

**THE CITY OF KEY WEST
PLANNING BOARD
Staff Report**



To: Chair and Planning Board members

From: Melissa Paul-Leto, Planner analyst

Through: Thaddeus Cohen, Planning Director

Meeting Date: July 21, 2016

Agenda Item: **Major Development Plan and Landscape Waiver – 2700-2706 Flagler Avenue (RE # 00065090-000000, AK # 1065617)** – A request for a Major Development Plan and Landscape Modification / Waiver approval for the construction of 37 deed restricted apartments with the goal to provide a therapeutic housing environment available for individuals who are employed and to help residents sustain stable residency, a commissary kitchen, an office area, a new parking lot, storm water systems and landscaping on property located within the Public and Semipublic Services (PS) Zoning District.

Request: Major development plan and landscape modification / waiver approvals to construct 37 deed restricted apartments, a commissary kitchen, and an office area with new parking lot, new storm water systems and landscaping.

Applicant: Barbara Mitchell and Bill Horn

Property Owner: Carroll Coleman and Diocese of Miami, Catholic Charities

Location: 2700-2706 Flagler Avenue (RE # 00065090-000000, AK # 1065617)

Zoning: Public and Semipublic Services (PS) Zoning District



Background:

The existing property consists of the following structures: 1 one story frame structure, 1 one story concrete block structure, 1 one story frame structure on concrete columns, one shade structure and 4 miscellaneous sheds. The Catholic Charities at St. Bede’s Village currently operates 2 services on the property. One service involves housing involving two structures on site; one structure contains ten apartments that house low-income elderly or disabled residents and the second structure provides dormitory style space for a housing program for men. The second service on the property is Saint Mary’s Soup Kitchen. Saint Mary’s Soup kitchen provides one hot meal per day on-site from 4 to 5 p.m... Additionally, there are office spaces as well as meeting rooms utilized by the participants/residents onsite.

In November 2003, Resolution No. 2003-39 was granted for the ten 354 square feet low-income apartments to house elderly or disabled residents. In 2004, The City awarded the property owner Building Permit Allocations to construct a group home building. The applicant was awarded 29 affordable BPAS units as part of the Year 1 BPAS allocation. The allocations were awarded for the proposed construction of Building B through E. On March 17, 2016, Resolution No. 2016-16 awarded Catholic Charities an additional 0.80 BPAS allocations in order to construct Building F.

The proposed development is comprised of six modular structures. Five of these buildings (B, C, D and F) will contain the residential units and the sixth building (G) will contain the office and meeting rooms as well as the commissary kitchen. Thirty (30) vehicular parking spaces will be provided, including two (2) ADA van-accessible spaces, twelve (12) bicycle parking spaces and eight (8) scooter parking spaces.

Process:

Development Review Committee (DRC):	October 22, 2015
Preliminary Tree Commission:	December 8, 2015 (received approval)
Planning Board:	July 21, 2016
Final Tree Commission:	pending
City Commission:	pending
DEO review	Up to 45 days, following local appeal period

Surrounding Zoning and Uses:

Surrounding properties are located within the C-TW Tidal Wetlands of the State and the Single Family (SF) Zoning Districts. Surrounding uses include multi-family residential to the north, some single family residential homes next to Grace Lutheran Church and School to the west, Peace Covenant Presbyterian Congregation to the south, and some single family residential homes to the east. Zoning districts within 300 feet of the property are C-TW and SF

Evaluation for Compliance with the Land Development Regulations (LDRs) and Comprehensive Plan

City Code Section 108-91.B.2. (a) Requires the reconstruction of five or more residential units to be reviewed as a Major Development Plan. City Code Section 108-196(a) states after reviewing a Major Development Plan or a Minor Development Plan for a property and staff recommendations therefor, the Planning Board shall act by resolution to approve, approve with

conditions, or disapprove it based on specific development review criteria contained in the LDRs and the intent of the LDRs and comprehensive plan. The Planning Board resolution shall provide written comments documenting any conditions of approval that the Planning Board finds necessary to effectuate the purpose of Development Plan review and carry out the spirit and purpose of the Comprehensive Plan and the LDRs. If the Development Plan is recommended for disapproval, the Planning Board resolution shall specify in writing the reasons for recommending such denial. The Planning Board's decision on a Major Development Plan outside the historic district shall be advisory to the City Commission.

Planning staff, as required by Chapter 108 of the City LDRs, has reviewed the following for compliance with the City's LDRs and Comprehensive Plan as summarized in the following table.

Project Data Summary				
Dimensional Requirement	Required/ Allowed	Existing	Proposed	Change / Variance Required?
Zoning District	PS			
Flood Zone	AE +8.0			
Site size	215,083 SF; 4.93 acres			
Maximum density	Not applicable			Not applicable
Maximum floor area ratio	.8	.12 Total F.A.R.	0.226 F.A.R Principle Use 0.026 F.A.R. Accessory Use 0.252 Total F.A.R.	In compliance
Maximum height	25 feet	17 feet and 7 inches (10 unit building)	23.75 feet	In compliance
Maximum building coverage	40%	13,180 square feet 12%	32,508 square feet 29.5%	In compliance
Maximum impervious surface	60%	32.8% 38,309 square feet	46.4% 50,985 square feet	In compliance
Minimum lot size	5,000 SF	Total Lot Area: 215,083 Square feet Upland Area: 109,797 square feet Wetland Area: 105,286 square feet	Total Lot Area: 215,083 Square feet Upland Area: 109,797 square feet Wetland Area: 105,286 square feet	In compliance
Minimum lot width	50 feet	557.21 linear feet	557.21 linear feet	In compliance
Minimum lot depth	100 feet	336.0 linear feet	336.0 linear feet	In compliance
Minimum front setback	20 feet	11 feet 9 inches (Measured from the existing little house)	20 feet	In compliance

Project Data Summary				
Dimensional Requirement	Required/ Allowed	Existing	Proposed	Change / Variance Required?
Minimum side setback (West)	15 feet	1 foot and 6 inches (The existing garage is over the property line)	15 feet and 4 inches	In compliance
Minimum rear setback (Wetlands)	15 feet	176 feet and 11 inches (As measured from the Open Building to the rear property line)	15 feet	In compliance
Minimum street side setback (East)	15 feet	361 feet and 3 inches (As measured from the Open Building to the east property line)	16 feet and 7 inches	In compliance
Minimum vehicular parking	1 space per 2 unit (beds) = 18 spaces required	1 vehicular parking space per 4 units 10 units/4 = 2.5 spaces	1 vehicular parking space per 2 units (beds) $37/2=18.5$ spaces	In compliance
Minimum handicap parking	2 spaces per parking exceeding 26 yet within 50 parking spaces.	1 van- assessable space	2 van-accessible spaces	In compliance
Minimum Bicycle parking	35% of vehicular spaces = 7.5 or 8 spaces	35% of the 2.5= 0.87 or 1	35% of 18.5 = 6.5 28 spaces (+8 Scooter spaces)	In compliance
Minimum Open space	35% 38,429 square feet	67.2% 71,488 square feet	53.5% 58,812 square feet	In compliance
Landscaping	20% Minimum 21,959 square feet	67.2% 71,488 square feet	53.5% 58,812 square feet	In compliance

