

# **Application**



# Application For Variance

City of Key West, Florida • Planning Department

1300 White Street • Key West, Florida 33040-4602 • 305-809-3723 • www.cityofkeywest-fl.gov

RECEIVED  
JUN 07 2018  
BY: NLH

**Application Fee: \$1,150.00 / After-the-Fact: \$2,150.00**  
(includes \$100.00 advertising/noticing fee and \$50.00 fire review fee)

Please complete this application and attach all required documents. This will help staff process your request quickly and obtain necessary information without delay. If you have any questions, please call 305-809-3720.

### PROPERTY DESCRIPTION:

Site Address: 215 Eanes Lane  
Zoning District: HRCC-3 Real Estate (RE) #:  
Property located within the Historic District?  Yes  No

### APPLICANT:

Owner  Authorized Representative  
Name: T. Seth Neal  
Mailing 548 Powell Ave. Address:  
City: Little Torch Key State: FL Zip: 33042  
Home/Mobile Phone: 251-422-9547 Office: 305-304-8857 Fax: N/A  
Email: sethneal@tsnarchitects.com

### PROPERTY OWNER: (if different than above)

Name: 419 Truman LLC  
Mailing 336 Duval St. Address:  
City: Key West State: FL Zip: 33040  
Home/Mobile Phone: 305.294.5155 Office: 305.766.3133 Fax: \_\_\_\_\_  
Email: claud@keysrealestate.com

Description of Proposed Construction, Development, and Use: Removal of existing one-story block structure + replacement with a new one story wood framed structure designed to meet HARC guidelines, with a pool and deck at the rear yard.

### List and describe the specific variance(s) being requested:

Requesting side yard setback variances. Asking for 11" variance on NW side setback + a 4'5" variance on SE side yard setback.

Are there any easements, deed restrictions or other encumbrances attached to the property?  Yes  No

If yes, please describe and attach relevant documents: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Will any work be within the dripline (canopy) of any tree on or off the property?  
 If yes, provide date of landscape approval, and attach a copy of such approval.

Yes  No

Is this variance request for habitable space pursuant to Section 122-1078?

Yes  No

Please fill out the relevant Site Data in the table below. For Building Coverage, Impervious Surface, Open Space and F.A.R. provide square footages and percentages.

Site Data Table				
	Code Requirement	Existing	Proposed	Variance Request
Zoning	HRCC-3			
Flood Zone	X			
Size of Site	1,315 s.f. / 4,000			
Height	35'			
Front Setback	5'	10'-7"	16'-1 1/2"	
Side Setback / NORTHWEST	5'	2"	5'-11 1/2"	
Side Setback / SOUTH EAST	5'	4'-1"	4'-1"	11" VARIANCE
Street Side Setback		4"	7" [4'-5"]	7" VARIANCE
Rear Setback	15'			
F.A.R.		2"	29'-11"	
Building Coverage				
Impervious Surface	50% 657 s.f.	726 s.f.	420 s.f.	
Parking	60% 789 s.f.	923 s.f.	611 s.f.	
Handicap Parking	1	NONE	NONE	
Bicycle Parking				
Open Space/ Landscaping	35% 460 s.f.			
Number and type of units	1			
Consumption Area or Number of seats				

This application is reviewed pursuant to Section 90-391 through 90-397 of the City of Key West Land Development Regulations (LDRs). The City's LDRs can be found in the Code of Ordinances online at [http://www.municode.com/Library/FL/Key\\_West](http://www.municode.com/Library/FL/Key_West) under Subpart B.

\*Please note, variances are reviewed as quasi-judicial hearings, and it is improper for the owner or applicant to speak to a Planning Board member or City Commissioner about the hearing.

**Standards for Considering Variances**

**Before any variance may be granted, the Planning Board and/or Board of Adjustment must find all of the following requirements are met:**

1. Existence of special conditions or circumstances. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other land, structures or buildings in the same zoning district.

*This is an extremely small lot with no existing parking*

2. Conditions not created by applicant. That the special conditions and circumstances do not result from the action or negligence of the applicant.

*same as above, that this is a very small lot with no existing parking*

3. Special privileges not conferred. That granting the variance(s) requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings or structures in the same zoning district.

*No special privileges*

4. Hardship conditions exist. That literal interpretation of the provisions of the land development regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant.

*If the variance is not granted, there will not be a useable footprint in which to build.*

5. Only minimum variance(s) granted. That the variance(s) granted is/are the minimum variance(s) that will make possible the reasonable use of the land, building or structure.

*Yes, the variance requested is the minimum possible in our opinion.*

6. Not injurious to the public welfare. That granting of the variance(s) will be in harmony with the general intent and purpose of the land development regulations and that such variances will not be injurious to the area involved or otherwise detrimental to the public interest or welfare.

Granting this variance would not be injurious to the public welfare.

7. Existing nonconforming uses of other property shall not be considered as the basis for approval. That no other nonconforming use of neighboring lands, structures, or buildings in the same district, and that no other permitted use of lands, structures or buildings in other districts shall be considered grounds for the issuance of a variance.

No other non-conforming uses.

**The Planning Board and/or Board of Adjustment shall make factual findings regarding the following:**

- That the standards established in Section 90-395 have been met by the applicant for a variance.
- That the applicant has demonstrated a "good neighbor policy" by contacting or attempting to contact all noticed property owners who have objected to the variance application, and by addressing the objections expressed by these neighbors. Please describe how you have addressed the "good neighbor policy."

**REQUIRED SUBMITTALS: All of the following must be submitted in order to have a complete application. Please submit one paper copy and one electronic copy of all materials.**

- Correct application fee. Check may be payable to "City of Key West."
- Notarized verification form signed by property owner or the authorized representative.
- Notarized authorization form signed by property owner, if applicant is not the owner.
- Copy of recorded warranty deed
- Property record card
- Signed and sealed survey
- Site plan (plans MUST be signed and sealed by an Engineer or Architect)
- Floor plans
- Stormwater management plan

# **Warranty Deed**

Prepared by and return to:  
Susan Mary Cardenas  
Attorney at Law  
Stones & Cardenas  
221 Simonton Street  
Key West, FL 33040  
305-294-0252  
File Number: 15-102-McCoy  
Sales price.: \$375,000.00

06/02/2015 3:11PM  
DEED DOC STAMP CL: Krys \$2,625.00

Doc# 2031393  
Bk# 2743 Pg# 1411

[Space Above This Line For Recording Data]

## Warranty Deed

**This Warranty Deed** made this 29th day of May, 2015 between John C. McCoy, III, a single man whose post office address is 321 Pine View Drive, Mount Airy, NC 27030, grantor, and 419 Truman, LLC, a Florida limited liability company whose post office address is 336 Duval Street, Key West, FL 33040, grantee:

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

**Witnesseth**, that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in **Monroe County, Florida** to-wit:

That part of Lot Number Three (3) in Square Number Nine (9) of Simonton and Wall's Addition to the Town of Key West, and better known according to C.W. Tift's Map of the Island of Key West as part of Lot Three (3) in said Square Nine (9) of Tract Four (4); but more particularly described by metes and bounds as follows: Commencing at the intersection of the Southwesterly right of way line of Duval Street with the Northwesterly right of way line of Truman Avenue (formerly Division Street) and run thence in a Southwesterly direction along the Northwesterly right of way line of the said Truman Avenue for a distance of 172.67 feet to the Northeasterly right of way line of Eanes Lane, thence Northwesterly and at right angles and along the Northeasterly right of way line of the said Eanes Lane for a distance of 65.0 feet to the Point of Beginning of the parcel of land herein described; thence Southeasterly and at right angles for a distance of 32.17 feet; thence Southeasterly and at right angles for a distance of 4.80 feet; thence Northeasterly and at right angles for a distance of 19.8 feet; thence Northerly with a deflected angle of 64° to the left for a distance of 8.00 feet; thence Northeasterly with a deflected angle of 64° to the right for a distance of 8.69 feet; thence Northwesterly and at right angles for a distance of 13.20 feet; thence Southwesterly and at right angles for a distance of 6.60 feet; thence Northwesterly and at right angles for a distance of 4.10 feet; thence Southwesterly and at right angles for a distance of 57.57 feet to a point on the Northeasterly right of way line of said Eanes Lane; thence Southeasterly at right angles and along said Eanes Lane for a distance of 19.67 feet back to the Point of Beginning.

Parcel Identification Number: 00017950-000000

Subject to taxes for 2015 and subsequent years; covenants, conditions, restrictions, easements, reservations and limitations of record, if any.

**Together** with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

**To Have and to Hold**, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to **December 31, 2014**.

**In Witness Whereof**, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Adele V. Stone  
Witness Name: Adele V. Stone

John C. McCoy, III (Seal)  
John C. McCoy, III

Tania Ortiz  
Witness Name: Tania Ortiz

State of Florida  
County of Monroe

The foregoing instrument was acknowledged before me this 1 day of June, 2015 by John C. McCoy, III, who  is personally known or  has produced a driver's license as identification.

[Notary Seal]



Tania Ortiz  
Notary Public

Printed Name: Tania Ortiz

My Commission Expires: 2-10-16



# **Verification Form**

City of Key West  
Planning Department



Verification Form

(Where Authorized Representative is an individual)

I, T. Seth Neal, being duly sworn, depose and say that I am the Authorized Representative of the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

215 EAMES LANE  
Street address of subject property

All of the answers to the above questions, drawings, plans and any other attached data which make up the application, are true and correct to the best of my knowledge and belief. In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.

T. Seth Neal  
Signature of Authorized Representative

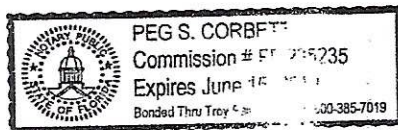
Subscribed and sworn to (or affirmed) before me on this 15 Aug 2018 by  
T. SETH NEAL  
Name of Authorized Representative

He/She is personally known to me or has presented \_\_\_\_\_ as identification.

