



THE CITY OF KEY WEST

Post Office Box 1409 Key West, FL 33041-1409 (305) 809-3883

ADDENDUM NO. 1

Truman Waterfront Park Phase 1B- Building 1287 & Field

ITB 19-026

This addendum is issued as supplemental information to the bid package for clarification of certain matters of both a general and a technical nature. The referenced Invitation to Bid (ITB) package is hereby amended in accordance with the following items:

To date there have been five number of questions regarding the substitution of currently specified materials/products. It is the City's policy that any substitutions, if granted, will be made subsequent to bid award.

See attachments:

1. Responses from architect
2. Pre-Bid Meeting Minutes
3. Pre-Bid Meeting Sign Up Sheet

All Bidders shall acknowledge receipt and acceptance of this Addendum No. 1 with Attachment by submitting the addendum with their proposal. Proposals submitted without acknowledgement or without this Addendum may be considered non-responsive.

Signature

Name of Business

Truman Waterfront Phase 1B

RFI Addendum #1

Date: 2019.08.19

ATTN: Albiona Balliu

1. Part of the “Bid Proposal Form on page 12 and 13 there is a list for NTP1Bid Deduct Alternates. Item 10. States “Fruit Tree Grove hardscape & fencing” is item #10 should be excluded? Please clarify what need to be done with this item?

K2M Response: This item should be bid, but may be removed by the city based on cost.

2. At the back of the stables, there are a bunch of city fencing and recycled containers. Who will be responsible to remove these items from the site?

City response required. The City will remove items mentioned.

3. Who will design and permit the shade structure for the temporary horse shelter?

K2M Response: K2M Design will design the structure upon contractor’s completion of the scope gather from the Police Department. The permitting will be completed by the contractor.

3 shelters 13’x11’ with roof to provide shelter from sun and rain. A trailer for storage, approximately the size of one shelter, is required. Power is needed for lighting and fans for each shelter. Water access within 10’ of the shelters is required. A horse run, similar in size to the existing run, will also be needed. A 30 amp circuit is required for the horse trailer

4. How big is the temporary horse shelter have to be?

K2M Response: The scope has not yet been determined.

Three shelters need to be 13’x11’ and provide shade and shelter from sun and rain.

5. Since the contractor does not know where this shade structure for the horses will be moved, how far should we estimate the water source is?

K2M Response: The scope has not yet been determined, but the location is to be determined by the contractor based upon their site work requirements and staging areas. Water source location and type TBD by contractor and City of Key West, and may be portable or plumbed.

6. Can we have more specification on the alternate Design/build mechanical system for the building (alternate item #12)? Does the City want the cheapest system to cool the building that can meet code?

City response required. The alternate HVAC system should provide roof-mounted central air to the storage of equipment area, bathroom, hall, climate-controlled storage, and offices in lieu of a mini-split arrangement. The mini-split design (two units) for the horse stables is to remain.

7. **Sheet P1.1.1 shows the 4" SS connecting on the east side and sloping on east of the building and to see Civil for continuation. The Civil drawings C-500 show the connection for the sewer on the north side of the building. Please provide direction on how to connect the sewer?**

K2M Response: Connect SS to the north side of the building. Manifold the (3) SS runs that go toward the north side of the building into one connection

8. **P1.1.1 show the sewer drains at different location throughout the building. This means the slab will have to be cut to accommodate the pipes. Should the contractor follow rebar dowel details shown on 9 on S-4.2 to epoxy #4 rebar at 12" OC and concrete patch the concrete floor?**

K2M Response: Created New detail 12 on sheet S-4.2

9. **Sheet A2.1.0 calls for a type D wall to the exterior perimeter walls which is a 2x6 PT wood stud, from the finish floor to the underside of structure with a 3/4" plywood on the inside and outside face. Sheet S-4.0 shows a short 8" wide CMU with a tie beam with a 2x6 PT wood stud on top of the tie beam with 5/8" plywood on the exterior face only. Please clarify which detail we are to follow? Also, if detail S-4.0 is correct, how high is the stem wall have to be?**

K2M Response: Use detail on sheet S-4.0 and stem wall should be 3'-0" ([3]CMU + 12" tie beam) See sheets attached to this Addendum

10. **Sheet A1.1.1 Note 3 shows a Horse run area. Sheet C-300 shows the same area for the horse run but it looks like there is a fence around it with a gate; however, no fence details is provided on either drawings. Please clarify if any fencing is required around the horse run area, if yes please provide details of the fence?**

K2M Response: See sheet A8.1.1 for fence details

11. **Sheet A2.1.2 calls for the stable roof to be Metal Standing seam roof. Sheet A3.1.1 calls for the same roof to be 5V metal roof. Which is correct? If the roof is to be 5 V, please provide a specification for this type of roof? Also provide if the roof will be "Galvalume" or colored?**

K2M Response: Refer to NOA & Specifications for the roof. Roof to be Standing Seam, white.

12. **Sheet A2.1.2 shows the concessions and the bathroom foyer roof to be membrane roof; however, elevation 4 and 3 on sheet A3.1.1 calls for the same roofs to be 5 V crimp. Which type of roof is correct for these two locations?**

K2M Response: Only existing roof is to receive new membrane. New roof structures are to be standing seam. See response #11 above

13. **Please provide additional information on the framing for the short canopies that are above doors 005/004; 003; 013 and 001/002? The only detail shown is on A8.1.1 for the metal support bracket which is not clear how the rest of the canopy is built.**

K2M Response: Contractor to send detail sheet to manufacturer to provide cutsheet per note on same sheet.

14. Elevation 1 on sheet A3.1.1 does not show any canopy above door 012; however, elevation #3 on the same page shows a canopy. If a canopy is to be built above door 012, please provide additional detail on how this is framed? Similar as question 8 above.

K2M Response: There is a canopy of door 12 per elevation 3. See above response #13

15. Would a General Liability limit of \$1MIL per occurrence, \$2Mil aggregate with a \$4MIL Umbrella satisfy the city's General Liability requirement of \$1MIL per Occurrence, \$3MIL aggregate?

City response required. Yes, this is acceptable.

16. Can you please have someone explain the Scope of Work expected in each Phase for this project. Phase 1 – 270 days and Phase 2 - 270 days. Please define the elements of each Phase.

K2M Response: Refer to Specifications for Scope of Work associated with each phase.

17. Are the existing Traffic Barriers to be removed by the City of Key West? Are they to be stored onsite (at Construction Site) during the construction?

City response required. The City will remove items mentioned and store off-site.

18. Is there an estimated or set budget for ITB # 19-026, Truman Waterfront Park Phase 1B?

City response required. As noted on the agenda for the mandatory pre-bid meeting, the project budget is approximately \$4.5M.

19. City of Key West Lighting Ordinance Section 10-248 reflects the intention of controlling exterior light and measures to reduce or eliminate negative lighting. Considering the code, does the sports lighting need (glare and spill light with) shielding for the Soccer Field Lighting? What is the City of Key West requirement for spill light at the property line?

City response required. The lights would not be visible from the beach, so this requirement does not apply.

20. International Dark Skies Association (IDA) currently has a community friendly sports lighting program. Does the bidder need to meet these qualifications?

City response required No, they do not.

21. Lightning is a major issue for South Florida and the Florida Keys. Monroe County and Monroe County School District utilizes surge protection of at least 50 KA in the driver enclosure. Does the city require 50 KA for this project?

City response required. Yes.

22. What is the requirement for the Sports Lighting warranty? How many years? Shall the warranty include parts and labor similar to past projects such as Clayton Sterling Park, Dewitt Roberts Park, and Nelson English Park?

City response required. 10 years. Warranties, guarantees, or service agreements similar to other City and County park projects are acceptable.

- 23. Plans present a 30 Footcandle average for the field. Does the City of Key West require the lighting manufacture to guarantee the light levels for the length of the warranty?**

City response required. Lighting levels should be maintained and guaranteed as part of the manufacturers warranty or service agreement.

- 24. Please indicate the fusing and driver location for the sports lighting? Does the City of Key West prefer enclosures approximately 10 feet above grade for simple access?**

City response required. 8' pads will be used at lighting poles, so 10' enclosure height is acceptable.

- 25. Currently the parks in the City of Key West are turned on remotely, Does the City of Key West prefer to a Remote Lighting Control System with owner access including security codes via phone, e-mail, website, or smart application.**

City response required. Yes.

- 26. Base Bid Athletic Field Construction states in the Landscaping Plan Pages Notes that the Depth of the rootzone will be determined by the Contractor, but is suggested at 6 to 8 inches. I highly suggest that the City picks a depth for all bidders to work from ensuring apples to apples bidding. A successful Bermuda or Paspalum Rootzone is a minimum of 8 inches. USGA recommends 10 to 12 inches.**

K2M Response: The recommended depth is 8 inches. Contractor may provide an alternate for a depth of 10 inches.

- 27. Same Note/ Specification states a 90/10 Canadian Peat Rootzone. It should read a 90/10 USGA with Canadian Peat. This ensure that the gradation of sands are per USGA requirements. Otherwise, some bidders will supplement this sand with cheaper sand with more fines clogging up the percolation rates.**

K2M Response: This has been noted.

- 28. Base Bid for Athletic Field is Supreme Paspalum. Big Roll Sod with Netting removed. An Alternate to Supreme is Platinum Paspalum for your review. It has less fungus pressure than Supreme.**

K2M Response: We are unsure of the question.

- 29. Landscape Spec for Bermudagrass other than the Athletic Field states it will be “seeded” with Championship Bermuda or Champion Bermuda. Please confirm that the Bermuda Grass is to be SODDED and not seeded. Championship Bermuda is not a registered Bermudagrass as far I understand. Champion Bermuda is an Ultra Dwarf Bermuda for Golf Greens. Very high maintenance and is not available for sodding large Common Areas. Pricing restricts such.**

City response required. “Championship” is likely a typo. Item #11 on page 13 describes installation as “sod” which is an alternate for the soccer field area itself, not areas other than the athletic field. Cannot find “seeded” within contract documents. Meridian specifies Champion Bermuda in K2M drawings. **K2M please advise.**

K2M Response: Bermuda grass is to be type “Celebration” per RFI response #32, below.

- 30. Athletic Field Grow-In and maintenance specifications. I did not see any. Am I missing this section? Typical Maintenance for Sodded Paspalum or Bermuda requires a minimum of 30 days with Topdressing, Rolling, Mowing, Fertilization, Fungus and Weed Suppression, Insect Control, etc. Minimum of 30 days, sometimes up to 90 days.**

K2M Response: Grow-In and maintenance for sod to be determined by contractor based upon requirements from supplier.

- 31. Irrigation Water for Establishment. This water is to be purchased by General Contractor/ Prime Bidder? Or by Maintenance Entity? Or provided by City of Key West?**

City response required.

See provided drawing sheet “Plant material list, landscape notes, & soil backfill spec.” sheet number LL-04: “CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE AND WATERING OF PLANT MATERIAL UNTIL FINAL ACCEPTANCE.”

- 32. Is the Bermuda Grass type “Celebration?”**

K2M Response: Yes.

- 33. Door 027 says womens restroom outside hollow metal door and frame with hardware set 2 and under remarks it says impact rated aluminum entry door. Please clarify.**

K2M Response: Door 27 is impact rated aluminum with hardware set group 2

- 34. No door description for the horse stable doors not sure what to get quoted. Do these doors need to be rated?**

K2M Response: Contractor is to provide shop drawings for approval by K2M. The doors do not need to be rated. Instead, a rated roll down metal door will need to be framed directly behind the barn doors on the interior side. Revised drawings will be provided in the near future.

- 35. There are several doors marked horse stable hall with hardware sets marked TBD.**

K2M Response: Hardware set will be selected once barn door shops are approved

- 36. There is no detail for wall type N.**

K2M Response: Wall type N should be wall type E

- 37. The Lighting specs call out for a “Sentry” Lighting System. I believe that they are made in China and not in the USA. Warranty will be an issue. Typical specs are for Qualite and Musco. Please advise equivalents to be approved.**

K2M Response: Contractor to provide substitution request for approval

- 38. The Finish schedule shows the women's and men's bathroom with acoustical ceilings, the reflected ceiling plan shows durrock. Please advise.**

K2M Response: Use durrock

- 39. The floor finish schedule shows concessions to be tile, the finish floor plan shows concrete. Please advise**

K2M Response: Concession floor finish is to be concrete

- 40. No details are given for wall type m + n. please provide.**

K2M Response: Wall types M & N are actually wall types F & E, respectively.

- 41. What is the composition of the soils at the soccer field?**

K2M Response: Soil composition is to be determined by contractor with sod/soil supplier.

- 42. L5.1.1, detail 1, flagpole is there a flagpole being included, if so where is location.**

K2M Response: There is no flagpole currently.

- 43. Plan sheet S4.3 is missing from the bid set, please provide.**

K2M Response: Sheet S4.3 is included in the set.

- 44. Plan sheet S1.0 refers to a detail 5 on sheet S4.0, that isn't included on S-4.0, please provide.**

K2M Response: Sheet has been revised. It should have been referencing detail 3 on sheet S-4.2. See sheets attached to this Addendum

- 45. Truman Park is located in a wind speed of 190 mph, Florida Building Code 2017. Please confirm the wind speed? Does the bidder require a signed and sealed structural engineering documentation?**

K2M Response: The wind speed is 180 mph and the structural engineering set within the drawings is signed/sealed accordingly.

- 46. Has a budget or a cost estimate been established for this project? Is there a start date in mind?**

City response required.

See #18 (this is a duplicate question)

- 47. When is the date end for Request for Information?**

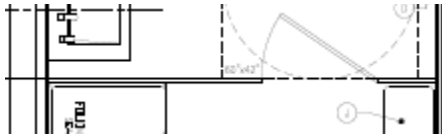
City response required.

As noted on the agenda for the mandatory pre-bid meeting, the last day for RFI's was 8/19/2019.

- 48. A4.1.3 - bath room 007: where the shower is, Specification 10 2113.13; 1.01; C states Shower Compartments, but then doesn't list Shower Compartments under section 2.03 Components.**

K2M Response: refer to sheet P3.1.1 for component schedules

- 49. Is that to be the same material as the toilet compartments? Or is that a glass shower wall/door ? Is the folding shower seat going to be mounted to either type?**



K2M Response: refer to sheet P3.1.1 for component schedules

- 50. Specification 10 2113.13; 2.03; D - urinal screen wall mounted with Vertical floor to ceiling Pilaster. A4.1.2 elevation does not show the urinal screens having floor to ceiling pilaster.**

K2M Response: follow what is outlined in the specification

- 51. Is floor to ceiling pilaster required? If floor to ceiling pilaster required, please advise the ceiling height.**

K2M Response: Yes, provide pilaster. Ceiling Height is 10'-0" as noted in elevations

- 52. A4.1.1, A4.1.2, A4.1.3 - During my investigation as to why 'H' Hand Dryer & 'B' Soap Dispensers were not listed in the ADA Stall nor at Bath Room 007, I looked at P3.1.1 Plumbing Fixture Schedule and the marks L1 & L2 list Sloan AD-83000 & AD-81000. Upon looking at those sink specifications it states that the Hand Dryer is included and the Soap Dispenser can also be selected and included.**

K2M Response: Acknowledged

- 53. Are any of the 'B' soap dispensers needed with the Div 10 quote or is the plumber to include those with the sinks?**

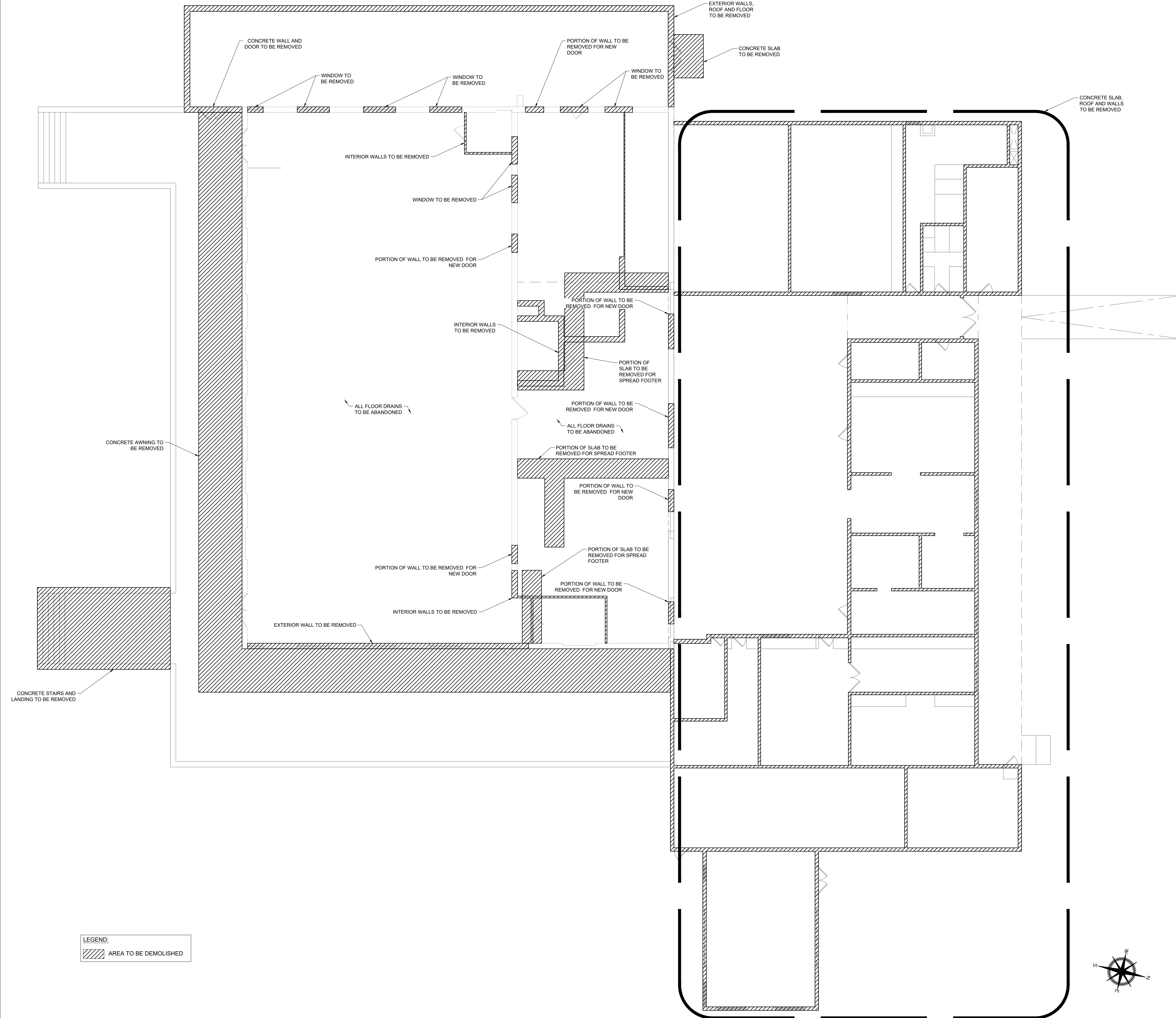
K2M Response: Plumber to include with sink

