZATION BY WILLIAM P. HORN

DATE
07-05-2024 BID

REVISIONS

DRAWN BY
JW
EMA

PROJECT NUMBER
2312



Evaluation Report “Englert® Series 1300” Metal Roof Assembly

Manufacturer:

Englert, Inc.

1200 Amboy Avenue
Perth Amboy, NJ 08862
(732) 826-8614

for

Florida Product Approval

FL 11727.2 R17

Florida Building Code 8th Edition (2023)

Method: 1 - D

Category: Roofing

Sub - Category: Metal Roofing

Product: “Series 1300” Roof Panel

Material: Aluminum

Panel Thickness: 0.032 “

Support: Wood Deck

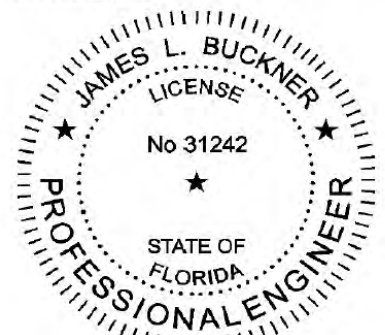
This item has been digitally signed and sealed by James L. Buckner, P.E., on this date below. Printed copies of this document are not considered signed and sealed, and the signature must be verified on any electronic copies.

Prepared by:

James L. Buckner, P.E., SECB
Florida Professional Engineer # 31242
Florida Evaluation ANE ID: 1916
Project Manager: Diana Galloway
Report No. 23-555-S1300-A3W-ER
(Revises 21-426-S1300-A3W-ER, FL11727.2 R14, R16)
Date: 08/16/2023

Contents:

Evaluation Report Pages 1 – 9



James L. Buckner, P.E.
FL31242

Date: 2023.08.21
'12:16:51 -04'00

CBUCK, Inc. dba CBUCK Engineering

Phone: (561) 491-9927 · Email: cbuck@cbuckinc.net · Website: www.cbuckinc.net
Business: 1374 Community Dr., Jupiter, FL 33458

Manufacturer:	Englert, Inc. 1200 Amboy Avenue Perth Amboy, NJ 08862 (732) 826-8614 http://www.englertinc.com/
Product Name:	“Series 1300”
Product Category:	Roofing
Product Sub-Category	Metal Roofing
Compliance Method:	State Product Approval Rule 61G20-3.005 (1) (d)
Product/System Description:	“Series 1300” Roof Panel 0.032” Aluminum Standing Seam roof panel mechanically attached to Wood Deck with panel clips & screws.
Product Assembly as Evaluated:	Refer to Page 4 of this report for product assembly components/materials & standards: <ol style="list-style-type: none">1. Roof Panel2. Panel Clip3. Fasteners4. Seam Adhesive5. Underlayment6. Insulation (Optional)
Support:	Type: Wood Deck (Design of support and its attachment to support framing is outside the scope of this evaluation.) Description: <ul style="list-style-type: none">• 15/32” or 19/32” or greater plywood, (Per Table A)• or Wood plank (min. specific gravity of 0.42)
Slope:	Minimum slope shall be: 1/2 : 12 or greater In compliance with FBC Chapter 15 based on the type of roof covering, applicable code sections and in accordance with manufacturer’s recommendations.
Performance:	Wind Uplift Resistance: <ul style="list-style-type: none">• Design Uplift Pressure: Refer to Table “A” (Refer to “Table A” details herein)

- Performance Standards:** The product described herein has demonstrated compliance with:
- UL580-06 – *Test for Uplift Resistance of Roof Assemblies*
 - UL 1897-15 – *Uplift test for roof covering systems*
 - TAS 125-03 – *Standard Requirements for Metal Roofing Systems*
- Standards Equivalency:** The UL 580-94 & UL 1897-98 standard version used to test the evaluated product assembly is equivalent with the prescribed standards in UL 580-06 & UL 1897-15 adopted by the Florida Building Code 8th Edition (2023).
- Code Compliance:** The product(s) described herein have demonstrated compliance with the performance standards listed above as referenced in the Florida Building Code 8th Edition (2023).
- Evaluation Report Scope:** This product evaluation is limited to compliance with the structural requirements of the Florida Building Code, as related to the scope section to Florida Product Approval Rule 61G20-3.001.
- Limitations and Conditions of Use:**
- Scope of “Limitations and Conditions of Use” for this evaluation:
This evaluation report for “Optional Statewide Approval” contains technical documentation, specifications and installation method(s) which include “Limitations and Conditions of Use” throughout the report in accordance with Rule 61G20-3.005. Per Rule 61G20-3.004, the Florida Building Commission is the authority to approve products under “Optional Statewide Approval”.
 - Option for application outside “Limitations and Conditions of Use”
Rule 61G20-3.005(1)(e) allows engineering analysis for “project specific approval by the local authorities having jurisdiction in accordance with the alternate methods and materials authorized in the Code”. Any modification of the product as evaluated in this report and approved by the Florida Building Commission is outside the scope of this evaluation and will be the responsibility of others.
 - This report is a building code product evaluation per FLPE rule (FAC) 61G15-36 to comply with Florida product approval rule (FAC) 61G20-3. This evaluation report is part of the Florida Building Commission approval for the listed code related criteria. This report by James Buckner, P.E. and CBUCK Engineering is not a design certification of code compliance construction submittal documentation, per FBC section 107, for any individual structure, site specific or permit design.
 - All metal components and fasteners shall be corrosion resistant in accordance with applicable sections of FBC, including but limited to Sections 1504.3.2, 1506.6 and 1507.4.4.
 - Design of support system is outside the scope of this report.
 - Fire Classification is outside the scope of Rule 61G20-3, and is therefore not included in this evaluation.
 - This evaluation report does not evaluate the use of this product for use in the High Velocity Hurricane Zone code section. (Dade & Broward Counties)
- Quality Assurance:** The manufacturer has demonstrated compliance of roof panel products in accordance with the Florida Building Code and Rule 61G20-3.0005 (3) for manufacturing under a quality assurance program audited by an approved quality assurance entity through Keystone Certifications, Inc. (FBC Organization ID# QUA 1824).