Concurrency Facilities and Other Utilities or Services (City Code Section 108-233)

Comprehensive Plan Objective 9-1.5 directs the City to ensure that public facilities and services needed to support development are available concurrent with the impacts of new development. The analysis considers potable water, sanitary sewer, solid waste, drainage, vehicle trip generation and recreation. City Code Section 94-36 requires a concurrency review determination to be made concerning the proposed development. The Applicant provided a concurrency analysis as part of the Major Development Plan application. Staff reviewed the provided concurrency analysis following the criteria in City Code Section 94-36 and determines that public facilities are expected to accommodate the proposed development at the adopted level of service (LOS) standards. This portion of the report shall serve as the required written determination of compliance.

1. Potable water supply

The potable water LOS standard for nonresidential uses is 650 gallons per acre per day, pursuant to City Code Section 94-68. The land area would remain the same and the floor area would increase. Utilizing this LOS standard, potable water demand is estimated as follows:

Based on total acres of land area: 650 gal/acre/day x 4.93 acres = 3,204 gal/day

Based on total acres of floor area: 650 gal/acre/day x 0.252 acres = 163.8 gal/day

Therefore, the adopted potable water LOS standard is anticipated to be adequate to serve the proposed development. The property is currently serviced with potable water by the Florida Keys Aqueduct Authority (FKAA), which has been notified of the upcoming development and has available capacity to service the proposed development with the existing infrastructure currently in place.

2. Wastewater management

The sanitary sewer LOS standard for nonresidential uses is 660 gallons per acre per day, pursuant to City Code Section 94-67. The land area would remain the same and the floor area would increase. Utilizing this LOS standard, sanitary sewer capacity demand is estimated as follows:

Based on total acres of land area: 660 gal/acre/day x 4.93 acres = 3,253 gal/day

Based on total acres of floor area: 660 gal/acre/day x 0.252 acres = 166.32 gal/day

Therefore, the adopted sanitary sewer capacity LOS standard is anticipated to be adequate to serve the proposed development.

3. Water quality

The property is served by the City's central sewer system. The adjacent wetlands has been cleaned in accordance with a Building Permit issued earlier this year. The proposed storm water plan shall contain the expected runoff on site. Construction fencing and perimeter swales shall be installed during construction to avoid impact to adjacent properties.

4. Stormwater management / drainage

The stormwater management or drainage LOS standard pursuant to City Code Section 94-69 is: i) post-development runoff shall not exceed predevelopment runoff for a 25-year storm event, up to and including an event with a 24-hour duration; ii) onsite treatment of the first one inch of rainfall must be provided to meet water quality standards; and iii) storm water facilities must be designed so as to not degrade any receiving water body.

A Storm Water Management Plan prepared by Perez Engineering, dated August 26, 2015 has been submitted. The plan indicates that a full stormwater management system would be installed. The containment systems shall remove the existing overflow drainage that currently enters the mangrove area and total impervious area would be reduced. Stormwater would be retained on-site through additional exfiltration trenches and vegetated swales. Therefore, no adverse impacts to stormwater management or drainage facilities are anticipated.

5. Solid waste

The solid waste LOS standard for nonresidential uses is 6.37 pounds per capita per day, pursuant to City Code Section 94-71. The proposed development is anticipated to have seven employees. Utilizing this LOS standard, the demand for solid waste collection and disposal capacity is estimated as follows:

Proposed development: $6.37 \text{ lb./capita/day} \times 5 \text{ employees} = 31.85 \text{ lbs. /day}$

According to the City's General Services Division, the contract with Waste Management (WM) accounts for a 20 year "window" for waste processing at the Wheelabrator Waste-to-Energy site. There are other facilities in South Florida also owned by WM for continued use into the future. Therefore, the adopted solid waste LOS standard is anticipated to be adequate to serve the proposed development.

6. Roadways

The roadway LOS standard is set forth in City Code Section 94-72. Flagler Avenue is classified as a local road with a LOS standard of C. According to the 2011 Carrying Capacity Study, Flagler Avenue has an existing LOS of C. The proposed development will increase the number of dwelling units/rooms and trip generation is expected to change, therefore, a traffic study was required. A Traffic Analysis was prepared by KBP Consulting. According to the analysis, the traffic impact shall be minimal due to the fact that most residents will travel to and from the site by bicycle or use public transportation. The proposed development is not anticipated to negatively affect the adopted LOS standard.

7. Recreation

The recreation LOS standard is five acres of recreation and open space per 1,000 permanent residents pursuant to City Code Section 94-70. According to the 2013 Comprehensive Plan Data and Analysis, the City is currently providing ample recreation and open space. The proposed development is residential in nature. Currently, 21 individuals reside at the property. There will be an additional 16 residents with a total of 37 individuals residing on the site. There will be minimal impact on the adopted recreation LOS standard.

8. Fire Protection

A life safety plan was submitted and approved by the Fire Department.

9. Reclaimed water system

Reclaimed water use will be used through the use of the 12 cisterns.

10. Other public facilities

Based on comments received from the DRC members, and based on the Applicant's concurrency analysis, all public facilities would be expected to accommodate the proposed development at the adopted LOS standards.

Appearance, design and compatibility (City Code Section 108-234)

The development plan shall satisfy criteria established in:

City Code Chapter 102 (historic preservation)

The property is located within the Public and Semipublic Services (PS) Zoning District. There is no need to obtain a Certificate of Appropriateness from the Historic Architectural Review Commission (HARC).

Articles III (site plan), IV (traffic impacts) and V (open space, screening and buffers) of City Code Chapter 108 (planning and development)

The proposed site plan is analyzed in greater detail below. Although a traffic study was required due to the increase of residential units, traffic impacts were found to be in compliance in the concurrency determination above. The open space provided would decrease, new landscaping is proposed. However, landscape modifications and waivers are requested as part of the development plan review.

City Code Section 108-956 (potable water and wastewater)

Potable water and wastewater were found to be in compliance in the concurrency determination above.

Article II (archaeological resources) of City Code Chapter 110 (resource protection)

There are no known archaeological resources on the property. If any archeological resources are discovered during construction, the Applicant would be required to comply with this article of the LDRs.