- 54. side note: the electrical power plan didn't show power at the sinks for those hand dryers, nor did it show power for the Dyson AirBlade V hand dryers that have mark 'H'.**

K2M Response: Provide a 20 amp circuit for the hand dryers

- 55. One of our subs believes there is a wrong model number on the plumbing fixture schedule. The urinal model number doesn't exist. There are a few that are close. Please clarify.**

K2M Response: Correct model # is Z5758.207



DEMOLITION NOTES:
 PROTECT ALL EXISTING CONSTRUCTION, NOT SCHEDULED FOR REMOVAL, AT ALL TIMES. PROVIDE ADEQUATE SHORING AND/OR BRACING TO PREVENT DAMAGE. PROMPTLY REPAIR DAMAGE CAUSED TO ADJACENT FACILITIES BY DEMOLITION WORK AT NO COST TO THE OWNER.
 PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION AS REQUIRED TO PROTECT INDIVIDUALS FROM INJURY. PROVIDE SECURITY LOCKS OR OTHER MEANS TO PREVENT INADVERTENT ENTRY INTO WORK ZONE.
 CONSTRUCT DUST PROOF PARTITIONS TO SEPARATE WORK AREA WHERE NOISY OR DUSTY OPERATIONS ARE PERFORMED. KEEP WORK AREAS CLEAN TO LIMIT DUST AND DIRT TRACKING TO NON-CONSTRUCTION ZONES.
 MAINTAIN EXISTING UTILITIES FOR USE BY OWNER AND PROTECT FROM DAMAGE WHEN SERVICE INTERRUPTION IS UNAVOIDABLE. COORDINATE WITH OWNER AND UTILITY COMPANIES. PROVIDE TEMPORARY UTILITY SERVICE AS REQUIRED BY OWNER.
SHORING AND BRACING:
 PROVIDE ADEQUATE SHORING AND BRACING AT ALL LOCATIONS WHERE NEW OPENINGS ARE SHOWN TO BE CUT INTO EXISTING LOAD BEARING WALLS.
 SHORING SHALL BE PERFORMED BY AN EXPERIENCED SHORING CONTRACTOR.
 SHORING SHALL BE CONTINUOUS TO THE LOWEST LEVEL AND BE ADEQUATELY DISTRIBUTED TO PREVENT DAMAGE TO EXISTING GRADE SLABS.

Meridian Engineering LLC
 201 Front Street, Suite 203
 Key West, Florida 33040
 AUTHORIZATION #29401
 ph: 305-293-3263 fax: 293-4899

Seal: 8-12-2019

NOT VALID FOR CONSTRUCTION UNLESS SIGNED AND SEALED IN THIS BLOCK
 RICHARD J. MILELLI
 PE #58315

General Notes:

**TRUMAN WATERFRONT 1B REMODEL
 CONSTRUCTION SET**

KEY WEST, FLORIDA

Drawn By:	Checked By:
ANF	RJM
Project No.:	Scale:
AS NOTED	
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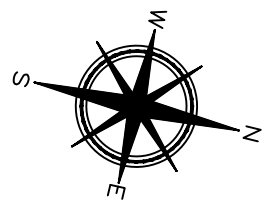
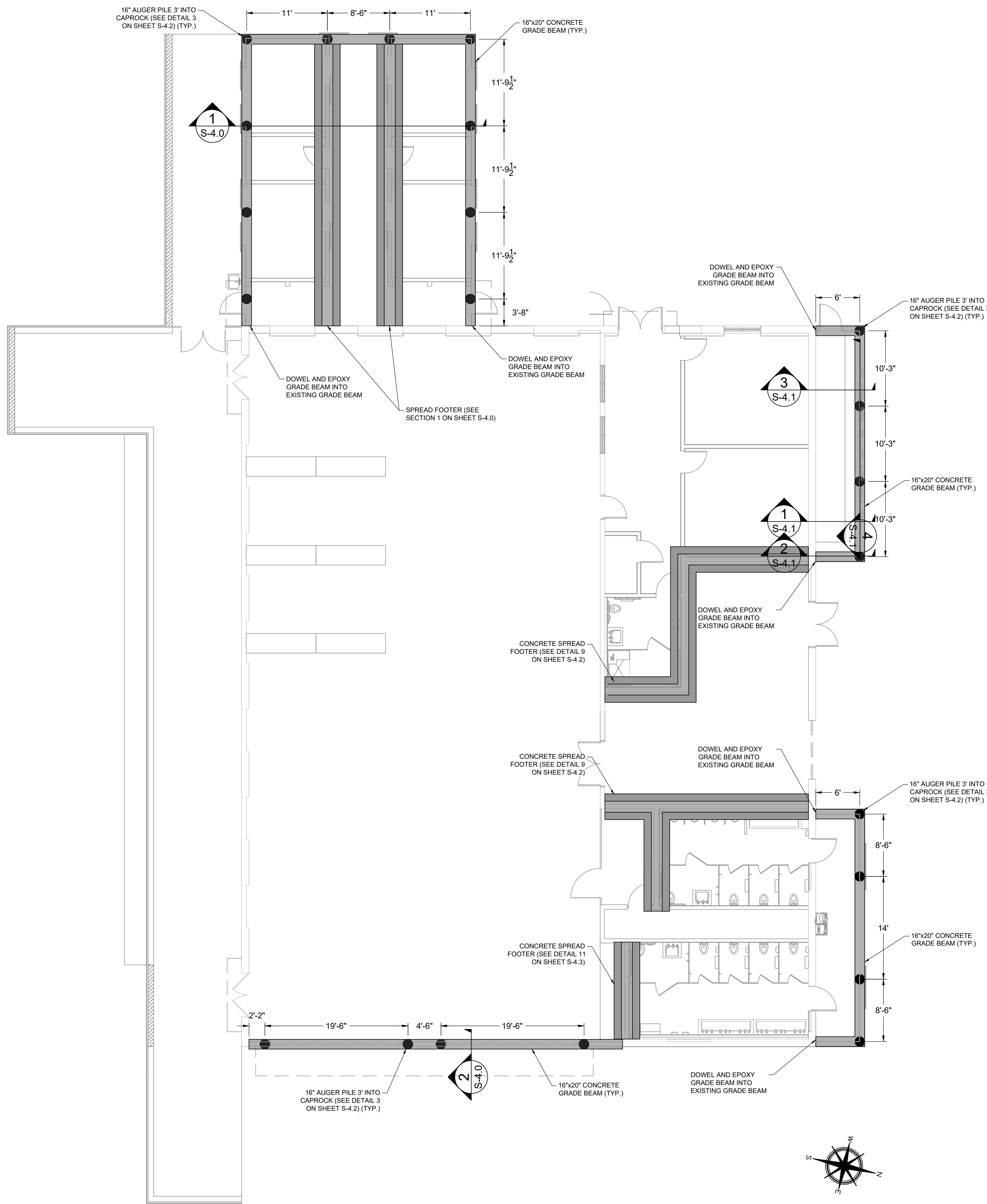
Revisions:

Title:
**DEMOLITION
 PLAN**

Sheet Number:
SD-1.0

Date: AUGUST 12, 2019

LEGEND:
 AREA TO BE DEMOLISHED



FOUNDATION & CONCRETE NOTES

1. ALL FOOTINGS ARE TO BE PLACED ON FIRM, UNDISTURBED, NATURAL ROCK UNLESS OTHERWISE NOTED.
2. AUGER PILE DIAMETERS AND EMBEDMENT INTO ROCK SHALL BE NO LESS THAN 16" DIAMETER NOR LESS THAN 3' INTO ROCK UNLESS OTHERWISE NOTED.
3. CENTER ALL FOOTINGS UNDER WALLS, COLUMNS OR GRID LINES UNLESS OTHERWISE NOTED.
4. ALL CAST-IN-PLACE CONCRETE SHALL BE MADE WITH TYPE I PORTLAND CEMENT, STONE AGGREGATE AND SHALL DEVELOP AT LEAST 4000 PSI COMPRESSIVE STRENGTH IN 28 DAYS. (UNLESS OTHERWISE NOTED.)
5. ALL CONCRETE WORK AND REINFORCING DETAILS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ACI 318. EXPOSED EDGES OF CONCRETE SHALL HAVE 1/2" CHAMFER. USE STANDARD HOOKS ON DOWELS UNLESS OTHERWISE NOTED.
6. CONCRETE FORMS SHALL BE WETTED IMMEDIATELY PRIOR TO PLACING CONCRETE.
7. MIXING, PLACING AND CURING OF ALL CONCRETE MUST BE IN ACCORDANCE WITH ACI 305R, HOT WEATHER CONCRETING. NEW CONCRETE EXPOSED TO DIRECT SUNLIGHT SHALL BE COVERED AND SPRAYED.
8. ALL REINFORCING SHALL BE HIGH STRENGTH DEFORMED BARS CONFORMING TO ASTM A-615, GRADE 60.
9. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185 AND SHALL BE LAPPED ONE FULL MESH AND AT SIDE AND END SPLICES AND WIRED TOGETHER.
10. REINFORCEMENT COVERAGE SHALL BE 2" MINIMUM WHEN FORMS ARE USED AND 3" MINIMUM WHEN POURED AGAINST THE EARTH, UNLESS OTHERWISE NOTED.
11. LAP SPLICES SHALL BE A MINIMUM OF 48 BAR DIAMETERS. MAKE ALL BARS CONTINUOUS AROUND CORNERS. PROVIDE ALL ACCESSORIES NECESSARY TO SECURE REINFORCING IN PROPER POSITION AS INDICATED ON THE DRAWINGS AND IN ACCORDANCE WITH ACI 318. ALL ACCESSORIES TO BE GALVANIZED.
12. ANCHOR BOLTS, NUTS AND WASHERS SHALL BE GALVANIZED STEEL.
13. MANUFACTURED STRAPS AND ANCHORS SHALL BE GALVANIZED AND SHALL BE FASTENED PER THE MANUFACTURER'S RECOMMENDATIONS. IN NO EVENT SHALL A STRUCTURAL MEMBER SUCH AS PIER, SILL, JOIST, PLATE, RAFTER OR TRUSS BE WITHOUT ANCHORAGE DEVICES FOR HURRICANE PROTECTION, UNLESS SPECIFICALLY NOTED AND ADDRESSED BY OTHER MEANS.
14. AUGER PILES SHALL BE SET AT LEAST 3 FT INTO THE NATURAL LIMESTONE FORMATION (APPROXIMATELY 9' BELOW THE SURFACE), AS PER GEOTECHNICAL REPORT PREPARED BY NUTTING ENGINEERS.
15. ANY AREA WHERE NEW SPREAD FOUNDATION IS TO BE CONSTRUCTED, CONTRACTOR TO ENSURE THAT THE ORGANIC SILT/SOILS FOUND AT BEGINNING AT 2-4 FT DEPTHS AND TERMINATING AT 6-7 FT DEPTHS ARE FULLY REMOVED AND CLEAN FILL SHALL BE ADDED. SOFT COMPRESSIBLE SILT SHALL BE REPLACED WITH COMPACTED STRUCTURAL FILL AS PER GEOTECHNICAL REPORT PREPARED BY NUTTING ENGINEERING.
16. THE BUILDING IS DESIGNED USING A 2500 PSF SOIL BEARING PRESSURE WHICH SHALL BE ACHIEVED WITH THE SOIL REPLACEMENT PREVIOUSLY MENTIONED, AS PER GEOTECHNICAL REPORT PREPARED BY NUTTING ENGINEERING.

STRUCTURAL NOTES:

1. THE WORK DEPICTED ON THESE DRAWINGS IS DESIGNED TO COMPLY WITH THE 2017 FLORIDA BUILDING CODE AND ASCE 7-10. THE BUILDING IS DESIGNED TO WITHSTAND THE PRESSURES ASSOCIATED WITH 180 MPH WIND LOADS IN ACCORDANCE WITH ASCE 7-10 AND A FLOOR LIVE LOAD OF 40 PSF.
2. ENGINEERS WRITTEN APPROVAL MUST BE SECURED FOR ALL STRUCTURAL SUBSTITUTIONS AND/OR MODIFICATIONS.
3. THE CONTRACTOR SHALL VERIFY ALL OPENINGS THROUGH FLOORS, ROOFS AND WALLS WITH MECHANICAL AND ELECTRICAL CONTRACTORS. RESPECTIVE CONTRACTORS SHALL PROVIDE ALL HANGERS, CONNECTORS, ETC AND APPROVAL THEREOF.
4. PROVIDE TEMPORARY BRACING AND SUPPORT NECESSARY TO WITHSTAND ALL CONSTRUCTION AND WIND LOADS UNTIL ALL FIELD CONNECTIONS ARE COMPLETED AND SHEAR WALLS AND DECKS ARE IN PLACE.
5. PROVIDE SHOP AND ERECTION DRAWINGS FOR ALL REINFORCING, PRECAST CONCRETE, STRUCTURAL STEEL, LAMINATED FRAMING MEMBERS AND METAL DECKING AND VERIFY/COORDINATE EXISTING AND PROPOSED DIMENSIONS PRIOR TO FABRICATION.
6. ALL PRECAST CONCRETE, STRUCTURAL STEEL AND OTHER MAJOR STRUCTURAL SHOP DRAWINGS SUBMITTED SHALL INCLUDE CALCULATIONS AND BEAR THE SEAL OF A FLORIDA PROFESSIONAL ENGINEER.
7. WATERPROOFING, VAPOR BARRIERS, WATERSTOPS, ETC SHALL BE PROVIDED AS INDICATED.
8. ALL DOUBLE MEMBER BEAMS TO BE FASTENED TOGETHER W/ GLUE AND NAIL TOGETHER W/ (3) 3" MIN. 16D RING SHANK NAILS 12" O.C.
9. A 10 MIL UNDERSLAB VAPOR BARRIER SHALL BE INSTALLED BENEATH ALL SLABS ON GRADE.
10. THE PROPOSED AREA OF WORK IS IN FLOOD ZONE AE (EL 7 FT) ACCORDING TO FLOOD INSURANCE RATE MAP 12087C-1516K, COMMUNITY # 125129, DATED 02-18-2005. THE PROPOSED FINISHED FLOOR IS AT ELEV. +9.8' (NGVD 29).
11. CONTRACTOR TO REFERENCE SITE SURVEY PREPARED BY REECE & ASSOCIATES FOR BENCHMARK INFORMATION.

Meridian Engineering LLC
 201 Front Street, Suite 203
 Key West, Florida 33040
 AUTHORIZATION #29401
 ph: 305-293-3263 fax: 293-4899
 Seal: 8-21-2019

 RICHARD J. MILELLI
 PE #58315

General Notes:

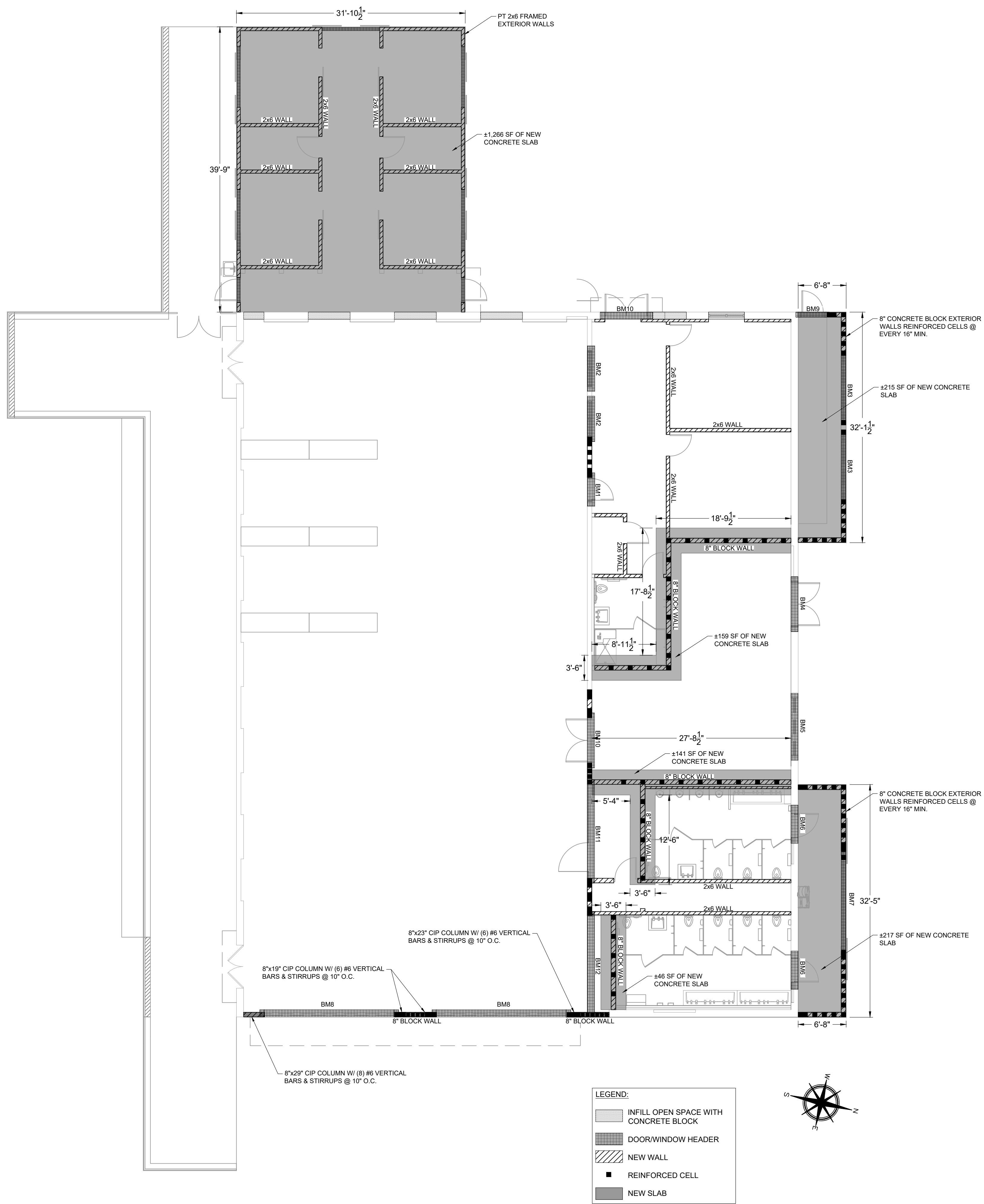
TRUMAN WATERFRONT 1B REMODEL
CONSTRUCTION SET
 KEY WEST, FLORIDA

Drawn By: ANF	Checked By: RJM
Project No. AS NOTED	Scale:
AutoCad File No.	

