

**The City of Key West
Planning Board
Staff Report**



To: Chair and Planning Board members

From: Melissa Paul-Leto, Planner Analyst

Through: Thaddeus Cohen, Planning Director

Meeting Date: November 19, 2015

Agenda Item: **Minor Development Plan – 3500-3600 North Roosevelt Boulevard (RE # 00064960-000000; AK # 1065480)** – A request for minor development plan for a reconfiguration and reconstruction of the Niles Sales and Service, Inc. located within the General Commercial (CG) zoning district pursuant to Section 108-91.B.1 (b) of the Land Development Regulations of the Code of Ordinances of the City of Key West, Florida.

Request: Minor development plan approval for reconfiguration and reconstruction of less than 5,000 square feet of gross floor area, reduction of outside car sales area and replacement of vehicular service areas with new vehicular sales showroom.

Applicant: Trepanier & Associates, Inc.

Property Owner: Niles Sales and Service

Location: 3500-3600 North Roosevelt Boulevard (RE # 00064960-000000; AK # 1065480)

Zoning: General Commercial (CG)



Background / Proposed Development:

The proposed project is to renovate a small portion of the existing Niles Sales and Service site in order to incorporate a new showroom on the property. The existing 2,717 square feet of existing vehicular service areas will be reconstructed into a new 4,531 square foot showroom, for a net increase of approximately 1,814 square feet of gross floor area. Approximately 5,000 square feet of exterior car sales area to the East of the renovated area is being reconfigured with new site improvements including showroom ramps.

A Variance was granted in 2007, (Resolution 07-411) for landscaping, maximum building coverage and maximum impervious ratios.

In order to allow the proposed development, the following development approval would be required:

- Minor Development Plan review is required due to the addition of 500 to 2,499 square feet of nonresidential floor area within the historic district, pursuant to Section 108-91.B.1.(b) of the Land Development Regulations (LDRs) of the Code of Ordinances (the “Code”) of the City of Key West (the “City”);

Surrounding Zoning and Uses:

Surrounding properties are located within the RO and SF Zoning Districts. Surrounding uses include a mix of professional offices and residential uses. Zoning districts within 300 feet of the property are Residential/ Office District (RO) and Single Family District (SF).

Process:

Development Review Committee (DRC):	April 23, 2015
Tree Commission:	Approved
Planning Board:	November 19, 2015
HARC:	Pending
City Commission:	Pending
DEO review	Up to 45 days, following local appeal period

Evaluation for Compliance with the Land Development Regulations (LDRs) and Comprehensive Plan

City Code Section 108-91.B.1.(b) requires the addition of 500 to 2,499 square feet of nonresidential floor area not within the historic district to be reviewed as a Minor Development Plan. City Code Section 108-196(a) states after reviewing a Major Development Plan or a Minor Development Plan for a property and staff recommendations therefor, the Planning Board shall act by resolution to approve, approve with conditions, or disapprove it based on specific development review criteria contained in the LDRs and the intent of the LDRs and Comprehensive Plan. The Planning Board resolution shall provide written comments documenting any conditions of approval that the Planning Board finds necessary to effectuate the purpose of Development Plan review and carry out the spirit and purpose of the Comprehensive Plan and the LDRs. If the Development Plan is recommended for disapproval, the Planning Board resolution shall specify in writing the reasons for recommending such denial.

Planning staff, as required by Chapter 108 of the City LDRs, has reviewed the following for compliance with the City's LDRs and Comprehensive Plan as summarized in the following table.

Project Data Summary				
Dimensional Requirement	Required/ Allowed	Existing	Proposed	Change / Variance Required?
Zoning District	CG			
Flood Zone	AE-9/10 Zone			
Site size	113,447 SF; 2.60 acres			
Maximum floor area ratio	.80	.24 (27,663.4 SF)	.26 (29,477.4 SF)	In compliance
Maximum height	40 feet	28 feet 8 inches	24 feet 10 inches	In compliance
Maximum building coverage	40% (45,378.9 SF)	24.4% (27,663.4 SF)	26% (29,477 SF)	In compliance
Maximum impervious surface	60% (68,068 SF)	90% (102,097 SF)	No change	No change/ In compliance
Minimum lot size	15,000 SF	113,447 SF	113,447 SF	In compliance
Minimum front setback	25 feet	48.11 feet	No change	In compliance
Minimum side setback	15 feet	71.10 feet	No change	In compliance
Minimum rear setback	20 feet	7.9 feet	No change	In compliance
Minimum street side setback	20 feet	64.8 feet	No change	In compliance
Open Space	20%min. (22,689.5 SF)	10% (11,350 SF)	No change	In compliance
Landscape Area	20% min. (22,689.5 SF)	10% (11,350 SF)	No change	In compliance
Parking	42	42	No change	In compliance

Concurrency Facilities and Other Utilities or Services (City Code Section 108-233)

Comprehensive Plan Objective 9-1.5 directs the City to ensure that public facilities and services needed to support development are available concurrent with the impacts of new development. The analysis considers potable water, sanitary sewer, solid waste, drainage, vehicle trip generation and recreation. City Code Section 94-36 requires a concurrency review determination to be made concerning the proposed development. The Applicant provided a concurrency analysis as part

of the Minor Development Plan application. Staff reviewed the provided concurrency analysis following the criteria in City Code Section 94-36 and determines that public facilities are expected to accommodate the proposed development at the adopted level of service (LOS) standards. This portion of the report shall serve as the required written determination of compliance.

1. Potable water supply

The potable water LOS standard for nonresidential uses is 650 gallons per acre per day, pursuant to City Code Section 94-68. The potable water LOS standard for residential uses is 93 gallons per capita per day, pursuant to City Code Section 94-68. The land area would remain the same and the floor area would increase for both residential and nonresidential floor area. Utilizing this LOS standard, potable water demand is estimated as follows:

Nonresidential

Based on total acres of land area: $650 \text{ gal/acre/day} \times 0.635 \text{ acres} = 63.5 \text{ gal/day}$

Based on total acres of floor area: $650 \text{ gal/acre/day} \times 0.676 \text{ acres} = 67.6 \text{ gal/day}$

The adopted potable water LOS standard is anticipated to be adequate to serve the proposed development. The property is currently serviced with potable water by the Florida Keys Aqueduct Authority (FKAA), which has been notified of the upcoming development and has available capacity to service the proposed development with the existing infrastructure currently in place.

2. Wastewater management

The sanitary sewer LOS standard for nonresidential uses is 660 gallons per acre per day, pursuant to City Code Section 94-67. The sanitary sewer LOS standard for residential uses is 100 gallons per capita per day, pursuant to City Code Section 94-67. The land area would remain the same and the floor area would increase. Utilizing this LOS standard, sanitary sewer capacity demand is estimated as follows:

Nonresidential

Based on total acres of land area: $660 \text{ gal/acre/day} \times 0.635 \text{ acres} = 419.1 \text{ gal/day}$

Based on total acres of floor area: $660 \text{ gal/acre/day} \times 0.676 \text{ acres} = 446.16 \text{ gal/day}$

The adopted sanitary sewer capacity LOS standard is anticipated to be adequate to serve the proposed development.

3. Water quality

The property is served by the City's central sewer system. The property is not adjacent to any bodies of water. Therefore, no adverse impacts to water quality are anticipated.

4. Stormwater management / drainage

The stormwater management or drainage LOS standard pursuant to City Code Section 94-69 is: i) post-development runoff shall not exceed predevelopment runoff for a 25-year storm event, up to and including an event with a 24-hour duration; ii) onsite treatment of the first one inch of rainfall must be provided to meet water quality standards; and iii) storm water facilities must be designed so as to not degrade any receiving water body.

Stormwater and drainage calculations were submitted to the Utilities Department and have been found to be in compliance.

5. Solid waste

The solid waste LOS standard for residential is 2.66 pounds per capita per day, and nonresidential uses is 6.37 pounds per capita per day, pursuant to City Code Section 94-71. Information on the anticipated number of employees for nonresidential was not provided.

Non-Residential

Based per capita: 6.37 lbs./capita/day x 54 persons = lbs. /day – 343.98 gal/day

According to the City's General Services Division, the contract with Waste Management (WM) accounts for a 20 year "window" for waste processing at the Wheelabrator Waste-to-Energy site. There are other facilities in South Florida also owned by WM for continued use into the future. Therefore, the adopted solid waste LOS standard is anticipated to be adequate to serve the proposed development.

6. Roadways

The roadway LOS standard is set forth in City Code Section 94-72. North Roosevelt Boulevard is classified as US-1. According to the Policy 2-1.1.1 in the Comprehensive Plan, North Roosevelt Boulevard has an existing LOS of C.

7. Recreation

The recreation LOS standard is five acres of recreation and open space per 1,000 permanent residents pursuant to City Code Section 94-70. According to the 2013 Comprehensive Plan Data and Analysis, the City is currently providing ample recreation and open space. The proposed development would have no impact on the adopted recreation LOS standard.

8. Fire protection

A Life Safety Plan has been provided to the Fire Department and has been found to be in compliance.

9. Reclaimed water system

None

10. Other public facilities

Based on comments received from the DRC members, and based on the Applicant's Concurrency Analysis, all public facilities would be expected to accommodate the proposed development at the adopted LOS standards.

Appearance, design and compatibility (City Code Section 108-234)

The development plan shall satisfy criteria established in:

City Code Chapter 102 (historic preservation)

The property is not located within the Key West Historic District and the proposed development would not need to obtain a Certificate of Appropriateness from the Historic Architectural Review Commission (HARC) for the proposed development prior to issuance of building permits.

Articles III (site plan), IV (traffic impacts) and V (open space, screening and buffers) of City Code Chapter 108 (planning and development)

The proposed site plan is analyzed in greater detail below. Traffic impacts were found to be in compliance in the concurrency determination above.

City Code Section 108-956 (potable water and wastewater)

Potable water and wastewater were found to be in compliance in the concurrency determination above.

Article II (archaeological resources) of City Code Chapter 110 (resource protection)

There are no known archaeological resources on the property. If any archeological resources are discovered during construction, the Applicant would be required to comply with this article of the LDRs.

Site location and character of use (City Code Section 108-235)

(a) *Compliance*. The submitted Development Plan has been reviewed for compliance with all applicable performance criteria set forth in Code Chapter 94 (concurrency management), Code Chapter 102 (historic preservation), Code Chapter 106 (performance standards), Articles I and III through IX of Code Chapter 108 (planning and development), Code Chapter 110 (resource protection) and Code Chapter 114 (signs).

(b) *Vicinity map*. The property is located on North Roosevelt Boulevard. A location map is indicated on the survey and the cover sheet of the plans.

(c) *Land use compatibility*. Properties within 100 feet are located within the CG Zoning District. Adjacent land uses within 300 feet include commercial and residential uses. No unincorporated parts of the county are located nearby, nor would any be impacted by the proposed development.

(d) *Historic and archeological resource protection*. The project's impact on archaeological and historic resources is being coordinated through the DRC.

(e) *Subdivision of land*. No subdivision of land is proposed.

Appearance of site and structures (City Code Section 108-236)

The Applicant submitted a development plan that generally exhibits harmonious overall design characteristics in compliance with the performance standards stipulated in Code Sections 108-278 through 108-288, as analyzed and reflected in the staff recommendation below.

Site plan (City Code Section 108-237)

The Applicant submitted a site plan pursuant to City Code Section 108-237, which is analyzed in greater detail below.

Architectural drawings (City Code Section 108-238)

The Applicant submitted architectural drawings prepared by a professional architect registered in Florida pursuant to City Code Section 108-238.

Site amenities (City Code Section 108-239)

Proposed site amenities include above ground cisterns to be used for site irrigation as well as improved landscaping.

Site survey (City Code Section 108-240)

The Applicant submitted a site survey pursuant to City Code Section 108-240.

Soil survey (City Code Section 108-241)

Not applicable.

Environmentally sensitive areas (City Code Section 108-242)

No environmentally sensitive areas are located on or near the property, which is located within the AE-9/10 flood zone.

Land clearing, excavation and fill, tree protection, landscaping and irrigation plan (City Code Section 108-243)

- (a) *Land clearing, excavation and fill.* The City’s Urban Forestry Manager and the Tree Commission are reviewing the proposed tree removal. Otherwise, no land clearing, excavation or fill is proposed.
- (b) *Tree protection.* The City’s Urban Forestry Manager and the Tree Commission are reviewing the proposed tree removal and landscape plans. All remaining trees must be protected.
- (c) *Landscaping plan.* A landscape plan has been provided to the city’s Urban Forestry manager. The landscape plan has been reviewed by the Urban Forestry manager and found in compliance with the applicable landscape codes.
- (d) *Irrigation plan.* Site irrigation will be achieved through use of a cistern

On-site and off-site parking and vehicular, bicycle, and pedestrian circulation (City Code Section 108-244)

There is an increase in 4 bicycle parking spaces in the rear of the building.

Housing (City Code Section 108-245)

There is no housing proposed for this development.

Economic resources (City Code Section 108-246)

An analysis of estimated average ad valorem tax yield from the proposed project was not submitted by the applicant. However, it is expected the tax yield would be greater than that from the proposed development of the property. No construction expenditure was given by the applicant.

Special considerations (City Code Section 108-247)

- (a) The relationship of the proposed development to the City's land use plans, objectives and policies is being evaluated as part of this analysis. The relationship of the proposed development to public facilities was evaluated above and no conflicts were identified.
- (b) The project is not located within the historic district.
- (c) No unincorporated portions of the county would be impacted by the proposed development.
- (d) The project does not front a shoreline, so shoreline access would not be impeded.
- (e) No special facilities are proposed to accommodate bus ridership. Bus service is provided along the North Roosevelt Boulevard.
- (f) No special design features are proposed to reduce energy consumption. However, the project would be required to comply with the energy efficiency requirements of the state and city building codes for new commercial buildings.
- (g) The property is located within the AE-9/10 flood zone.
- (h) No on-site recreation facilities are existing or proposed.
- (i) Coordination with applicable agencies is being facilitated through the DRC.
- (j) No wetlands or submerged land would be impacted.

Construction management plan and inspection schedule (City Code Section 108-248)

The applicant is proposing to start construction after all required City approvals are made. Staff recommends that, if necessary, temporary construction fencing and erosion barrier be installed and maintained during all phases of demolition and construction. Staff recommends that all City streets and sidewalks shall be kept clean and safe during all phases of construction.

Truman Waterfront Port facilities (City Code Section 108-249)

Not applicable.

Site plan (City Code Chapter 108, Article III)

The City shall not approve a site plan unless a finding is made that such site plan conforms to all applicable sections of the LDRs, pursuant to City Code Section 108-276, as analyzed below.

Site location and character of use (City Code Section 108-277)

The proposed project is located in the CG zoning district which allows for commercial, retail, highway oriented sales and service.

Appearance of site and structures (City Code Section 108-278)

The proposed appearance of the site and structures will be reviewed and approved through building permit plan review process.

Location and screening of mechanical equipment, utility hardware and waste storage areas (City Code Section 108-279)

A new proposed garbage area will be screened behind the showroom. Air conditioning units and other mechanical equipment are located on the roof of the building.

Front-end loaded refuse container location requirements (City Code Section 108-280)

The City is coordinating the location and type of refuse containers through the DRC and with Waste Management to ensure adequate service access.

Roll-off compactor container location requirements (City Code Section 108-281)

None proposed.

Utility lines (City Code Section 108-282)

None proposed.

Commercial and manufacturing activities conducted in enclosed buildings (City Code Section 108-283)

All proposed commercial activities would take place within the building and outdoor sales area.

Exterior lighting (City Code Section 108-284)

An exterior lighting information was provided. Staff recommends an outdoor lighting plan be submitted prior to the City Commission hearing.

Signs (City Code Section 108-285)

Any proposed signage would have to follow Section 114-138 for building permit approval.

Pedestrian sidewalks (City Code Section 108-286)

The property is served by existing public sidewalks.

Loading docks (City Code Section 108-287)

There are two existing service area loading ramps.

Storage areas (City Code Section 108-288)

There is automobile storage available on site.

Land clearing, excavation or fill (City Code Section 108-289)

No work would impact a floodplain or a conservation area. The plans indicate an existing storm water management system. Vegetation removal has been reviewed by the Urban Forestry Manager and the Tree Commission. Staff recommends temporary fencing and silt barriers if necessary during construction, to prevent soil and debris from running into City streets and sidewalks.

Landscaping (Code Chapter 108, Article VI)

A landscape plan is required as part of Development Plan Review, pursuant to City Code Section 108-411. The submitted plan indicates proposed landscaping along the eastern property line, vegetable planters in the main lot area and vegetation along the southern property line behind the existing building to the southwestern property corner.

Off-street parking and loading (Code Chapter 108, Article VII)

City Code Section 108-572(16) requires a minimum of one vehicular parking space per 300 square feet of retail floor area. There are 42 existing vehicular parking spaces available.

Stormwater and surface water management (Code Chapter 108, Article VIII)

A Stormwater Management Plan has been provided by the applicant and reviewed by city staff for compliance.

Utilities (Code Chapter 108, Article IX)

Access to potable water, wastewater disposal systems and conservation of potable water supply were analyzed in the above concurrency management determination and were found in compliance.

Art in Public Places (City Code Section 2-487)

Not applicable to Minor Development Plans.

RECOMMENDATION

The Planning Department, based on the criteria established by the Comprehensive Plan and the Land Development Regulations, recommends to the Planning Board that the request for Minor Development Plan be **APPROVED** with the following conditions:

General conditions:

1. The proposed development shall be consistent with the site plan dated November 2, 2015 by William P. Horn, Registered Architect.
2. During all phases of construction, temporary fencing and erosion barriers shall be installed and maintained. All adjacent City streets and sidewalks shall be kept clean and clear of construction debris.
3. It is recommended that the applicant participate in Waste Management's commercial recycling program and/or participate in a certified green business program, such as through Florida Keys Green Living & Energy Education (GLEE).

Condition prior to the City Commission hearing:

4. Pursuant to City Code Section 108-284, the applicant shall submit an Outdoor Lighting Plan, of the entire site including the parking area.
5. Final Landscape Plan must be approved by the Urban Forester prior to Building Permit issuance.
6. Seven (7) additional parking spaces will be provided prior to Building Permit issuance.

DEVELOPMENT PLAN AND CONDITIONAL USE APPLICATION

City of Key West Planning Department

3140 Flagler Avenue, Key West, FL 33040

(305) 809-3720

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APR 1 2015

CITY OF KEY WEST PLANNING DEPT.

Development Plan & Conditional Use Application

Applications will not be accepted unless complete

Development Plan

Major _____

Minor X

Conditional Use

Historic District

Yes _____

No X

Please print or type:

- 1) Site Address 3500 - 3600 N. ROOSEVELT BLVD. KEY WEST, FL 33040
- 2) Name of Applicant William P. Horn Architect, P.A. and/or Trepanier
- 3) Applicant is: Owner _____ Authorized Representative X & Associates, Inc.
(attached Authorization and Verification Forms must be completed)
- 4) Address of Applicant 1421 FIRST ST.
KEY WEST, FL 33040
- 5) Applicant's Phone # 305-293-8983 Email 305-296-8302
- 6) Email Address: KEVIN@OWENTREPANIER.COM WPHORN@aol.com
- 7) Name of Owner, if different than above NILES SALES AND SERVICE, INC.
- 8) Address of Owner 3500 N. ROOSEVELT BLVD. KEY WEST, FL 33040
- 9) Owner Phone # _____ Email _____
- 10) Zoning District of Parcel CG RE# 00064960-000000
- 11) Is Subject Property located within the Historic District? Yes _____ No X
If Yes: Date of approval NA HARC approval # NA
OR: Date of meeting NA
- 12) Description of Proposed Development and Use. Please be specific, list existing and proposed buildings and uses, number of dwelling units, parking, restaurant seats, vehicles proposed, etc. If there is more than one use, describe in detail the nature of each use (Give concise description here and use a separate sheet if necessary).
RECONFIGURATION AND RECONSTRUCTION OF LESS THAN 5,000 SQ.FT.
OF GROSS FLOOR AREA. REDUCTION OF OUTSIDE CAR SALES AREA, LANDSCAPE
AND SITE AMENITY IMPROVEMENTS AND REPLACEMENT OF VEHICULAR
SERVICE AREAS WITH NEW VEHICULAR SALES SHOWROOM.

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13) Has subject Property received any variance(s)? Yes No

If Yes: Date of approval 11/8/07 Resolution # 07-411

Attach resolution(s). Open Space and Impervious ratio

14) Are there any easements, deed restrictions or other encumbrances on the subject property?

Yes No

If Yes, describe and attach relevant documents.

A. For both *Conditional Uses* and *Development Plans*, provide the information requested from the attached **Conditional Use and Development Plan** sheet.

B. For *Conditional Uses* only, also include the **Conditional Use Criteria** required under Chapter 122, Article III, Sections 122-61 and 122-62 of the Land Development Regulations (see attached copy of criteria).

C. For *Major Development Plans* only, also provide the **Development Plan Submission Materials** required under Chapter 108, Article II, Division 7, Sections 108-226 through 108-248 of the Land Development Regulations (see attached copy of criteria) and any additional information as determined by the Planning Staff.

Please note, development plan and conditional use approvals are quasi-judicial hearings and it is improper to speak to a Planning Board member or City Commissioner about the project outside of the hearing.

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**Required Plans and Related Materials for both a Conditional Use and
Minor/Major Development Plan**

I. Existing Conditions.

- A) Recent Survey of the site by a licensed Surveyor showing all dimensions including distances from property lines, and including:
 - 1) Size of site; 113,447 sf
 - 2) Buildings, structures, and parking; Depicted on plans
 - 3) FEMA Flood Zone; AE-9
 - 4) Topography; See drainage plan
 - 5) Easements; and
 - 6) Location of Utility Lines (sewer, water, electric, cable) adjacent and extending into the site.
- B) Existing size, type and location of trees, hedges, and other features. See landscape plan
- C) Existing stormwater retention areas and drainage flows. See drainage plan
- D) A sketch showing adjacent land uses, buildings, and driveways.

II. Proposed Development: Plans at 11" X 17" (10,000 Sq. ft. or less); 24" X 36" if site is over 10,000 sq. ft.

- A) Site Plan to scale of with north arrow and dimensions by a licensed architect or engineer.
 - 1) Buildings Depicted on plans
 - 2) Setbacks Depicted on plans
 - 3) Parking; Depicted on plans
 - a. Number, location and size of automobile and bicycle spaces
 - b. Handicapped spaces
 - c. Curbs or wheel stops around landscaping
 - d. Type of pavement
 - 4) Driveway dimensions and material Depicted on plans
 - 5) Location of Utility Lines (sewer, water, electric, cable) adjacent and extending into the site.
 - 6) Location of garbage and recycling Depicted on plans
 - 7) Signs Depicted on plans
 - 8) Lighting Depicted on plans
 - 8) Project Statistics:
 - a. Zoning CG
 - b. Size of site 113,447 sf
 - c. Number of units (or units and Licenses) N/A
 - d. If non-residential, floor area & proposed floor area ratio See Development Analysis
 - e. Consumption area of restaurants & bars N/A
 - f. Open space area and open space ratio See Development Analysis
 - g. Impermeable surface area and impermeable surface ratio See Development Analysis
 - h. Number of automobile and bicycle spaces required and proposed Depicted on plans
- B) Building Elevations
 - 1) Drawings of all building from every direction. If the project is in the Historic District please submit HARC approved site plans.
 - 2) Height of building.
 - 3) Finished floor elevations and bottom of first horizontal structure
 - 4) Height of existing and proposed grades
- C) Drainage Plan: Existing & Proposed retention areas and calculations approved by the City Engineer. See one of the attached commercial and residential use Stormwater Retention Forms. See Development Analysis
- D) Landscape Plan: Size, type, location and number of plants to be removed, kept, and installed. The plan must be approved by the City Landscape Coordinator through a letter of approval. If the project is a Major Development Plan a landscape design prepared by a licensed Landscape Architect is required per Section 108-511(b) of the Land Development Regulations. See landscape plan ..

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- III. **Solutions Statement.** Aspects of the design that address community issues including but not limited to water pollution from stormwater runoff, potable water conservation, waste disposal, recycling, energy conservation, affordable housing, and impacts on neighbors such as lighting, noise, traffic and parking.

Development Plan Submission Materials

Sec. 108-226. Scope.

A development plan, for the purposes of this division, shall include but not necessarily be limited to the requirements in this division. With the exception of sections 108-227 through 108-229, the city planner may waive or modify requirements, information and specific performance criteria for development plan review after rendering a finding in writing that such requirements:

- (1) Are not necessary prior to development plan approval in order to protect the public interest or adjacent properties;
- (2) Bear no relationship to the proposed project or its impacts; and
- (3) Are found to be impractical based on the characteristics of the use, including the proposed scale, density/intensity, and anticipated impacts on the environment, public facilities and adjacent land uses.

Sec. 108-227. Title block.

The development plan shall contain the following pertaining to the title block:

- (1) Name of development. Niles Sales and Service, Inc.
- (2) Name of owner/developer. Niles Sales and Service, Inc.
- (3) Scale. Depicted on plans
- (4) North arrow. Depicted on plans
- (5) Preparation and revision date. Depicted on plans
- (6) Location/street address of development. Depicted on plans

Sec. 108-228. Identification of key persons.

The development plan shall contain the following pertaining to identification of key persons:

- (1) Owner. Niles Sales and Service, Inc.
- (2) Owner's authorized agent. William P. Horn & Owen Trepanier
- (3) Engineer and architect. William P. Horn Architect, P.A.
- (4) Surveyor. O'Flynn Surveyors
- (5) Landscape architect and/or environmental consultant. Landwise Design- Ladd Roberts
- (6) Others involved in the application. Trepanier & Associates, Inc.
- (7) A verified statement showing each and every individual person having a legal and/or equitable ownership interest in the subject property, except publicly held corporations whose stock is traded on a nationally recognized stock exchange, in which case the names and addresses of the corporation and principal executive officers together with any majority stockholders will be sufficient.

Sec. 108-229. Project description.

Project description should be included on the site plan sheet. The development plan shall contain the following pertaining to the project description:

- (1) Zoning (include any special districts). CG
- (2) Project site size (acreage and/or square footage). Depicted on plans
- (3) Legal description. Please see attached.
- (4) Building size. Depicted on plans
- (5) Floor area ratio, permitted and proposed. Depicted on plans
- (6) Lot coverage, permitted and proposed. Depicted on plans
- (7) Impervious surface. Depicted on plans
- (8) Pervious surface. Depicted on plans
- (9) Landscape areas. Depicted on plans

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- (10) Parking spaces, permitted and proposed. No change- Depicted on plans
- (11) Delineation of location of existing and proposed structures. Depicted on plans
- (12) Existing and proposed development type denoted by land use including density/intensity. No change
- (13) Setbacks. Depicted on plans

Sec. 108-230. Other project information.

A general outline of the proposed development shall include the following criteria where applicable:

- (1) Proposed stages or phases of development or operation and facility utilization. N/A
- (2) Target dates for each phase. N/A
- (3) Expected date of completion. N/A
- (4) Proposed development plan for the site. Depicted on plans
- (5) A written description of characteristics of the proposed development (i.e., number and type of residential units; floor area by land use; number of tourist accommodations units; seating or parking capacities; number of hospital beds; any proposed outside facilities or areas to be used for storage, display, outside sales, waste disposal or similar use; and any other proposed uses). See Analysis
- (6) For planned unit developments, indicate design techniques (i.e., clustering, zero lot line, or other techniques) used to reduce public facility costs, reduce disturbance of natural resources, and preserve scenic quality of the site. N/A
- (7) Buildings and sitting specifications which shall be utilized to reduce damage potential and to comply with federal flood insurance regulations. N/A
- (8) Protection against encroachment together with proposed mitigation measures to be employed within environmentally sensitive areas. N/A

Sec. 108-231. Residential developments. N/A

- (a) If the development includes residential units, the following characteristics shall be discussed in the written description:
 - (1) A breakdown of the proposed residential units by number of bedrooms; N/A
 - (2) Tenure (i.e., owner-occupied or rental); and N/A
 - (3) Structure type, such as single-family, duplex, multiple-family, mobile home. N/A
- (b) Refer to division 10 of article V of chapter 122 for information and legal instruments needed to satisfy the city's affordable housing requirements.

Sec. 108-232. Intergovernmental coordination.

The development plan shall contain the following pertaining to intergovernmental coordination:

- (1) Provide proof of coordination with applicable local, regional, state and federal agencies, including but not limited to the following agencies that will be involved in the project:
 - a. South Florida Regional Planning Council (SFRPC).
 - b. City electric system (CES).
 - c. State department of environmental protection (DEP).
 - d. Army Corps of Engineers (ACOE).
 - e. South Florida Water Management District (SFWMD).
 - f. State department of transportation (DOT).
 - g. State department of community affairs (DCA).
 - h. Florida Keys Aqueduct Authority (FKAA).
 - i. State fish and wildlife conservation commission (F&GC).
 - j. The county.
- (2) Provide evidence that any necessary permit, lease or other permission from applicable local, regional, state and federal agencies has been obtained for any activity that will impact wetland communities or submerged land. N/A
- (3) When intergovernmental coordination efforts are incomplete, the applicant shall provide evidence of good faith efforts towards resolving intergovernmental coordination issues.



Project Analysis

Niles Sales and Service Minor Development Plan

Summary:

The project proposes to renovate a small portion of the existing Niles Sales and Service site in order to incorporate a new showroom on the property. 2,717 square feet of existing vehicular service areas will be renovated into a new 4,531 square foot showroom for a net increase of approximately 1,814 square feet of gross floor area. Additional improvements in parking and landscaping are also proposed. An approximate 5,000 sf. of



of exterior car sales area to the east of the renovated area is being replaced with new site improvements, including showroom ramps and landscaping. All on-site uses remain within the approved conditional use of "vehicular sales and service" and the proposed renovations result in no increase in overall intensity.

Variations are active on the property for landscaping, maximum building coverage and maximum impervious ratios¹; no net change is proposed that will result in noncompliance with the existing variations. Neither is any increased demand on public facilities and/or infrastructure is expected; adequate public facilities' capacity exists to accommodate the impacts of the proposed renovation.

Analysis:

The following is a complete analysis of the proposed project including development plan review and approval criteria.

¹ Variance Resolution 07-411.

Existing development is depicted in attached surveys and plans, including:

- Size of site
- Buildings
- Structures
- Parking
- FEMA flood zones
- Topography
- Easements
- Utility locations
- Existing vegetation
- Existing stormwater
- Adjacent land uses
- Adjacent buildings
- Adjacent driveways

Proposed development is depicted in attached plans prepared by licensed engineers and architects, including:

- Buildings
- Setbacks
- Parking:
- Driveway dimensions and material
- Utility locations
- Garbage and recycling
- Signs
- Lighting
- Project Statistics
- Building Elevations
- Height of buildings
- Finished floor elevations
- Height of existing and proposed grades
- Drainage plan
- Landscape Plan

Title block (Sec. 108-227)

Name of development: Niles Sales and Service
 Owner/developer: Niles Sales and Service, Inc./ Jack Niles
 Scale: "To-scale" Architectural and Engineering plans provided
 Preparation and revision dates: As noted on plans
 Location: 3500-3600 N Roosevelt Blvd

Key persons and entities involved in this project are as follows:

Owner: Niles Sales and Service, Inc.
 Authorized Agent(s): William P. Horn Architect & Trepanier & Associates, Inc.
 Architect: William P. Horn Architect
 Surveyor: O'Flynn Surveyors
 Landscape Architect: Landwise Design- Ladd Roberts
 Legal and Equitable Owners: Niles Sales and Service, Inc.

Solutions Statement:

The project consists of a minor redevelopment plan working under an existing conditional use for vehicular sales and service. No new uses are proposed, only reconfiguration of sales and service areas. A slight increase (1,1814 sf.) in overall floor area ratio is proposed; less than the maximum permitted in the CG zoning district and is offset through replacement of approximately 5,000 sf of outside car sales area with site improvements (landscaping, cisterns & ramps). The scope of redevelopment works within existing site constraints to improve the overall function and layout of the site under the parameters of the existing land development regulations.

No increase or decrease in existing parking is proposed. Cisterns will be installed in conjunction with new landscaping. All proposed redevelopment will tie-in to existing stormwater management on- site.