Site location and character of use (City Code Section 108-235)

- (a) *Compliance.* The submitted development plan has been reviewed for compliance with all applicable performance criteria set forth in Code Chapter 94 (concurrency management), Code Chapter 102 (historic preservation), Code Chapter 106 (performance standards), Articles I and III through IX of Code Chapter 108 (planning and development), Code Chapter 110 (resource protection) and Code Chapter 114 (signs).
- (b) *Vicinity map.* The property is situated at the southerly right of way line of Flagler Avenue and Venetian Drive. Location maps are indicated on Sheet A-0.1 and the survey.
- (c) *Land use compatibility.* Properties within 100 feet are located within the C-TW Tidal Wetlands of the State and the Single Family (SF) Zoning Districts. Surrounding uses include

multi-family residential to the north, some single family residential homes next to Grace Lutheran Church and School to the west, Peace Covenant Presbyterian Congregation to the south, and single family residential homes to the east. Zoning districts within 300 feet of the property are C-TW and SF. No unincorporated parts of the county are located nearby, nor would any be impacted by the proposed development.

(d) *Historic and archeological resource protection.* The project is not impacting on any archaeological and historic resources.

(e) *Subdivision of land.* No subdivision of land is proposed.

Appearance of site and structures (City Code Section 108-236)

The Applicant submitted a development plan that generally exhibits harmonious overall design characteristics in compliance with the performance standards stipulated in Code Sections 108-278 through 108-288, as analyzed below.

Site plan (City Code Section 108-237)

The Applicant submitted a site plan pursuant to City Code Section 108-237, which is analyzed in greater detail below.

Architectural drawings (City Code Section 108-238)

The Applicant submitted architectural drawings prepared by a professional architect registered in Florida pursuant to City Code Section 108-238.

Site amenities (City Code Section 108-239)

Proposed site amenities include landscaped walkways to and from each residential structure and an area reserved for a future community garden for the residents. The 1% Art in Public Places is required for the major development plan. The applicant must provide a written agreement to Arts in Public Places expressing their intention to install public art on the property or pay in lieu.

Site survey (City Code Section 108-240)

The Applicant submitted a site survey pursuant to City Code Section 108-240.

Soil survey (City Code Section 108-241)

Not applicable.

Environmentally sensitive areas (City Code Section 108-242)

The site is located in the AE Flood Zone, elevation 8. Pursuant to ERP process, a map of the existing conditions has been included in the Planning Board Package.

Land clearing, excavation and fill, tree protection, landscaping and irrigation plan (City Code Section 108-243)

(a) *Land clearing, excavation and fill.* All existing development would be demolished

(b) *Tree protection.* The native vegetation will remain on-site with the exception of one mahogany tree as well as an existing stand of Australian Pines (*Casuarina equisetifolia*) that shall be removed. City's Urban Forestry Manager and the Tree Commission are reviewing the proposed tree removal and landscape plans.

- (c) *Landscaping plan.* The submitted Conceptual Landscape Plan provides the location of existing trees. Those trees shall be protected during construction with tree fences. However, full compliance with all landscape buffer requirements of the LDRs is not proposed. Modifications and waivers are requested as part of this application to the width of the Flagler Avenue street buffer due to the location of the proposed parking lot.
- (d) *Irrigation plan.* An Irrigation Plan has been submitted by Mitchell Planning & Design, Inc., see LA-03 as part of the Landscape Plan Package.

On-site and off-site parking and vehicular, bicycle, and pedestrian circulation (City Code Section 108-244)

The proposed parking lot is located adjacent to Flagler Avenue and proposes one ingress /egress points. This is an improvement over the existing conditions where the access to the site is ill defined. This design considers the maneuverability required for the waste contractor to access the garbage area. The parking plan provides 30 on-site parking spaces of which two are ADA-accessible spaces, as well as 28 bike and 8 scooter parking spaces.

There is existing bicycle parking on the property. The proposed development calls for twenty eight bicycle parking spaces. Vehicular and bicycle circulation would be provided by two one-way driveways both off of Flagler Avenue.

No loading space is proposed because the applicant states that there is no need for large trucks to make deliveries to the property, as this property is more a residential community. The proposed parking lot has proper circulation for the occasional UPS or FEDEX trucks as well as Garbage trucks.

Housing (City Code Section 108-245)

This is an affordable, deed restricted community that is managed through Catholic Charities. The proposed 37 units are single room occupancy and restricted to one resident per unit. These will be long-term rental units and comply with the requirements of the City's affordable housing deed restriction regulations.

Economic resources (City Code Section 108-246)

There will be no increase to the AD Valorem taxes as this site is Tax Exempt. Non-ad Valoram Assessment include Key West Storm Water and Solid Waste, an increase is anticipated in these taxes. The construction expenditure given by the applicant is \$3,900,000. The project is designed to accommodate five employees.

Special considerations (City Code Section 108-247)

- (a) The relationship of the proposed development to the City's land use plans, objectives and policies is being evaluated as part of this analysis. The relationship of the proposed development to public facilities was evaluated above and no conflicts were identified.
- (b) The project is located within the AE-8 and X flood zones.
- (c) No unincorporated portions of the county would be impacted by the proposed development.
- (d) The project does not front a shoreline, so shoreline access would not be impeded.

- (e) This site is located on Flagler Avenue, a paved City thoroughfare, it is on City bus route, and shopping areas are located within walking distance. It is serviced by existing utilities maintained and operated by the City.
- (f) The application states the modular structures shall incorporate energy saving components, such as low flush toilets and low use plumbing fixtures. The proposed white roof shall help to reduce energy costs, as well as the Energy Star rated appliances.
- (g) The project will comply with the requirements for a Baseline Green Building Certification, Upgrade 1- in addition the one-story buildings shall be elevated 1.5 feet above base flood and there will be rainwater catchment systems to provide water for landscape irrigation.
- (h) No on-site recreation facilities are existing or proposed. However, the applicant states once the resident have moved in, there is an option for a community garden to be constructed.
- (i) The process for an ERP Permit with SFWMD has begun. The wetland line has been determined and the applicant is in the process of developing the application permit materials. The survey submitted reflects the wetland line agreed upon with the SFWMD. Appendix C provides the most current maps and information concerning coordination with this department.
- (j) Applicant has applied for an ERP Permit regarding the wetlands located to the rear of the site.