Revisions:

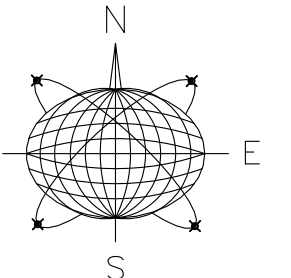
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FOUNDATION PLAN

Sheet Number:
S-1.0
Date: AUGUST 12, 2019



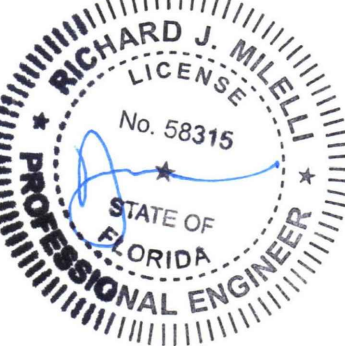
BEAM SCHEDULE

BEAM	QUANTITY	SIZE & DESCRIPTION
BM1	1	1'-0"x1'-4"x4'-8" CONCRETE BEAM W/ (2) #5 TOP BARS, (2) #5 BOTTOM BARS, & #3 HOOPS @ 10" O.C.
BM2	2	1'-0"x1'-4"x6'-4" CONCRETE BEAM W/ (2) #6 TOP BARS, (2) #6 BOTTOM BARS, & #3 HOOPS @ 10" O.C.
BM3	2	0'-8"x2'-2"x10'-4" CONCRETE BEAM W/ (2) #5 TOP BARS, (2) #5 MIDDLE BARS, (2) #5 BOTTOM BARS, & #3 HOOPS @ 10" O.C.
BM4	1	0'-8"x1'-4"x7'-8" CONCRETE BEAM W/ (2) #5 TOP BARS, (2) #5 BOTTOM BARS, & #3 HOOPS @ 10" O.C.
BM5	1	0'-8"x1'-4"x9'-4" CONCRETE BEAM W/ (2) #5 TOP BARS, (2) #5 BOTTOM BARS, & #3 HOOPS @ 10" O.C.
BM6	2	0'-8"x1'-4"x5'-4" CONCRETE BEAM W/ (2) #5 TOP BARS, (2) #5 BOTTOM BARS, & #3 HOOPS @ 10" O.C.
BM7	1	0'-8"x2'-2"x14'-0" CONCRETE BEAM W/ (2) #5 TOP BARS, (2) #5 MIDDLE BARS, (2) #5 BOTTOM BARS, & #3 HOOPS @ 10" O.C.
BM8	2	0'-8"x2'-0"x19'-4" CONCRETE BEAM W/ (2) #6 TOP BARS, (2) #6 BOTTOM BARS, & #3 HOOPS @ 10" O.C.
BM9	1	0'-8"x1'-4"x4'-8" CONCRETE BEAM W/ (2) #5 TOP BARS, (2) #5 BOTTOM BARS, & #3 HOOPS @ 10" O.C.
BM10	1	1'-0"x2'-0"x7'-4" CONCRETE BEAM W/ (2) #6 TOP BARS, (2) #6 BOTTOM BARS, & #3 HOOPS @ 10" O.C.
BM11	1	1'-0"x2'-0"x14'-5" CONCRETE BEAM W/ (3) #6 TOP BARS, (2) #6 BOTTOM BARS, & #3 HOOPS @ 10" O.C.
BM12	1	1'-0"x2'-0"x14'-5" CONCRETE BEAM W/ (3) #6 TOP BARS, (2) #6 BOTTOM BARS, & #3 HOOPS @ 10" O.C.



Meridian Engineering LLC
 201 Front Street, Suite 203
 Key West, Florida 33040
 AUTHORIZATION #29401
 ph: 305-293-3263 fax: 293-4899

Seal: 8-12-2019



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 SIGNED AND SEALED BY THIS BLOCK
 RICHARD J. MILELLI
 PE #58315

General Notes:

TRUMAN WATERFRONT 1B REMODEL CONSTRUCTION SET

KEY WEST, FLORIDA

Drawn By: ANF
 Checked By: RJM
 Project No. AS NOTED
 Scale: AS NOTED
 AutoCad File No.

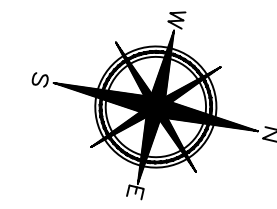
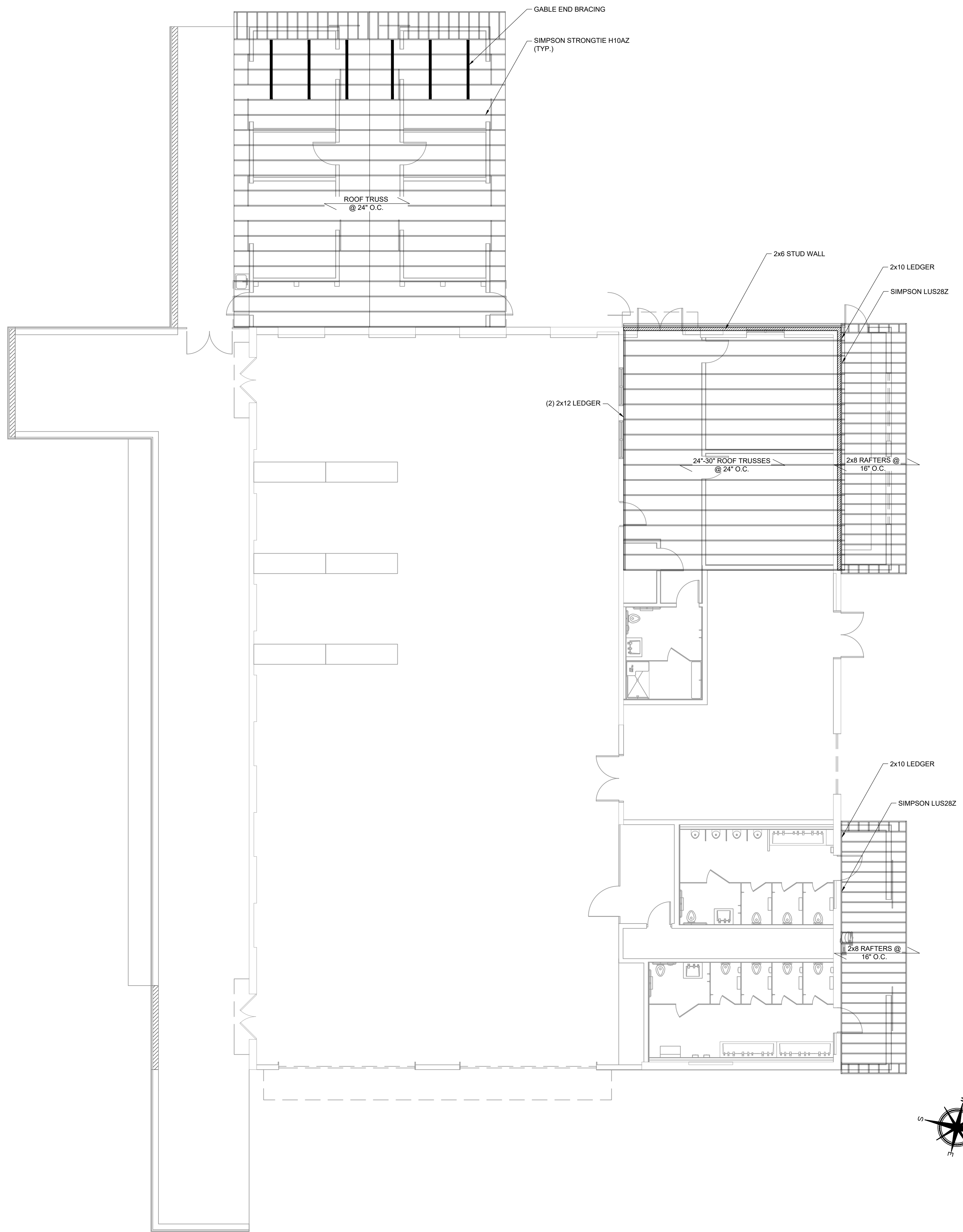
Revisions:

Title:
**STRUCTURAL
 PLAN**

Sheet Number:

S-2.0

Date: AUGUST 12, 2019



TRUSS NOTES:

1. TRUSS DETAILS HEREIN ARE FOR SCHEMATIC PURPOSES ONLY. THE TRUSS MANUFACTURER SHALL VERIFY TRUSS LAYOUT AND PROVIDE TRUSS DESIGN.
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7. TRUSS MANUFACTURER TO PROVIDE WEB OPENING IN FLOOR TRUSSES FOR A/C DUCT WORK. COORDINATE WITH MECHANICAL CONTRACTOR.


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 Key West, Florida 33040
 AUTHORIZATION #29401
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Seal: 8-12-2019


 RICHARD J. MILELLI
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General Notes:

TRUMAN WATERFRONT 1B REMODEL
CONSTRUCTION SET
 KEY WEST, FLORIDA

Drawn By:	Checked By:
ANF	RJM
Project No.	Scale:
AS NOTED	
AutoCad File No.	

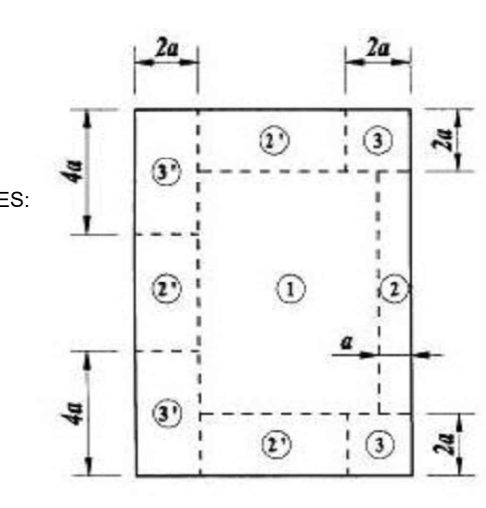
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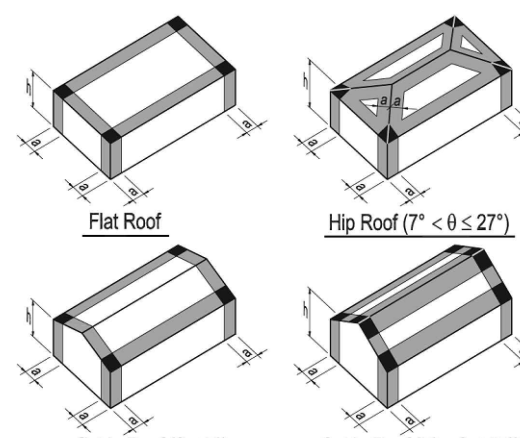
PER FBC 2017 - CH. 28, 30

WIND SPEED 180 MPH
 CATEGORY EXPOSURE: C
 MEAN ROOF HEIGHT: 17'-4"
 ROOF ANGLE: 1.19 DEG.
 WIND PRESSURES (PSF)

NOMINAL MONOSLOPE ROOF ZONES: ZONE 1: -48.2 ZONE 2: -57.2 ZONE 3: -57.2 ZONE 3: -35.9 ZONE 3: 13.1	ULTIMATE MONOSLOPE ROOF ZONES: ZONE 1: -80.4 ZONE 2: -85.3 ZONE 2: -85.3 ZONE 3: -59.9 ZONE 3: -21.8
-------------------------------------------------------------------------------------------------------------------	---------------------------------------------------------------------------------------------------------------------

WALL ZONES: ZONE 4: 36.2/ -40.2 ZONE 5: 38.6/ -45.0	WALL ZONES: ZONE 4: 60.3/ -67.0 ZONE 5: 64.3/ -75.1
-----------------------------------------------------------	-----------------------------------------------------------



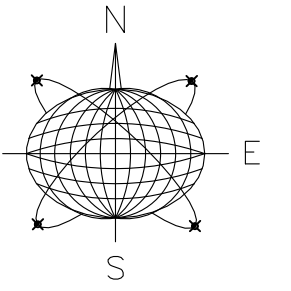
<p> Interior Zones Roofs - Zone 1 / Walls - Zone 4</p> <p> End Zones Roofs - Zone 2 / Walls - Zone 5</p> <p> Corner Zones Roofs - Zone 3</p>	
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Revisions:

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ROOF FRAMING PLAN

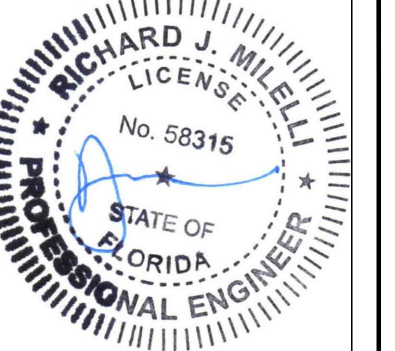
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Date: AUGUST 12, 2019



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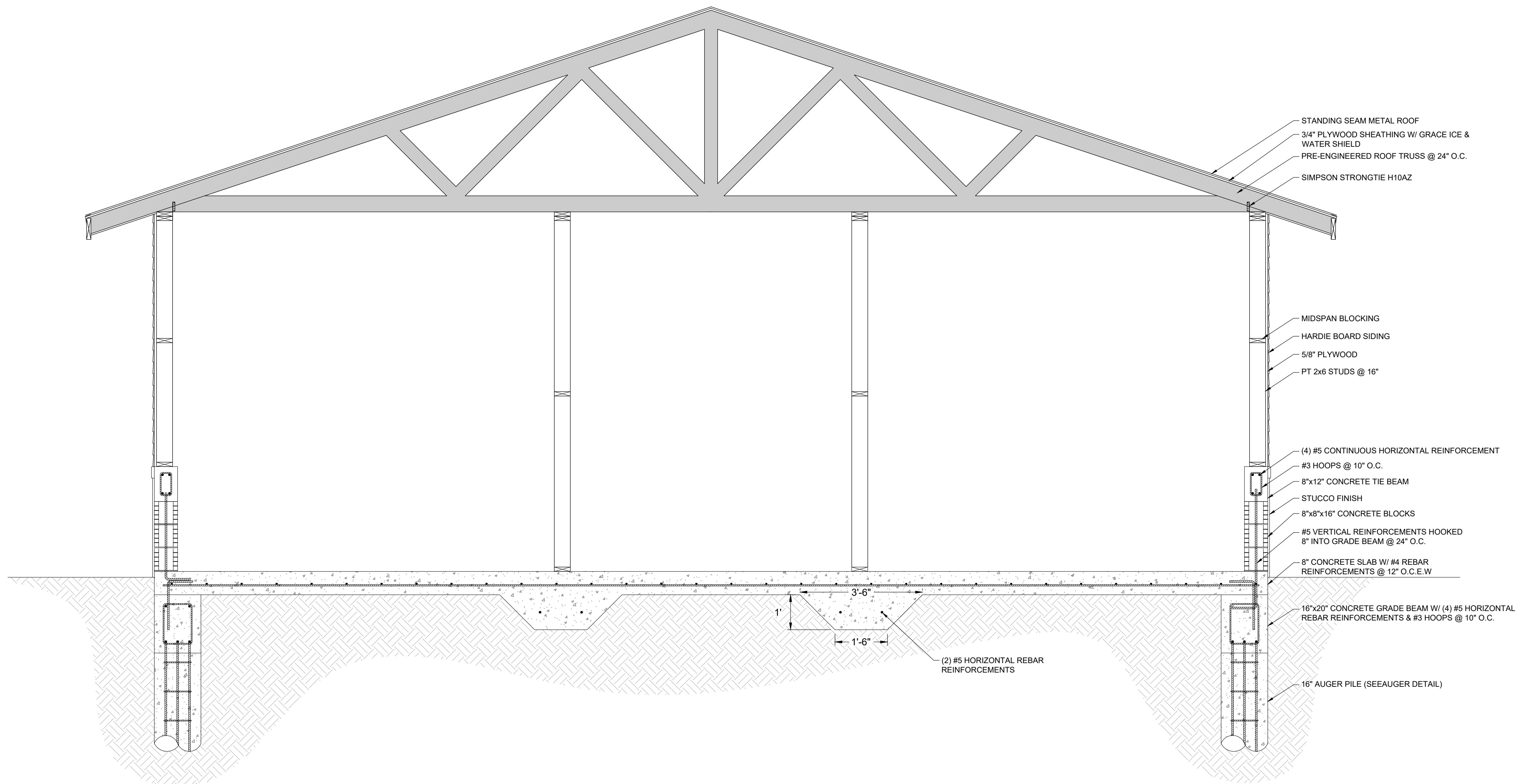
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Project No. AS NOTED	Scale:
AutoCad File No.	