Peg S. Corbett  
Notary's Signature and Seal

Peg S Corbett  
Name of Acknowledger typed, printed or stamped

FF 235235  
Commission Number, if any



# **Authorization Form**

City of Key West  
Planning Department



Authorization Form  
(Where Owner is a Business Entity)

Please complete this form if someone other than the owner is representing the property owner in this matter.

I, Claudia Gardner as  
*Please Print Name of person with authority to execute documents on behalf of entity*

Management Member of 419 TRUMAN, LLC.  
*Name of office (President, Managing Member) Name of owner from deed*

authorize T. SETH NEAL  
*Please Print Name of Representative*

to be the representative for this application and act on my/our behalf before the City of Key West.

[Signature]  
*Signature of person with authority to execute documents on behalf on entity owner*

Subscribed and sworn to (or affirmed) before me on this 6<sup>th</sup> June 2018 by  
*date*

T. SETH NEAL [Signature] CLAUDIA J. GARDNER  
*Name of Authorized Representative*

He/She is personally known to me or has presented \_\_\_\_\_ as identification.

[Signature]  
*Notary's Signature and Seal*

Natalie L. Hill  
*Name of Acknowledger typed, printed or stamped*



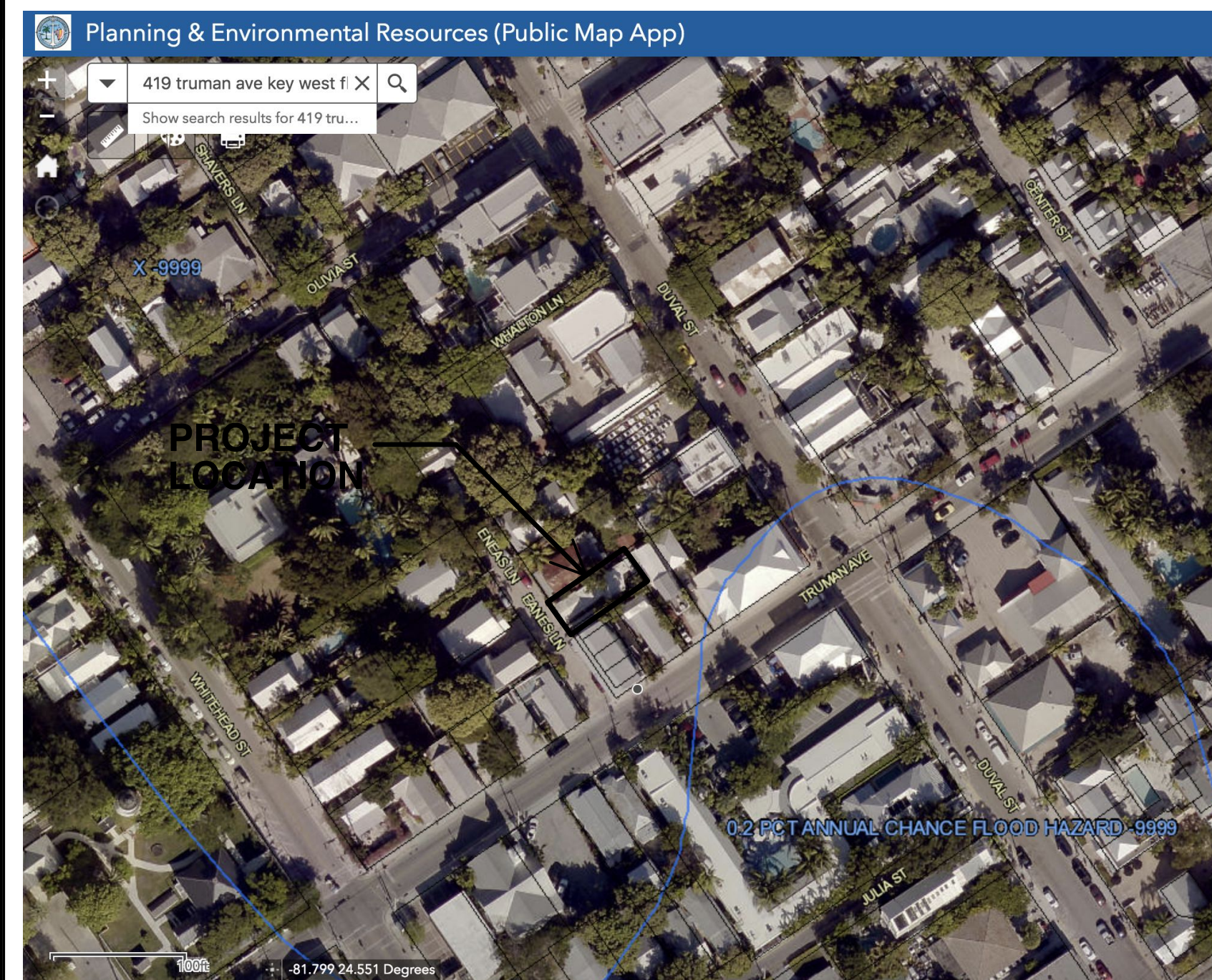
GG 051262  
*Commission Number, if any*

# Site Plans

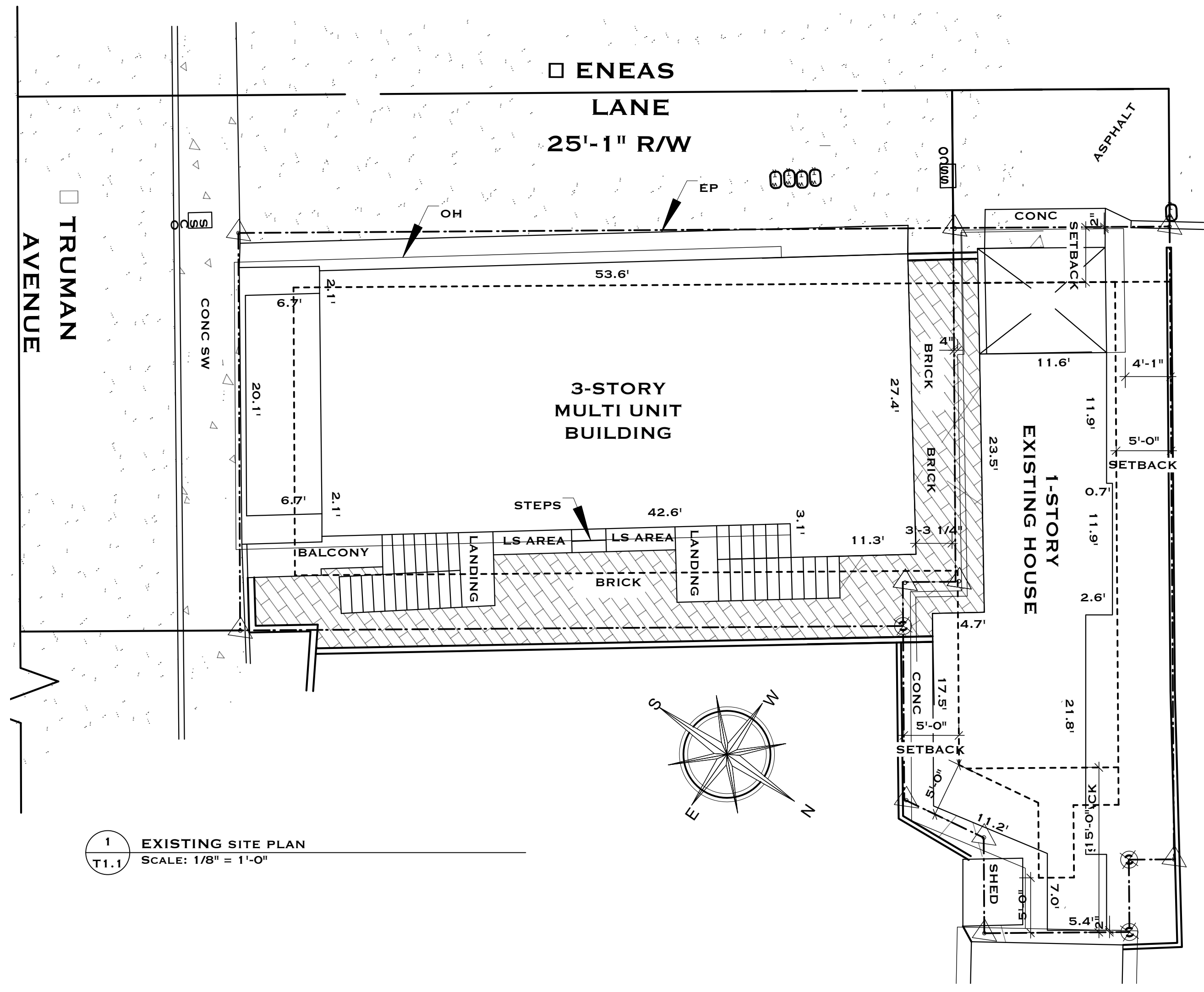
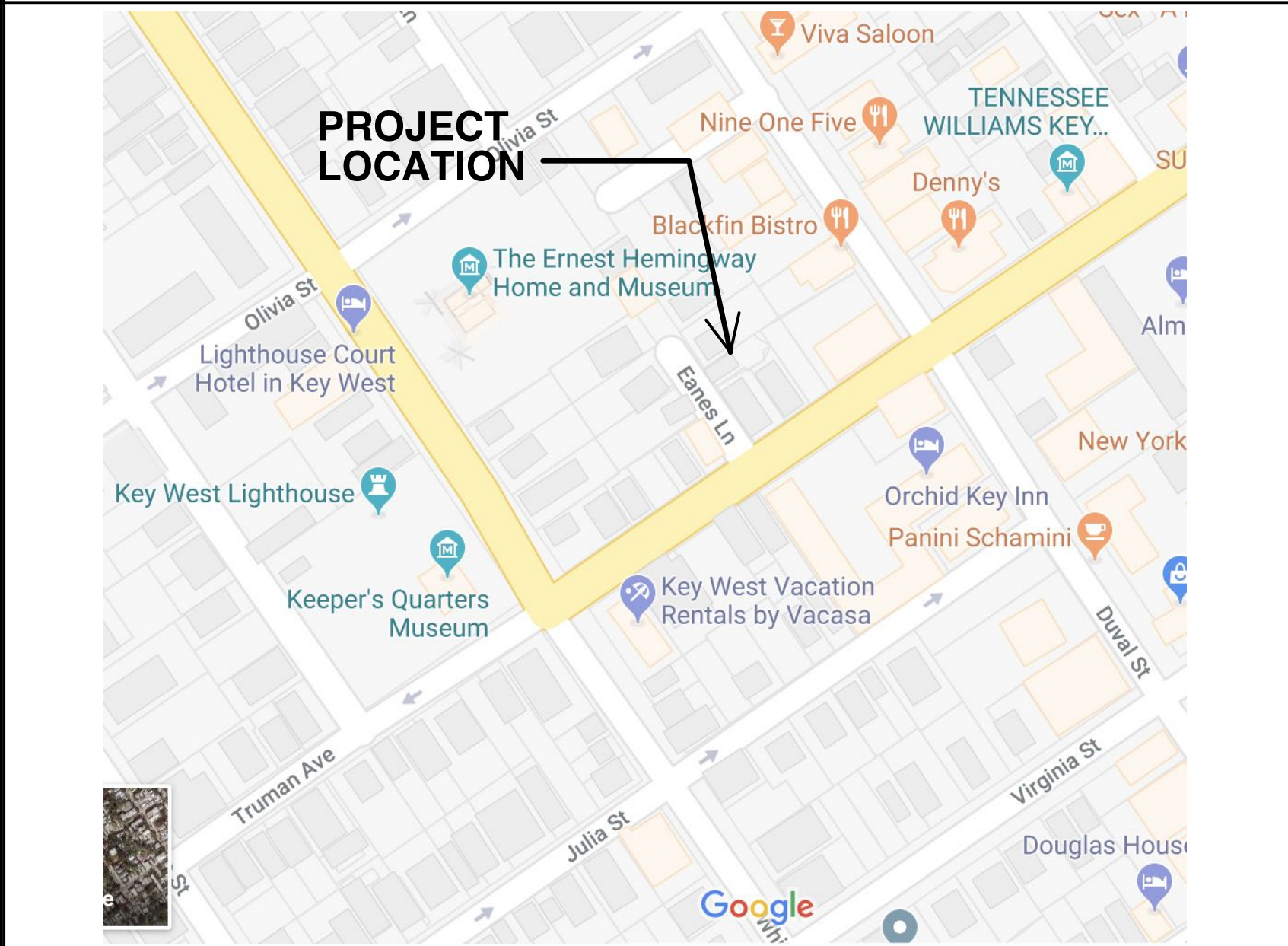
# SITE DATA