Construction management plan and inspection schedule (City Code Section 108-248)

There are two construction phases proposed. The site plan for phase one and two has been received (Please see drawing A-1.1 attached). Phase one consists of the following: 1. Existing 10 unit affordable housing Building “A” to remain, provide access as shown, including handicap access. 2. Provide temporary parking off existing driveway, 8 spaces total (one handicap space). 3. Provide temporary food prep, trailer with stairs and ramp during phase one work, once new Building “G” is complete and food prep. is relocated into Building “G”, remove temporary trailer. Phase two involves adding the last remaining residential Building “F” once the temporary trailer is removed. Staff recommends that temporary construction fencing and erosion barrier be installed and maintained during all phases of demolition and construction. Staff recommends that all City streets and sidewalks shall be kept clean and safe during all phases of demolition and construction.

Truman Waterfront Port facilities (City Code Section 108-249)

Not applicable.

Site plan (City Code Chapter 108, Article III)

The City shall not approve a site plan unless a finding is made that such site plan conforms to all applicable sections of the LDRs, pursuant to City Code Section 108-276, as analyzed below.

Site location and character of use (City Code Section 108-277)

The proposed plans are conforming to the LDRs in the PS Zoning District. The adjacent neighborhoods are primarily residential in nature with the exception of two churches located nearby.

Appearance of site and structures (City Code Section 108-278)

The proposed buildings are modular in design. The buildings have been placed in angles to accommodate air circulation as well as solar orientation and will connect to a series of sidewalks. Trees shall be installed throughout the site for additional shade. Waste collection areas shall be screened with fencing and landscaping. All site lighting is proposed to be LED and shielded.

Location and screening of mechanical equipment, utility hardware and waste storage areas (City Code Section 108-279)

No rooftop mechanical equipment is indicated on the plans. The proposed buildings will have AC units located at the front or side of each building with two cisterns for each building located in rear. The trash and recycling container storage area is located to the north of the parking lot, and is enclosed with a 6-foot high wooden fence. Once the final location of any transformers or other utility equipment has been determined, landscape shall provide screening as appropriate and consistent with the requirements of the subject utility.

Front-end loaded refuse container location requirements (City Code Section 108-280)

There is adequate circulation space in the parking lot for Garbage trucks to gain access to the garbage area. An enclosure and landscaping are indicated on the plans to help screen the trash collection area from adjacent property.

Roll-off compactor container location requirements (City Code Section 108-281)

None proposed.

Utility lines (City Code Section 108-282)

The application states utilities will be consistent with this section.

Commercial and manufacturing activities conducted in enclosed buildings (City Code Section 108-283)

None proposed.

Exterior lighting (City Code Section 108-284)

A conceptual lighting plan was submitted. New exterior site lighting for security and safety of the residents is proposed along the parking lot and in front of each building. The plan notes that all lighting will be LED, shielded (cut off) fixtures and meet Dark Sky requirements. Manufacturer's cut sheet for all light fixtures should be submitted by the Applicant to ensure that all lights would be properly shielded to prevent glare onto adjacent properties.

Signs (City Code Section 108-285)

There will be directional entrance and exit signs located in the ingress/egress points. No drawings have been submitted at this time. These signs shall be compliant with the City Sign ordinance. Cut off sheets must be provided prior to City Commission approval.

Pedestrian sidewalks (City Code Section 108-286)

The plans do not indicate any new sidewalks. However there is a pedestrian walkway from the gate entrance off of Flagler Avenue. There are many walkways proposed on the property for residents to circulate to each building as well.

Loading docks (City Code Section 108-287)

As mentioned above, no loading dock is proposed.

Storage areas (City Code Section 108-288)

No exterior storage areas are proposed.

Land clearing, excavation or fill (City Code Section 108-289)

No work would impact a floodplain or a conservation area. A proposed stormwater management would address drainage and runoff from the site. Vegetation removal is being reviewed by the Urban Forestry Manager and the Tree Commission. Staff recommends temporary fencing and silt barriers during demolition and construction to prevent soil and debris from running into City streets and sidewalks.

Landscaping (Code Chapter 108, Article VI)

A Conceptual Landscape Plan was submitted and approved by the Urban Forrester as part of the development plan review, pursuant to City Code Section 108-411. A Final Landscape Plan will be submitted prior to City Commission approval. The submitted plan indicates landscaping will be incorporated mostly around the perimeters of the property. The majority is going to the front of the property to buffer Flagler Avenue. The Applicant is requesting modifications and waivers for pursuant to sections 108-414 and 108-415. The City Code Section 108-414, requires parking lots to dedicate at least 20% for an interior landscape area. The applicant is providing 11.3% (1,200 square feet) of interior landscape area. The City Code Section 108.415, requires 7.5 feet of parking lot perimeter landscape area. The applicant is providing 50% of the 7.5 feet required.

Pursuant to City Code Section 108-517(b), the Planning Board may approve or grant the waiver only if it determines that the waiver is not contrary to the intent of City Code Chapter 108, Article VI, Division 4, Subdivision II and that a literal enforcement of the standards of this subdivision would be impracticable and would not violate the following criteria:

- (1) *Public interest; adjacent property.* The waiver or modification would not have a significant adverse impact on the public interest, or on adjacent property.
- (2) *Not discriminatory.* The waiver or modification is not discriminatory, considering similar situations in the general area.
- (3) *Superior alternatives.* The development will provide an alternative landscape solution which will achieve the purposes of the requirement through clearly superior design.
- (4) *Protection of significant features.* The waiver or modification is necessary to preserve or enhance significant existing environmental or cultural features, such as trees, scenic areas, historic sites or public facilities, related to the development site.
- (5) *Deprivation of reasonable use.* Strict application of the requirement would effectively deprive the owner of reasonable use of the land due to its unusual size, shape, topography, natural conditions, or location, provided that:
 - a. Such effect upon the owner is not outweighed by a valid public purpose in imposing the requirement in this case; and

- b. The unusual conditions involved are not the result of actions of the developer or property owner which occurred after the effective date of the ordinance from which this section derives.

(6) *Technical impracticality*. Strict application of the requirement would be technically impractical.

Off-street parking and loading (Code Chapter 108, Article VII)

City Code Section 108-572(4) requires a minimum of one vehicular parking space per two beds. Thirty-seven (30) single occupancy units are proposed. Therefore, eighteen (18) vehicular parking spaces are required and thirty (30) are proposed, including two ADA van-accessible spaces. The Code also requires bicycle parking equivalent to 35% of vehicular spaces. Therefore, eight (8) bicycle parking spaces are required and twenty-eight (28) are proposed. Additionally, eight scooter parking spaces are proposed in the parking lot. Overall, the amount of vehicular parking is being increased compared to existing conditions.

No loading space is proposed.

Stormwater and surface water management (Code Chapter 108, Article VIII)

A stormwater management plan was submitted indicating that surface water management is designed for the 25-year/72-hour storm event, as required. Stormwater would be retained on-site through cisterns plugged into the irrigation system and vegetated swales.