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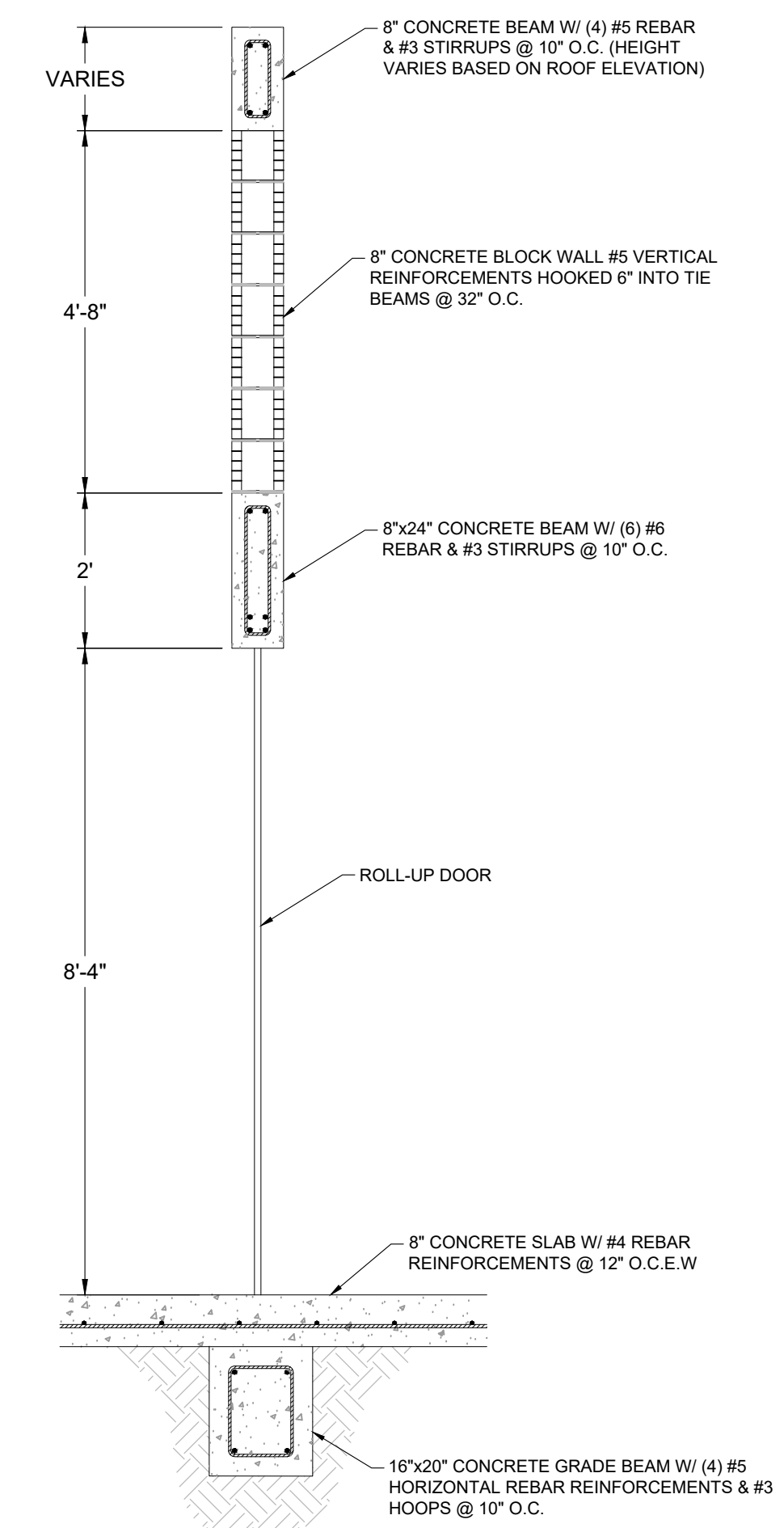
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STRUCTURAL
 SECTIONS AND
 DETAILS

Sheet Number:
S-4.0

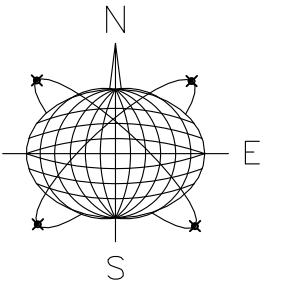
Date: AUGUST 12, 2019



1 HORSE STABLE SECTION
 SCALE: N.T.S.

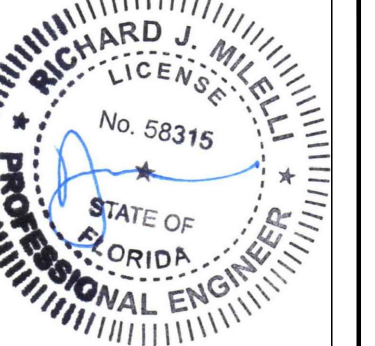


2 GARAGE DOOR SECTION
 SCALE: N.T.S.



Meridian Engineering LLC
 201 Front Street, Suite 203
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 AUTHORIZATION #29401
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RICHARD J. MILELLI
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 STATE OF FLORIDA
 PROFESSIONAL ENGINEER
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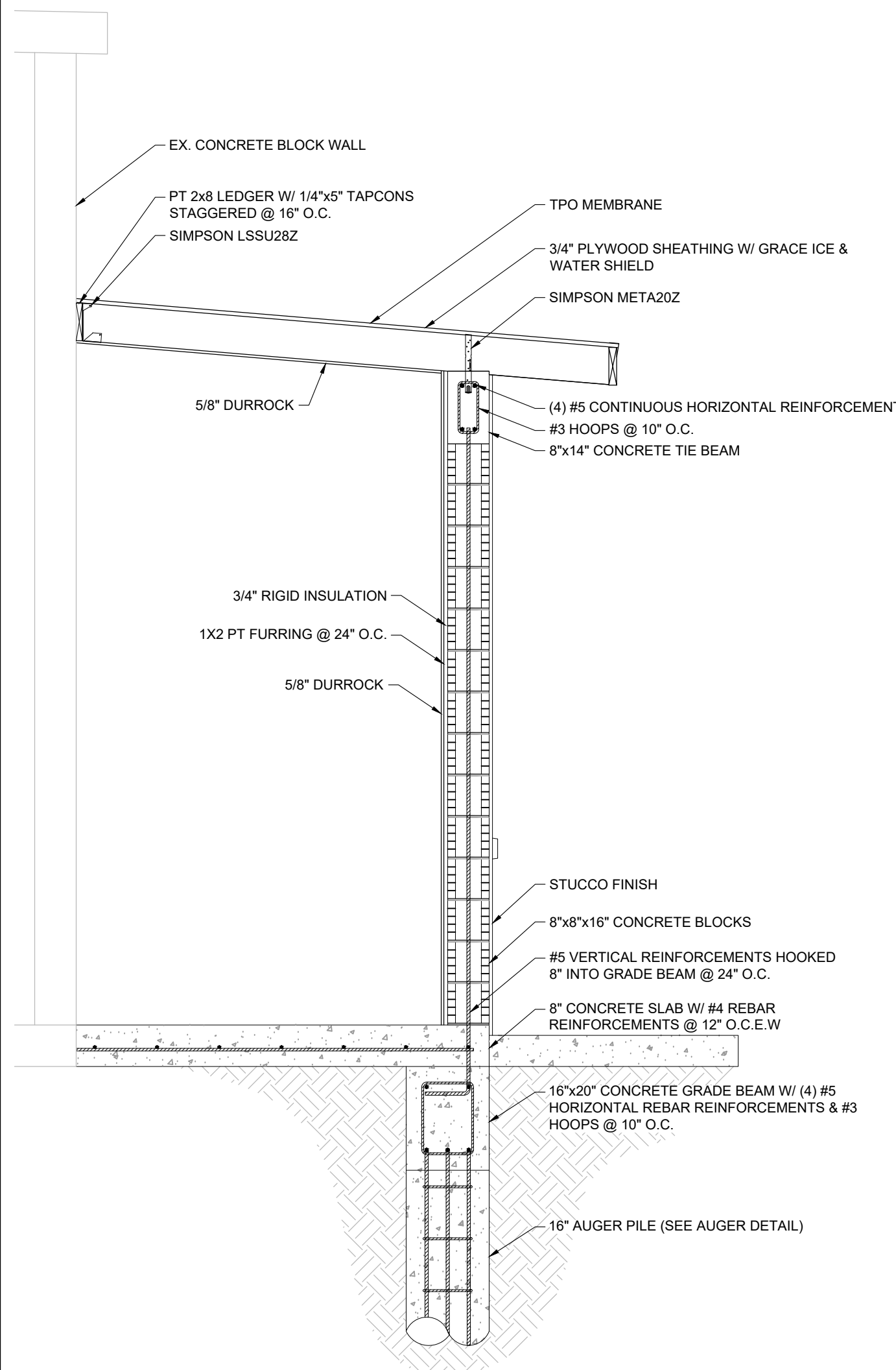
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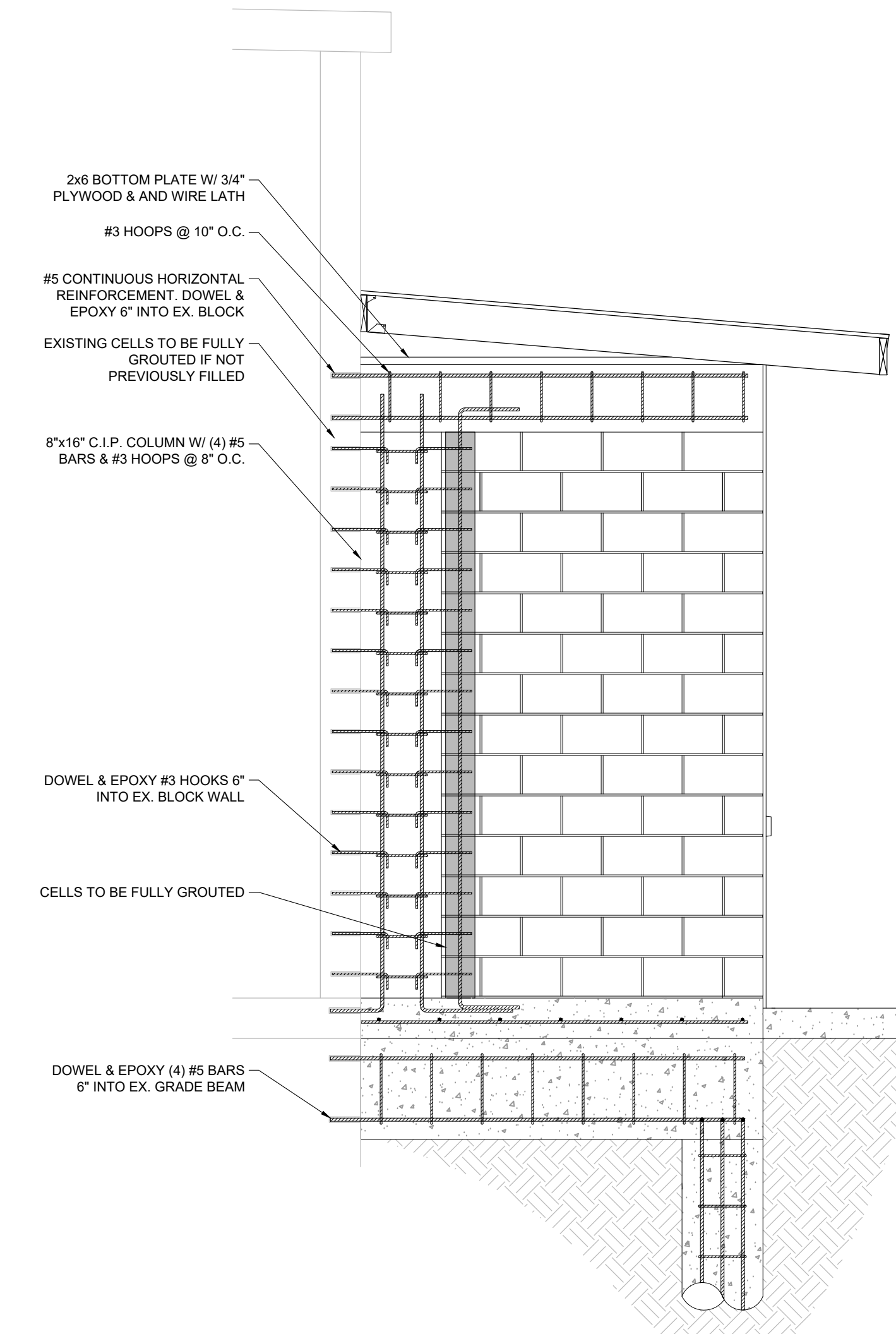
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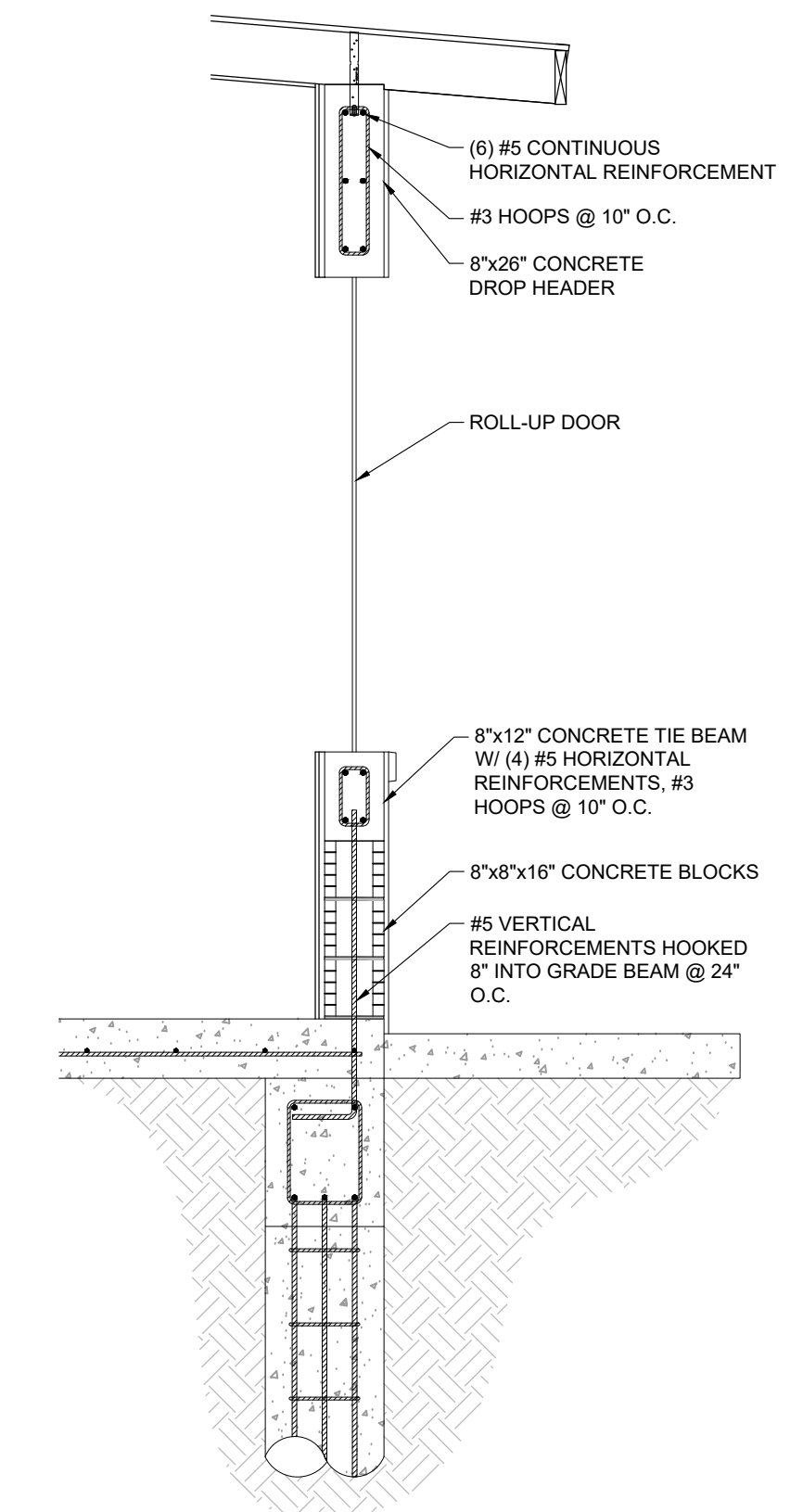
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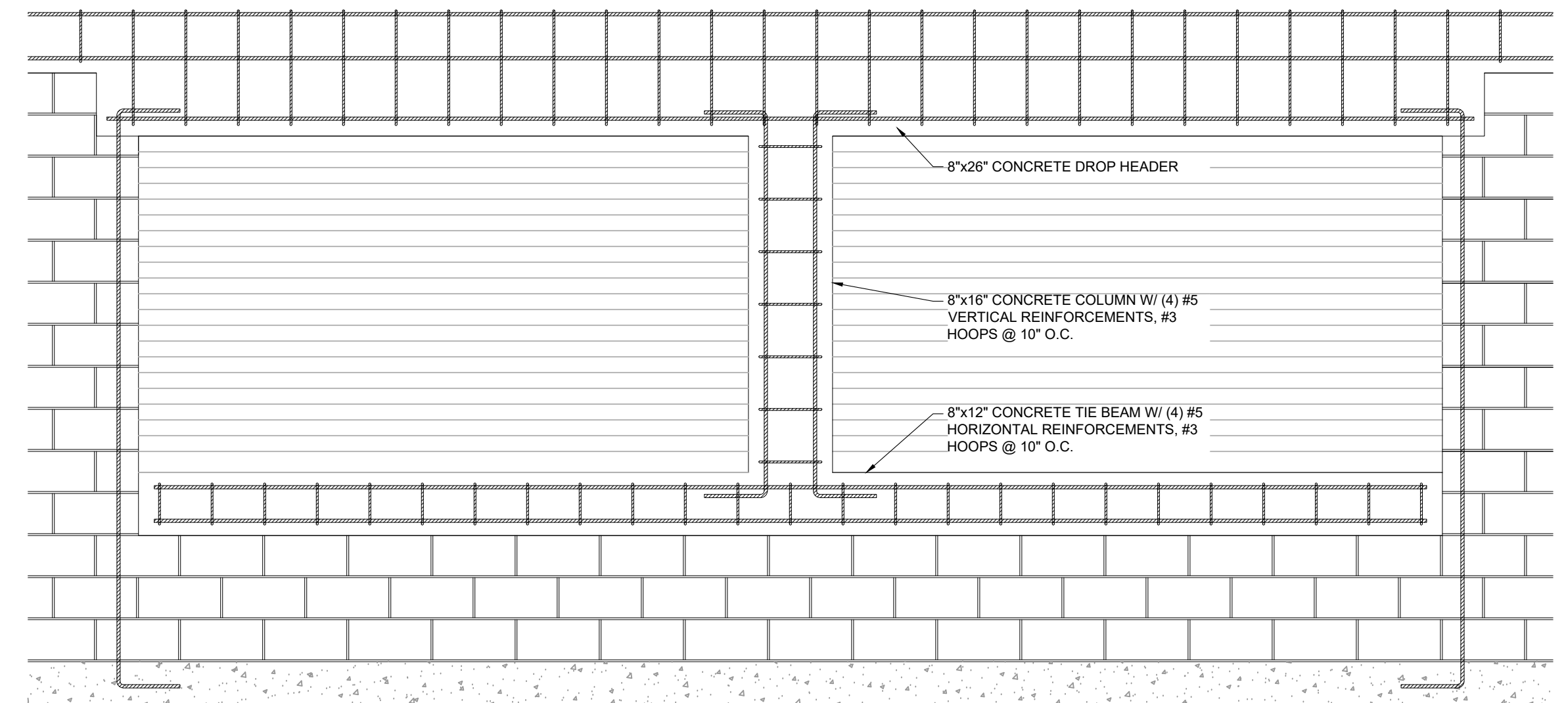
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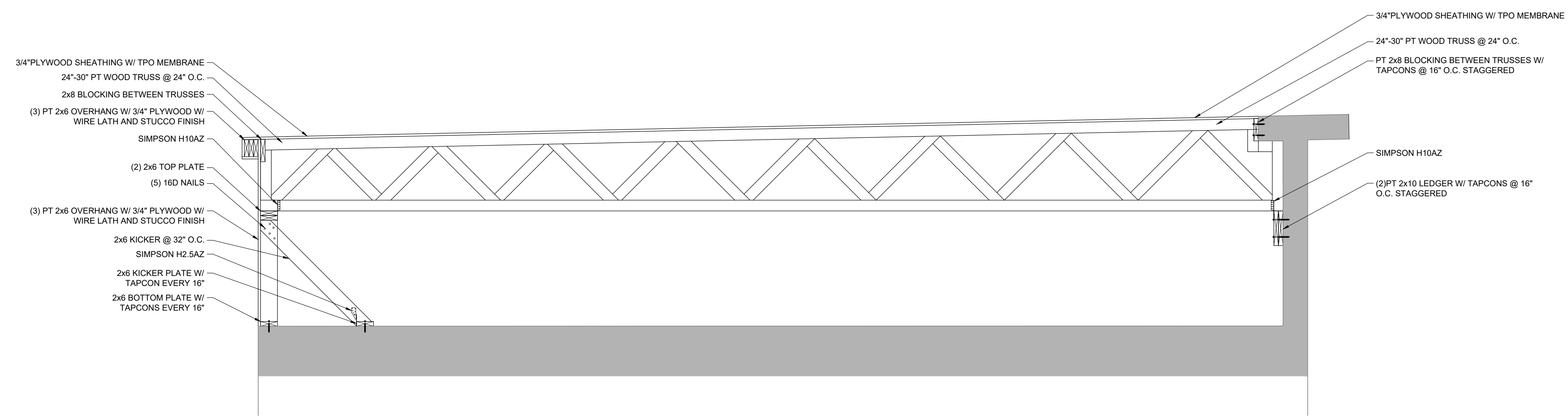
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CONCRETE WALL CONNECTION SECTION
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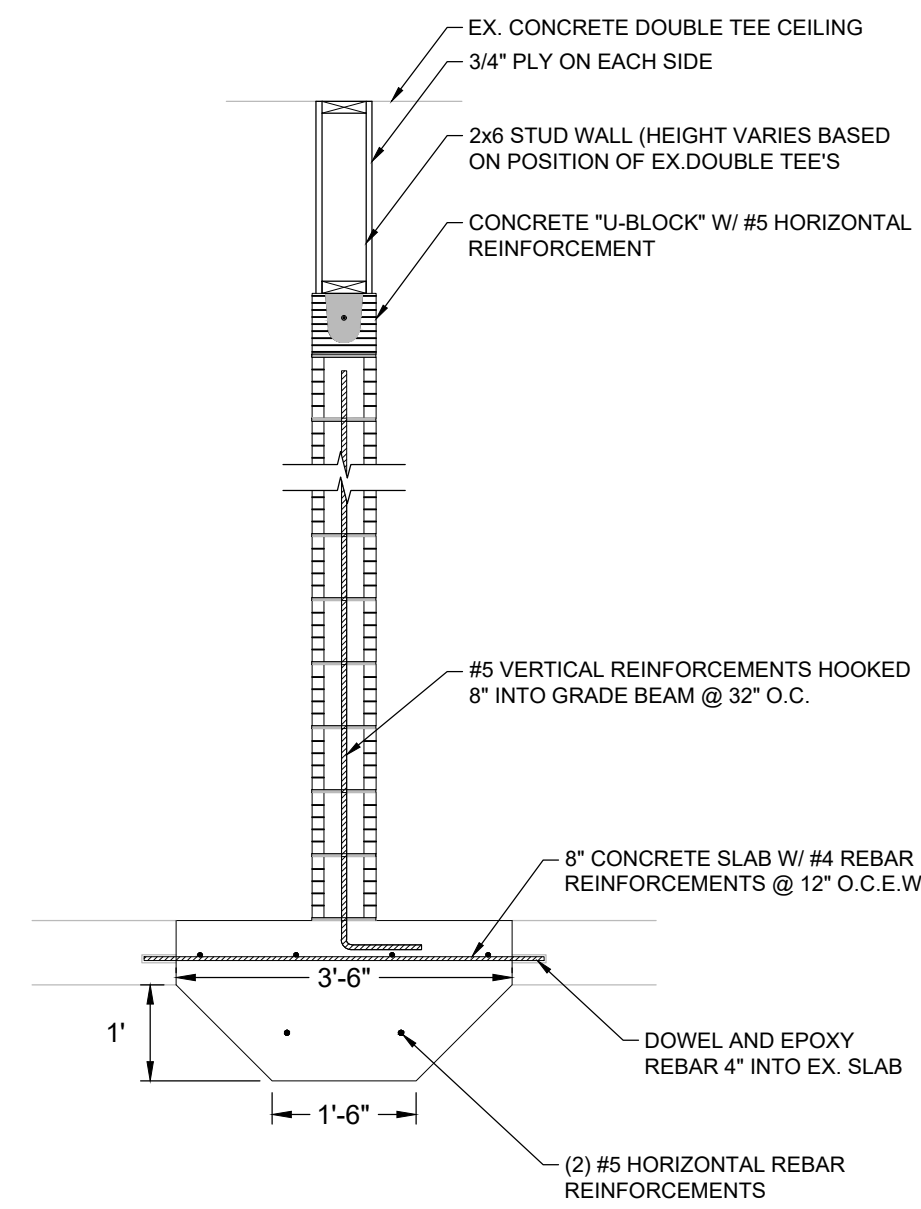
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S-4.1
CONCESSION STAND SECTION
SCALE: N.T.S.



