



Community Redevelopment Area
Application for of the Community Redevelopment Trust Fund
Tax Increment Appropriation
For the Bahama Village Subarea
2014 Allocation Year

A. PROJECT NAME: Renovation and Addition, 213 Petronia St.

B. PROJECT LOCATION/ADDRESS:
213 Petronia St., Key West

C. APPLICANT (PLEASE EXECUTE ATTACHED AUTHORIZATION FORMS)

Entity Edwards Family

Authorized Representative Yvonne Edwards, c/o Hugh Morgan

Role or Capacity of Authorized Representative co-owner

Address 213 Petronia St.

Telephone Number (Morgan): 296-5676

Cellular Number _____

E-Mail Address (Morgan): HUGHCHJMORGANLAW.COM

D. PROJECT INFORMATION: Development Benefits and Costs

The direct and indirect benefits of any proposed community redevelopment project (including rehabilitation, infrastructure, redevelopment, development and programs) should, be determined and quantified based upon advancing the Primary Objectives of the Plan. All projects must be compliant with the Land Development Regulations, Historic Architectural Guidelines and other adopted City Plans.

a. What type of project is proposed: *Check one:* Construction/Restoration Program

b. Provide a description of the project: Demonstrate how the proposed project will alleviate blight in the subarea; Describe how the project has the long term ability to alleviate blight; Demonstrate how the proposed project meets or exceeds specific objectives of the CRA Plan for the subarea.

Description attached

c. Provide a map of the project and where it falls within the CRA boundary

Map attached

d. Provide a description of the population served by the project: How many people are affected by the project improvements? How is that population related to the subarea?

Description attached

e. Attach proper authorization and verification forms from the property owner(s) for the proposed project facility location.

Property location authorization and verification form attached

Monroe County Property Appraiser data for the site (<http://www.mcparfl.org>)

f. For **Construction/Restoration Projects**, provide information that fully describes the physical boundaries of the proposed project as follows:

Map(s) attached

Deeds(s) attached

Sunbiz printout at www.sunbiz.org

Boundary survey attached

Please indicate whether the proposed site is considered a contributing building or structure within the Historic district or is individually listed in the National Register of Historic Places (NHRP).

Locally contributing historic structure

Individually listed in the NHRP

E. OWNERSHIP AND LEGAL STRUCTURE

Provide the full name(s) of the person(s) or entity(s) expected to own (or operate if a program) the project and fully describe their legal structure (i.e. principals, ownership interests, relationship to parent organization, subsidiaries, etc.). Include a complete list of officers, directors and board members (as applicable) associated with entity requested the appropriation. Attach additional information if necessary.

See attached deed

Is the facility or program open to the public regardless of the individual's race, color, sex, gender identity or expression, religion, disability, national origin, ancestry, sexual orientation, marital status, parental status, or source of income and is there a charge associated with public use or entry to the facility or program? Please describe or explain if facility or programs have limitations to access. Attach additional information if necessary.

This is a private home.

F. PREAPPLICATION MEETING

A pre-application with the Planning Department is required prior to application submittal. Please contact the Planning Department to make appointments. Provide below provide dates that the pre-application meetings were held:

_____ City Planner or designated Staff
_____ Historic Preservation Planner
_____ Sustainability Coordinator

G. PROJECT BUDGET: Need for Public Contribution of Tax Increment

The need for a tax increment appropriation must be demonstrated to the satisfaction of advisory committee, staff, and the CRA. Documentation, including development budgets, cash flow projections, market studies and other financial and market information will be carefully analyzed. The City, at its sole discretion, may choose to require a deed restriction in the form of a lien, restrictive covenant and promissory note for any funds awarded.

Applicants are encouraged to consider the total amount available for TIF funding in 2014 relative to their project request. This year the amount of funding that will be available is approximately \$ _____.

1. What type of funding is being requested?
 Loan
 Donation with matching funds
 Donation without matching funds

2. What type of taxing classification entity are the improvements for?
 Private Property – Residential
 Private Property – Commercial
 Not for profit organization
 Publicly owned land

3. Is funding requested for multiple phases (over more than one funding cycle)?
 yes no

4. Project Cost for 2014 \$170,000⁺
Total Project Cost same (if multiphase, for all years)

5. Amount of TIF Funding Requested for 2014 \$70,000
Total Amount of TIF Funding Requested same
(if multiphase, for all years)

6. Matching Funds: Amount of Tax Increment Contribution versus Private Investment – In order to promote the maximization of the ratio of private investment to public contribution, a redevelopment proposal requesting community redevelopment tax increment funding assistance should, provide a minimum match for the proposed request. In kind services (considered donated/free/ volunteered labor; materials; goods and services) can contribute to the match.

Total Amount of matching funds provided for 2014 \$100,000
Total Amount of matching funds provided (if multiphased, for all years)
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Provide documentation describing the source and amount of matching funds and schedule of values for its use
 Matching Funds Description attached

Provide documentation describing how the organization has attempted to raise funds for the project to date and what fund raising events and alternative funding sources are planned
 Description of alternative funding pursuits attached

Total amount of in-kind contributions N/A
Total Amount of in-kind contributions provided (if multi-phased, for all years) _____

Provide documentation describing the source, type and amount of in-kind contributions including schedule of values for unit of in-kind services/goods. The City reserves the right to deny the application of certain types of in-kind services and goods and to renegotiate a schedule of values for permissible items.
____ In-kind contribution description attached

7. Attach a detailed budget for the project describing each key element and estimated costs (if multiphase, for all years)
 Detailed budget attached

8. As a result of the property improvements, how much property tax increase is expected?
Unknown

H. PROJECT SCHEDULE

Please provide a schedule for approvals, construction and implementation of proposal, including multi-year phasing if relevant.

Schedule attached

I. GREEN FEATURES - Promote Sustainable Community Redevelopment - Chapter 163, part 3, Florida Statutes of the Community Redevelopment Act, recognizes the importance of and encourages sustainable development and "going green" within the context of implementation of community redevelopment. Going green means a conscious attempt to reduce overall negative environmental impacts by individuals, businesses and government.

Pursuant to the City's adopted Climate Action Plan reduce greenhouse gas emissions by 15% and to demonstrate sustainable community leadership, applicants must document 15% water and energy use reductions. As a governmental entity the city is committed to being a responsible spending agent. By investing taxpayers money (TIF expenditures) in sustainable projects the City will ensure greater lifecycle longevity of a development project, healthier conditions for the occupants and the community as a whole, and the overall reduction of utility costs for the property owner. In order to ensure that tax payer funds are being used in a sustainable way attach the following documentation:

1. An energy and water baseline report consisting of 12 months of energy and water use. For commercial buildings (including multifamily), building data must be input into EPA Portfolio Manager (<https://www.energystar.gov/istar/pmpam/>), and access to building data given to the City of Key West. For residential, either EnergyGuage or RESNET may be used to establish a baseline.

Energy and Water Baseline Report attached

2. Plans to reduce 15% of both water and energy use on the property.

Greenhouse Gas Reduction Plan attached

J. MAINTENANCE

For **Construction/Restoration Project**, please fully describe the plan for maintaining the proposed project, including but not limited to evidence as to how the appropriate repair and maintenance coverage for the improvements funded by the TIF request will be provided; and if the project has multiple construction phases, describe how subsequent phases will be funded.

Building Maintenance Plan attached

For a **Program** please fully describe the plan for maintaining the proposed project including but not limited to a financial plan describing how the program will sustain itself overtime

Program Maintenance Plan attached

K. CERTIFICATION

By making this application, Applicant certifies that he or she has read Chapter 163, Part III Florida Statutes and the City's Community Redevelopment Plan (including any amendment or restatement thereof), and understands that any funding pursuant to application must be consistent with the City's community redevelopment policy objectives and City of Key West guidelines and procedures.

Applicant certifies that the proposed project shall be completed consistent with this application and representation made in order to obtain funding.

The undersigned has read this form, authorized its preparation and, under penalty of perjury, hereby certifies that, to the best of his or her knowledge and belief that the information provided is true, accurate and complete. Applicant understands that any appropriation is subject to available funds and if requested agrees to provide any and all additional information in a timely fashion as requested by the CRA or City.

Chapter 837.06 Florida Statutes – False Official Statements – Whoever knowingly makes a false statement in writing with the intent to mislead a public servant in the performance of his or her official duty shall be guilty of a misdemeanor of the second degree punishable as provided for in S. 775.082 or S. 775.083.

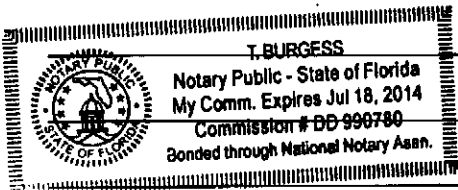
Applicant: Yvonne Edwards Date: 9-30-2013

Subscribed and sworn to (or affirmed) before me on 9-30-13 (date)

by YVONNE EDWARDS Please Print Name of Affiant

He/She is personally known to me or has presented _____ as identification.

T. Burgess
Notary's Signature and Seal



Name of Acknowledger printed or stamped

Title or Rank

Commission Number, if any

K:\Community Redevelopment Area Plans\Application Materials\CRA - TIF Application 2013 - Draft.doc

Project: Renovation and Addition, 213 Petronia St.

Project description: Demolition of non-historic addition to existing residential structure; renovation of existing structure and addition of historically appropriate addition. The project will have an reduce blight by replacing a derelict structure with an attractive home.

Population description: This project affects residents of Bahama Village, specifically including the family members who have lived in this neighborhood for many generations.

Description of physical boundaries: The lot is located at the corner of Chapman Lane and Petronia St. and consists of 5,763 sq.ft. on the property described as KW Lot 19 and part of Lot 26, Square 2, Tract 3.

Matching funds and description of fund raising: Applicant will match up to \$100,000 of CRTF funds with Applicant's own funds, currently on deposit in the Trust Account of Hugh J. Morgan. Applicant raised these funds by land sale to energy-efficient the Land Authority.

Project schedule: All approvals required for the project have been secured, including HARC approval (H08.02.28.245) and City of Key West Building permit approval. Construction will proceed within 90 days following issuance of the building permit, conditioned on applicant's obtaining the CRTF funding needed to supplement applicant's available funds, and will be completed during 2014.

Project budget: Construction cost is estimated at \$170,000 , exclusive of appliances and landscaping.

Greenhouse gas reduction plan: As depicted on the approved construction plans prepared by Bender & Associates, the project will reduce energy and water consumption by replacing existing doors and windows with new penetrations (incl. weatherstripping), replacing existing noninsulated roof with metal roof insulated between rafters, installing polyisocyanurate rigid insulation between floor joists, installing water-saving bathroom fixtures [see Plumbing Fixture Schedule on sheet A8: Ecoefficient showerheads (20% water reduction)and low-flow aerator lavatories] and energy-efficient appliances [see Appliance Schedule on sheet A3: Energy Star Rated kitchen and laundry fixtures], and reducing reliance on air-conditioning by installing 6 ceiling fans.

Maintenance plan: This will be an owner-occupied structure, maintained by the occupants. This newly-renovated structure will be built in compliance with current Building Code, so only routine maintenance is anticipated.

REECE & WHITE LAND SURVEYING, INC.

P.O. BOX 432123, BIG PINE KEY, FLORIDA 33043

PHONE (305) 872-1348

FACSIMILE (305) 872-5622

EMAIL reeceps@aol.com

**DESCRIPTION FOR 213 PETRONIA STREET
NEWLY AUTHORED BY THE UNDERSIGNED ON February 29, 2012:**

A PARCEL OF LAND ON THE ISLAND OF KEY WEST AND BEING A PART OF LOT 19 ACCORDING TO T.J. ASHE'S PLAT AS RECORDED IN DEED BOOK "I" AT PAGE 77 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCE AT THE INTERSECTION OF THE NE'LY RIGHT OF WAY LINE OF EMMA STREET AND THE NW'LY RIGHT OF WAY LINE OF PETRONIA STREET AND RUN THENCE IN A NE'LY DIRECTION ALONG THE SAID NW'LY RIGHT OF WAY OF SAID PETRONIA STREET A DISTANCE OF 89.27 FEET TO THE SOUTHWEST CORNER OF A PARCEL OF LAND DESCRIBED IN OFFICIAL RECORD BOOK 1550, PAGE 1463, SAID POINT ALSO BEING THE SOUTHEAST CORNER OF A PARCEL LAND DESCRIBED IN OFFICIAL RECORD BOOK 1150, PAGE 1466 BOTH OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA;

THENCE CONTINUE ALONG THE SAID NW'LY RIGHT OF WAY LINE OF SAID PETRONIA STREET A DISTANCE OF 52.48 FEET TO THE POINT OF BEGINNING OF THE PARCEL OF LAND HEREINAFTER INTENDED TO BE DESCRIBED;

THENCE CONTINUE ALONG THE SAID NW'LY RIGHT OF WAY LINE OF SAID PETRONIA STREET A DISTANCE OF 45.75 FEET TO THE INTERSECTION OF THE SW'LY RIGHT OF WAY LINE OF CHAPMAN LANE AKA ELLEN STREET ACCORDING T.J. ASHE'S PLAT AFORESAID;

THENCE AT RIGHT ANGLES IN A NW'LY DIRECTION AND ALONG THE SAID SW'LY RIGHT OF WAY LINE OF SAID CHAPMAN LANE A DISTANCE OF 54.00 FEET;

THENCE AT RIGHT ANGLES IN A SW'LY DIRECTION A DISTANCE OF 47.36 FEET;

THENCE AT AN ANGLE DEFLECTED $91^{\circ}42'29''$ TO THE LEFT AND IN A SE'LY DIRECTION A DISTANCE OF 54.02 FEET BACK TO THE POINT OF BEGINNING.

CONTAINING 2514.1 SQUARE FEET, MORE OR LESS.



Joe Robert White
Professional Surveyor and Mapper No. 6688

Professional Surveyor and Mapper, LB 7846
Robert E. Reece, PSM 5632, State of Florida
Joe Robert White, LS 6688, State of Florida

Prepared by and return to:
JOHN M. SPOTTSWOOD, JR.
Attorney at Law
Spottswood, Spottswood & Spottswood
500 Fleming Street
Key West, FL 33040
305-294-9556
File Number: 12-089-EJ

[Space Above This Line For Recording Data]

Quit Claim Deed

This Quit Claim Deed made this 18th day of June, 2012 between The Housing Authority of the City of Key West, Florida, a public body, corporate and politic created and organized pursuant to and in accordance with the provisions of Housing Authorities Law, codified as Chapter 421, Florida Statutes, as amended whose post office address is 1400 Kennedy Drive, Key West, FL 33040, grantor, and Eugene Edwards and Francina Edwards, husband and wife as to an undivided 50% interest and Yvonne Edwards, a single woman as to an undivided 50% interest, as tenants in common whose post office address is 213 Petronia Street, Key West, FL 33040, grantee:

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable consideration to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, does hereby remise, release, and quitclaim to the said grantee, and grantee's heirs and assigns forever, all the right, title, interest, claim and demand which grantor has in and to the following situate, lying and being in Monroe County, Florida to-wit:

All buildings and improvements as more particularly described on Exhibit "A"

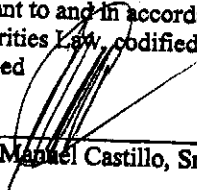
Subject to restrictions set forth in the attached Exhibit "B"

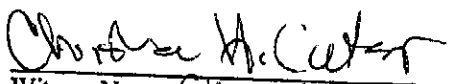
To Have and to Hold, the same together with all and singular the appurtenances thereto belonging or in anywise appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever of grantors, either in law or equity, for the use, benefit and profit of the said grantee forever.

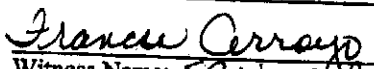
In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

The Housing Authority of the City of Key West, Florida, a public body, corporate and politic created and organized pursuant to and in accordance with the provisions of Housing Authorities Law, codified as Chapter 421, Florida Statutes, as amended

By: 
J. Manuel Castillo, Sr., Executive Director



Witness Name: CHRISTINA A. CARTER

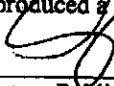

Witness Name: FRANCES ARROYO

State of Florida
County of Monroe

The foregoing instrument was acknowledged before me this 18th day of June 2012 by J. Manuel Castillo, Sr., Executive Director of The Housing Authority of the City of Key West, Florida, a public body, corporate and politic created and organized pursuant to and in accordance with the provisions of Housing Authorities Law, codified as Chapter 421, Florida Statutes, as amended. They are personally known or have produced a driver's license as identification.

[Notary Seal]

NOTARY PUBLIC-STATE OF FLORIDA
 Giselda Liotta-Brogli
Commission #DD918292
Expires: AUG. 19, 2013
BONDED THRU ATLANTIC BONDING CO., INC.



Notary Public

Printed Name: Giselda Liotta-Brogli

My Commission Expires: Aug, 19, 2013

**Scott P. Russell, CFA
Property Appraiser
Monroe County, Florida**

Key West (305) 292-3420

Marathon (305) 289-2550

Plantation Key (305) 852-7130

**Property Record Card -
Maps are now launching the new map application version.**

Website tested on
IE8, IE9, & Firefox.

Requires Adobe
Flash 10.3 or higher

Alternate Key: 9101071 Parcel ID: 00013680-000201

Ownership Details

Mailing Address:

EDWARDS EUGENE AND FRANCINA
213 PETRONIA ST
KEY WEST, FL 33040-7325

All Owners:

EDWARDS EUGENE AND FRANCINA, EDWARDS YVONNE
T/C

Property Details

PC Code: 01 - SINGLE FAMILY

Millage Group: 11KW

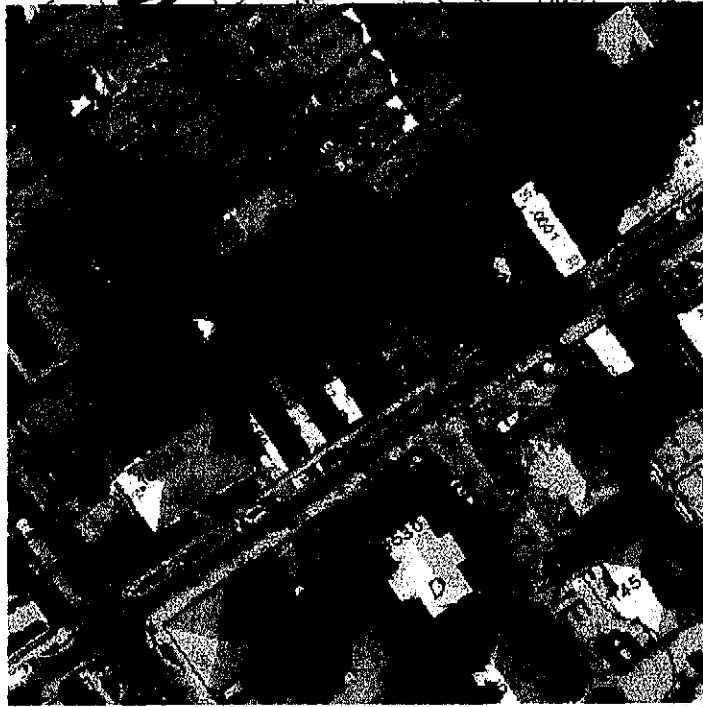
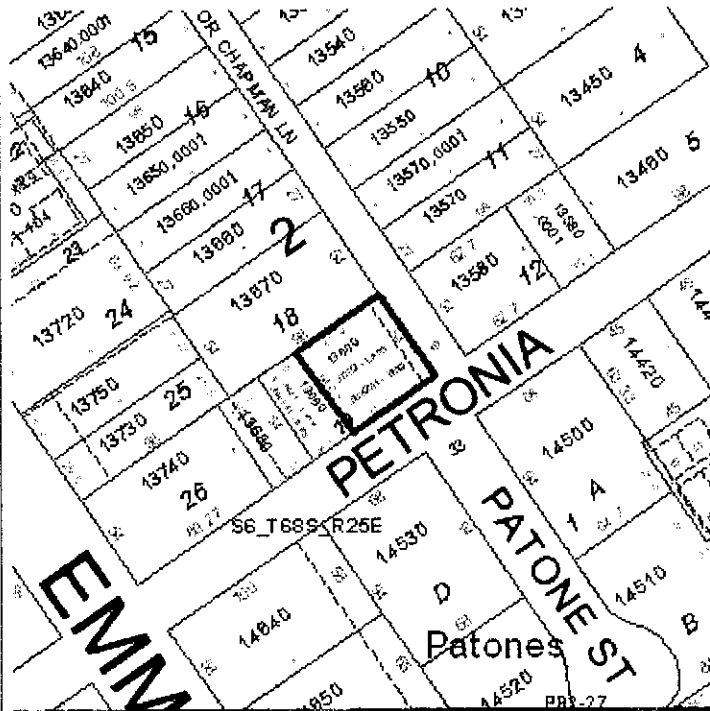
Affordable Housing: No

Section-Township-Range: 06-68-25

Property Location: 213 PETRONIA ST KEY WEST

Legal Description: BLDG ONLY AT 213 PETRONIA OR2577-2345/77LEASE OR2577-2378/81

Click Map Image to open interactive viewer



Land Details

Land Use Code	Frontage	Depth	Land Area
00AH - AFFORDABLE HOUSING			1.00 LT

Appraiser Notes

PER OR2577-2345 GROUND LEASE BETWEEN THE HOUSING AUTHORITY OF THE CITY OF KEY WEST FLORIDA AND EUGENE AND FRANCINA EDWARDS AND YVONNE EDWARDS FOR 213 PETRONIA ST, THIS PARCEL IS FOR BLDG ONLY, LAND BEING ASSESSED UNDER RE00013680-000200; AK9101070

Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2013	0	0	1	1	1	0	1

Parcel Sales History

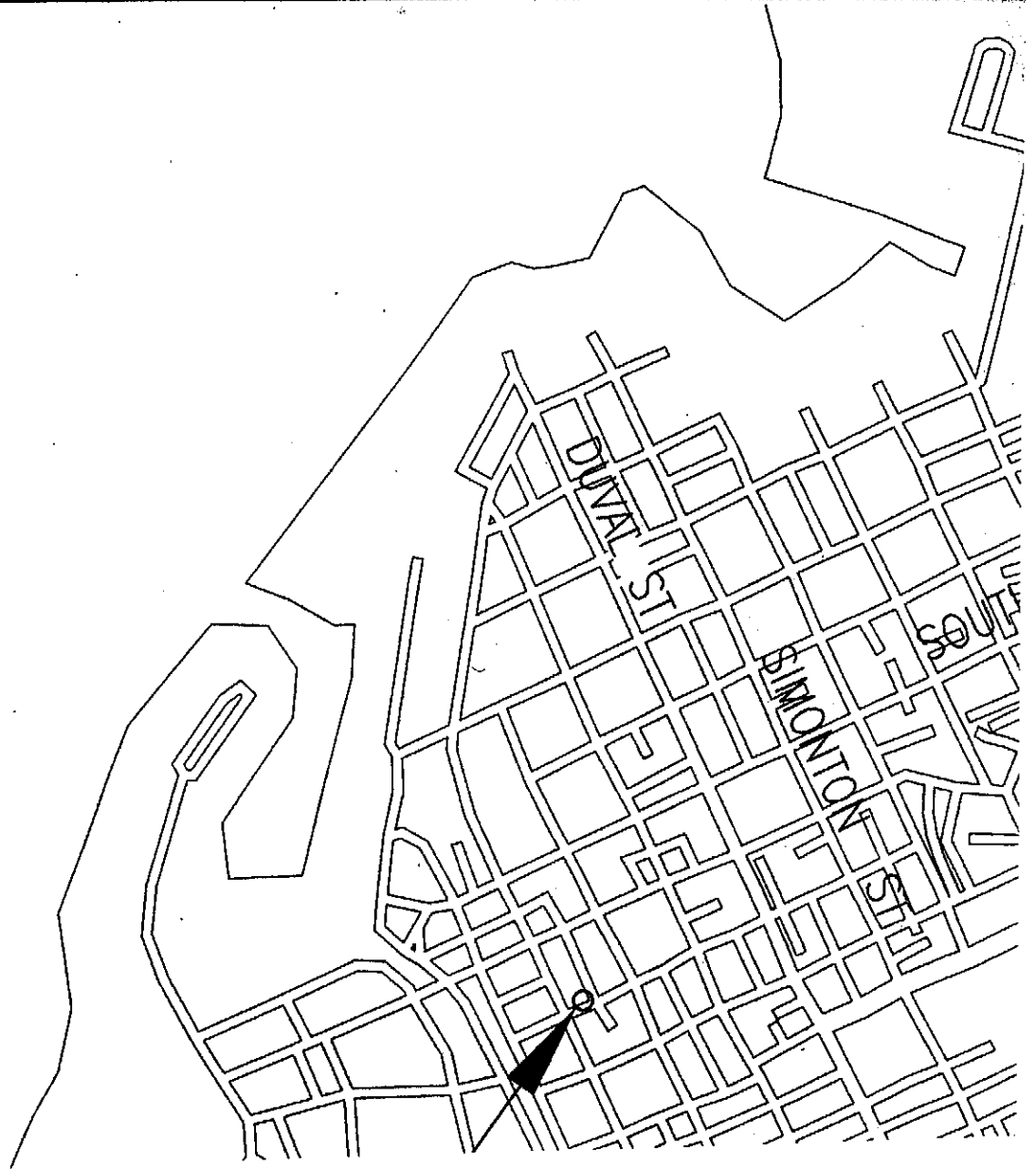
NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

Sale Date	Official Records Book/Page	Price	Instrument	Qualification
6/18/2012	2577 / 2378	42,800	QC	17

This page has been visited 231,444 times.