Utilities (Code Chapter 108, Article IX)

Access to potable water, access to wastewater disposal systems and conservation of potable water supply were analyzed in the above concurrency management determination and were found in compliance.

Art in Public Places (City Code Section 2-487)

The proposed development, being a Major Development Plan, qualifies for the City's Art in Public Places (AIPP) program, pursuant to City Code Section 2-487. The AIPP program requires 1% of construction costs to be set-aside for the acquisition, commission and installation of artwork on the subject property. The program applies to new construction projects exceeding \$500,000 and renovation projects exceeding \$100,000. Construction costs are estimated to be \$3.9 million; thus the 1% public art set-aside would be approximately \$39,000. A full public art plan would be required to be approved by the AIPP Board prior to building permit issuance.

RECOMMENDATION

The Planning Department, based on the criteria established by the Comprehensive Plan and the Land Development Regulations, recommends to the Planning Board that the request for Major Development Plan and Landscape Modifications / Waivers be **APPROVED** with the following conditions:

General conditions:

1. The proposed development shall be consistent with the site plan dated March 2, 2016 by William P. Horn, Registered Architect.

2. During all phases of demolition and construction, temporary fencing and erosion barriers shall be installed and maintained. All adjacent City streets and sidewalks shall be kept clean and clear of construction debris.
3. It is recommended that the applicant participate in Waste Management's commercial recycling program and/or participate in a certified green business program, such as through Florida Keys Green Living & Energy Education (GLEE).
4. Obtain a South Florida Water Management Permit.
5. Obtain an Environmental Resources Permit.
6. Receive Final Tree Commission Approval.
7. Submit drawings for the proposed Signage.
8. Submit drawings for the proposed Dumpster screen.

Conditions prior to issuance of a building permit:

9. Approval of a Public Art Plan shall be obtained from the AIPP Board, pursuant to City Code Section 2-487, and may include payment of an in-lieu fee.

Conditions prior to issuance of a Certificate of Occupancy:

10. SECTION 3114 AIRPORT NOISE: 3114.1 Airport noise study guidelines.
The Aviation Safety and Noise Abatement Act of 1979 14 CFR Part 150 (US Department of Transportation) including revisions through January 2005 and hereby adopted as a guideline for establishing airport noise control. When required by a local government by local ordinance to provide noise attenuation in a new structure or addition to an existing structure near an airport in the area of the local government, the applicant must provide either:
 1. A testing certificate from an accredited noise testing lab that a new structure or addition to existing structure built to the submitted engineering plans will achieve an average minimum dBA reduction equal to or greater than the reduction required,
 2. An engineering judgment signed and sealed by an engineer licensed in the State of Florida that the structure or addition built to the submitted engineering plans will achieve an average minimum dBA reduction equal to or greater than the reduction required, or
 3. Plans using the standards contained in "Guidelines for Sound Insulation of Residences Exposed to Aircraft Operations" prepared for the Department of the Navy by Wyle Research and Consulting, Arlington, Virginia, April 2005 on file with the Florida Building Commission.
11. On-site artwork shall be installed and inspected by the City pursuant to Code Section 2-487.
12. The recording of affordable housing deed restrictions must be approved by the City Attorney prior to a Certificate of Occupancy.

Application

DEVELOPMENT PLAN AND CONDITIONAL USE APPLICATION
City of Key West Planning Department
3140 Flagler Avenue, Key West, FL 33040
(305) 809-3720



Development Plan & Conditional Use Application

Applications will not be accepted unless complete

Development Plan

Major

Minor

Conditional Use

Historic District

Yes

No

Please print or type:

- 1) Site Address 2700- 2706 Flagler Ave Key West Florida
- 2) Name of Applicant Barbara Mitchell and Bill Horn
- 3) Applicant is: Owner Authorized Representative
(attached Authorization and Verification Forms must be completed)
- 4) Address of Applicant Horn: 915 Eaton Street Key West, Florida 33040
Mitchell: 15450 SE 103rd Place Road Ocklawaha, FL 32179
- 5) Applicant's Phone # H:305.296.8302 M:305.509.0966 Email Horn: wphorn@bellsouth.net
- 6) **Email Address:** Mitchell: mitchellplanningdesign@gmail.com
- 7) Name of Owner, if different than above Carroll Coleman and His Successors Diocese of Miami
- 8) Address of Owner 9401 Biscayne Blvd. Miami Shores, FL 33138-2970
- 9) Owner Phone # 305.762.1332 Email rturcotte@ccadm.org
- 10) Zoning District of Parcel PS RE# 00065090-000000
- 11) Is Subject Property located within the Historic District? Yes No
If Yes: Date of approval _____ HARC approval # _____
OR: Date of meeting _____
- 12) Description of Proposed Development and Use. Please be specific, list existing and proposed buildings and uses, number of dwelling units, parking, restaurant seats, vehicles proposed, etc. If there is more than one use, describe in detail the nature of each use (Give concise description here and use a separate sheet if necessary).

Construct 37 Single Room Occupancy apartments, laundry facility and office area, new parking lot, stormwater systems and landscaping as described in the following documents.

DEVELOPMENT PLAN AND CONDITIONAL USE APPLICATION
City of Key West Planning Department
3140 Flagler Avenue, Key West, FL 33040
(305) 809-3720



13) Has subject Property received any variance(s)? Yes No _____

If Yes: Date of approval _____ Resolution # _____

Attach resolution(s). **Height Variance was granted but never built, variance has expired.**

14) Are there any easements, deed restrictions or other encumbrances on the subject property?

Yes _____ No

If Yes, describe and attach relevant documents.

- A. For both *Conditional Uses* and *Development Plans*, provide the information requested from the attached **Conditional Use and Development Plan** sheet.
- B. For *Conditional Uses* only, also include the **Conditional Use Criteria** required under Chapter 122, Article III, Sections 122-61 and 122-62 of the Land Development Regulations (see attached copy of criteria).
- C. For *Major Development Plans* only, also provide the **Development Plan Submission Materials** required under Chapter 108, Article II, Division 7, Sections 108-226 through 108-248 of the Land Development Regulations (see attached copy of criteria) and any additional information as determined by the Planning Staff.
- D. For both *Conditional Uses* and *Development Plans*, one set of plans **MUST** be signed & sealed by an Engineer or Architect.

Please note, development plan and conditional use approvals are quasi-judicial hearings and it is improper to speak to a Planning Board member or City Commissioner about the project outside of the hearing.

EXECUTIVE SUMMARY

The Diocese of Miami owns the property located at 2700-2706 Flagler Avenue and is the home to the local Catholic Charities a non-profit service organization that works to support families; reduce poverty; and build communities. Several charitable activities are operated from this location. The services operated by Catholic Charities include St Bede's Village – a supportive housing program for disabled, low income, elderly individuals and St Francis Housing program for Men – a dormitory with twenty-one beds. The Basilica of Saint Mary Star of the Sea operates Saint Mary's Soup Kitchen providing one hot meal per day, served from 4 to 5 pm. In addition to the existing residential uses the current buildings contains offices and meeting rooms that are utilized by the participants/residents of these services.