4
S-4.1
CONCESSION STAND SECTION
SCALE: N.T.S.



5
S-4.1
ROOF SECTION
SCALE: N.T.S.

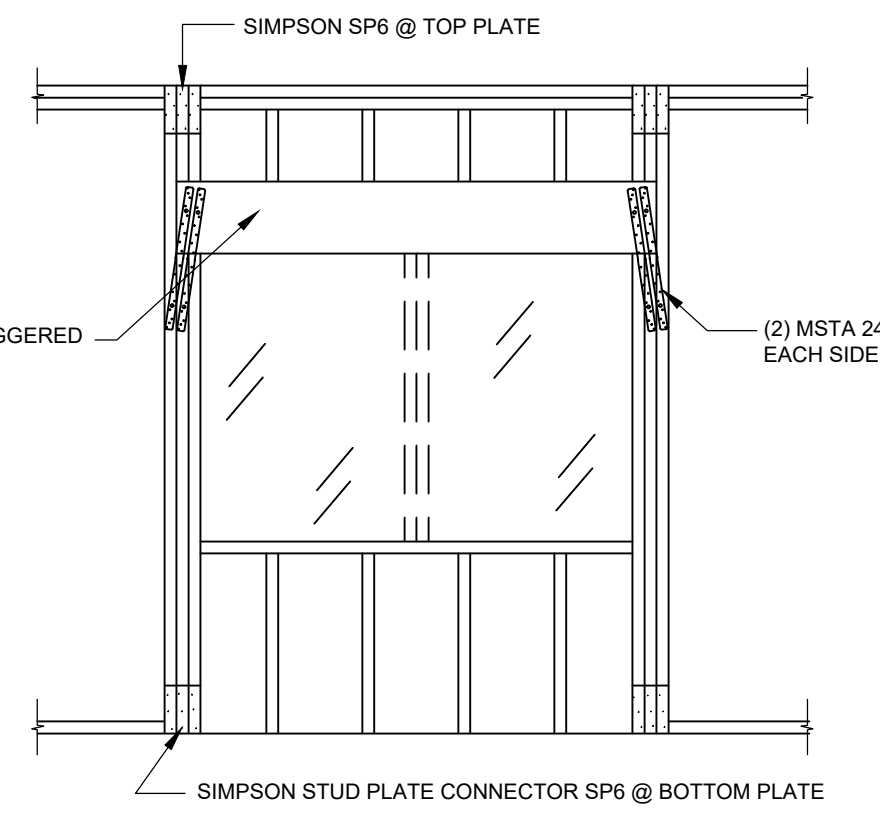


1 TYPICAL INTERIOR BLOCK WALL DETAIL
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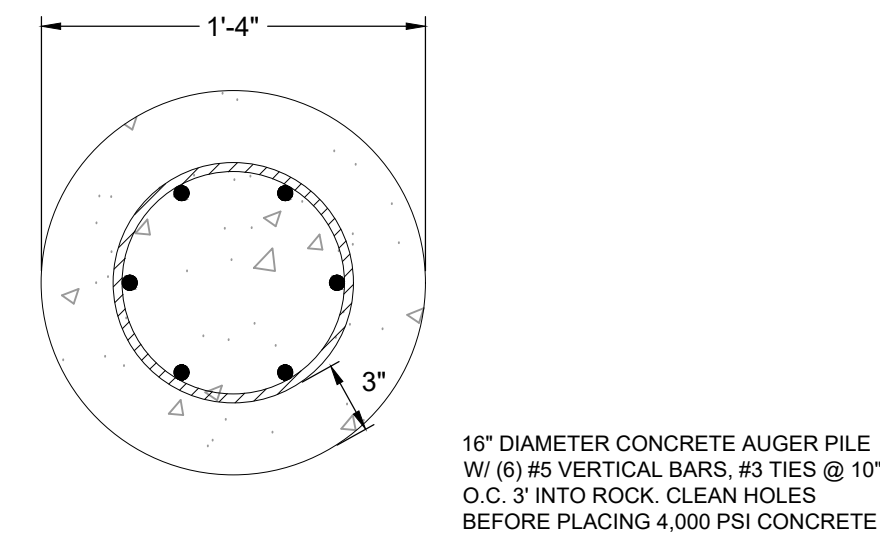
HEADER SCHEDULE	
OPENING SIZE	BEAM
< OR = 6'-0"	(3) 2"x8" W/ (2) 1/2" PLYWOOD FLITCH
6'-0" - 8'-0"	(3) 2"x10" W/ (2) 1/2" PLYWOOD FLITCH
8'-0" - 10'-0"	(3) 2"x12" W/ (2) 1/2" PLYWOOD FLITCH

STUD SCHEDULE AT HEADERS	
< OR = 3'-0" OPENING	1 JACK STUD/1 KING STUD
3'-0" - 6'-0" OPENING	2 JACK STUDS/1 KING STUD
6'-0" - 8'-0" OPENING	2 JACK STUDS/2 KING STUDS
8'-0" - 10'-0" OPENING	2 JACK STUDS/3 KING STUDS
10'-0" - 12'-0" OPENING	3 JACK STUDS/3 KING STUDS

2 TYPICAL HEADER DETAIL
S-4.2 SCALE: N.T.S.



3 TYPICAL AUGER DETAIL
S-4.2 SCALE: N.T.S.



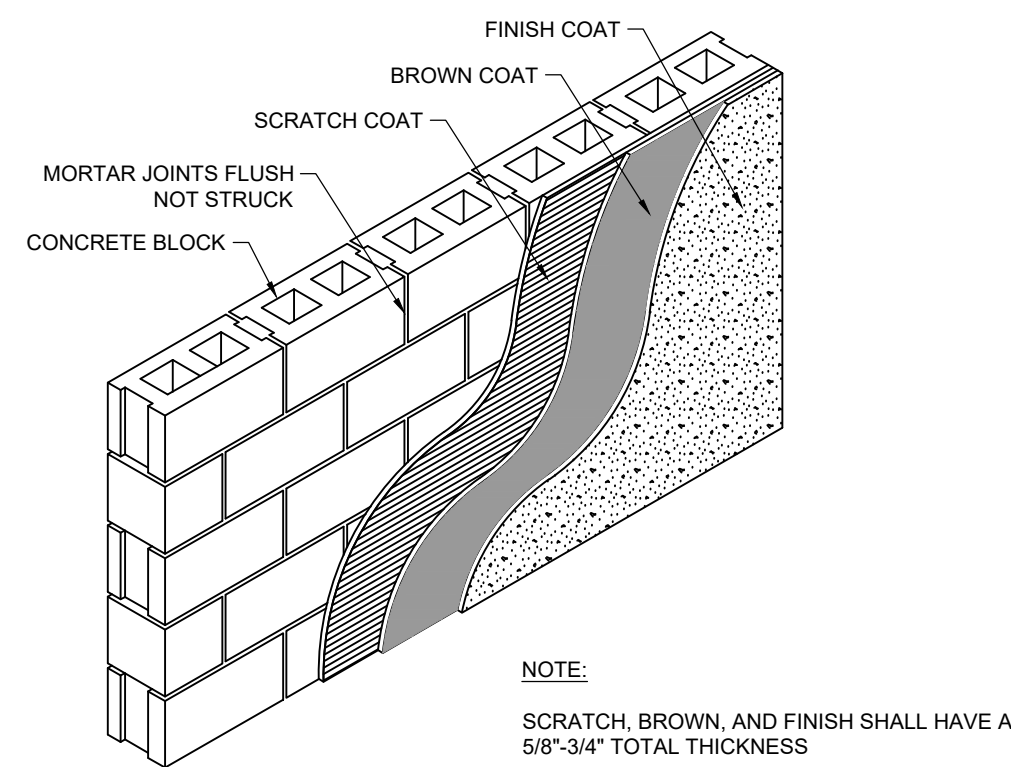
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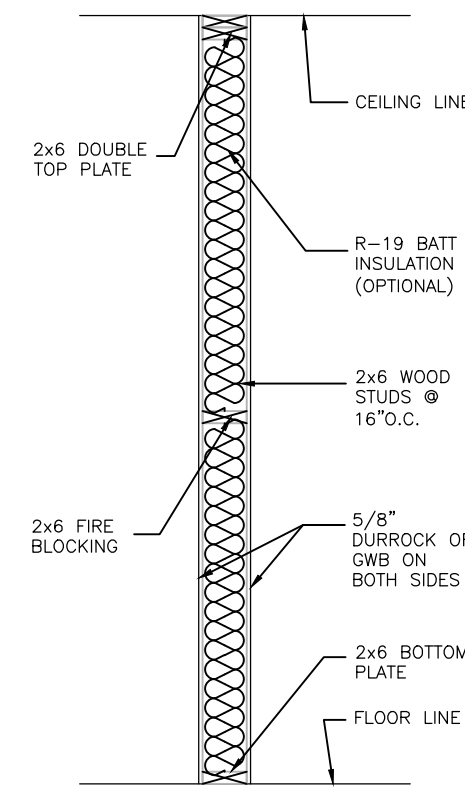
Seal: 8-21-2019