**Components/Materials
(by Manufacturer):**

Roof Panel:
Material: Englert Series 1300 Aluminum
Thickness: 0.032" (min.)
Panel Widths: 16" or 20"(max.) Coverage
Rib Height: 1-1/2"
Alloy Type: 3105-H14 (in compliance with ASTM B 209)
Corrosion Resistance: Per FBC Section 1507.4.3

Roof Panel Clips:

Panel Clip #1:
Product Name: Englert "Series 1300 Fixed Clip"
Englert Part #'s: 05084D (Galv. Steel) or 05084E (Stainless Steel)
Type: One-piece, fixed clip
Material: Galvanized Steel or Stainless Steel
Thickness: 24 gauge
Yield Strength: 40 ksi min.
Dimensions: 6-1/4"(long) x 1-5/8"(tall) x 1-1/2"(wide)
Corrosion Resistance: Per FBC Section 1506.7

Panel Clip #2:
Product Name: Englert "Series 1300 Floating Clip"
Englert Part #'s: 05815A
Type: Two-piece, floating clip
Material: Stainless Steel
Thickness: Clip Tab: .015" Stainless Steel
Clip Base: .030" Stainless Steel
Yield Strength: 40 ksi min.
Dimensions: 1-5/8" (tall) x 3/4" (long) x 3" (wide)
Corrosion Resistance: Per FBC Section 1506.7

Panel Clip #3:
Product Name: Englert "Series 1300 3" Fixed Clip"
Englert Part #'s: 05828J (Galv. Steel) or 05828K (Stainless Steel)
Type: One-piece, fixed clip
Material: Galvanized Steel or Stainless Steel
Thickness: 24 gauge
Yield Strength: 40 ksi min.
Dimensions: 3"(long) x 1-5/8"(tall) x 1-1/4"(wide)
Corrosion Resistance: Per FBC Section 1506.7

Fastener:

Type: Pancake-Head Wood Screw
Size : #10 x 1"
Corrosion Resistance: Per FBC Section 1506.6 and 1507.4.4
Standard: Per ANSI/ASME B18.6.1

Seam Adhesive/Sealant:

Product Name: Bostik Chem-Chaulk 70-05
Type: One component, polyurethane adhesive
Application Size: 1/8" – 1/4" bead
Application Location: along female flange the full length of panel
(Refer to drawing Page 8)

**Components& Materials: Underlayment:
(by Others)**

Material and application shall be in compliance with FBC Section 1507.1.1 and in accordance with applicable code sections and manufacturer's recommendations.

Insulation (Optional):

Type: Rigid Insulation Board
 Thickness: 3" (max.)
 Properties:
 Density: 2.25 pcf (lbs/ft³) min.
 Or Compressive Strength: 20 psi min.

Insulation Notes:

- Rigid Insulation shall meet minimum density OR compressive strength.
- Insulation shall comply with FBC Section 1508. When insulation is incorporated, fastener length shall conform to penetrate thru bottom of support a minimum of 3/16".

Installation:

Installation Method:

(Refer to "TABLE A" below, drawings at the end of this evaluation report.)

- Clip Spacing: **Refer to "TABLE A" Below**
(along the length of the panel)
- Rib Interlock: **Refer to "TABLE A" Below**
(Panel ribs shall be mechanically seamed per below.)
- Seam Adhesive: Refer to Table "A" & Drawing Page 8.
(Apply along male flange the full length of the panel.)
- Minimum fastener penetration thru bottom of support, 3/16".
- For panel construction at the end of panels, refer to manufacturer's instructions and any site specific design.

TABLE "A" ALLOWABLE LOADS								
"Series 1300" (0.032" Aluminum) Roof Panel attached to Wood Deck								
	Panel Width (max.)	Deck Thickness (min.)	Panel Clip	Clip Spacing (max.)	# of Fasteners per Clip	Seam Adhesive	Panel Seam (min.)	Design Pressure (ASD)
1	16"	15/32"	#1	24"	4	NO	90°	- 60 PSF
2	16"	15/32"	#3	6"	2	NO	90°	- 89.75 PSF
3	16"	15/32"	#3	6"	2	YES	90°	- 138.5 PSF
4	16"	15/32"	#1	8"	4	NO	180°	- 97.5 PSF
5	16"	19/32"	#1	8"	4	NO	180°	- 123.5 PSF
6	20"	15/32"	#3	12"	2	YES	90°	- 86.25 PSF
7	20"	15/32"	#3	8"	4	YES	90°	- 97.5 PSF
8	20"	15/32"	#2	16"	2	NO	180°	- 101.25 PSF
9	20"	15/32"	#2	8"	2	NO	180°	- 142.5 PSF
10	20"	15/32"	#2	8"	2	YES	180°	- 180 PSF

Note: Allowable design pressure(s) for allowable stress design (ASD).