In 2003 the Planning Board approved Resolution 2003-39 for an affordable housing building comprised of 10 single room occupancy (SRO) units for the elderly or disabled residents, individuals, with extremely low income, needing supportive services. The construction was completed in 2004. Catholic Charities seek to expand St Bede's Village from the existing ten units to add another 37 SRO units available for the broader community. Pursuant to City Land Development Regulations and Building Permit Allocation System (BPAS) requirements, all of the proposed units will be compliant with the City's Deed Restricted, Affordable Housing criteria.

All proposed units are supported community housing. The new, 37 units, will be available for individuals who are employed and have been residents of the City of Key West for at least 12 consecutive months. The goal is to provide a therapeutic housing environment to help residents sustain stable residency, reduce homelessness, and develop personal support systems. To achieve these goals, St Bede's Village is governed by rules and regulations that residents must agree to and abide by.

As presented on the Site Plan, the project is comprised of six new buildings of modular construction. Five of these buildings (B, C, D, E and F) will contain the residential units and the sixth building (G) will contain the office and meeting rooms as well as a commissary kitchen. There are two phases to this project, based primarily on the requirement for additional BPAS allocations. Catholic Charities applied for and was awarded 2.9 affordable BPAS units (29 units x 0.10) as part of the Year 1 BPAS allocation. The allocations were awarded for the construction of Buildings B through E. The second phase, Building F will require an additional 0.80 BPAS allocation. This request was awarded as part of the BPAS, Year 2 award cycle.

Phase I includes the construction of the five residential buildings, installation of the storm water containment systems, parking lot, landscaping, and wetland buffer plantings. The existing frame structure and the concrete block structure shall remain until the receipt of the Phase 2 BPAS allocations. The applicant prefers to move the construction along in a seamless manner; but until the 0.8 allocations are awarded, the phased approach is presented as a contingency. The project will comply with the requirements for a Baseline Green Building Certification, Upgrade 1 – in addition the one-story buildings shall be elevated 1.5 feet above base flood and there will be rainwater catchment systems to provide water for landscape irrigation.

St. Bede's Village Work Force Housing

Description:

It is the intent of Catholic Charities of the Archdiocese of Miami, Inc. to expand their current occupancy on the property located at 2700-2706 Flagler Avenue Key West, FL., by adding thirty-seven new units of permanent affordable single occupancy units to the current ten.

All units will be designated for low to moderate income residents of Key West who are experiencing persistent housing instability due to the lack of affordable units.

Following the guidelines of the Key West Housing Authority, all units will have income requirements and fees will be based upon the annually approved City Commission of Key West "Work Force Housing Income and Rental Limits".

Unique to Work Force Housing, but consistent with current zoning, St. Bede's Village will make available to consumers, case management and counseling services which will assist them in maintaining employment and avoiding housing insecurity.

Included in this development proposal will be an administrative building, upgraded landscaping and drainage, parking, required wetland preservation, and a commissary kitchen, which will continue to be staffed and operated by St. Mary's Star of the Sea Catholic Church.

Meals will not be served at the commissary kitchen. Food will be prepared from raw to ready to eat for transportation and distribution to remote a feeding site, the City of Key West Overnight Temporary Shelter (KOTS).

Catholic Charities is not requesting a zoning variance, conditional use of, or a rezoning of the property. This application is to increase the number of work force housing units on the property and in the City of Key West and to eliminate the public feeding of the homeless on this site. Furthermore, this development is an expansion of the approval granted by the Key West Planning Board Resolution # 2003-039.

St. Bede's Village

Major Development Plan Application

Development Plan Submission Materials I.

Sec. 108-227. Title block.

1. Name of development: St. Bede's Village
2. Name of owner/contract purchaser: Carroll Coleman and His Successors of the Diocese of Miami
3. Scale: Please see plans.
4. North arrow: Please see plans.
5. Preparation and revision date: Please see plans
6. Location/street address of development: 2700-2706 Flagler Avenue, Key West FL

Sec. 108-228. Identification of key persons.

1. Owner: Carroll Coleman and His Successors of the Diocese of Miami
2. Owner's authorized agent: Bill Horn and Barbara Mitchell
3. Engineer and architect: Engineer: Perez Engineering;
Architect: William P Horn Architect PA
4. Surveyor: Lynn O'Flynn Inc
5. Landscape architect and/or environmental consultant: Mitchell Planning & Design Inc.
6. Others involved in the application: Dr. Phil Frank
7. A verified statement showing each and every individual person having a legal and/or equitable ownership interest in the subject property, except publicly held corporations whose stock is traded on a nationally recognized stock exchange, in which case the names and addresses of the corporation and principal executive officers together with any majority stockholders will be sufficient: See attached

Sec. 108-229. Project description.

1. Zoning (include any special districts): PF (developed area) and C-TW (mangroves)
2. Project site size (acreage and/or square footage): 109,797 s.f. (Upland)
3. Legal description: Please see attached
4. Combined Building size: 32,508 s.f.
5. Floor area ratio, Principal Use: permitted 80% proposed: 22.6%
Accessory Use: permitted 20% proposed: 2.6%
6. Lot coverage, Building Coverage permitted: 40% (43,919 s.f.); proposed: 36.6% (32,508 s.f.)
7. Impervious surface: 60% permitted: 65,878 s.f.; proposed: 46.4% (50,985 s.f.)

8. Open Space: 35% minimum (38,429 s.f.), proposed 53.5% (58,812 s.f.)
9. Landscape areas: The proposed landscape areas meet the requirement to the greatest extent practicable as required by the Land Development Regulations. Please refer to Conceptual Landscape Plan for data information.
10. Parking spaces: required 21 and proposed 30:
11. Delineation of location of existing and proposed structures: Please see plans
12. Existing and proposed development type denoted by land use including density/intensity: Public Service (PS) district, as directed by Planning Staff, the proposed development is within the "nursing homes, rest homes and convalescent homes (Section 122-1017 (5)), allowable as of right. Please see Appendix A for Planning Department correspondence.
13. Setbacks:

	Required	Proposed
Front	20	20'
West Side	15	15' 4"
East Side	15	16' 7"
Rear Wetland	15	15'

The side and rear setbacks noted above are taken from the wetland line and are consistent with the proposed and existing South Florida Water Management District requirements. The actual setbacks from the property line are much greater as indicated on the Site Plans presented.

Sec. 108-230. Other project information.