Site Data Table:

Site Data	Permitted/ Required	Existing	Proposed	Compliance
Zoning	CG	CG	No Change	Complies
F.A.R.	0.80	0.24 (27,663.4 sf)	0.26 (29,477.4)	Complies
Max Height	40'	28'8"	24'10"	Complies

Building Coverage ²	40% (45,378.9 sf)	24.4% = 27,663.4 sf	26% = 29,477.4 sf	Complies
Impervious Area ³	60% (68,068.4 sf)	90% = 102,097 sf	No change	Complies
Landscape Area ⁴	20% min. (22,689.5 sf)	10%= 11,350 sf	No change	Complies
Open Space	20% min (22,689.5 sf)	10%= 11,350 sf	No change	Complies
Setbacks:				
Front	25' ⁵	48.11'	No change	Complies
Side	15' ⁶	71.10'	No change	Complies
Street Side	20'	64.8	No change	Complies
Rear	20' ⁷	7.9'	No change	Complies
Parking ⁸	42	42	No change	Complies

Other Project Information:

- The target date for commencement shall follow entitlement approvals as quickly as possible.
- Construction is targeted to begin within 6 months of this development approval and expected to be complete within 14 months of commencement.
- The proposed buildings will comply with all flood and FEMA-related requirements.

Intergovernmental Coordination

Required intergovernmental coordination shall be handled within the DRC process.

Schedule and Process:

The following development approval schedule and process is anticipated:

Step	Date
1. Submit Application	04/01/15
2. Development Review Committee (DRC) Meeting	04/23/15
3. Tree Commission (conceptual approval)	05/12/15
4. Planning Board Meeting	05/21/15
5. Historical Architecture Review Committee (HARC)	05/26/15
6. Tree Commission	06/09/15
7. City Commission Meeting	07/07/15 ⁹
8. City Commission Appeal Period	30 days
9. Florida Department of Economic Opportunity Appeal Period (45 days)	45 days

Appearance, design, and compatibility (Section 108-234):

This development plan satisfies criteria established in Chapter 102; Articles III, IV and V of Chapter 108; Section 108-956; and Article II of Chapter 110 of the Key West City Code in the following manner:

² Variance Resolution 07-411

³ Variance Resolution 07-411)

⁴ Variance Resolution 07-411

⁵ minimum of 25 feet or as an alternative ten percent of lot depth for buildings up to 25 feet in height or 20 percent of lot depth for buildings over 25 feet in height; provided, however, the maximum setback shall be 50 feet.

⁶ 15 feet or ten percent of lot width up to a maximum of 20 feet, whichever is greater.

⁷ minimum of 25 feet or as an alternative ten percent of lot depth for buildings up to 25 feet in height or 20 percent of lot depth for buildings over 25 feet in height; provided, however, the maximum setback shall be 50 feet.

⁸ According to Section 108-572: 1 space per 300 square feet of gross floor area; 25% bicycles

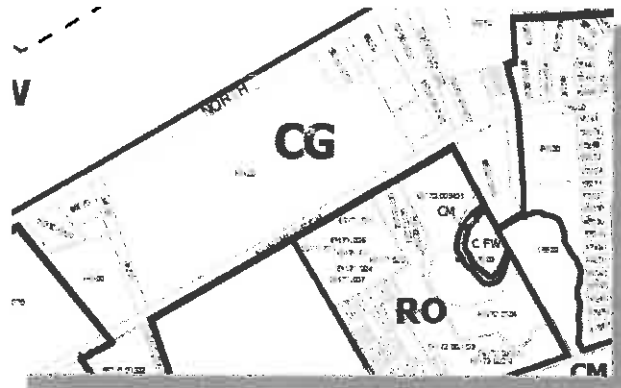
⁹ Tentative

- Chapter 102 – This property is not located within the Historic District
- Articles III, IV and V of Chapter 108 – As demonstrated by the site plan, trip generation analysis, and the site data calculations, the project complies with the requirements of the Articles.
- Chapter 110 – As demonstrated in this application, the proposed development complies with the resource protection requirements of Chapter 110.

Site Location and Character of Use (Section 108-235):

(a) *Compliance.* This development plan complies with the requirements set forth in the Key West City Code as they pertain to Concurrency Management, Outdoor Displays and Nuisances, Resource Protection, Signs, and Articles I and III to IX of Chapter 108 of the Key West City Code.

(b) *Vicinity Map.*



(c) *Land Use Compatibility.* The project site is located in the General Commercial District (CG) zoning district. The area is generally located along the North Roosevelt Corridor. The general commercial district (CG) is established to implement comprehensive plan policies for areas designated "CG" on the comprehensive plan future land use map. The CG district accommodates general commercial uses which including commercial retail, highway-oriented sales and services, other general commercial activities specified in section 122-1111 pertaining to land use by districts, customary accessory uses, and requisite community facilities. The general commercial district services the general commercial needs of residents and tourists which are not fulfilled in the historic area mixed use districts. Height restrictions shall ensure a more effective land use transition from adjacent and nearby single-family neighborhoods.

(d) *Historic and archeological resource protection.* The site is not located within the Historic District. Any archeological resources will be protected as required.

(e) *Subdivision of Land.* No subdivisions are anticipated.

Location and screening of mechanical equipment, utility hardware and waste storage areas (Section 108-279):

All mechanical equipment will be located appropriately and in compliance with Section 108-279.

Appearance of Site and Structures (Sec. 108-236):

Attached site plan complies with Sections 108-278 through 108-288 of the Key West City Code. (See below.)

Site Plan (Sec. 108-237):

Site plan of proposed development drawn consistently with Sec. 108-237 is attached.

Architectural Drawings (Sec. 108-238):

All architecture or engineering designs were prepared and sealed by a professional architect or engineer registered in the state pursuant to F.S. Ch. 471 and 481, respectively, consistent with the provisions of this Section.

Site Amenities (Sec 108-239):

The attached site plan includes existing and proposed amenities.

Site Survey (Sec 108-240):

Survey of the site is attached.

Soil Survey (Sec 108-241):

Soil surveys are not anticipated as part of this project.

Environmentally Sensitive Areas (Sec. 108-242):

No environmentally sensitive areas exist on this site.

Land clearing, excavation and fill, tree protection, landscaping and irrigation plan (Sec. 108-243):

Some demolition of existing structures is proposed (see attached site plans) but no clearing is proposed as anticipated in Sec. 108-243. A landscape plan shall be approved consistent with code requirements.

On-site and off-site parking and vehicular, bicycle, and pedestrian circulation (Sec. 108-244):

The code does not define parking for vehicular sales and related service. No increase or decrease in existing parking capacity is proposed as part of the redevelopment. The increase in building area of 1,814 sf. is not correlated with an increase in parking at this time; no increase in employment is expected and outdoor car sales area is being reduced commiserate with the net increase of 1,814 sf. For these reasons, only reconfiguration of existing parking is proposed.

Housing (Sec 108-245):

This project includes no residential development and therefore shall have no impact on hurricane evacuation.

Economic Resources (Sec 108-246):

Trepanier & Associates, Inc. has contacted the Monroe County Property Appraiser's office to seek assistance in estimating the average ad valorem tax yield from the proposed project.

Special Considerations (Sec 108-247):

The proposal complies with the goals, objectives and policies of the comprehensive plan and as demonstrated by this and the concurrency analysis there are no conflicts with the existing public facilities, such as wastewater treatment and transportation.

This project complies with all City land use plans, objectives and policies.

Construction Management Plan and Inspection Schedule (Sec 108-248):

The proposed development is single-phase. Construction is proposed to progress steadily based on Key West LDRs, building codes, and funding. Construction is expected to commence as soon as possible.

Truman Waterfront Port Facilities (Sec 108-249):

This project is not located at the Truman Waterfront Port

SITE PLAN

Scope (Sec 108-276):

This site plan conforms to all applicable sections of land development regulations.

Site Location and Character of Use (Sec. 108-277):

As depicted, the site has sufficient size, adequate specifications, and infrastructure to accommodate the redevelopment.

Appearance of Site and Structures (Sec. 108-278):

This application's redevelopment plan exhibits harmonious overall design characteristics in compliance with the performance standards stipulated in sections 108-278 through 108-288.

Location and screening of mechanical equipment, utility hardware and waste storage areas (Section 108-279):

All mechanical equipment and utility hardware will be appropriately screened. All waste storage areas will be screened from adjacent properties.

Front-end loaded refuse container requirements (Sec. 108-280):

Refuse and waste areas are depicted on the plans in compliance with this requirement.

Roll-off Compactor Container location requirements (Sec. 108-281):

Refuse and waste areas are depicted on the plans in compliance with this requirement.

Utility lines (Section 108-282):

Utility lines shall comply with the requirements of Sec. 108-282.

Commercial and manufacturing activities conducted in enclosed buildings (Section 108-283):

No changes to existing commercial use activities are proposed.

Exterior Lighting (Section 108-284):

All proposed lighting shall be shielded and lighting sources shall be arranged to eliminate glare from roadways and streets and shall direct light away from properties lying outside the

district. Shielding of lighting elements shall be accomplished by using directional fixtures or opaque shades.

Signs (Section 108-285):

Proposed signage will be harmonious with the design theme of the project, will be aesthetically pleasing and reinforce good principles and practices of design.

Pedestrian sidewalks (Section 108-286):

No sidewalks affected.

Loading docks (Section 108-287):

Improvements to the existing parking/ loading/ service area are proposed. The existing parking/ loading/ service area layout will be altered to better conform to the proposed design and the requirements of the land development regulations

Storage Areas (Section 108-288):

No significant change in outdoor storage area is proposed.

Land Clearing, Excavation, and Fill (Sec 108-289):

All land clearing will be in compliance to Sec. 108-289. Existing structures will be demolished and all debris cleared from site. Site will be graded and storm water improvements made in preparation for new construction.

Open Space, Screening, Buffers and Landscaping (Article V and VI) of Chapter 108:

The project proposes modest improvements to the site as depicted in the plans. Variance Resolution 07-411 granted variances to maximum impervious area, maximum building coverage and landscape requirements.

Off-street parking and loading (Article VII):

Improvements to the existing parking/ loading/ service area are proposed. The existing parking/ loading/ service area layout will be altered to better conform to the proposed design and the requirements of the land development regulations

Storm water and Surface Water Management (Article VIII):

No significant changes to on-site drainage are proposed; impervious surface area is being maintained. The approved drainage plan associated with the approved conditional use and major development plan (Resolution 08-31) will remain suitable on-site and all redevelopment will be incorporated to maintain positive drainage and demonstrate compliance with the intent of Art. VIII.

Flood Hazard Areas- Floodplain Management Ordinance (Section 34-122 through 34-149):

The proposed project is located in the AE-9 flood zone.

Utilities (Article IX):

See Concurrency Analysis below.

CONCURRENCY ANALYSIS:

Concurrency Facilities and Other Utilities or Services (Sec. 108-233):

The City's Comprehensive Plan directs the City to ensure that facilities and services needed to support development are available concurrent with the impacts of new development.

The following specific issues are outlined:

1. Potable Water
2. Sanitary Sewer
3. Solid Waste
4. Drainage
5. Roads/Trip Generation

The following concurrency analysis reflects the proposed renovation of Niles Sales and Service. The site has an existing floor area of 27,663.4 sq. ft. (0.635 acres) and a proposed floor area of 29,477.4 sq. ft (0.676 acres) on a lot size of 113,447.34 sq. ft. (2.6 acres)

Potable Water. Policy 4-1.1.2.C of the City of Key West Comprehensive Plan sets the level of service for potable water at 100 gal/ capita/day.

Existing capacity required (measured by floor area): 63.5 gal/day

The total capacity required for the use on **0.635 acres**

$$100 \text{ gal/acres/day} \times 0.635 \text{ acres} = 63.5 \text{ gal/day}$$

Proposed capacity required (measured by floor area): 67.6 gal/day

The total capacity required for the use on **0.676 acres**

$$100 \text{ gal/acres/day} \times 0.676 \text{ acres} = 67.6 \text{ gal/day}$$

Based on the level of service calculation prescribed in the Comprehensive Plan, there is no significant increase (4.1 gal/day) in proposed total capacity.

Sanitary Sewer- Policy 4-1.1.2.A of the City of Key West Comprehensive Plan sets the level of service for nonresidential sanitary sewer at 660 gal/acre/day.

Existing capacity required (measured by floor area): 419.1 gal/day

The total capacity required for the use on **0.635 acres**

$$660 \text{ gal/acres/day} \times 0.635 \text{ acres} = 419.1 \text{ gal/day}$$

Proposed capacity required (measured by floor area): 446.16 gal/day

The total capacity required for the use on **0.676 acres**

$$660 \text{ gal/acres/day} \times 0.676 \text{ acres} = 446.16 \text{ gal/day}$$

Based on the level of service calculation prescribed in the Comprehensive Plan, there is no significant increase (27.06 gal/day) in the proposed total capacity.

Solid Waste- Projected demand generated by the development on the solid waste disposal system should demonstrate that sufficient capacity is available to accommodate projected solid waste disposal needs for all existing and approved development for a period of three (3) years.

Policy 4-1.1.2.D of the City of Key West Comprehensive Plan sets the level of service for nonresidential solid waste disposal at 6.37 lb/capita/day¹⁰.

Existing capacity required (measured by per capita employees): 343.98 gal/day

The total capacity required for the non-residential use on **54 employees**¹¹
 $6.37 \text{ lb/capita/day} \times 54 \text{ employees} = 343.98 \text{ gal/day}$

Proposed capacity required (measured by per capita employees): 343.98 gal/day

The total capacity required for the non-residential use on **54 employees**¹²
 $6.37 \text{ lb/capita/day} \times 54 \text{ employees} = 343.98 \text{ gal/day}$

Based on the concurrency management calculation prescribed in the Comprehensive Plan, there is no significant increase of solid waste generated by this site.

Drainage - "Conceptual plan for accommodating storm water run-off and demonstrated evidence that the proposed drainage improvements shall accommodate storm water run-off without adversely impacting natural systems or the City's adopted level of service for storm drainage."

An approved stormwater management plan exists for this site and no substantial deviation is proposed. The proposed renovations will tie into the existing drainage plan approved as part of Resolution 08-31. The site will meet the minimum requirements through best management practices.

Roads/Trip Generation- The following peak hour roadway level of service standards based on functional classification (for U.S. 1, the LOS shall be assessed based on a peak direction analysis of the highest 15 minute period of the 100th highest hourly volume of the year, or K100). For the purposes of calculating traffic generation we used the Institute of Transportation Engineer's 7th Edition Trip Generation Volumes.

Use		Weekday	Saturday	Sunday
Vehicle Service (Code 942)	Existing 2,717 sf.	7	43	7
	Proposed	0	0	0

¹⁰ For these calculations, we chose to use the number of employees to represent the "capita." Based on the Planner's Estimating Guide by Arthur C. Nelson (2004) which indicates 1 employee per 510 sq. ft. for community retail trade

¹¹ Based on employment density figures from pg. 43 of the Planner's Estimating Guide (Nelson, 2004)

¹² Based on employment density figures from pg. 43 of the Planner's Estimating Guide (Nelson, 2004)

	0 sf.			
Vehicles Sales (Code 841)	Existing 0 sf.	0	0	0
	Proposed 4,531 sf.	9	95	47
Vehicle Sales (Code 841) ¹³ Net Increase	1,814 sf.	+2 trips	+52	+40

The slight increase in trips is offset by the removal of approximately 5,000 square feet of outside car sales area that is being replaced with a showroom ramp and landscaping. This site is located on the US-1, North Roosevelt Blvd segment, a primary arterial not considered constrained according to City of Key West Comprehensive plan. The proposed redevelopment will not result in an inadequate level of service on North Roosevelt.

¹³ The ITE trip generation manuals calculate trips based on all uses of a car sales establishment and expressed in terms of Floor Area. The uses include offices, auto repair/ service, parts sales, tire sales, service centers, quick lubes, and other associated uses. In this case no floor area is proposed; the trips associated with the sales lot adjacent to his property have been statistically analyzed as a percentage of the trip generation and used to calculate trip generation in the above table, the analyst believes these numbers over-represent trip generation.

Verification

City of Key West
Planning Department



Verification Form
(Where Authorized Representative is an entity)

I, Owen Trepanier, in my capacity as President
(print name) *(print position; president, managing member)*
of Trepanier & Associates, Inc.
(print name of entity serving as Authorized Representative)

being duly sworn, depose and say that I am the Authorized Representative of the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

3500-3600 N Roosevelt, Key West, FL 33040
Street Address of subject property

All of the answers to the above questions, drawings, plans and any other attached data which make up the application, are true and correct to the best of my knowledge and belief. In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.

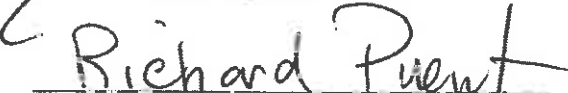

Signature of Authorized Representative

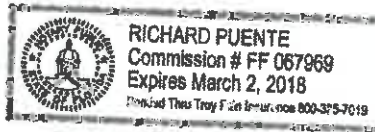
Subscribed and sworn to (or affirmed) before me on this 3-30-2015 by
date

Name of Authorized Representative

She is personally known to me or has presented _____ as identification.


Notary's Signature and Seal


Name of Acknowledger typed, printed or stamped



FF 067 969
Commission Number, if any

**City of Key West
Planning Department**



Verification Form

(Where Authorized Representative is an entity)

I, WILLIAM P. HOHN, in my capacity as PRINCIPAL/OWNER
(print name) *(print position; president, managing member)*
of WILLIAM P. HOHN ARCHITECT, P.A.
(print name of entity serving as Authorized Representative)

being duly sworn, depose and say that I am the Authorized Representative of the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

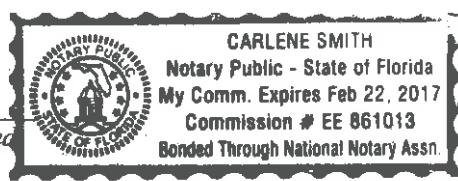
3500 N. ROOSEVELT BLVD.
Street Address of subject property

All of the answers to the above questions, drawings, plans and any other attached data which make up the application, are true and correct to the best of my knowledge and belief. In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.

[Signature]
Signature of Authorized Representative

Subscribed and sworn to (or affirmed) before me on this 4/1/15 by
Bill Hoen
Name of Authorized Representative
date

He/She is personally known to me or has presented _____ as identification.
[Signature]
Notary's Signature and Seal



Name of Acknowledger typed, printed or stamped

Commission Number, if any

Authorization

City of Key West
Planning Department



Authorization Form
(Where Owner is a Business Entity)

Please complete this form if someone other than the owner is representing the property owner in this matter.

I, Jack D. Niles as
Please Print Name of person with authority to execute documents on behalf of entity

Vice Pres. of Niles Sales Service, Inc.
Name of office (President, Managing Member) *Name of owner from deed*

authorize WILLIAM P. HOAN MCDONALD, PA & TELEPHONE ASSOC.
Please Print Name of Representative

to be the representative for this application and act on my/our behalf before the City of Key West.

[Signature]
Signature of person with authority to execute documents on behalf on entity owner

Subscribed and sworn to (or affirmed) before me on this April 1, 2015
Date

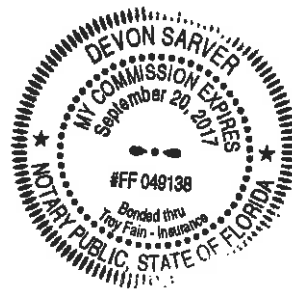
by Jack Niles, III
Name of person with authority to execute documents on behalf on entity owner

He/She is personally known to me or has presented _____ as identification.

[Signature]
Notary's Signature and Seal

Devon M Sarver
Name of Acknowledger typed, printed or stamped

#FF 049138
Commission Number, if any





Detail by Entity Name

Florida Profit Corporation

NILES SALES AND SERVICE, INC.

Filing Information

Document Number	P02000038732
FEI/EIN Number	030427074
Date Filed	04/09/2002
State	FL
Status	ACTIVE

Principal Address

3500 N ROOSEVELT BLVD
KEY WEST, FL 33040

Changed: 03/14/2004

Mailing Address

3500 N ROOSEVELT BLVD
KEY WEST, FL 33040

Changed: 01/27/2011

Registered Agent Name & Address

EDEN, NATHAN ESQ
302 SOUTHARD ST # 205
KEY WEST, FL 33040

Name Changed: 04/04/2003

Address Changed: 01/05/2009

Officer/Director Detail

Name & Address

Title P

STROM, LARRY O
3127 W. TENNESSEE STREET
TALLAHASSEE, FL 32304

Title VS

NILES, JACK D
3500 N. ROOSEVELT BLVD.
KEY WEST, FL 33040

Title T

REVELL, HARRELL T
3127 W. TENNESSEE ST
TALLAHASSEE, FL 32304

Annual Reports

Report Year	Filed Date
2013	01/16/2013
2014	02/27/2014
2015	03/20/2015

Document Images

03/20/2015 -- ANNUAL REPORT	View image in PDF format
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03/14/2004 -- ANNUAL REPORT	View image in PDF format
04/04/2003 -- ANNUAL REPORT	View image in PDF format
04/09/2002 -- Domestic Profit	View image in PDF format

Deed

THIS INSTRUMENT PREPARED BY
AND RETURN TO:
John M. Spottswood, Jr.
500 Fleming St.
Key West, Fl. 33040

Doc# 1634435
Bk# 2282 Pg# 665

UNITY OF TITLE AGREEMENT

This Unity of Title Agreement ("Agreement") is made this 23rd day of March, 2007, by Niles Sales and Service, Inc., a Florida corporation ("Niles").

WITNESSETH:

WHEREAS, NILES is the owner of a parcel of real property more particularly described in Exhibit "B" attached hereto and made a part hereof.; and

WHEREAS, NILES has, concurrently with the recordation of this Agreement, Purchased the property from TIB Bank being more particularly described in Exhibit "A" attached hereto and made a part hereof ; and

WHEREAS, the City of Key West in granting the approval for the subdivision of the property owned by TIB Bank, a copy of which is attached hereto, to sell Niles the property described on Exhibit A, has required that a unity of title be filed for parcels described on Exhibits A and B.

NOW, THEREFORE, for *Ten Dollars (\$10.00)* and in consideration of combining the two parcels described in Exhibits "A" and "B", which two parcels lie within the corporate limits of the City of Key West, Florida, NILES hereby agrees to restrict the use of the two parcels described in Exhibits "A" and "B" as more particularly set forth herein:

- 1) That the two parcels described in Exhibits "A" and "B" shall be considered as one plot and parcel of land, and that no portion of the two parcels shall be sold, transferred, devised or assigned separately, except in its entirety as one plot or parcel of land. Any further subdivision of the two parcels complies with the City of Key West Development Code.
- 2) NILES further agrees that this condition, restriction and limitation shall be deemed a covenant running with the land, and shall remain in full force and effect, and be binding upon NILES, its successors and assigns.



3) NILES further agrees that this instrument shall be recorded in the Public Records of Monroe County, Florida.

Signed, sealed, executed and acknowledged on this 23rd day of March, 2007.

Witnesses:

Owner:

Niles Sales and Service, Inc.
a Florida corporation

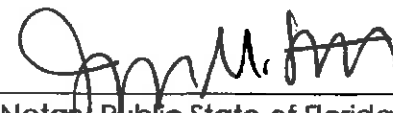

Printed Name: John S. Stewart

Printed Name: Jenny M. Sterling

By: 
Jack Niles
(corporate seal)

STATE OF FLORIDA)
COUNTY OF COLLIER)

Subscribed and acknowledged before me on this ____ day of March, 2007, by Jack Niles, III as secretary of Niles Sales and Service, Inc., a Florida corporation, who is personally known to me or who has produced _____ (type of identification) as identification and who did not take an oath.




Notary Public State of Florida
My Commission Expires:
My Commission Number is:



**THE CITY OF KEY WEST
PLANNING DEPARTMENT**

P.O. Box 1409 Key West, Florida 33041-1409
gkenson@keywestcity.com
Phone (305) 809-3728
Fax (305)809-3721

19 March 2007

**Doc# 1634435
Bk# 2282 Pg# 667**

Adele V. Stones
Stones & Cardenas
221 Simonton Street
Key West, Florida 33040

**Subject: 3618 North Roosevelt Boulevard
RE# 00066060-000000 and RE#00066070-000000
3600 North Roosevelt Boulevard
RE# 00066050-000000 and RE# 00066040-000000**

Dear Ms. Stones:

This letter is in response to your request for a variance to the subdivision requirements for what is essentially lot line relocation between the parcels at 3600 North Roosevelt Boulevard and 3618 North Roosevelt Boulevard. After a review of your request it has been determined that the reconfiguration of the parcels meets the intent of a waiver of the subdivision regulations as outlined in Section 118-68 of the City Code, "Criteria for Consideration".

The result of the reconfiguration of the four lots will be two lots, one owned by TIB and the other parcel owned by Niles Sales and Service. Both lots will meet the minimum size and dimension requirements of Section 122-420. Please note that any expansion of the auto sales and service onto the newly acquired land will require an application for conditional use approval and development plan approval.

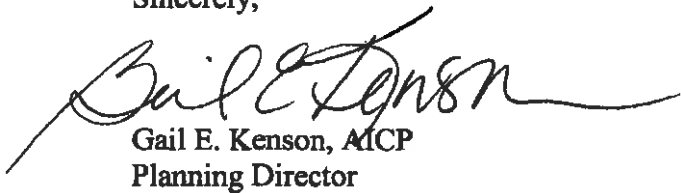
The conditions of the waiver are as follows:

1. ✓ There shall be a Unity of Title, in a form acceptable to the City Attorney, filed with the Clerk of Monroe County for the two parcels at 3600 North Roosevelt Boulevard (Niles Sales and Service) and the remaining parcels at 3618 North Roosevelt Boulevard (TIB Bank) concurrent with the new deeds for the properties.
2. A signed and sealed survey for both properties showing the new configuration of the new lots shall be submitted to the City of Key West Planning Department along with copies of the recorded deeds and unities of title.
3. All appropriate approvals and permits shall be obtained prior to the expansion of the auto sales and service to the newly acquired property.

This letter will serve as your notice that your request for a subdivision waiver is conditionally granted.

Should you have any additional questions, please feel free to contact me.

Sincerely,



Gail E. Kenson, AICP
Planning Director

Exhibit "A"

A parcel of land on the Island of Key West, Monroe County, a Florida and is part of Parcel No. 3, according to "Plat of Survey part of land formerly owned by Key West Improvement, Inc." as recorded in Plat Book 4 of Page 69, Monroe County Official Records and more particularly described as follows:

From the intersection of the West line of said Parcel No.3 and the Southerly Right-of-Way (curb) line of Roosevelt Bridge go North 86 degrees 20 minutes and 02 seconds East along said Southerly right-of-way (curb)line a distance of 66.89 feet, thence S 03 degrees 39 minutes 58 seconds E, a distance of 154.82 feet to a point, which point is the Point of Beginning;thence North 86 degrees 20 minutes 02 seconds East a distance of 200 feet to a point; thence South 03 degrees 39 minutes 58 seconds East a distance of 70 feet to a point;thence South 86 Degrees 20 minutes 02 seconds West a distance of 200 feet to a point; thence North 03 degrees 39 minutes 58 seconds West a distance of 70 feet back to the Point of Beginning.

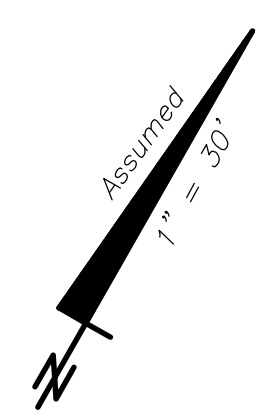
Less the Westerly 2.21 feet being portions fo the lands described in Quit Claim Deed recorded in Official Records Book 1584, page 330, public records, Monroe County, Florida.

Doc# 1634435
Bk# 2282 Pg# 669

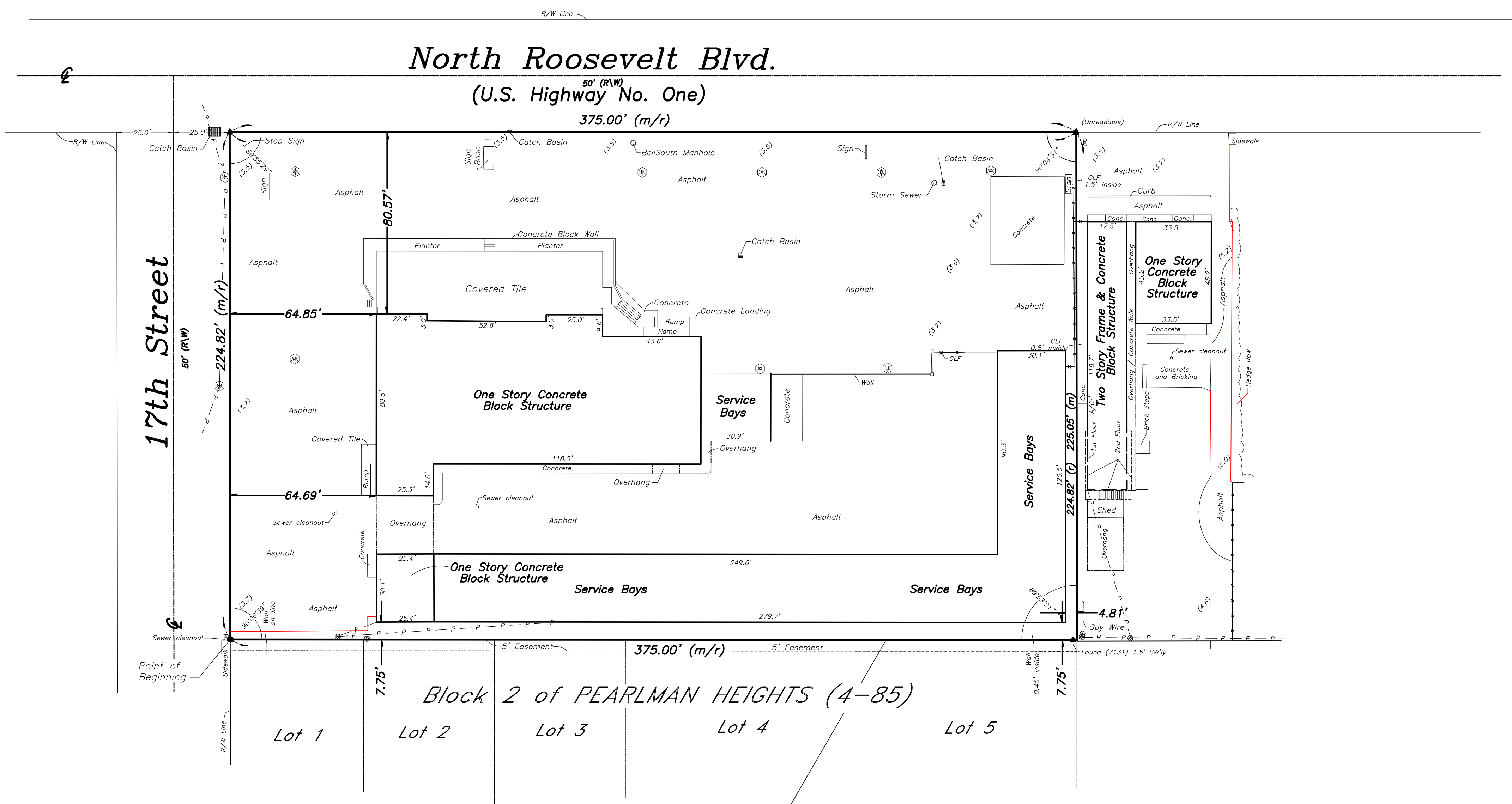
Exhibit "B"

On the Island of Key West, according to the plat of PEARLMAN HEIGHTS, a subdivision as recorded in Plat Book 4, at Page 85, of the Public Records of Monroe County, Florida: Begin at the Northwest corner of Lot 1, Block 2 of said Subdivision; run thence in a Northerly direction along the Easterly line of 17th Street a distance of 224.82 feet to the Southerly right-of-way line of Roosevelt Boulevard; run thence at a right angle along the Southerly right-of-way line of Roosevelt Boulevard a distance of 375 feet; run thence at a right angle in a Southerly direction a distance of 224.82 feet to the Northeast corner of Lot 5, Block 2; run thence at a right angle in a Westerly direction a distance of 375 feet back to the Point of Beginning.

Survey



- LEGEND**
- ▲ Set Nail & Disc (6298)
 - Set #5 Rebar (6298)
 - Found 3/4" Iron Pipe
 - ▲ Found Nail & Disc
 - Found 1/2" Iron Rod (PTS)
 - (M) Measured
 - (R) Record
 - (M/R) Measured & Record
 - R/W Right of Way
 - ⊕ Centerline
 - C.B.S. Concrete Block Structure
 - ⊙ Wooden Utility Pole
 - P.O.B. Point of Beginning
 - P.O.C. Point of Commencing
 - ⊠ Concrete Utility Pole
 - Overhead Utility Lines
 - ⊙ Light Post
 - ⊙ Sign
 - ⊙ Water Meter



- NOTES:
1. The legal descriptions shown hereon were furnished by the client or their agent.
 2. Underground foundations and utilities were not located.
 3. All angles are 90° (Measured & Record) unless otherwise noted.
 4. Street address: 3500 North Roosevelt Blvd., Key West, FL.
 5. This survey is not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
 6. Lands shown hereon were not abstracted for rights-of-way, easements, ownership, or other instruments of record.
 7. Date of fieldwork: June 16, 2005.
 8. North Arrow assumed and based on the legal description.
 9. Ownership of fences is undeterminable unless otherwise noted.
 10. Adjoiners are not furnished.
 11. Elevations are shown in parenthesis and refer to Mean Sea Level, N.G.V.D. 1929 Datum.