Install the "Series 1300" roof panel assembly in compliance with the installation method listed in this report and applicable code sections of FBC 8th Edition (2023). The installation method described herein is in accordance with the scope of this evaluation report. Refer to manufacturer's installation instructions as a supplemental guide for attachment.

Referenced Data:

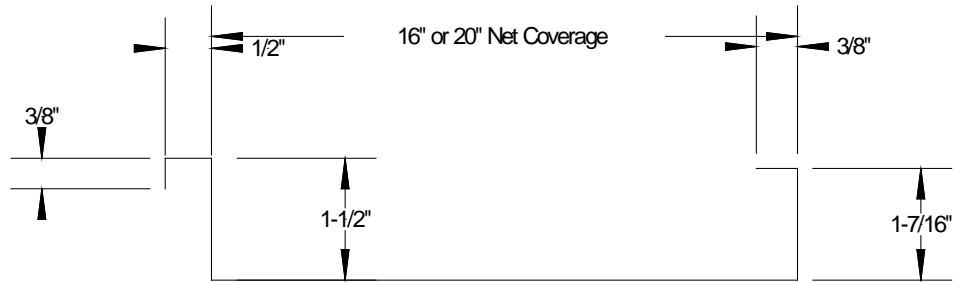
1. TAS 125 Uplift Test (#2-3)
By Intertek Testing
Report No. K2233.01-450-18, Specimens #1-3, Date: 08/03/20
2. TAS 125 Uplift Test
By Architectural Testing, Inc. (FBC Organization ID# TST 1558)
Report No. 01-46064.01, Specimen #1, Date: 12/3/03
3. TAS 125 Uplift Test
By Hurricane Test Laboratory, LLC. (FBC Organization ID# TST 1527)
Report No. 0155-0404-04, Specimen #2, Date: 5/21/04
4. TAS 125 Uplift Test (#8-10)
By Architectural Testing, Inc. (FBC Organization ID# TST 1558)
Report No. B8192.01-109-18-R1, Specimen #1-4, Date: 2/1/13
5. TAS 125 Uplift Test (#6-7)
By Intertek/Architectural Testing, Inc.
Report No. F1488.01.109-18-r2, Specimen #1-3, Date: 5/5/16
6. Quality Assurance
Keystone Certifications, Inc. (FBC Organization ID# QUA 1824)
Englert, Inc. Licensee #420
7. Engineering Analysis
By James L. Buckner, P.E. @ CBUGK Engineering
8. Equivalency of Test Standard Certification
By James L. Buckner, P.E. @ CBUGK Engineering
9. Certification of Independence
By James L. Buckner, P.E. @ CBUGK Engineering

Installation Method

Englert, Inc.

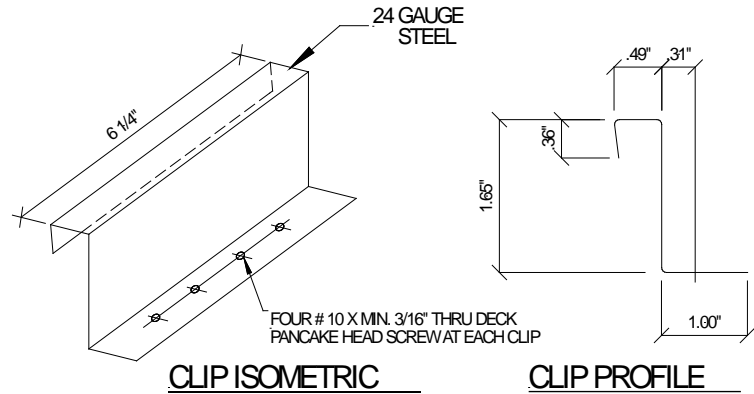
“Series 1300” (0.032” Aluminum) Roof Panel attached to Wood Deck