Monroe County Monroe County Property Appraiser
 Scott P. Russell, CFA
 P.O. Box 1176 Key West, FL 33041-1176

S I T E M A P - K E Y W E S T



Castro Construction

of the Florida Keys, Inc.

2301 Seidenberg Avenue
Key West, FL 33040
License #RB-0066842

Cell: 305 522-5581
Email: jcastro3@aol.com

Date: September 1, 2013
Location: 213 Petronia Street

Proposal

213 Petronia Street renovation and addition:

Description of work to be done by Castro Construction:

- Demo –assist in demo and brace up the front porch.
- Build new foundation piers.
- New floor framing as per plans.
- New porches and railings.
- New windows (screens not included).
- Interior petitions as per plans.
- Drywall throughout house.
- Insulation.
- New interior doors.
- Tile bathroom floors and around shower.
- New roofing, AC, plumbing, and electrical.
- Removal of construction debris (not including demo debris).

(Not included in the proposal is – demolition, propane gas, gutters, lattice skirting, kitchen cabinets, painting, finish flooring.)

total price for labor and materials=.....\$168,790.00

Late Application Information
Accepted October 4, 2013
Per City Planner, Don L. Craig

Late Application Information

Accepted as per Don Craig

Submitted November 1, 2013



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Entity Edwards Family
 Authorized Representative Yvonne Edwards, c/o Hugh Morgan
 Role or Capacity of Authorized Representative co-owner
 Address 213 Petronia St.
 Telephone Number (Morgan): 296-5676
 Cellular Number _____
 E-Mail Address (Morgan): HUGH@HJMORGANLAW.COM

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Yvonne Edwards, Eugene Edwards, and Francina Edwards (owners
of the subject structure, and 99-year Lessee from The Housing
Authority of The City of Key West) own the Project.

Is the facility or program open to the public regardless of the individual's race, color, sex, gender identity or expression, religion, disability, national origin, ancestry, sexual orientation, marital status, parental status, or source of income and is there a charge associated with public use or entry to the facility or program? Please describe or explain if facility or programs have limitations to access. Attach additional information if necessary.

This is a private home.

F. PREAPPLICATION MEETING

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Nicole Malo _____ City Planner or designated Staff
Enid Torregrosa _____ Historic Preservation Planner
Alison Higgins _____ Sustainability Coordinator

See original for signatures

G. PROJECT BUDGET: Need for Public Contribution of Tax Increment

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____ In-kind contribution description attached

7. Attach a detailed budget for the project describing each key element and estimated costs (if multiphase, for all years)

Detailed budget attached

8. As a result of the property improvements, how much property tax increase is expected?

The land on which the house is located is exempt from ad valorem taxation as "municipal land". The Property Appraiser assesses the FMV of the house at \$1, based on the Affordable Housing deed restriction. No change is anticipated.

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Schedule attached

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2. Plans to reduce 15% of both water and energy use on the property.

Greenhouse Gas Reduction Plan attached

J. MAINTENANCE

For Construction/Restoration Project, please fully describe the plan for maintaining the proposed project, including but not limited to evidence as to how the appropriate repair and maintenance coverage for the improvements funded by the TIF request will be provided; and if the project has multiple construction phases, describe how subsequent phases will be funded.

Building Maintenance Plan attached

For a Program please fully describe the plan for maintaining the proposed project including but not limited to a financial plan describing how the program will sustain itself overtime

Program Maintenance Plan attached

K. CERTIFICATION

By making this application, Applicant certifies that he or she has read Chapter 163, Part III Florida Statutes and the City's Community Redevelopment Plan (including any amendment or restatement thereof), and understands that any funding pursuant to application must be consistent with the City's community redevelopment policy objectives and City of Key West guidelines and procedures.

Applicant certifies that the proposed project shall be completed consistent with this application and representation made in order to obtain funding.

The undersigned has read this form, authorized its preparation and, under penalty of perjury, hereby certifies that, to the best of his or her knowledge and belief that the information provided is true, accurate and complete. Applicant understands that any appropriation is subject to available funds and if requested agrees to provide any and all additional information in a timely fashion as requested by the CRA or City.

Chapter 837.06 Florida Statutes - False Official Statements - Whoever knowingly makes a false statement in writing with the intent to mislead a public servant in the performance of his or her official duty shall be guilty of a misdemeanor of the second degree punishable as provided for in S. 775.082 or S. 775.083.

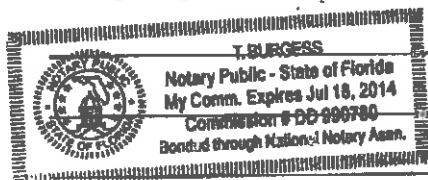
Applicant: Yvonne Edwards Date: 9-30-2013

Subscribed and sworn to (or affirmed) before me on 9-30-13 (date)

by YVONNE EDWARDS Please Print Name of Affiant

He/She is personally known to me or has presented _____ as identification.

T. Burgess
Notary's Signature and Seal



_____. Name of Acknowledger printed or stamped

_____. Title or Rank

_____. Commission Number, if any

K:\Community Redevelopment Area Plans\Application Materials\CRA - TIF Application 2018 - Draft.doc

All Project Information

Late Application Information

Accepted as per Don Craig

Submitted November 1, 2013

Project: Renovation and Addition, 213 Petronia St.

Project description: Demolition of non-historic addition to existing residential structure; renovation of existing structure and addition of historically appropriate addition. The project will reduce blight by refurbishment of a derelict structure into an attractive, energy efficient home.

The subject property is zoned Historic Neighborhood Commercial 3 (HNC3).

Sec. 122-866. Intent, of the Land Development Regulations states:

“Consistent with the Comprehensive Plan, development in the District shall be directed toward maintaining and/or revitalizing existing housing structures, preventing displacement of residents.”

Single Family dwellings are permitted by the Code as-of –right.

The application has been deemed in compliance with the Land Development Regulations as evidenced by issuance of a HARC Certificate of Appropriateness and approval of the building permit application that is retained by the City of Key West Building Department, awaiting issuance.

Matching funds and description of fund raising: Applicant will match up to \$100,000 of CRTF funds with Applicant's own funds, currently on deposit in the Trust Account of Hugh J. Morgan. Applicant raised these funds by land sale to the Key West Housing Authority.

Project schedule: All approvals required for the project have been secured, including HARC approval (H08.02.28.245) and City of Key West Building permit approval. Construction will proceed within 90 days following issuance of the building permit, conditioned on applicant's obtaining the CRTF funding needed to supplement applicant's available funds, and will be completed during 2014.

Project budget: Construction cost is estimated at \$170,000 , exclusive of appliances and landscaping. See detailed project budget as provided by General Contractor John Castro.

Greenhouse gas reduction plan: As depicted on the approved construction plans prepared by Bender & Associates (copy attached), the project will reduce energy and water consumption by replacing existing doors and windows with new penetrations (incl. weatherstripping), replacing existing noninsulated roof with metal roof insulated between rafters, installing polyisocyanurate rigid insulation between floor joists, installing water-saving bathroom fixtures [see Plumbing Fixture Schedule on sheet A8: Ecoefficient showerheads (20% water reduction)and low-flow aerator lavatories] and energy-efficient appliances [see Appliance Schedule on sheet A3: Energy Star Rated kitchen and laundry fixtures], and reducing reliance on air-conditioning by installing 6 ceiling fans.

Maintenance plan: This will be an owner-occupied structure, maintained by the occupants. Maintenance of the premises is governed by Paragraph 7.5 of the Key West Housing Authority Land Lease (excerpt attached), which is recorded in Monroe County Official Records Book 2577, page 2345.

The Community Redevelopment Act was created to assist communities and local governments in eliminating and preventing slum and/or blighted areas that are detrimental to the health, safety and moral welfare of state residents. In 1992, the City of Key West determined that blighted conditions existed in the Bahama Village neighborhood. The City designated Bahama Village as a Community Redevelopment Area and created a Community Redevelopment Agency to oversee the process of redevelopment. In 1998, the City adopted the Bahama Village Redevelopment Plan, subsequently amended and restated in 2009, based on an updated Finding of Necessity Review. The home is depicted in a photograph as "Deteriorated House" in Section A, page A-3 of the Updated Finding of Necessity Review of the Bahama Village Subarea. Blighted area conditions included, but were not limited to, the following findings:

"Deterioration of housing and other structures. A substantial number of functionally and physically deteriorating structures were found to exist, and these structures are dispersed throughout both subareas.

Unsanitary conditions. Unsanitary conditions included accumulations of trash, debris, abandoned white goods, junk cars and trucks found in yards and open lots that pose a public health threat.

Deterioration of site and other improvements. The area includes vacant land which in some cases has been partially redeveloped but construction appears stalled or abandoned.

Faulty lot layout in relation to size, adequacy, accessibility, or usefulness. The subdivision of land based on the historic pattern of development has resulted in multiple small lots with constrained size and accessibility.

Diversity of ownership."

The findings of the updated study were intended to provide a "factual approach to statutorily defined blight. "

In 2008, the now defunct BCCLT made application to the Historic Architectural Review Commission (HARC) and received approval for renovation of the contributing historic structure located at 213 Petronia Street. The structure is owned by members of the Edwards family, multi-generational residents of Bahama Village. The land is owned by The City of Key West Housing Authority, with a 99 year lease agreement in place, expiring in 2111. Renovation plans were stalled for lack of funding. In February of 2013, the HARC application was updated by Bender & Associates Architects, reflecting the change in land ownership from the defunct BCCLT to the City of Key West Housing Authority, and was Staff approved. This home has been vacant since 2007, its family displaced.

SECTION 4.04. of the 11.19.09 draft CRA update describes the Bahama Village redevelopment objectives and strategies for addressing objectives.

The HARC approved application for the proposed renovation of 213 Petronia meets the spirit and intent of the vision for Bahama Village through the refurbishment of a newly sustainable, energy efficient affordable dwelling unit within the envelope of a historically significant structure that begs to welcome its family home.

4.04

(A) Refurbishment of this home recognizes the historical, architectural and cultural character of the community fabric, through renovation, and revitalization of "in limbo" housing stock. A photograph of the blighted home is included in the 2009 updated Finding of Necessity Review.

(3) No large scale development or redevelopment is contemplated.

(B) Pedestrian and Open View Corridors will be enhanced by visual improvements to the structure, in addition to enhanced landscaping.

(2)(C) The project serves to advance housing stocks by reinvestment and refurbishment of existing, currently unusable housing that will be retained by a 99 year lease as affordable or workforce housing, empowering homeownership for a family that has lived Bahama Village for generations.

(1) The proposal does not result in the net reduction of affordable or workforce housing.

(2) Through partnership with the City of Key West Housing Authority and a 99 year lease agreement, the applicant has been able to retain ownership of the existing structure while raising the funds for the proposed structural improvements, eliminating speculative investments.

(3) The application for renovation prepared by Bender & Associates demonstrated compliance with HARC guidelines and was granted a Certificate of Appropriateness in 2008. In February 2013, Staff approved an updated Certificate of Appropriateness that reflects corrected ownership data; the land is now owned by the Key West City Housing Authority with a 99 year lease in place, and the structure remains in the ownership of the Edwards family.

(D) (1) The application has been deemed in compliance with the Land Development Regulations as evidenced by issuance of a HARC Certificate of Appropriateness and approval of the building permit application that is retained by the City of Key West Building Department, awaiting issuance. The historic pattern of development has not been altered by this application and the renovated home will serve to encourage continued support of the residential community fabric.

Authorization Form

Please complete this form if someone other than the owner is representing the property owner in this matter.

I, Yvonne Edwards _____ authorize

Please Print Name(s) of Owner(s)

Hugh J. Morgan and Donna Basold _____

Please Print Name of Representative

to be the representative for this application and act on my/our behalf before the City.

Yvonne Edwards _____

Signature of Owner

Signature of Joint/Co-owner if applicable

Subscribed and sworn to (or affirmed) before me on Oct. 3, 2013 (date) by

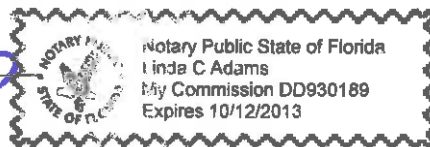
Yvonne Edwards _____

Please Print Name of Affiant

He/She is personally known to me or has

presented _____ as identification.

Linda C Adams
Notary's Signature and Seal



Name of Acknowledger printed or stamped

Title or Rank

Commission Number (if any)

Verification Form

This form should be completed by the applicant. Where appropriate, please indicate whether applicant is the owner or a legal representative. If a legal representative, please have the owner(s) complete the following page, "Authorization Form."

I, Yvonne Edwards, being duly sworn, depose and say
Name(s) of Applicant(s)

that: I am (check one) the Owner Owner's Legal Representative
for the property identified as the subject matter of this application:

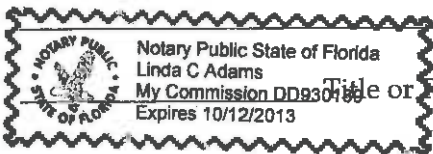
213 Petronia St. Key West
Street Address and Commonly Used Name (if any)

All of the answers to the above questions, drawings, plans and any other attached data which make up this application, are true and correct to the best of my knowledge and belief and that if not true or correct, are grounds for revocation of any action reliant on said information.

Yvonne Edwards _____
Signature of Owner/Legal Representative Signature of Joint/Co-owner

Subscribed and sworn to (or affirmed) before me on Oct. 3, 2013 (date) by
YVONNE Edwards (name). He/She is personally known to me or has
presented _____ as identification.

Linda C. Adams
Notary's Signature and Seal



Name of Acknowledger typed, printed or stamped
Title or Rank _____ Commission Number (if any)

Scott P. Russell, CMAA
Property Appraiser
Monroe County, Florida

Key West (305) 292-3420
Marathon (305) 289-2550
Plantation Key (305) 852-7130

Property Record Card -

Maps are now launching the new map application version.

Alternate Key: 9101071 Parcel ID: 00013680-000201

Ownership Details

Mailing Address:

EDWARDS EUGENE AND FRANCINA
213 PETRONIA ST
KEY WEST, FL 33040-7325

All Owners:

EDWARDS EUGENE AND FRANCINA, EDWARDS YVONNE T/C

Property Details

PC Code: 01 - SINGLE FAMILY

Millage Group: 11KW

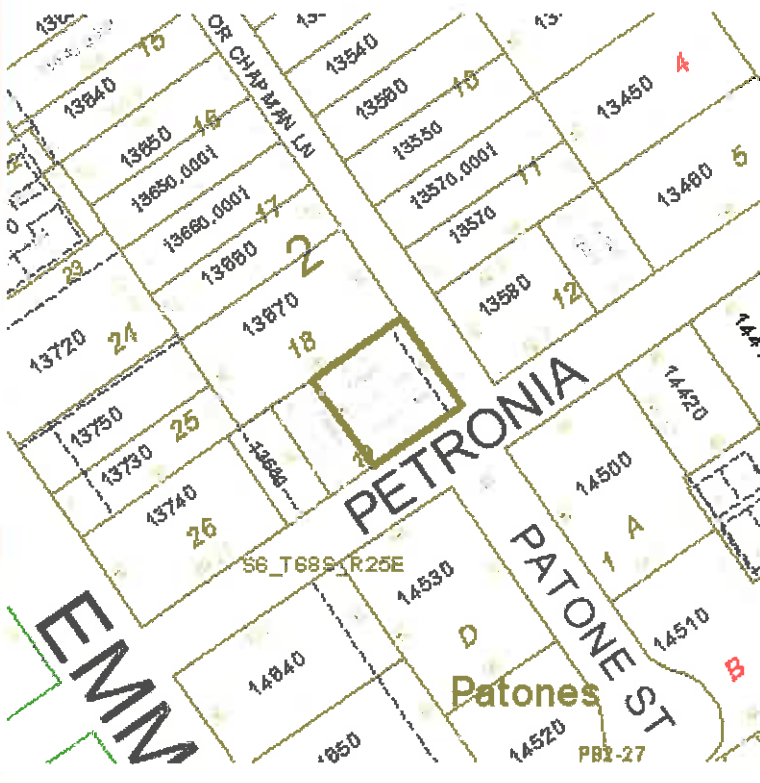
Affordable Housing: No

Section-Township-Range: 06-68-25

Property Location: 213 PETRONIA ST KEY WEST

Legal Description: BLDG ONLY AT 213 PETRONIA OR2577-2345/77LEASE OR2577-2378/81

Click Map Image to open interactive viewer





Land Details

Land Use Code	Frontage	Depth	Land Area
00AH - AFFORDABLE HOUSING			1.00 LT

Appraiser Notes

PER OR2577-2345 GROUND LEASE BETWEEN THE HOUSING AUTHORITY OF THE CITY OF KEY WEST FLORIDA AND EUGENE AND FRANCINA EDWARDS AND YVONNE EDWARDS FOR 213 PETRONIA ST, THIS PARCEL IS FOR BLDG ONLY, LAND BEING ASSESSED UNDER RE00013680-000200; AK9101070

Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2013	0	0	1	1	1	0	1

Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

Sale Date	Official Records Book/Page	Price	Instrument	Qualification
6/18/2012	2577 / 2378	42,800	QC	17

Property Record Card -

Maps are now launching the new map application version.

Alternate Key: 9101070 Parcel ID: 00013680-000200

Ownership Details

Mailing Address:

HOUSING AUTHORITY OF THE CITY OF KEY WEST
1400 KENNEDY DR
KEY WEST, FL 33040-4055

Property Details

PC Code: 89 - MUNICIPAL OTHER THAN (PC/LIST)

Millage Group: 11KW

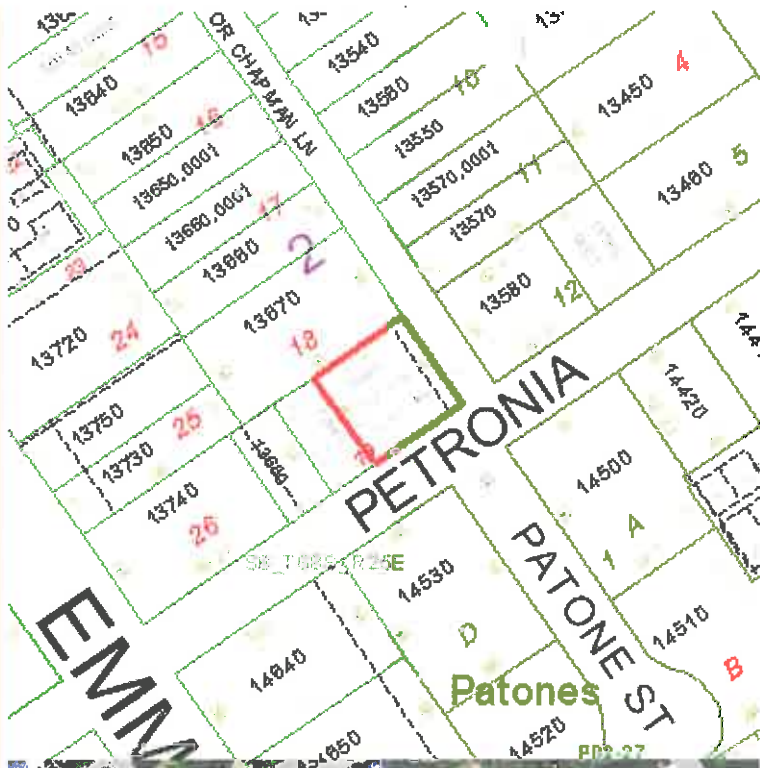
Affordable Housing: Yes

Section-Township-Range: 06-68-25

Property Location: 213 PETRONIA ST KEY WEST

Legal Description: KW LT 19 AND PT LT 26 SQR 2 TR 3 G24-247 OR1418-519ORD OR1412-618ORD OR1443-207ORD OR1437-1226PET OR1443-196ORD OR1443-215ORD OR1418-540ORD OR1412-1076ORD OR1412-630ORD OR1412-604ORD OR1409-308/16 OR1413-1397/99 OR1413-1400/02 OR1413-1407/09 OR1535-2388D/C OR1549-1545/49ORD OR1550-1454/62AGR OR1550-1463/65 OR1597-503/07 OR1650-1932/33ORD OR1880-1862/63 OR2049-607/09ORD OR2286-1165/66 OR2286-1167/68 OR2286-1170/73 OR2286-1174/77 OR2559-1047/49 OR2559-1050 OR2577-2345/77LEASE

Click Map Image to open interactive viewer



Exemptions

Exemption	Amount
15 - MUNICIPAL LANDS	110,616.00

Land Details

Land Use Code	Frontage	Depth	Land Area
010D - RESIDENTIAL DRY			2,514.00 SF

Appraiser Notes

PER OR2577-2345 GROUND LEASE (99 YEARS, JUNE 18, 2012 THRU JUNE 17, 2111) BETWEEN THE HOUSING AUTHORITY OF THE CITY OF KEY WEST FLORIDA AND EUGENE AND FRANCINA EDWARDS AND YVONNE EDWARDS FOR 213 PETRONIA ST, THIS PARCEL IS FOR LAND ONLY, BLDG BEING ASSESSED UNDER RE00013680-000201 GROUND LEASE FEE INCLUDES A \$50 MONTHLY LAND USE CHARGE, SEE SECTION 5 (5.1) OF GROUND LEASE FOR FURTHER DETAIL.

PER OR2577-2378 GROUND LEASE FOR 213 PETRONIA, 2514 SQ FT HAS BEEN TRANSFERRED FROM RE00013680-000000 AK1014061, DONE FOR THE 2013 TAX ROLL BLDG ONLY BEING ASSESSED UNDER RE00013680-000201.

Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2013	0	0	110,616	110,616	110,616	110,616	0

Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

There are no sales to display for this parcel.

This page has been visited 27.032 times.