ITEM	EXISTING	REQ. PER LDR	PROPOSED	REMARK
DISTRICT	HRCC-3	HRCC-3	HRCC-3	DUVAL STREET OCEANSIDE DISTRICT
SITE AREA	1,315 SQ. FT.	4,000 SQ. FT.	EXISTING	-
LOT SIZE	SEE SURVEY	40' X 90' (MIN)	EXISTING	-
IMPERVIOUS	923 SQ. FT. (70% EXISTING)	789 (60% MAX)	611 SQ. FT. (46%)	CONFORMS
OPEN SPACE	385 SQ. FT. (29% EXISTING)	460 (35% MIN)	531 SQ. FT. (40%)	CONFORMS
BUILDING COV.	726 SQ. FT. (55% EXISTING)	657 (50% MAX)	420 SQ. FT. (32%)	CONFORMS
ACCESSORY STRUCTURE REAR YARD COV.	265 SQ. FT. REAR YARD AREA	(30% MAX COV.) 79 SQ. FT. REAR YARD AREA	59 SQ. FT. (22%)	CONFORMS
FRONT YARD 50% GREEN SPACE COV.	98 SQ. FT. FRONT YARD AREA 19.5% (19%)	49 (50% MIN)	92 SQ. FT. (93%)	CONFORMS
<b>SETBACKS</b>				
FRONT SETBACK	2"	5'	5'-11 1/2"	CONFORMS
REAR SETBACK	2"	15'	29'-11"	CONFORMS
NORTH WEST SIDE SETBACK	4'-1"	5'	4'-1"	VARIANCE REQUESTED
SOUTH EAST SIDE SETBACK	4"	5'	7"	VARIANCE REQUESTED
BUILDING HEIGHT	10'-7"	35'	16'-1 1/2"	CONFORMS

## FEMA MAP FLOOD ZONE X



## SITE LOCATION MAP



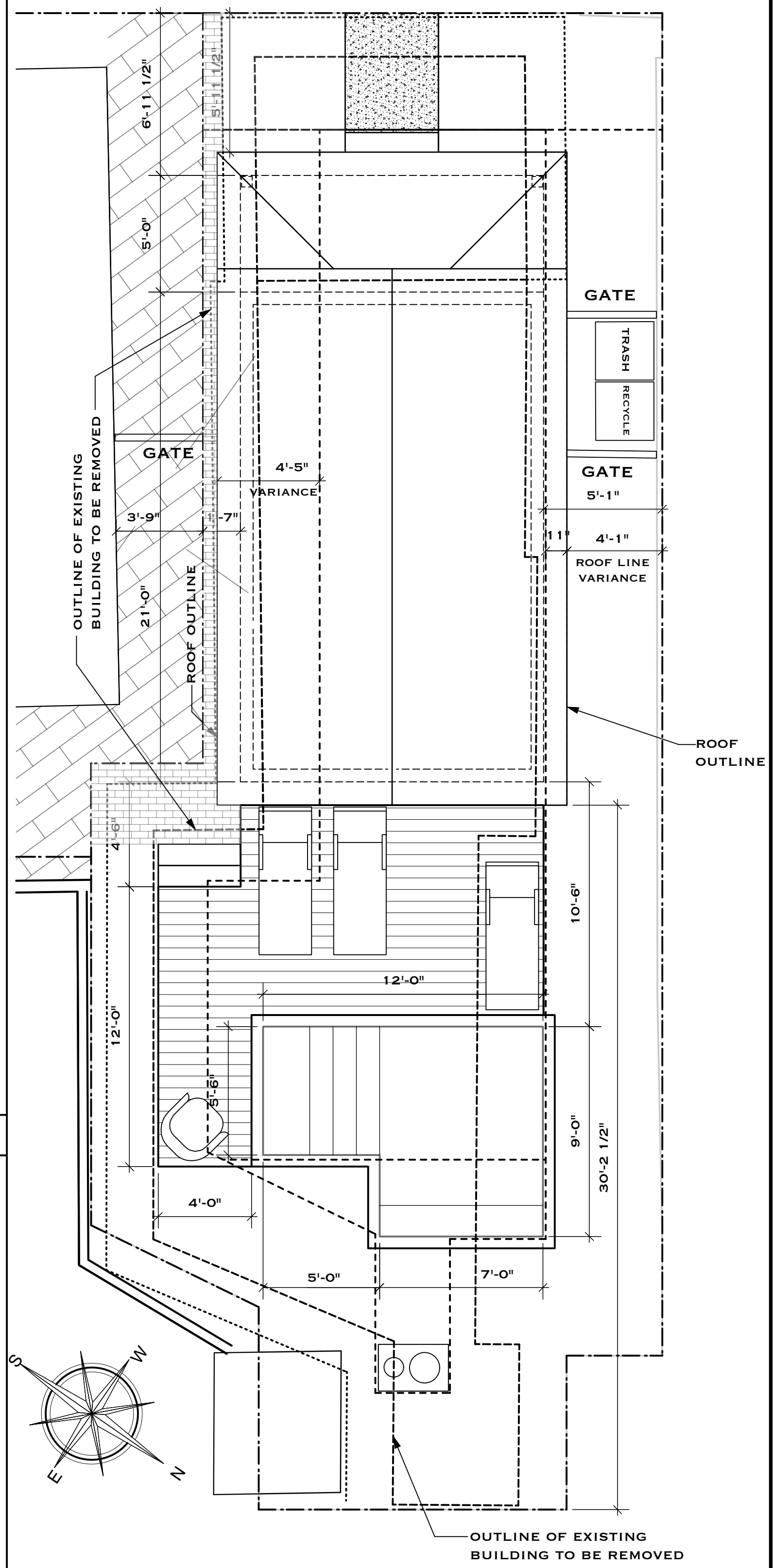
1 EXISTING SITE PLAN  
SCALE: 1/8" = 1'-0"