Drawings

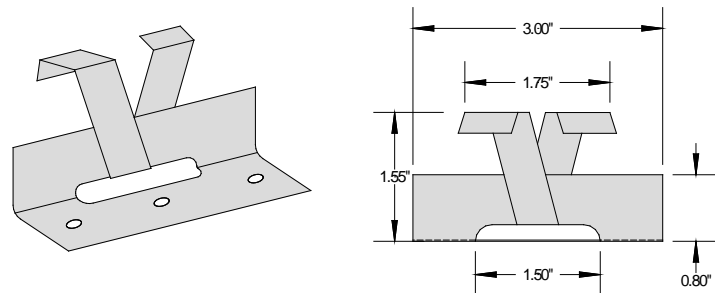


Panel Profile

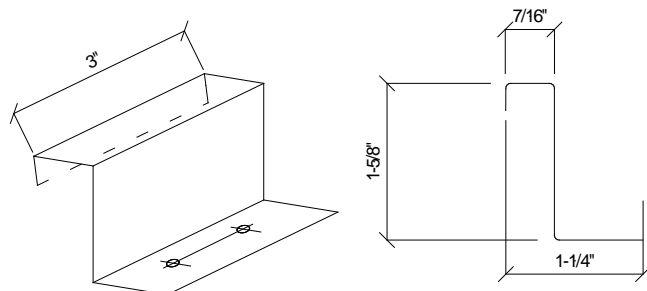
Panel Clip #1
 Englert “Series 1300”
 Fixed Clip”
 (Part #05084D – Galvanized) or
 (Part #05084E – Stainless Steel)



Panel Clip #2
 Englert “Series 1300”
 Floating Clip”
 (Part #05815A - Stainless Steel)



Panel Clip #3
 Englert “Series 1300”
 3” Fixed Clip”
 (Part #05828J – Galvanized) or
 (Part #05828K – Stainless Steel)

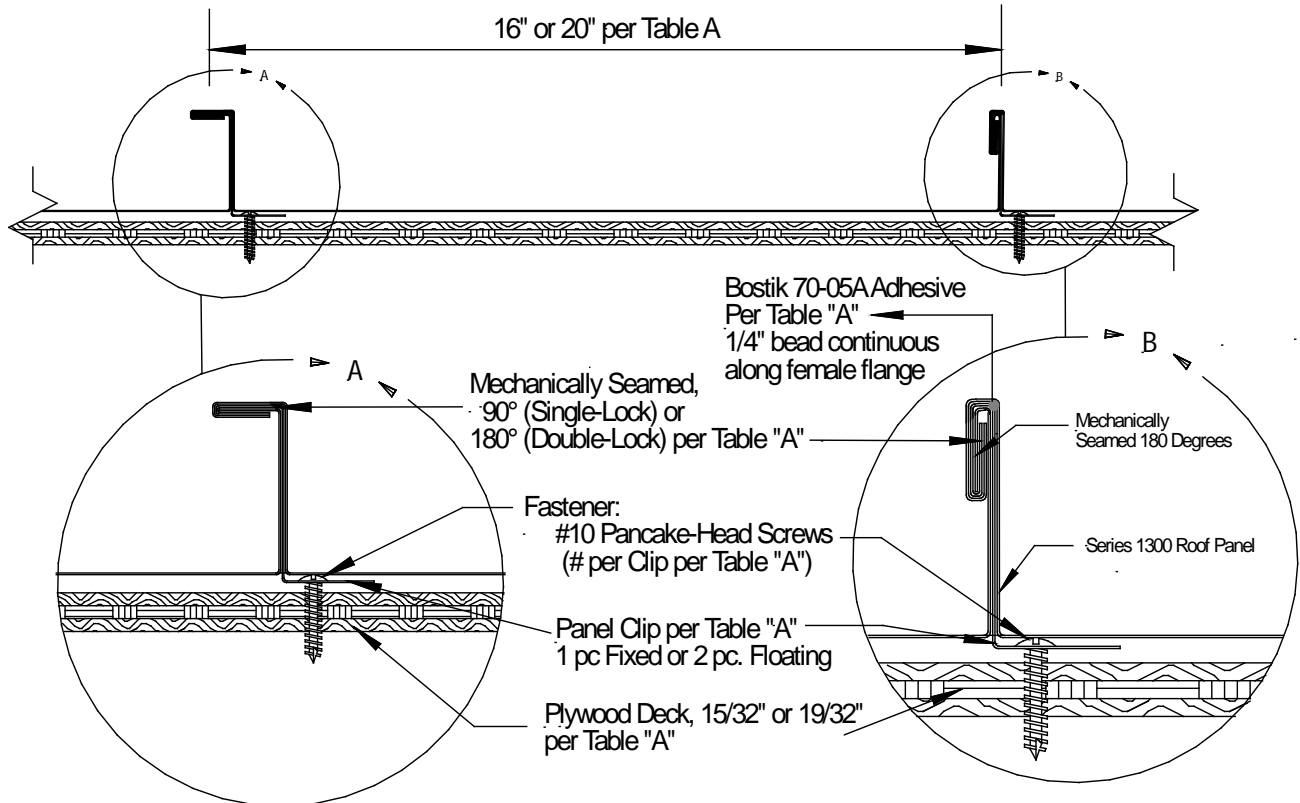


Series 1300 Panel Clips

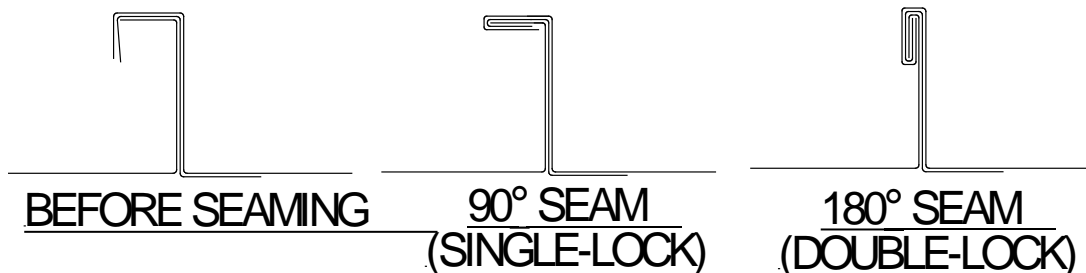
Installation Method

Englert, Inc.