Monroe County Monroe County Property Appraiser
Scott P. Russell, CFA
P O. Box 1176 Key West, FL 33041-1176

Prepared by and return to:
JOHN M. SPOTTSWOOD, JR.
Attorney at Law
Spottswood, Spottswood & Spottswood
500 Fleming Street
Key West, FL 33040
305-294-9556
File Number: 12-089-EJ

[Space Above This Line For Recording Data]

Quit Claim Deed

This Quit Claim Deed made this 18th day of June, 2012 between The Housing Authority of the City of Key West, Florida, a public body, corporate and politic created and organized pursuant to and in accordance with the provisions of Housing Authorities Law, codified as Chapter 421, Florida Statutes, as amended whose post office address is 1400 Kennedy Drive, Key West, FL 33040, grantor, and Eugene Edwards and Francis Edwards, husband and wife as to an undivided 50% interest and Yvonne Edwards, a single woman as to an undivided 50% interest, as tenants in common whose post office address is 213 Petronia Street, Key West, FL 33040, grantee:

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable consideration to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, does hereby remise, release, and quitclaim to the said grantee, and grantee's heirs and assigns forever, all the right, title, interest, claim and demand which grantor has in and to the following situate, lying and being in Monroe County, Florida to-wit:

All buildings and improvements as more particularly described on Exhibit "A"

Subject to restrictions set forth in the attached Exhibit "B"

To Have and to Hold, the same together with all and singular the appurtenances thereto belonging or in anywise appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever of grantors, either in law or equity, for the use, benefit and profit of the said grantee forever.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

The Housing Authority of the City of Key West, Florida, a public body, corporate and politic created and organized pursuant to and in accordance with the provisions of Housing Authorities Law, codified as Chapter 421, Florida Statutes, as amended

By: J. Manuel Castillo, Sr., Executive Director

Christina A. Cater
Witness Name: CHRISTINA A. CATER

Francis Edwards
Witness Name: FRANCIS EDWARDS

State of Florida
County of Monroe

The foregoing instrument was acknowledged before me this 18th day of June 2012 by J. Manuel Castillo, Sr., Executive Director of The Housing Authority of the City of Key West, Florida, a public body, corporate and politic created and organized pursuant to and in accordance with the provisions of Housing Authorities Law, codified as Chapter 421, Florida Statutes, as amended. They are personally known or have produced a driver's license as identification.

[Notary Seal]

NOTARY PUBLIC-STATE OF FLORIDA
Giselda Liotta-Brogli
Commission #DD918292
Expires: AUG. 19, 2013
BONDED THROUGH ATLANTIC BONDING CO., INC.



Notary Public

Printed Name: Giselda Liotta-Brogli

My Commission Expires: Aug, 19, 2013

REECE & WHITE LAND SURVEYING, INC.

P.O. BOX 482123, BIG PINE KEY, FLORIDA 33049
PHONE (305) 872-1348
FACSIMILE (305) 872-5822
EMAIL reecep@acl.com

**DESCRIPTION FOR 213 PETRONIA STREET
NEWLY AUTHORED BY THE UNDERSIGNED ON February 28, 2012:**

A PARCEL OF LAND ON THE ISLAND OF KEY WEST AND BEING A PART OF LOT 19 ACCORDING TO T.J. ASHE'S PLAT AS RECORDED IN DEED BOOK 7th AT PAGE 77 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCE AT THE INTERSECTION OF THE NELY RIGHT OF WAY LINE OF EMMA STREET AND THE NWLY RIGHT OF WAY LINE OF PETRONIA STREET AND RUN THENCE IN A NELY DIRECTION ALONG THE SAID NWLY RIGHT OF WAY OF SAID PETRONIA STREET A DISTANCE OF 89.27 FEET TO THE SOUTHWEST CORNER OF A PARCEL OF LAND DESCRIBED IN OFFICIAL RECORD BOOK 1550, PAGE 1463, SAID POINT ALSO BEING THE SOUTHEAST CORNER OF A PARCEL LAND DESCRIBED IN OFFICIAL RECORD BOOK 1150, PAGE 1466 BOTH OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA;

THENCE CONTINUE ALONG THE SAID NWLY RIGHT OF WAY LINE OF SAID PETRONIA STREET A DISTANCE OF 52.48 FEET TO THE POINT OF BEGINNING OF THE PARCEL OF LAND HEREINAFTER INTENDED TO BE DESCRIBED;

THENCE CONTINUE ALONG THE SAID NWLY RIGHT OF WAY LINE OF SAID PETRONIA STREET A DISTANCE OF 46.75 FEET TO THE INTERSECTION OF THE SWLY RIGHT OF WAY LINE OF CHAPMAN LANE AKA ELLEN STREET ACCORDING T.J. ASHE'S PLAT AFORESAID;

THENCE AT RIGHT ANGLES IN A NWLY DIRECTION AND ALONG THE SAID SWLY RIGHT OF WAY LINE OF SAID CHAPMAN LANE A DISTANCE OF 54.00 FEET;

THENCE AT RIGHT ANGLES IN A SWLY DIRECTION A DISTANCE OF 47.36 FEET;

THENCE AT AN ANGLE DEFLECTED 91°2'29" TO THE LEFT AND IN A SELY DIRECTION A DISTANCE OF 54.02 FEET BACK TO THE POINT OF BEGINNING.

CONTAINING 2514.1 SQUARE FEET, MORE OR LESS.

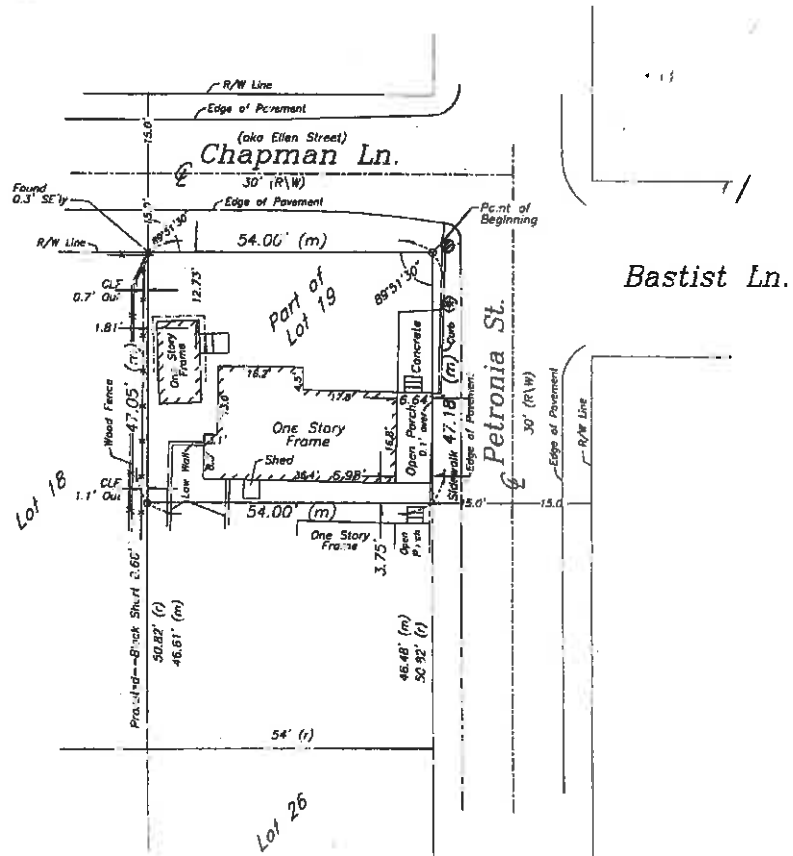


Joe Robert White
Professional Surveyor and Mapper No. 6688

Professional Surveyor and Mapper, LB 7846
Robert E. Reese, FSM 8632, State of Florida
Joe Robert White, LS 6688, State of Florida

213 Part map

Boundary Survey Map of Part of Lot 19, Square 2, Tract 3, Island of Key West, Florida



LEGEND

- ⊙ Found 2" Iron Pipe (Fence Post)
- Set #5 rebar w/cap (629B)
- Found 1/2" Iron Rod (PYS)
- ▲ Found Nail & Disc (523+)
- △ Set Nail & Disc (629B)
- (M) Measured
- (R) Record
- (M/R) Measured & Record
- C.B.S. Concrete Block Structure
- R/W Right of Way
- CLF Chain Link Fence
- ⊕ Centerline
- ⊙ Wood Utility Pole
- ⊗ Concrete Utility Pole
- P- Overhead Power Lines
- ⊙ Light Post

NOTE:
This Survey Map is not full and complete without the attached Survey Report.

Sheet One of Two Sheets

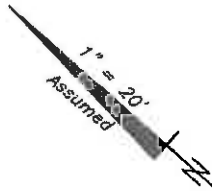
J. LYNN O'FLYNN, Inc.



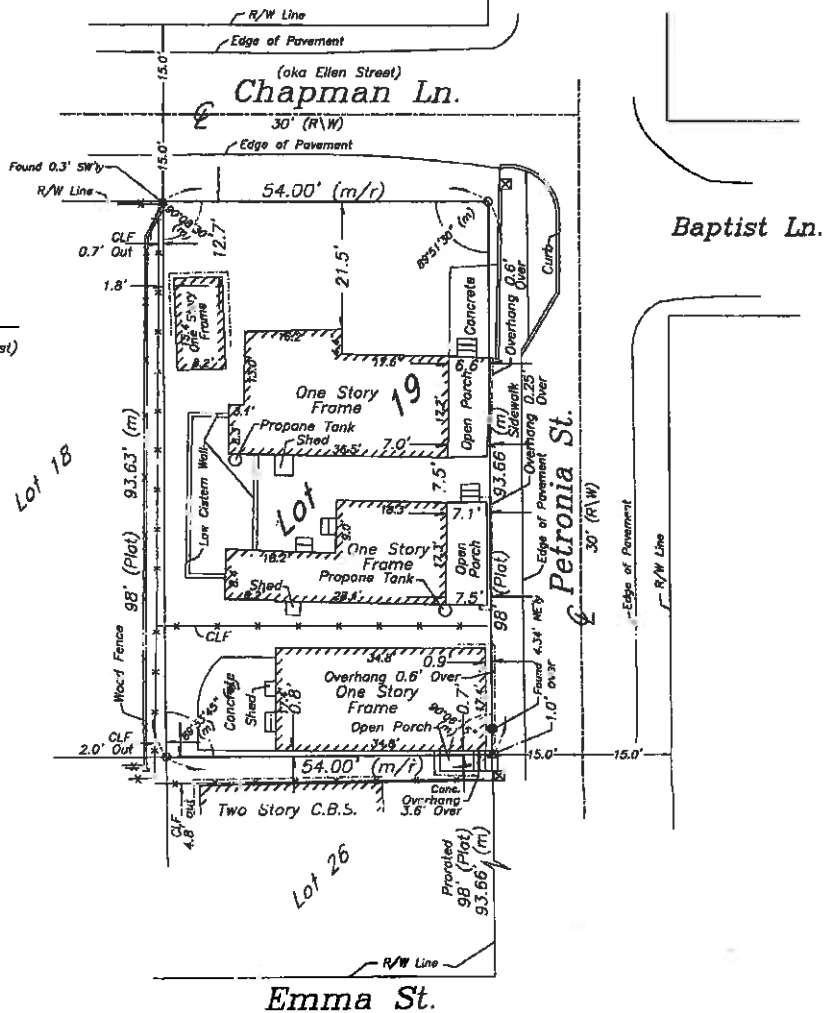
Professional Surveyor & Mapper
PSM #0298

3430 Duck Ave., Key West, FL 33040
(305) 286-7432 FAX (305) 286-2244

Boundary Survey Map of Lot 19, Square 2,
Tract 3, Island of Key West, Florida



- LEGEND**
- ⊙ Found 2" Iron Pipe (Fence Post)
 - Set #5 rebar w/cap (6298)
 - Found 1/2" Iron Rod (PTS)
 - ▲ Found Nail & Disc (5234)
 - △ Set Nail & Disc (6298)
 - (M) Measured
 - (R) Record
 - (M/R) Measured & Record
 - C.B.S. Concrete Block Structure
 - R/W Right of Way
 - CLF Chain Link Fence
 - ⊕ Centerline
 - ⊙ Wood Utility Pole
 - ⊕ Concrete Utility Pole
 - P- Overhead Power Lines
 - ⊙ Light Post



NOTES:

1. The legal description shown hereon was furnished by the client or their agent.
2. Underground foundations and utilities were not located.
3. All angles are 90° (Measured & Record) unless otherwise noted.
4. Street address: 209, 211, 213 Petronia Street, Key West, FL.
5. This survey is not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
6. Lands shown hereon were not abstracted for rights-of-way, easements, ownership, or other instruments of record.
7. North Arrow is assumed and based on the legal description.
8. Date of field work: February 27, 2012.
9. Ownership of fences is undeterminable, unless otherwise noted.

BOUNDARY SURVEY OF: On the Island of Key West and is Lot Nineteen (19) in Square Two (2) of Tract Three (3) according to T.J. Ashe's Plat, recorded in Monroe County, Florida Public Records.

BEGINNING at the corner of Petronia Street and Ellen Streets (said Ellen Street being also known as Chapman Lane) and having a frontage on Petronia Street of Ninety-eight (98) feet and a frontage on Ellen or Chapman lane of Fifty-Four (54) feet

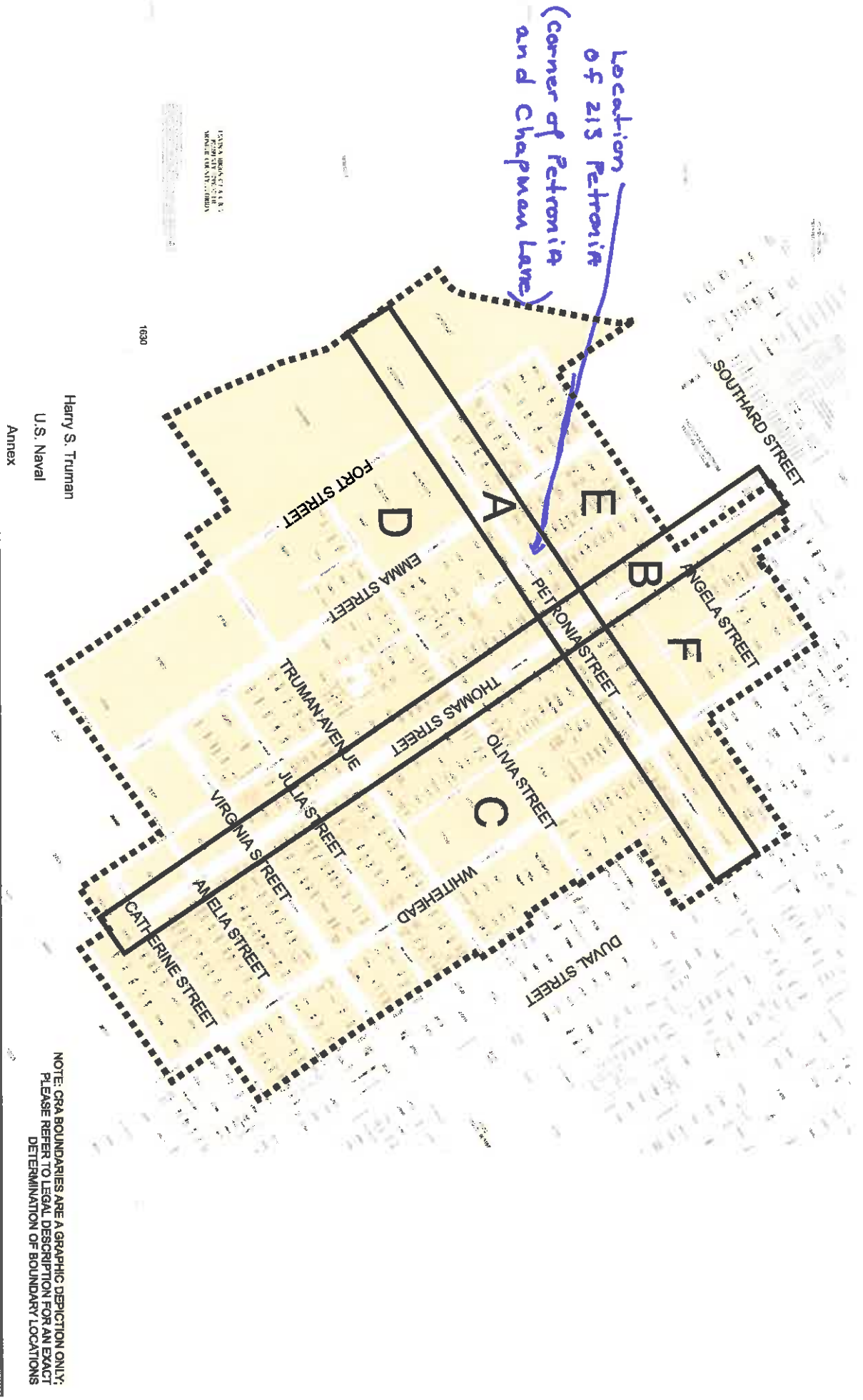
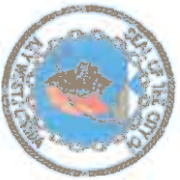
BOUNDARY SURVEY FOR: Housing Authority of the City of Key West;
Chicago Title Insurance Company;
Spottswood, Spottswood & Spottswood;

J. LYNN O'FLYNN, INC.

J. Lynn O'Flynn, PSM
Florida Reg. #6298
February 27, 2012

THIS SURVEY
IS NOT
ASSIGNABLE

J. LYNN O'FLYNN, Inc.
Professional Surveyor & Mapper
PSM #6298
3430 Duck Ave., Key West, FL 33040
(305) 298-7422 FAX (305) 298-2244



LEGEND
 Approximate Boundaries of Subarea

Harry S. Truman
 U.S. Naval
 Annex

Figure A
 Updated Finding of Necessity Review
 Sector Map
 Bahama Village Sub-Area
 City of Key West
 Community Redevelopment Area

7.3 *Construction and Alteration.*

Any construction in connection with an existing or new Improvement is subject to the following conditions: (1) all costs shall be borne and paid for by the Lessee; (2) all construction shall be performed in a workmanlike manner and shall comply with all applicable laws, ordinances and regulations, including, without limitation, the requirements of local and state public health authorities; (3) all construction must be consistent with the permitted uses set forth in Section 4; (4) the exterior dimensions (including height) of such Improvements shall not be increased or expanded and new Improvements shall not be constructed without the prior written consent of Land Owner, whose consent shall not be unreasonably withheld; and (5) Lessee shall furnish to Land Owner a copy of any plans therefore and all building permits for such construction prior to commencing construction.

7.4 *Prohibition of Liens.*

No lien for services, labor or materials resulting from Lessee's capital improvements shall attach to the Land Owner's title to the Leased Premises or to Land Owner's interest in the Leased Premises or to any other property owned by Land Owner. Lessee shall not suffer or permit any vendor's, mechanic's, laborer's, or materialman's statutory or similar lien to be filed against the Leased Premises, the Improvements, or any interest of Land Owner or Lessee which remains more than sixty (60) days after filing thereof, and Lessee shall cause the same to be discharged of record by payment, deposit, bond, order of a court of competent jurisdiction or as otherwise permitted by law. If Lessee shall fail to cause such lien to be discharged within the period aforesaid, then, in addition to any other right or remedy of Land Owner, Land Owner may, but shall not be obligated to, discharge the same by paying the amount in question. Lessee in good faith and at Lessee's expense may contest the validity of any such asserted lien, provided Lessee has furnished a bond in an amount set by statute or otherwise sufficient to release the Leased Premises from such lien. Any amounts paid by Land Owner hereunder in respect of such liens shall be deemed to be an additional Ground Lease Fee payable by Lessee upon demand.

7.5 *Maintenance.*

Lessee shall, at Lessee's sole expense, maintain the Leased Premises and all Improvements (which specifically includes maintenance and repair of sewer, water, electrical, telephone, cable, gas, and any other services and utilities, sidewalks, curbs, driveways, landscaping, vegetation, sprinkler systems, and any and all structures and other improvements on, under or above the surface of the Leased Premises) in good, safe, habitable and workable condition and in accordance with all applicable laws, rules, ordinances, orders and regulations of all governmental agencies and entities with jurisdiction and all insurance companies insuring all or any part of the Leased Premises or Improvements. Land Owner shall not be required to furnish any services or facilities, including but not limited to heat, electricity, air conditioning, water, sewer, telephone, cable, gas, or other service or facility, or to make any repairs to the Leased Premises or Improvements, and Lessee hereby assumes the full and sole responsibility for furnishing all services or facilities.

7.6 *Triple Net.*

Notwithstanding anything to the contrary herein it is intended between the parties that the rent payable to Lessor under this lease shall be triple net to the Lessor.

SECTION 8. Intentionally Deleted

SECTION 9. Liability, Insurance, Damage and Destruction, Eminent Domain.

9.1 Lessee's Liability.

From and after the date hereof, Lessee assumes sole responsibility and liability to any and all persons and authorities related to its possession, occupancy and use of the Leased Premises.

G. Project Budget

Castro Construction

of the Florida Keys, Inc.