RICHARD J. MILELLI
No. 58315
LICENSE
STATE OF FLORIDA
PROFESSIONAL ENGINEER

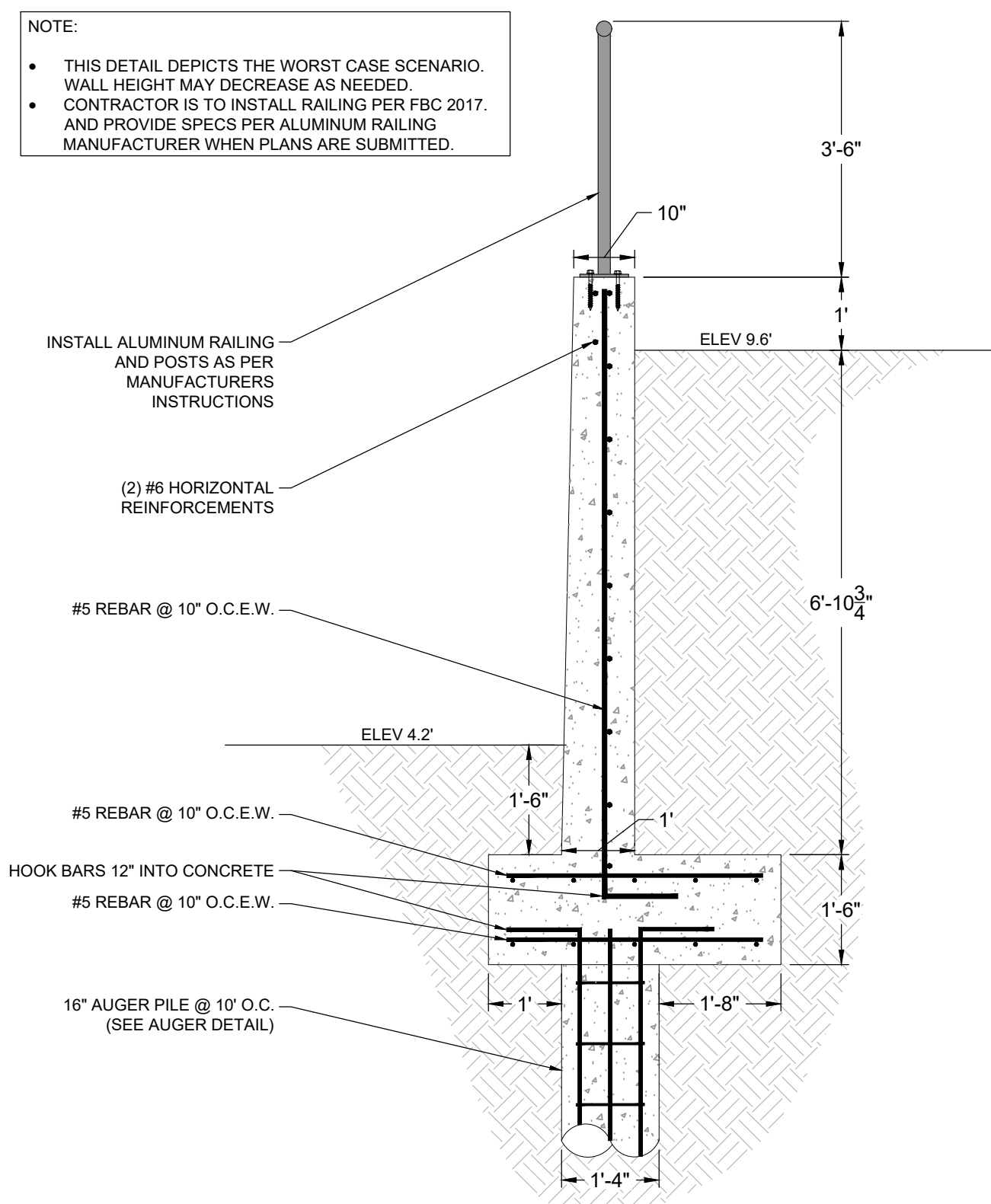
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PE #58315



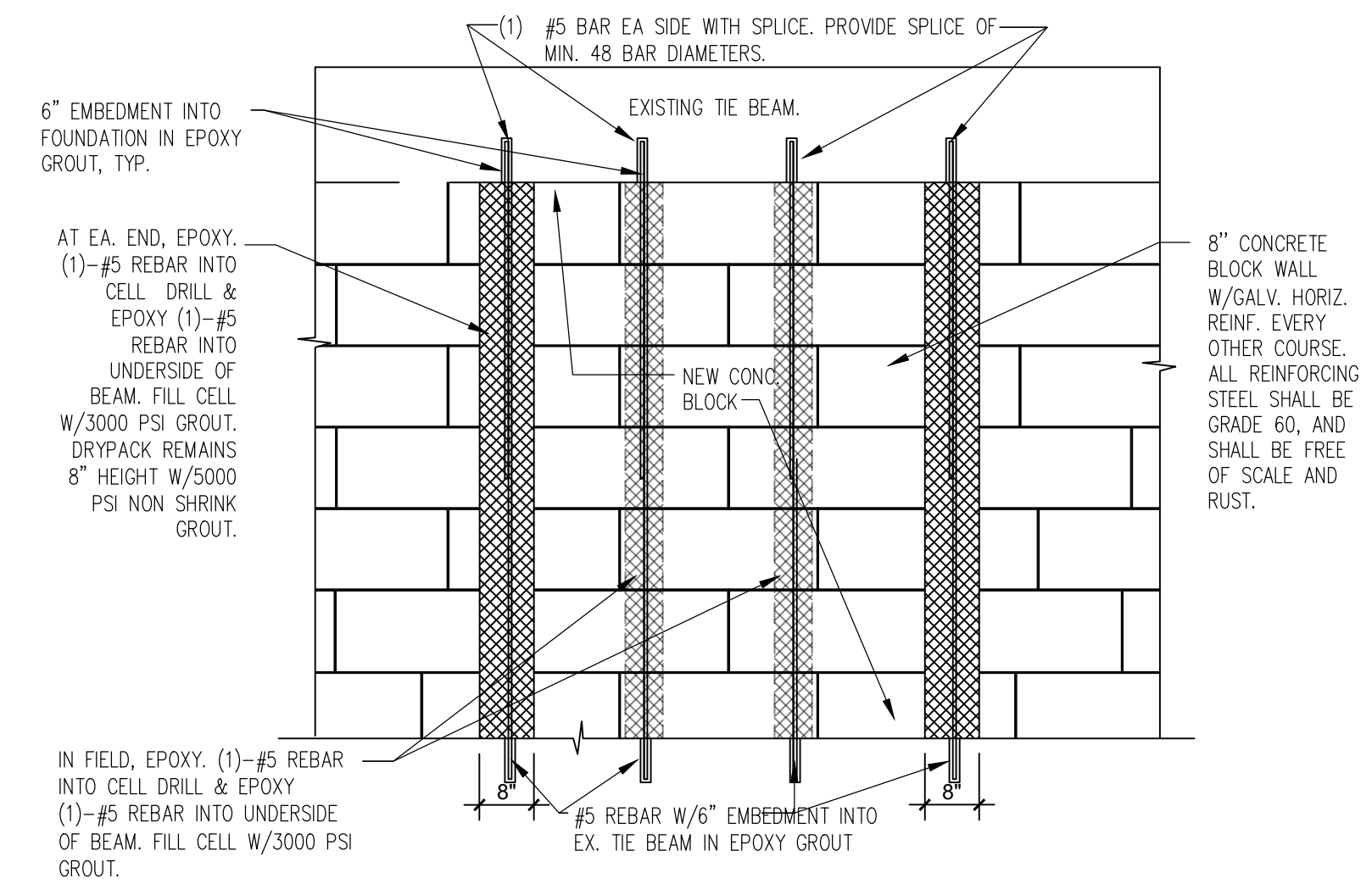
4 TYPICAL STUCCO DETAIL
S-4.2 SCALE: N.T.S.



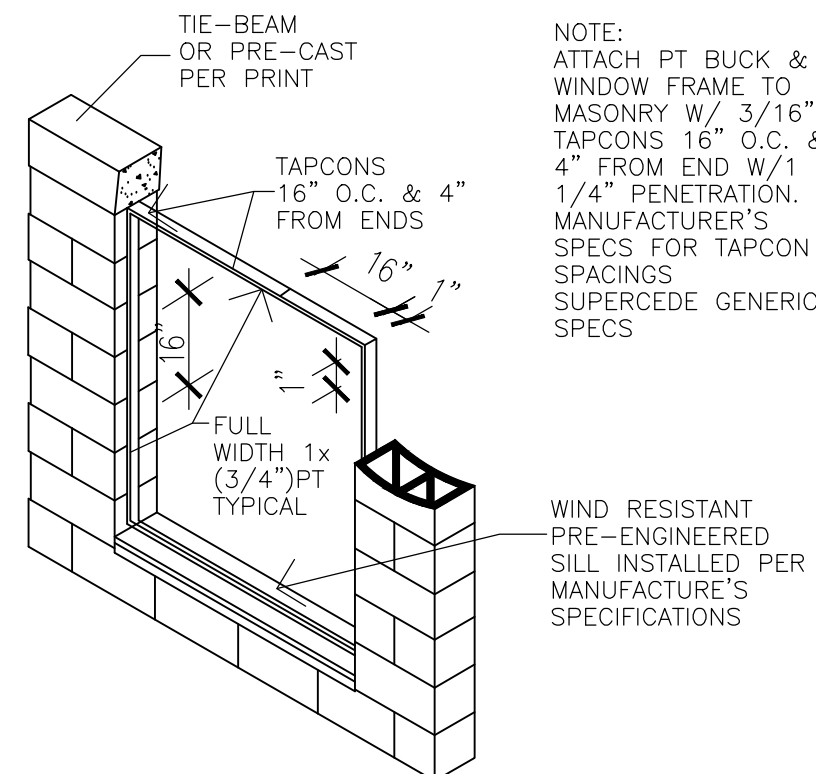
5 TYPICAL 2X6 WALL DETAIL
S-4.2 SCALE: N.T.S.



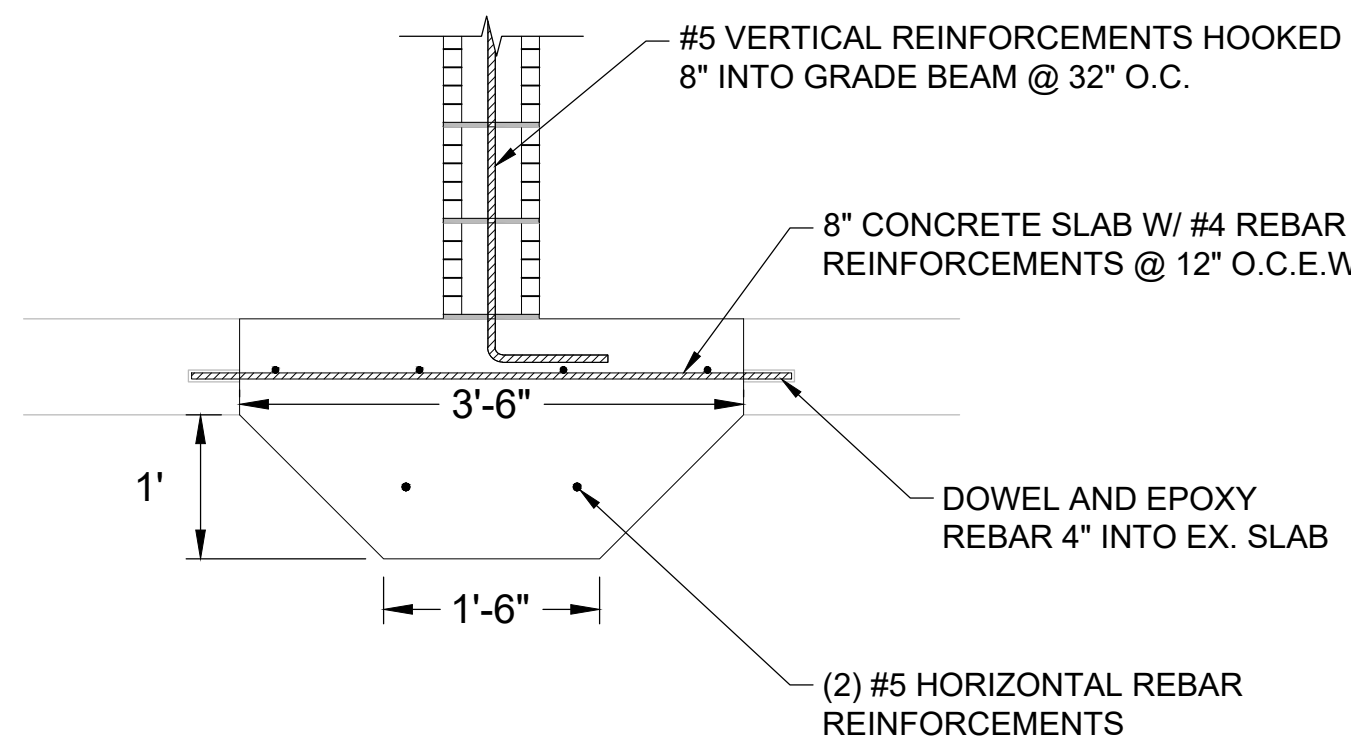
6 PARKING LOT RETAINING WALL DETAIL
S-4.2 SCALE: 1/2" = 1'-0"



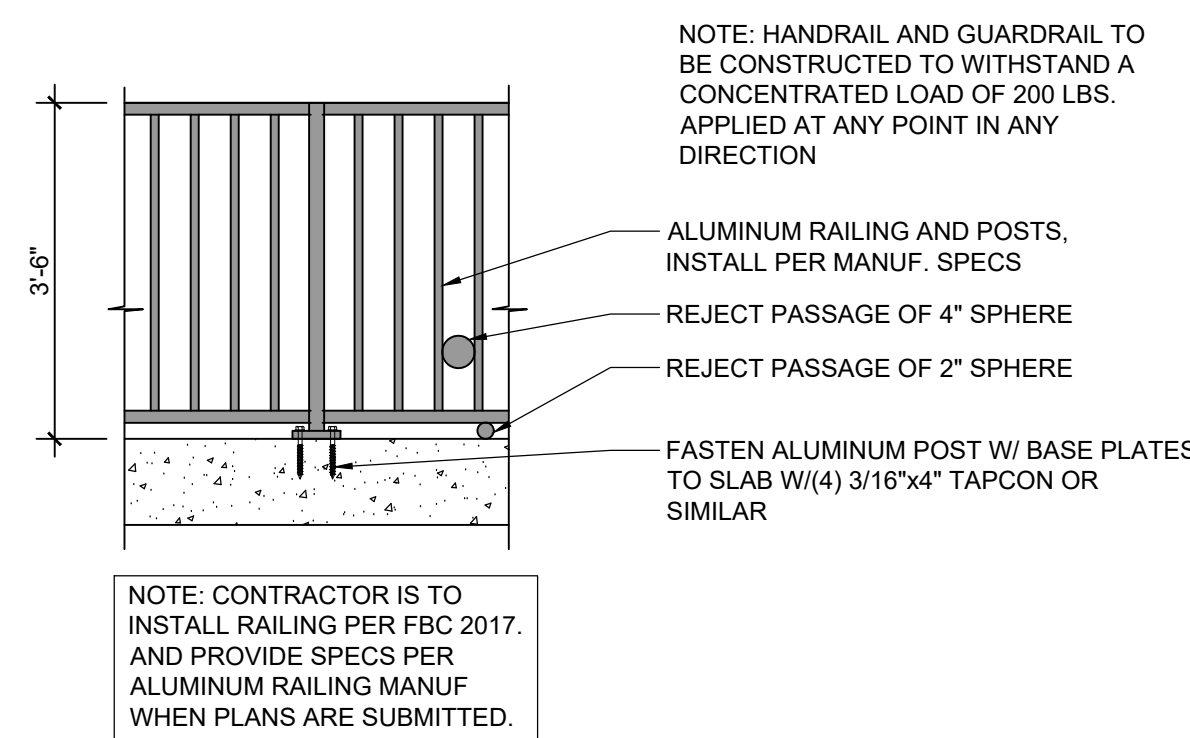
7 TYPICAL FILL-IN OPENING (BLOCK)
S-4.2 SCALE: N.T.S.



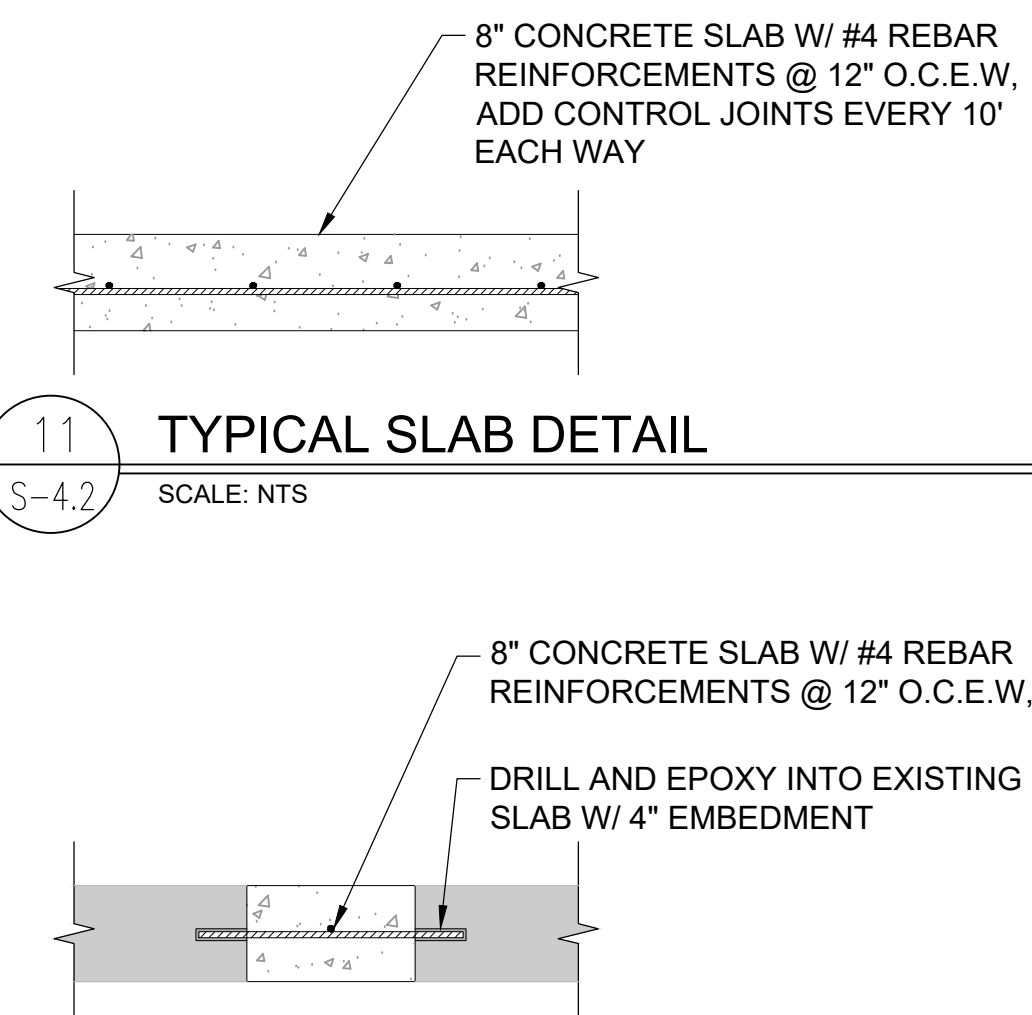
8 TYPICAL BUCK DETAIL
S-4.2 SCALE: N.T.S.