"Series 1300" (0.032" Aluminum) Roof Panel attached to Wood Deck

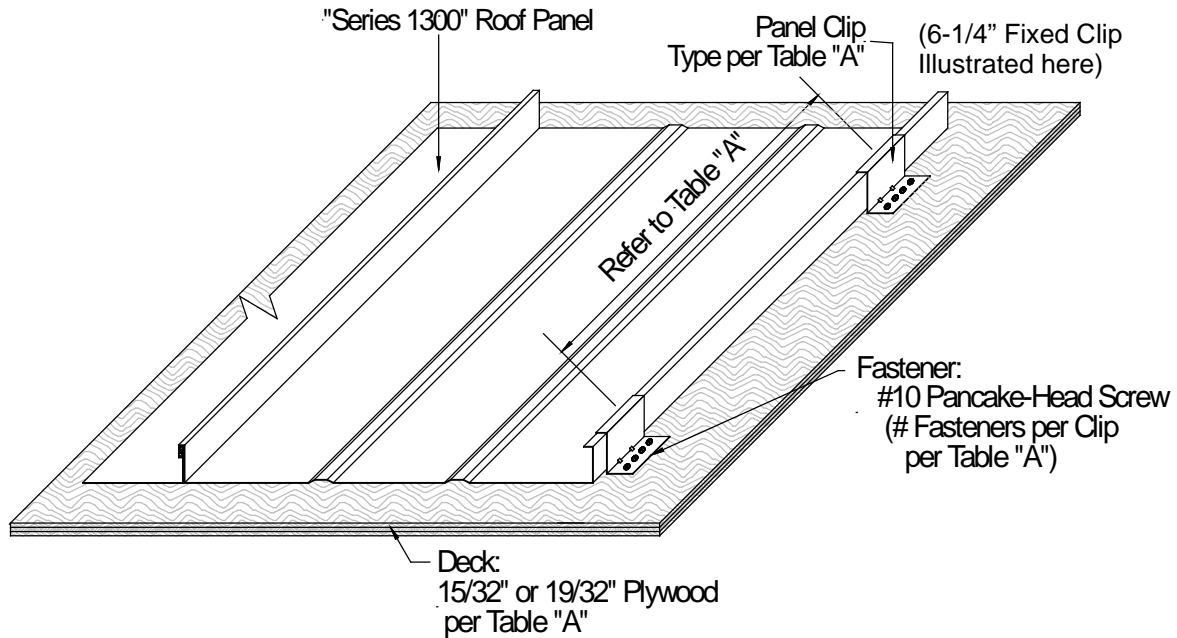


**Typical Assembly Profile View
 (Typical Fastening Pattern Across Width)**



Typical Panel Seams

Installation Method Englert, Inc. "Series 1300" (0.032" Aluminum) Roof Panel attached to Wood Deck



Typical Roof Assembly Isometric View

(Optional) Rigid Insulation Board per Page 4 of this report

TABLE "A" ALLOWABLE LOADS								
"Series 1300" (0.032" Aluminum) Roof Panel attached to Wood Deck								
	Panel Width (max.)	Deck Thickness (min.)	Panel Clip	Clip Spacing (max.)	# of Fasteners per Clip	Seam Adhesive	Panel Seam (min.)	Design Pressure (ASD)
1	16"	15/32"	#1	24"	4	NO	90°	- 60 PSF
2	16"	15/32"	#3	6"	2	NO	90°	- 89.75 PSF
3	16"	15/32"	#3	6"	2	YES	90°	- 138.5 PSF
4	16"	15/32"	#1	8"	4	NO	180°	- 97.5 PSF
5	16"	19/32"	#1	8"	4	NO	180°	- 123.5 PSF
6	20"	15/32"	#3	12"	2	YES	90°	- 86.25 PSF
7	20"	15/32"	#3	8"	2	YES	90°	- 97.5 PSF
8	20"	15/32"	#2	16"	2	NO	180°	- 101.25 PSF
9	20"	15/32"	#2	8"	2	NO	180°	- 142.5 PSF
10	20"	15/32"	#2	8"	2	YES	180°	-180 PSF

NOTICING

Public Meeting Notice

The Historic Architectural Review Commission will hold a public meeting at **5:00 p.m. August 27, 2024, at City Hall, 1300 White Street**, Key West, Florida. The purpose of the hearing will be to consider a request for:

RENOVATIONS TO NON-HISTORIC BUILDING INCLUDING REPLACEMENT OF 5 V-CRIMP ROOFING SYSTEM WITH STANDING SEAM.

#100 GRINNELL STREET

Applicant – William P. Horn/City of Key West Application #H2024-0033

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 1300 White Street, call 305-809-3973 or visit our website at www.cityofkeywest-fl.gov.

THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION

ADA ASSISTANCE: It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 800-955-8771 or 800-955-8770 (Voice) or the ADA Coordinator at 305-809-3811 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.

HARC POSTING AFFIDAVIT



STATE OF FLORIDA:
COUNTY OF MONROE:

BEFORE ME, the undersigned authority, personally appeared William Horn, who, first being duly sworn, on oath, depose and says that the following statements are true and correct to the best of his/her knowledge and belief:

1. That a legal notice for Public Notice of Hearing of the Historic Architectural Review Commission (HARC) was placed on the following address: 100 GANNETT STREET, KEY WEST on the 16th day of AUGUST, 2024.

This legal notice(s) contained an area of at least 8.5"x11".

The property was posted to notice a public hearing before the Key West Historic Architectural Review Commission to be held on AUGUST 27, 2024.

The legal notice(s) is/are clearly visible from the public street adjacent to the property.

The Certificate of Appropriateness number for this legal notice is H2024-0033.

2. A photograph of that legal notice posted in the property is attached hereto.

Signed Name of Affiant: [Signature]

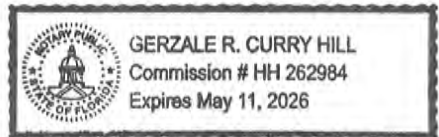
Date: 8-19-2024
Address: 915 EMON ST.
City: KEY WEST
State, Zip: FL 33090

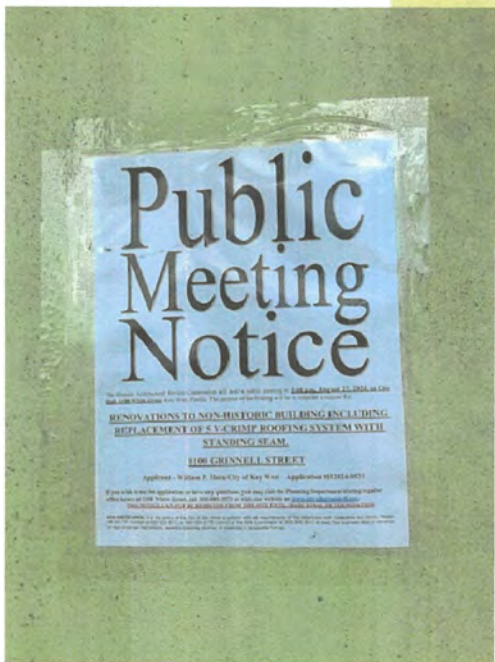
The forgoing instrument was acknowledged before me on this 19 day of August, 2024.

By (Print name of Affiant) William Horn who is personally known to me or has produced _____ as identification and who did take an oath.

NOTARY PUBLIC

Sign Name: [Signature]
Print Name: Gerzale R. Curry Hill
Notary Public - State of Florida (seal)
My Commission Expires: _____



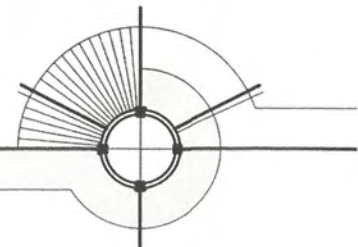


100 GRINNELL STREET
SIDE VIEW

WILLIAM P. HORN ARCHITECT, PA.

915 EATON ST., KEY WEST, FL. 33040 TEL. 305-296-8302

WWW.WPHORNARCHITECT.COM



PROPERTY APPRAISER INFORMATION

Monroe County, FL

** PROPERTY RECORD CARD **

Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID 00072082-004000
 Account# 8817606
 Property ID 8817606
 Millage Group 12KW
 Location 201 GRINNELL St, KEY WEST
 Address
 Legal Description KW LYING N'LY OF SQR 20 (KEY WEST FERRY TERMINAL BUILDING) (FORMERLY RE #'S 173 & 267) G42-467/468 OR241-506 OR241-579/82 OR427-17/18 OR572-126E OR655-395/403 OR656-645/646 OR1424-992/99
 (Note: Not to be used on legal documents.)
 Neighborhood 32120
 Property Class MUNICIPAL (8900)
 Subdivision
 Sec/Twp/Rng 31/67/25
 Affordable No
 Housing



Owner

[CITY OF KEY WEST](#)
 PO Box 1409
 Key West FL 33041

Valuation

	2023 Certified Values	2022 Certified Values	2021 Certified Values	2020 Certified Values
+ Market Improvement Value	\$1,988,088	\$1,988,088	\$1,988,088	\$1,988,088
+ Market Misc Value	\$273,415	\$273,415	\$273,415	\$273,415
+ Market Land Value	\$1,004,276	\$1,004,276	\$1,004,276	\$1,004,276
= Just Market Value	\$3,265,779	\$3,265,779	\$3,265,779	\$3,265,779
= Total Assessed Value	\$3,265,779	\$3,265,779	\$3,265,779	\$3,265,779
- School Exempt Value	(\$3,167,806)	(\$3,167,806)	(\$3,167,806)	(\$3,167,806)
= School Taxable Value	\$97,973	\$97,973	\$97,973	\$97,973