2301 Seidenberg Avenue
Key West, FL 33040
License #RB-0066842

Cell: 305 522-5581
Email: jcastro3@aol.com

Date: October 4, 2013
Location: 213 Petronia

Renovate house:

Demo- assist-	2,500.00
Piers-	25,000.00
Floor framing, and deck-	8,500.00
Steps, roof framing, porches, interior and exterior walls...	31,500.00
Windows, doors, trim, and shutters-	28,000.00
Windows-	11,600.00
Roofing-	13,000.00
Drywall-	13,500.00
HVAC-.....	5000.00
Plumbing-	10,000.00
Electrical-	16,500.00
Miscellaneous -dumpster, permits-.....	3,400.00

total \$168,500.00

I. Green Features

Account : 1050535 12 VACANT 213 PETRONIA ST KEY WEST

Address 1 : 213 PETRONIA ST

Cycle : 1 Ten/Own : T 2 :
 Route : 5 City/State : KEY WEST FL
 Walk : 1100 Zip Code : 3304C

ELECTRIC USAGE

Read Date	Days	BillType	Usage	Avg/Day	Amount Billed
11/20/2007	5	Final	14.00	2.800	38.32
07/24/2007	28	Final	794.00	28.357	98.05
06/26/2007	32	Regular	901.00	28.156	111.23
05/25/2007	29	Regular	804.00	27.724	99.28
04/26/2007	30	Regular	634.00	21.133	78.35
03/27/2007	28	Regular	578.00	20.643	71.45
02/27/2007	29	Regular	684.00	23.586	84.50
01/29/2007	32	Regular	780.00	24.375	96.33
12/28/2006	30	Regular	796.00	26.533	106.90
11/28/2006	29	Regular	573.00	19.759	78.75
10/30/2006	31	Regular	863.00	27.839	116.78
09/29/2006	29	Regular	896.00	30.897	120.99
08/31/2006	31	Regular	933.00	30.097	125.67
07/31/2006	32	Regular	923.00	28.844	124.39
06/29/2006	29	Regular	788.00	27.172	115.17
05/31/2006	30	Regular	629.00	20.967	93.18
05/01/2006	32	Regular	754.00	23.563	114.84
03/30/2006	30	Regular	588.00	19.600	92.22
02/28/2006	32	Regular	684.00	21.375	98.28
01/27/2006	30	Regular	550.00	18.333	81.68
12/28/2005	30	Regular	697.00	23.233	101.38
11/28/2005	31	Regular	763.00	24.613	104.67
10/28/2005	29	Regular	912.00	31.448	122.50
09/29/2005	31	Regular	1126.00	36.323	156.92
08/29/2005	32	Regular	1175.00	36.719	141.96
07/28/2005	30	Regular	1145.00	38.167	140.10
06/28/2005	28	Regular	1026.00	36.643	125.84
05/31/2005	29	Regular	946.00	32.621	115.80
05/02/2005	32	Regular	989.00	30.906	114.78
03/31/2005	30	Regular	827.00	27.567	90.84
03/01/2005	29	Regular	686.00	23.655	
01/31/2005	33	Regular	891.00	27.000	
12/29/2004	29	Regular	826.00	28.483	

11/30/2004	32	Regular	976.00	30.500
10/29/2004	29	Regular	1026.00	35.379
09/30/2004	30	Regular	1229.00	40.967
08/31/2004	29	Regular	1243.00	42.862
08/02/2004	33	Regular	1481.00	44.879
06/30/2004	29	Regular	1252.00	43.172
06/01/2004	32	Regular	1058.00	33.063
04/30/2004	30	Regular	869.00	28.967
03/31/2004	29	Regular	734.00	25.310
03/02/2004	33	Regular	824.00	24.970
01/29/2004	27	Regular	595.00	22.037
01/02/2004	31	Regular	681.00	21.968
12/02/2003	33	Regular	1032.00	31.273
10/30/2003	30	Regular	1050.00	35.000
09/30/2003	32	Regular	1159.00	36.219
08/29/2003	29	Regular	1049.00	36.172
07/31/2003	31	Regular	1164.00	37.548
06/30/2003	31	Regular	921.00	29.710
05/30/2003	30	Regular	646.00	21.533

KEYS ENERGY SERVICES

owengr

CUSTOMER DETAILED LISTING

10/03/2013 14:51:23 Pa

04/30/2003	30	Regular	443.00	14.767
03/31/2003	27	Regular	396.00	14.667
03/04/2003	33	Regular	572.00	17.333
01/30/2003	27	Regular	475.00	17.593
01/03/2003	32	Regular	326.00	10.188
12/02/2002	33	Regular	381.00	11.545
10/30/2002	29	Regular	401.00	13.828
10/01/2002	32	Regular	487.00	15.219
08/30/2002	29	Regular	442.00	15.241
08/01/2002	30	Regular	438.00	14.600
07/02/2002	33	Regular	378.00	11.455
05/30/2002	30	Regular	340.00	11.333
04/30/2002	28	Regular	302.00	10.786
04/02/2002	31	Regular	341.00	11.000
03/02/2002	30	Regular	318.00	10.600
01/31/2002	28	Regular	418.00	14.929
01/03/2002	34	Regular	448.00	13.176
11/30/2001	30	Regular	463.00	15.433
10/31/2001	29	Regular	601.00	20.724
10/02/2001	32	Regular	625.00	19.531
08/31/2001	31	Regular	722.00	23.290
07/31/2001	32	Regular	494.00	15.438
06/29/2001	29	Regular	448.00	15.448
05/31/2001	31	Regular	433.00	13.968
04/30/2001	32	Regular	427.00	13.344
03/29/2001	28	Regular	437.00	15.607

03/01/2001	29	Regular	441.00	15.207
01/31/2001	34	Regular	922.00	27.118
12/28/2000	29	Regular	381.00	13.138
11/29/2000	30	Regular	401.00	13.367
10/30/2000	31	Regular	442.00	14.258
09/29/2000	29	Regular	463.00	15.966
08/31/2000	29	Regular	488.00	16.828
08/02/2000	30	Regular	610.00	20.333
07/03/2000	32	Regular	668.00	20.875
06/01/2000	31	Regular	640.00	20.645
05/01/2000	32	Regular	632.00	19.750
03/30/2000	29	Regular	571.00	19.690
03/01/2000	30	Regular	912.00	30.400
01/31/2000	33	Regular	913.00	27.667
12/29/1999	30	Regular	725.00	24.167
11/29/1999	31	Regular	796.00	25.677
10/29/1999	29	Regular	889.00	30.655
09/30/1999	30	Regular	646.00	21.533

User Date: 10/3/2013

Account Additional History List

User: afernandez

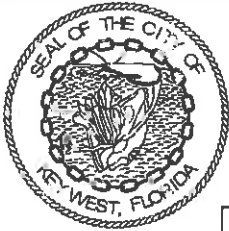
Location ID: 005520
 Bill to Customer: 506201

MR Date Bill Date	Equipment ID Due Date	Reading Document Number	Type Statem.Doc.No	Days Statement	Consumption Amt. Cust. Amount	per Day Billed(\$)	\$/Day
10/1/2013	06033529	128.00	Actual	28	0.00	0.00	
10/4/2013	10/24/2013	BILL00003945690	3533613		\$0.00	\$0.00	\$13.43 \$0.46
10/1/2013	06033529	128.00	Actual	28	0.00	0.00	
10/4/2013	10/24/2013	BILL00003945690	3533613		\$0.00	\$0.00	\$23.23 \$0.83
9/3/2013	06033529	128.00	Actual	33	0.00	0.00	
9/6/2013	9/26/2013	BILL00003896412	3485215		\$0.00	\$0.00	\$13.43 \$0.41
9/3/2013	06033529	128.00	Actual	33	0.00	0.00	
9/6/2013	9/26/2013	BILL00003896412	3485215		\$0.00	\$0.00	\$23.23 \$0.70
8/1/2013	06033529	128.00	Actual	31	0.00	0.00	
8/6/2013	8/26/2013	BILL00003847175	3435405		\$0.00	\$0.00	\$13.43 \$0.43
8/1/2013	06033529	129.00	Actual	31	0.00	0.00	
8/6/2013	8/26/2013	BILL00003847175	3435405		\$0.00	\$0.00	\$23.23 \$0.75
7/1/2013	06033529	128.00	Actual	28	0.00	0.00	
7/5/2013	7/25/2013	BILL00003794944	3386012		\$0.00	\$0.00	\$13.43 \$0.48
7/1/2013	06033529	128.00	Actual	28	0.00	0.00	
7/5/2013	7/25/2013	BILL00003794944	3386012		\$0.00	\$0.00	\$23.23 \$0.83
7/1/2013	06033529	128.00	Actual	1	0.00	0.00	
7/5/2013	7/25/2013	BILL00003794944	3386012		\$0.00	\$0.00	\$13.43 \$0.46
7/1/2013	06033529	128.00	Actual	1	0.00	0.00	
7/5/2013	7/25/2013	BILL00003794944	3386012		\$0.00	\$0.00	\$23.23 \$0.80
6/5/2013	06033529	128.00	Actual	33	0.00	0.00	
6/6/2013	6/26/2013	BILL00003734895	3337402		\$0.00	\$0.00	\$13.43 \$0.41
6/3/2013	06033529	128.00	Actual	33	0.00	0.00	
6/6/2013	6/26/2013	BILL00003734895	3337402		\$0.00	\$0.00	\$23.23 \$0.70
5/1/2013	06033529	128.00	Actual	29	0.00	0.00	
5/6/2013	5/28/2013	BILL00003687518	3290021		\$0.00	\$0.00	\$13.43 \$0.46
5/1/2013	06033529	128.00	Actual	29	0.00	0.00	
5/6/2013	5/28/2013	BILL00003687518	3290021		\$0.00	\$0.00	\$23.23 \$0.80
4/2/2013	06033529	129.00	Actual	32	0.00	0.00	
4/5/2013	4/25/2013	BILL00003641005	3242631		\$0.00	\$0.00	\$13.27 \$0.41
4/2/2013	06033529	128.00	Actual	32	0.00	0.00	
4/5/2013	4/25/2013	BILL00003641005	3242631		\$0.00	\$0.00	\$23.23 \$0.73
3/1/2013	06033529	128.00	Actual	28	0.00	0.00	
3/6/2013	3/26/2013	BILL00003590590	3191436		\$0.00	\$0.00	\$13.27 \$0.47
3/1/2013	06033529	128.00	Actual	28	0.00	0.00	
3/6/2013	3/26/2013	BILL00003590590	3191436		\$0.00	\$0.00	\$23.23 \$0.83
2/1/2013	06033529	128.00	Actual	30	0.00	0.00	
2/6/2013	2/26/2013	BILL00003542591	3142954		\$0.00	\$0.00	\$13.27 \$0.44

Account	Additional	History	Account	Additional	History	Account	Additional	History
2/1/2013	06033529	128.00	Actual	30	0.00		0.00	
2/6/2013	2/26/2013	BILL00003542591		3142954	\$0.00	\$0.00	\$23.23	\$0.77
1/2/2013	06033529	128.00	Actual	30	0.00		0.00	
1/8/2013	1/28/2013	BILL00003495435		3095001	\$0.00	\$0.00	\$13.27	\$0.44
1/2/2013	06033529	128.00	Actual	30	0.00		0.00	
1/8/2013	1/28/2013	BILL00003495435		3095001	\$0.00	\$0.00	\$23.23	\$0.77
12/3/2012	06033529	128.00	Actual	32	0.00		0.00	
12/6/2012	12/26/2012	BILL00003440956		3045398	\$0.00	\$0.00	\$13.27	\$0.41
12/3/2012	06033529	128.00	Actual	32	0.00		0.00	
12/6/2012	12/26/2012	BILL00003440956		3045398	\$0.00	\$0.00	\$23.23	\$0.73
11/1/2012	06033529	128.00	Actual	29	0.00		0.00	
11/6/2012	11/26/2012	BILL00003391479		2996800	\$0.00	\$0.00	\$13.27	\$0.46
11/1/2012	06033529	128.00	Actual	29	0.00		0.00	
11/6/2012	11/26/2012	BILL00003391479		2996800	\$0.00	\$0.00	\$23.23	\$0.30
10/3/2012	06033529	128.00	Actual	29	0.00		0.00	
10/9/2012	10/29/2012	BILL00003346527		2953921	\$0.00	\$0.00	\$13.27	\$0.46
10/3/2012	06033529	128.00	Actual	29	0.00		0.00	
10/9/2012	10/29/2012	BILL00003346527		2953921	\$0.00	\$0.00	\$23.23	\$0.80
9/4/2012	06033529	128.00	Actual	32	0.00		0.00	
9/7/2012	9/27/2012	BILL00003292891		2899804	\$0.00	\$0.00	\$13.27	\$0.41
9/4/2012	06033529	128.00	Actual	32	0.00		0.00	
9/7/2012	9/27/2012	BILL00003292891		2899804	\$0.00	\$0.00	\$0.00	\$0.00
8/3/2012	06033529	128.00	Actual	31	0.00		0.00	
8/8/2012	8/28/2012	BILL00003248113		2859364	\$0.00	\$0.00	\$13.27	\$0.43
8/3/2012	06033529	128.00	Actual	31	0.00		0.00	
8/8/2012	8/28/2012	BILL00003248113		2859364	\$0.00	\$0.00	\$0.00	\$0.00
7/3/2012	06033529	128.00	Actual	28	0.00		0.00	
7/6/2012	7/26/2012	BILL00003195109		2805080	\$0.00	\$0.00	\$13.27	\$0.47
7/3/2012	06033529	128.00	Actual	28	0.00		0.00	
7/6/2012	7/26/2012	BILL00003195109		2805080	\$0.00	\$0.00	\$0.00	\$0.00
6/5/2012	06033529	128.00	Actual	6	0.00		0.00	
6/8/2012	6/28/2012	BILL00003149257		2760236	\$0.00	\$0.00	\$2.65	\$0.44
6/5/2012	06033529	128.00	Actual	6	0.00		0.00	
6/8/2012	6/28/2012	BILL00003149257		2760236	\$0.00	\$0.00	\$0.00	\$0.00

HARC Application and Approval

PREVIOUS HARC# H08-02-28245



CITY OF KEY WEST
BUILDING DEPARTMENT
CERTIFICATE OF APPROPRIATENESS

26-113-100283

APPLICATION # _____

OWNER'S NAME: Eugene Edwards DATE: 11-5-12

OWNER'S ADDRESS: 1260 B Matthew Perry Rd. PHONE #: 305-849-0776

APPLICANT'S NAME: Bert Bender PHONE #: 305-246-1347

APPLICANT'S ADDRESS: Bender & Associates Architects

ADDRESS OF CONSTRUCTION: 213 Patronie St. # OF UNITS 1
Key West, FL

THERE WILL BE A FINAL INSPECTION REQUIRED UNDER THIS PERMIT

DETAILED DESCRIPTION OF WORK:

Renovation of existing one story beach house.
Original HARC APPLICATION attached

Chapter 837.06 F.S.-False Official Statements - Whoever knowingly makes a false statement in writing with the intent to mislead a public servant in the performance of his or her official duty shall be guilty of a misdemeanor of the second degree punishable as provided for in s. 775.082 or 775.083

Same project as approved by Commission in March 11, 2008
Feb. 24, 2013 - Received consent from Housing Authority

This application for Certificate of Appropriateness must precede applications for building permits, right of way permits, variances, and development review approvals. Applications must meet or exceed the requirements outlined by the Secretary of the Interior's Standards for Rehabilitation and **RECEIVED** Architectural Guidelines.

RECEIVED

Nov 06 11:12

Once completed, the application shall be reviewed by staff for completeness and either approved or scheduled for presentation to the Planning and Architectural Review Commission at the next available meeting. The applicant must be present at this meeting. The filing of this application does not ensure approval as submitted.

Applications that do not possess the required Submittals will be considered incomplete and will not be reviewed for approval.

Date: 11-5-2012

Applicant's Signature:

Required Submittals	
<input checked="" type="checkbox"/>	TWO SETS OF SCALED DRAWINGS OF FLOOR PLAN, SITE PLAN AND EXTERIOR ELEVATIONS (for new buildings and additions)
<input type="checkbox"/>	THREE REMOVAL PERMIT (if applicable)
<input checked="" type="checkbox"/>	PHOTOGRAPHS OF EXISTING BUILDING (repairs, rehabs, or expansions)
<input checked="" type="checkbox"/>	PHOTOGRAPHS OF ADJACENT BUILDINGS (new buildings and additions)
<input type="checkbox"/>	ILLUSTRATIONS OF MANUFACTURED PRODUCTS TO BE USED SUCH AS SHUTTERS, DOORS, WINDOWS, PAINT COLOR CHIPS, AND AWNING FABRIC SAMPLES

Staff Use Only

Date: February 27, 2013

Staff Approval:

Fee Due: \$ _____

HISTORIC ARCHITECTURAL REVIEW APPLICATION



**CITY OF KEY WEST
BUILDING DEPARTMENT
CERTIFICATE of APPROPRIATENESS**

APPLICATION #

OWNER NAME: BOOLT DATE: 02/29/08

OWNERS ADDRESS: 305 JULIA STREET PHONE # 393-9672
33040 KEY WEST FL

APPLICANT'S NAME: BEALER & ASSOCIATES ARCHITECTS PHONE # 305/296-1344

APPLICANT'S ADDRESS: 410 ANSEL STREET

ADDRESS OF CONSTRUCTION: 213 PETRONIA STREET # OF UNITS: ONE
33040 KEY WEST FL

THERE WILL BE A FINAL INSPECTION REQUIRED UNDER THIS PERMIT

DETAILED DESCRIPTION OF WORK:
RENOVATION OF EXISTING ONE STORY CONCRETE HOUSE
REMOVE NON-HISTORIC FLAT ROOF ADDITION
NEW GABLE ADDITION, NEW WOOD PORCH TO
REPLACE CONCRETE PORCH, NEW WOOD WINDOWS
AND SHUTTERS.

Chapter 33-06 F.S. - False Official Statements - Whoever knowingly makes a false statement in writing with the intent to mislead a public servant in the performance of his or her official duty shall be guilty of a misdemeanor of the second degree, punishable as provided for in s. 775.082 or s. 775.083.

This application for Certificate of Appropriateness must precede applications for building permits, variances and development review approvals. Applications must meet or exceed the requirements outlined by the Secretary of the Interior's Standards for Rehabilitation and Key West's Historic Architectural Guidelines.

Once completed, the application shall be reviewed by staff for completeness and either approved or scheduled for presentation to the Historic Architectural Review Commission at the next available meeting. The applicant must be present at this meeting. The filing of this application does not ensure approval as submitted.

Applications that do not possess the required submittals will be considered incomplete and will not be reviewed for approval.

REQUIRED SUBMITTALS	
<input checked="" type="checkbox"/>	TWO SETS OF SCALED DRAWINGS OF FLOOR PLAN, SITE PLAN AND EXTERIOR ELEVATIONS (for new buildings and additions)
<input type="checkbox"/>	TRAIL, RELEVANT, PLANS (if applicable)
<input checked="" type="checkbox"/>	PHOTOGRAPHS OF EXISTING BUILDING (interior, exterior, or perspective)
<input checked="" type="checkbox"/>	PHOTOGRAPHS OF ADJACENT BUILDINGS (new buildings or additions)
<input type="checkbox"/>	EVIDENCE OF MANUFACTURED PRODUCTS TO BE USED SUCH AS SHUTTERS, DOORS, WINDOWS, PAINT COLOR CHIPS, AND AWNING FABRIC SAMPLES

Staff Use Only

Date: _____

Staff Approval: _____

Fee Due: \$ _____

Date: 02/29/08
Applicant Signature: Thomas Bealer

HISTORIC ARCHITECTURAL REVIEW APPLICATION

HARC MINUTES AND ORDERS
March 11, 2008

CL3. H08-02-28-245 213 Petronia Street, Bender & Associates Architects
Renovation of existing one story Conch house. Remove non-historic flat roof/addition. New gable addition. New wood porch to replace concrete porch. New wood windows and shutters.

Bert Bender, Bender & Associates, presented the project. This is also a Bahama Land Trust property that will be used for affordable housing.

Mr. Bender said the flat roofed addition would be replaced with a gabled roof addition. The existing concrete porch will be removed and replace with a wood porch. Historically the porch had two bays.

Peter Batty said it is a beautiful job.

Michael Miller said the eaves appear to be a frieze board.

Mr. Bender said it is not a frieze board.

Mr. Miller said the rafters do not come out as the overhang, only the metal roofing. When he did the oldest house A-Plus Roofing banged the metal shingles over to from the edge, in lieu of flashing. He asked how they intend to deal with the ends.

Mr. Bender said in this case they are banged over in places by damage such as from ladders. They have not detailed that yet.

Mr. Miller asked why they are going with 1/1 Marvin Windows? He suggested they consider "Island Windows" as they make very nice putty glazed, wood divided light windows.

Mr. Bender said he can use divided light windows. They will research this further. The windows in the bedrooms are casement to meet egress requirements. They will use board shutters.

Peter Batty motioned to approve. Michael Miller seconded the motion.

APPROVED X DISAPPROVED TABLED

CL4. H08-02-28-246 222 Petronia Street, Bender & Associates Architects
Restore existing front house. New siding, new wood windows & shutters. Demolish rear flat roofed building & replace with new wood frame gable 2 unit building.

David Salay and Bert Bender, Bender & Associates presented the project. Work began on this house about 5 years ago but was abandoned. They are planning to restore the front house. The rear flat roofed building is non-historic and will be demolished as it is in very



Housing Authority of the City of Key West, Florida

1400 Kennedy Drive, Key West, FL 33040
Phone: (305) 296-5621 Fax: (305) 296-0932
TTY/Florida Relay Service (FRS) 1-800-955-8771

Board of Commissioners
Frank Toppino
Bob Dean
Mary Sanchez
John G. Parks, Jr.
Roosevelt Sands, Jr.

Executive Director
J. Manuel Castillo, Sr.

February 25, 2013

Eugene Edwards, Francine Edwards and Yvonne Edwards
213 Petronia St.
Key West, FL 33040

Re: 213 Petronia Street

Dear Mr. & Mrs. E. Edwards and Ms. Y. Edwards:

Pursuant to Section 7.3 - Construction and Alterations of the Ground Lease on the above referenced property, written consent is hereby granted, subject to conditions identified in said section, for the improvements proposed.

All proposed improvements must be within the Legal Description of the Leased land.

Sincerely,

J. Manuel Castillo, Sr.
Executive Director

Cc; File

Enid Torregrosa, Historic Preservation Planner, City of Key West
John Woodson, Chief Building Official, City of Key West





REMOVE
NON-
HISTORIC
REAR
ADDITIONS.