### GENERAL NOTES:

- DO NOT SCALE ANY DRAWING.
- WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. LARGER SCALE DETAILS HAVE PRECEDENCE OVER SMALLER SCALE DETAILS. ANY DISCREPANCIES ARE TO BE REPORTED TO ARCHITECT PRIOR TO CONSTRUCTION.
- CONSULT THE ARCHITECT IN THE EVENT ANY ITEM OF WORK NECESSARY FOR THE PROPER COMPLETION OF THE PROJECT IS NOT SPECIFICALLY COVERED IN THE DRAWINGS.
- ALL WORK SHALL BE OF SUPERIOR QUALITY PERFORMED IN A MANNER CONSISTENT WITH INDUSTRY STANDARDS, ALL BUILDING CODE REQUIREMENTS AND IN A PROFESSIONAL MANNER BY MECHANICS SKILLED AND LICENSED IN THEIR RESPECTIVE TRADES.
- ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, ERECTED AND CONNECTED IN ACCORDANCE WITH MANUFACTURER'S DIRECTIONS AND RECOMMENDATIONS.
- ANY DISCREPANCIES BETWEEN DRAWINGS, LOCAL CODES, BUILDING INSPECTOR REQUIREMENTS AND/OR EXISTING CONDITIONS SHALL BE REFERRED TO THE ARCHITECT FOR RESOLUTION. ALL DIMENSIONS AND CONDITIONS OF EACH TRADE ARE TO BE VERIFIED PRIOR TO COMMENCEMENT OF CONSTRUCTION OR THE WORK OF EACH SPECIFIC TRADE.
- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF MUNICIPAL, LOCAL, FEDERAL AND STATE LAWS, AS WELL AS ANY OTHER GOVERNING REQUIREMENTS, AND CONVENTIONAL GUIDELINES, WHETHER OR NOT SPECIFIED ON THE DRAWINGS.
- ALL DAMAGED AND DEFECTIVE MATERIAL AND WORKMANSHIP IN CONNECTION WITH THE WORK SHALL BE REMOVED, REPLACED, AND RECTIFIED.
- ALL LEGALLY REQUIRED APPROVALS AND PERMITS NECESSARY FOR THE EXECUTION AND COMPLETION OF THE WORK SHALL BE OBTAINED.
- ALL TIE-INS AND UTILITY SERVICES ARE TO BE COORDINATED WITH THE RESPECTIVE UTILITY COMPANY.
- ALL CONSTRUCTION DEBRIS SHALL BE REMOVED PRIOR TO THE COMPLETION OF THE PROJECT.
- ALL EXISTING TREES, SHRUBS, VEGETATION, AND LANDSCAPE ELEMENTS OR FEATURES ADJACENT TO AND IN THE VICINITY OF THE BUILDING AND STAGING AREAS SHALL BE PROTECTED DURING THE ENTIRE PERIOD OF CONSTRUCTION.
- ANY REVISIONS MUST BE APPROVED BY: ARCHITECT PRIOR TO TO CONSTRUCTION.
- ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE ARCHITECT AND ENGINEER. DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE FOR USE ON THIS PROJECT ONLY AND USE OR REPRODUCTION OF A PART OR WHOLE IS FORBIDDEN WITHOUT THE ARCHITECT'S AND ENGINEER'S WRITTEN PERMISSION THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNTIL SEALED AND SIGNED BY THE ARCHITECT/ENGINEER.

### SCOPE OF WORK:

**DEMO EXISTING ONE STORY BUILDING. NEW ONE STORY RESIDENCE AND NEW POOL AT THE REAR YARD.**



2 ARCHITECTURAL SITE PLAN  
SCALE: 1/4" = 1'-0"

### DRAWING SCHEDULE:

- T1.1 TITLE, SITE DATA, SURVEY, & PROJECT INFO
- C1.0 SURVEYS
- EX1.1 EXISTING FLOOR PLAN & ELEVATIONS
- A1.1 ARCHITECTURAL SITE PLAN, FLOOR PLAN, & ELEVATIONS

**T.S. NEAL ARCHITECTS INC.**  
548 POWELL AVENUE  
LITTLE TORCH KEY  
FLORIDA 33042  
251-422-9547

**215 EANES LANE**  
KEY WEST, FL 33040

**DRAWING TITLE:**  
TITLE & PROJECT INFORMATION

DRAWN: TSN  
CHECKED: -  
DATE: 05-30-2018

#1 07-30-2018  
#2 09-13-2018

REVISION # DATE

**T1.1**  
SHEET #

**T S N**  
T. S. NEAL ARCHITECTS, INC.



215 EANES LANE  
KEY WEST, FL 33040

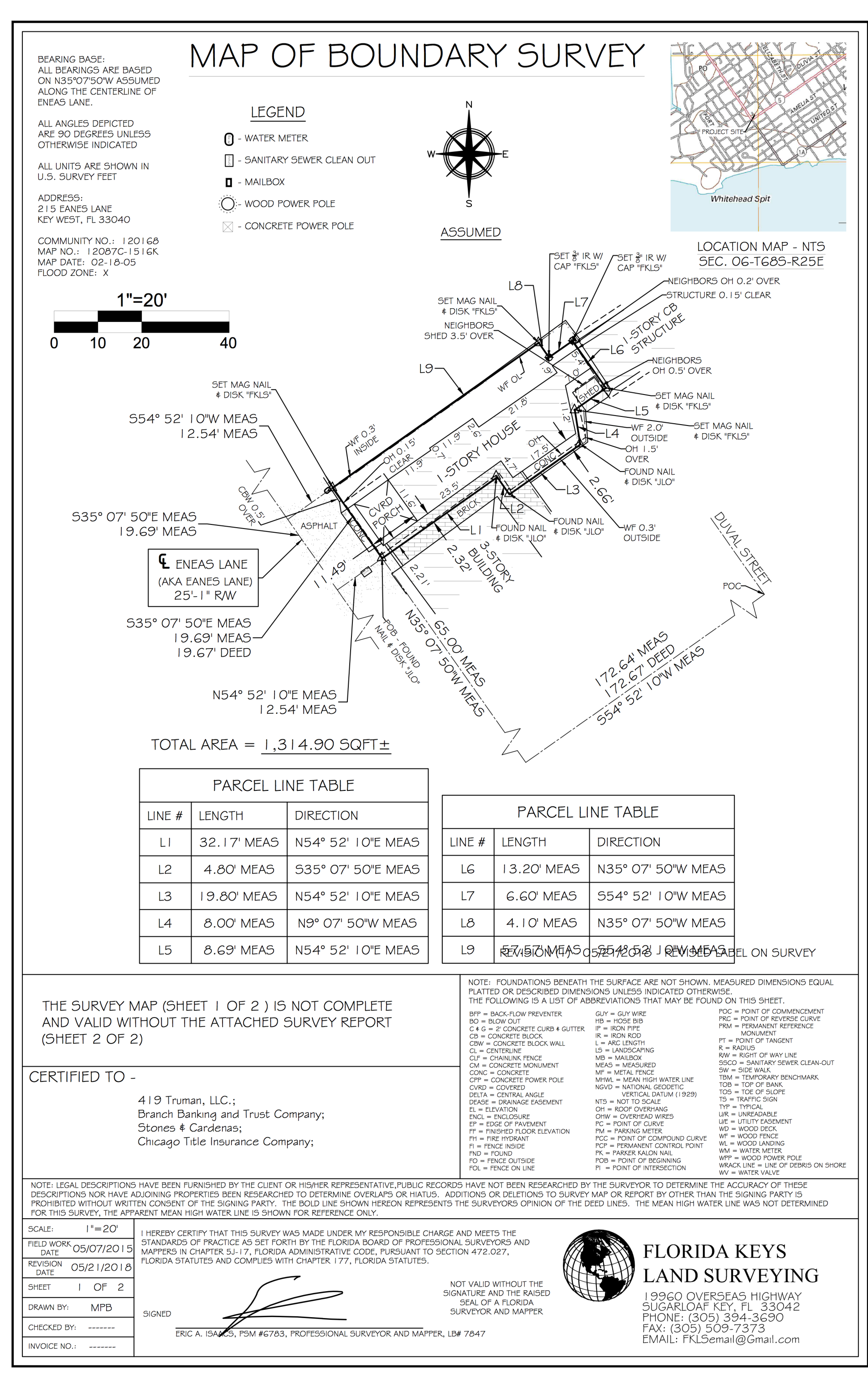
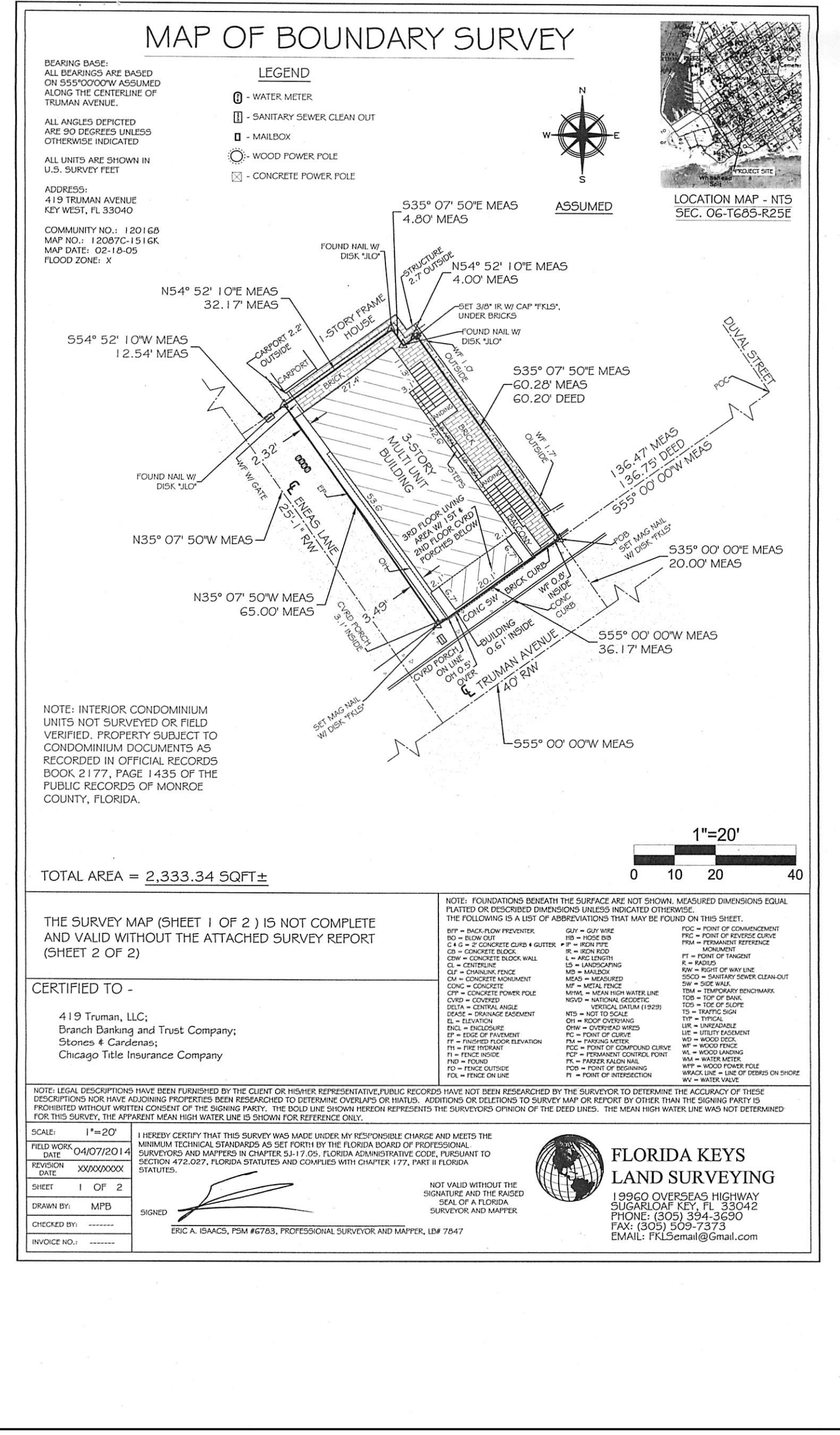
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SURVEYS