9 SPREAD FOOTER DETAIL
S-4.2 SCALE: N.T.S.



10 ALUMINUM RAILING CONNECTION FOR TOP MOUNTING TO FRAMING
S-4.2 SCALE: N.T.S.



11 TYPICAL SLAB DETAIL
S-4.2 SCALE: N.T.S.

12 TRENCH REPAIR DETAIL
S-4.2 SCALE: N.T.S.

DOOR PRESSURE CALCULATIONS			
DOOR NO.	SIZE	ZONE	MINIMUM ALLOWABLE PRESSURES
001	18'-0"x10'-0"	4	+39.3 / -43.3
002	18'-0"x10'-0"	5	+39.3 / -46.5
003	6'-0"x7'-0"	5	+43.8 / -55.5
004	6'-0"x7'-0"	5	+43.8 / -55.5
005	3'-0"x8'-0"	4	+45.5 / -49.5
012	3'-0"x8'-0"	4	+45.5 / -49.5
013	6'-0"x8'-0"	4	+43.4 / -47.4
014	3'-0"x8'-0"	5	+45.5 / -58.9
015	9'-0"x8'-0"	5	+42.1 / -52.1
016	9'-0"x8'-0"	5	+42.1 / -52.1
022	6'-4"x8'-0"	4	+43.2 / -47.3
023	6'-0"x8'-0"	4	+42.5 / -46.5
026	12'-8"x8'-0"	5	+41.1 / -50.0
029	8'-0"x8'-0"	4	+42.5 / -46.5
030	8'-0"x8'-0"	5	+42.5 / -52.9
031	8'-0"x8'-0"	5	+42.5 / -52.9
032	8'-0"x8'-0"	5	+42.5 / -52.9
033	8'-0"x8'-0"	4	+42.5 / -46.5

WINDOW PRESSURE CALCULATIONS			
WINDOW	SIZE	ZONE	MINIMUM ALLOWABLE PRESSURES
003	4'-0"x5'-0"	5	+46.1 / -60.0

General Notes:

TRUMAN WATERFRONT 1B REMODEL
CONSTRUCTION SET
KEY WEST, FLORIDA

Drawn By: ANF
Checked By: RJM
Project No.: AS NOTED
Scale:
AutoCad File No.

Revisions:

Title: STRUCTURAL SECTIONS AND DETAILS
Sheet Number: S-4.2
Date: AUGUST 12, 2019

Seal:

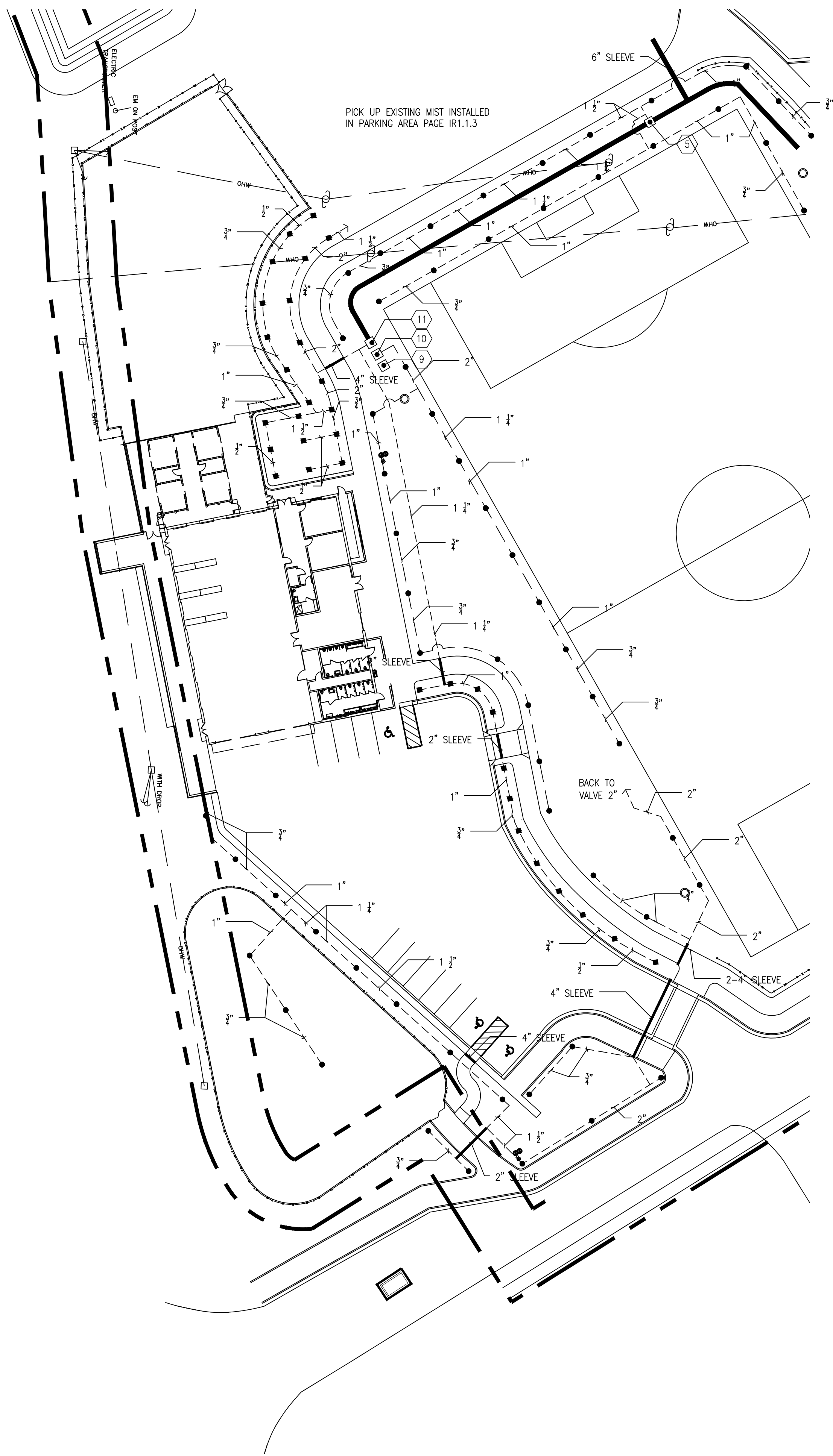
Consultants:
 STRUCTURAL ENGINEER:
 Meridian Engineering LLC
 CIVIL ENGINEER:
 Perez Engineering &
 Development
 IRRIGATION:
 Blue Island Lighting & Irrigation
 Inc.

Submissions:
 DATE PHASE
 2019.03.22 - ISSUED BID SET

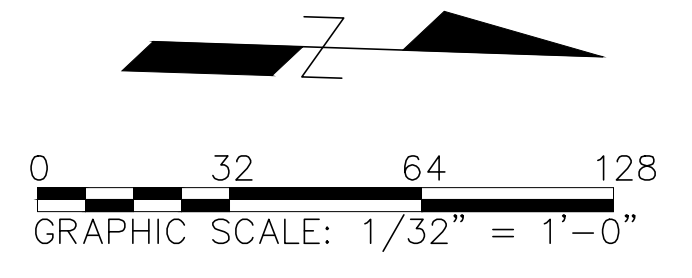
TRUMAN WATERFRONT 1B
 CITY OF KEY WEST
 WATERFRONT PARK
CITY OF KEY WEST
 1300 White Street, Key West, FL, 33040

PLOTTED: 3/21/2019 10:42 PM
 Drawing Size | Project #
 24x36 | 18070
 Drawn By: | Checked By:
 BK | AA

Title:
**IRRIGATION
 SITE PLAN**
 Sheet Number:
IR1.1.1
 Date: March 22, 2019
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1 **IRRIGATION SITE PLAN**
 SCALE: 1/32" = 1'-0"



Seal:

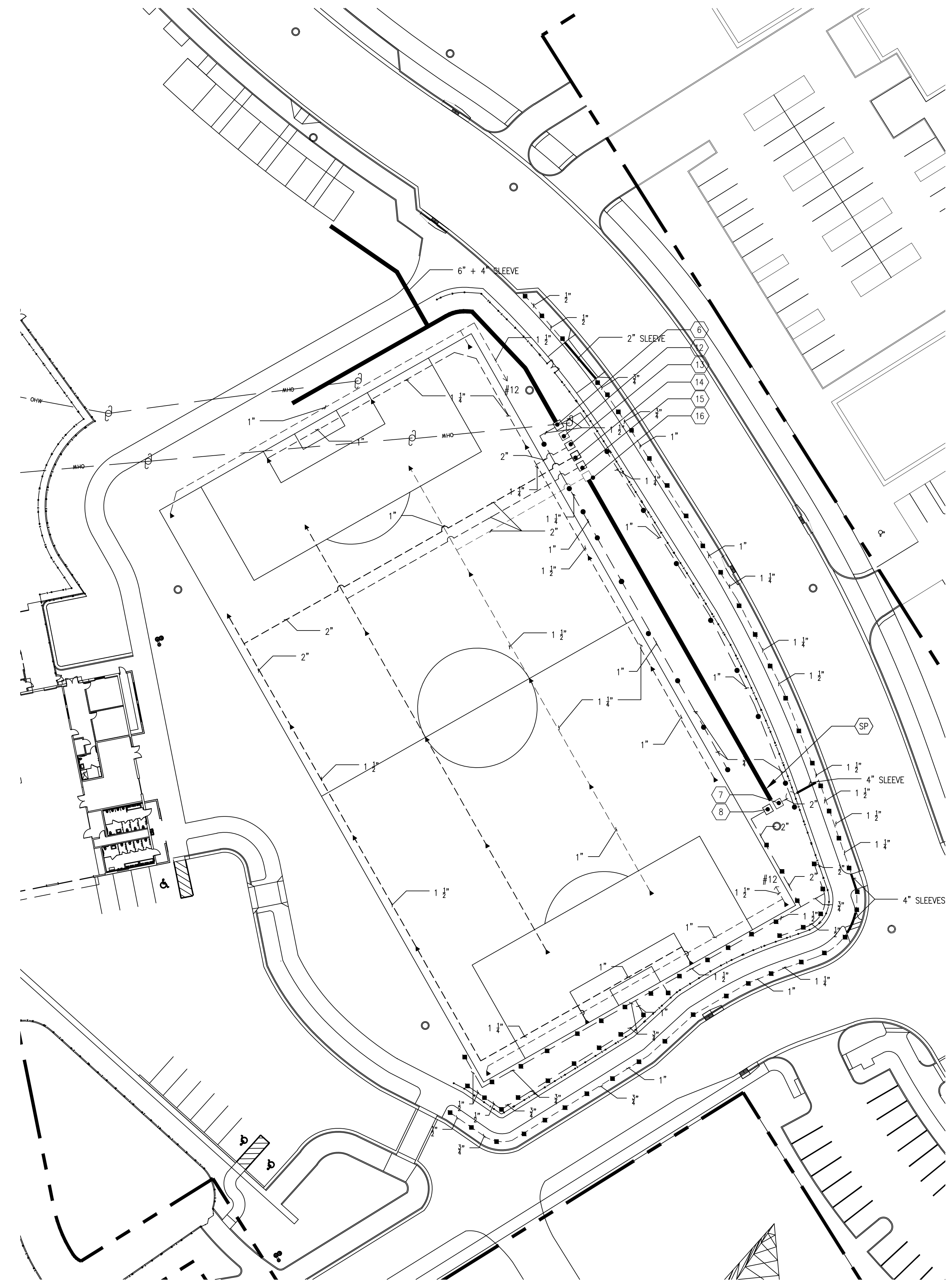
Consultants:
 STRUCTURAL ENGINEER:
 Meridian Engineering LLC
 CIVIL ENGINEER:
 Perez Engineering &
 Development
 IRRIGATION:
 Blue Island Lighting & Irrigation
 Inc.

Submissions:
 DATE/PHASE
 2019.03.22 - ISSUED BID SET

TRUMAN WATERFRONT 1B
 CITY OF KEY WEST
 WATERFRONT PARK
CITY OF KEY WEST
 1300 White Street, Key West, FL, 33040

PLOTTED: 3/21/2019 10:42 PM
 Drawing Size | Project #
 24x36 | 18070
 Drawn By: | Checked By:
 BK | AA
 Title:
 IRRIGATION
 SITE PLAN

Sheet Number:
IR1.1.2
 Date: March 22, 2019
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1 IRRIGATION SITE PLAN
 SCALE: 1/32" = 1'-0"

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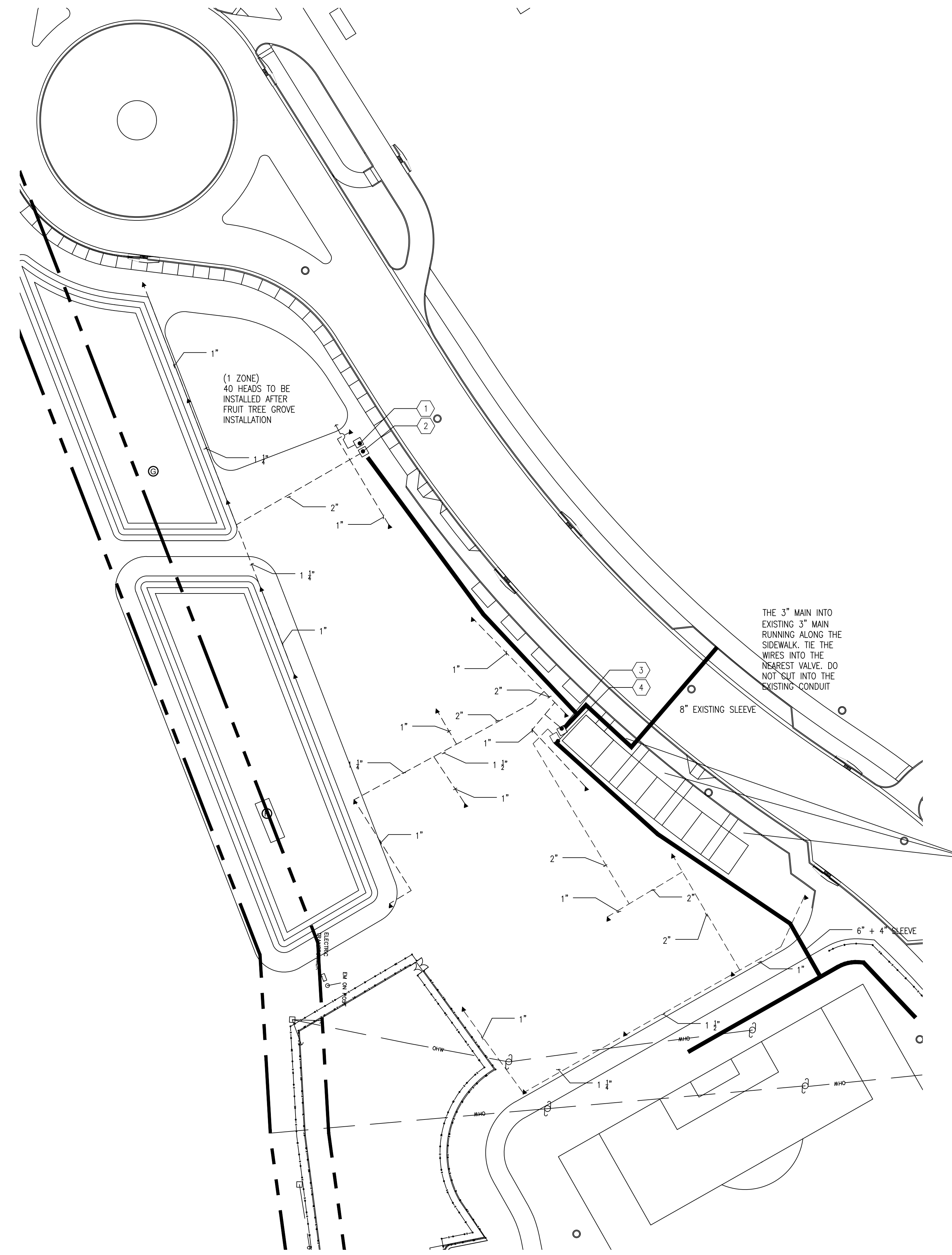
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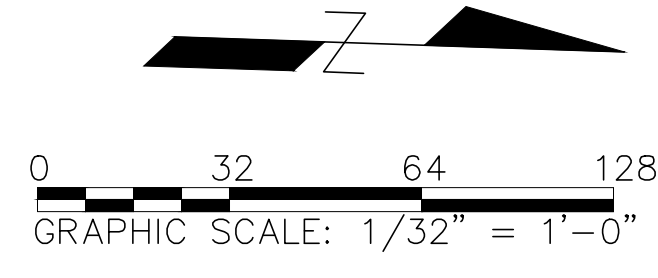
TRUMAN WATERFRONT 1B
 CITY OF KEY WEST
 WATERFRONT PARK
CITY OF KEY WEST
 1300 White Street, Key West, FL, 33040