FRONT



REMOVE
CONC.
PORCH

REMOVE
NON-
HISTORIC
REAR
ADDITIONS

SIDE

213 PETRONIA ST.

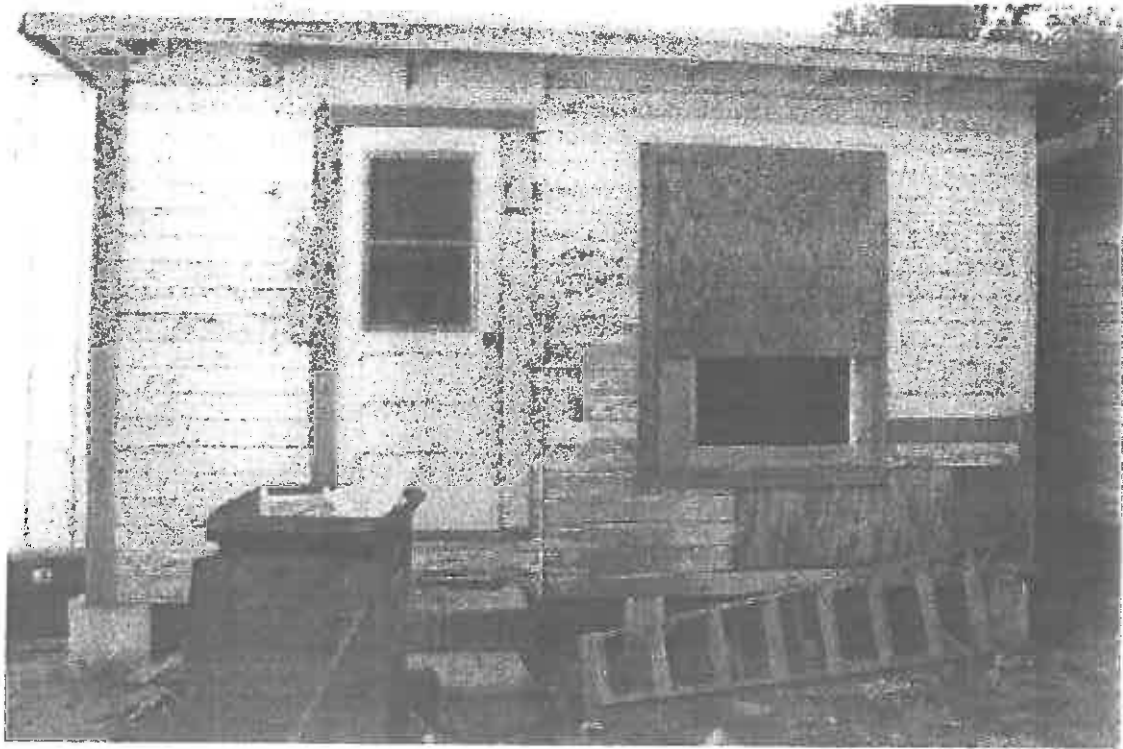


FRONT

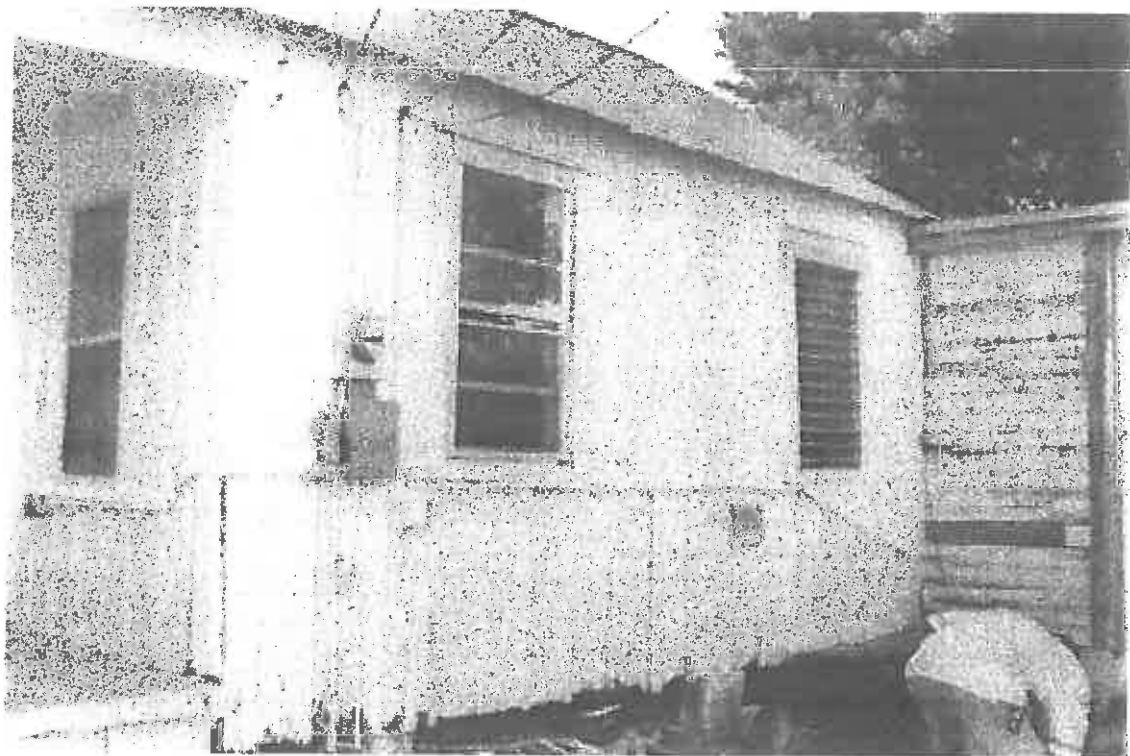


FRONT/WEST SIDE

213 PETRONIA ST.



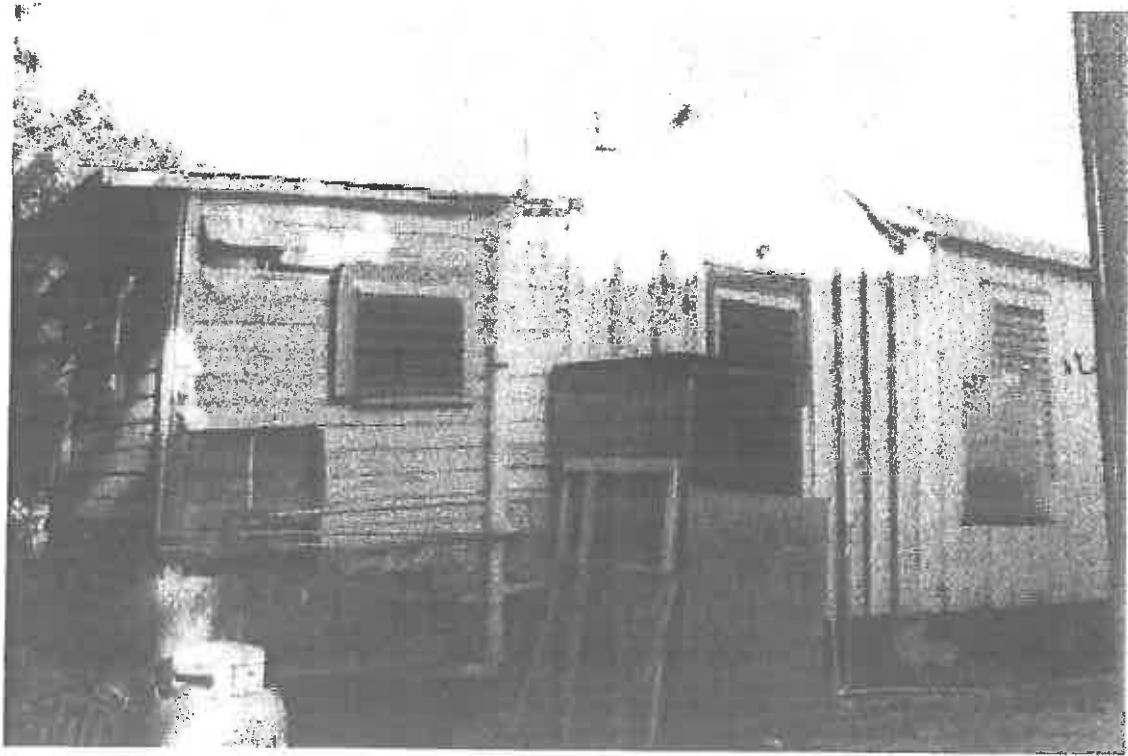
EAST SIDE



FRONT

EAST SIDE

213 PETRONIA



REAR/ EAST SIDE.

213 PETRONIA ST.



LEFT SIDE.

213 PETRONIA. ADJACENT BUILDINGS

Site Plans

213 PETRONIA STREET

RENOVATION AND ADDITION

KEY WEST FLORIDA

<h4 style="text-align: center;">SITE MAP - KEY WEST</h4> <p style="text-align: center;">Key</p> <p style="text-align: center;">Not to Scale</p>	<h4 style="text-align: center;">PROJECT DIRECTORY</h4> <p>PROJECT: 213 PETRONIA STREET</p> <p>ARCHITECT'S PROJECT No.: 0724</p> <p>DWNR: HOUSING AUTHORITY OF THE CITY OF KEY WEST</p> <p>Address: ---</p> <p>Tel: ---</p> <p>E-mail: TT</p> <p>Representative: Eugene Edwards</p> <p>ARCHITECT: BENDER & ASSOCIATES ARCHITECTS, P.A. Address: 40 Angela Street, Key West, FL 33040 Tel: (305) 294-0471 Fax: (305) 294-5227 E-mail: blander@blander.com Project Designer: Bert L. Blander (Principal-in-Charge)</p>	<h4 style="text-align: center;">GENERAL NOTES</h4> <ol style="list-style-type: none"> All work shall comply with the Florida Building Code, latest edition, and all applicable laws, codes and ordinances of the City, County, and the State of Florida. In the City of Key West, applicable Codes forming the basis of this design and construction requirements for the Contractor include: FLORIDA BUILDING CODE - Building 2005 EDITION WITH 2006 AMENDMENTS FLORIDA BUILDING CODE - Building 2005 EDITION WITH 2006 AMENDMENTS FLORIDA BUILDING CODE - Residential 2005 EDITION FLORIDA BUILDING CODE - Residential 2005 EDITION FLORIDA BUILDING CODE - Fuel Gas 2005 EDITION NATIONAL ELECTRICAL CODE 2005 EDITION NFPA 70 LIFE SAFETY CODE or Florida Publication 2005 EDITION FLORIDA FIRE PREVENTION CODE 2007 EDITION NFPA 1206 EDITION This project is designed in accordance with A.S.C.E. 7-05 to resist wind loads of 100 mph (60 mph gusts). Prior to submitting a bid, verify all existing conditions and dimensions on the jobsite, and also after award, but prior to the start of construction. Contours and/or existing grades shown are approximate. Verify with field conditions. Final grading shall provide graded slopes and grades. Slope all grades away from the building. Planting areas shall be graded with soil suitable for planting. Rock and debris will not be allowed. Where discrepancies between drawings, specifications, and code requirements occur, adhere to the most stringent requirement. Dimensions shall take precedence over notes. All new utilities shall be underground. Drawings and specifications are complementary. Refer to all sheets of drawings and applicable sections of the specifications for interfaces of work with related trades. After completion of construction remove all debris and construction equipment. Restore site to original condition. Notify owner of any possible artifacts uncovered during site grading and throughout the course of construction. Furnish a receptacle on site to contain construction debris and maintain the site in an orderly manner to ensure public safety and prevent blowing debris. Comply with all requirements for selective demolition as specified, shown in the Demolition Plan, or called for in the selective Demolition Notes. §193.020 Use of Seal: The personal seal, signature and date of the architect or interior designer shall appear on all architectural or interior design documents to be filed for public record and shall be certified to signify his/her name or his corporation. A corporate seal alone is insufficient. Documents shall be signed personally and sealed by the responsible architect or interior designer. Final official record documents (not drawings, etc.) shall be as signed. The signing and sealing of the specification index sheets shall be considered adequate. All drawing sheets and paper shall be as signed and sealed. An architect or interior designer shall not affix, or permit to be affixed, his seal or name to any plans, specifications, drawings, or other related document which was not prepared by him or under his responsible supervisory control as provided in Rule Chapter 600-20, F.A.C. An architect or interior designer shall not use his seal or do any other act as an architect or interior designer unless holding at the time of the affixing of signature and all required notices thereof. Specific Authority: 461.205, 461.21, F.A.C. (as amended 461.20, 461.205(1)(a), (g), (j), 461.224(1)(a), (h), (i), F.S. History-New 12-29-76 Formerly 202-16.03, Amended 7-21-94, January 2004-2005, Amended 1-03-04, 4-08-05. <p style="text-align: right;">ORIGINAL HARC # FROM 2008: H08.02.28.245</p>																																																																																																																																																					
<h4 style="text-align: center;">ABBREVIATIONS</h4> <table border="0"> <tr><td>AB</td><td>ANCHOR BOLT</td><td>HN</td><td>THINWALL</td></tr> <tr><td>ABC</td><td>AGGREGATE BASE COURSE</td><td>HTB</td><td>NOT TO SCALE</td></tr> <tr><td>A/C</td><td>AIR CONDITIONING</td><td>OA</td><td>OVERALL</td></tr> <tr><td>BLKS</td><td>BLOCKING</td><td>OC</td><td>ON CENTER</td></tr> <tr><td>BUR</td><td>BUILT UP ROOF</td><td>OD</td><td>OUTSIDE DIAMETER</td></tr> <tr><td>CAB</td><td>CABINET</td><td>PCF</td><td>POUNDS PER CUBIC FOOT</td></tr> <tr><td>CB</td><td>CERAMIC</td><td>PLM</td><td>PLASTIC LAPINATE</td></tr> <tr><td>CL</td><td>CENTER LINE</td><td>PLF</td><td>POUNDS PER LINEAL FOOT</td></tr> <tr><td>CLG</td><td>CEILING</td><td>PT</td><td>POST</td></tr> <tr><td>CMU</td><td>CONCRETE MASONRY UNIT</td><td>PT</td><td>CCA PRESURE TREATED</td></tr> <tr><td>COL</td><td>COLUMN</td><td>RF</td><td>RADIUS (OR) RISER</td></tr> <tr><td>CONC</td><td>CONCRETE</td><td>R/A</td><td>RETURN AIR</td></tr> <tr><td>DBL</td><td>DOUBLE</td><td>REBR</td><td>REFRIGERATOR</td></tr> <tr><td>DAG</td><td>DIAGONAL</td><td>RF</td><td>SQUARE FOOT (FEET)</td></tr> <tr><td>DS</td><td>DOWNPOUT</td><td>RSBR</td><td>STEEL REINFORCING BAR</td></tr> <tr><td>DTL</td><td>DETAIL</td><td>REFR</td><td>REFRIGERATOR</td></tr> <tr><td>DWR</td><td>DRAWER</td><td>SP</td><td>SPECIFICATION</td></tr> <tr><td>EA</td><td>EXPANSION JOINT</td><td>ST</td><td>STAINLESS STEEL</td></tr> <tr><td>EL</td><td>ELEVATION</td><td>TR</td><td>TYPICAL</td></tr> <tr><td>ELC</td><td>ELECTRIC</td><td>TYP</td><td>TYPICAL</td></tr> <tr><td>EQ</td><td>EQUIPMENT</td><td>UNR</td><td>UNLESS NOTED OTHERWISE</td></tr> <tr><td>EV</td><td>FIELD VENTRY</td><td>VCT</td><td>VENT COMPOSITION TILE</td></tr> <tr><td>GALV</td><td>GALVANIZED</td><td>VRT</td><td>VERTICAL</td></tr> <tr><td>HCR</td><td>HORIZONTAL</td><td>WD</td><td>WOOD</td></tr> <tr><td>HW</td><td>HARDWARE</td><td>WFR</td><td>WELDED WIRE FABRIC</td></tr> <tr><td>HVAC</td><td>HEATING VENTILATING & AIR CONDITIONING</td><td>WH</td><td>WATER HEATER</td></tr> <tr><td>HC</td><td>HORIZONTAL</td><td>W/O</td><td>WITHOUT</td></tr> <tr><td>FOC</td><td>FACE OF CONCRETE</td></tr> <tr><td>FS</td><td>FINISH</td></tr> <tr><td>FE</td><td>FIRE EXTINGUISHER</td></tr> <tr><td>FND</td><td>FOUNDATION</td></tr> <tr><td>FRG</td><td>FRUITING</td></tr> <tr><td>ID</td><td>INSIDE DIAMETER</td></tr> <tr><td>MAX</td><td>MAXIMUM</td></tr> </table>	AB	ANCHOR BOLT	HN	THINWALL	ABC	AGGREGATE BASE COURSE	HTB	NOT TO SCALE	A/C	AIR CONDITIONING	OA	OVERALL	BLKS	BLOCKING	OC	ON CENTER	BUR	BUILT UP ROOF	OD	OUTSIDE DIAMETER	CAB	CABINET	PCF	POUNDS PER CUBIC FOOT	CB	CERAMIC	PLM	PLASTIC LAPINATE	CL	CENTER LINE	PLF	POUNDS PER LINEAL FOOT	CLG	CEILING	PT	POST	CMU	CONCRETE MASONRY UNIT	PT	CCA PRESURE TREATED	COL	COLUMN	RF	RADIUS (OR) RISER	CONC	CONCRETE	R/A	RETURN AIR	DBL	DOUBLE	REBR	REFRIGERATOR	DAG	DIAGONAL	RF	SQUARE FOOT (FEET)	DS	DOWNPOUT	RSBR	STEEL REINFORCING BAR	DTL	DETAIL	REFR	REFRIGERATOR	DWR	DRAWER	SP	SPECIFICATION	EA	EXPANSION JOINT	ST	STAINLESS STEEL	EL	ELEVATION	TR	TYPICAL	ELC	ELECTRIC	TYP	TYPICAL	EQ	EQUIPMENT	UNR	UNLESS NOTED OTHERWISE	EV	FIELD VENTRY	VCT	VENT COMPOSITION TILE	GALV	GALVANIZED	VRT	VERTICAL	HCR	HORIZONTAL	WD	WOOD	HW	HARDWARE	WFR	WELDED WIRE FABRIC	HVAC	HEATING VENTILATING & AIR CONDITIONING	WH	WATER HEATER	HC	HORIZONTAL	W/O	WITHOUT	FOC	FACE OF CONCRETE	FS	FINISH	FE	FIRE EXTINGUISHER	FND	FOUNDATION	FRG	FRUITING	ID	INSIDE DIAMETER	MAX	MAXIMUM	<h4 style="text-align: center;">SYMBOLS LEGEND</h4> <p>CROSS SECTION 1/4"=1'-0" DRAWING SCALE</p> <p>SECTION & DETAIL DRWG. TITLES</p> <p>NORTH ARROWS</p> <p>BUILDING SECTION</p> <p>WALL SECTION</p> <p>CUT DETAIL INDICATOR</p> <p>BLOWN-UP DETAIL INDICATOR (PERTAINS TO DETAIL PLAN INDICATORS ON SMALLER SCALE PLAN)</p> <p>SECTION & DETAIL DRWG. TITLES</p> <p>WALL ELEVATION INDICATOR (SHOWS WITHIN ROOM ON PLAN)</p> <p>ROOM NUMBER INDICATOR (SHOWS BESIDE OR UNDER ROOM NAME)</p> <p>DOOR OPENING INDICATOR (EACH OPENING SCHEDULED SEPARATELY)</p> <p>WINDOW INDICATOR (EACH WINDOW TYPE & SIZE SCHEDULED)</p> <p>PARTITION/WALL TYPE INDICATOR (COMMERCIAL & INSTITUTIONAL PROJECTS)</p>	<h4 style="text-align: center;">MATERIAL DESIGNATIONS</h4> <p>CONCRETE MASONRY UNITS IN PLAN</p> <p>CONC. STUCCO, PLASTER IN ELEV./POURED CONC. IN PLAN</p> <p>METAL IN ELEVATION</p> <p>METAL IN SECTION</p> <p>FINISH WOOD IN ELEV. & IN SECTION</p> <p>DIMENSION LUMBER IN SECTION (CONTINUOUS)</p> <p>WOOD BLOCKING IN SECTION (DISCONTINUOUS)</p> <p>GYPSUM WALL BOARD IN SECTION (LARGE SCALE)</p> <p>EARTH, NATURAL SUBSTRATE</p> <p>GRAVEL, AGGREGATE BASE COURSE, FILL</p> <p>FIBERGLASS BATT INSULATION</p> <p>RIGID INSULATION</p> <p>PARTITIONS & WALLS</p> <p>CONCRETE MASONRY UNITS</p> <p>POURED CONCRETE</p> <p>WOOD FRAME</p> <p>METAL STUDS</p> <p>EXISTING CONSTRUCTION TO REMAIN</p> <p>EXISTING CONSTRUCTION TO BE DEMOLISHED</p>	<h4 style="text-align: center;">SHEET INDEX</h4> <table border="0"> <tr><td>T1</td><td>SITE LOCATION MAP, PROJECT DIRECTORY, GENERAL NOTES, FLORIDA ADMINISTRATIVE CODES, ABBREVIATIONS, SYMBOLS LEGEND, SHEET INDEX, DESCRIPTION OF WORK</td></tr> <tr><td>A1</td><td>SITE PLAN, SURVEY, PROJECT STATISTICS, STORM WATER CALCULATION NOTES</td></tr> <tr><td>A2</td><td>DEMOLITION PLAN, FOUNDATION PLAN, DEMOLITION NOTES, FOUNDATION NOTES</td></tr> <tr><td>A3</td><td>FIRST FLOOR PLAN, ROOF SCHEDULE, DOOR AND WINDOW SCHEDULE, DOOR AND WINDOW TYPES, APPLIANCE SCHEDULE</td></tr> <tr><td>AA</td><td>BUILDING SECTIONS AND EXTERIOR ELEVATIONS</td></tr> <tr><td>A4</td><td>ROOF PLAN, ROOF DETAILS, INTERIOR ELEVATIONS</td></tr> <tr><td>A5</td><td>DETAILS</td></tr> <tr><td>A7</td><td>FIRST FLOOR FRAMING PLAN, ROOF FRAMING PLAN, NOTES</td></tr> <tr><td>A8</td><td>MECHANICAL AND PLUMBING PLANS, PLUMBING RISER DIAGRAM, PLUMBING FIXTURE SCHEDULE, MECHANICAL AND PLUMBING NOTES</td></tr> <tr><td>A9</td><td>ELECTRICAL PLAN, REFLECTED CEILING PLAN, ELECTRICAL NOTES, ELECTRICAL SYMBOLS LEGEND, ELECTRICAL RISE, ELECTRICAL SCHEDULE</td></tr> <tr><td>A10</td><td>GREENHOUSE CHECKLIST</td></tr> <tr><td>A11</td><td>GREEN HOME CHECKLIST</td></tr> <tr><td>A12</td><td>SPECIFICATIONS</td></tr> </table> <p style="text-align: center;">DESCRIPTION OF WORK</p> <p>RENOVATION OF ONE STORY CONCH HOUSE. REPAIR OF EXTERIOR & FOUNDATIONS. NEW FOUR BEDROOM ADDITION. NEW HANGERS & BATTERS. NEW FINISHES. NEW FLOOR AND DECK.</p>	T1	SITE LOCATION MAP, PROJECT DIRECTORY, GENERAL NOTES, FLORIDA ADMINISTRATIVE CODES, ABBREVIATIONS, SYMBOLS LEGEND, SHEET INDEX, DESCRIPTION OF WORK	A1	SITE PLAN, SURVEY, PROJECT STATISTICS, STORM WATER CALCULATION NOTES	A2	DEMOLITION PLAN, FOUNDATION PLAN, DEMOLITION NOTES, FOUNDATION NOTES	A3	FIRST FLOOR PLAN, ROOF SCHEDULE, DOOR AND WINDOW SCHEDULE, DOOR AND WINDOW TYPES, APPLIANCE SCHEDULE	AA	BUILDING SECTIONS AND EXTERIOR ELEVATIONS	A4	ROOF PLAN, ROOF DETAILS, INTERIOR ELEVATIONS	A5	DETAILS	A7	FIRST FLOOR FRAMING PLAN, ROOF FRAMING PLAN, NOTES	A8	MECHANICAL AND PLUMBING PLANS, PLUMBING RISER DIAGRAM, PLUMBING FIXTURE SCHEDULE, MECHANICAL AND PLUMBING NOTES	A9	ELECTRICAL PLAN, REFLECTED CEILING PLAN, ELECTRICAL NOTES, ELECTRICAL SYMBOLS LEGEND, ELECTRICAL RISE, ELECTRICAL SCHEDULE	A10	GREENHOUSE CHECKLIST	A11	GREEN HOME CHECKLIST	A12	SPECIFICATIONS
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213 PETRONIA STREET
KEY WEST FLORIDA

Bender & Associates
ARCHITECTS

T1

1 OF 11

PROJECT STATISTICS	
LOT DESCRIPTION: KH LOT #1 # PT LOT 26 SQR 2 TR 3 524-247 OR168-	
FRTH FLOOR ZONE:	ZONE V (PEHA MAP 10087 GENA, FEBRUARY 3, 2005)
FRESH FLOOR ELEVATION:	TT
ZONING DESIGNATION:	INC-5
LOT AREA:	5401 S.F.
BUILDING ENCLOSED AREA:	204 PETRONIA: 578 S.F. 31 PETRONIA: 478 S.F. 23 PETRONIA: 421 S.F. TOTAL: 1477 S.F.
PROPOSED BLDG. COVERAGE AREA:	ENCLOSED AREA: 1472 S.F. ROOFED PORCHES: 383 S.F. TOTAL: 2850 S.F.
NOTE: CALCULATIONS ARE FOR ALL ADDRESSES ON THIS LOT. DOCUMENTS FOR 213 PETRONIA STREET ARE ON A SEPARATE SET.	

	DESIGNED/ALLOWED	EXISTING	PROPOSED
BUILDING HEIGHT:	37' MAXIMUM	17'-0"	17'-0"
FRONT SETBACK:	0' MINIMUM	0'	7'-0" AND 9'
SIDE SETBACK:	5' MINIMUM	9'-0"	7'-0" AND 9'
REAR SETBACK:	15' MINIMUM	9'-0"	9'-0" (NO CHANGE)
IMPERVIOUS SURFACE:	LESS THAN 40% OF 5782 S.F. = 2312 S.F. MAX	2099 S.F. / 5782 S.F. = 36.4%	2206 S.F. / 5782 S.F. = 38.2%
BUILDING COVERAGE:	LESS THAN 40% OF 5782 S.F. = 2312 S.F. MAX	2099 S.F. / 5782 S.F. = 36.4%	2160 S.F. / 5782 S.F. = 37.4%
F.A.R.:	N/A - RESIDENTIAL	N/A	N/A

STORMWATER RETENTION CALCULATIONS:

LOT AREA:	5782 S.F.
MIN IMPERVIOUS AREA:	40 S.F.
MAX IMPERVIOUS PERCENTAGE:	38.2%
RAINFALL:	1.0"

IMPERVIOUS AREA BREAKDOWN (IN SQUARE FEET):

MAIN RESIDENCE, PORCHES, STAIRS	2234 S.F.
EXISTING REAR YARD HARDSCAPE	0 S.F.
EXISTING FRONT AND SIDE YARD HARDSCAPE	0 S.F.
TOTAL IMPERVIOUS AREA IN SQUARE FEET:	2234 S.F.