1. Proposed stages or phases of development or operation and facility utilization.

Currently, the development is projected for completion in two phases due to the required acquisition of BPAS allocations for Building F. Phase I shall consist of construction of the parking lot, landscaping and storm water conveyance structures. BPAS allocations for Buildings B, C, D, and E were awarded from the Year 1 allocation period. These buildings shall be constructed in Phase I. Phase II shall include the removal of the existing wood frame structure and the concrete block structure and the construction of Buildings F and G. It is the intention of the applicant to apply for the 0.8 BPAS allocation (@.10 per unit) for Building F as part of the Year 3 allocation period. Final landscaping and storm water systems required in this area shall be constructed as part of this phase.

During Phase 1 the Environmental Resource Permit shall be acquired for the total proposed development (Phase 1 and 2).

 - a) Site preparation
 - b) Construction
 - c) Operation

2. Target dates for each phase.
To be determined
3. Expected date of completion: Contingent Upon Award of 8 BPAS Allocations
4. Proposed development plan for the site: Please see attached
5. A written description of characteristics of the proposed development (i.e., number and type of residential units; floor area by land use; number of tourist accommodations units; seating or parking capacities; number of hospital beds; any proposed outside facilities or areas to be used for storage, display, outside sales, waste disposal or similar use; and any other proposed uses): The site contains ten Single Room Occupancy (SRO) units located in one building. These units were approved in 2003 (Resolution 2003-39) and constructed in 2004 and shall remain. The proposed development consists of 5 residential buildings of various sizes containing SRO units as shown on the attached plans. Furthermore, the project includes a new office and laundry facility. These units are deed-restricted permanent housing units. Parking spaces for the project include 30 automobile spaces and 28 bicycle and 8 scooter parking spaces. Due to the nature of these units and their intended residents, the number of bicycle parking spaces is exceeded in order to accommodate the projected need.
6. For planned unit developments, indicate design techniques (i.e., clustering, zero lot line, or other techniques) used to reduce public facility costs, reduce disturbance of natural resources, and preserve scenic quality of the site: NA
7. Buildings and siting specifications which shall be utilized to reduce damage potential and to comply with federal flood insurance regulations: The building will exceed with FEMA Flood Regulations by elevating the structures 1.5 feet above base flood elevation.
8. Protection against encroachment together with proposed mitigation measures to be employed within environmentally sensitive areas: There is no new encroachment into environmentally sensitive areas. New landscape buffers shall be planted adjacent to the existing wetlands. Furthermore, the wetlands shall be fenced in accordance with SFWMD requirements. All storm water management will meet or exceed current requirements.

Sec. 108-231. Residential developments.

1. If the development includes residential units, the following characteristics shall be discussed in the written description:
 - A. A breakdown of the proposed residential units by number of bedrooms: The proposed units are Single Room Occupancy and restricted to one person per unit.
 - B. Tenure (i.e., owner-occupied or rental): rental

- C. Structure type, such as single-family, duplex, multiple-family, mobile home: multiple–units SRO.
- 2. Refer to division 10 of article V of chapter 122 for information and legal instruments needed to satisfy the city's affordable housing requirements: The proposed units shall be deed restricted in compliance with the City of Key West's affordable housing requirements.

Sec. 108-232. Intergovernmental coordination.

The development plan shall contain the following pertaining to intergovernmental coordination:

- 1. Provide proof of coordination with applicable local, regional, state and federal agencies, including but not limited to the following agencies that will be involved in the project: (Please see Appendix B & C)
 - a. South Florida Regional Planning Council (SFRPC): NA
 - b. Keys Energy Service: See Attached letter
 - c. State Department of Environmental Protection (DEP): SFWMD ERP
 - d. Army Corps of Engineers (ACOE): SFWMD ERP
 - e. South Florida Water Management District (SFWMD): See Attached Letter
 - f. State Department of Transportation (DOT): NA
 - g. State Department of Community Affairs (DCA): NA
 - h. Florida Keys Aqueduct Authority (FKAA): See Attached Letter
 - i. State Fish and Wildlife Conservation Commission (F&GC): NA
 - j. The county: NA
- 2. Provide evidence that any necessary permit, lease or other permission from applicable local, regional, state and federal agencies has been obtained for any activity that will impact wetland communities or submerged land: Appendix C includes documentation demonstrating coordination with SFWMD for the wetland impact permitting. The wetland line has been established, surveyed and the proposed Site Plan complies with this line and setback.
- 3. When intergovernmental coordination efforts are incomplete, the applicant shall provide evidence of good faith efforts towards resolving intergovernmental coordination issues. We will act in good faith to coordinate intergovernmental coordination.

Sec. 108-233. Concurrency facilities and other utilities or services.

1. Potable Water Supply: According to initial coordination with Florida Keys Aqueduct Authority, there is a 12" water main on Flagler Avenue and three existing meters located on the southwest corner of the property. These shall be used to feed the requirement development. These units are designed with low flow plumbing fixtures and every effort to conserve water shall be applied. A letter of coordination was requested from the Fire Marshal and his comments shall be received and addressed at the DRC meeting.

The average daily flow for the new development (Phase 1 – 29 SRO units) is anticipated to be 2,175 gallons. This is based upon a rate of 75 gallons per unit per day. Phase 2, which will add 8 new SRO units, office with one bathroom and a laundry facility is anticipated to be 995 gallons per day. This estimate does not include the existing development that will remain onsite.

2. Wastewater Management: Average daily wastewater flows are anticipated to be 90% of the potable water used. Therefore, based upon the calculations above the anticipated wastewater for Phase 1 would be 1,958 gallons per day and Phase 2 would be an additional 895 gallons per day. This estimate does not include the existing development that will remain onsite. The project will connect to the City's utility system.
3. Water Quality: The adjacent wetlands shall be improved with the removal of exotic vegetation and the construction of a 15' planted buffer. Furthermore, a mitigation area has been located on site to compensate for poor quality wetlands located in the proposed development area. This area has been cleaned in accordance with a Building Permit issued earlier this year. The proposed storm water plan shall contain the expected runoff on site. Construction fencing and perimeter swales shall be installed during construction to avoid impact to adjacent properties.
4. Storm water Management: Please see the Storm Water Management Plan prepared by Perez Engineering in accordance with City Code and SFWMD requirements. The containment systems shall remove the existing overflow drainage that currently enters the on site mangrove area. It is expected these systems will be a series of vegetated swales.
5. Solid Waste: Estimated solid waste generated by this facility for Phase 1 is 290 pounds per day. Phase 2 is estimated to be 100 pounds per day. A community garbage area is shown on the proposed Site Plan to be used by the residents. The location of this facility provides easy access to the City waste disposal contractor. Furthermore, this facility is fenced to provide security and screening from the adjacent roadway.
6. Roadways: Appendix D provides a Traffic Analysis prepared by KBP Consulting. According to this analysis, the traffic impact shall be minimal due to the fact that most residents will travel to and from the site by bicycle or use public

transportation. Please see the report for further information.