BOUNDARY SURVEY OF: On the Island of Key West, according to the plat of PEARLMAN HEIGHTS, a subdivision as recorded in Plat Book 4, at Page 85, of the Public Records of Monroe County, Florida: Begin at the Northwest corner of Lot 1, Block 2 of said Subdivision; run thence in a Northerly direction along the Easterly line of 17th Street a distance of 224.82 feet to the Southerly right-of-way line of Roosevelt Boulevard; run thence at a right angle and along the Southerly right-of-way line of Roosevelt Boulevard a distance of 375 feet; run thence at a right angle in a Southerly direction a distance of 224.82 feet to the Northeast corner of Lot 5, Block 2; run thence at a right angle in a Westerly direction a distance of 375 feet back to the Point of Beginning.

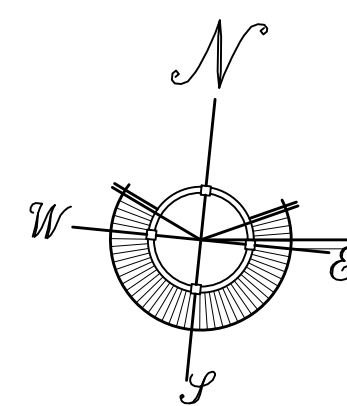
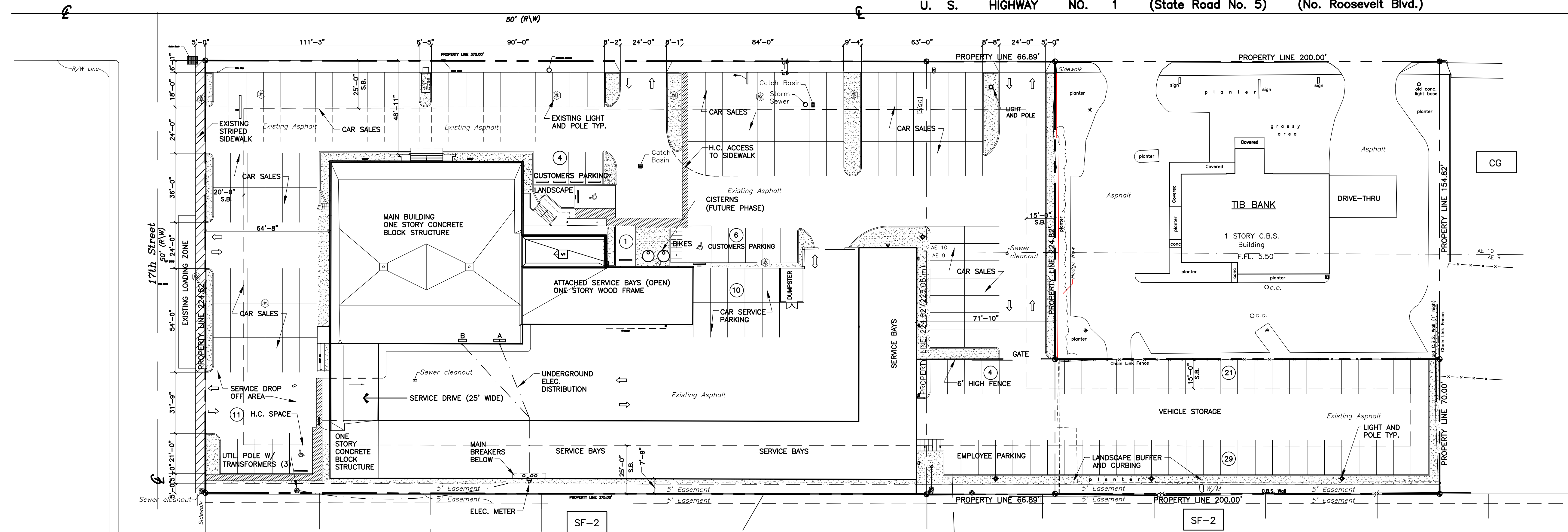
BOUNDARY SURVEY FOR: **Niles Sales & Service;**

J. LYNN O'FLYNN, INC.
 J. Lynn O'Flynn, PSM
 Florida Reg. #6298
 August 30, 2005

Site Plans

20' concrete walkway

U. S. HIGHWAY NO. 1 (State Road No. 5) (No. Roosevelt Blvd.)



EXISTING SITE PLAN

SCALE: 1"=30'-0"

ALL SITE INFORMATION OBTAINED FROM
SURVEY BY J. LYNN O'FLYNN, INC. ON 08-30-07 AND
FREDERICK H. HILDEBRANDT ON 01-16-07.

BUILDING DATA	SITE DATA	LIST OF DRAWINGS
EXISTING BUILDINGS = 25,809 S.F.	ZONING DISTRICT : CG	A-1 SITE PLAN
EXISTING BUILDING TO BE REMOVED = 2,717 S.F.	FLOOD ZONE : EL. 9.0'	EX-1 EXISTING SITE PLAN
NEW NISSAN BUILDING = 4,531 S.F.	MAX. FAR : 0.8	A-2 FLOOR PLAN
NET INCREASE IN S.F. = 1,814 S.F.	MAX. HEIGHT : 40 FEET	A-3 MEZZANINE PLAN
	SITE AREA : 113,447.34 S.F.	A-4 ELEVATIONS
	LOT COVERAGE : ALLOWABLE: 40% (45,378.9 S.F.)	A-5 ELEVATIONS
	: EXISTING: 24.4% (27,663.4 S.F.)	A-6 RENDERING
	: PROPOSED: 26% (29,477.4 S.F.)	
	IMPERVIOUS AREA : ALLOWABLE: 60% (68,068.4 S.F.)	L-1 LANDSCAPE PLAN
	: EXISTING: 90% (102,097.34 S.F.)	
	: PROPOSED: 90% (102,097.34 S.F.)	
	OPEN SPACE/ LANDSCAPE AREA : REQUIRED: 20% (22,689.5 S.F.)	
	: EXISTING: 10% (11,350 S.F.)	
	: PROPOSED: 10% (11,350 S.F.)	
	SETBACKS	
	FRONT : ALLOWABLE: 25.0'	
	: EXISTING: 48.11'	
	: PROPOSED: 48.11'	
	STREET SIDE : ALLOWABLE: 20.0'	
	: EXISTING: 64.8'	
	: PROPOSED: 64.8'	
	EAST SIDE : ALLOWABLE: 15.0'	
	: EXISTING: 71.10'	
	: PROPOSED: 51.83'	
	REAR : ALLOWABLE: 25.0'	
	: EXISTING: 7.9'	
	: PROPOSED: 7.9'	

SEAL

THESE DRAWINGS MAY
NOT BE REPRODUCED
WITHOUT WRITTEN
AUTHORIZATION BY
WILLIAM P. HORN

DATE

04-01-15 DRC

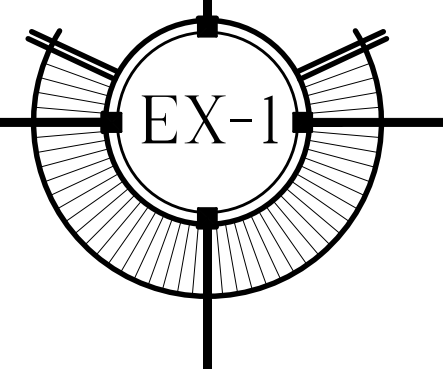
REVISIONS

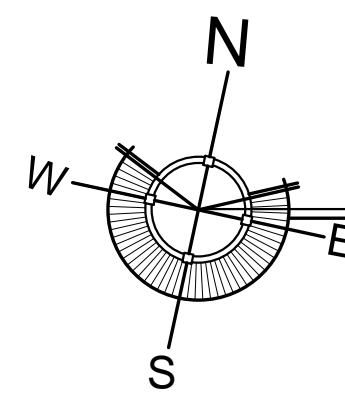
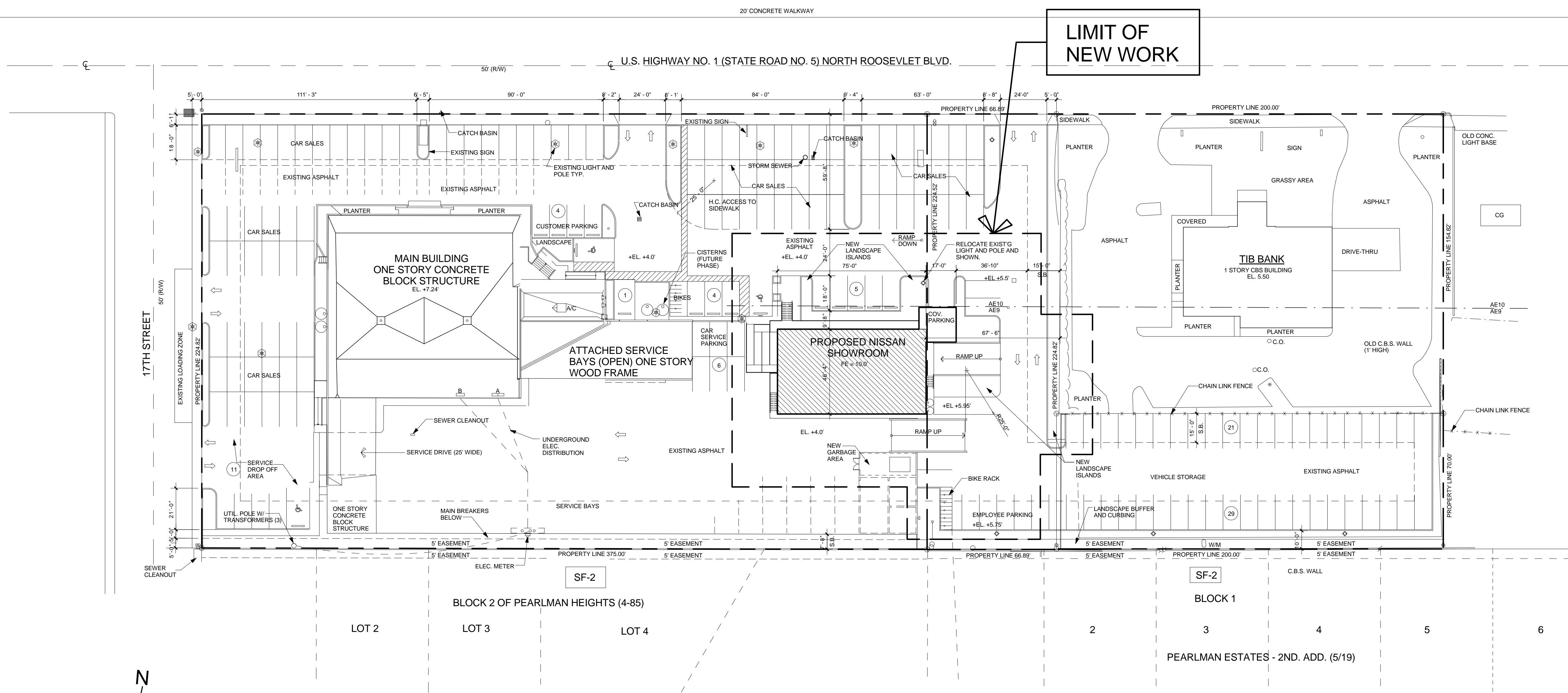
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BH
EMA

PROJECT
NUMBER

1504



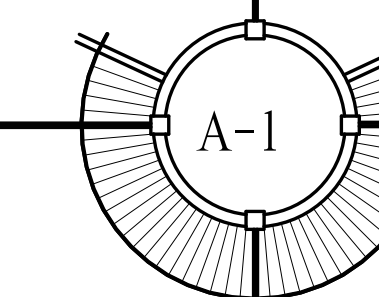


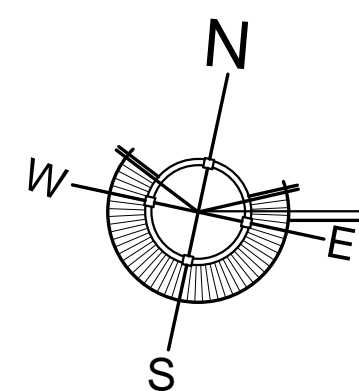
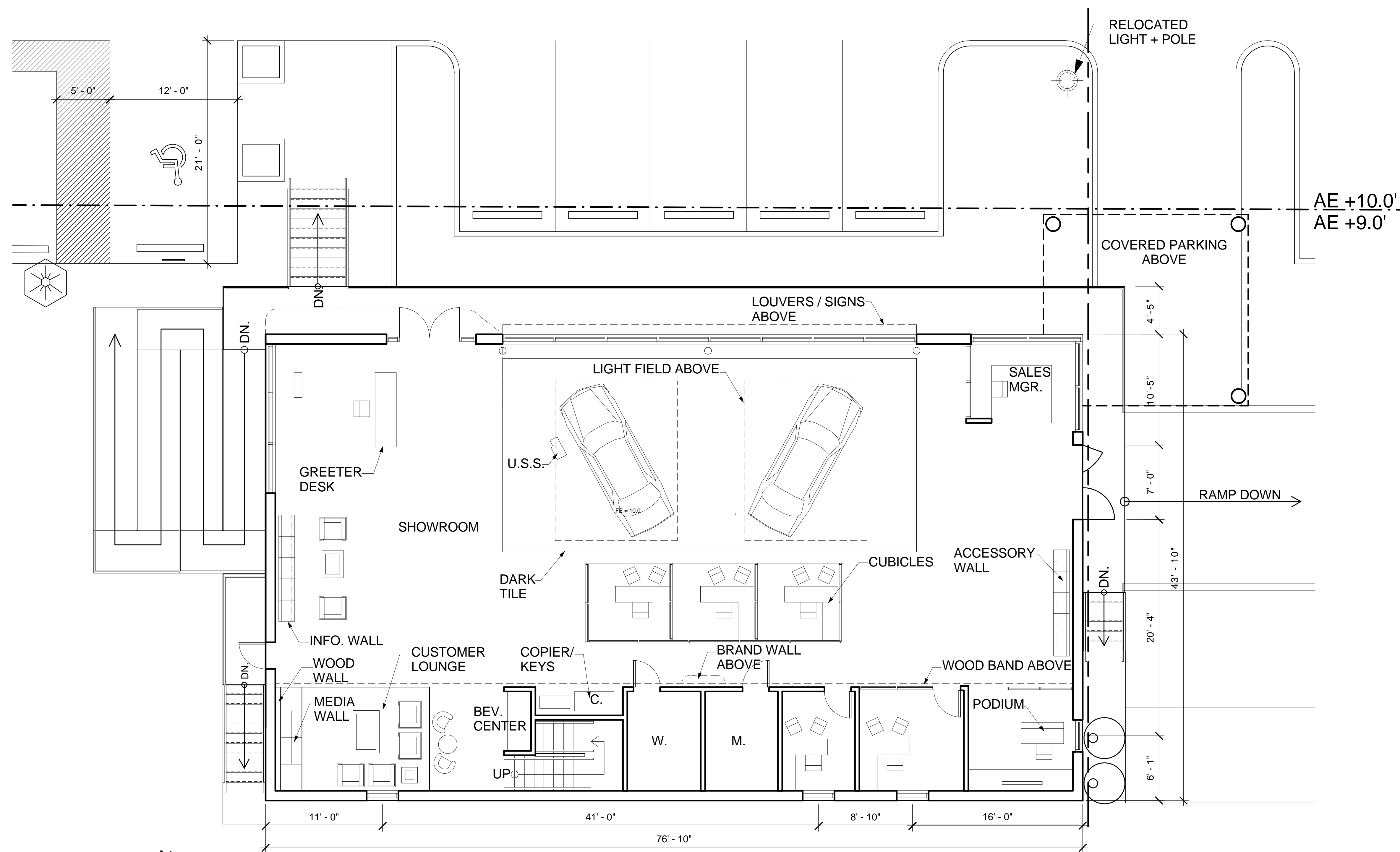
PROPOSED SITE PLAN

ALL SITE INFORMATION OBTAINED FROM SURVEY BY J. LYNN O'LYNN INC., ON 08-30-07 AND FREDERICK H. HILDEBRANT ON 01-16-07. SCALE 1/30" = 1'-0"

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EXISTING BUILDINGS = 25,809 S.F.	ZONING DISTRICT: CG	A-1 SITE PLAN
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	SITE AREA : 113,447.34 S.F.	A-4 ELEVATIONS
		A-5 ELEVATIONS
		A-6 RENDERING
		L-1 LANDSCAPE PLAN
NEW BUILDING:	LOT COVERAGE : ALLOWABLE 40% (45,378.9 S.F.)	
FIRST FLOOR INTERIOR = 3,388 S.F.	: EXISTING 24.4% (27,663.4 S.F.)	
MEZZANINE INTERIOR = 847 S.F.	: PROPOSED 26% (29,477.4 S.F.)	
COVERED AREA = 296 S.F.		
	IMPERVIOUS AREA : ALLOWABLE 60% (68,068.4 S.F.)	
	: EXISTING 90% (102,097.34 S.F.)	
	: PROPOSED 90% (102,097.34 S.F.)	
	OPEN SPACE / LANDSCAPE AREA REQUIRED 20% (22,689.5 S.F.)	
	: EXISTING 10% (11,350 S.F.)	
	: PROPOSED 10% (11,350 S.F.)	
	SETBACKS	
	FRONT : ALLOWABLE 25.0'	
	: EXISTING 48.11'	
	: PROPOSED 48.11'	
	STREET SIDE : ALLOWABLE 20.0'	
	: EXISTING 64.8'	
	: PROPOSED 64.8'	
	EAST SIDE : ALLOWABLE 15.0'	
	: EXISTING 71.10'	
	: PROPOSED 51.83'	
	REAR : ALLOWABLE 25.0'	
	: EXISTING 7.9'	
	: PROPOSED 7.9'	

NISSAN DEALERSHIP SHOWROOM
3500 N. ROOSEVELT BLVD.
KEY WEST, FLORIDA

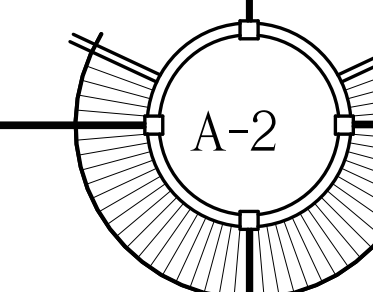


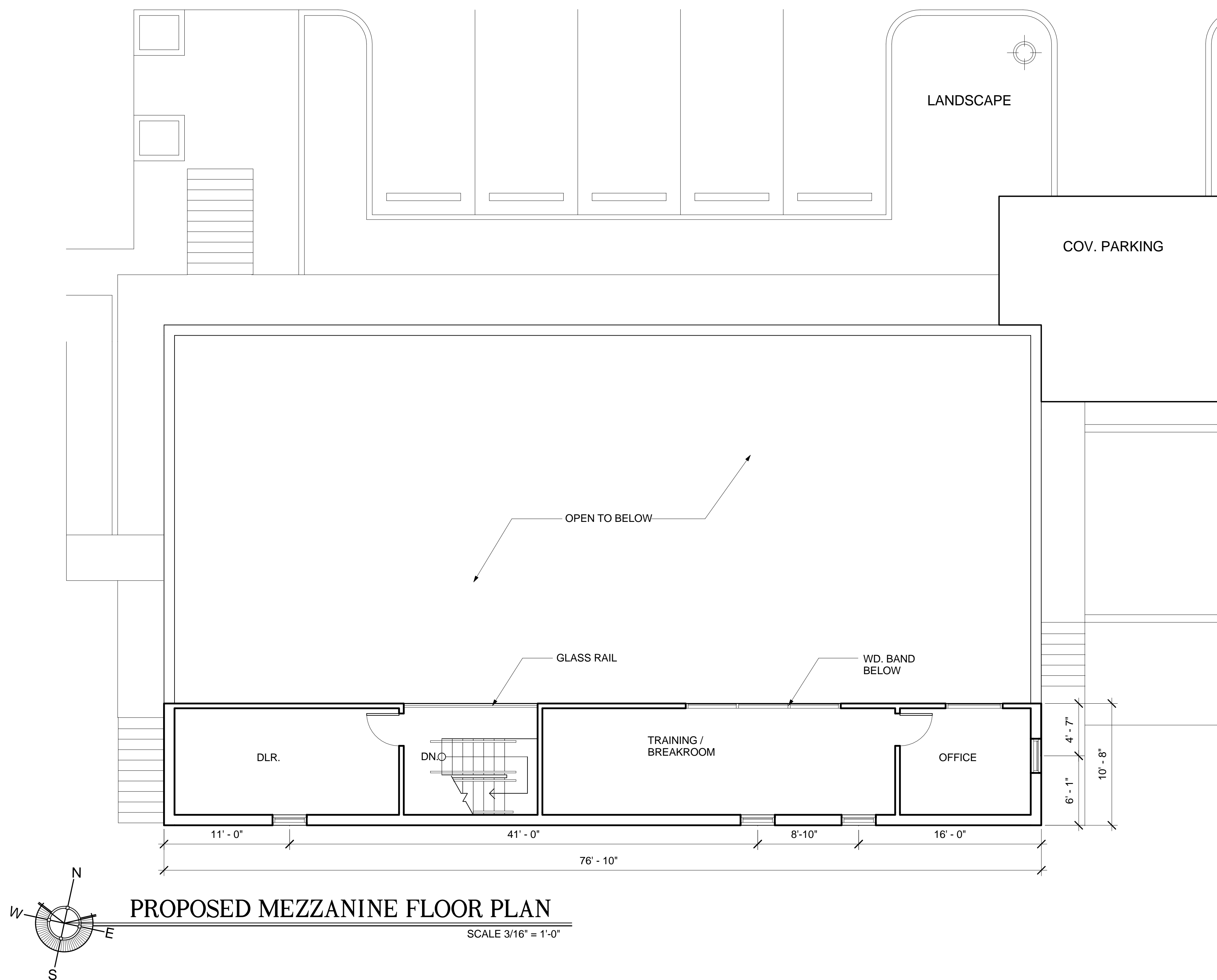


PROPOSED FIRST FLOOR PLAN

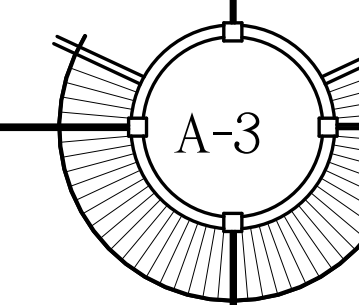
SCALE 3/16" = 1'-0"

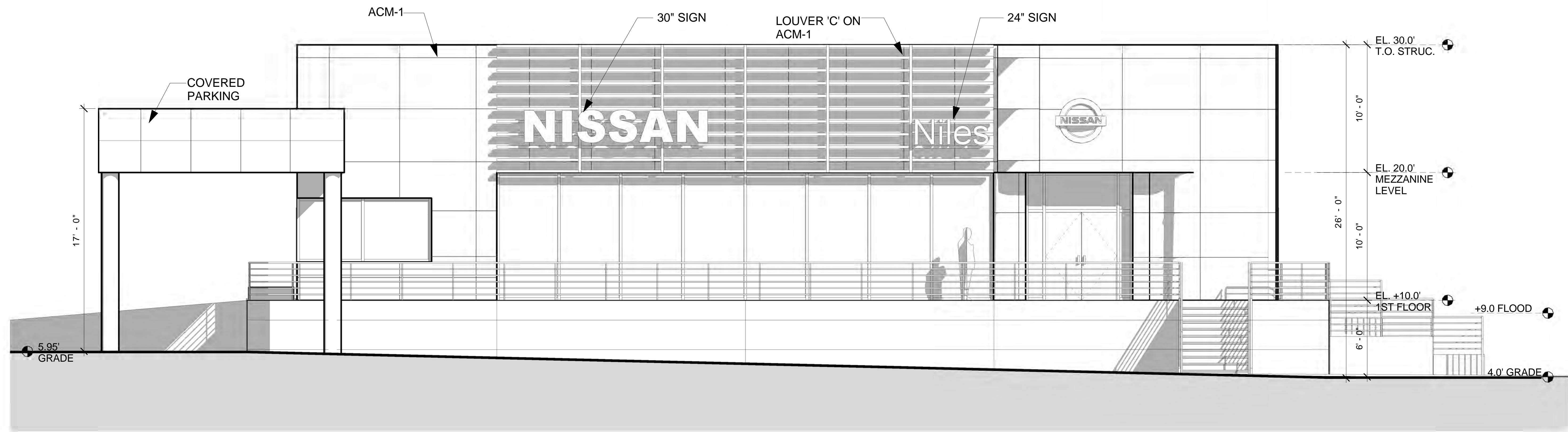
NISSAN DEALERSHIP SHOWROOM
3500 N. ROOSEVELT BLVD.
KEY WEST, FLORIDA



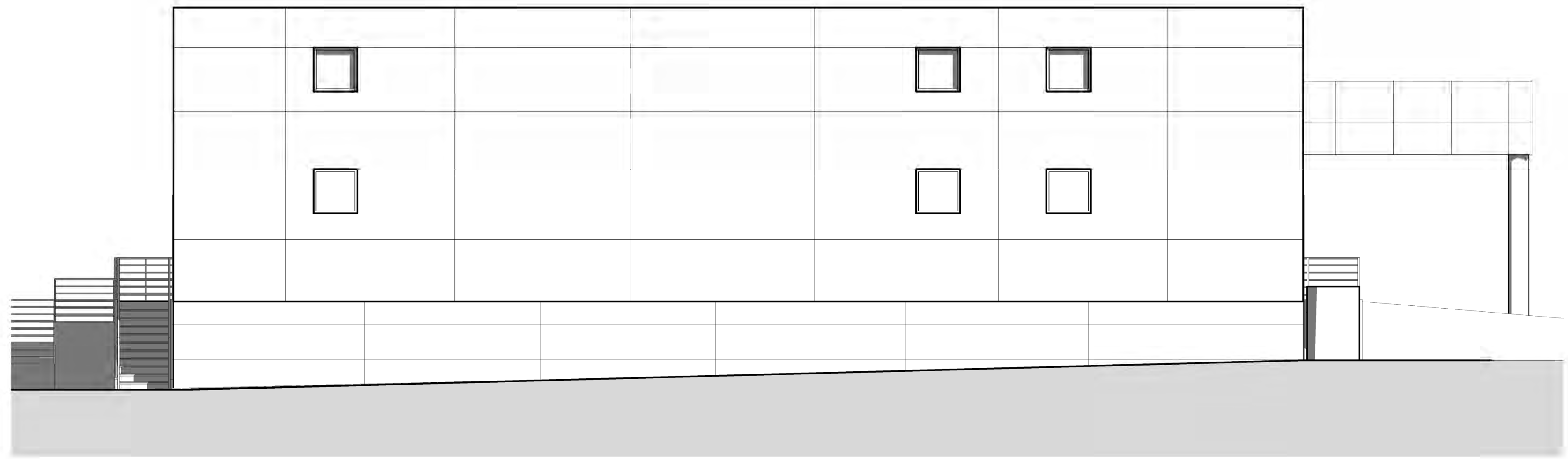


NISSAN DEALERSHIP SHOWROOM
3500 N. ROOSEVELT BLVD.
KEY WEST, FLORIDA



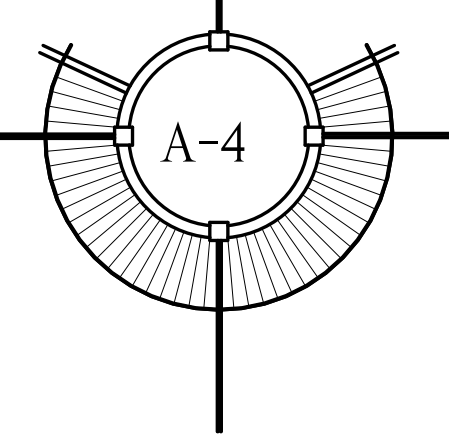


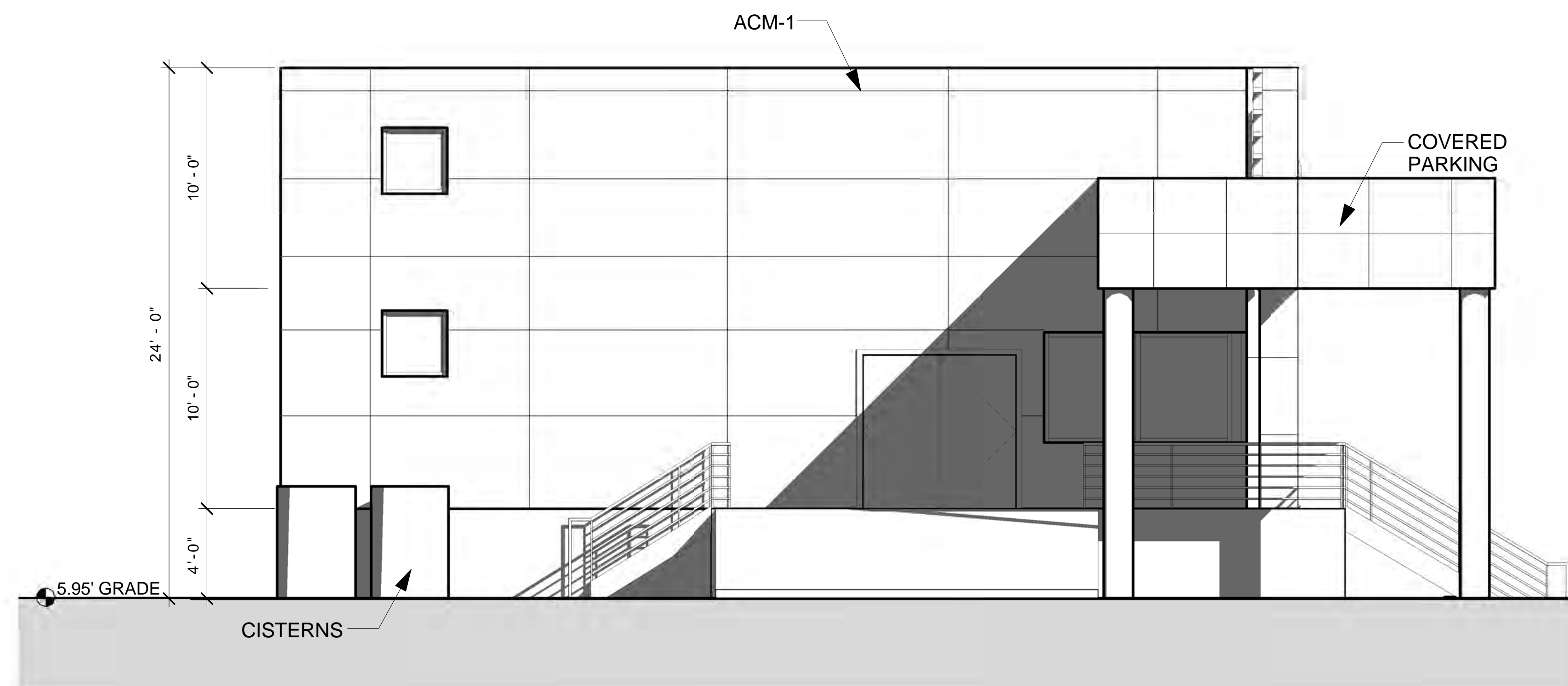
1 NORTH (FRONT) ELEVATION
A4 SCALE 1/4" = 1'-0"