PLOTTED: 3/21/2019 10:42 PM
 Drawing Size | Project #
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 Drawn By: | Checked By:
 BK | AA

Title:
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 Sheet Number:
IR1.1.3
 Date: March 22, 2019
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1 IRRIGATION SITE PLAN
 SCALE: 1/32" = 1'-0"



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GENERAL INFORMATION

- Remove 1 1/2" city water mainline from the 8" sleeve under road
- Tap the 3" mainline running along sidewalk
 - Install with a 3" Spears PVC ball valve in a 12x18 valve box
 - Include a 1" grey conduit with a Rainbird 2-wire communication cable
 - Connect the conduit & wire in the nearest existing valve box
- Remove existing rotor zones & valves from parking area next to soccer field and across from amphitheater
- Combine existing mist with new mist, install along street & soccer field
- Combine existing two bubbler zones with existing bubbler zone at the park
- Remove wiring from the ESP4ME controller at amphitheater
- Water source to be the existing Hoover pump station & controller pump located by electrical equipment at Fort St. parking

- = Rainbird 5004 rubber covered rotors
 - Installed on Rainbird 1/2" funny pipe
- = Rainbird 1800 series mist, 6" in turf & 12" in all plant beds
 - Nozzles to be field selected to cover with no overspray
- △ = Rainbird 8005 stainless steel rubber covered rotors
 - Quarter #12 nozzle 12.0 GPM
 - Half #12 nozzle 12.0 GPM
 - Full #18 nozzle 17.8 GPM
 - All to be installed on Schedule 80 Rainbird swing joints

- Mainline 3" Schedule 40
- Wire- Rainbird (blue) 2 wire communication cable installed in 1" grey conduit
- Valves- Rainbird 2" PGA
 - Installed with 2" SCD 80 PVC nipples
 - Installed in 12 x 18 Rainbird valve box
- Decoders- FD-101 Rainbird: Installed with 3m DBY connectors
- Line surge protection- LSP-1TURF with grounding rod & clamp

ZONES

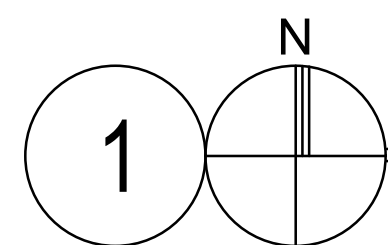
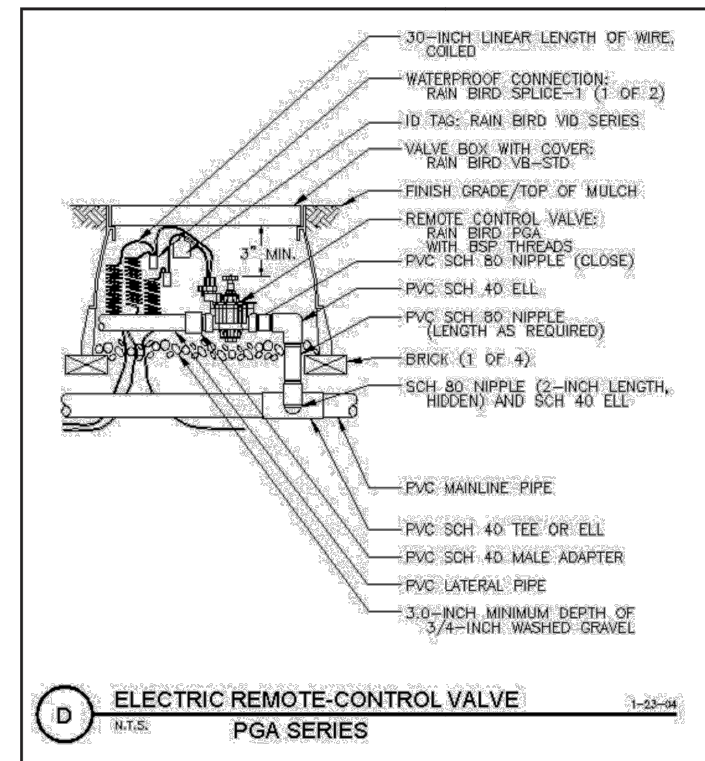
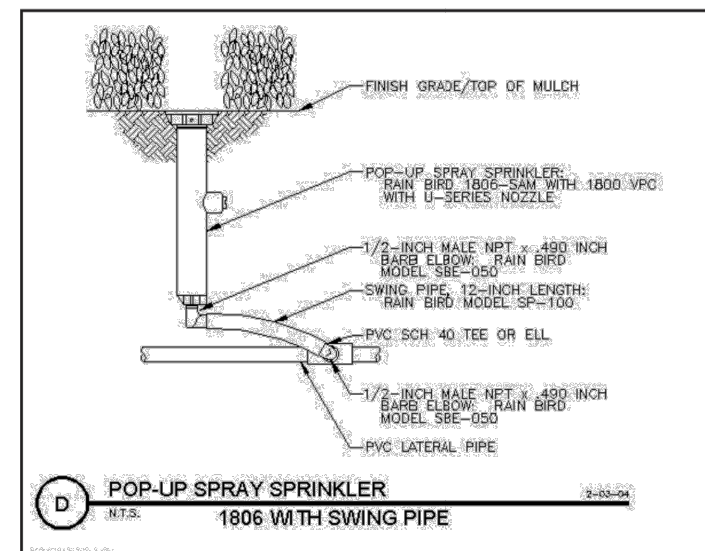
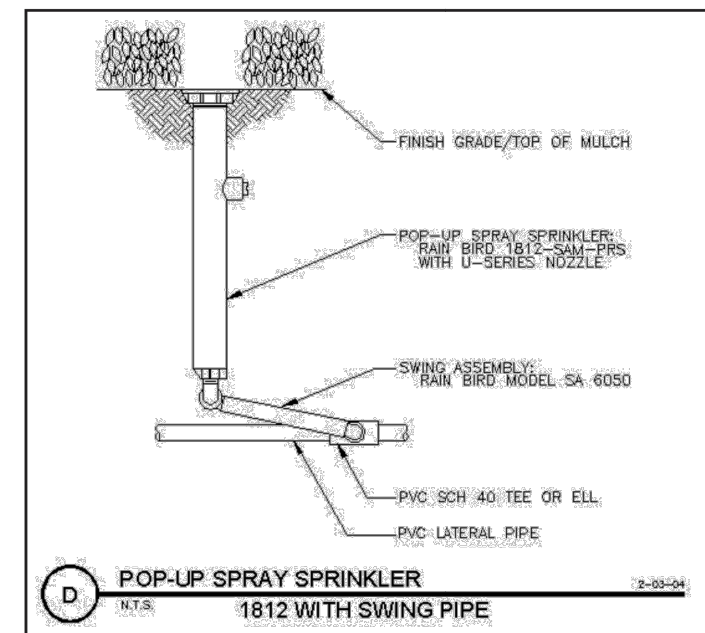
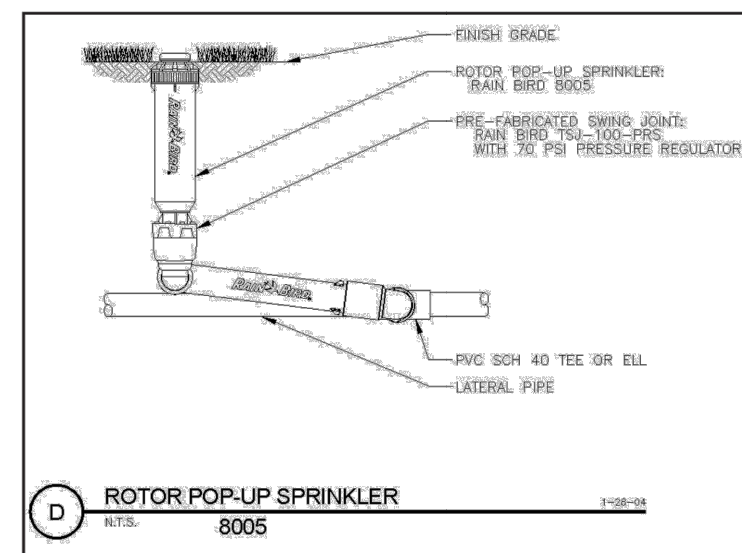
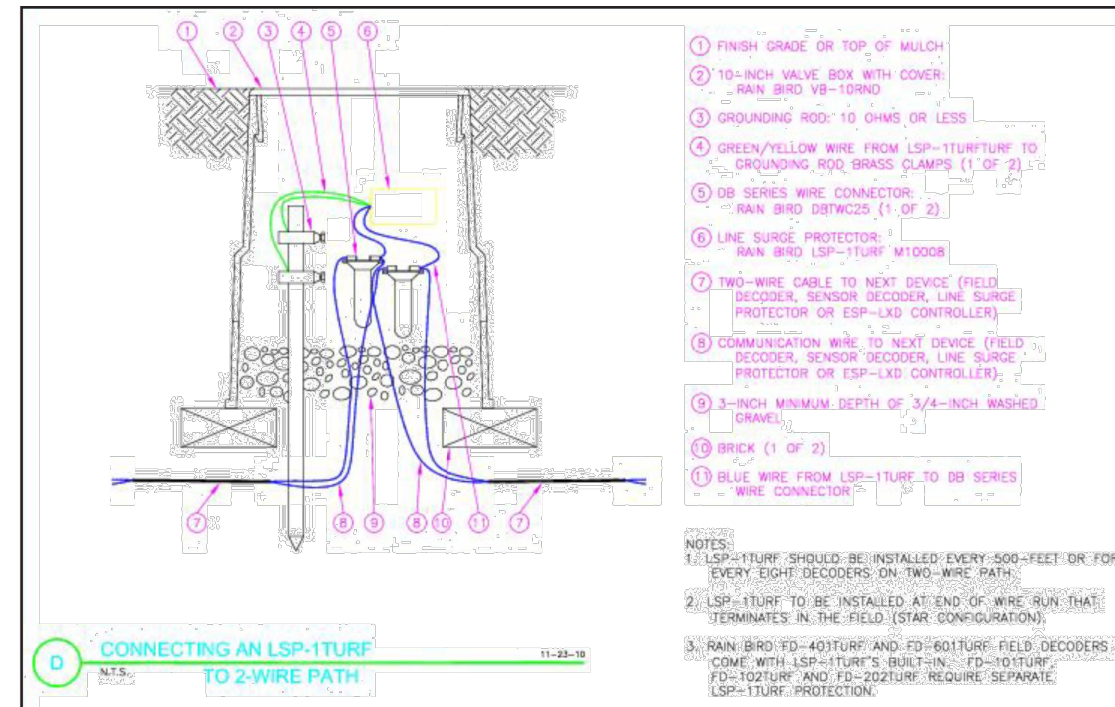
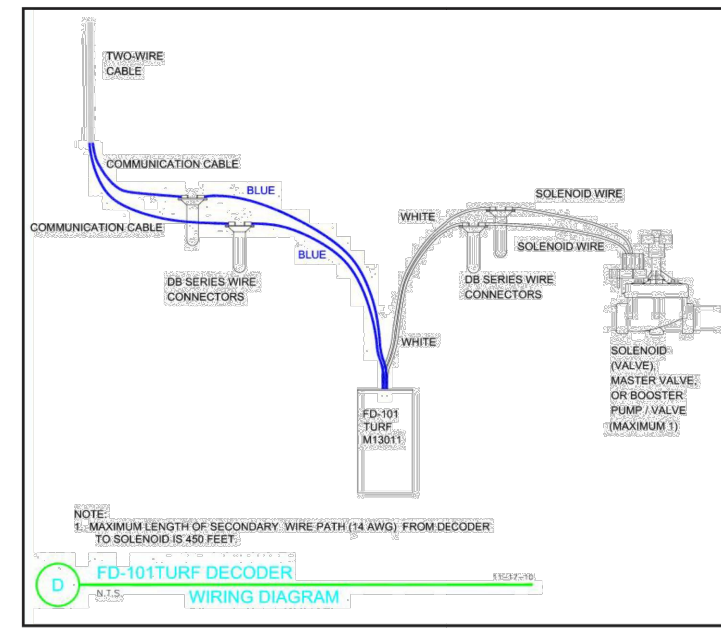
1-	40	6" 1806 Rainbird mist	85 GPM
2-	7	8005 Rainbird rotors	86.7 GPM
3-	7	8005 Rainbird rotors	96.2 GPM
4-	7	8005 Rainbird rotors	79.1 GPM
5-	20	5004 Rainbird rotors	80 GPM
6-	18	5004 Rainbird rotors	72 GPM
7-	42	1800 Rainbird mist	50.82 GPM
8-	30	1800 Rainbird mist	56.1 GPM
9-	22	5004 Rainbird rotors	88 GPM
10-	18	5004 Rainbird rotors	72 GPM
11-	33	1800 Rainbird mist	81 GPM

SOCCER FIELD ZONES

12-	4	8005 Rainbird rotors	48 GPM
13-	6	8005 Rainbird rotors	72 GPM
14-	6	8005 Rainbird rotors	72 GPM
15-	5	8005 Rainbird rotors	89 GPM
16-	5	8005 Rainbird rotors	89 GPM

QUANTITIES TO BE VERIFIED BY CONTRACTOR

145	1800 Rainbird 6" & 12" pop-ups
78	5004 Rainbird rotors
26	8005 Rainbird rotors
1,440 ft	3" SCD 40 mainline
1,600 ft	1" Grey conduit
2,000 ft	Rainbird communication cable
16	FD-101 decoders
2	LSP-1TURF surge protectors



IRRIGATION SITE PLAN

SCALE: 1/32" = 1'-0"

ARCHITECT:

K2M DESIGN

Architecture, Engineering, Interior Design, Asset Management, Specialty Consulting

Key Largo, FL
Key West, FL
Marathon, FL

URL: www.k2mdesign.com
PROF. REG. AA26001059

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STRUCTURAL ENGINEER:
Meridian Engineering LLC

CIVIL ENGINEER:
Perez Engineering & Development

IRRIGATION:
Blue Island Lighting & Irrigation Inc.

Submissions:

DATE PHASE
2019.03.22 ISSUED BID SET

TRUMAN WATERFRONT 1B
CITY OF KEY WEST
WATERFRONT PARK
CITY OF KEY WEST
1300 White Street, Key West, FL, 33040

PLOTTED: 3/21/2019 10:42 PM

Drawing Size | Project #
24x36 | 18070

Drawn By: | Checked By:
BK | AA

Title:

IRRIGATION
NOTES & DETAILS

Sheet Number:

IR1.1.4

Date: March 22, 2019

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THE CITY OF KEY WEST

Post Office Box 1409 Key West, FL 33041-1409 (305) 809-3700

Truman Waterfront Phase 1B – Lower Keys ITB 19-036

Meeting Minutes

Wednesday, June 7, 2019 11:30 AM

Items covered:

1. Project Scope Overview

- Location – Discussed location at Truman Waterfront Park at the west end of Key West and arranged site visit after the close of pre-bid meeting.
- Scope and type of sitework, sprinklers, HVAC, electrical, and plumbing

2. Project Schedule

- Bid Opening Date – Wednesday, June 27th at 3:00 PM
- Final date for inquiries – August 14th, 2019 must be submitted in writing
- Final date for responses – August 19th, 2019
- Bid due date – August 28th, 2019
- Commission meeting date – September 4th, 2019 – contractor to be approved for award

3. Bid Preparation Consideration Topics

- Bid Preparation
- Answers to written questions provided in addendum
- Review drawings – Architect K2M
- Review alternates – review all alternates
- Horse liability- who is responsible for building shelter

4. Questions Asked So Far

- Project budget \$4.5M
- Start date in mind – beginning of October
- Substitution request for locker/partition products – substitution requests will be addressed in addendum

5. Project General Considerations

- Special construction / specs review
- Horse temporary shelter – contractor will be responsible for construction of temporary shelters. City is currently looking for shelter location.
- Turf instead of grass – The City will be using turf for the soccer field. See specifications for additional information.

6. Permit Status

- Filing for permits this week as the owner

7. Project Administration

- City – responsible for construction engineering and contract administration
- K2M architect

8. Other visits to site

- Contractor is responsible for site review and contract document review before bidding

Key to the Caribbean – average yearly temperature 77 ° Fahrenheit.



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Key to the Caribbean – average yearly temperature 77 ° Fahrenheit.

City of Key West - ITB 19-036 Truman Waterfront Park Phase 1B - August 7, 2019 - Pre Bid Meeting Sign-in Sheet

	NAME	COMPANY	PHONE NO.	E-MAIL
1	Ian McDowell	COKIN	305-809-3753	cimcdowell@cityofkeywest-fl.gov
2	JOHN A. ONEILL	BURKE	240-405-5520	JOONEILL@BCCCONSTRUCTION.NC
3	Bryan Busby	KJM Design	954-952-4107	blbusby@kjmdesign.com
4	RD Britton	West Construction	561-588-2027	ASTRICKLAND@WESTCONSTRUCTIONINC.NET
5	LEO MONTREL	CHARLEY TOPPICO & SONS	305-797-3688	leom@charleytoppico.com
6	Michael Labrada	Charley Toppico & Sons	305-296-5606	mlabrada@charleytoppico.com
7	Ryon LaChapelle	SeaTech, Inc.	305-304-8406	RYONL@SEATECH.CC
8	CHRISTIAN BRISSON	PEDRO FALLON CONT.	305-872-2200	cb@pedrofallon.com
9	STEVE McALEARNEY	COKW	305-809-3747	SMCALEARNEY@CITYOFKEYWEST-FL.GOV
10	Robert Blanchard	DL Porter	941-929-9400	kim@dlporter.com robert@dlporter.com
11				
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