DRAWN: TSN  
CHECKED: -  
DATE: 05-30-2018

#1	07-30-2018

REVISION # DATE

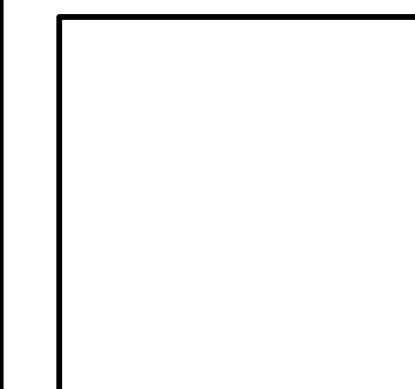
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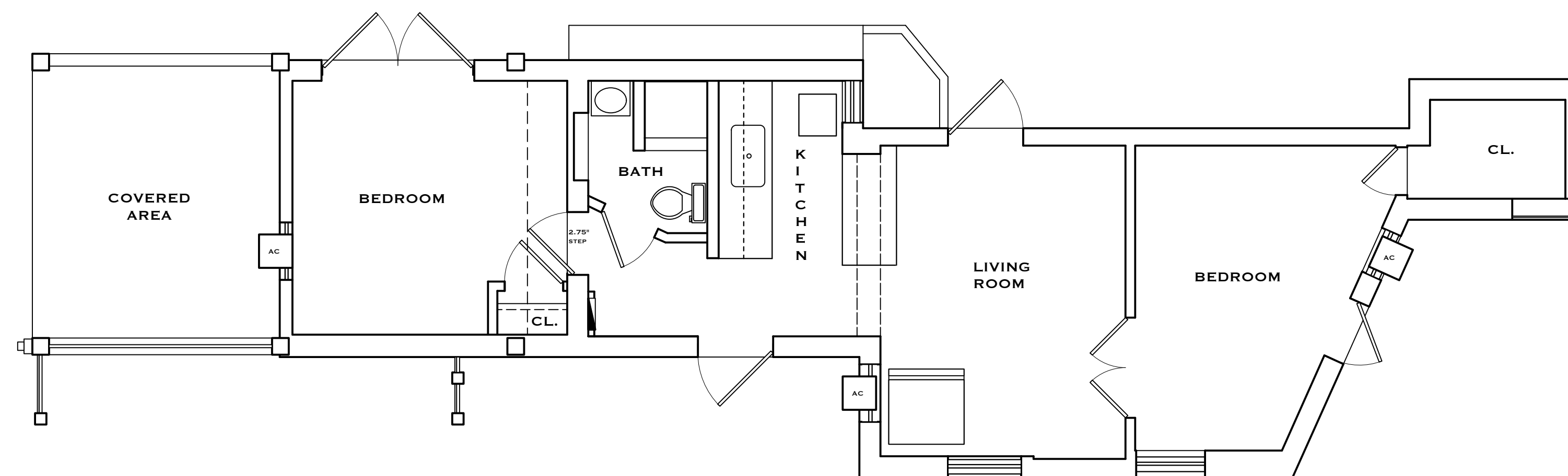


T.S. NEAL ARCHITECTS INC.

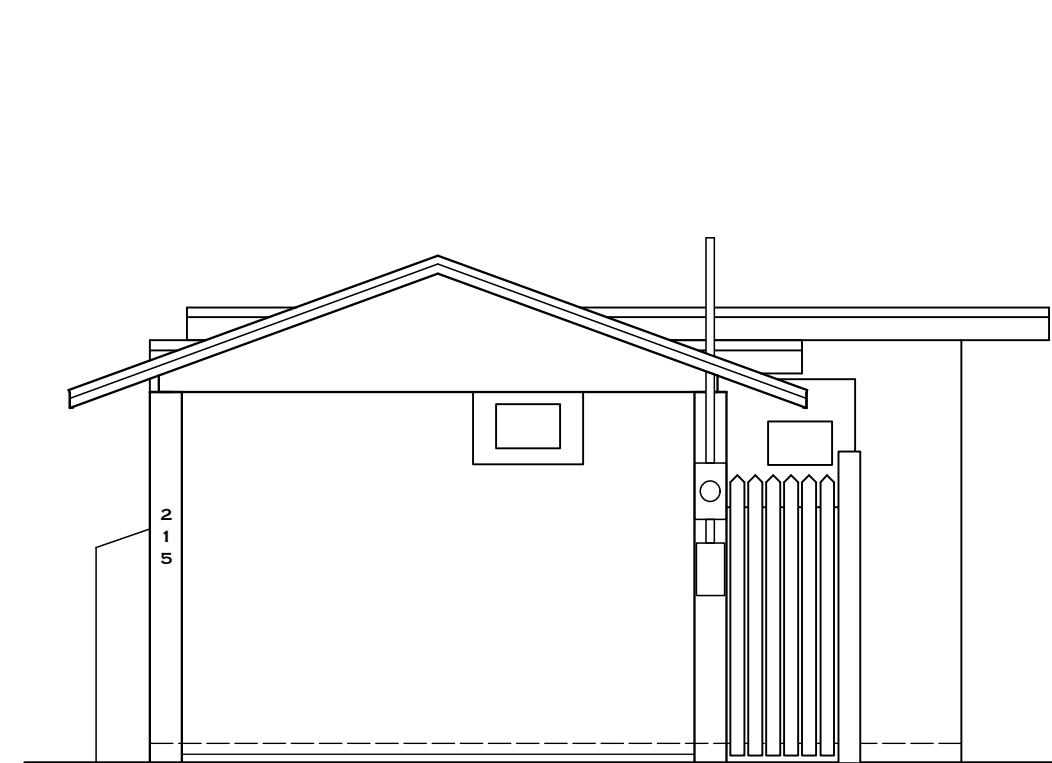
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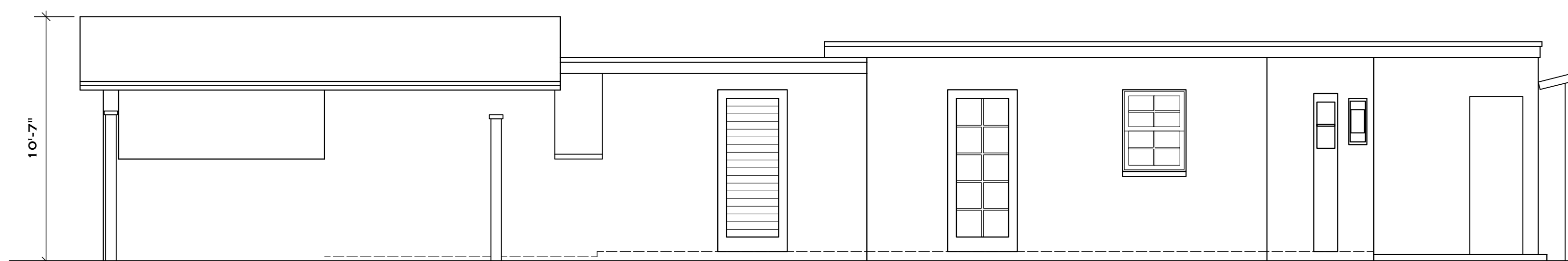
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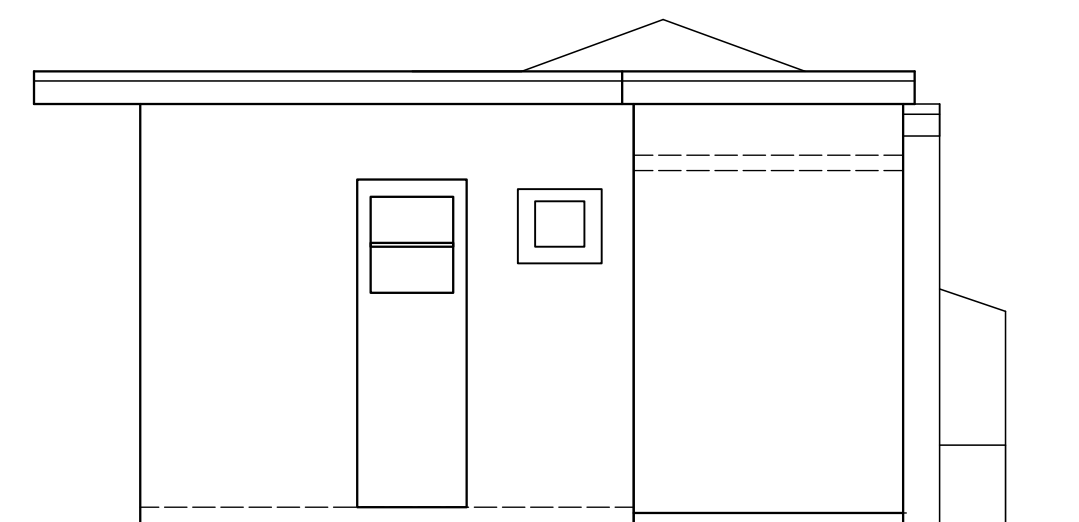
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SCALE: 1/4" = 1'-0"