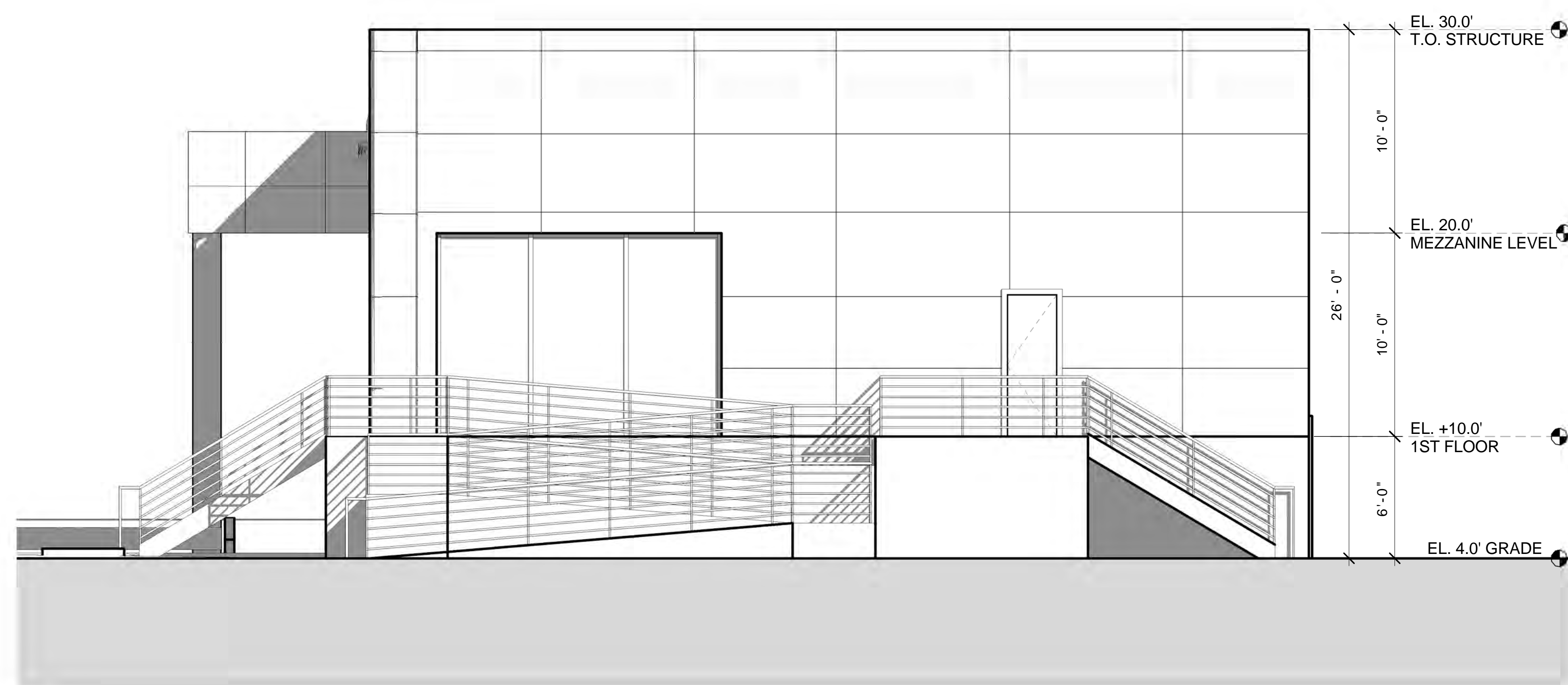
2 SOUTH (REAR) ELEVATION
A4 SCALE 1/4" = 1'-0"

NISSAN DEALERSHIP SHOWROOM
3500 N. ROOSEVELT BLVD.
KEY WEST, FLORIDA



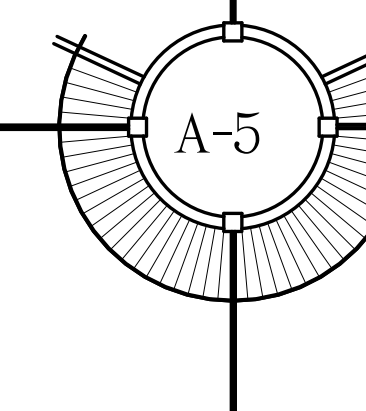


1 SIDE ELEVATION
A5 SCALE 1/4" = 1'-0"



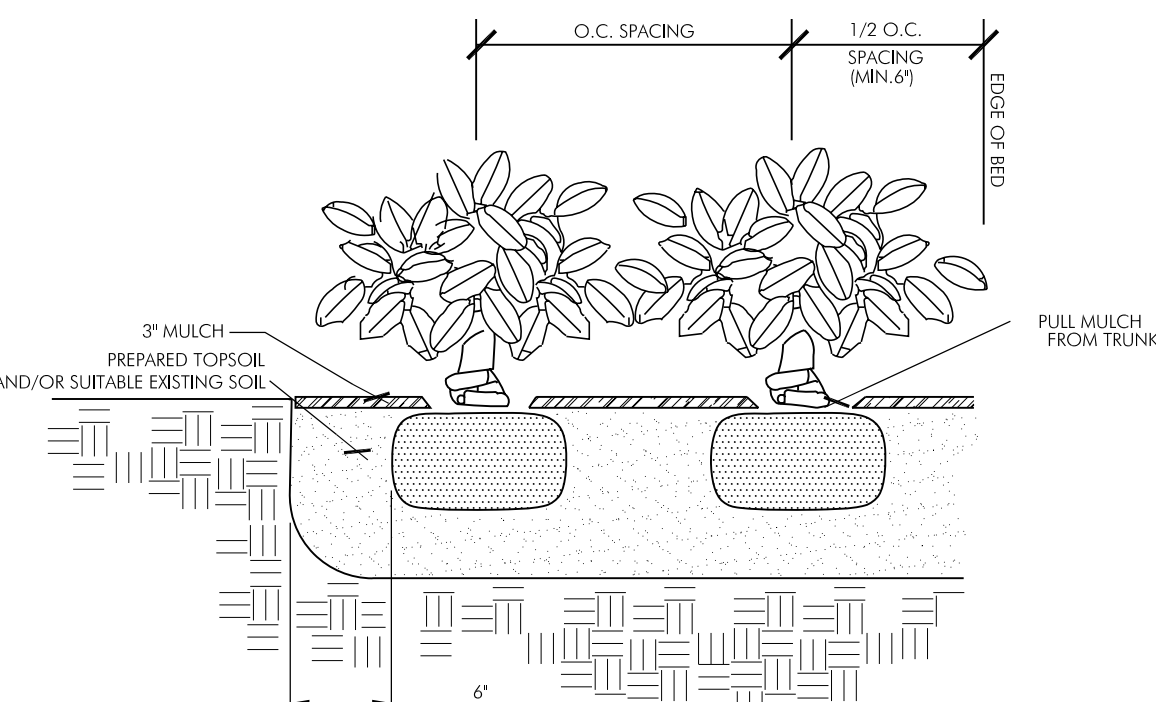
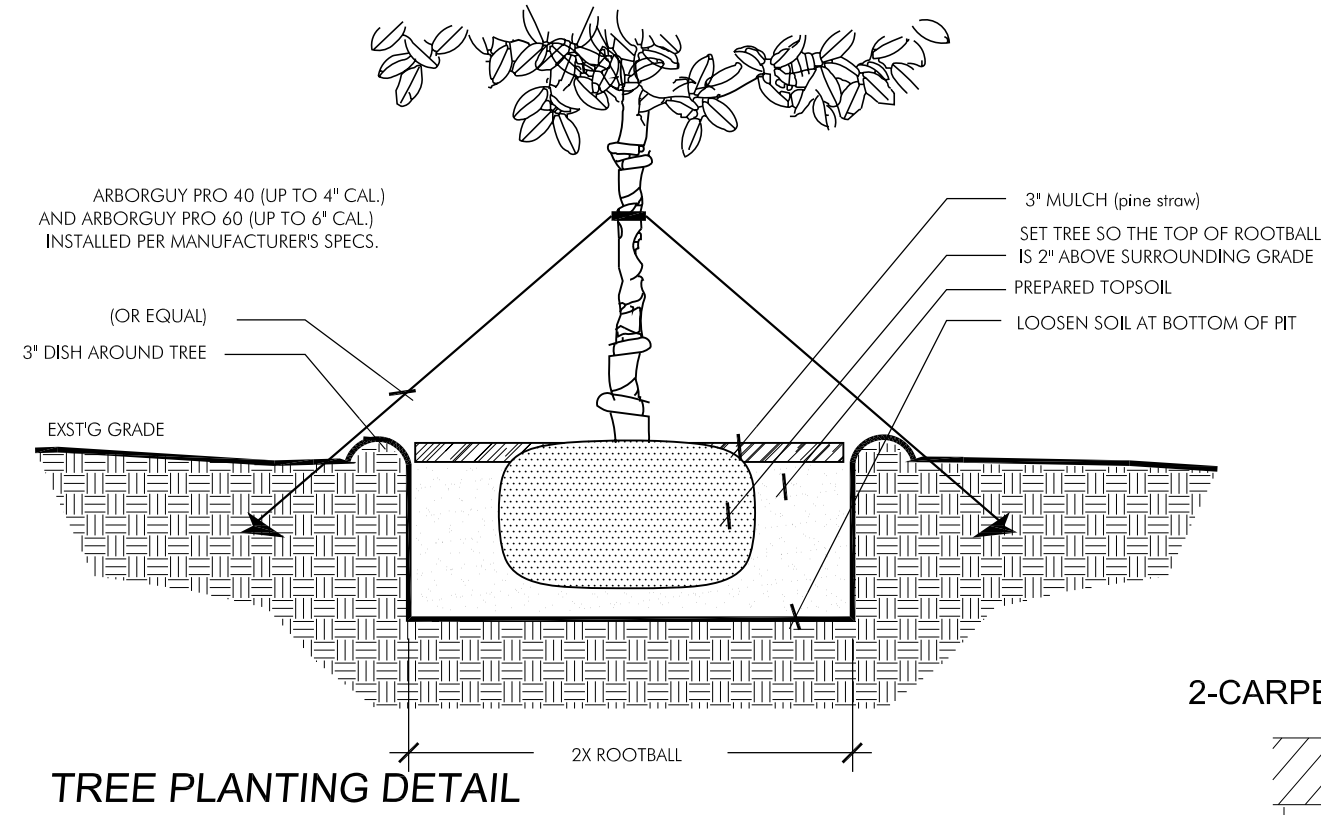
2 SIDE (17TH STREET) ELEVATION
A5 SCALE 1/4" = 1'-0"

NISSAN DEALERSHIP SHOWROOM
3500 N. ROOSEVELT BLVD.
KEY WEST, FLORIDA



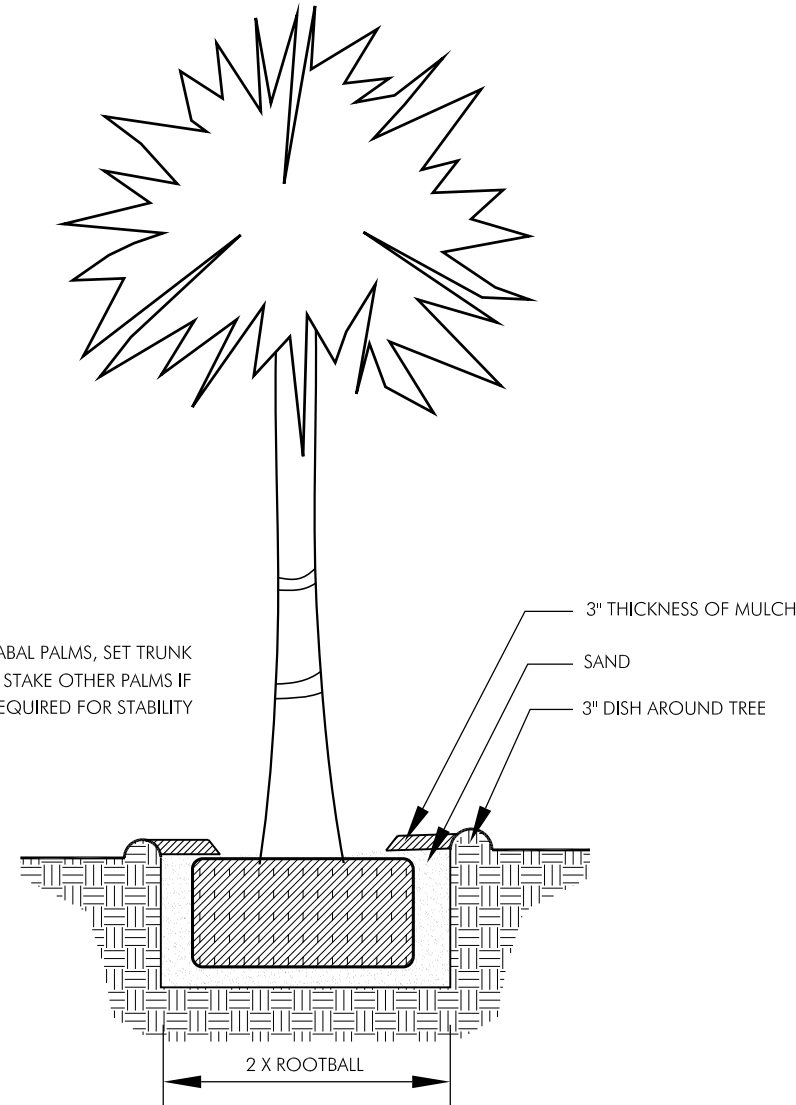
SEE ARCHITECTURAL DRAWINGS FOR SITE DATA AND LANDSCAPE CALCULATIONS

ALL TREES ARE TO BE POSITIONED VERTICALLY REGARDLESS OF THE SLOPE OF THE GROUND IN WHICH THEY ARE PLANTED. WATER RINGS ARE TO BE CONSTRUCTED AT RIGHT ANGLES TO THE TREE OR SHRUB OR IN A MANNER IN WHICH THEY WILL MOST EFFECTIVELY SERVE THE PURPOSE OF RETAINING WATER AT THE BASE OF THE PLANT.



SHRUB PLANTING DETAIL

ALL SHRUBS ARE TO BE POSITIONED VERTICALLY REGARDLESS OF THE SLOPE OF THE GROUND IN WHICH THEY ARE PLANTED. WATER RINGS ARE TO BE CONSTRUCTED AT RIGHT ANGLES TO THE TREE OR SHRUB OR IN A MANNER IN WHICH THEY WILL MOST EFFECTIVELY SERVE THE PURPOSE OF RETAINING WATER AT THE BASE OF THE PLANT.



GENERAL NOTES:

AT LEAST 70% OF THE SPECIFIED SPECIES FOR REQUIRED MATERIAL WILL BE NATIVE AS STIPULATED IN THE MINIMUM NATIVE PLANT REQUIREMENT.

100% OF THE REQUIRED REPLACEMENT TREES SHALL BE NATIVE.

100% IRRIGATION COVERAGE SHALL BE PROVIDED TO ALL PROPOSED PLANTING AREAS. SAID SYSTEM SHALL BE DESIGN TO MAXIMIZE WATER CONSERVATION AND SHALL CONFORM TO SECTION 3-13.12: 'C' OF THE CITY OF KEY WEST CODE. AS BUILT DRAWING REQUIRED.

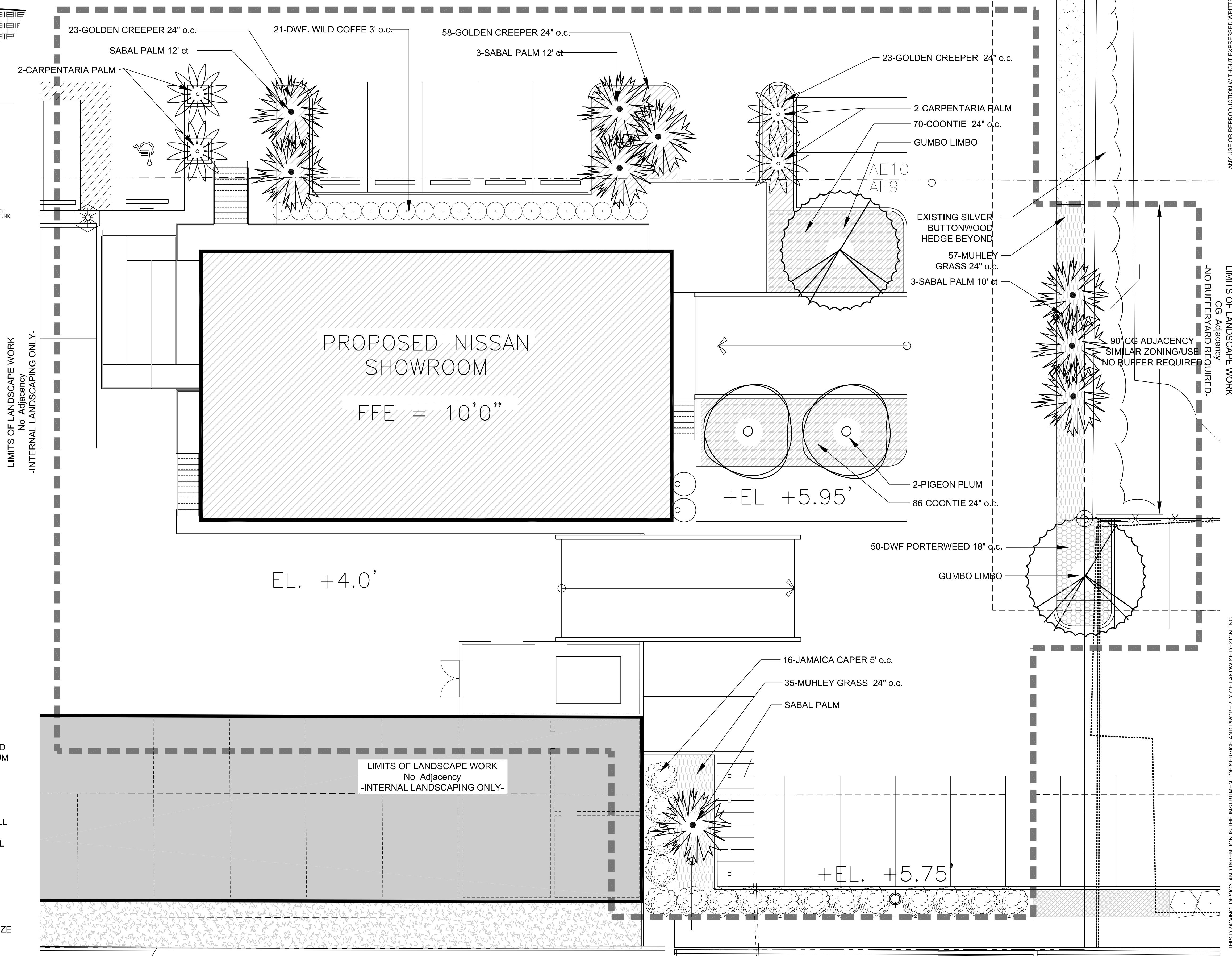
COLLECTED RAINWATER SHALL BE UTILIZED FOR IRRIGATION AND SHALL BE SUPPLEMENTED WITH FKA WATER AS NEEDED.

ALL LARGE CANOPY AND RELOCATED TREES SHALL UTILIZE IRRIGATION BUBBLERS AT BASE OF TREE.

PLANT SCHEDULE (98.6% of the SPECIFIED PLANT MATERIAL IS NATIVE)

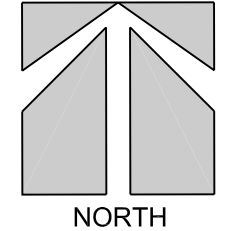
QTY.	COMMON NAME	BOTANICAL NAME	SIZE	NOTE	NATIVE	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	NOTE	NATIVE
PALMS						SHRUBS					
9	SABAL PALM	Sabal palmetto	10'-12' ctr. trnk.	FL #1	NATIVE	21	DWF WILD COFFEE	Psychotria ligustrifolia	3 gal., 24" -36" hgt./sprd.	FL #1	NATIVE
4	CARPENTARIA PALM	Carpentaria acuminata	12' gw	FL #1		16	JAMAICA N CAPER	Capparis cynophallophora	45 gal., 6'-8' hgt/ 3'-4' sprd.	FL #1	NATIVE
TREES						GROUNDCOVERS					
2	PIGEON PLUM	Coccoloba diversifolia	4" cal., 14-16" o.h., 10-12' sprd.	FL #1	NATIVE	92	MUHLEY GRASS	Muhlenbergia capillaris	1 gal., full	FL #1	NATIVE
2	GUMBO LIMBO	Bursera simaruba	4" cal., 14-16" o.h., 10-12' sprd.	FL #1	NATIVE	104	GOLDEN CREEPER	Ernodea littoralis	1 gal., full	FL #1	NATIVE
						50	DWF PORTERWEED	Stachytarpheta jamaicensis	1 gal., full	FL #1	NATIVE
						146	COONTIE	Zamia pumilia	3 gal., full	FL #1	NATIVE

LIMITS OF LANDSCAPE WORK
No Adjacency
-INTERNAL LANDSCAPING ONLY-



NILES NISSAN

3500 NORTH ROOSEVELT BLVD.
KEY WEST, FL 33040



SCALE: 1/8" = 1'-0"



11.18.15

LANDSCAPE PLAN

(Architectural Improvement Area)

DATE 11.3.15

REVISIONS:

No.	Date	Notes
1.	11.18.15	TC STAFF REVISIONS
2.		
3.		
4.		
5.		
6.		
7.		

Construction Documents

DRC Submittal

SHEET NUMBER:

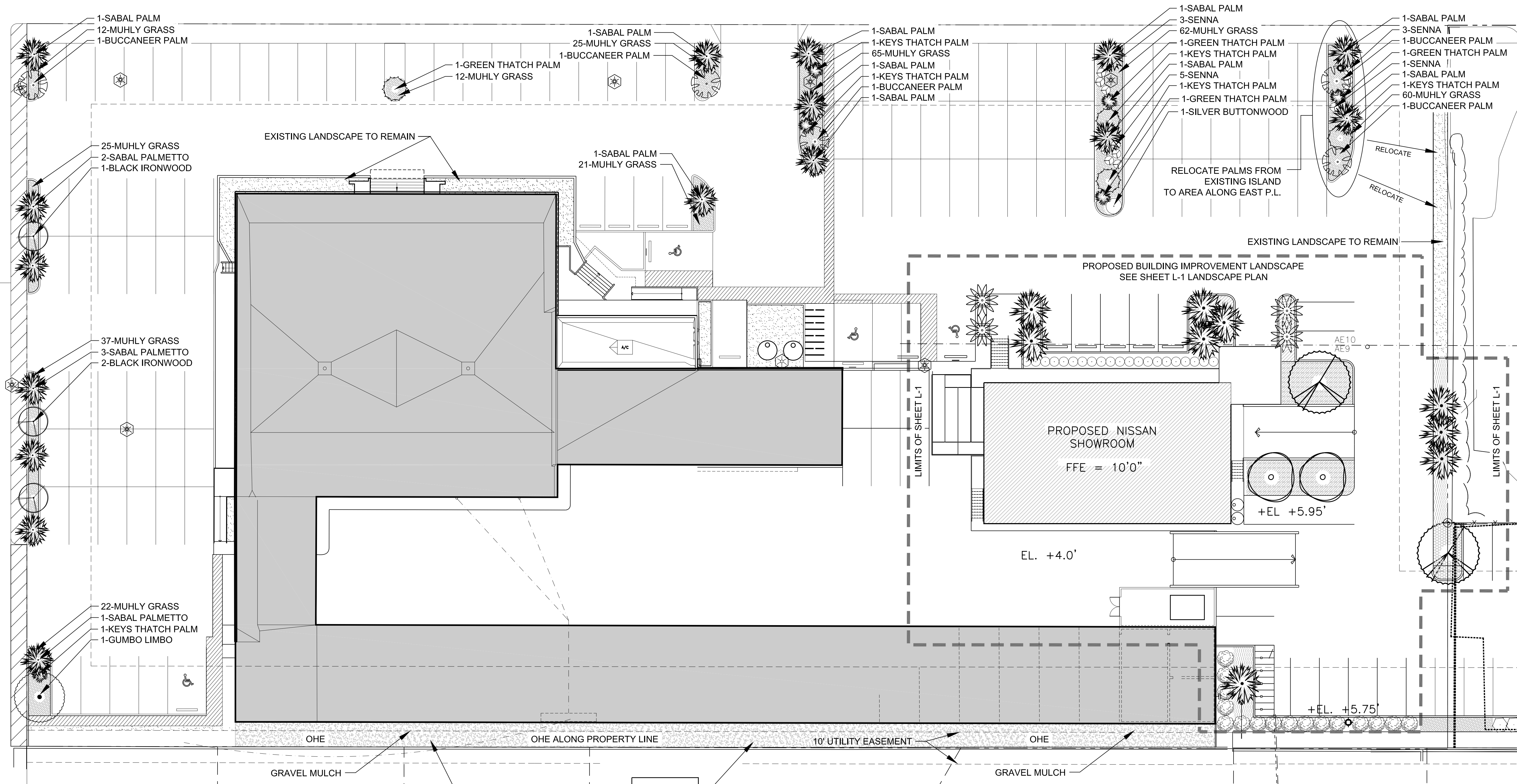
L-1

JOB #: 14007 DRAWN BY: LBR
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1822 TAPESTRY PARK CIRCLE, SUITE 201 JACKSONVILLE, FL 32246 904.343.4194

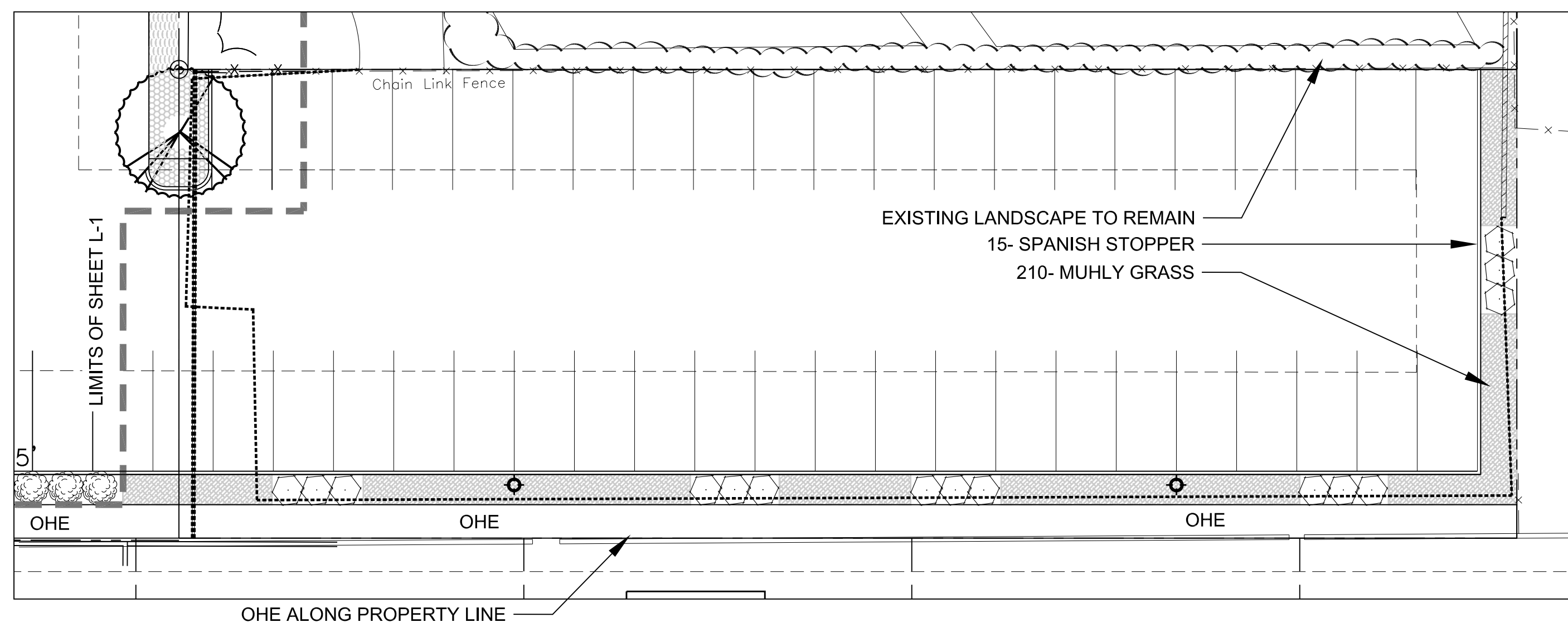
SEE ARCHITECTURAL DRAWINGS FOR SITE DATA AND LANDSCAPE CALCULATIONS



REMOVE INVASIVE EXOTICS "BRAZILIAN PEPPER" AND REPLACE WITH GRAVEL MULCH FOR MAINTENANCE PURPOSES TO KEEP AREA CLEAN AND SAFE

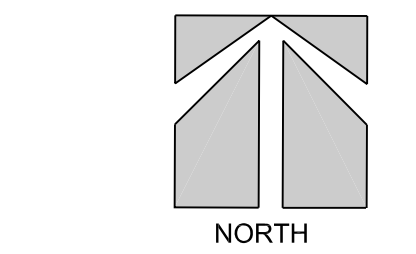
NOTE: THE OVERALL LANDSCAPE PLAN WAS PREVIOUSLY APPROVED AND SUBMITTED BY INDIGENOUS DESIGN GROUP (ECOSCAPES circa 2007). THE PLAN HAS BEEN RECREATED HERE FOR REFERENCE. (SHEET L-2/L-3).

MINOR IMPROVEMENTS HAVE BEEN APPLIED TO THE PLAN TO BETTER COORDINATE WITH EXISTING LANDSCAPING AND SITE CONDITIONS.

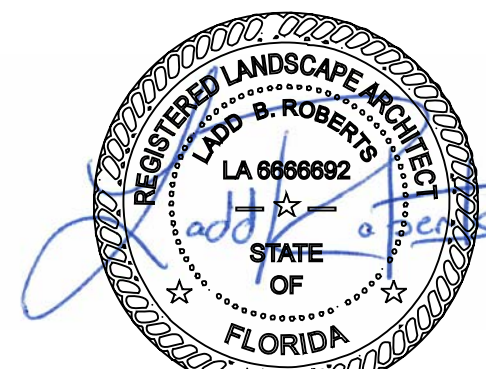


NILES NISSAN

3500 N. ROOSEVELT STREET
KEY WEST, FL 33040



SCALE: 1/8" = 1'-0"



11.18.15

OVERALL LANDSCAPE PLAN
(PREVIOUSLY APPROVED)

DATE 11.03.15

REVISIONS:

No.	Date	Notes
1.	11.18.15	TC STAFF REVISIONS
2.		
3.		
4.		
5.		
6.		
7.		

Construction Documents

SHEET NUMBER:

L-2

JOB #: 14007 DRAWN BY: LBR
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GENERAL NOTES:

AT LEAST 70% OF THE SPECIFIED SPECIES FOR REQUIRED MATERIAL WILL BE NATIVE AS STIPULATED IN THE MINIMUM NATIVE PLANT REQUIREMENT.

100% OF THE REQUIRED REPLACEMENT TREES SHALL BE NATIVE.

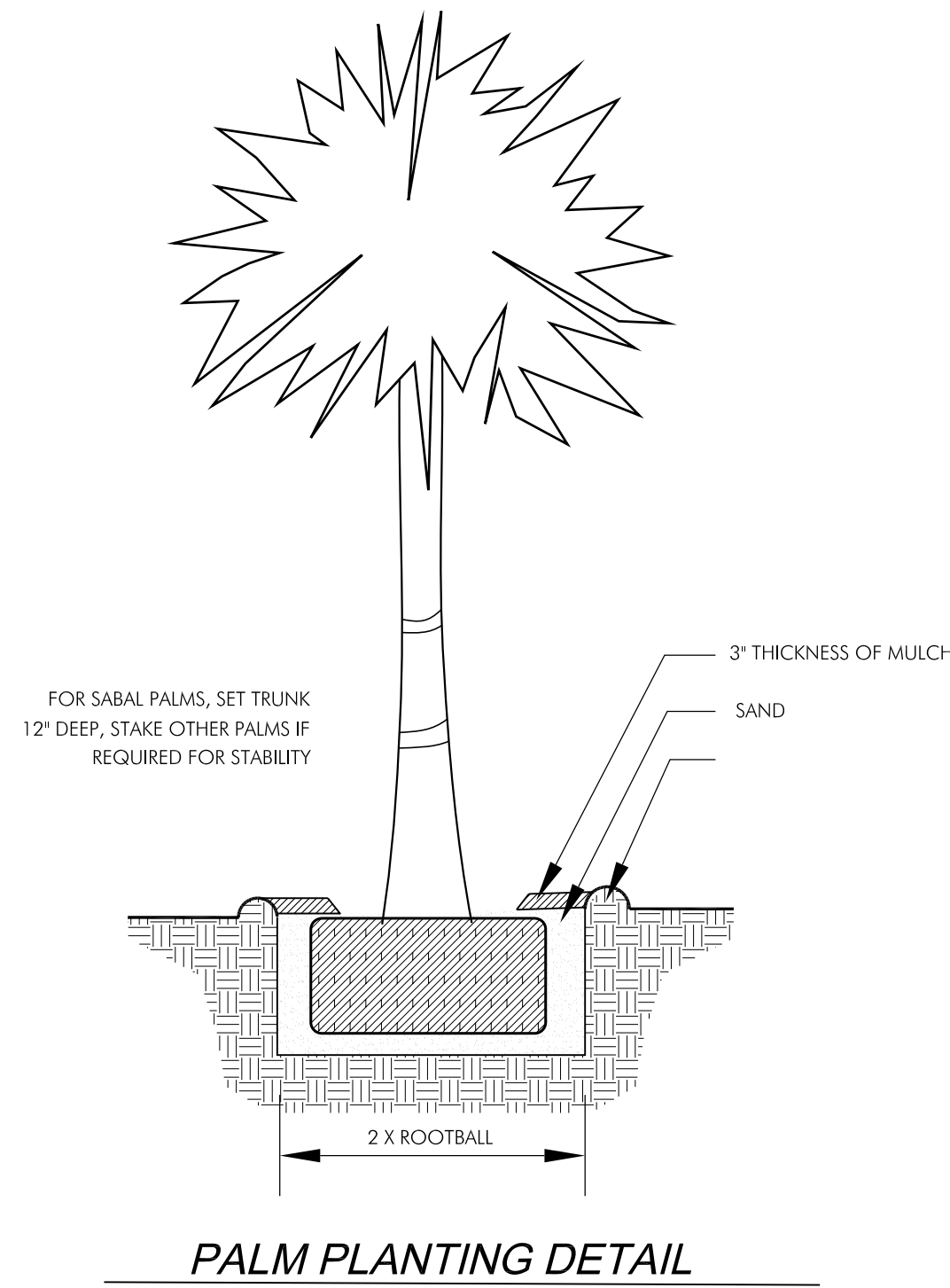
100% IRRIGATION COVERAGE SHALL BE PROVIDED TO ALL PROPOSED PLANTING AREAS. SAID SYSTEM SHALL BE DESIGN TO MAXIMIZE WATER CONSERVATION AND SHALL CONFORM TO SECTION 3-13.12: 'C' OF THE CITY OF KEY WEST CODE. AS BUILT DRAWING REQUIRED.