Historical Assessments

Year	Land Value	Building Value	Yard Item Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value	Maximum Portability
2022	\$1,004,276	\$1,988,088	\$273,415	\$3,265,779	\$3,265,779	\$3,167,806	\$97,973	\$0
2021	\$1,004,276	\$1,988,088	\$273,415	\$3,265,779	\$3,265,779	\$3,167,806	\$97,973	\$0
2020	\$1,004,276	\$1,988,088	\$273,415	\$3,265,779	\$3,265,779	\$3,167,806	\$97,973	\$0
2019	\$1,004,276	\$1,988,088	\$273,415	\$3,265,779	\$3,265,779	\$3,167,806	\$97,973	\$0
2018	\$1,004,276	\$1,988,088	\$273,415	\$3,265,779	\$3,265,779	\$3,167,806	\$97,973	\$0

The Maximum Portability is an estimate only and should not be relied upon as the actual portability amount. Contact our office to verify the actual portability amount.

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
COMM WATERFRONT ACRE (10WA)	12,853.00	Square Foot	0	0

Buildings

Building ID	44295	Exterior Walls	C.B.S.
Style		Year Built	2003
Building Type	MARINA/AUTO/BUS TERM / 27A	EffectiveYearBuilt	2003
Building Name		Foundation	
Gross Sq Ft	31789	Roof Type	
Finished Sq Ft	9269	Roof Coverage	
Stories	1 Floor	Flooring Type	
Condition	EXCELLENT	Heating Type	
Perimeter	387	Bedrooms	0
Functional Obs	0	Full Bathrooms	0
Economic Obs	0	Half Bathrooms	0
Depreciation %	26	Grade	500
Interior Walls		Number of Fire Pl	0

Code	Description	Sketch Area	Finished Area	Perimeter
ECF	ELEVATED CON F	9,225	0	0
OPX	EXC OPEN PORCH	12,853	0	0
FLA	FLOOR LIV AREA	9,269	9,269	0
SBF	UTIL FIN BLK	442	0	0
TOTAL		31,789	9,269	0

Yard Items

Description	Year Built	Roll Year	Size	Quantity	Units	Grade
CH LINK FENCE	1964	1965	6 x 250	1	1500 SF	1
SEAWALL	1966	1967	7 x 211	1	1477 SF	4
CH LINK FENCE	1966	1967	6 x 157	1	942 SF	2
UTILITY BLDG	1969	1970	16 x 59	1	944 SF	3
WALL AIR COND	1985	1986	0 x 0	1	1 UT	1
WALL AIR COND	1988	1989	0 x 0	1	1 UT	2
CONCRETE DOCK	2003	2004	20 x 180	1	3600 SF	4
WOOD DOCKS	2006	2007	0 x 0	1	3084 SF	5