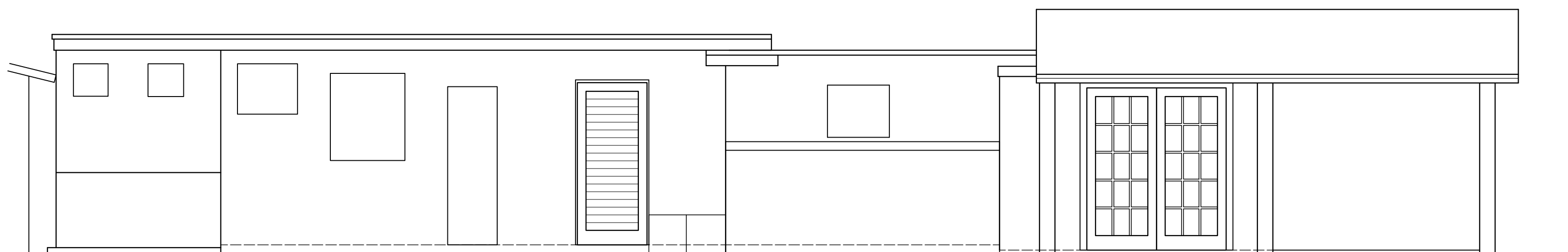
3 EXISTING SOUTHWEST ELEVATION  
SCALE: 1/4" = 1'-0"



2 EXISTING SOUTHEAST ELEVATION  
SCALE: 1/4" = 1'-0"



4 EXISTING NORTHEAST ELEVATION  
SCALE: 1/4" = 1'-0"



4 EXISTING NORTHWEST ELEVATION  
SCALE: 1/4" = 1'-0"

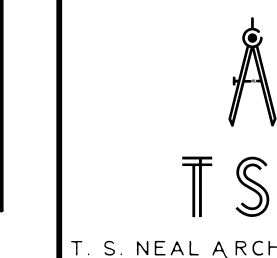
DRAWING TITLE:  
EXISTING FLOOR PLAN  
& ELEVATIONS

DRAWN: TSN  
CHECKED: -  
DATE: 05-30-2018

#1	07-30-2018
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REVISION #	DATE
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EX1.1  
SHEET #



T. S. NEAL ARCHITECTS, INC.



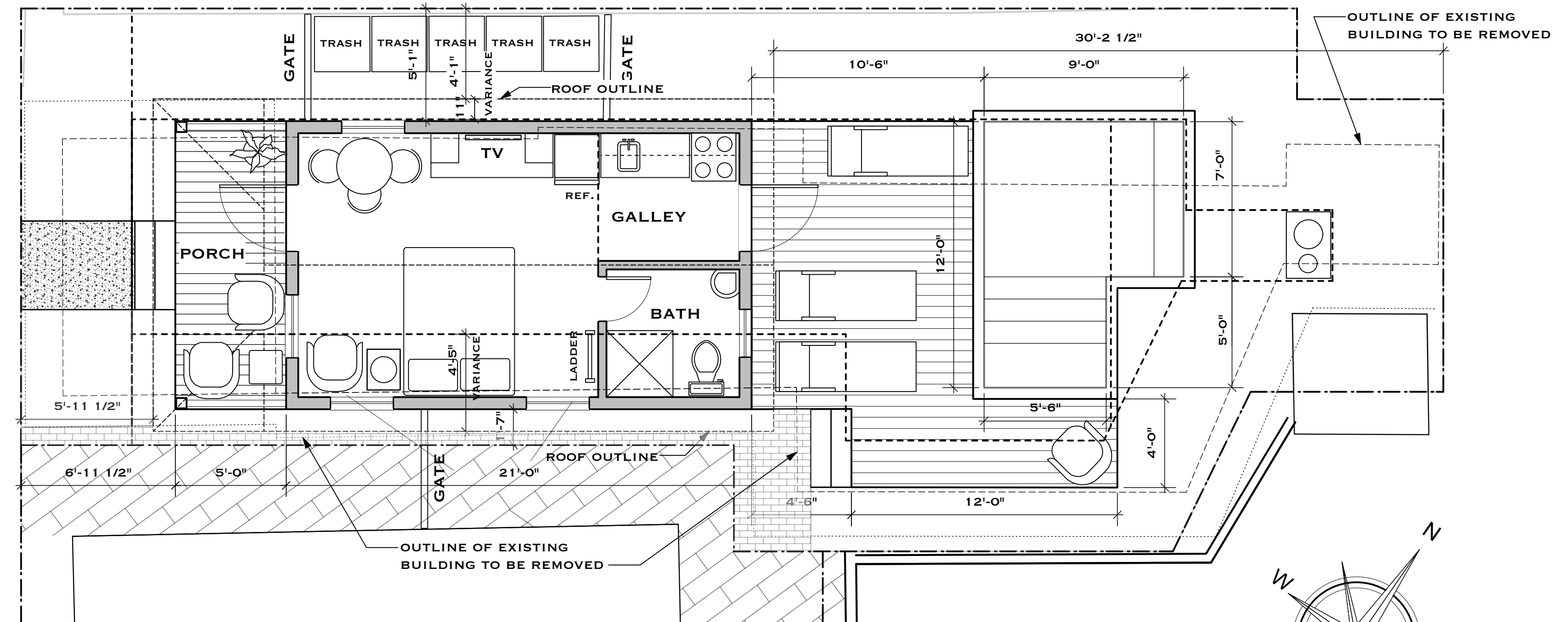
TIMOTHY SETH NEAL FLA. REGISTRATION # AR97505



# SITE DATA "WEEKENDER"

ITEM	EXISTING	REQ. PER LDR	PROPOSED	REMARK
DISTRICT	HRCC-3	HRCC-3	HRCC-3	DUVAL STREET OCEANSIDE DISTRICT
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SOUTH EAST SIDE SETBACK	4"	5'	4'-5" VARIANCE REQ.	VARIANCE REQUESTED
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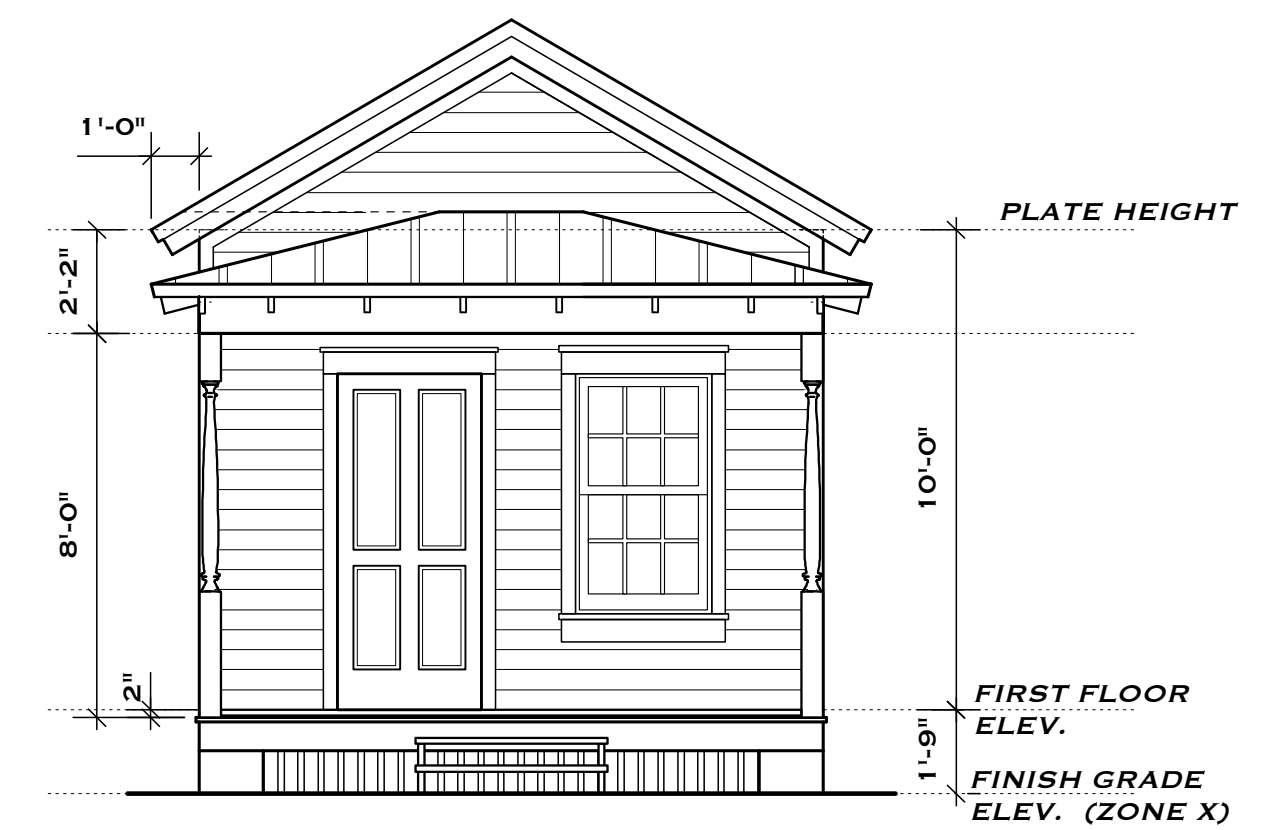
NOTE:  
EXISTING ONE STORY BLOCK BUILDING TO BE REMOVED