ALL LARGE CANOPY AND RELOCATED TREES SHALL UTILIZE IRRIGATION BUBBLERS AT BASE OF TREE.

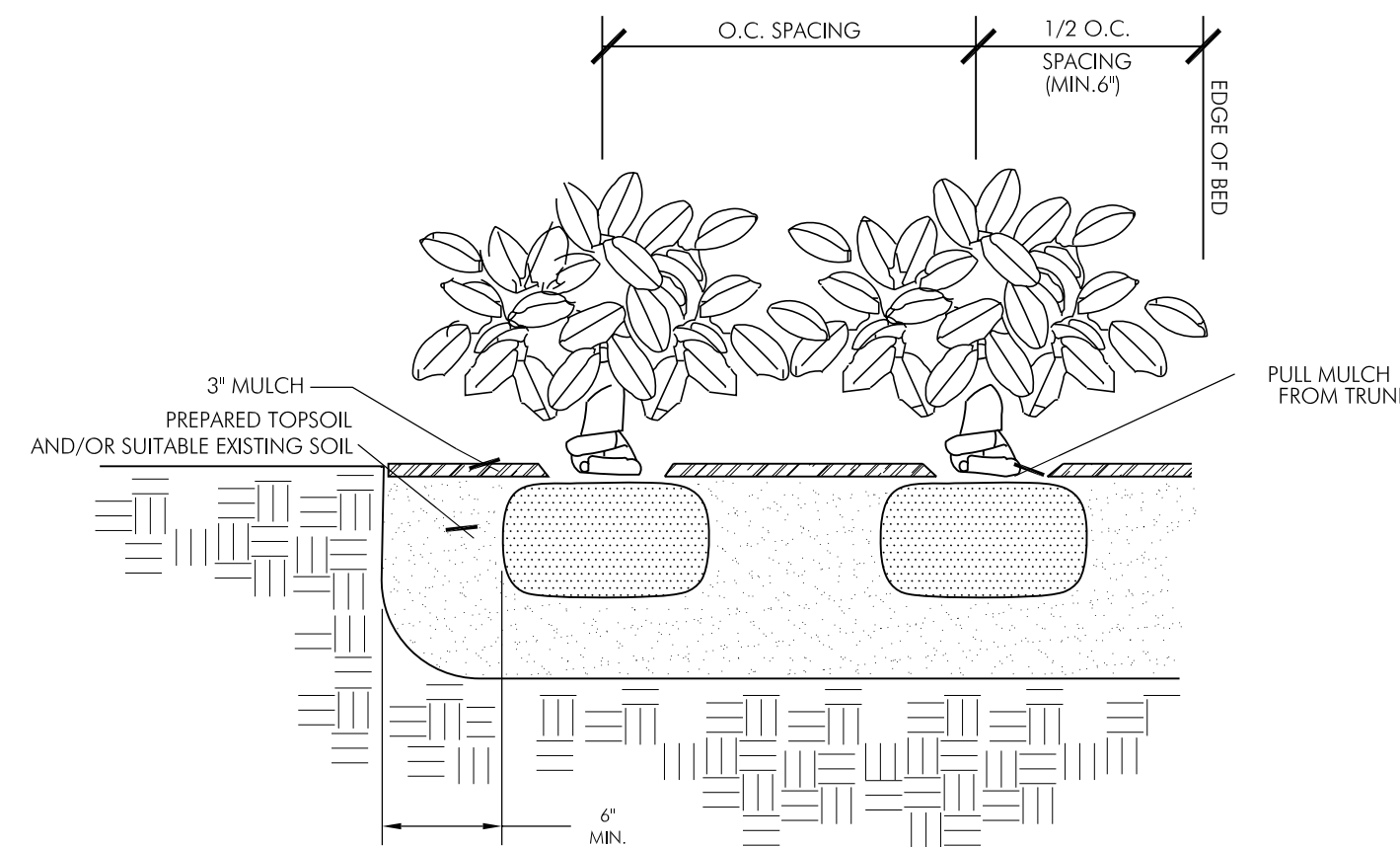
Planting Schedule (Overall Landscape Improvements)

QTY.	COMMON NAME	BOTANICAL NAME	SIZE	NOTE	NATIVE
PALMS					
16	SABAL PALM	Sabal palmetto	12'-18' dr. trnk.	FL #1	NATIVE
6	KEY THATCH PALM	Thrinax morrisii	4-6' o.h.	FL #1	NATIVE
4	FLA. THATCH PALM	Thrinax radiata	6' o.h.	FL #1	NATIVE
5	BUCCANEER PALM	Pseudophoenix sargentii	30 gal. 6'-8' o.h.	FL #1	NATIVE
TREES					
CANOPY					
1	GUMBO LIMBO	Bursera simaruba	4" cal., 14-16' o.h.	FL #1	NATIVE
1	SILVER BUTTONWOOD	Silver buttonwood	2" cal. 10'-12' o.h.	FL #1	NATIVE
UNDERSTORY					
3	BLACK IRONWOOD	Krugiodendron ferreum	1.5" cal. 6'-8' o.h.	FL #1	NATIVE
15	SPANISH STOPPER	Eugenia foetida	30 gal., 6'-8' o.h.	FL #1	NATIVE
SHRUBS					
8	SENNA	Mexicana chapmanii	7 gal., 36"-40" hgt./sprd.	FL #1	NATIVE
GROUNDCOVER					
551	MUHLI GRASS	Muhlenbergia capillaris	1 gal., full	FL #1	NATIVE

SEE SHEET L-1 FOR PLANTING SCHEDULE ASSOCIATED WITH PROPOSED ARCHITECTURAL IMPROVEMENTS.

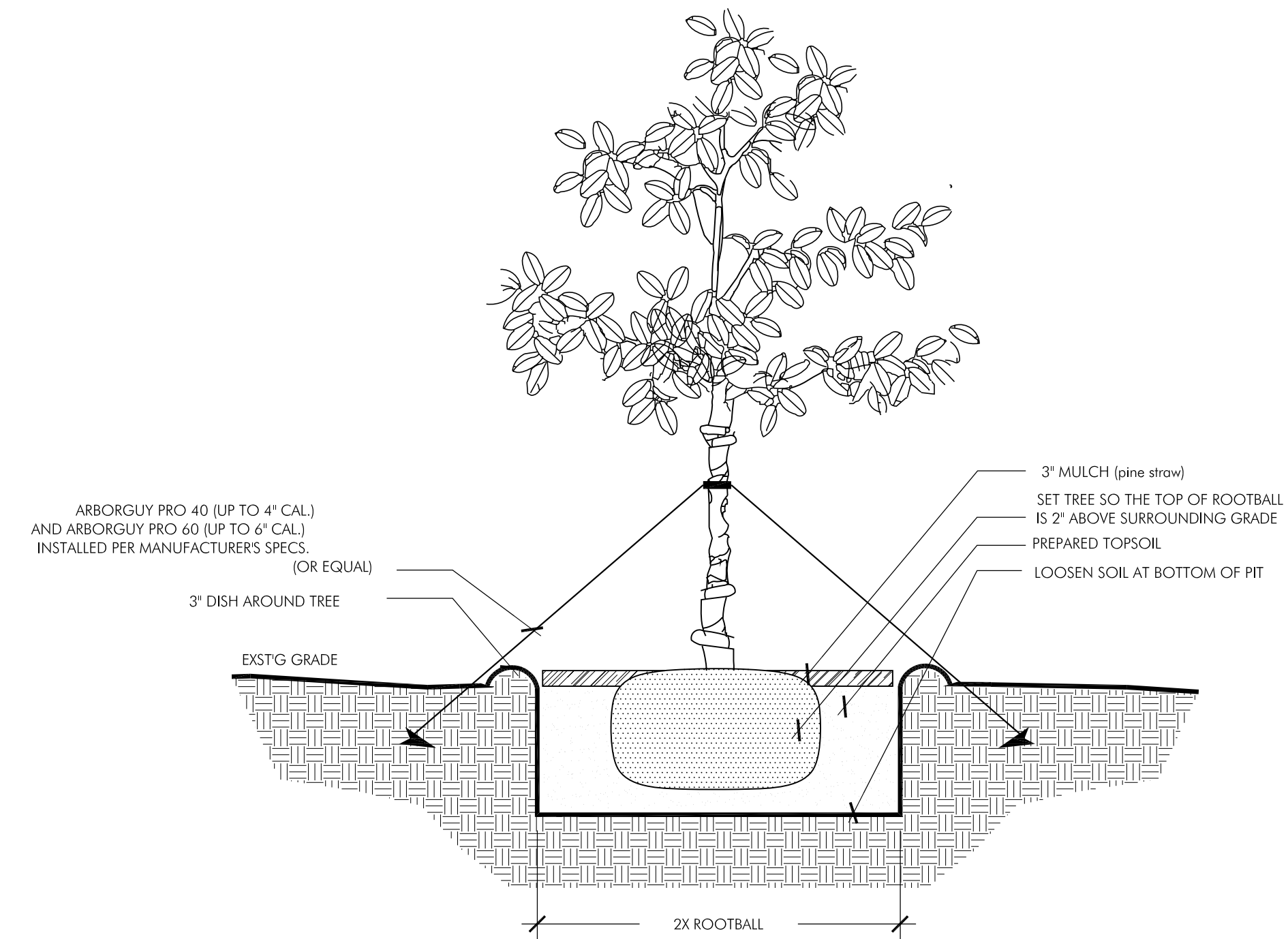


PALM PLANTING DETAIL



SHRUB PLANTING DETAIL

ALL SHRUBS ARE TO BE POSITIONED VERTICALLY REGARDLESS OF THE SLOPE OF THE GROUND IN WHICH THEY ARE PLANTED. WATER RINGS ARE TO BE CONSTRUCTED AT RIGHT ANGLES TO THE TREE OR SHRUB OR IN A MANNER IN WHICH THEY WILL MOST EFFECTIVELY SERVE THE PURPOSE OF RETAINING WATER AT THE BASE OF THE PLANT.



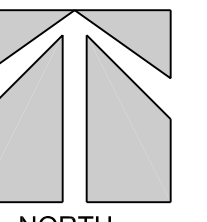
TREE PLANTING DETAIL

ALL TREES ARE TO BE POSITIONED VERTICALLY REGARDLESS OF THE SLOPE OF THE GROUND IN WHICH THEY ARE PLANTED. WATER RINGS ARE TO BE CONSTRUCTED AT RIGHT ANGLES TO THE TREE OR SHRUB OR IN A MANNER IN WHICH THEY WILL MOST EFFECTIVELY SERVE THE PURPOSE OF RETAINING WATER AT THE BASE OF THE PLANT.

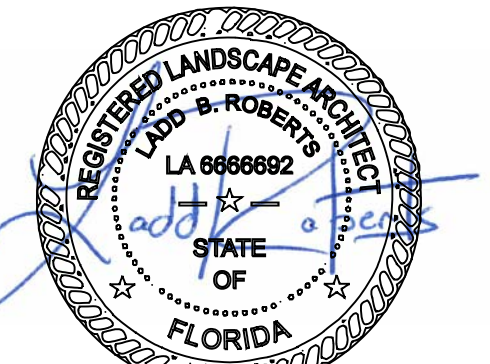
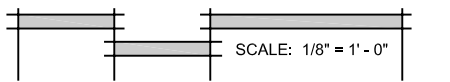
THE ROOTBALL OF THE TREE SHOULD BE POSITIONED IN THE HOLE SO THAT THE FINISH GRADE OF THE BACKFILL SOIL AND LANDSCAPE SOIL IS 2" LOWER THAN THE TOP OF THE ROOTBALL. MULCH SHOULD COVER THE EDGE OF THE ROOTBALL, DO NOT MULCH ON TOP OF ROOTBALL.

NILES NISSAN

3500 N. ROOSEVELT STREET
KEY WEST, FL 33040



NORTH



11.18.15

**OVERALL
PLANT SCHEDULE & DETAILS**
(PREVIOUSLY APPROVED)

DATE 11.03.15

REVISIONS:

No.	Date	Notes
1.	11.18.15	TC STAFF REVISIONS
2.		
3.		
4.		
5.		
6.		
7.		

Construction Documents

SHEET NUMBER:

L-3

JOB #: 14007 DRAWN BY: LBR

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WILLIAM P. HORN
ARCHITECT, P.A.

915 EATON ST.
KEY WEST,
FLORIDA
33040

TEL. (305) 296-8302
FAX (305) 296-1033

LICENSE NO.
AA 0003040

NEW NISSAN SHOWROOM
NILES SALES AND SERVICE
3500 N. ROOSEVELT BLVD.
KEY WEST, FL.

SEAL _____

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DATE _____

04-01-15 DRC

REVISIONS _____

DRAWN BY _____

BH
EMA

PROJECT
NUMBER _____

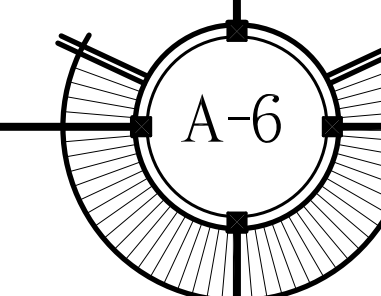
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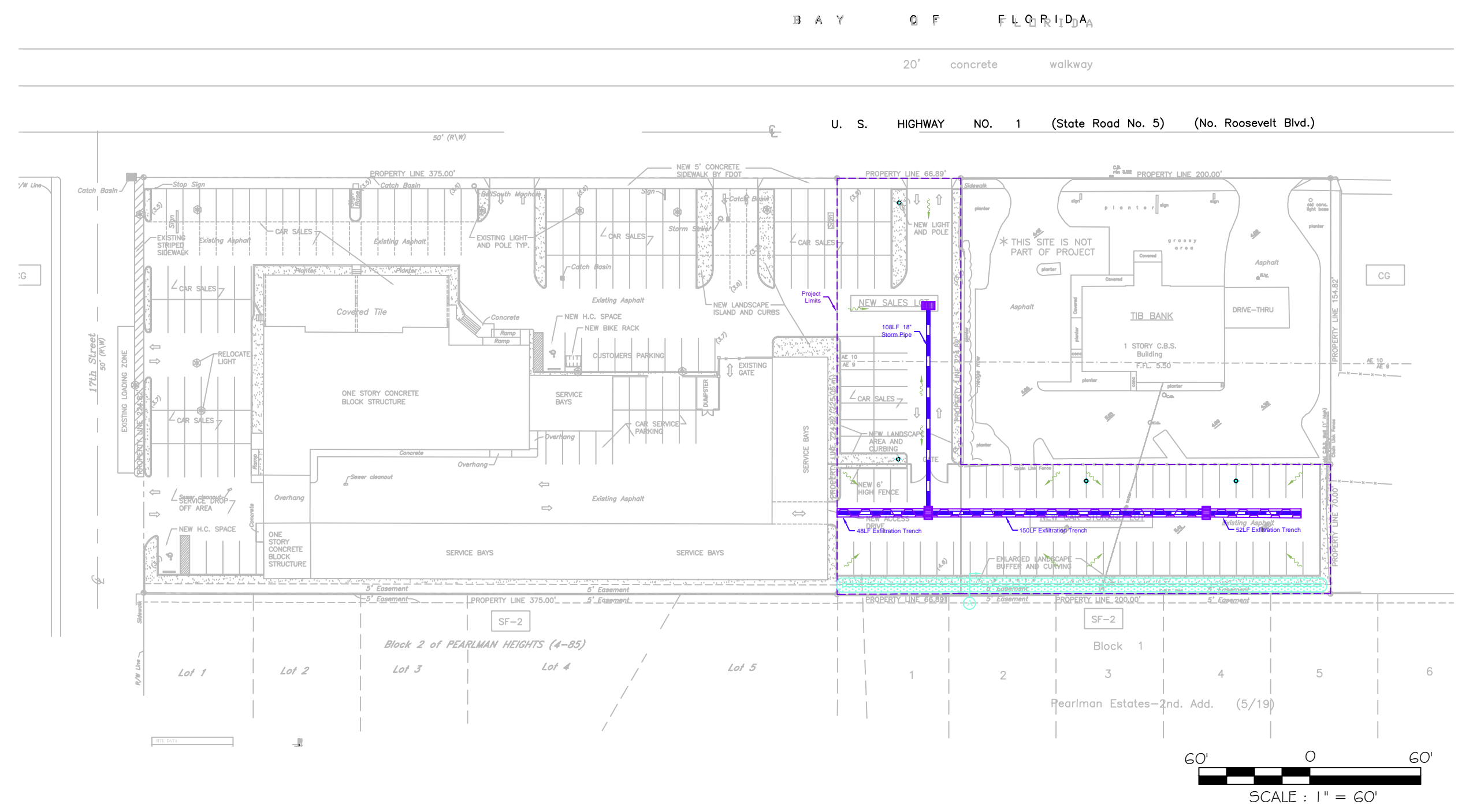
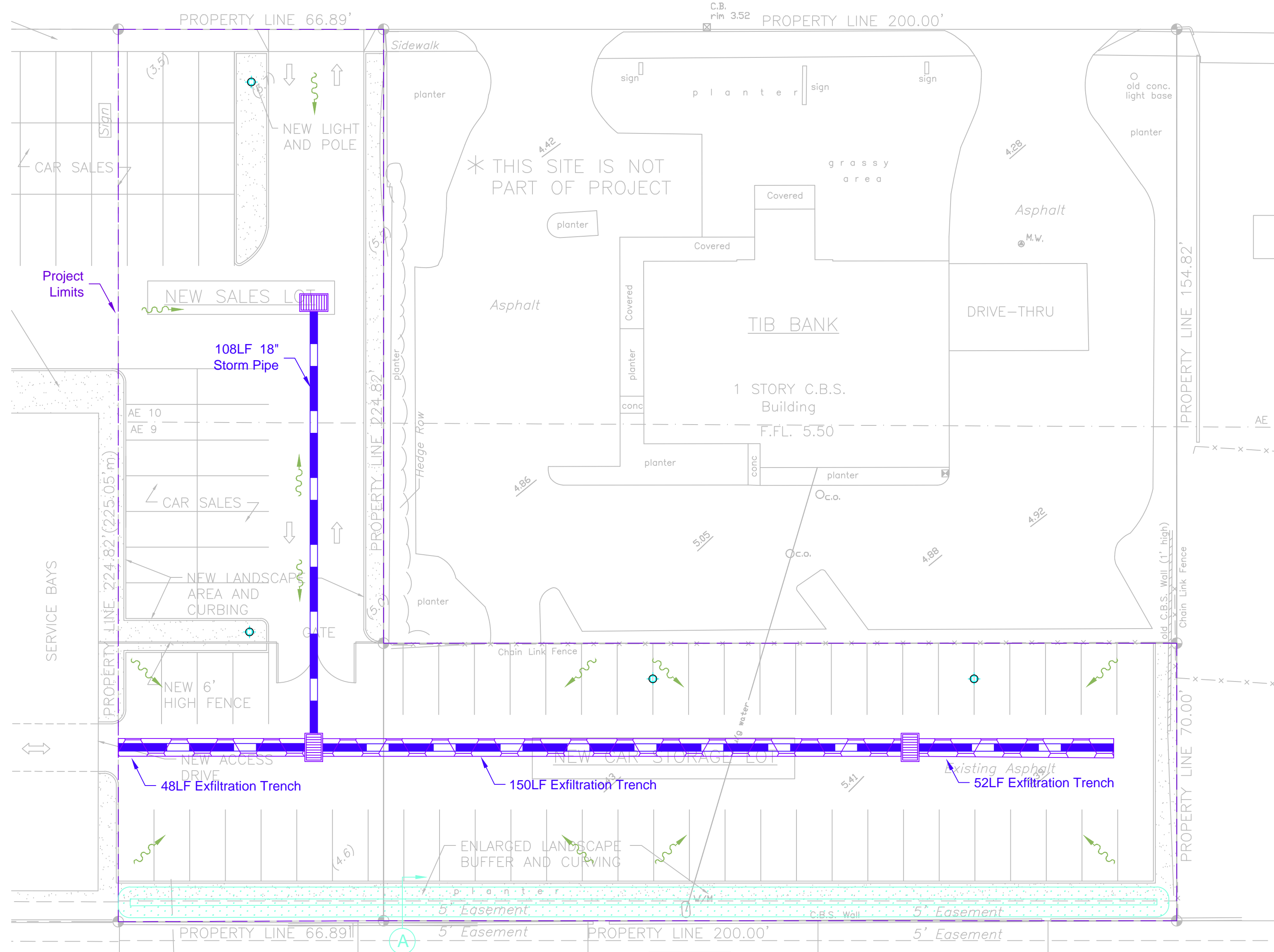


FRONT RENDERING

N.T.S.

NEW NISSAN SHOWROOM
3500 N. ROOSEVELT BLVD.
KEY WEST, FLORIDA





**Niles Sales & Service
Drainage Calculations**

Water Quantity - Predevelopment

Project Area	0.67 ac	29,055 sf
Pervious Area	0.04 ac	1,655 sf
Impervious Area	0.63 ac	27,399 sf
% Impervious	94.30%	

Rainfall for 25yr/24hr event (P)	9 in
Rainfall for 25yr/3day event (P)	12.23 in

Depth to Water Table	4 ft
Predeveloped Available Storage	8.18 in
Soil Storage (S)	0.47 in

$Q_{pre} = \frac{(P - 0.2S)^2}{(P + 0.8S)}$ = 11.69 in

Water Quantity - Postdevelopment

Project Area	0.67 ac	29,055 sf
Pervious Area	0.10 ac	4,312 sf
Impervious Area	0.57 ac	24,742 sf
% Impervious	85.2%	

Rainfall for 25yr/24hr event (P)	9 in
Rainfall for 25yr/3day event (P)	12.23 in

Depth to Water Table	4 ft
Developed Available Storage	8.18 in
Soil Storage (S)	1.21 in

$Q_{post} = \frac{(P - 0.2S)^2}{(P + 0.8S)}$ = 10.89 in

Runoff Volume from 25 year/ 3 day storm	7.26 ac-in
---	------------

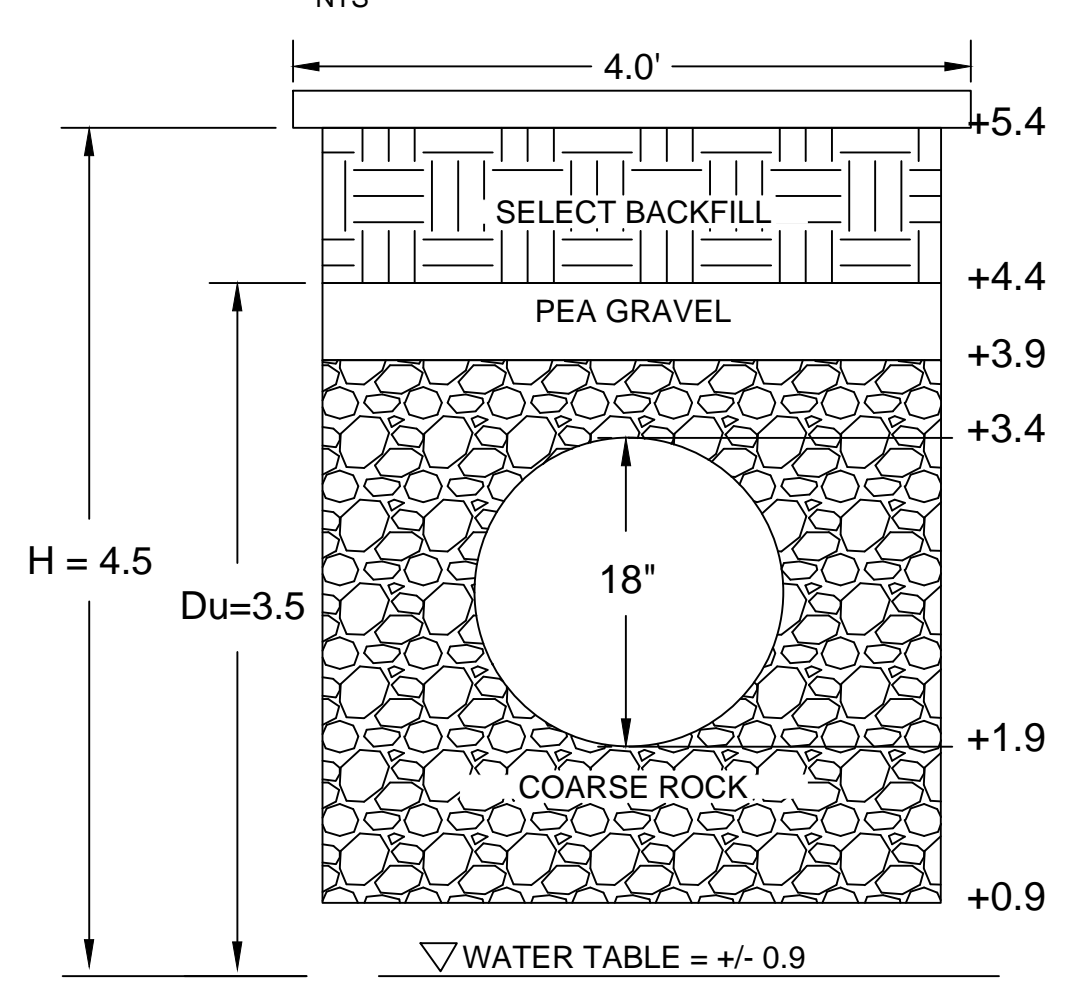
Postdevelopment - Predevelopment

$Q_{post} - Q_{pre}$	-0.80 in
Volume = QA	-0.54 ac-in

Water Quality

Project Area	0.67 ac	29054.52 sf
Surface Water	0.00 ac	0.00 sf
Roof Area	0.00 ac	0.00 sf
Pavement/Walkways/Pools	0.57 ac	24742.08 sf
Pervious area	0.10 ac	4312.44 sf

Exfiltration Trench Detail



Filter Fabric On Each Side And Overlapped On Top.

NOTE: Drainage System On Existing Niles Sales & Service Site To Remain As Is.

Exfiltration Trench

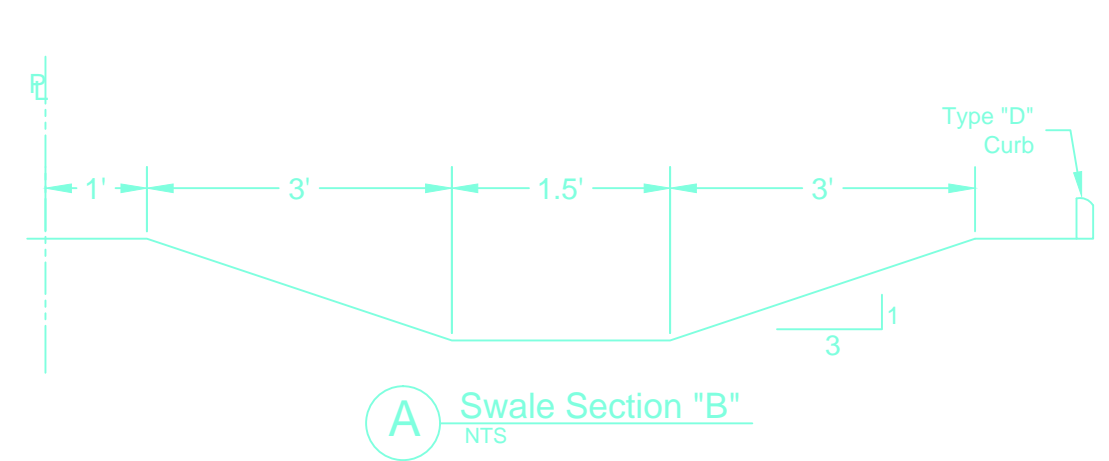
The exfiltration trench is sized to handle one-half inch of runoff from the drainage basin.

Required trench length (L) = $\frac{V}{K(H2W+2H2Du - Du^2 + 2H2Ds) + 1.39 \times 10^{-4}(W)(Du)}$

Hydraulic Conductivity, K =	0.0001
H =	4.5 ft
W =	4 ft
Du =	3.5 ft
Ds =	0 ft
Required Volume of Trench, V =	1.092 ac-in
Trench Length =	193
Actual Volume of Trench, V = (Actual Trench Length - 250)	1.41775

LEGEND

	Storm Inlet
	Exfiltration Trench
	Storm Pipe
	Flow Arrow



REVISIONS:

1	Conceptual Drainage Plan	08-27-07
2		
3		
4		
5		
6		

GENERAL NOTES

- THE CONTRACTOR SHALL REVIEW ALL DRAWINGS AND SPECIFICATIONS AND ADVISE THE ENGINEER OF ANY CONFLICTS OF REPRESENTATION BETWEEN DRAWINGS AND/OR SPECIFICATIONS PRIOR TO COMMENCING WITH CONSTRUCTION.
- THE CONTRACTOR SHALL FIELD-VERIFY EXISTING CONDITIONS PRIOR TO PERFORMING ANY WORK UNDER THIS CONTRACT AND NOTIFY THE ENGINEER IN WRITING OF ANY DIFFERENCES BEFORE COMMENCING WITH ANY CONSTRUCTION.
- HORIZONTAL COORDINATES ARE BASED ON FLORIDA STATE PLANE COORDINATE SYSTEM. VERTICAL ELEVATIONS ARE BASED ON NGVD 1929 DATUM.
- THE LOCATIONS, SIZES, AND ELEVATIONS OF EXISTING UTILITIES AS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER TO OBTAIN ANY AVAILABLE RECORD DRAWINGS AND SHALL DETERMINE THE EXACT LOCATION AND ELEVATION IN THE FIELD. THE CONTRACTOR SHALL ANTICIPATE THAT SCANNING AND EXCAVATION USING LIGHT EQUIPMENT AND HAND METHODS WILL BE NECESSARY IN AREAS NEAR EXISTING UTILITIES AND STRUCTURES TO AVOID DAMAGING THESE FACILITIES. THE CONTRACTOR SHALL CONTACT BELLSOUTH, THE LOCAL TELEPHONE COMPANY AND COMCAST, THE LOCAL CABLE TV PROVIDER TO VERIFY THE LOCATION OF BURIED TELEPHONE AND CABLE TV UTILITIES. NONE HAVE BEEN INDICATED ON THE DRAWINGS. CALL 1-800-432-4770 BEFORE DIGGING OR TRENCHING OPERATIONS BEGIN. CONTRACTOR SHALL ALSO CONTACT KEYS ENERGY ENGINEERING OFFICE TO LOCATE SECONDARY ELECTRIC LINES.
- THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION AND ELEVATION IN THE FIELD PRIOR TO INSTALLING ANY NEW WORK THAT CROSSES OR CONNECTS TO EXISTING UTILITY SYSTEMS. LOCATIONS OF NEW UTILITIES SHALL BE ADJUSTED IN A MANNER APPROVED BY THE ENGINEER TO AVOID CONFLICTS. DAMAGES TO UTILITIES RESULTING FROM THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE CLIENT.
- ALL EXCAVATION, TRENCHING, SHEETING, SHORING AND BRACING SHALL BE INSTALLED AS REQUIRED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS, INCLUDING OSHA (29 CFR 1926).
- ALL ITEMS INDICATED TO BE REMOVED OR DEMOLISHED SHALL BE REVIEWED WITH THE DEVELOPER TO DETERMINE IF THE ITEM IS TO BE PROPERTY OF THE CONTRACTOR. ALL ITEMS SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS, UNLESS OTHERWISE NOTED. NO SALVAGE VALUE IS EXPRESSED OR IMPLIED BY THESE CONTRACT DOCUMENTS FOR ANY ITEMS TO BE REMOVED OR DEMOLISHED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SECURITY OF THE CONTRACTOR'S EQUIPMENT, MATERIALS, AND PERSONNEL, AND SHALL PROVIDE ADEQUATE BARRIERS TO PREVENT RISK TO OTHERS FROM THE CONTRACTOR'S ACTIVITIES.
- WHERE ACTUAL DIMENSIONS AND SIZES ARE PROVIDED IN THE DRAWINGS, THEY SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. LARGE SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS.
- THE CONTRACTOR SHALL SEQUENCE HIS OPERATIONS SUCH THAT ORANGE MESH SAFETY FENCING IS PROVIDED ALONG ALL AREAS BEING TRENCHED AND NO TRENCH IS LEFT OPEN AT THE END OF THE WORK DAY.
- NO CONNECTIONS FOR THE PURPOSE OF OBTAINING WATER SUPPLY DURING CONSTRUCTION SHALL BE MADE TO ANY FIRE HYDRANT OR BLOW-OFF STRUCTURE WITH OUT FIRST OBTAINING A CONSTRUCTION METER FROM THE FLORIDA KEYS AQUEDUCT AUTHORITY.
- IF UNSATISFACTORY MATERIAL FOR ADEQUATE BEARING IS ENCOUNTERED AT THE NORMAL SUBGRADE, THE UNSATISFACTORY MATERIAL SHALL BE REMOVED AND REPLACED WITH SUITABLE FOUNDATION STABILIZATION MATERIAL AS SPECIFIED.
- IN GENERAL, EXISTING STRUCTURES AND UTILITIES ARE NOTED AS EXISTING AND/OR SHOWN IN LIGHT LINE WEIGHT. NEW CONSTRUCTION IS SHOWN IN HEAVY LINE WEIGHT.
- ALL FIELD LAYOUT AND SURVEYING FOR CONSTRUCTION OF THIS PROJECT SHALL BE PROVIDED BY THE CONTRACTOR AT HIS EXPENSE, UNDER THE DIRECTION OF A FLORIDA LICENSED PROFESSIONAL LAND SURVEYOR.