CUBIC FEET REQUIRED: (IMPERVIOUS AREA x RAINFALL / 12) x 6.24 FOR ONE INCH CREDIT = 114 CUBIC FEET

CUBIC FEET SUPPLIED: (S.F. RETENTION - LANDSCAPE DISPLACEMENT x AVG. DEPTH IN FEET) = 40 CUBIC FEET

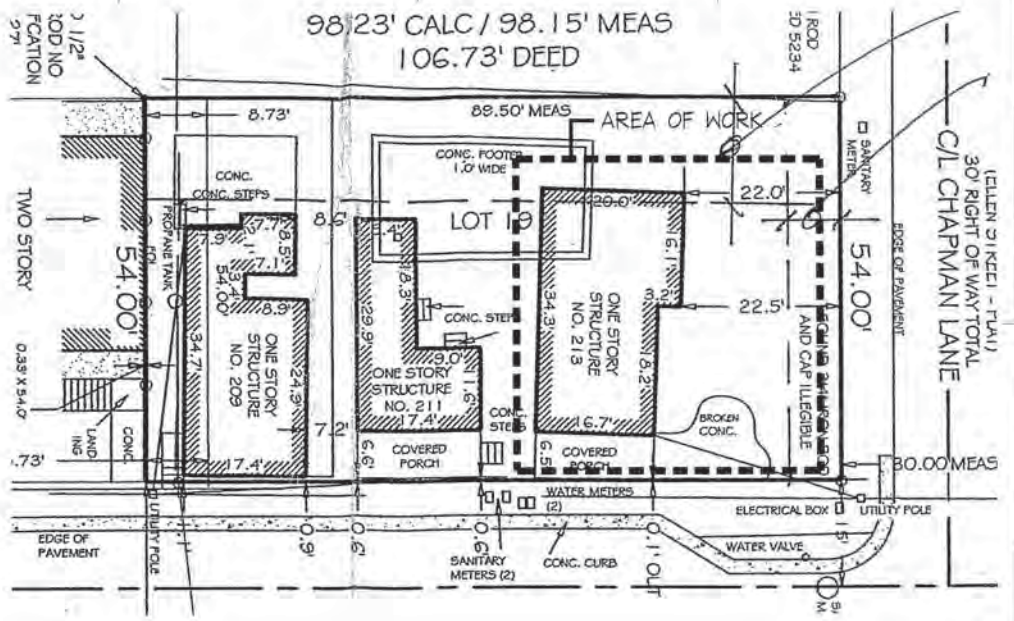
GROSS SQUARE FEET OF RETENTION AREA: 180 S.F.

DISPLACEMENT OF TREES AND PALM TRUNKS: -8 S.F.

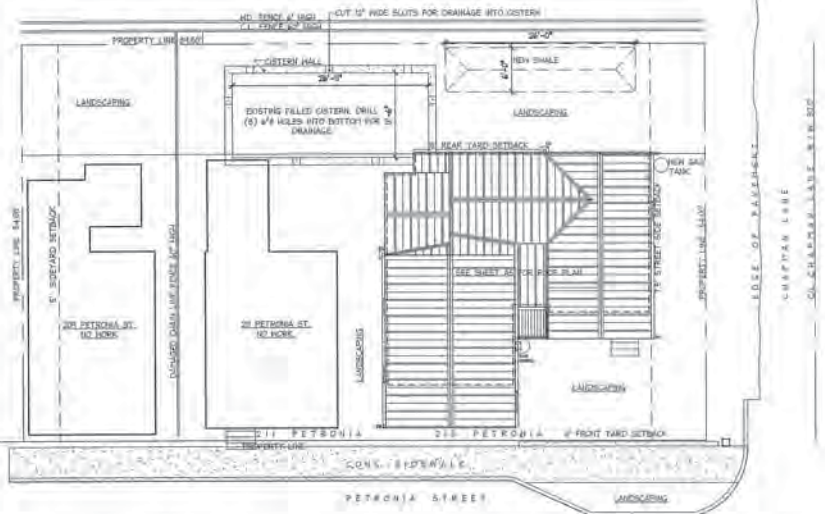
DISPLACEMENT OF BARNS AND GROUNDCOVERS: -3 S.F.

NET SQUARE FOOTAGE OF RETENTION AREA: 169 S.F.

AVERAGE DEPTH OF RETENTION AREA: 46 FEET (8 INCHES)



2 SURVEY
SCALE: 1/8" = 1'-0"



1 PROPOSED SITE PLAN
SCALE: 1/8" = 1'-0"

REVISIONS

213 PETRONIA STREET
KEY WEST FLORIDA

410 Angela Street
Key West, Florida 33400
Telephone: (305) 246-1847
Facsimile: (305) 239-2727
Florida License #2302222

Bender & Associates
ARCHITECTS
P.O.

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SITE PLAN
SURVEY
PROJECT
STATISTICS
STORY WATER
CALCULATION
NOTES

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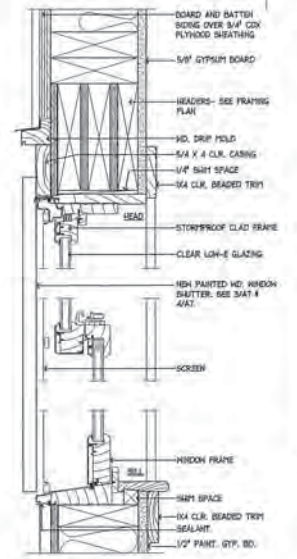
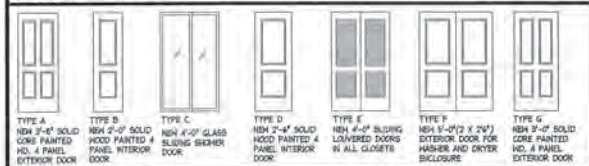
ROOM FINISH SCHEDULE

NO.	ROOM NAME	FLOOR	BASE	WALLS				CEILING	CLG. HT.	REMARKS	
				NORTH	EAST	SOUTH	WEST				
01	LIVING ROOM		PREFINISHED BRNWOOD	PTD. HD.	PTD. HD.	PTD. HD.	PTD. HD.	PTD. HD.	PTD. HD.	9'-0"	
02	BATHROOM		CER. TILE	PTD. HD.	PTD. HD.	PTD. HD.	PTD. HD.	PTD. HD.	PTD. HD.	9'-0"	
03	KITCHEN		PREFINISHED BRNWOOD	PTD. HD.	PTD. HD.	PTD. HD.	PTD. HD.	PTD. HD.	PTD. HD.	9'-0"	
04	BEDROOM #1		CARPET	PTD. HD.	PTD. HD.	PTD. HD.	PTD. HD.	PTD. HD.	PTD. HD.	9'-0"	
05	CLOSET #1		CARPET	PTD. HD.	PTD. HD.	PTD. HD.	PTD. HD.	PTD. HD.	PTD. HD.	9'-0"	
06	BEDROOM #2		CARPET	PTD. HD.	PTD. HD.	PTD. HD.	PTD. HD.	PTD. HD.	PTD. HD.	9'-0"	
07	CLOSET #2		CARPET	PTD. HD.	PTD. HD.	PTD. HD.	PTD. HD.	PTD. HD.	PTD. HD.	9'-0"	
08	BEDROOM #3		CARPET	PTD. HD.	PTD. HD.	PTD. HD.	PTD. HD.	PTD. HD.	PTD. HD.	9'-0"	
09	CLOSET #3		CARPET	PTD. HD.	PTD. HD.	PTD. HD.	PTD. HD.	PTD. HD.	PTD. HD.	9'-0"	
10	BEDROOM #4		CARPET	PTD. HD.	PTD. HD.	PTD. HD.	PTD. HD.	PTD. HD.	PTD. HD.	9'-0"	
11	CLOSET #4		CARPET	PTD. HD.	PTD. HD.	PTD. HD.	PTD. HD.	PTD. HD.	PTD. HD.	9'-0"	
12	BATHROOM		CER. TILE	PTD. HD.	PTD. HD.	PTD. HD.	PTD. HD.	PTD. HD.	PTD. HD.	9'-0"	
13	HALL CLOSET		CER. TILE	PTD. HD.	PTD. HD.	PTD. HD.	PTD. HD.	PTD. HD.	PTD. HD.	9'-0"	
14	HVJ CLOSET		CER. TILE	PTD. HD.	PTD. HD.	PTD. HD.	PTD. HD.	PTD. HD.	PTD. HD.	9'-0"	
15	UNDER CLOSET		CER. TILE	PTD. HD.	PTD. HD.	PTD. HD.	PTD. HD.	PTD. HD.	PTD. HD.	9'-0"	

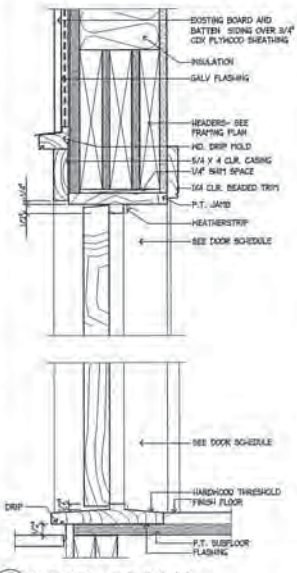
DOOR SCHEDULE

NO.	TYPE	SIZE	MATERIAL	FINISH	GLAZING	FRAMES		DETAILS	REMARKS	QUANTITY
						MATERIAL	FINISH			
1	A	2'-4" x 6'-4"	WOOD	PTD.	---	WOOD	PTD.	NEW 4 PANEL WOOD SOLID DOOR		1
2	B	2'-4" x 6'-4"	WOOD	PTD.	---	WOOD	PTD.	NEW 2 PANEL WOOD INTERIOR DOOR		2
3	C	2'-4" x 6'-4"	WOOD	PTD.	---	WOOD	PTD.	NEW GLASS SHOWER DOOR		3
4	D	2'-4" x 6'-4"	WOOD	PTD.	---	WOOD	PTD.	NEW 2 PANEL WOOD INTERIOR DOOR		4
5	E	4'-0" x 6'-4"	WOOD	PTD.	---	WOOD	PTD.	NEW 2 PANEL WOOD SLIDING DOOR		5
6	F	2'-4" x 6'-4"	WOOD	PTD.	---	WOOD	PTD.	NEW 2 PANEL WOOD INTERIOR DOOR		4
7	G	2'-4" x 6'-4"	WOOD	PTD.	---	WOOD	PTD.	NEW 2 PANEL WOOD SLIDING DOOR		5
8	H	2'-4" x 6'-4"	WOOD	PTD.	---	WOOD	PTD.	NEW 2 PANEL WOOD INTERIOR DOOR		4
9	I	2'-4" x 6'-4"	WOOD	PTD.	---	WOOD	PTD.	NEW 2 PANEL WOOD INTERIOR DOOR		4
10	J	2'-4" x 6'-4"	WOOD	PTD.	---	WOOD	PTD.	NEW 2 PANEL WOOD SLIDING DOOR		5
11	K	2'-4" x 6'-4"	WOOD	PTD.	---	WOOD	PTD.	NEW 2 PANEL WOOD INTERIOR DOOR		2
12	L	2'-4" x 6'-4"	WOOD	PTD.	---	WOOD	PTD.	NEW 2 PANEL WOOD INTERIOR DOOR		3
13	M	2'-4" x 6'-4"	WOOD	PTD.	---	WOOD	PTD.	NEW 2 PANEL WOOD INTERIOR DOOR		4
14	N	2'-4" x 6'-4"	WOOD	PTD.	---	WOOD	PTD.	NEW 2 PANEL WOOD INTERIOR DOOR		4
15	O	2'-4" x 6'-4"	WOOD	PTD.	---	WOOD	PTD.	NEW 2 PANEL WOOD INTERIOR DOOR		4
16	P	2'-4" x 6'-4"	WOOD	PTD.	---	WOOD	PTD.	NEW 2 PANEL WOOD INTERIOR DOOR		4
17	Q	2'-4" x 6'-4"	WOOD	PTD.	---	WOOD	PTD.	NEW 2 PANEL WOOD INTERIOR DOOR		4

DOOR TYPES

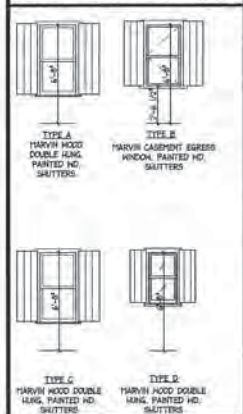


3 WINDOW DETAIL
SCALE: 3/4" = 1'-0"



2 DOOR DETAIL
SCALE: 3/4" = 1'-0"

WINDOW TYPES



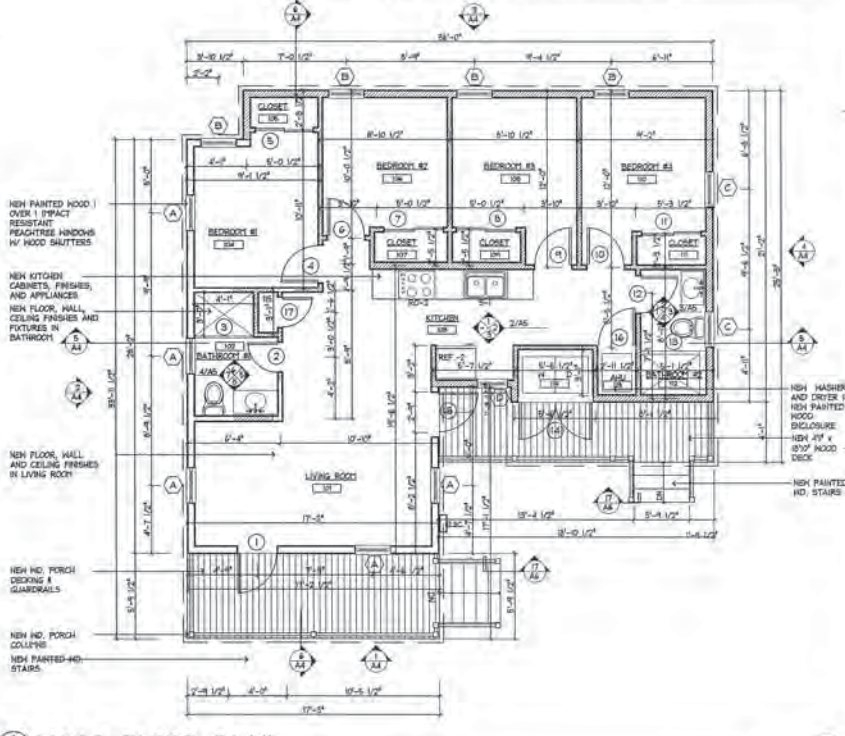
1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE

MARK	SIZE	MANUFACTURER	CATALOG NO.	MATERIAL	FINISH	REMARKS
A	2'-4" x 6'-4"	HARVIN	HARVIN HDH 2424	WOOD	PAINTED	NEW HD. PAINTED HD. DOUBLE HUNG WINDOW. INSTALL WITH WOOD SHUTTER. SEE DETAIL SCHEDULE 4 AND FOR SHUTTER.
B	2'-4" x 6'-4"	HARVIN	HARVIN HUCA 2848	WOOD	PAINTED	NEW HD. PAINTED HD. CASSETT WINDOW. INSTALL WITH HD. SHUTTER. SEE DETAIL SCHEDULE 4 AND FOR SHUTTER.
C	2'-4" x 6'-4"	HARVIN	HARVIN HDH 2424	WOOD	PAINTED	NEW HD. PAINTED HD. DOUBLE HUNG WINDOW. INSTALL WITH WOOD SHUTTER. SEE DETAIL SCHEDULE 4 AND FOR SHUTTER.
D	2'-4" x 6'-4"	HARVIN	HARVIN HDH 2020	WOOD	PAINTED	NEW HD. PAINTED HD. DOUBLE HUNG WINDOW. INSTALL WITH WOOD SHUTTER. SEE DETAIL SCHEDULE 4 AND FOR SHUTTER.

APPLIANCE SCHEDULE

MARK	APPLIANCE	MANUFACTURER	MODEL	DIMENSIONS			COLOR	REMARKS
				H	W	D		
REF-1	REFRIGERATOR	GE-3	REFRIGERATOR	48 1/2"	24"	30"	WHITE	ENERGY STAR RATED
REF-2	REFRIGERATOR	GE-3	REFRIGERATOR	44 7/8"	24"	30 1/2"	WHITE	ENERGY STAR RATED
RD-1	RANGE	PREMIER 54"	PREMIER 54" RANGE-WHITE ON WHITE	44"	24"	34"	WHITE	ENERGY STAR RATED
RD-2	RANGE	PREMIER 30"	PREMIER 30" RANGE-WHITE ON WHITE	44"	24"	34"	WHITE	ENERGY STAR RATED
W	WASHER	LG-3	WASHER	36"	24"	30 1/2"	WHITE	ENERGY STAR RATED
D	DRYER	LG-3	DRYER	36"	24"	30 1/2"	WHITE	GAS
TR	MICROWAVE	WH-300	MICROWAVE	13 1/2"	21 3/8"	11 1/8"	WHITE	
DH	DISHWASHER	GE-3	DISHWASHER	33 1/2"	24"	24"	WHITE	ENERGY STAR RATED
RH-1	RANGE HOOD	GE-3	RANGE HOOD	4 1/2"	24 1/2"	20"	WHITE	
RH-2	RANGE HOOD	GE-3	RANGE HOOD	4 1/2"	24 1/2"	20"	WHITE	



1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

REVISIONS

213 PETRONIA STREET
KEY WEST FLORIDA

410 Angela Street
Key West Florida 33406
Telephone (305) 236-1345
Facsimile (305) 238-6777
Florida License 140026212

Bender & Associates
ARCHITECTS

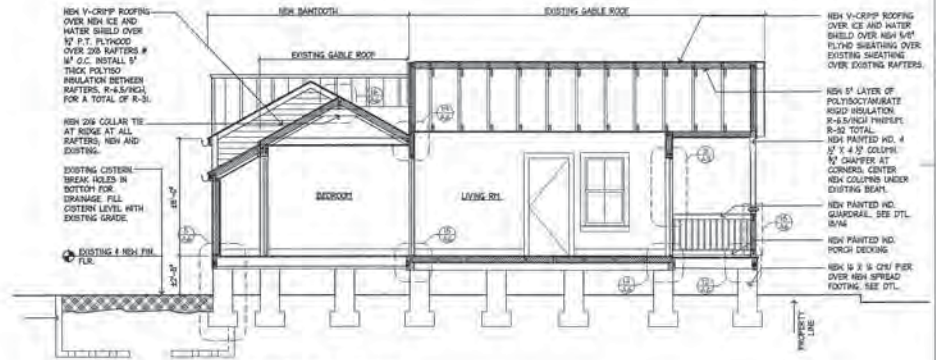
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PROPOSED FLOOR PLAN
ROOM FINISH SCHEDULE
WINDOW AND DOOR SCHEDULE
WINDOW AND DOOR TYPES AND DETAILS

Date: 10/1/24

A3
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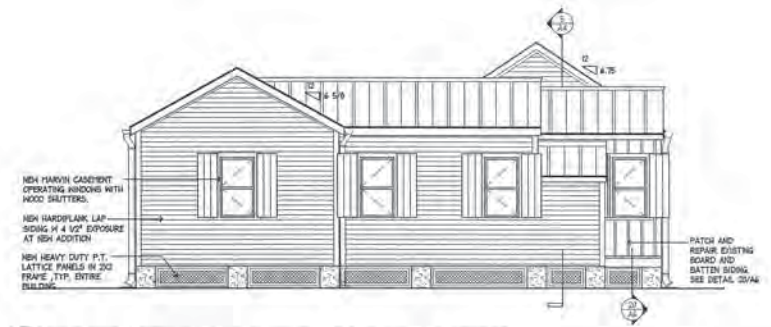
6 SECTION LOOKING NORTH
SCALE: 1/4" = 1'-0"



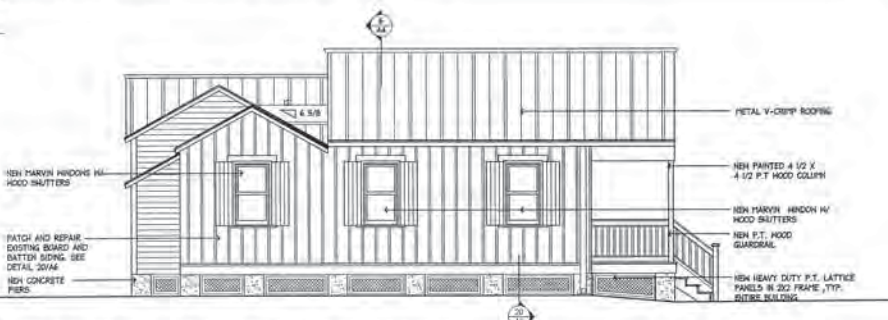
5 SECTION LOOKING EAST
SCALE: 1/4" = 1'-0"



4 EAST (SIDE) EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



3 NORTH (REAR) EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



2 WEST (SIDE) EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



1 SOUTH (FRONT) EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

REVISIONS

213 PETRONIA STREET
KEY WEST, FLORIDA

110 Angela Street
Key West, Florida 33508
Telephone: (305) 296-1147
Facsimile: (305) 296-0727
Florida License #66020222

Bender & Associates
ARCHITECTS
P.A.

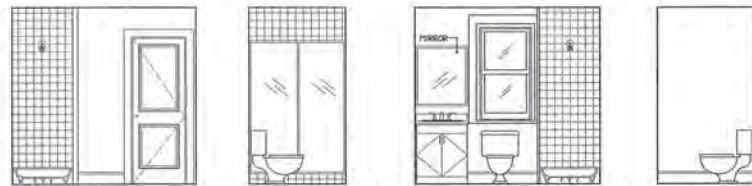
Project No. 2014
PROPOSED EXTERIOR
ELEVATIONS
PROPOSED SECTIONS
Date: 03/20

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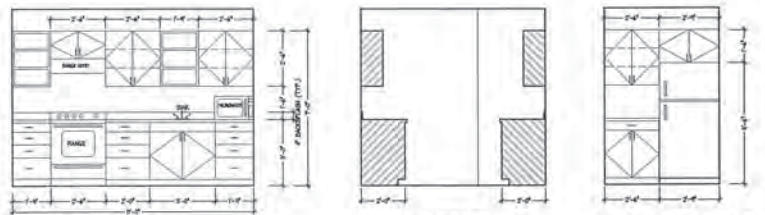
ELEVATION #5 ELEVATION #6 ELEVATION #7 ELEVATION #8

4 BATHROOM INTERIOR ELEVATIONS
SCALE: 3/8" = 1'-0"



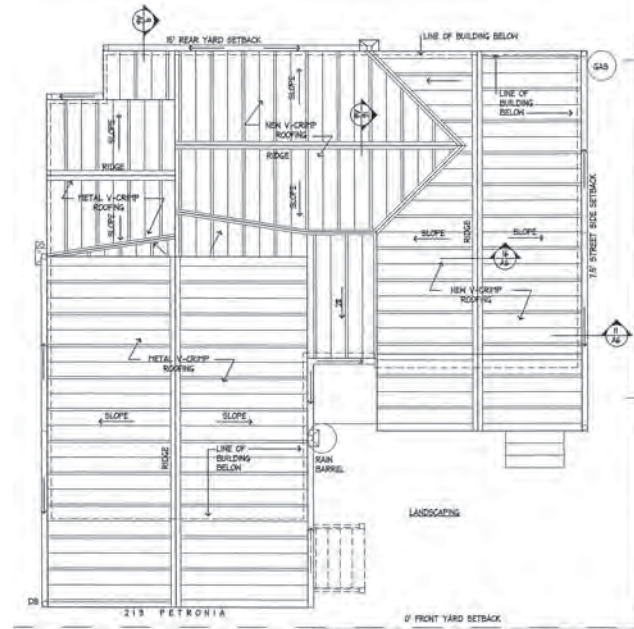
ELEVATION #1 ELEVATION #4 ELEVATION #3 ELEVATION #2

3 BATHROOM INTERIOR ELEVATIONS
SCALE: 3/8" = 1'-0"



ELEVATION #1 ELEVATION #2 ELEVATION #3

2 KITCHEN INTERIOR ELEVATIONS
SCALE: 3/8" = 1'-0"



1 ROOF PLAN
SCALE: 1/4" = 1'-0"

REVISIONS

213 PETRONIA STREET
KEY WEST FLORIDA

410 Angela Street
Key West, Florida 33040
Telephone: (305) 594-1243
Facsimile: (305) 298-2727
Florida License AE12002827

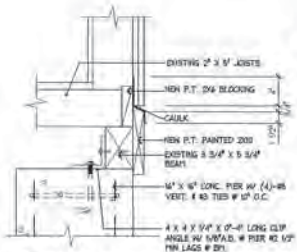
Bender & Associates
ARCHITECTS
P.C.