1 ARCHITECTURAL SITE PLAN  
SCALE: 1/4" = 1'-0"

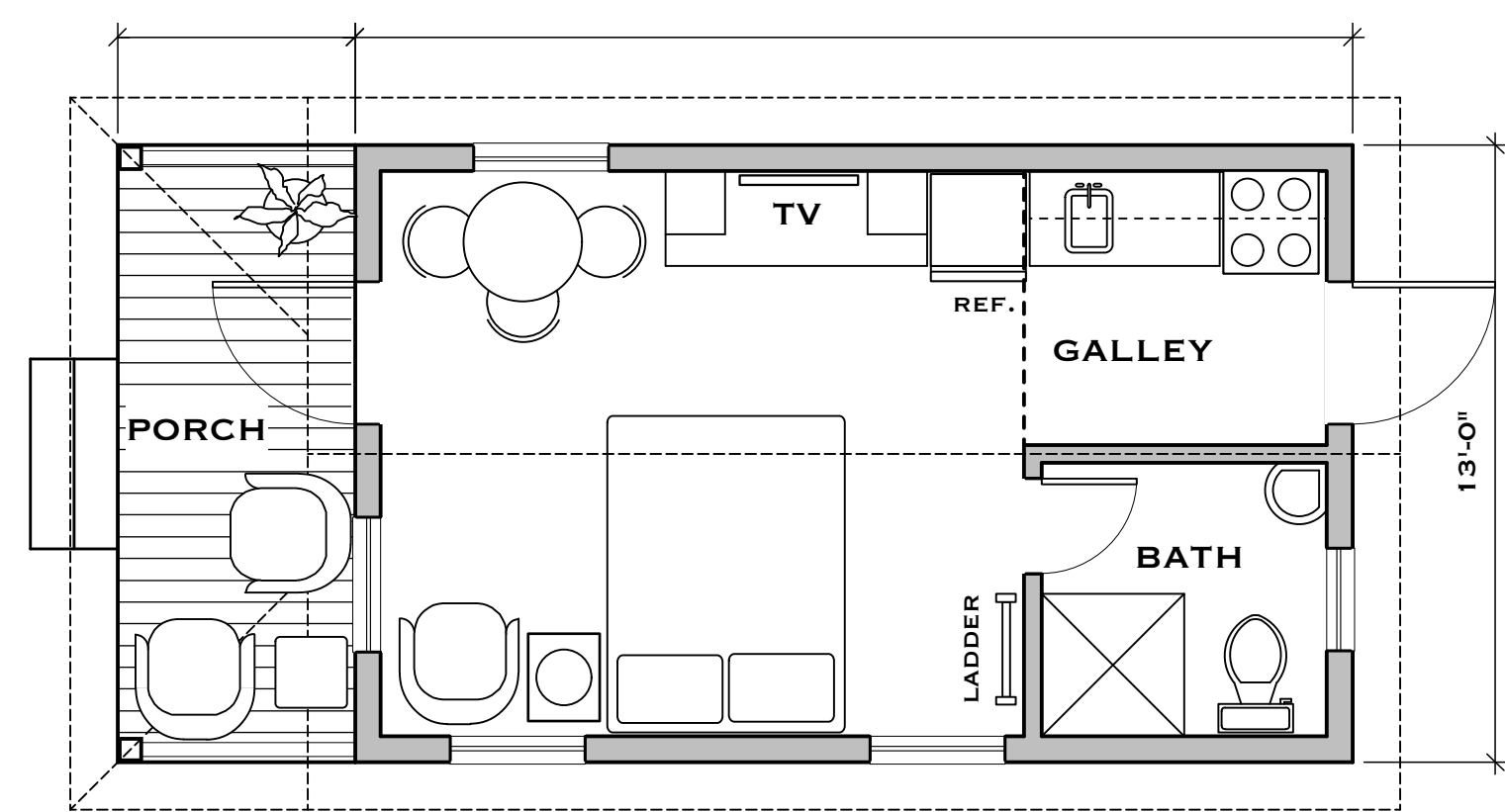


3 SIDE ELEVATION  
SCALE: 1/4" = 1'-0"

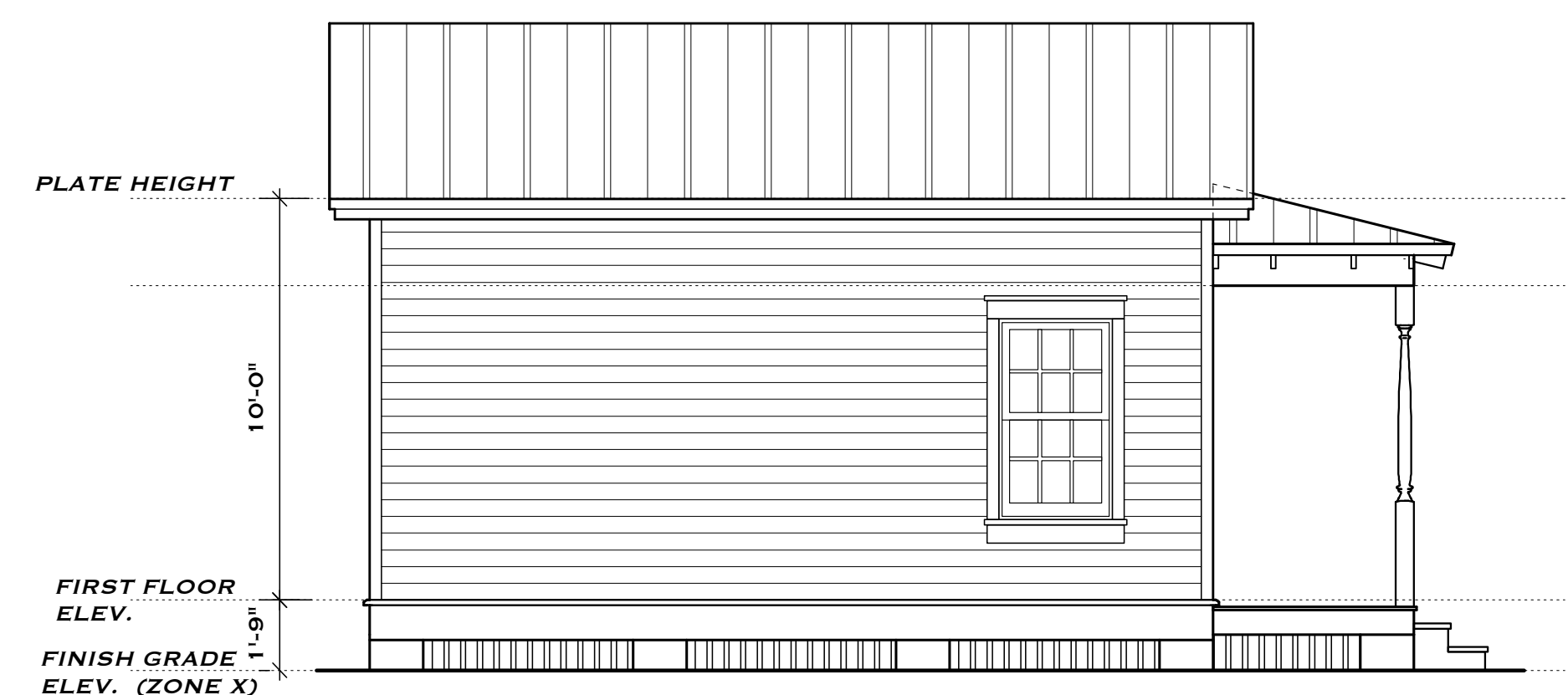


2 EANES LANE ELEVATION  
SCALE: 1/4" = 1'-0"

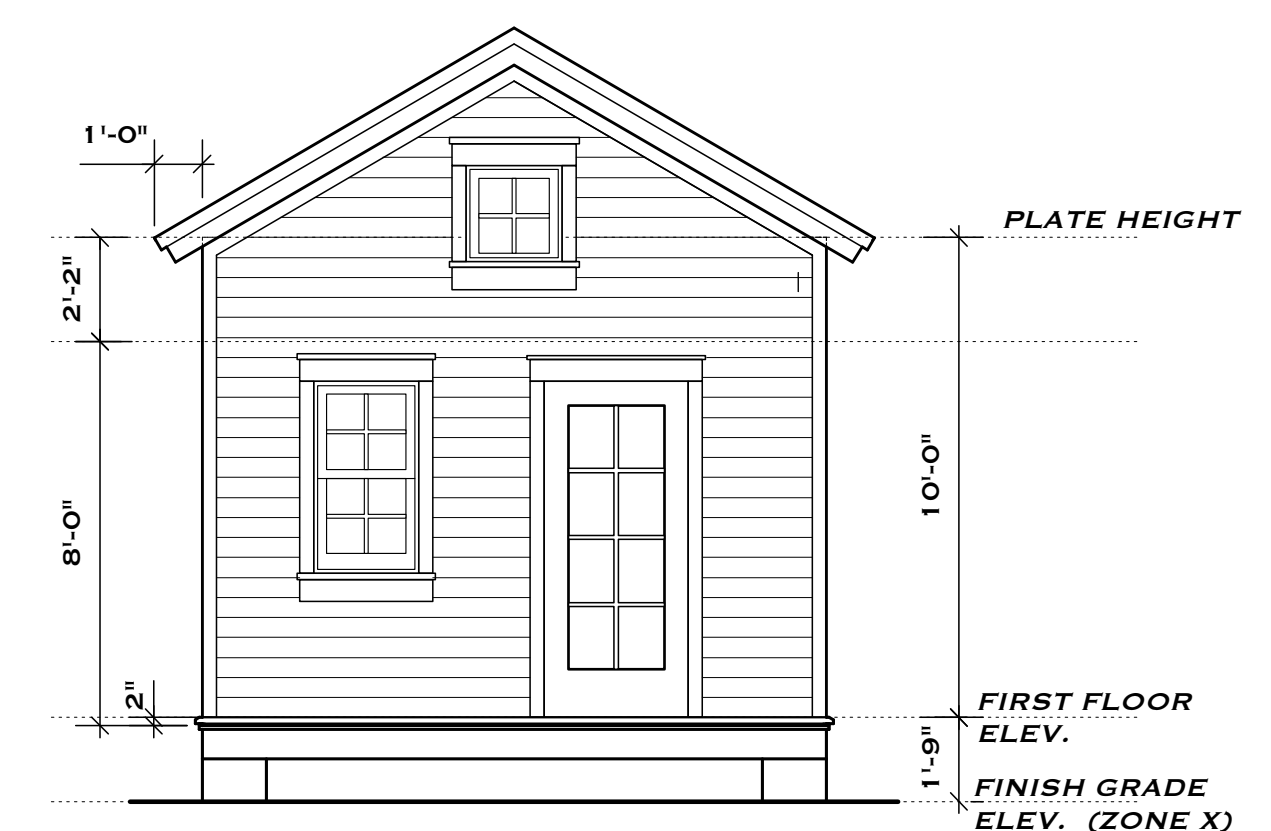
4 BUILDING SECTION  
SCALE: 1/4" = 1'-0"