NEW CONSTRUCTION NOTES

- IT IS THE CONTRACTOR'S RESPONSIBILITY DURING CONSTRUCTION OF NEW UTILITIES TO ANTICIPATE AND PLAN FOR CROSSINGS OF NEW AND EXISTING UTILITIES AND SUBSURFACE FEATURES. UTILITY LINES SHALL HAVE PRIORITIES AS FOLLOWS:
 - GRAVITY SANITARY SEWER LINES SHALL BE CONSTRUCTED TO GRADES AS INDICATED.
 - ANY GRAVITY UTILITY DISCOVERED TO CONFLICT WITH GRADES FOR NEW SANITARY SEWER LINES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER WITH POSSIBLE SOLUTIONS FOR HORIZONTAL AND VERTICAL ADJUSTMENT.
 - POTABLE WATER LINES, ELECTRICAL, COMMUNICATION, AND CABLE TV DISTRIBUTIONS WILL REQUIRE RELOCATION AS NECESSARY TO ACCOMMODATE NEW SANITARY SEWER LINES. THE CONTRACTOR SHALL DETERMINE, PRIOR TO INSTALLATION, THE METHOD BY WHICH THESE LINES SHALL BE REROUTED ABOVE OR BELOW NEW SANITARY SEWER LINES. THE CONTRACTOR SHALL REFER TO THE CONSTRUCTION DRAWINGS AND SPECIFICATIONS FOR SEPARATION REQUIREMENTS BETWEEN INDIVIDUAL UTILITY LINES, BOTH HORIZONTALLY AND THE CONTRACTOR SHALL INCLUDE IN THE VERTICALLY, AND SPECIAL TREATMENT REQUIREMENTS. BID PRICE ANY SPECIAL TREATMENT REQUIRED FOR UTILITY INSTALLATION, INCLUDING ADJUSTMENTS OF EXISTING UTILITIES.
- THE CONTRACTOR SHALL ASSUME ADJUSTMENTS OF EXISTING UTILITIES WILL BE REQUIRED AT ALL UTILITY CROSSINGS SHOWN ON THE DRAWINGS, INCLUDING ALL UTILITIES OF UNKNOWN DEPTH INDICATED IN THE PROFILES. THIS INCLUDES LABOR, EQUIPMENT, AND MATERIALS, INCLUDING FITTINGS AND APPURTENANCES.
- NEW SLABS SHALL BE GRADED TO POSITIVELY DRAIN WITHOUT ANY STORMWATER PONDING.
- PROVIDE CONTRACTION JOINTS AT 12' O.C. MAX. JOINT PATTERNS IN PAVEMENTS AND SIDEWALKS SHALL BE GENERALLY SQUARE. AT CURBS PROVIDE FULL DEPTH EXPANSION JOINTS AT 100 FT. O.C. MAX, AND AT LOCATIONS WHERE STRAIGHT CURB RUNS CHAGE DIRECTIONS. AT SIDEWALKS PROVIDE WEAKENED PLANE CONTRACTION JOINTS NOT MORE THAN 5'-0" MAX. AND EXPANSION JOINTS AT 20-FT. O.C. MAX (TOOL ALL EDGES). INSTALL SELF-LEVELING SEALENT AT ALL ISOLATION/ EXPANSION JOINTS.

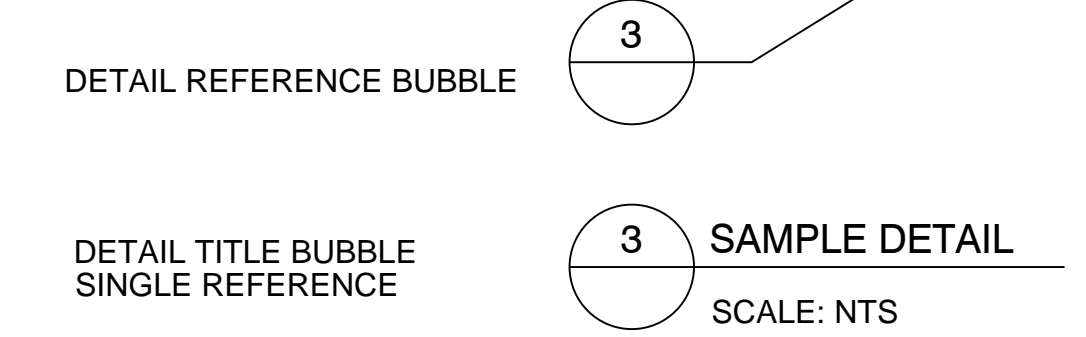
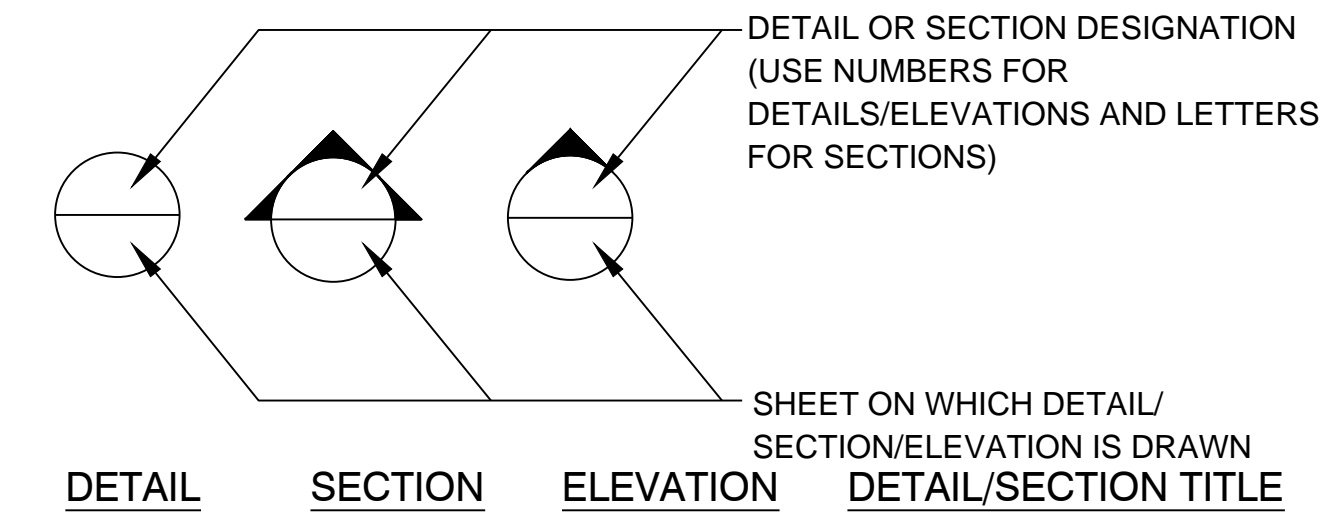
EROSION CONTROL NOTES

- EROSION, SEDIMENT, AND TURBIDITY CONTROL MEASURES SHALL BE PROVIDED THROUGHOUT CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING AND REPAIRING ALL SLOPES AND SURFACES THROUGHOUT CONSTRUCTION AND UNTIL A STABLE SURFACE CONDITION EXISTS. THE CONTRACTOR SHALL MINIMIZE THE EXPOSED AREA AT ANY POINT DURING CONSTRUCTION AS MUCH AS PRACTICAL.
- FILTER FABRIC SILT FENCE SHALL BE IN CONFORMANCE WITH SECTION 985, FDOT SPECIFICATION.
- CONTRACTOR SHALL INSTALL EROSION CONTROLS NOTED ON DRAWINGS AND APPLICABLE PERMITS. EROSION CONTROLS SHALL BE MAINTAINED UNTIL A PERMANENT STAND OF GRASS IS PLANTED ONSITE.
- BALED HAY OR STRAW BARRIERS SHALL BE CONSTRUCTED AND MAINTAINED IN CONFORMANCE WITH FDOT INDEX NO. 103.
- SILT FENCE LOCATIONS SHOWN HEREON ARE FOR CLARITY ONLY AND SHOULD BE CONSTRUCTED WITHIN PROPERTY LINES.
- PROVIDE EROSION CONTROL MEASURES CONSISTING OF STAKED SILT FENCES AND HAY BALES ALONG THE PROPOSED LIMITS OF CONSTRUCTION AS INDICATED ON THE DRAWINGS. PROVIDE ADDITIONAL MEASURES AS NECESSARY TO AVOID ADVERSE IMPACTS TO JURISDICTIONAL AREAS (WETLANDS OR WATER BODIES) AND OFF-SITE LANDS AND WATERBODIES. MAINTAIN THESE MEASURED DAILY UNTIL CONSTRUCTION ACCEPTANCE BY THE OWNER AND THEN REMOVE AND LEGALLY DISPOSE OF SAID MEASURES.
- EROSION CONTROL SHALL MAINTAINED WITHIN CONSTRUCTION AREA BY QUICKLY STABILIZING DISTURBED AREA TO PREVENT THE RELEASE OF SEDIMENT. THIS SHALL BE ACCOMPLISHED USING GRASS COVER, HAY BALES AND OTHER MEANS ACCEPTABLE TO OWNER, ENGINEER AND REGULATORY AGENCIES.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL, AT THE REQUEST OF THE OWNER OR AS NECESSARY MODIFY, RELOCATE THE ENVIRO-FENCE AND/OR SILT FENCE TO ALLOW FOR ACCESS AND TO COMPLETE CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN ADEQUATE EROSION CONTROL AT ALL TIMES.
- DURING CONSTRUCTION, THE CONTRACTOR WILL PROVIDE TEMPORARY SEEDING AND MULCHING FOR AREA THAT HAVE BEEN CLEARED AND NOT REWORKED WITHIN 7 CALENDAR DAYS DURING THE WET SEASON (APRIL THROUGH SEPTEMBER AND 14 CALENDAR DAYS DURING THE DRY SEASON (OCTOBER THROUGH MARCH). ALSO, ALL SIDE SLOPES SHALL BE SODDED OR SEEDED AND MULCHED WITHIN 7 DAYS DURING WET SEASON AND 14 DAYS DURING THE DRY SEASON.
- ALL SURFACE WATER DISCHARGE FROM SITE, INCLUDING DEWATERING DISCHARGE SHALL MEET STATE WATER QUALITY STANDARDS (LESS THAN 29 NTU ABOVE BACKGROUND) PRIOR TO REACHING ANY WATERS OF THE STATE INCLUDING WETLAND.
- IN THE EVENT THAT THE EROSION PREVENTION AND CONTROL DEVICES SHOWN IN THESE PLANS PROVE NOT TO BE EFFECTIVE. ALTERNATE METHODS FOR MAINTAINING STATE WATER QUALITY STANDARDS FOR DISCHARGE FROM THE CONSTRUCTION SITE WILL BE REQUIRED. ANY ALTERNATE EROSION PREVENTION AND CONTROL DEVICES MUST BE APPROVED BY MONROE COUNTY AND SFWMD COMPLIANCE PERSONNEL PRIOR TO PLACEMENT.

LEGEND

GENERAL

- RIGHT-OF-WAY AND/ OR PROPERTY LINE
- TL 1500 TAX LOT NUMBER
- ▲ CONTRACTOR'S SURVEY REFERENCE
- ⑤ KEY NOTE MARKER
- ⑨ (ON SITE PLAN) # OF PARKING SPACES



BUBBLE SYMBOLS

CIVIL ENGINEERING • REGULATORY PERMITTING • CONSTRUCTION MANAGEMENT

KEY WEST OFFICE
1010 EAST KENNEDY DRIVE, SUITE 400
KEY WEST, FLORIDA 33040
TEL: (305) 259-9440 FAX: (305) 259-0248

TAMPA OFFICE
COURTNEY GREENE
3807 EAST FLORIDA AVENUE, SUITE 140
TAMPA, FLORIDA 33607
TEL: (813) 579-1616 FAX: (813) 288-0710

PEREZ ENGINEERING & DEVELOPMENT, INC
CERTIFICATE OF AUTHORIZATION NO. 8579

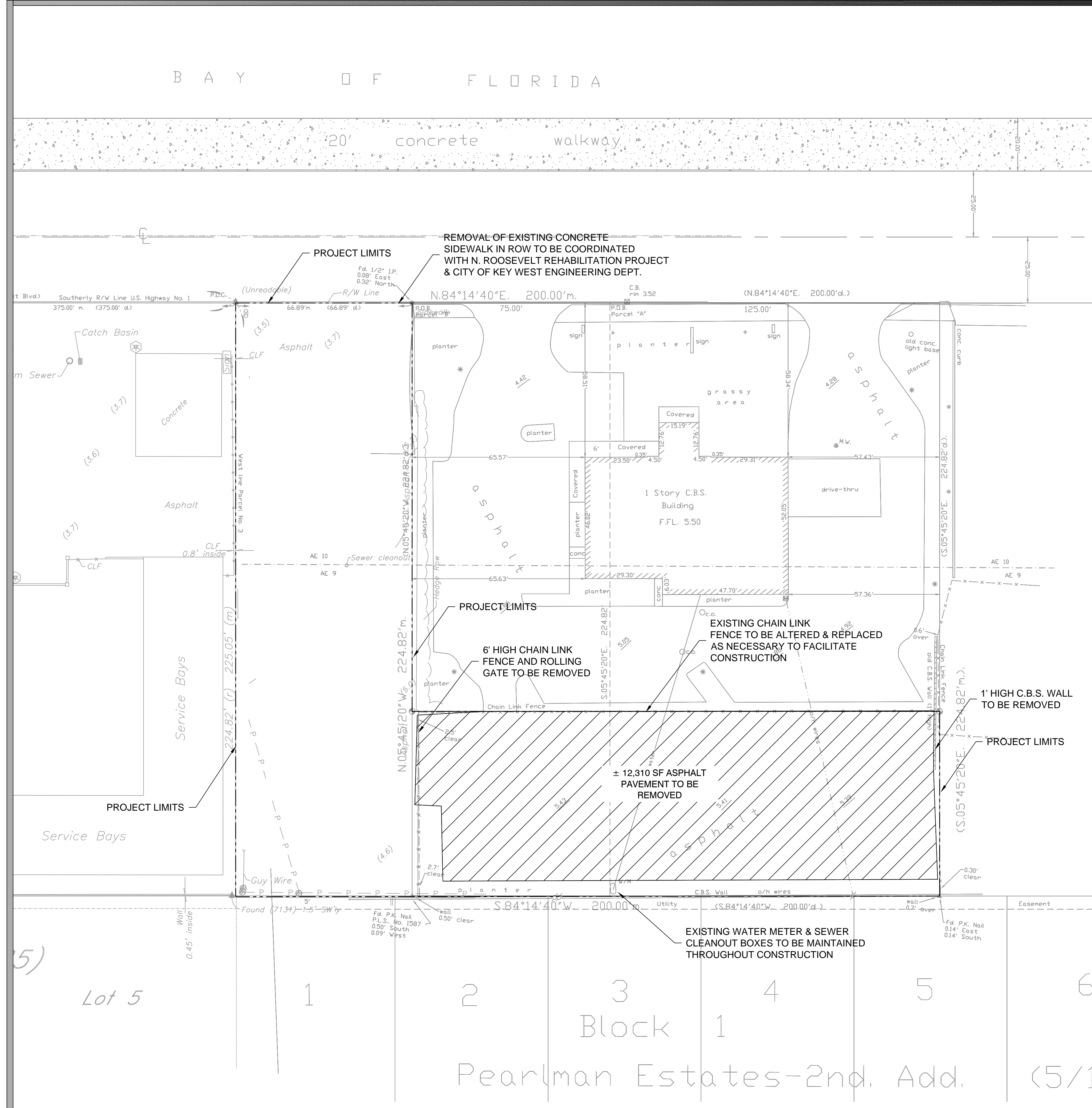
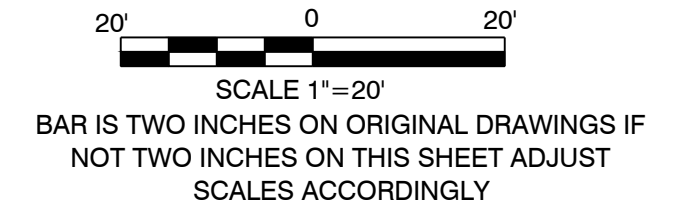
ALLEN PEREZ P.E.
Florida P.E. No. 51468
June 23, 2011

ORIGINAL: AUGUST 2007

1	
2	
3	
4	
5	
6	

NILES SALES & SERVICE
3500 N. ROOSEVELT BLVD.
KEY WEST, FL 33040
GENERAL NOTES

JOB NO.	111012
DRAWN	RTM
DESIGNED	AEP
CHECKED	AEP
QC	
SHEET	



Lot 5
 1 2 3 4 5 6
 Block 1
 Pearlman Estates-2nd. Add. (5/1)

LEGEND

--- PROJECT LIMITS

▨ ASPHALT TO BE REMOVED

NOTE: SYMBOLS IN LEGEND ARE NOT TO SCALE

KEY WEST OFFICE
 1010 EAST KENNEDY DRIVE, SUITE 400
 TAMPA, FLORIDA 33604
 TEL: (800) 299-9440 FAX: (800) 296-0243

TAMPA OFFICE
 3507 EAST FRONTAGE ROAD, SUITE 140
 TAMPA, FLORIDA 33607
 TEL: (813) 575-1616 FAX: (813) 288-0710

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PEREZ ENGINEERING
 & DEVELOPMENT, INC.
CERTIFICATE OF AUTHORIZATION NO. 8579

ALLEN E. PEREZ, P.E.
 Florida P.E. NO. 51468
 June 23, 2011

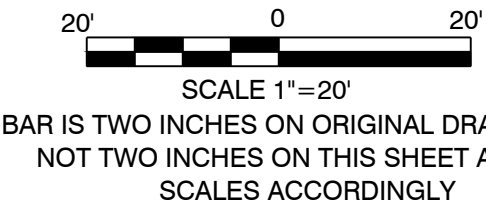
ORIGINAL: AUGUST 2007

1	REVISIONS:
2	
3	
4	
5	
6	

NILES SALES & SERVICE
 3500 N. ROOSEVELT BLVD.
 KEY WEST, FL 33040

DEMOLITION & EROSION CONTROL PLAN

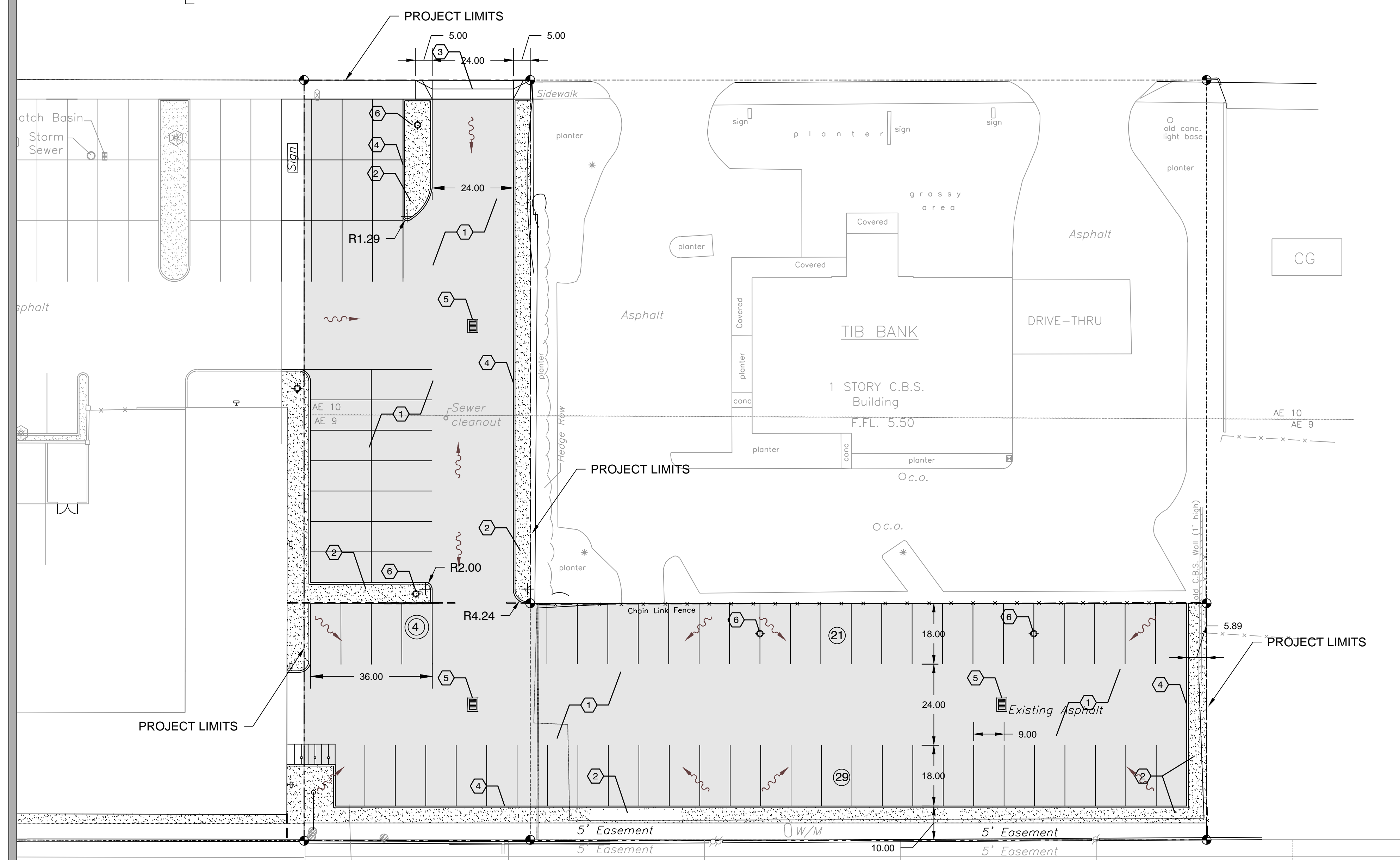
JOB NO.	111012
DRAWN	RTM
DESIGNED	AEP
CHECKED	AEP
QC	
SHEET	C-2



SCALE 1"=20'
 BAR IS TWO INCHES ON ORIGINAL DRAWINGS IF
 NOT TWO INCHES ON THIS SHEET ADJUST
 SCALES ACCORDINGLY

20' concrete walkway

U. S. HIGHWAY NO. 1 (State Road No. 5) (No. Roosevelt Blvd.)



SITE PLAN KEY NOTES

- ① ASPHALT PAVEMENT
- ② LANDSCAPE / PLANTER AREAS
- ③ CONCRETE SIDEWALK / DRIVEWAY
- ④ FDOT TYPE "D" CURB
- ⑤ FDOT TYPE "C" STORMWATER INLET
- ⑥ SITE LIGHTING (POLE & STAND)

LEGEND

- PROJECT LIMITS
 - ASPHALT PAVEMENT
 - LANDSCAPE / PLANTER AREA
 - ~ EXISTING GRADE
 - ① SITE PLAN KEYNOTE
 - ⊕ SITE LIGHTING FIXTURE
 - ⑥ PARKING SPACE COUNT
- NOTE: SYMBOLS IN LEGEND ARE NOT TO SCALE

KEY WEST OFFICE
 1010 EAST KENNEDY DRIVE, SUITE 400
 TAMPA, FLORIDA 33607
 TEL: (813) 296-9440 FAX: (813) 296-0243

TAMPA OFFICE
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CIVIL ENGINEERING • REGULATORY PERMITTING • CONSTRUCTION MANAGEMENT

PEREZ ENGINEERING & DEVELOPMENT, INC.
 CERTIFICATE OF AUTHORIZATION NO. 8579

ALLEN E. PEREZ, P.E.
 Florida P.E. NO. 51468
 June 23, 2011

REVISIONS:	ORIGINAL:
1	AUGUST 2007
2	
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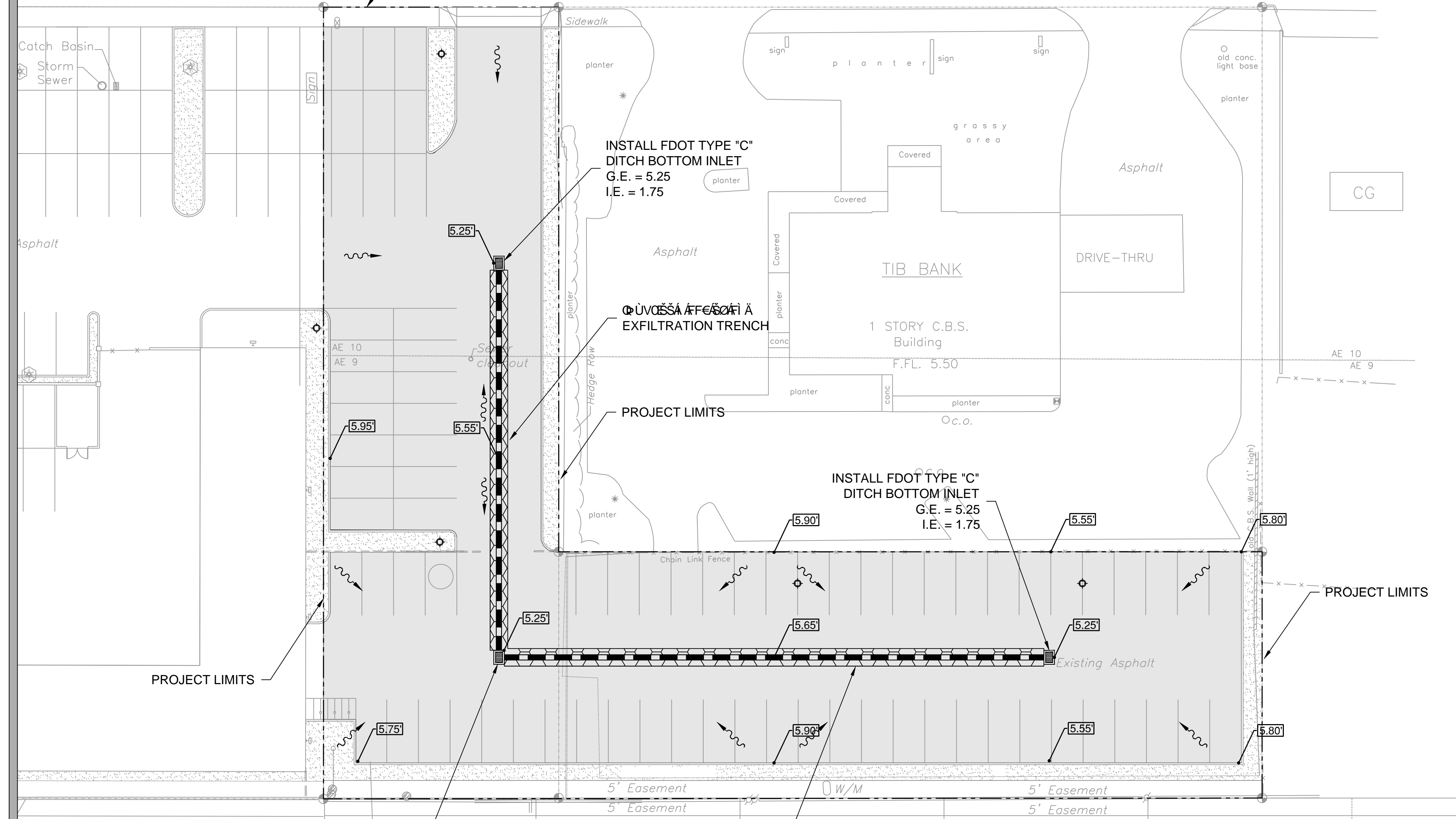
NILES SALES & SERVICE
 3500 N. ROOSEVELT BLVD.
 KEY WEST, FL 33040
SITE PLAN

JOB NO.	111012
DRAWN	RTM
DESIGNED	AEP
CHECKED	AEP
QC	
SHEET	

20' concrete walkway

U. S. HIGHWAY NO. 1 (State Road No. 5) (No. Roosevelt Blvd.)

PROJECT LIMITS



INSTALL FDOT TYPE "C" DITCH BOTTOM INLET
G.E. = 5.25
I.E. = 1.75

INSTALL FDOT TYPE "C" DITCH BOTTOM INLET
G.E. = 5.25
I.E. = 1.75

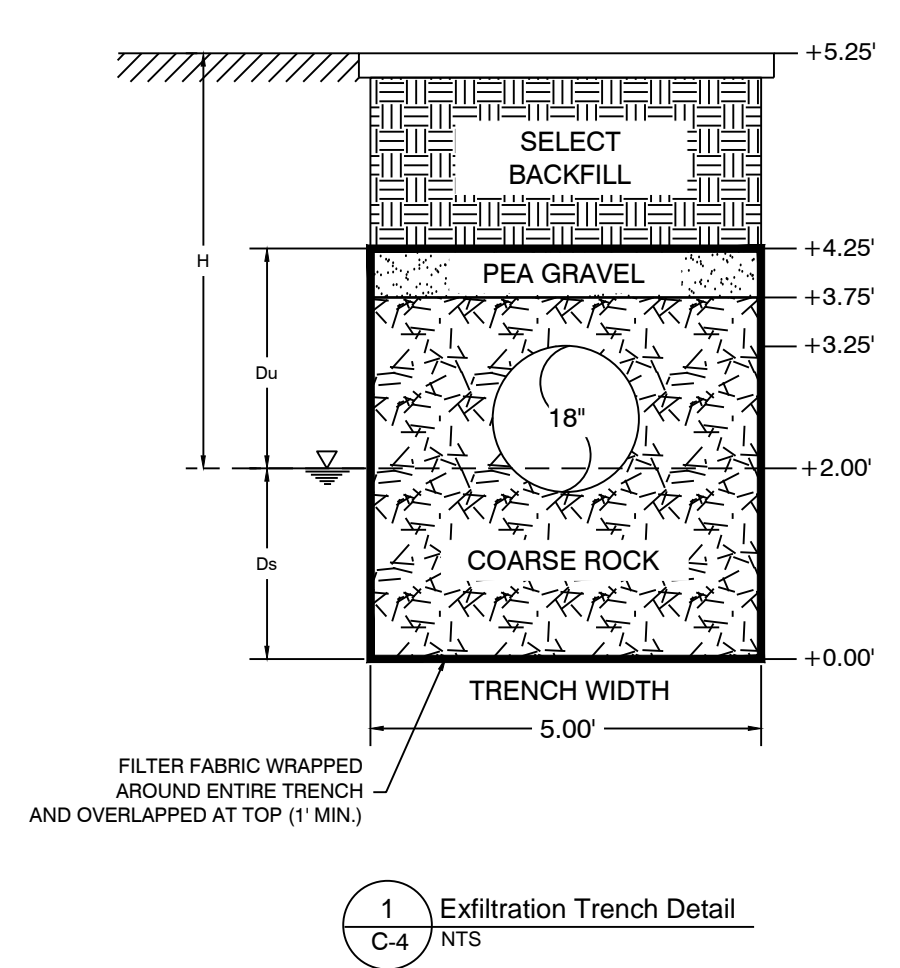
INSTALL FDOT TYPE "C" DITCH BOTTOM INLET
G.E. = 5.25
I.E. = 1.75

Block 1

Pearlman Estates-2nd. Add. (5/19)