Project # 2724
ROOF PLAN
INTERIOR
ELEVATIONS

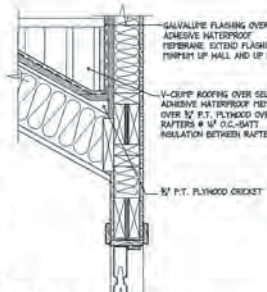
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A5

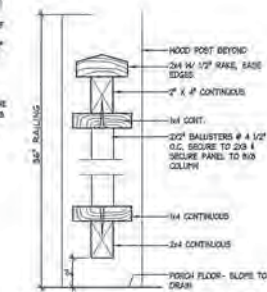
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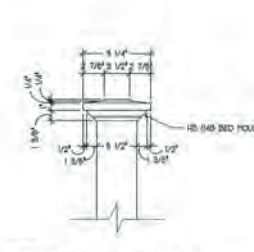
20 BOARD & BATTEN REPAIR
SCALE: 1/2" = 1'-0"



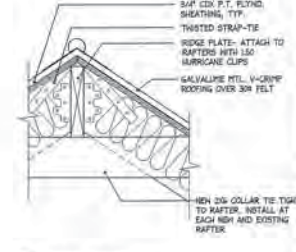
19 ROOF DETAIL
SCALE: 1/2" = 1'-0"



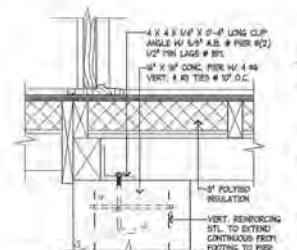
18 GUARDRAIL DETAIL
SCALE: 1/2" = 1'-0"



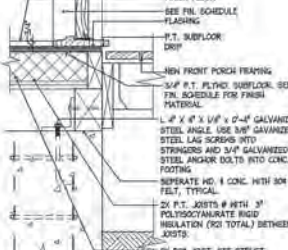
17 GUARDRAIL POST CAP
SCALE: 1/2" = 1'-0"



16 ROOF RIDGE
SCALE: 1/2" = 1'-0"



15 FIRST FLR FOUNDATION / FRAMING
SCALE: 1/2" = 1'-0"



14 FIRST FLR. FRAMING AT PORCH
SCALE: 1/2" = 1'-0"



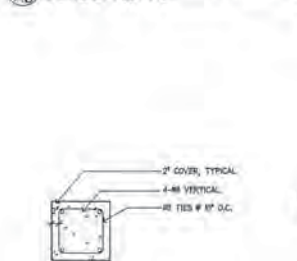
13 NOT USED
SCALE: 1/2" = 1'-0"



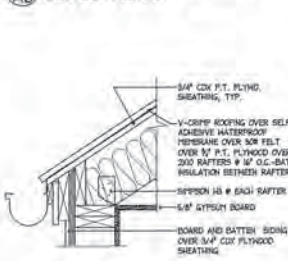
12 NOT USED
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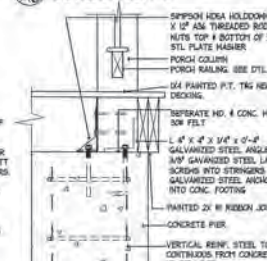
11 ROOF EAVE
SCALE: 1/2" = 1'-0"



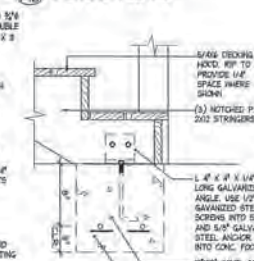
10 PLAN DETAIL AT FOUNDATION PIER
SCALE: 3/4" = 1'-0"



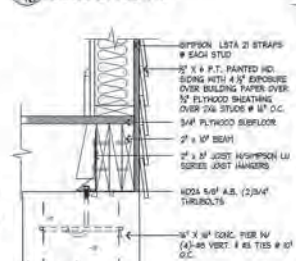
9 ROOF DETAIL
SCALE: 1/2" = 1'-0"



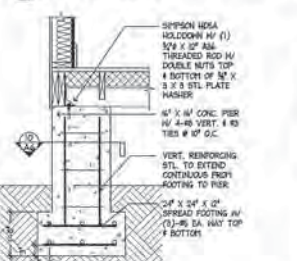
8 PORCH DETAIL
SCALE: 1/2" = 1'-0"



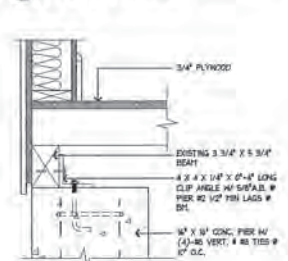
7 STAIR FOUNDATION DETAIL
SCALE: 1/2" = 1'-0"



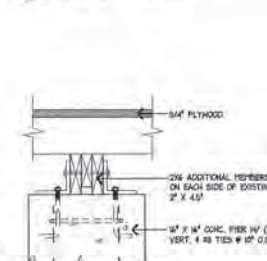
6 FIRST FLOOR FRAMING / FOUNDATION
SCALE: 1/2" = 1'-0"



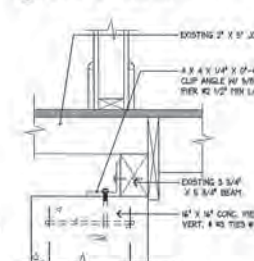
5 FOUNDATION DTL
SCALE: 3/4" = 1'-0"



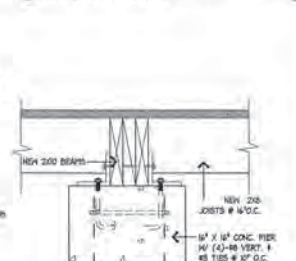
4 FIRST FLOOR FOUNDATION / FRAMING
SCALE: 1/2" = 1'-0"



3 FIRST FLOOR FOUNDATION / FRAMING
SCALE: 1/2" = 1'-0"



2 FIRST FLOOR FOUNDATION / FRAMING
SCALE: 1/2" = 1'-0"



1 FIRST FLOOR FOUNDATION / FRAMING
SCALE: 1/2" = 1'-0"

213 PETRONIA STREET
 KEY WEST, FLORIDA



Bender & Associates
 ARCHITECTS P.C.

110 Angela Street
 Key West, Florida 33501
 Telephone (305) 296-1347
 Facsimile (305) 296-1722
 Florida License #A0000232

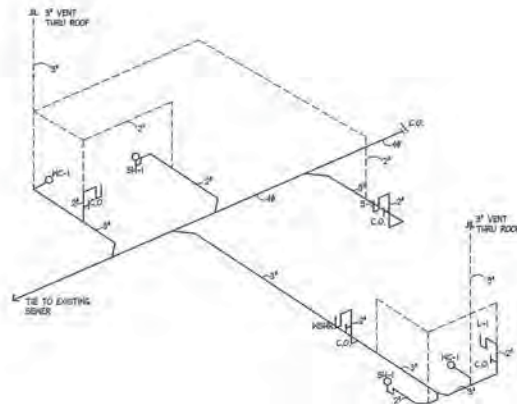
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 A6

PLUMBING GENERAL NOTES:

- UTILITIES AND SERVICES INDICATED ARE TAKEN FROM VARIOUS OLD AND NEW SURVEYS, AS-BUILT RECORDS AND FIELD INVESTIGATIONS. UNDESIRABLE CONDITIONS PROMULGED EARLY AND NEW WORK SHALL NOT BE FIELD LOCATED EXACTLY AS SHOWN ON DRAWINGS. COORDINATION WITH OTHER TRADES IN EXISTING, AS DETERMINED DURING CONSTRUCTION WILL BE NECESSARY.
- FIELD VERIFY EXISTING INSTALLATIONS. VERIFY EXISTING PLUMBING SYSTEMS WHICH ARE TO REMAIN ACTIVE, TO FACILITATE RECONNECTION AND EXTENSION OF THE NEW WORK.
- NOTIFY OWNER AT LEAST 24 HOURS PRIOR TO INTERRUPTING EXISTING SERVICE. SCHEDULE DISCONNECTION AND RE-INS TO MINIMIZE DISRUPTION OF SERVICES. SERVICES ARE NOT TO BE LEFT UNPROTECTED DURING NON-OPERATIONAL CONSTRUCTION PERIODS ACCESS.
- PLANS ARE NOT COMPLETELY TO SCALE. SOME WORKING DRAWING IS ARBITRARY AND IS NOT INTENDED TO INDICATE EXACT SIZING AND ANY ADDITIONAL OFFSETS AND FITTINGS REQUIRED FOR PROPER INSTALLATION AND TO MAINTAIN CLEARANCES. VERIFY STRUCTURAL, MECHANICAL AND ELECTRICAL INSTALLATION AND OTHER POTENTIAL OBSTRUCTIONS AND ROUTE PIPING TO AVOID INTERFERENCE.
- GENERAL PIPING ABOVE CEILING, WITHIN HALLS OR GALLEYS EXCEPT AS SPECIFICALLY NOTED.
- SLEEVE AND FIRE STOP PENETRATIONS OF RATED WALLS, FLOORS, CEILING AND ROOF.
- PROVIDE ACCESS PANELS TO ALL VALVES AND WATER METER ARRESTERS THAT CAN BE TURNED BY HAND, LOCATED WITHIN GALLEYS OR NON-ACCESSIBLE GALLEYS. REFER TO ARCHITECTURAL DRAWINGS FOR CEILING TYPES.
- ALL WATER PIPING ABOVE BUILDING SHALL BE TYPE "A" COPPER PIPE WITH AN ODS OF (NPS) 1/2" MIN.
- SCHEDULE 40 PVC PIPE & FITTINGS - ASTM D2688-86 - JOINTS - ASTM D2688-86, SOLVENT WELD JOINTS.
- ISOLATIONS SHALL BE PROVIDED FOR ALL PIPING THRU WALLS, FLOORS AND CEILING WHERE PIPING IS EXPOSED TO VIEW.
- SEE ARCHITECTURAL DRAWINGS FOR FIXTURE LOCATIONS AND FINISHING LEGENDS.
- PROVIDE AUTOMATIC TRAP PREPERS FOR FLOOR DRAIN TRAP SCALES.
- PROVIDE, WHEN REQUIRED BY CODE, BY AIR GAP SERVING INDIVIDUAL FIXTURES, DEVICES, APPLIANCES AND APPARATUS.
- SIZE AND LOCATION OF ANY REQUIRED CLEARANCES SHALL BE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE (PLUMBING), CURRENT EDITION, AND ALL JURISDICTIONAL REGULATIONS.
- ALL WALL MOUNTED LAVATORIES AND HAND WASHING FACILITIES SHALL BE ATTACHED TO A FLOOR MOUNTED CARRIER DESIGNED TO WITHSTAND A VERTICAL LOAD OF 250 POUNDS ON THE FRONT OF THE FIXTURE.
- PLUMBING CONTRACTOR SHALL PROVIDE SANITARY WASTE, VENT, DOMESTIC WATER, ETC., RANGES-1 AND TAKE FINAL CONNECTIONS (INCLUDING SUPPORTING WEIGHT INSTALLING ALL NECESSARY RELATED STOPS, VALVES, TRAPS, ETC. AND TAKE READY FOR USE) TO ALL EXISTING NUMBER FURNISHED BY THE CONTRACTOR OR FURNISHED BY OTHERS.
- ISOLATE HOT WATER PIPING WITH FACTORY FORMED, FIBERGLASS PIPE INSULATION FACTORY JOINTED EXTERIOR 1" THICK FOAM, TO PREVENT OVERHEATING, FIBERGLASS INSULATION.
- ALL COLD WATER PIPES SHALL BE INSULATED TO PREVENT CONDENSATION.

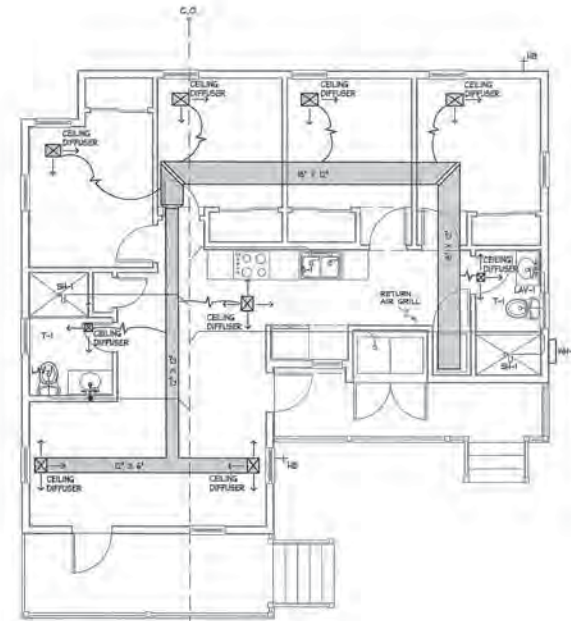
MECHANICAL GENERAL NOTES:

- All work shall comply with all applicable laws, codes, ordinances of the City, County and State.
- Registers shall be equal to "Rougher". Color shall be white, unless otherwise noted.
- The Contractor shall have the option of using sheet metal ductwork or fiberglas ductwork. Provide turning vanes in all 90 degree elbows of all ductwork from main branch to register.
- The mechanical contractor shall be responsible for verifying the adequacy of mechanical systems, equipment, ductwork and register sizes. Calculations and sizing shall be done in accordance with the latest published literature of: The American Society of Heating, Ventilating and Air Conditioning Engineers (ASHRAE) and The American Society of Mechanical Engineers (ASME).
- Whenever necessary for the proper functioning of mechanical systems, coordinate undersizing of ducts for return of air with the General Contractor.
- Coordinate installation of equipment with all other trades (i.e. electrical and electrical) to avoid interference with other equipment and systems.
- All piping & conduit penetrating slab to be sealed at elastomeric or neoprene type sealant once slab is satisfactorily cured.
- Seal of all duct register boxes & other openings directly following mesh, rough to duct mesh remain sealed until HVAC system start-up. If interior finish work (painting, etc) continues after HVAC start up, duct must be re-sealed until work is complete.
- Provide timer control for both fan.



2 PLUMBING RISER DIAGRAM
A/B NOT TO SCALE

PLUMBING FIXTURE SCHEDULE				
MARK	FIXTURE	MANUFACTURER / CATALOG NO.	FITTINGS - MANUFACTURER/CATALOG NO	REMARKS
HC-1	WATER CLOSET	K-3644-0 PERISIADE -COLOR WHITE	7/8" STANDARD FITTINGS	C.O., PLUMB 5/8"X1/2" GALVULUM
BH-1	WASHEN	K-3642-0 TERRACINA, COLOR:WHITE AT 3/4" X 3/4" (BY SEAT) (RUBBER-LIP BRUSH/RTLV-L) -	K-3644-CP, JIC-TERRA-4V, K-3644-E-CP FRYSTROMBERGER EQUIPMENT BY TRITON VALVE AND LEVER HANDLE	EQUIFFICIENT BUCKERHEAD -OR WATER REDUCTION
L-1	LAVATORY	K-3646-0-0 PARKINGTON SELF-RIPING LAVATORY, COLOR WHITE	K-7467-R-CPVC-WD-E-CP FACET BY LON FLON AERATOR POLISHED CHROME FINISH	LON FLON AERATOR
L-2	LAVATORY	K-3646-0-0-0 STAINLESS STEEL SELF-RIPING LAV. 14" X 14" X 14"	K-7467-R-CPVC-WD-E-CP FACET BY LON FLON AERATOR POLISHED CHROME FINISH	LON FLON AERATOR
BK-1	KITCHEN SINK	K-3648-0-0 LANGLADE SINK/ST DIVIDE DOUBLE EQUAL 33" X 20" SELF-RIPING, COLOR:WHITE	K-8070-TL, CROMALYS PRODUCT, K-8444-CP PASTER CUPKESHEAD	PROVIDE SPRAY AT RIGHT SIDE
T-1	TUB /SHOWER COMBO	STERLING SHOWER ALL PRO. 40" X 50" X 78" 3/4" COLOR: WHITE (MOUNTED LEFT HAND)	K-TERRA-4 LEVER HANDLE TRIM / FROD-E VALVE, K-3668 DIVERTER, K-3644-CP PASTER CUPKESHEAD	EQUIFFICIENT BUCKERHEAD -OR WATER REDUCTION
HH-1	WATER HEATER	RHEEM RTG-86K-LF LIQUID PROPANE OUTDOOR TANKLESS HEATER 8.5 GPM		8.5 GPM @ 80° F RISE OUTDOOR ONLY, 1-2 BATHROOMS
HH-2	WATER HEATER	RHEEM RTG-86V-LF LIQUID PROPANE WITH DIRECT VENT TANKLESS HEATER 8.5 GPM		8.5 GPM @ 80° F RISE INDOOR ONLY, 1-2 BATHROOMS
HH-3	WATER HEATER	RHEEM RTG-740P-RHEEM OUTDOOR TANKLESS HEATER 7.4 GPM MAX		8.5 GPM @ 80° F RISE OUTDOOR ONLY, 2-3 BATHROOMS
HH-4	WATER HEATER	RHEEM RTG-740V-RHEEM OUTDOOR TANKLESS HEATER 7.4 GPM MAX		8.5 GPM @ 80° F RISE INDOOR ONLY, 2-3 BATHROOMS



1 MECHANICAL / PLUMBING PLAN
A/B SCALE: 1/4" = 1'-0"

REVISIONS

213 PETRONIA STREET
KEY WEST - FLORIDA



410 Angela Street
Key West, Florida 33540
Telephone: (305) 386-1341
Facsimile: (305) 386-0727
Florida License: MS30002

Bender & Associates
ARCHITECTS
P.A.

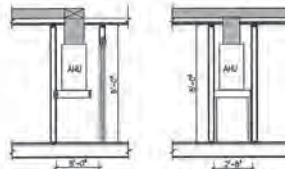
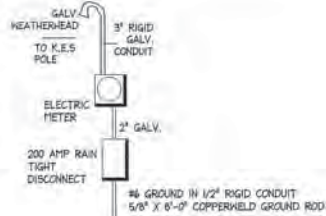
Project # 074
PREPARED
MECHANICAL AND
PLUMBING PLANS
PLUMBING FIXTURE,
PLUMBING AND
MECHANICAL NOTES
A REVISION 02/28/08
Date: 03/07

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ELECTRICAL NOTES

- All electrical work shall be performed in accordance with the National Electrical Code, Florida Building Code and/or any local codes and ordinances.
- The Electrical Contractor shall refer to the Architectural plans for exact location of all equipment. Contractor shall not scale plans.
- It is not the intent of these plans to show every detail of construction. The Electrical Contractor shall furnish and install all items as to provide a complete electrical installation with all equipment in proper working order. The Electrical Contractor shall be responsible for the full coordination of the work with that of the General Contractor.
- It shall be understood that all work performed shall be done as by a licensed Electrical Contractor and in a first class workmanlike manner.
- All electrical work and material shall be guaranteed for a period of one year or date of issue of Certificate of Occupancy.
- All power and control wiring shall be done by the Electrical Contractor.
- All panels shall have typewritten directories indicating all circuits.
- Lighting fixtures including lamps shall be provided and installed by the Electrical Contractor.
- All wires and cables shall be support except as indicated. Wires shall be #12 minimum size (control wiring shall be #14MGS). Wire sizes #10 and smaller shall be THN solid. Wire sizes #8 and larger shall be THH stranded.
- Contractor shall provide temporary power for all trades.
- Contractor shall install lighting fixtures provided by others.
- All copper water pipe shall be electrical bonded and grounded.
- Balance loads in accordance with good construction practices.
- The Electrical Contractor shall be responsible for verifying adequate circuitry and breaker sizes which are required by the Contract.
- The Contractor shall furnish and install approved hard-wired smoke detectors in accordance with the requirements of the building department having jurisdiction over this project.

ELECTRICAL RISER DIAGRAM



2 AIR HANDLER UNIT
SCALE: 1/4" = 1'-0"

ELECTRICAL SYMBOL LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
Ⓛ	DUPLEX CONVENIENCE RECEPTACLE OUTLET	⊙	CEILING POINTED LIGHT FIXTURE
Ⓛ	HEATHERPROOF DUPLEX OUTLET	⊙	RECESSED LIGHT FIXTURE
Ⓛ	GROUND FAULT INTERRUPTED DUPLEX OUTLET	⊙	HALL POINTED LIGHT FIXTURE
Ⓛ	QUADRUPLUX RECEPTACLE OUTLET	⊙	RECESSED CEILING POINTED EXHAUST FAN
Ⓛ	SPECIAL PURPOSE OUTLET - 120V	⊙	RECESSED CEILING POINTED EXHAUST FAN / LIGHT COMBINATION
Ⓛ	SPECIAL PURPOSE OUTLET - 240V	⊙	RECESSED CEILING POINTED EXHAUST FAN / LIGHT / HEATER COMBINATION
Ⓛ	SPLIT WIRE DUPLEX RECEPTACLE OUTLET W/ TOP RECEPTACLE SWITCHED	⊙	SINGLE HEAD SHAVEL FIXTURE (EXTERIOR) W/ MOTION SENSOR DEVICE
Ⓛ	FLUSH FLOOR DUPLEX OUTLET W/ COVER	⊙	TH2 HEAD SHAVEL FIXTURE (EXTERIOR)
Ⓛ	SPECIAL PURPOSE WARD WIRE CONNECTION	⊙	UNDER CABINET LIGHTS
Ⓛ	240V CONNECTION W/ DISCONNECT	⊙	FLUORESCENT CEILING FIXTURE
		⊙	HALL POINTED INCANDESCENT STRIP FIXTURE
		⊙	CEILING FAN
		⊙	CEILING FAN W/ LIGHT KIT
		⊙	MODULAR TELEPHONE JACK
		⊙	INTERCOM STATION
		⊙	CABLE TELEVISION OUTLET
		⊙	THERMOSTAT
		⊙	LOW VOLTAGE PUSH BUTTON SWITCH (DOORBELL)
		⊙	SMOKE DETECTOR

PANEL SCHEDULE

120/240 V. 180A 150 AMP MAIN							
CIRCUIT	DESCRIPTION	BKCT/POLE	LOAD WATTS (VA)	CIRCUIT	DESCRIPTION	BKCT/POLE	LOAD WATTS (VA)
1	EXTERIOR LIGHTS	20	1	2	EXTERIOR RECEPTACLES	20	1
3	LONG BODY LIGHTS 4 PANEL	20	1	4	LONG BODY RECEPTACLES	20	1
5	EXTERIOR AND DINING LIGHTS	20	1	6	KITCHEN AND DINING RECEPTACLES	20	1
7	RANGE 7.0KW (GAS)	20	1	8	REFRIGERATOR	20	1
11	RANGE HOOD	20	1	10	REFRIGERATOR	20	1
19	SMALL APPLIANCE	20	1	12	SMALL APPLIANCE	20	1
13	BEDROOMS #1 & #2 BATHROOM #1 LIGHTS	20	1	14	BEDROOMS #1 & #2 BATHROOM #2 RECEPTACLES	20	1
15	BEDROOMS #3 & #4 BATHROOM #2 LIGHTS	20	1	16	BEDROOMS #3 & #4 BATHROOM #2 RECEPTACLES	20	1
17	HOT WATER HEATER	20	1	19	SWITCH	20	1
18	HANGER	20	1	20	EXTERIOR LIGHT W/SH HOOD SHAVEL KIT	20	1
21	400 SHAVEL KIT	50	2	22		20	1
23		2	24	24		20	1
25			24	26		20	1
27			28	27		20	1
29			30	30		20	1
31			32	32		20	1
33			34	34		20	1
35			36	36		20	1
37			38	38		20	1
39			40	40		20	1
TOTAL KVA	SEE LOAD		TOTAL KVA	SEE LOAD			
LINE AMPERS DEMAND	ANALYSIS		LINE AMPERS DEMAND	ANALYSIS			