7 FLOOR PLAN  
SCALE: 1/4" = 1'-0"



6 REAR ELEVATION  
SCALE: 1/4" = 1'-0"



5 REAR ELEVATION  
SCALE: 1/4" = 1'-0"

T.S. NEAL  
ARCHITECTS INC.  
548 POWELL AVENUE  
LITTLE TORCH KEY  
FLORIDA 33042  
251-422-9547

215 EANES LANE  
KEY WEST, FL 33040

DRAWING TITLE:  
ARCHITECTURAL SITE PLAN,  
FLOOR PLAN, & ELEVATIONS

DRAWN: TSN  
CHECKED: -  
DATE: 05-30-2018

#1 07-30-2018

REVISION # DATE

**A1.1**  
SHEET #

T S N  
T. S. NEAL ARCHITECTS, INC.

**Site Visit**

215 Eanes Lane, Key West, Florida 33040  
SITE VISIT



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# **Additional Information**





### Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

### Summary

Parcel ID 00017950-000000  
 Account # 1018414  
 Property ID 1018414  
 Millage Group 10KW  
 Location 215 EANES Ln, KEY WEST  
 Address  
 Legal KW PT LOT 3 SQR 9 TR 4 G41-301/02 OR608-29/LE PROB3 75-140 PROB87-388-CP-  
 Description 10 OR1028-2223/24WILL OR1040-1874/76P/R OR1086-1393/94 OR1293-1346/47  
 OR1307-2014/15 OR1389-2109/10 OR2688-2120LET/ADM OR2714-799ORD  
 OR2743-1411/12  
 (Note: Not to be used on legal documents)  
 Neighborhood 6108  
 Property SINGLE FAMILY RESID (0100)  
 Class  
 Subdivision  
 Sec/Twp/Rng 06/68/25  
 Affordable No  
 Housing



### Owner

419 TRUMAN LLC  
 336 Duval St  
 Key West FL 33040

### Valuation

	2017	2016	2015	2014
+ Market Improvement Value	\$109,998	\$101,994	\$41,106	\$40,327
+ Market Misc Value	\$2,391	\$2,492	\$2,225	\$2,060
+ Market Land Value	\$292,881	\$262,584	\$214,291	\$201,610
= Just Market Value	\$405,270	\$367,070	\$257,622	\$243,997
= Total Assessed Value	\$403,777	\$367,070	\$257,622	\$200,757
- School Exempt Value	\$0	\$0	(\$25,000)	(\$25,000)
= School Taxable Value	\$405,270	\$367,070	\$232,622	\$175,757

### Land

Land Use	Number of Units	Unit Type	Frontage	Depth
RESIDENTIAL DRY (010D)	1,341.00	Square Foot	0	0

### Buildings

Building ID	1313	Exterior Walls	C.B.S. with 23% WD FR STUCCO	
Style	GROUND LEVEL	Year Built	1948	
Building Type	S.F.R. - R1 / R1	EffectiveYearBuilt	2005	
Gross Sq Ft	743	Foundation	CONCRETE SLAB	
Finished Sq Ft	623	Roof Type	FLAT OR SHED	
Stories	1 Floor	Roof Coverage	TAR & GRAVEL	
Condition	GOOD	Flooring Type	CONC S/B GRND	
Perimeter	164	Heating Type	FCD/AIR NON-DC with 0% NONE	
Functional Obs	0	Bedrooms	2	
Economic Obs	0	Full Bathrooms	2	
Depreciation %	13	Half Bathrooms	0	
Interior Walls	DRYWALL	Grade	450	
		Number of Fire Pl	0	
Code	Description	Sketch Area	Finished Area	Perimeter
CPF	CARPORT FIN	120	0	0
FLA	FLOOR LIV AREA	623	623	0
<b>TOTAL</b>		<b>743</b>	<b>623</b>	<b>0</b>

**Yard Items**

Description	Year Built	Roll Year	Quantity	Units	Grade
PATIO	1979	1980	1	227 SF	2
WALL AIR COND	1986	1987	1	1 UT	2
FENCES	2010	2011	1	360 SF	2

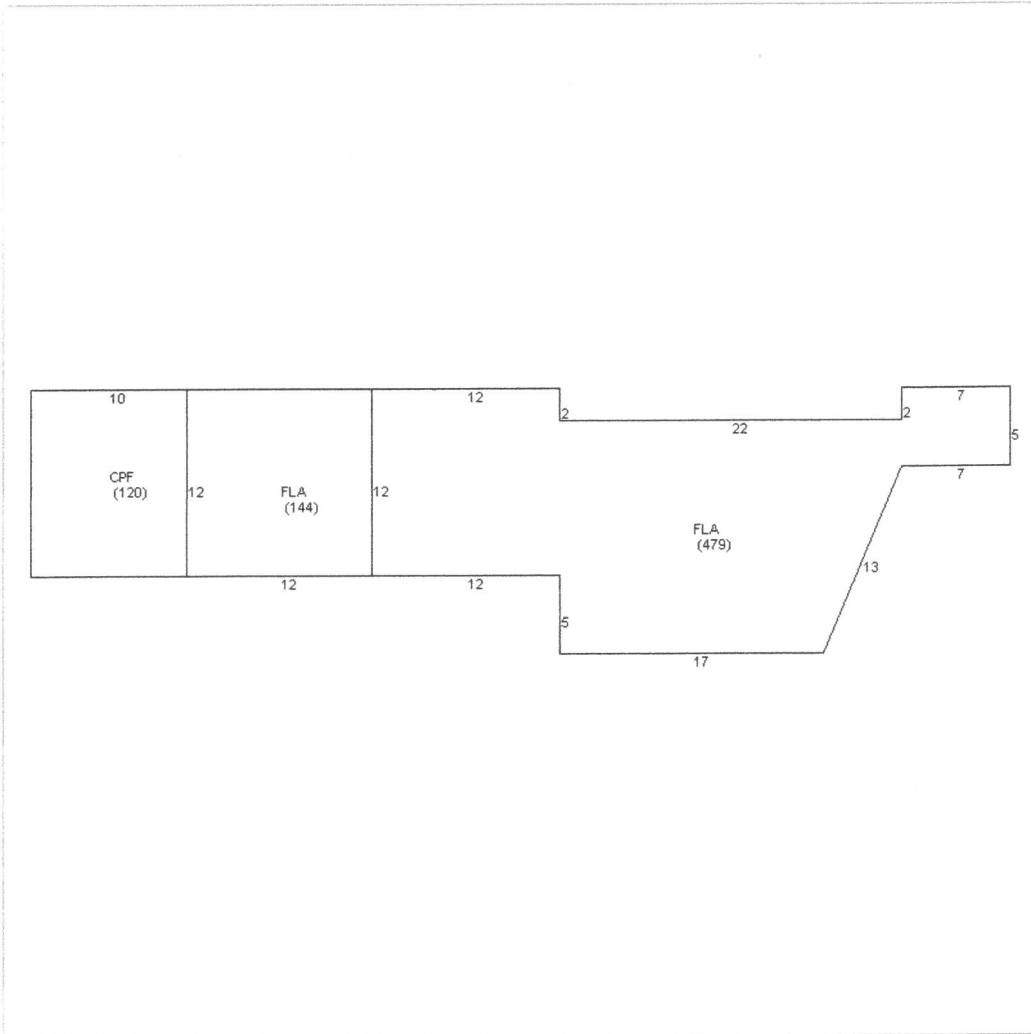
**Sales**

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved
6/1/2015	\$375,000	Warranty Deed		2743	1411	30 - Unqualified	Improved
3/21/2014	\$0	Order (to be used for Order Det. Heirs, Probate in		2714	799	11 - Unqualified	Improved
2/1/1996	\$11,500	Quit Claim Deed		1389	2109	K - Unqualified	Improved
5/1/1994	\$7,500	Quit Claim Deed		1307	2014	H - Unqualified	Improved
2/1/1994	\$65,800	Warranty Deed		1293	1346	Q - Qualified	Improved

**Permits**

Number	Date Issued	Date Completed	Amount	Permit Type	Notes
15-3146	7/31/2015	10/15/2015	\$2,200		RE LOCATE VANITY HEATERS & SHOWER VALVE IN EXISTING BATHROOM
15-2855	7/16/2015	10/20/2015	\$7,000		R & R KITCHEN CABINETS FLOORING PANTRY EXTERIOR PAINT AND CLEAN UP
09-1645	6/8/2009	4/22/2010	\$500		RED TAGGED***R&R 160sf OF SHINGLE ROOFING WITH LIKE MATERIAL
09-1646	6/8/2009	4/22/2010	\$800		RED TAG***CONSTRUCT 6'H PICKET FENCE ON SIDE OF PROPERTY 60lf
9602224	5/1/1996	11/1/1996	\$800		RENOVATIONS

**Sketches (click to enlarge)**



Photos



Map



No data available for the following modules: Commercial Buildings, Mobile Home Buildings, Exemptions.

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