Water Quantity and Water Quality Calculations			
Water Quantity - Predevelopment			
Basin	A =	0.667	ac 29,054 sf
Pervious Area		0.053	ac 2,300 sf
Impervious Area		0.614	ac 26,754 sf
% Impervious		92.06%	
Rainfall for 25yr/24hr event	P ₂₄ =	9	in
Rainfall for 25yr/3day event	P ₇₂ =	12.23	in
Depth to Water Table		3	ft
Predeveloped Available Storage		4.95	in
Soil Storage	S =	0.39	in
Q _{pre} = $\frac{[P_{24} - 0.25]^2}{(P_{24} + 0.85)}$	Q _{pre} =	11.77	in
Runoff Volume from 25 year/ 3 day storm	V _{25yr/24hr} =	7.85	ac-in
Water Quantity - Postdevelopment			
Basin	A =	0.667	ac 29,054 sf
Pervious Area		0.098	ac 4,253 sf
Impervious Area		0.569	ac 24,801 sf
% Impervious		85.4%	
Rainfall for 25yr/24hr event	P ₂₄ =	9	in
Rainfall for 25yr/3day event	P ₇₂ =	12.23	in
Depth to Water Table		3	ft
Developed Available Storage		4.95	in
Soil Storage	S =	0.72	in
Q _{post} = $\frac{[P_{24} - 0.25]^2}{(P_{24} + 0.85)}$	Q _{post} =	11.40	in
Runoff Volume from 25 year/ 3 day storm	V _{25yr/24hr} =	7.61	ac-in
Postdevelopment - Predevelopment			
Q _{pre-post} = Q _{post} - Q _{pre}	Q _{pre-post} =	-0.37	in
Pre/Post Volume = Q _{pre-post} x A	V _{pre-post} =	-0.25	ac-in
Water Quality			
Basin A		0.667	ac 29,054 sf
Surface Water		0.000	ac 0 sf
Roof Area		0.000	ac 0 sf
Pavement/Walkways		0.569	ac 24,801 sf
Pervious area		0.098	ac 4,253 sf
Site area for Water Quality (Total area - (water surface + roof area))		0.667	ac 29,054 sf
Impervious area for water Quality (Site area for Water Quality - Pervious area)		0.569	ac 24,801 sf
% Impervious		85%	
A) One inch of runoff from project area		0.667	ac-in
B) 2.5 inches times percent impervious (2.5 x percent impervious x (site area - surface water))		1.423	ac-in
Comparison of Water Quality Methods			
		0.667	< 1.423
		ac-in	ac-in
Pre-treatment Volume needed for trench		1.423	ac-in
Pre-treatment Volume provided by trench		1.430	ac-in
			5,167 of
			5,191 of

Exfiltration Trench Design	
Required trench length (L) =	$\frac{V}{K(H^2W + 2H^2Du - Du^2 + 2H^2Ds) + 1.39 \times 10^{-4}(W)(Du)}$
Hydraulic Conductivity, K =	0.0001
H =	3.25 ft
W =	5 ft
Du =	2.25 ft
Ds =	2 ft
Volume of Trench, V =	1.423 ac-in
Trench Length Required =	261 FT
Trench Length Provided =	263 FT

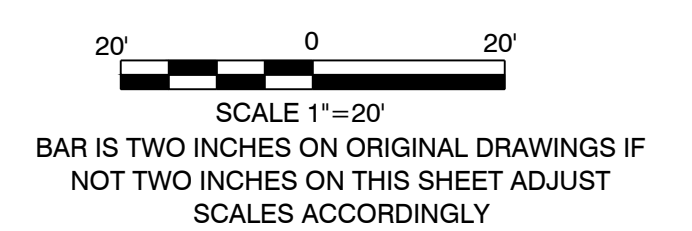


1 Exfiltration Trench Detail
C-4 NTS

LEGEND

- PROJECT LIMITS
- ASPHALT PAVEMENT
- LANDSCAPE / PLANTER AREA
- EXISTING GRADE
- PROPOSED GRADE
- STORMWATER PIPE
- EXFILTRATION TRENCH
- STORMWATER INLET (FDOT DITCH BOTTOM)
- STORMWATER FLOW

NOTE: SYMBOLS IN LEGEND ARE NOT TO SCALE



KEY WEST OFFICE
1010 EAST KENNEDY DRIVE, SUITE 400
TAMPA, FLORIDA 33607
TEL: (813) 299-9440 FAX: (813) 296-0243

TAMPA OFFICE
3507 EAST FRONTAGE ROAD, SUITE 140
TAMPA, FLORIDA 33607
TEL: (813) 575-1616 FAX: (813) 288-0710

CIVIL ENGINEERING • REGULATORY PERMITTING • CONSTRUCTION MANAGEMENT

PEREZ ENGINEERING & DEVELOPMENT, INC.
CERTIFICATE OF AUTHORIZATION NO. 8579

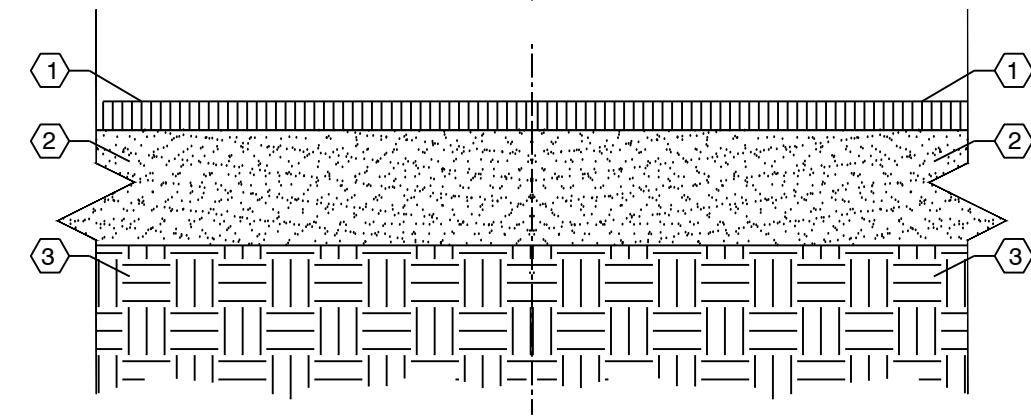
ALLEN E. PEREZ, P.E.
Florida P.E. NO. 51468
June 23, 2011

REVISIONS:	ORIGINAL:
1	AUGUST 2007
2	
3	
4	
5	
6	

NILES SALES & SERVICE
3500 N. ROOSEVELT BLVD.
KEY WEST, FL 33040

SITE PLAN

JOB NO.	111012
DRAWN	RTM
DESIGNED	AEP
CHECKED	AEP
QC	
SHEET	

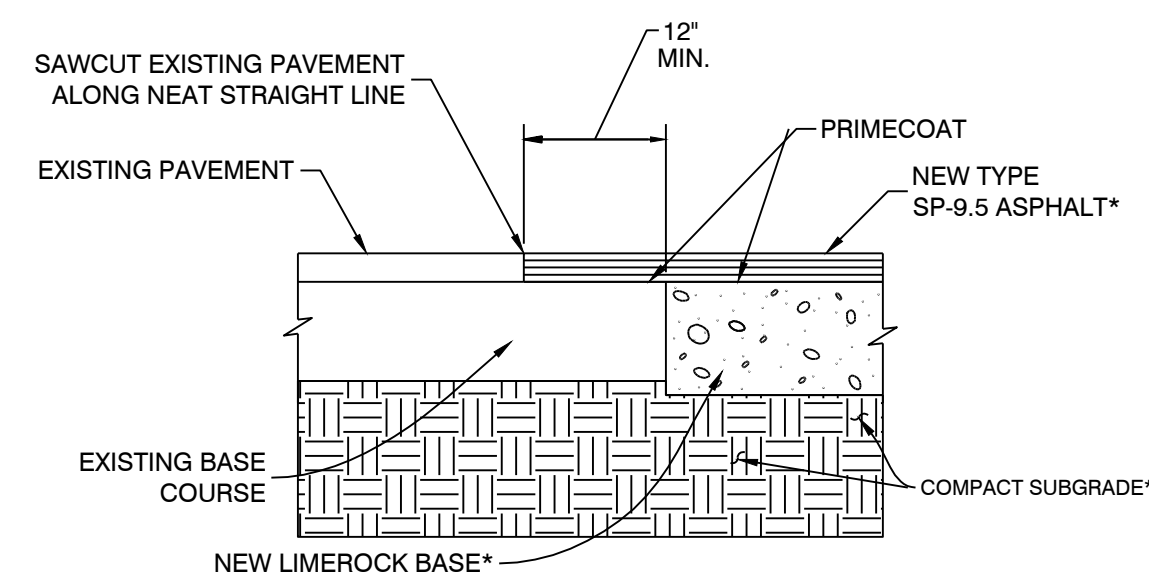


KEYED NOTES

- ① 2" SP-9.5 STRUCTURAL COURSE OVER PRIME COAT
- ② 6" MIN LIMEROCK BASECOURSE COMPACTED TO 98% ASTM D-1557
- ③ 8" SUBGRADE COMPACTED TO 95% OF ASTM D-1557.

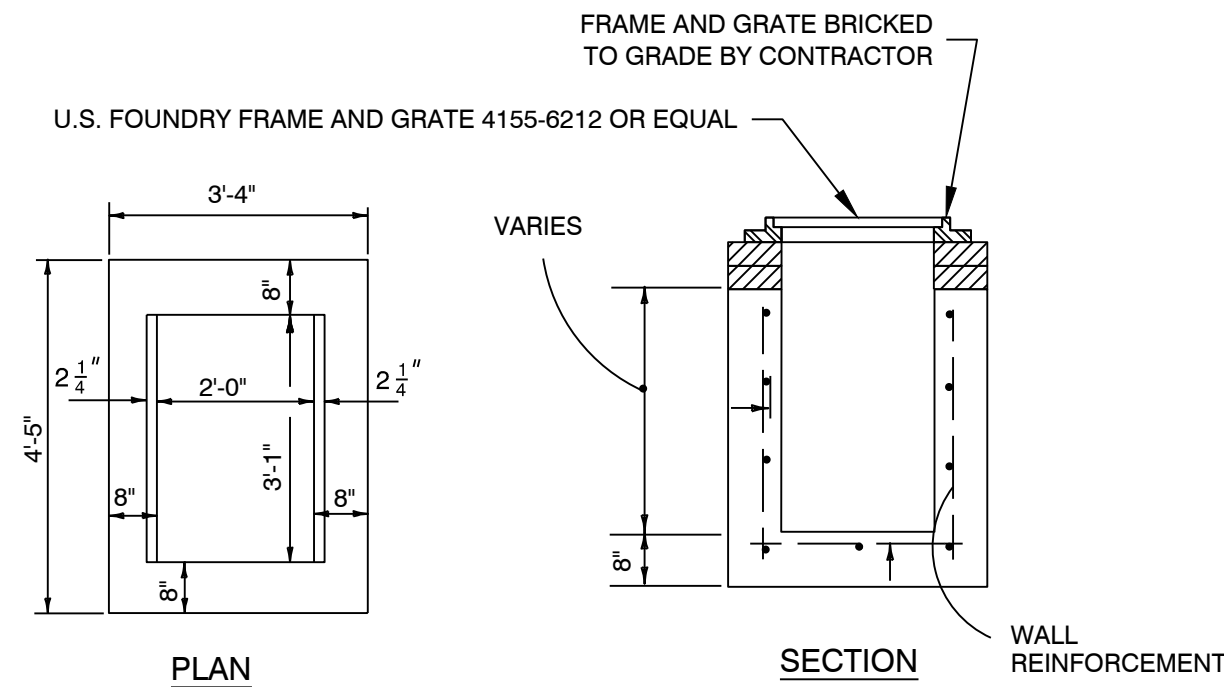
NOTE: PAVEMENT TO BE BUILT IN COMPLIANCE WITH FDOT STANDARDS AND SPECIFICATIONS.

1 Asphalt Pavement Detail
C-5 NTS



*NOTE: FOR MATERIAL DEPTHS AND TESTING REQUIREMENTS OF NEW ASPHALT CONSTRUCTION, PLEASE REFER TO CIVIL DETAIL # 1, SHEET C-7

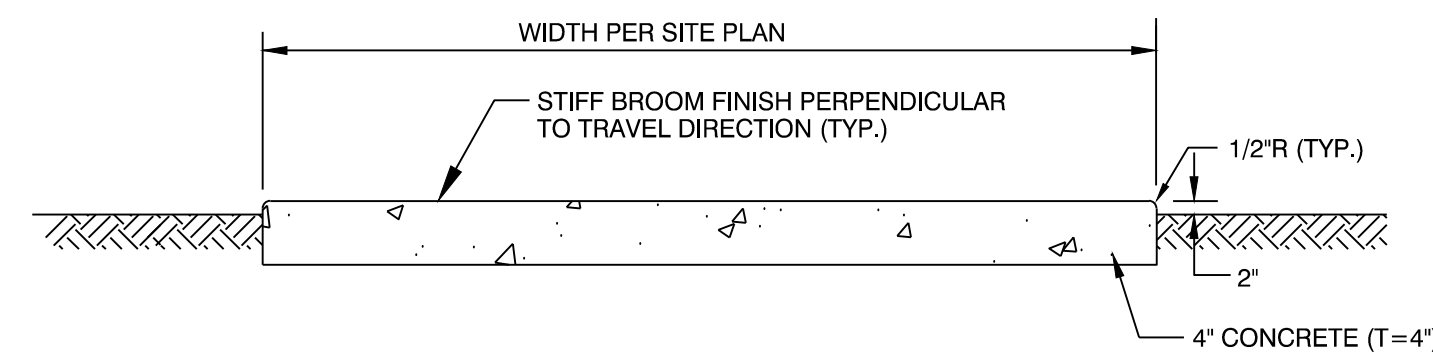
2 Pavement Connection to Existing Surface
C-5 NTS



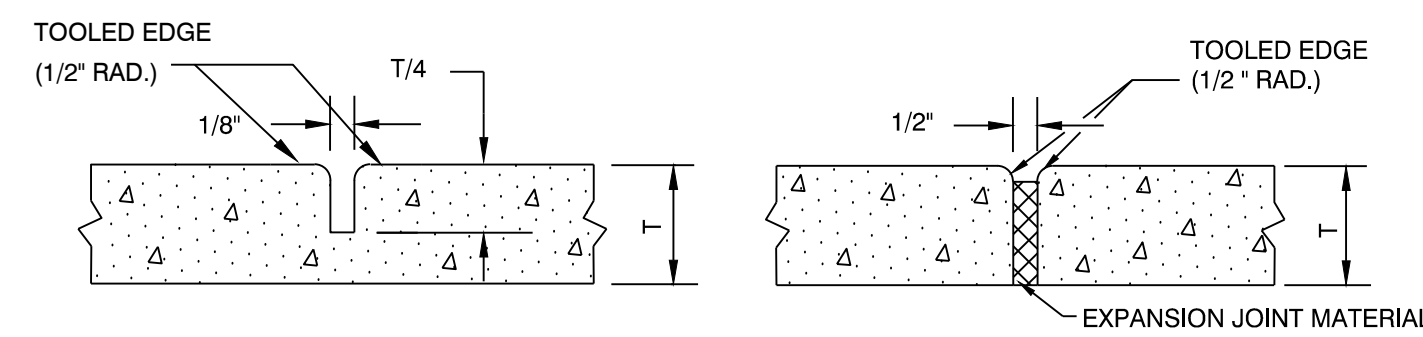
NOTES:

- 1. CONCRETE SHALL BE 4000 PSI AT 28 DAYS, TYPE II CEMENT
- 2. ALL REINFORCEMENT MAY BE WELDED WIRE AS PER ASTM C-478, #4 @ 12" O.C.E.W.
- 3. FRAME AND GRATE BRICKED TO GRADE BY CONTRACTOR.
- 4. BOTTOM INLETS SHALL BE USP PRODUCT NO. 3-3 OR EQUAL
- 5. STRUCTURES TO BE SET ON COARSE AGGREGATE BEDDING

3 Type "C" Ditch Bottom Inlet
C-5 NTS



TYPICAL SIDEWALK SECTION



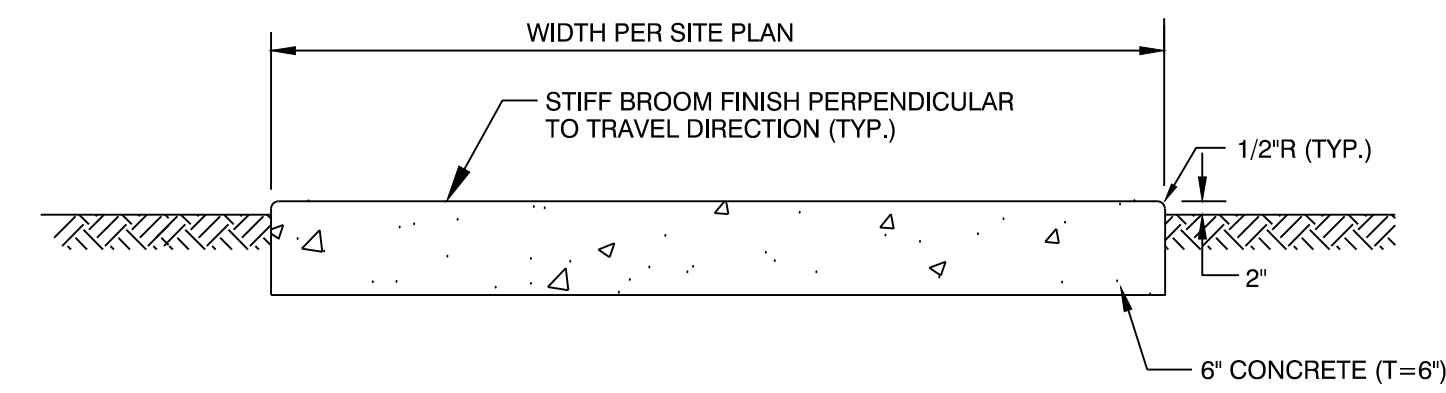
CONTRACTION JOINT

EXPANSION JOINT

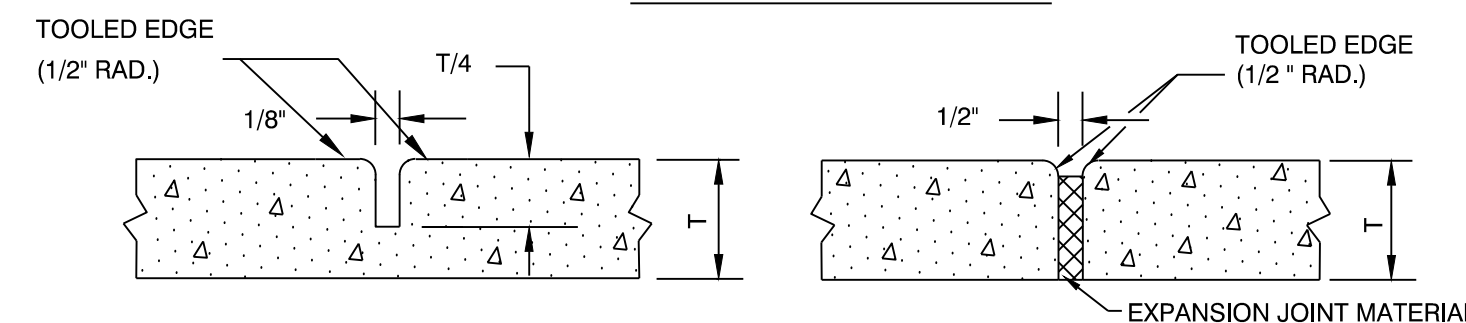
NOTES:

- 1. PROVIDE EXPANSION JOINTS WHERE NEW SIDEWALKS ABUT STRUCTURES AND CONTRACTION JOINTS AT INTERVALS EQUAL TO SIDEWALK WIDTH.
- 2. REPLACE CONCRETE SIDEWALKS AT SCORED JOINTS TO AVOID A PATCHED APPEARANCE. PROVIDE A 2" LEVELING COURSE BENEATH NEW SIDEWALK.

4 Typical Sidewalk Detail
C-5 NTS



TYPICAL CONCRETE SECTION



CONTRACTION JOINT

EXPANSION JOINT

NOTES:

- MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF SECTION 350 OF FDOT SPECIFICATIONS.
- BASE MATERIAL: 8" CRUSHED LIMEROCK WITH A MIN. LBR OF 100 COMPACTED TO 98% OF THE MODIFIED PROCTOR MAX. DRY DENSITY.
- SUB-BASE: 12" STABILIZED WITH A MIN. LBR 40 COMPACTED TO 95% OF THE MODIFIED PROCTOR MAX. DRY DENSITY.

5 6" Concrete Pavement Detail
C-5 NTS

CIVIL ENGINEERING • REGULATORY PERMITTING • CONSTRUCTION MANAGEMENT

KEY WEST OFFICE
1010 EAST KENNEDY DRIVE, SUITE 400
KEY WEST, FLORIDA 33040
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3507 EAST FRONTAGE ROAD, SUITE 140
TAMPA, FLORIDA 33607
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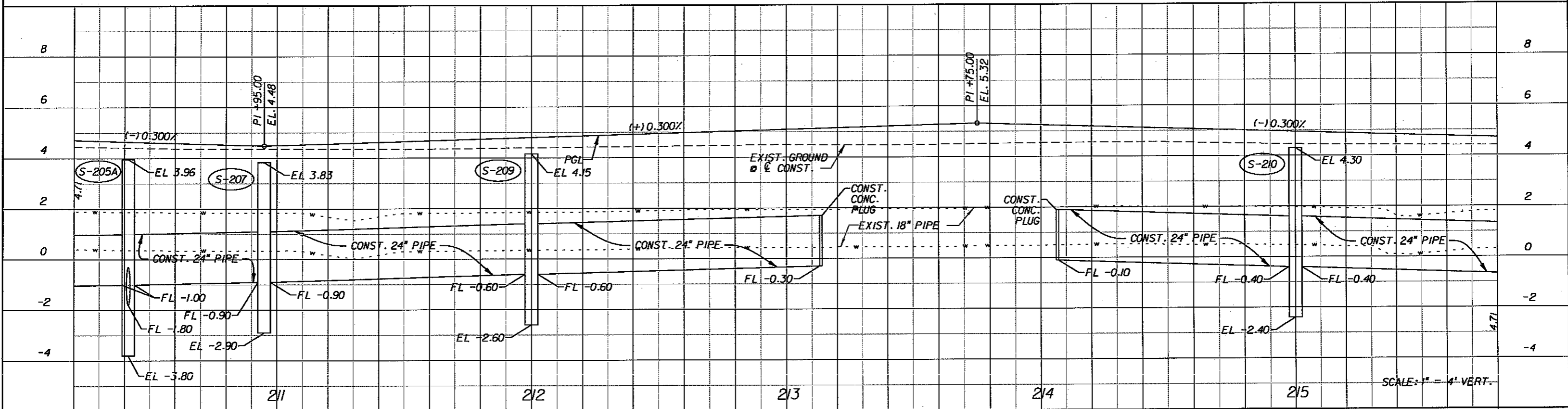
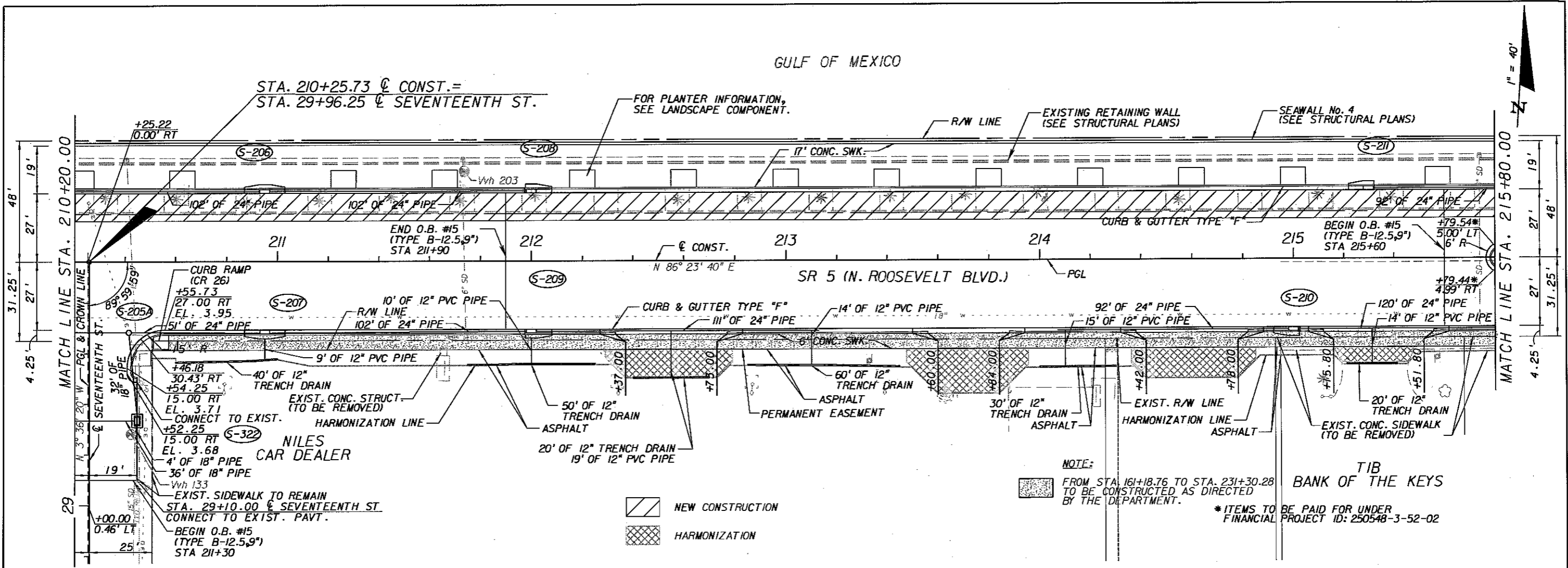
ALLEN E. PEREZ, P.E.
Florida P.E. NO. 51468
June 23, 2011

ORIGINAL: AUGUST 2007

1	REVISIONS:
2	
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6	

NILES SALES & SERVICE
3500 N. ROOSEVELT BLVD.
KEY WEST, FL 33040
CIVIL DETAILS

JOB NO. 111012
DRAWN RTM
DESIGNED AEP
CHECKED AEP
QC
SHEET C-5



REVISIONS			
DATE	DESCRIPTION	DATE	DESCRIPTION

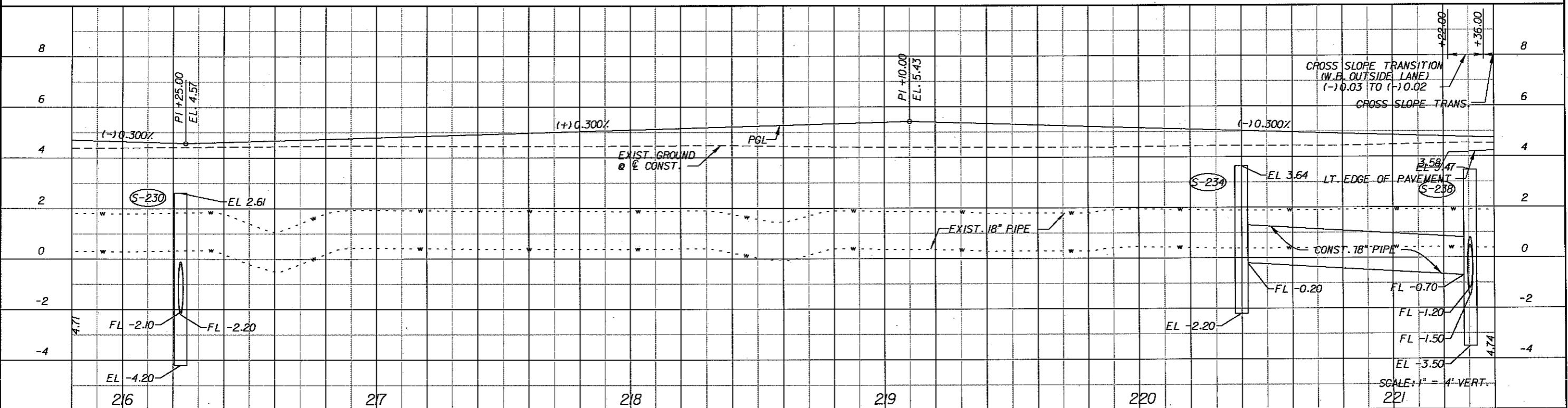
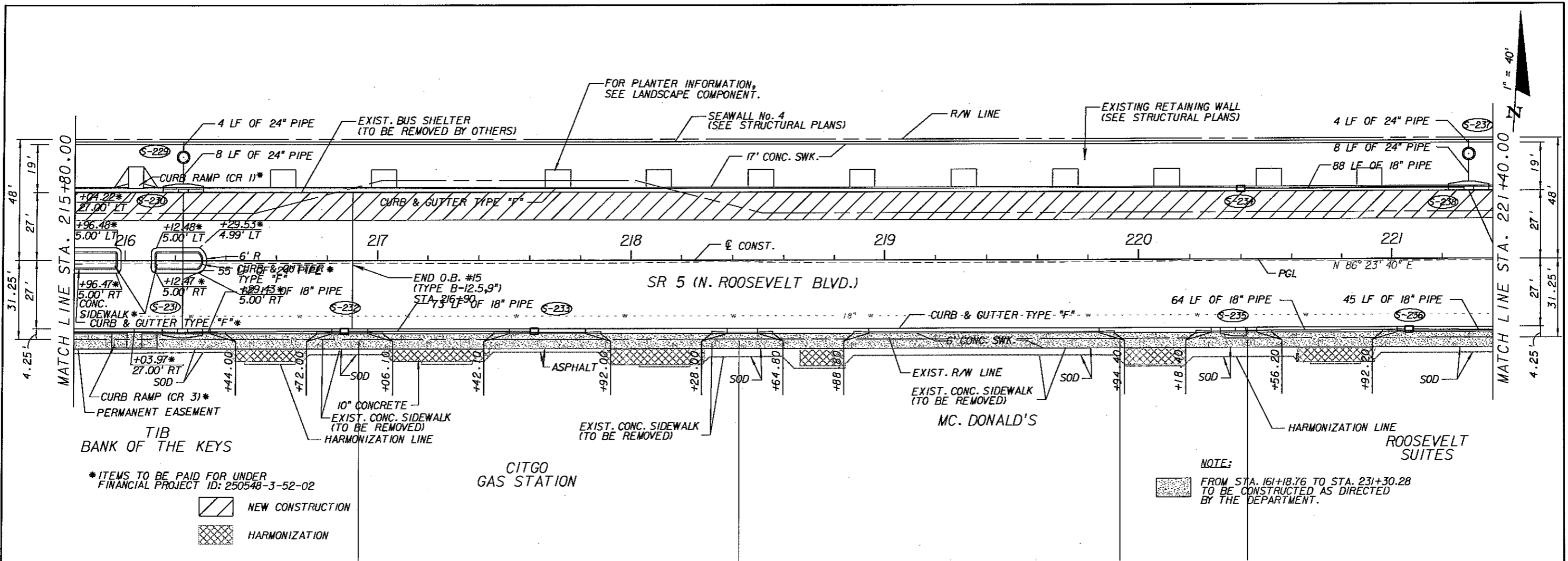
ConsulTech
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 FLORIDA CERTIFICATE OF AUTHORIZATION No. 28348
 6100 BLUE LAGOON DRIVE, SUITE 300, MIAMI, FLORIDA 33126
 (305) 461-5484 FAX (305) 461-5494
 EVELIO CHAVEZ, P.E. No. 47558

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION		
ROAD NO.	COUNTY	FINANCIAL PROJECT ID
5	MONROE	250548-3-52-01

PLAN AND PROFILE

SHEET NO. 60

NOTICE: THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE SIGNED AND SEALED UNDER RULE 61G15-23.003, F.A.C.



REVISIONS			
DATE	DESCRIPTION	DATE	DESCRIPTION

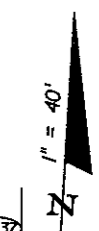
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ENTERPRISES, INC.
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FLORIDA CERTIFICATE OF AUTHORIZATION No. 28346
6100 BLUE LAGOON DRIVE, SUITE 300, MIAMI, FLORIDA 33126
(305) 461-5484 FAX (305) 461-5494
EVELIO CHAVEZ, P.E. No. 47558

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION		
ROAD NO.	COUNTY	FINANCIAL PROJECT ID
5	MONROE	250548-3-52-01

PLAN AND PROFILE

SHEET NO.
61

NOTICE: THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE SIGNED AND SEALED UNDER RULE 68J5-23.003, F.A.C.