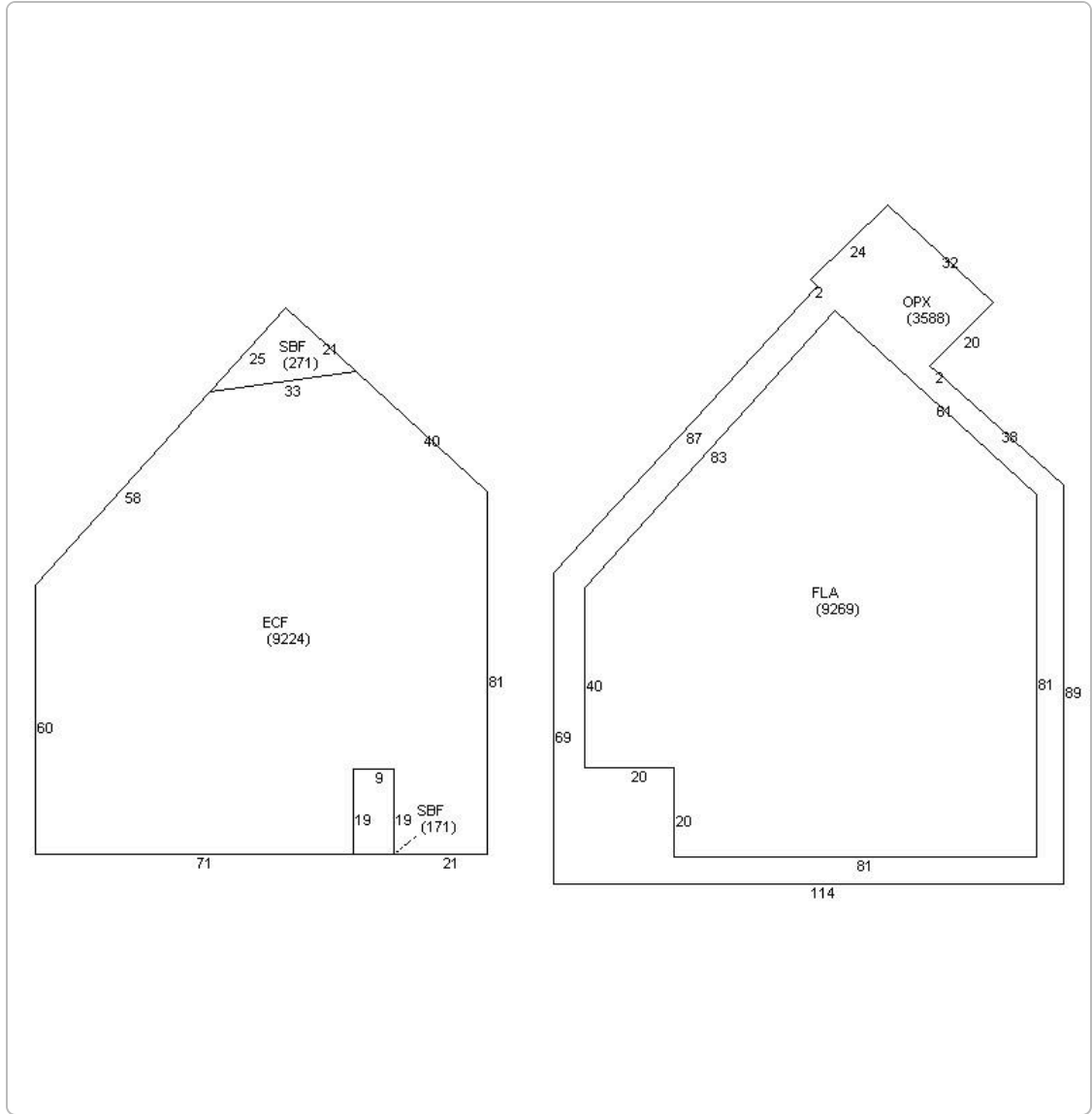
Permits

Number	Date Issued	Date Completed	Amount	Permit Type	Notes
2023-3190	11/27/2023	12/18/2023	\$22,000	Commercial	change out existing 10 ton package unit same location, same location same curb
BLD2020-3495	1/20/2021	6/30/2021	\$547,440	Commercial	NEW FLOATING DOCK
BLD2019-1603	5/16/2019		\$12,500	Commercial	EMERGENCY - Remove 4 feet of pea rock. REVISION #1 - Remove & replace additional 4" riser, backfill to subgrade, install new overspill manhole with cap & riser.
BLD2019-1236	4/22/2019		\$10,000	Commercial	INSTALLATION OF 2 NEW PUMP MEASURE CONTROL MARINA DISPENSERS. (SEE PERMIT#2018-3593).
14-3220	7/7/2014	8/26/2014	\$22,957	Commercial	INSTALL TWO (2) IBL 180 BOAT LIFTS. H12-01-696-4/25/12. NOC exempt-City property
14-1968	5/16/2014		\$0		AFTER THE FACT: REMOVE BLACK IRON FENCE AFTER TERMINAL PARKING LOT.
09-0391	2/12/2009		\$100	Commercial	UPDATE EXISTING PERMIT FOR FINIAL INSPECTION
06-2119	5/8/2006		\$817,000	Commercial	NEW EMBARKMENT & DESEMBARKMENT RAMP
05-5012	11/16/2005		\$50,000	Commercial	INSTTALL 10 FIXED BOLLARDS FOR HOME LAND SECURITY
04-2166	6/29/2004		\$6,200	Commercial	REPLACE 10-TON A/C ON ROO
03-3431	9/26/2003		\$50,000	Commercial	PICKET FENCE 783 X 6
03-2393	7/8/2003		\$7,600	Commercial	AUDIO ELECTRICAL
02-3149	11/19/2002		\$300	Commercial	TEMPELECTRICAL SYSTEM
02-2737	10/9/2002		\$90,000	Commercial	4 CENT A/C UNITS
01-3811	12/3/2001		\$135,000	Commercial	ELECTRICAL
9+9/009	8/20/2001		\$98,000		FUEL SYSTEM
00-1449	7/14/2000		\$1,600	Commercial	ELEC HOSE REELS FOR FUEL
98/3272	9/14/1999		\$1		ROOFING
98/3272	8/16/1999		\$1		SEWER CONNECTION
99-2432	8/5/1999		\$250,000	Commercial	COVERED WOOD RAMP
98/3272	3/1/1999		\$1		MECHANICAL PERMIT
99-0094	2/16/1999		\$98,000	Commercial	FUEL SYSTEM
98/3272	1/28/1999		\$1		FIRE SPRINKLERS
98/3272	12/28/1998		\$1		ELECTRIC PERMIT
98-3272	12/11/1998		\$981,220	Commercial	NEW FERRY TERMINAL
98-2548	8/26/1998		\$75,000	Commercial	180 X 20 CONCRETE PIER
98-2594	8/26/1998		\$300,000	Commercial	RIGHT OF WAY PAVING & DRAINAGE
98-1187	5/19/1998		\$32,000	Commercial	UNDERGROUND UTILITYS
98-0494	4/13/1998		\$39,000	Commercial	TERMINAL FOUNDATION
98/0494	4/6/1998	11/27/2017	\$1	Commercial	DEMO 3 STRUCTURES
98/0536	2/19/1998	4/16/2018	\$1,800	Commercial	TEMP.FENCE

View Tax Info

[View Taxes for this Parcel](#)

Sketches (click to enlarge)



Photos



Map



TRIM Notice

[2023 TRIM Notice \(PDF\)](#)

No data available for the following modules: Sales.

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 Last Data Upload: 8/7/2024, 7:09:38 AM

Contact Us