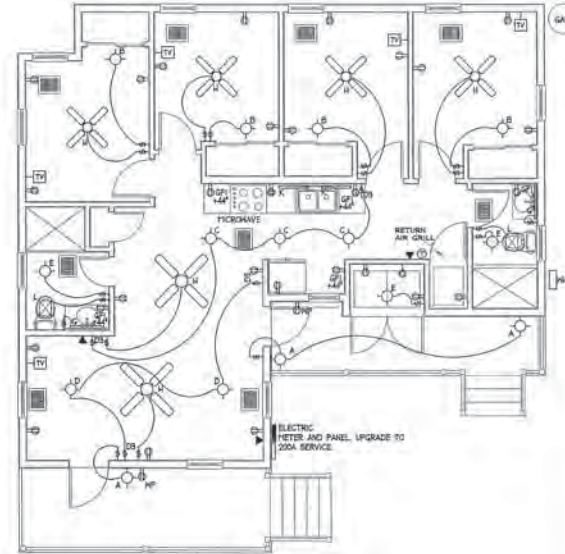
ELECTRICAL FIXTURE SCHEDULE

MARK	MANUFACTURER / CATALOG NO.	DESCRIPTION	OUNTING	LAMPS	REMARKS
A	PROGRESS LIGHTING P 7347-3025	OUTDOOR FLUORESCENT HALL SCENE	HALL POINTED	2X2 1/4" TRIPLE TUBE	OUTDOOR / HET LOCATION
B	PROGRESS LIGHTING P 7347-3025	OUTDOOR FLUORESCENT HALL SCENE	HALL POINTED	2X2 1/4" TRIPLE TUBE	OUTDOOR / HET LOCATION
C	PROGRESS LIGHTING P 83-AT 30 P304-25 TR1	RECESSED CAN WITH WHITE STRIP BAFFLE TR1	RECESSED	15 W 4-PIN QUAD OR 4-PIN TRIPLE TUBE (GAS)	
D	PROGRESS LIGHTING P 83-AT 4V P302-25 TR1	RECESSED CAN WITH WHITE HALL HANGER TR1	RECESSED	15 W 4-PIN QUAD OR 4-PIN TRIPLE TUBE (GAS)	
E	PROGRESS LIGHTING P 83-AT 4V P304-40 TR1	RECESSED CAN DROP OPAL SHOWER	RECESSED	15 W 4-PIN QUAD OR 4-PIN TRIPLE TUBE (GAS)	HET LOCATION
F	PROGRESS LIGHTING P 713-303750	QUARTERPIECE HALL SCENE WITH WHITE GLASS	HALL POINTED	2X2 1/4" THH 2-PIN COPR-FLUORESCENT	
G	PROGRESS LIGHTING P 7347-3025	FLUORESCENT BATHROOM LIGHT 25-15/16" LONG	HALL POINTED	1X4 TWO LAMPS TYPE F32T8	
H	PROGRESS LIGHTING P 300-3004	1X4 CEILING FAN W/ 6 BLADES AND 3-SPEED REVERSIBLE MOTOR/WHITE FAN AND BLADES	SURFACE POINTED		
J	PROGRESS LIGHTING P 7347-30	1X4 CEILING FAN W/ 6 BLADES AND 3-SPEED REVERSIBLE MOTOR/WHITE FAN AND BLADES	SURFACE POINTED	THE 10X LAMPS TYPE F32T8	
K	PROGRESS LIGHTING P 7022-30254B	UNDERCABINET FLUORESCENT LIGHT	SURFACE POINTED	2X2 F32T8 AND 1X4 F32T8 (W/ 3 1/2")	INTERNAL SWITCH
L	AIR KING 4200	CEILING EXHAUST FAN	RECESSED		TOYER
M	PROGRESS LIGHTING P 3025-302540	WHITE ACRYLIC DIFFUSER	SURFACE POINTED	1X4 THH 2-PIN COPR-FLUORESCENT	

NOTE: ALL LIGHT FIXTURES ARE ENERGY STAR RATED

LOAD CALCULATIONS

DWELLING AREA (SQ.FT.)	105.40 S.F.
LIGHTING 2VA / S.F. X 105.40 S.F.	3305 VA
APPLIANCE 2 X 1500 VA	3000 VA
LAUNDRY	1500 VA
SUBTOTAL (VA)	7805 VA
RANGE (GAS)	1000 VA
WATER HEATHER (GAS)	80 VA
REFRIGERATOR	1500 VA
DRYER (GAS)	1500 VA
MICROWAVE(GAS)	1200 VA
SUBTOTAL (VA)	5380 VA
TOTAL LOAD (VA)	13 205 VA
DEMAND FACTORS	
10 KM @ 100%	10 000 VA
A/C LOAD	10 290 VA
REMAINDER @ 40%, 3205 X 0.4	1 282 VA
TOTAL SERVICE LOAD	21 572 VA
	98.05 A



2 ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

213 PETRONIA STREET
KEY WEST FLORIDA

410 Angela Street
Key West, Florida 33540
Telephone (305) 338-1347
Facsimile (305) 338-5227
Florida License ABR00022

Bender & Associates
ARCHITECTS P.A.

FIGURE #1
ELECTRICAL PLAN, NOTES
LIGHTING FIXTURE SCHEDULE
ELECTRICAL FIXTURE SCHEDULE

Date: 05/02

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10 OF 14



10 Angela Street
Key West, Florida 33040
Telephone (305) 296-1347
Facsimile (305) 296-0707
Florida License AC002332

Bender & Associates
ARCHITECTS
P.L.L.C.

Project # 074
GREEN COMMUNITY CHECKLIST

Green Communities Criteria Checklist		Maximum Points
1	Green Development Plans Submit to review and approval prior to final design plans with a 30-day comment period. Submit a detailed green design report.	10
2	Location and Neighborhood Factors	
2.1	Smart Site Location: Proximity to Existing Development Locate on site with access to existing roads, utility services and other infrastructure within an 1/4 mile of existing development.	10
2.2	Smart Site Location: Proximity to Environmental Resources Do not locate in environmentally sensitive areas (100 feet of wetlands, 100 feet of a riparian habitat, or any other sensitive area).	10
2.3	Smart Site Location: Proximity to Services/Basic Connectivity Locate projects within a 1/4 mile of bus lines or 1 mile of a local fire, police and other services.	10
3	Compact Development Achieve a minimum density of 10 units per acre (or 10,000 sq ft per acre) for residential projects, 15 for commercial, and 20 for industrial.	10
4	Walkable Neighborhoods, Sidewalks and Pathways Provide a network of walkable paths, streets, and pedestrian paths, or other means of pedestrian access to public transit, open spaces and other services.	10
5	Smart Site Location: Make Use of Passive Solar Heating/Cooling Orient building to make the greatest use of passive solar heating and cooling.	10
6	Smart Site Location: Oriented, Grouped or Adaptive Reuse Site Locate the project on a previously developed or adaptive reuse site.	10
7	Compact Development Increase the number of units per acre (or units per acre) for residential projects, 15 for commercial, and 20 for industrial.	10
8	Walkable Neighborhoods: Connections to Surrounding Neighborhoods Provide direct access to public transit, open spaces and other services.	10
9	Transportation Choices Provide a secure, safe, and convenient public transit service, a walk route to transit, and a secure, safe, and convenient bike route.	10
10	Environmental Remediation Conduct a Phase I Environmental Site Assessment and provide a plan for remediation if needed.	10
11	Water and Wastewater Control Comply with all applicable codes, standards and regulations for water and wastewater control.	10
12	Landscaping Install native, drought-tolerant plants and trees, and use a drip and mulch irrigation system to conserve water.	10

13	Surface Water Management Capture the first 1 inch of rainfall that falls in a 24-hour period.	5
14	Storm Drain Limits Label all storm drains or storm inlets to clearly indicate where the drain or inlet leads.	5
15	Water Conservation	
15.1	Water Conserving Fixtures: New Construction Install water-conserving fixtures with the following specifications: toilets - 1.6 gallons per flush (gpf) or less; showers - 2.0 gpf; kitchen faucets - 2.0 gpf; bidets - 1.2 gpf.	10
15.2	Water Conserving Fixtures: Moderate Rehab Install water-conserving fixtures with the following specifications for toilets and showers: toilets - 1.6 gallons per flush (gpf) or less; showers - 2.0 gpf; bidets - 1.2 gpf.	10
16	Efficient Irrigation All irrigation is automatic, uses recycled grey water, and is installed with a rain sensor or an irrigation system that will deliver up to 60 percent of the water applied.	10
17	Energy Efficiency	
17.1	Efficient Energy Use: New Construction Meet Energy Star standards.	10
17.2	Efficient Energy Use: Moderate Rehab Perform an energy audit of existing building conditions, estimate costs of improvements, make those with a 10-year or shorter payback.	10
17.3	Energy Star Appliances If providing appliances, install Energy Star-rated appliances.	10
17.4	Efficient Light: Interior Install Energy Star-labeled lighting fixtures in all interior walls and use Energy Star or high-efficiency compact fluorescent in all common areas.	10
17.5	Efficient Light: Exterior Install Energy Star-labeled exterior lighting fixtures in all outdoor lighting.	10
17.6	Electric Meter Install individual or sub-metered electric service.	10
17.7	Additional Reductions in Energy Use: New Construction Exceed Energy Star standards.	10
17.8	Additional Reductions in Energy Use: Moderate Rehab Provide the same energy improvement report and recommendations required in Item 17.7, but extend the maximum payback period to 18 years.	10
18	Photovoltaic (PV) Panels Install PV panels to provide at least 10 percent of the project's estimated electricity usage.	15
19	Photovoltaic (PV) Ready Site, design, engineer and wire the development to accommodate installation of PV in the future.	3
20	Water Reclamation for the Environment	
20.1	Construction Waste Management Develop and implement a construction waste management plan to reduce the amount of material sent to the landfill.	5
20.2	Recycled Content Materials Use materials with recycled content; provide calculation for recycled content percentages based on total value of recycled content in relation to total materials for project.	14

21	Curtain, Salvaged and Engineered Wood Use at least 50 percent by cost or actual wood products and materials that are recycled in accordance with the Forest Stewardship Council, salvaged wood, or engineered logging materials.	10
22	Water-Permeable Walkways Use water-permeable materials in 50 percent or more of walkways.	5
23	Water-Permeable Parking Areas Use water-permeable materials in 50 percent or more of paved parking areas.	10
24	Reduce Heat-Absorbed Effects: Roofing Use Energy Star-compliant and high-albedo roofing (white, light or "green," vegetated) roof for at least 60 percent of the roof area, or a combination of high-albedo and vegetated roof covering 75 percent of the roof area.	5
25	Reduce Heat-Absorbed Effects: Paving Use light-colored/high-albedo materials and/or an open grid pavement with a minimum Color Reflectance Index of 0.8 over at least 50 percent of the site's parking area.	5
26	Low Volatile Organic Compounds (VOC) Paints and Primers Specify that all interior paints will prevent each contain low or no VOC.	10
27	Low VOC Adhesives and Sealants Specify that all adhesives and sealants must contain low or no VOC.	10
28	Recycled Composite Wood Do not use any composite wood that has exposed particulate (white) residue unless it is encapsulated, unless the exposed area has been sealed.	10
29	Green Label Certified Floor Covering Do not install carpet in bedrooms, nurseries, family rooms, hallways or kitchens. To reduce carpet, use the Carpet and Rug Institute's Green Label certified carpet and pad.	10
30	Exhaust Fans - Bathroom: New Construction Install Energy Star-labeled bathroom fans that exhaust to the outdoors which have a manufacturer's label or listing, as specified on the drawing.	10
31	Exhaust Fans - Kitchen: New Construction Install Energy Star-labeled power-vented fans or range hood that exhaust to the outdoors.	10
32	Ventilation: New Construction Install a mechanical system for the dwelling that provides 15 cubic feet per minute of fresh air per occupant.	10
33	HVAC Sizing Use loading and cooling equipment in accordance with the Air Conditioning Contractors of America Manual, Part 2 and 5.	10
34	Water Heaters: Heat Preservation Use tankless hot water heaters or install conventional hot water heaters in rooms with tanks or tanks placed to the exterior of the dwelling with hot-water insulation (see drawing).	10
35	Water Heaters: Monitoring CO Specify direct vented or combustion and/or water heaters if the heater is located in a confined space.	5
36	Cool Water Pipe Insulation Insulate exposed cold water pipes in climates and building conditions susceptible to moisture condensation.	10
37	Ventilation: New Construction In wet areas, use materials that have mold-, durable, moisture-resistant. Do not use mold-generating materials such as wood wallpaper and oriented strand.	10

38	Maintain in Wet Areas: Tub and Shower Enclosure Use one-piece fiberglass or similar enclosure or, if using two types of separate materials, use backing materials such as cement board, fiber cement board, blue board, reinforced board or cement plaster.	10
39	Basements and Concrete Slabs: Vapor Barrier Provide vapor barrier and a 1/2 inch thick gravel for a moisture break under all slabs.	10
40	Basements and Concrete Slabs - Radon: New Construction In EPA Zone 1 areas, install passive radon-resistant features before the slab-pour with a vertical vent pipe with backflow valve installed, if an active system cannot be installed.	10
41	Water Drainage Provide drainage of water to the lowest level of concrete away from windows, walls and foundations. Penetration seals should be carefully waterproofed in the window to avoid moisture intrusion.	10
42	Garage Isolation Provide a sealant air barrier between the conditioned living space and any unconditioned garage space. In single-family houses with attached garages, install a CO detector inside the house or the wall that is adjacent to the garage or to isolate the detector area.	10
43	Chiller-Dryer Exhaust Chiller-dryers must be exhausted directly to the outdoors.	10
44	Integrated Pest Management Seal all wall, floor and joint penetrations to prevent pest entry. Provide insect and rodent proof screens (e.g., copper or stainless steel mesh) for large openings.	10
45	Lead-Safe Work Practices For projects with lead-based (Pb), use lead-safe work practices during renovation, remodeling, painting and finishing.	10
46	Healthy Flooring Materials: Alternative Sources Use one-third, one-quarter floor covering in all rooms.	5
47	Healthy Flooring Materials: Reducing Dust Install a whole-house vacuum system with high-efficiency particulate air (HEPA) filtration.	5
48	Operations and Maintenance	
48.1	Building Maintenance Manual for Owner Provide a manual that includes the following: a maintenance plan (instructions for all equipment, HVAC operation, water-control details, building equipment and other systems that are part of such occupancy with an occupancy manual plus that describes in detail the process of educating the tenant about proper use and maintenance of all building systems and information on how to maintain the green features of the site; building and site maps and landscaping.	10
48.2	Occupant's Manual Provide a guide for homeowners and tenants that explains the intent, benefits, use and maintenance of green building features, and encourages additional green activities such as recycling, gardening and use of healthy building materials.	10
48.3	Performance and New Resident Orientation Provide a guide through and information in this document to new residents that reviews the building's green features, operations and maintenance.	10

NOTE: THE CHECKLISTS ON THIS SHEET CONSIST OF GUIDELINES FOR IMPROVED ENERGY EFFICIENCY AND ENVIRONMENTAL STANDARDS FOR RESIDENTIAL PROJECTS. THIS WORK IS NOT PART OF THE SCOPE OF WORK, BUT IS HIGHLY RECOMMENDED.

Florida Green Building, Inc.

Florida Green Home Standard Checklist Schedule A, Version 5.01 July, 2007 - July, 2008

NEW HOME REQUIREMENTS: Select measures to obtain the minimum number of points listed for each category. The sum of the minimum totals is 97 points. Accumulate at least an additional 20 points of your choice to qualify for the program. If any category minimums cannot be achieved, point deficiencies may be made up by adding the deficiency to the total minimum score of 100.

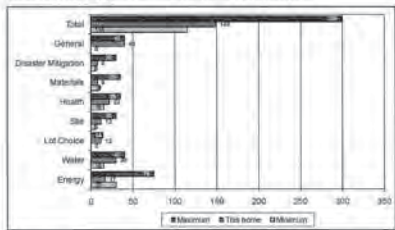


Table with 3 columns: Measure ID, Measure Name, and Points. Includes categories like Disaster Mitigation, Materials, Health, Site, Lot Choice, Water, Energy, and Green Building.

Table with 3 columns: Measure ID, Measure Name, and Points. Includes categories like Green Building, Energy, Water, and Health.

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REVISED

213 PETRONIA STREET KEY WEST FLORIDA

410 Angela Street Key West, Florida 33948 Telephone (305) 296-1343 Fax (305) 296-1377 Florida License AIC900522

Bender & Associates ARCHITECTS P.C.

Point # 074 GREEN HOME CHECKLIST

REVISION

Date 05/12

A11 0 OF 34

NOTE: THE CHECKLISTS ON THIS SHEET CONSIST OF GUIDELINES FOR IMPROVED ENERGY EFFICIENCY AND ENVIRONMENTAL STANDARDS FOR RESIDENTIAL PROJECTS. THIS WORK IS NOT PART OF THE SCOPE OF WORK, BUT IS HIGHLY RECOMMENDED.

DIVISION 1 - GENERAL REQUIREMENTS

The general conditions of the Contract, for Construction, All Documents, are a part of this project. Contractors who are not familiar with the documents may obtain copies from the Architect, or the office of the American Institute of Architects, Miami, Florida.

All work shall be in strict accordance with the Florida Building Code, latest edition, and all applicable laws, codes, and provisions of the City, County, State, utility companies and any other governing agencies.

The Contractor shall include all material, equipment, tools, labor and services necessary for the completion of the project. The Owner has the right to, and expects all work to be completed as expeditiously as possible.

The Contractor shall procure and pay for all necessary building permits and for inspection services of local authorities where required by law. Meter and impact fees will be paid by the Owner.

Heavily all utility companies prior to excavation for location of underground utilities, and/or protection or removal of overhead utility lines and poles.

Provide safety barriers, signage, fences, etc., as required for the safe execution of the work and compliance with local laws.

The observation of the Contract shall be done by the person listed in the Contract agreement as the Architect. In the case that no observation by the Architect is provided in the Contract, the function of the Architect, wherever called for in the Specifications, shall be executed by the Owner.

Provide temporary services and utilities: 1.3.1. Water (public and non-public), 1.3.2. Sewer (sanitary), 1.3.3. Storm (sanitary), 1.3.4. Electric, 1.3.5. Telephone.

1.3.6.2. Installation work existing electric and water meters will remain available throughout the work, with periods of shut-off as indicated on the utility contract. 1.3.6.3. Utility bills shall be paid by the Contractor.

1.4. Storage and Labor: 1.4.1. Submit samples to the Architect for approval of color where required. 1.4.2. All work shall be performed in the best and most professional manner by mechanics skilled in their respective trades.

1.4.3. Where brand names or manufacturers names appear, they are used to establish a quality of material and/or service. Substitutions will be approved by the Architect. If, in the judgment, they are not of equal quality or performance, they shall be approved by the Architect.

1.4.4. All trades shall guarantee all work to be free of defects in materials or workmanship for a period of one (1) year from the date of final acceptance. This is an individual warranty covering and is valid for a longer period of time if the manufacturer's warranty requires such in these specifications.

1.4.5. Apply, install, connect, erect, clean, coat, and seal all miscellaneous articles in accordance with the manufacturer's instructions and as shown on the drawings. Provide Owner with all guarantees and maintenance manuals for all appliances and pieces of equipment installed as a part of the work.

1.5. Performance: 1.5.1. By submitting a bid, the bidder agrees and warrants that he has examined the drawings and specifications and found that they are adequate for the proper completion of the project. 1.5.2. No claim for any extra charges will be allowed on account of alleged impossibilities due to inadequate drawings or specifications.

1.5.3. The Contractor shall be responsible for verifying field measurements before ordering materials and production of any necessary adjustments between field measurements and drawings shall be made up per the discretion of the Architect.

1.6. Payment: 1.6.1. Immediately after execution of the Contract, the Contractor shall submit for approval a breakdown of the Contract sum. 1.6.2. Unless mutually agreed otherwise in the Contract Agreement, the Contractor shall receive payments monthly based on AIA Document G-702/G-703 for progress applications.

1.6.3. Unless mutually agreed otherwise in the Contract Agreement, the Contractor shall receive payments monthly based on AIA Document G-702/G-703 and the retention in accordance with the approved schedule.

1.7. Insurance: 1.7.1. The Contractor shall carry Minimum Compensation Insurance to the extent required by law and shall maintain such insurance in full throughout the entire term of this contract. 1.7.2. The Contractor shall carry Comprehensive General and Automotive Liability Insurance of \$100,000 (minimum) and Property Damage Insurance of \$50,000 (minimum).

1.8. Completion: 1.8.1. All work shall be substantially completed at a time stipulated in the Contract Agreement or in time extension for activities listed in it. 1.8.2. A building or any other work shall be considered substantially completed when ninety-five percent (95%) of the work is done and the building is ready for occupancy or the premises for use.

DIVISION 2 - SITE WORK: 2.1. Foundation, excavation, filling and back filling, base course for building slabs and sidewalks, finish grading, and drainage. 2.2. Related Work Specified Elsewhere: Concrete, masonry, masonry preparation.

1. Demolition: 1.1. Demolition shall be as indicated on the drawings. 1.2. Demolition shall require equipment well in excess of the approximate utility companies. Notify utility companies of the start of construction of work to remove or relocate.

2. Excavation: 2.1. Excavate for footings, slabs, etc., as indicated on the drawings and as required for completion of the project. 2.2. All work shall be done in a safe and cautious manner in order to avoid accidents and property damage. The Contractor shall repair or replace property damaged during this or any other phase of the work.

3. Filling and Backfilling: 3.1. Fill all areas as indicated in the drawings or as recommended in the normal course of the work. 3.2. Sloped areas adjacent foundations and slabs shall be finished with free of organic materials or debris. Care shall be taken not to damage underground utilities, conduits, foundations, etc. 3.3. Utility trenches shall be proper width for laying pipe. Utility shafts break or change in direction. Channels shall be removed and replaced with approved materials. 3.4. Channels at least 18" in width of existing manhole diameter in 12" lifts. 3.5. Excavated materials not suitable or required for back filling shall be redistributed in piles or removed, as directed by the Architect.

4. Backfilling for Slabs and Footings: 4.1. Aggregate backfilling shall be 1/2" or less in size uniformly distributed with coarse and fines. Aggregate base shall conform to the following requirements: (See Data)

3.2. All aggregate base courses shall be 4" minimum thickness unless otherwise specified.

3.3. Provide #4 rebar matting adjacent to aggregate base unless otherwise indicated on grade.

7. Finish Grading: 7.1. Slope of all grades shall conform to the following: 7.2. All grades shall be finished in uniform slopes, free from ridges and ripples. 7.3. Asphalt concrete grades.

8. Typical S-5 segment, per D.O.T. specifications. 8.1. Typical S-5 segment, per D.O.T. specifications. 8.2. Typical S-5 segment, per D.O.T. specifications. 8.3. Typical S-5 segment, per D.O.T. specifications.

DIVISION 3 - CONCRETE: 3.1. Scope: Complete installation of plans and related concrete work at all sites including foundations, walls, slabs on grade, precast floor slabs, and other concrete work to complete the project as shown on drawings and called for in these specifications. Forming and installing all reinforcing steel, installed wire fabric, dowels, concrete, etc., as indicated on drawings and otherwise required by the work. Installing items listed into concrete slab formed by others. Including items necessary to fabricate and hold reinforcement in place.

2. Related Work Specified Elsewhere: Forming, rebar, and backfilling, slabs and sidewalks.

3. Materials: 3.1. The Contractor shall submit samples of materials for approval to the Architect as called for. 3.2. All materials shall be delivered bearing the manufacturer's name and brand. 3.3. All materials shall be delivered bearing the manufacturer's name and brand. 3.4. All materials shall be delivered bearing the manufacturer's name and brand.

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