DRC
Minutes & Comments

Kevin Bond

From: Rod Delostrinos
Sent: Monday, April 20, 2015 8:51 AM
To: Venetia A. Flowers; Carlene Smith; Kevin Bond
Cc: dickmoodyffa@bellsouth.net; Mary Anderson; Maria.Abreu@keysenergy.com; Alfonso, Matthew; Jason Barroso; Elizabeth Ignoffo; Steve Torrence; Gary Volenec; Ron Wampler; Karen DeMaria; Enid Torregrosa; Norman Whitaker; Alison Higgins; Scott Fraser; Peg Corbett; John Wilkins; Gary Volenec; Marcus A. Davila
Subject: RE: DRC Meeting Agenda April 23

Follow Up Flag: Follow up
Flag Status: Completed

Good Morning Venetia,

I have reviewed the DRC's April 23rd agenda and determined that the Community Services Department has no substantive comment. Therefore, there will be no Community Services Department representation at the meeting. Thanks and have a nice day.

Very Respectfully,

Rod Delostrinos
Director of Community Services
City of Key West
O: 305.809.3767
C: 305.304.6860

From: Venetia A. Flowers
Sent: Friday, April 17, 2015 5:29 PM
To: Carlene Smith; Kevin Bond
Cc: dickmoodyffa@bellsouth.net; Mary Anderson; Maria.Abreu@keysenergy.com; Alfonso, Matthew; Rod Delostrinos; Jason Barroso; Elizabeth Ignoffo; Steve Torrence; Gary Volenec; Ron Wampler; Karen DeMaria; Enid Torregrosa; Norman Whitaker; Alison Higgins; Scott Fraser; Peg Corbett; John Wilkins; Gary Volenec
Subject: DRC Meeting Agenda April 23

Please find attached the DRC Meeting Agenda for April 23. There will be additions made to the agenda on Monday April 20 as we are still waiting on associated documents. You may find the agenda here : [DRC Agenda April 23](#)

If you have any questions please contact me directly.

Venetia A Flowers | Planning Department | City of Key West | P.O. Box 1409 | Key West, FL 33041

Tel: 305-809-3764 | Fax: 305-809-3978 | vflowers@cityofkeywest-fl.gov | www.keywestcity.com

DRC Meeting – Thursday, April 23, 2015
Engineering Services – Review Comments
Gary Volenec, P.E.

- 7 Major Development Plan - Mallory Square (RE # 00072082-001100, AK# 8757778; RE # 00072082-001400, AK # 8757808 and RE # 0072082-003700; AK # 8801131) - A Major Development Plan application for redevelopment of four city-owned areas on Mallory Square to include a restaurant, public plaza, open space and use of an existing historic structure on property located in the HPS zoning district

Response: No Comment

- 8 Minor Development Plan - 3500 North Roosevelt Blvd (RE #00064960-000000; AK # 1065480) - A request for minor development plan for the reconfiguration and reconstruction of sales and service areas on property located within the General Commercial (CG) zoning district

Response: No Comment

- 9 Variance - 2201 Staples Avenue (RE # 00046660-000000; AK # 1047261) - A request for variance to maximum building coverage, maximum impervious surface ratio, minimum open space requirements and front, side and rear yard setbacks in order to construct a covered walkway and carport by adding L-shaped wraparound covering to an existing carport structure on property located within the Single-Family Residential (SF) Zoning District

Response: Only 24 foot wide driveway is allowed. Driveway must be 20 feet minimum from the lot corner to meet line of sight setback. Site Plan is unclear as to driveway location/dimensions; project appears to be a 4 bay wide carport; it is not allowed to have greater than 24 foot wide driveway connect to City Street.

- 10 Revocable License - 1415 Olivia Street (RE # 00023940-000000, AK # 1024741) - A request for a revocable license for a nonpermanent use of City property to maintain ± 212 square feet of landscaping and pavers on property located within the Historic Medium Density Residential (HMDR) zoning district

Response: No Comment

- 11 Revocable License - 801 Duval Street (RE # 00016650-000000; AK # 1017051) - A request for a revocable license for a nonpermanent use of City property to place four (4) stools on property located within the Historic Residential Commercial Core - Duval Street Oceanside (HRCC-3) zoning district

Response: No objection providing that stools are kept located against building and a minimum of 48" clear space is maintained to accommodate ADA requirements



**OFFICE OF THE FIRE MARSHAL
MEMORANDUM**

DATE: 04/23/2015
TO: DRC
FROM: Jason Barroso, Fire Inspector

SUBJECT: DRC- April, 2015-Summary

- ✚ 805-809 Truman Ave. – Lot Split – 5 ft. clearance with new lot split; maintain 5 ft. clearance of obstructions for new lot split
- ✚ 4 Lopez/816 Eaton St. – Lot Split – Postponed - 5 ft. clearance with new lot split; maintain 5 ft. clearance of obstructions for new lot split
- ✚ 700 Eaton St. – Minor Development Plan – 1) Fire Sprinkler system shall be installed. 2) Fire Alarm shall be installed. 3) Shall provide Life Safety Plan prior to Planning Board with additional comments to follow
- ✚ 700 Eaton St. – Variance – 1) Fire Sprinkler system shall be installed. 2) Fire Alarm shall be installed. 3) Shall provide Life Safety Plan prior to Planning Board with additional comments to follow
- ✚ 801 Eaton St. – Conditional Use – Come into compliance with Life Safety codes. Hood/ANSUL system needed.
- ✚ 1028-1030 Truman Ave. – Variance – 1) Possible fire sprinkler. 2) Look at side setback variance. 3) Accessibility to structure in back. 4) Life Safety plan
- ✚ Mallory Square – Major Development Plan – 1) Fire Sprinkler system shall be required & Alarm. 2) Accessibility. 3) Life Safety Plan needed
- ✚ **3500 N. Roosevelt Blvd. – Minor Development Plan – Life Safety plan needed**
- ✚ 2201 Staples Ave. – Variance – Need information on setback variance; will require 5 ft. setback free & clear of any obstructions for accessibility

Kevin Bond

From: Scott Fraser
Sent: Monday, April 20, 2015 10:04 AM
To: Venetia A. Flowers
Cc: Kevin Bond; Patrick Wright; Carlene Smith; Melissa Paul-Leto
Subject: DRC Comments 4/23/2015: 3500 North Roosevelt Blvd

1. An AE-9/10 flood zone line boundary line transects this lot.
2. The proposed new structure appears to abut this flood zone boundary line.
3. Plans indicate compliance with the 9-foot flood zone. However, this new building appears to abut this flood boundary line so closely, that the site plans needs to have this boundary line plotted in relation to this new building by a land surveyor licensed by the State of Florida (signed & sealed).
4. Applicant is cautioned, that if any portion of the newly constructed building is discovered to be within the AE-10 flood zone, then the entire building is considered within the 10-foot zone. If constructed to AE-9 flood zone standards, then the new building would non-compliant and final construction approvals declined.
5. Plans should show construction of the elevated are below the Design Flood Elevation (DFE), specifically whether the enclosed area below DFE will be backfilled stemwall construction, or flood ventilated enclosure.

Scott

Scott Fraser, CFM - FEMA/CRS Coordinator & Floodplain Administrator
BUILDING DEPARTMENT – FLOODPLAIN MANAGEMENT | 3140 FLAGLE AVE. | KEY WEST, FLORIDA 33040
T: 305-809-3810 | sfraser@cityofkeywest-fl.gov | www.CityofKeyWest-FL.gov/Flood



(305) 295-1000
1001 James Street
PO Box 6100
Key West, FL 33040-6100
www.KeysEnergy.com

UTILITY BOARD OF THE CITY OF KEY WEST

April 22, 2015

Planning Director
City of Key West
PO Box 1409
Key West, Florida 33040

RE: DEVELOPMENT REVIEW COMMITTEE
KEYS ENERGY SERVICES COMMENTS FOR MEETING OF APRIL 23, 2015

Dear Planning Director:

Keys Energy Services (KEYS) received the Development Review Committee Agenda for April 23, 2015. KEYS reviewed the items that will be discussed at the City's Development Review Committee meeting.

Below are KEYS' comments:

1. LOCATION: 805-809 Truman Avenue – Lot Split
COMMENT: KEYS has no objections to the lot split.
2. LOCATION: 4 Lopez/816 Eaton – Lot Split
COMMENT: KEYS has no objections to the lot split.
3. LOCATION: 700 Eaton Street – Minor Development Plan
COMMENT: KEYS is requesting a full set of plans and a project review form to ensure the applicant and surrounding customers with adequate power.
4. LOCATION: 700 Eaton Street – Variance
COMMENT: KEYS has no objections to the variance request.
5. LOCATION: 801 Eaton Street – Conditional Use
COMMENT: KEYS has no objections to the conditional use request.
6. LOCATION: 1028-1030 Truman Avenue – Variance
COMMENT: KEYS is requesting a full set of plans and a project review form to ensure the applicant and surrounding customers with adequate power.

7. LOCATION: Mallory Square – Major Development Plan
COMMENT: KEYS is requesting a full set of plans and a project review form to ensure the applicant and surrounding customers with adequate power. KEYS recommends the installation of underground high voltage distribution facilities to a pad mount transformer.
8. LOCATION: 3500 North Roosevelt Blvd – Minor Development Plan
COMMENT: KEYS is requesting a full set of plans and a project review form to ensure the applicant and surrounding customers with adequate power. This information will help determine if a new transformer needs to be installed.
9. LOCATION: 2201 Staples Avenue – Variance
COMMENT: KEYS has no objections to the variance request.
10. LOCATION: 1415 Olivia Street – Revocable License
COMMENT: KEYS has no objections to the revocable license.
11. LOCATION: 801 Duval Street – Revocable License
COMMENT: KEYS has no objections to the revocable license.
12. LOCATION: 730 Duval Street – Revocable License
COMMENT: KEYS has no objections to the revocable license.
13. LOCATION: 524 Front Street – Variance
COMMENT: KEYS objects to this application. The installation of this new awning will limit or eliminate KEYS' access to our pad mounted transformer. KEYS needs to have full access by truck to be able to work on our equipment, and feel this will be a safety hazard for our personnel.
14. LOCATION: 1100 Truman Avenue – Conditional Use
COMMENT: KEYS is requesting a full set of plans and a project review form to ensure the applicant and surrounding customers with adequate power.
15. LOCATION: 618 Free School Lane – Variance
COMMENT: KEYS is requesting a full set of plans and a project review form to ensure the applicant and surrounding customers with adequate power.
16. LOCATION: 706 Catherine Street – Variance
COMMENT: The service drop to the first meter center will need to be relocated and upgraded to a new location. In addition, KEYS is requesting a full set of plans and a project review form.
17. LOCATION: 830-832 Johnson Lane – Variance
COMMENT: KEYS has no objections to the variance request.
18. LOCATION: 2215 Flagler Avenue – Change of Non-Conforming Use
COMMENT: KEYS has no objections to the change of non-conforming use.
19. LOCATION: 1103-1107 Simonton Street – Conditional Use
COMMENT: KEYS is requesting a full set of plans and a project review form to ensure the applicant and surrounding customers with adequate power.

Thank you for giving KEYS the opportunity to participate in the City's review process. If you have any questions, please call me at 295.1055.

Sincerely,



Matthew Alfonso
Supervisor of Engineering
Matthew.Alfonso@KeysEnergy.com

MA/mpa

Copied via electronic mail:

L. Tejada, General Manager & CEO
J. Wetzler, Asst. General Manager & CFO
D. Finigan, Director of Engineering & Control
E. Zarate, Director of Customer Services
File: PLI-132

MEMORANDUM

RE: DRC Comments 4-23-15 meeting

FROM: Karen DeMaria, Urban Forestry Manager, City of Key West

1. 805-809 Truman Ave: No Comment
3. 700 Eaton St: Watch out for impacts to existing tree roots from neighboring properties. I have been onsite and applications have been submitted for tree removals. Must incorporate tree replacements required with tree removal permits in with landscaping plan. Large Royal Poinciana tree on property line still needs permitting. Need additional information regarding landscape plan-details especially shrubs and groundcover.
4. 700 Eaton St Variance: No Comment
5. 801 Eaton St: No Comment
6. 1028-1030 Truman Ave: No comment regarding variance. Be careful during demolition and construction regarding potential tree impacts to roots and canopy of any trees near the work area, on or off the property.
7. Mallory Square: Need to verify existing tree map. Project will have to be reviewed by the Tree Commission twice-first time for conceptual landscape plan with tree removal prior to Planning Board and HARC and then once Planning Board and HARC approvals have been given, a second time prior to City Commission for final landscape plan with tree removal approval. Need a proper landscape plan showing at least 70% native. Landscape plan waivers? Must supply a plan for tree protection during demo and construction.
8. 3500 N. Roosevelt Blvd: Have looked at preliminary landscape plans for the area to be redeveloped. 2007 Development Plan conditions?
9. 2201 Staples Ave: Object to variance. Encroaching into 10 ft wide City Alley in back of property.
10. 1415 Olivia St: I need to review landscaping plant species. Once plant species reviewed, a memo will be placed in the file. Must maintain clear, safe access for pedestrians on sidewalk.
11. 801 Duval St: How are the seats attached? To the building? Clear access to sidewalk must be maintained.

Kevin Bond

From: Karen DeMaria
Sent: Monday, July 06, 2015 12:55 PM
To: Kevin Sullivan
Cc: Kevin Bond
Subject: RE: Niles Sales and Service

Kevin:

According to Kevin Bond, the entire property needs to be addressed not just the area to be redeveloped. Therefore, I need to know whether any landscaping will be done on the rest of the property (buffer areas on property lines, etc) or are you going to request waivers.

Sincerely,

Karen

From: Kevin Sullivan [mailto:kevin@owentrepanier.com]
Sent: Monday, July 06, 2015 12:41 PM
To: Karen DeMaria
Subject: Niles Sales and Service

Karen,

Attached is a landscape application for the Niles Sales and Service minor development plan application that went to DRC on 4/23/15. One of the outstanding comments was to finalize landscaping.

We are preparing to go to Planning Board (August-Sept?) but need you to please officially review first, provide recommendations, letter/memo into file, etc.

Please let me know what additionally I may need to do.
Thanks so much for your help.

Kevin Sullivan, AICP

Trepanier & Associates, Inc.
Land Planners & Development Consultants
1421 First Street, P.O. Box 2155
Key West, FL 33045-2155
Ph. 305-293-8983 / Fx. 305-293-8748
www.owentrepanier.com

Kevin Bond

From: Kevin Sullivan <kevin@owentrepanier.com>
Sent: Tuesday, July 07, 2015 10:23 AM
To: Karen DeMaria
Cc: Kevin Bond
Subject: RE: Niles Sales and Service

Karen,

We are still waiting on the new survey that was requested by the City at DRC; we will forward once received. In the meantime, the application (and plans) currently on file show the location of the renovations in respect to the entire property.

Thanks!

Kevin Sullivan, AICP

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Land Planners & Development Consultants
1421 First Street, P.O. Box 2155
Key West, FL 33045-2155
Ph. 305-293-8983 / Fx. 305-293-8748
www.owentrepanier.com

From: Karen DeMaria [mailto:kdemaria@cityofkeywest-fl.gov]
Sent: Monday, July 06, 2015 1:01 PM
To: Kevin Sullivan
Subject: RE: Niles Sales and Service

Also, can I please have a copy of the survey for the entire property. I want to be able to show where this project is in relation to the rest of the property.

Sincerely,

Karen

From: Kevin Sullivan [<mailto:kevin@owentrepanier.com>]
Sent: Monday, July 06, 2015 12:41 PM
To: Karen DeMaria
Subject: Niles Sales and Service

Karen,

Attached is a landscape application for the Niles Sales and Service minor development plan application that went to DRC on 4/23/15. One of the outstanding comments was to finalize landscaping.

We are preparing to go to Planning Board (August-Sept?) but need you to please officially review first, provide recommendations, letter/memo into file, etc.

Please let me know what additionally I may need to do.
Thanks so much for your help.

Kevin Sullivan, AICP

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Key West, FL 33045-2155

Ph. 305-293-8983 / Fx. 305-293-8748

www.owentrepanier.com

801 Eaton Street

Conditional Use

Solid Waste

Trash containers are placed in the side yard. Please provide a site plan that shows trash and recycling storage area screened from adjacent properties and the public view.

Please contact Waste Management commercial services representative to set up recycling account.

Significant cost savings will be realized by recycling.

Sanitary Sewer

Please install a grease interceptor to receive flows from the kitchen, separate from restrooms. Grease interceptor sizing shall be based on kitchen fixture capacity or in accordance with FL Building Code: Plumbing Section 1003.

1028-1030 Truman Avenue

Off-street Parking Variance

No comments.

Mallory Square

Major Development Plan

Solid Waste

Please provide a site plan that shows trash and recycling storage in accordance with Sec. 108-279, where storage areas are screened from public view.

Sanitary Sewer

Please install a grease interceptors to receive flows from the kitchen and bar, separate from restrooms. Grease interceptor sizing shall be based on kitchen fixture capacity or in accordance with FL Building Code: Plumbing Section 1003.

Stormwater

Please provide stormwater management plan with calculations. Please provide information regarding 8" PVC outfall. Is outfall existing? Will it be retained?

3500 North Roosevelt Boulevard

Minor Development Plan

Please provide updated survey.

2201 Staples Avenue

Building Coverage, Impervious Surface Ratio, Front, Side, Rear Yard, Open Space Variances

No comments.

1415 Olivia Street

Revocable License

No comments.

801 Duval Street

Revocable License

No comments.

Property Appraiser Information



Scott P. Russell, CFA
Property Appraiser
Monroe County, Florida

Key West (305) 292-3420
 Marathon (305) 289-2550
 Plantation Key (305) 852-7130

Property Record Card -

Maps are now launching the new map application version.

Website tested on IE8,
 IE9, & Firefox.
 Requires Adobe Flash
 10.3 or higher

Alternate Key: **1065480** Parcel ID: **00064960-000000**

Ownership Details

Mailing Address:

NILES SALES AND SERVICE INC
 3500 N ROOSEVELT BLVD
 KEY WEST, FL 33040-4295

Property Details

PC Code: 37 - AUTO DEALERS - NEW & USED

Millage Group: 10KW

Affordable Housing: No

Section-Township-Range: 34-67-25

Property Location: 3500 N ROOSEVELT BLVD KEY WEST

Legal Description: PT KW NO 4 A PARCEL OF LAND LYING S OF NORTH ROOSEVELT BOULEVARD AND PT PARCEL 3 KW 2 SHEETS PB4-69 OR139-44/45 OR194-526/527 OR356-343/344 OR658-835/836 OR873-2054 OR997-1513/1514 OR1043-1035/1036 OR1113-1150/1151-C OR1113-1152Q/C OR1128-569 OR1161-231 OR1584-330/331Q/C OR1589-1564/65Q/C OR1670-1737/38 OR1670-1739/40 OR1798-2040/42 OR2150-1577D/C OR2163-2258/59 OR2163-2264/65 OR2186-1106/07AFF OR2186-1110/12 OR2186-1113/15Q/C OR2282-657/658 OR2282-665/670(AGREE) OR2410-2157/58

Click Map Image to open interactive viewer



Land Details

Land Use Code	Frontage	Depth	Land Area
100H - COMMERCIAL HIGHWAY			112,063.60 SF

Building Summary

Number of Buildings: 1
 Number of Commercial Buildings: 1

Total Living Area: 8245
Year Built: 1960

Building 1 Details

Building Type
Effective Age 15
Year Built 1960
Functional Obs 0

Condition G
Perimeter 564
Special Arch 0
Economic Obs 0

Quality Grade 450
Depreciation % 19
Grnd Floor Area 8,245

Inclusions:

Roof Type
Heat 1
Heat Src 1

Roof Cover
Heat 2
Heat Src 2

Foundation
Bedrooms 0

Extra Features:

2 Fix Bath 6
3 Fix Bath 0
4 Fix Bath 0
5 Fix Bath 0
6 Fix Bath 0
7 Fix Bath 0
Extra Fix 6

Vacuum 0
Garbage Disposal 0
Compactor 0
Security 0
Intercom 0
Fireplaces 0
Dishwasher 0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic A/C	Basement %	Finished Basement %	Area
1	FLA		1	1991				7,495
2	OPX		1	1991				2,959
3	OPU		1	1991				404
4	CPF		1	1991				2,250
5	OPU		1	1991				112
6	OPF		1	1991				650

7	FLA	1	1991	750
8	CPF	1	1991	9,954

Interior Finish:

Section Nbr	Interior Finish Nbr	Type	Area %	Sprinkler	A/C
	5620	OFF BLDG-1 STY-B	75	N	Y
	5621	WAREHOUSE/MARINA C	25	N	N
	5627	OFF BLDG-1 STY-B	100	N	Y

Exterior Wall:

Interior Finish Nbr	Type	Area %
1546	C.B.S.	100

Misc Improvement Details

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
1	AP2:ASPHALT PAVING	58,535 SF	0	0	1969	1970	2	25
2	FN2:FENCES	679 SF	97	7	1969	1970	4	30
3	PT3:PATIO	364 SF	91	4	1994	1995	2	50
4	CL2:CH LINK FENCE	304 SF	76	4	1979	1980	1	30
5	CL2:CH LINK FENCE	135 SF	15	9	1979	1980	1	30
6	FN2:FENCES	1,875 SF	375	5	1967	1968	4	30
7	RW2:RETAINING WALL	200 SF	100	2	2003	2004	3	50
8	PT5:TILE PATIO	36 SF	9	4	2003	2004	3	50

Appraiser Notes

PER OR2593-819 Q/C 1628 SQ FT TO FDOT

FOR THE 2007 TAX ROLL RE 66050 AK 1068896 HAS BEEN COMBINED WITH THIS PARCEL AND ALSO THE 13,845 SQ FT PARCEL OF LAND WHICH WAS PURCHASED FROM TIB BANK FOR \$500,000 (WHICH CAME OUT OF RE 6606 AK 1068900 AND RE 6607 AK 1068918) HAS BEEN COMBINED WITH THIS PARCEL, DONE PER UNITY OF TITLE FILED IN OR2282-665/670

Building Permits

Bldg Number	Date Issued	Date Completed	Amount	Description	Notes
1	12-0892	05/11/2012	10,288	Commercial	INSTALL 1-5 TON A/C SYSTEM W/ 10 DROPS & RELOCATE 3-5 TON CONDENSERS
1	12-0924	05/10/2012	27,000	Commercial	RENOVATION AS PER ATTACHED PLANS.
1	11-2200	09/15/2011	75,000	Commercial	REPAINT/STRIPE EXISTING/NEW ASPHALT. APPLY NEW ASPHALT TO APPROX. 10,000 S.F. INSTALL NEW CONCRETE CURBS/PLATERS FOR LANDSCAPING. INSTALL NEW DRAINAGE SYSTEM ACCORDING TO SPECIFICATIONS ON PLANS.
1	11-2200	01/28/2013	75,000	Commercial	CLARIFICATION OF FRAMING ROOF HATCHES AND VENTS
1	12-0925	10/29/2012	136,915	Commercial	

						REVISION #1 - REMOVE 1600 SQ FT OF V-CRIMP ROOFING & SHEATHING AND REPLACE WITH NEW SHEATHING
1	12-0925	05/10/2012		133,915	Commercial	INSTALL 16,765 OF GAF TPO MEMBRANE ROOFING OVER TAPERED INSULATION
1	12-0923	05/10/2012		8,800	Commercial	ROUGH & TRIM 2 ADA RESTROOMS, REDUCE EXISTING WK, DROP 10 LAVS & WALL HUNG LAV. REPLACE EXISTING ROOF DRAINS 2-W CLOSETS ADA 1-W/ CLOSET REG. REPLACE 2-WALL HUNG LAV ADA 1-DROP IN LAV 2-ROOF DRAINS
1	12-922	05/10/2012		240,390	Commercial	CHANGE OF CONTRACTOR FROM NICK REEB CONSTRUCTION TO GARY THE CARPENTER* EXTERIOR/INTERIOR RENOVATION ACCORDING TO PLANS DATED 09/30/11. RENOVATIONS NILES SALES AND SERVICE BY ENGINEER/ARCHITECT WILLIAM P HORN
1	10-2869	08/27/2010		1,275	Commercial	INSTALL NEW CANVAS AWNING TO REPLACE EXISTING AWNING APPROX. 150 SQ FT AT FRONT OF BUILDING
1	10-2658	08/09/2010		2,200	Commercial	NEW PANELS FOR EXISTING SIGN PANE. REPLACE WITH CLIENTS NEW FACES, SIZE 225 SQ/FT, "NILES SALES & SERVICE".
1	10-0712	03/17/2010		1,000	Commercial	INSTALL BLOCKING IN GROUND ANCHOR EIGHT (8) FOR MOBILE STORAGE 24' X 8' ONLY
1	10-2134	07/02/2010		6,500	Commercial	1600 SQ/FT 16 SQS. GLASS FELT ROOF SYSTEM WITH ALUM. COATING
1	11-3009	08/18/2011		2,000	Commercial	INSTALL 2-40A 240V DISCONNECTORS FOR FUTURE BATTERY CHARGERS
1	11-4073	11/07/2011		8,000	Commercial	SITE LIGHT ONLY THERE ARE ELEVEN (11) LIGHTS ON SHEETS A-Z AND FIVE (5) LIGHTS ON SHEET E-1 AS PER PLANS.
1	11-2200	09/15/2011		75,000	Commercial	REPAINT/STRIPE EXISTING/NEW ASPHALT. APPLY NEW ASPHALT TO APPROX. 10,000 S.F. INSTALL NEW CONCRETE CURBS/PLATERS FOR LANDSCAPING. INSTALL NEW PARKING LOT LIGHTS. INSTALL NEW DRAINAGE SYSTEM ACCORDING TO SPECIFICATIONS ON PLANS.
1	12-0922	04/08/2013		140,390	Commercial	CLARIFICATION TO ENTRY TOWER BASE ONLY.
1	12-0922	04/30/2013		140,390	Commercial	#3 - CLARIFICATION OF ENGINEERING OF ACM PANELS ONLY
1	15-0239	01/28/2015		18,500	Commercial	REMOVE EXISTING BUILT UP ROOFING ON SERVICE AREA AND REPLACE WITH 60 SQ OF POLYGLASS SELF ADHEARING ROOF SYSTEM.
1	B941476	05/01/1994	11/01/1994	2,000	Commercial	RE-PAINT SERVICE BAYS
1	B952218	07/01/1995	12/01/1995	235,000	Commercial	DEMO 435SF & ADD 1090SF
1	P952469	08/01/1995	12/01/1995	24,255	Commercial	10/LAV,8/W.CLOSET,6/H.BIB
1	E952730	08/01/1995	12/01/1995	62,000	Commercial	ELECTRICAL
1	M952791	08/01/1995	12/01/1995	25,000	Commercial	2/5,1/4,1/3-1/2TONA/C UNT
1	A953138	09/01/1995	12/01/1995	5,000	Commercial	13 SQRS SGL PLY MEMBRANE
1	E954136	11/01/1995	12/01/1995	5,100	Commercial	INSTALL 2-35FT LT POLES
1	9601317	03/01/1996	03/01/1996	2,000	Commercial	AWNINGS
1	9604719	12/01/1996	08/01/1997	1,650	Commercial	AWNINGS
1	9701440	05/01/1997	08/01/1997	17,000	Commercial	INSTALL DRAINAGE WELL
1	9703191	09/01/1997	12/01/1997	2,400	Commercial	ROOF COATING
1	9800403	03/10/1998	12/08/1998	2,000	Commercial	SIGN
1	98-1246	02/23/1998	12/08/1998	5,000	Commercial	RESEAL PARKING AREA
1	98-2428	08/12/1998	12/08/1998	32,000	Commercial	EXPAND OFFICE AREA

1	98-2872	09/15/1998	12/08/1998	3,200	Commercial	ROOFING
1	98-3156	10/13/1998	12/08/1998	10,000	Commercial	ROOF REPAIR
1	99-3891	11/30/1999	12/22/1999	3,500	Commercial	STUCCO REPAIRS TO BLDG
1	98-3714	01/12/1998	11/14/1999	8,000	Commercial	ROOF
1	02-2727	10/16/2002	11/15/2002	6,000	Commercial	INSTALL FLAG POLE
	02-1714	06/26/2002	11/15/2002	6,000	Commercial	ROOFING
1	03-0146	01/17/2003	09/19/2003	2,000	Commercial	ADD RETAINING WALL
1	03-0367	09/05/2003	02/19/2003	500	Commercial	ATF INSTALL TENTS
1	03-1318	04/16/2003	09/19/2003	2,400	Commercial	POUR CONCRETE SLAB
1	05-0232	01/26/2005	12/31/2005	2,450	Commercial	CHANGE ONE 5-TON A/C
1	05-3850	09/07/2005	12/31/2005	17,500	Commercial	EMERGENCY ROOFING
1	06-1965	03/27/2006	08/07/2006	5,600	Commercial	REMOVE AND REPLACE 2-TON PKG ON ROOF
1	06-4974	08/24/2006	12/20/2006	40,355	Commercial	INSTALL 4400SF OF V-CRIMP ROOFING & COOLEY ROOFING
1	06-3104	05/22/2006	08/07/2006	6,000	Commercial	GLASS FELT ROLL ROOFING.

Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2014	1,212,692	60,360	861,791	2,134,843	2,134,843	0	2,134,843
2013	1,098,556	60,461	861,791	2,020,808	2,020,808	0	2,020,808
2012	1,098,556	60,562	874,311	2,033,429	2,033,429	0	2,033,429
2011	1,155,624	60,663	2,373,130	3,589,417	3,589,417	0	3,589,417
2010	1,155,624	60,764	2,701,350	3,917,738	3,917,738	0	3,917,738
2009	1,212,692	60,866	3,223,157	4,047,044	4,047,044	0	4,047,044
2008	1,212,692	60,967	3,223,157	4,496,816	4,496,816	0	4,496,816
2007	980,897	61,033	3,342,533	4,384,463	4,384,463	0	4,384,463
2006	869,842	61,134	2,101,770	2,615,222	2,615,222	0	2,615,222
2005	1,216,141	61,236	1,681,416	2,958,793	2,958,793	0	2,958,793
2004	1,230,110	61,337	1,366,151	2,657,598	2,657,598	0	2,657,598
2003	1,230,110	59,253	1,366,151	2,655,514	2,655,514	0	2,655,514
2002	1,230,110	59,311	1,366,151	2,655,572	2,655,572	0	2,655,572
2001	1,230,110	59,370	1,176,991	2,466,471	2,466,471	0	2,466,471
2000	1,219,325	27,118	1,019,040	2,265,483	2,265,483	0	2,265,483
1999	1,219,325	27,136	1,019,040	2,265,501	2,265,501	0	2,265,501
1998	575,167	27,154	1,019,040	1,621,361	1,621,361	0	1,621,361
1997	575,167	27,173	1,019,040	1,621,380	1,621,380	0	1,621,380
1996	520,023	27,191	926,400	1,473,614	1,473,614	0	1,473,614
1995	473,134	25,756	926,400	1,425,290	1,425,290	0	1,425,290
1994	473,134	25,756	926,400	1,425,290	1,425,290	0	1,425,290
1993	473,134	25,756	926,400	1,425,290	1,425,290	0	1,425,290

1992	473,134	25,756	926,400	1,425,290	1,425,290	0	1,425,290
1991	564,871	25,756	1,176,000	1,766,627	1,766,627	0	1,766,627
1990	322,698	20,086	840,000	1,182,784	1,182,784	0	1,182,784
1989	322,698	20,086	840,000	1,182,784	1,182,784	0	1,182,784
1988	294,082	20,086	756,000	1,070,168	1,070,168	0	1,070,168
1987	289,858	20,086	428,400	738,344	738,344	0	738,344
1986	223,982	20,086	428,400	672,468	672,468	0	672,468
1985	220,111	20,086	371,250	611,447	611,447	0	611,447
1984	215,466	20,086	371,250	606,802	606,802	0	606,802
1983	217,519	20,086	371,250	608,855	608,855	0	608,855
1982	194,599	20,086	371,250	585,935	585,935	0	585,935

Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

Sale Date	Official Records Book/Page	Price	Instrument	Qualification
4/28/2009	2410 / 2157	100	WD	11
3/23/2007	2282 / 657	500,000	WD	O
6/28/2002	1798 / 2040	3,800,000	WD	Q
2/1/1991	1161 / 231	1,675,000	WD	Q
12/1/1986	997 / 1513	950,000	WD	Q
2/1/1983	873 / 2054	600,000	WD	M

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Monroe County Property Appraiser
 Scott P. Russell, CFA
 P.O. Box 1176 Key West, FL 33041-1176