7. Recreation: The proposed population increase by this development is 37 individuals, 21 of whom already reside on site. The impact to the City's existing recreational facilities will be minimal.
8. Fire Protection: The City Fire Marshal shall identify any new/required fire hydrants. This shall be discussed at the DRC meeting.
9. Reclaimed Water: Reclaimed water system is not proposed for this project. However, cisterns are proposed for Rainwater harvesting to be used for landscape irrigation purposes.
10. Other Public Facilities: The proposed population increase by this development is 37 individuals, 21 of whom already reside on site. The impact to the other public facilities will be minimal. It is anticipated that the guidelines required for residency in this community shall reduce the impact on public services.

Sec. 108-234. Appearance, design and compatibility.

The proposed development will provide a positive impact on the adjacent neighbors as well as the broader Key West community. Upon completion of the proposed construction the following beneficial changes shall have occurred:

- Storm Water: The Site will be designed to accommodate storm water runoff as required by City Code. Please see response above for further information.
- Potable Water Conservation: Cisterns will be installed and this water shall be used for irrigation purposes. All kitchen and bathroom fixtures shall be low flow water fixtures.
- Waste Disposal: A community garbage area is shown on the proposed Site Plan to be used by the residents. The location of this facility provides easy access to the City waste disposal contractor. Furthermore, this facility is fenced to provide security and screening from the adjacent roadway.
- Recycling: Bins for recycling are provided in the proposed Garbage Area for use of the residents.
- Energy Conservation: A white roof for all proposed buildings to reduce heat on structures. In addition an energy efficient building envelope as well as energy efficient air conditioning system are proposed. Furthermore, all light fixtures and appliances will be Energy Star.
- Affordable Housing: Currently there are ten deed restricted SRO units on the property. The development proposed by this application will add an additional 37 deed restricted SRO units.
- Lighting: Site lighting will be provided as shown for security and safety of the residents. This will not impact any adjacent residential communities. We will meet all dark sky requirements with LED lighting.

- Noise: The residency agreement for St Bede's Village will ensure that any noise impact beyond the property boundary is either non-existent or kept to a minimum.
- Traffic: The number of vehicular trips is anticipated to remain the same or exhibit a slight increase. Since the St. Francis dormitory will be removed, these residents will more than likely live in the new apartments. Therefore the net increase will be for 15 new residents (37 -21). The new residents for this community may or may not have vehicles.
- Parking: The existing parking area is ill defined at this time. As shown on the proposed Site Plan, thirty parking spaces have been provided in addition to bicycle and scooter parking as shown on the plans. As part of the development project, two access points to the parking area, providing a circular flow, has been designed. In addition, all other driveway entrances have been removed to further control access to the site.

Sec. 108-235. Site location and character of use

The proposed plans have been prepared with the City performance criteria considered. A vicinity map is included on the project drawings. The adjacent neighborhood is primarily residential. This project is not located within the City's historic district. Subdivision of land is not proposed for this project.

Sec. 108-236. Appearance of site and structures

Please see attached elevation and site plan drawings. The proposed buildings are a modular design consistent throughout the site. The buildings have been placed at angles to accommodate prevailing breezes as well as solar orientation and connected with a series of sidewalks. Trees shall be installed throughout the site for additional shade. Waste collection areas shall be screened with fencing and landscaping.

Sec. 108-237. Site plan

The Site Plan submitted provides the information required by this section.

Sec. 108-238. Architectural drawings

The drawings were prepared for this project by the office of William P Horn, PA, a local architectural firm that has been practicing in Key West for many years. The submitted plans are in compliance with the requirements of this section.

Sec. 108-239. Site amenities

The Plans submitted address the issues and requirements of this section.

Sec. 108-240. Site survey

The survey submitted for this project was prepared by Lynn O'Flynn, a local licensed surveyor. Perez Engineering and Development, local civil engineers prepared the Storm Water Plan. Both drawings are compliant with the requirements of this section.

Sec. 108-241. Soil survey

A soil survey was not conducted at this time. According to the Soil Survey of Monroe County, Keys Area Florida prepared by the United States Department of Agriculture, the soil at this site is classified as "urban". If required, soil borings will be conducted during the development of construction documents.

Sec. 108-242. Environmentally sensitive areas

The site is located in the AE Flood Zone, elevation 8. The ERP required by SFWMD addresses the impact to the adjacent wetlands. Pursuant to the ERP process, a map of the existing conditions has been included in Appendix C. As shown on the documentation submitted, vegetative buffers shall be installed adjacent to the existing mangroves. In addition, the proposed storm water management systems will remove the opportunity for storm water from the site to infiltrate into the adjacent wetlands. The fencing required by the ERP will restrict further disturbance of this area.

The ERP will require a Conservation Easement with maintenance requirements of the area planned for mitigation. These requirements and commitments will be finalized prior to the issuance of the ERP.

Sec. 108-243. Land clearing, excavation and fill, tree protection, landscaping and irrigation plan

The development site is considered scarified with the exception of the very low quality wetlands that shall be mitigated on-site are part of the ERP process. Measures to avoid soil erosion, such as construction fencing, shall be installed prior to construction. This should avoid soil erosion as well as provide protection for the adjacent mangroves. The native vegetation shall remain on-site with the exception of one mahogany tree that may need to be removed as part of Phase 2 construction. This request shall be made to the Tree Commission for their

consideration. Furthermore, there is an existing stand of Australian Pines (*Casuarina equisetifolia*) that shall be removed.

The Conceptual Landscape Plan provides the location of existing trees located within the development area. These trees shall be protected during construction with tree fences. A landscape plan has been provided demonstrating compliance with City Requirements. A waiver to the width of the Flagler Avenue street buffer is requested due to the location of the proposed parking lot. As indicated on the Landscape Plan there will be adequate screening from this public street. An irrigation an has not been prepared and shall be designed as part of the development of construction documents.

Sec. 108-244. On-site parking and off-site parking and vehicular, bicycle, and pedestrian circulation

The proposed Site Plan demonstrated compliance with the requirements of this section. The proposed parking lot is located adjacent to Flagler Avenue and proposes two ingress/egress points. This is an improvement over the existing conditions where the access to the site is ill defined. Furthermore, this design considers the maneuverability required for the waste contractor to access the garbage area. Bicycle parking areas are proposed in several locations and there is a dedicated scooter parking area. Upon the completion of Phase 2, the existing access to the frame structure shall be removed.

Sec. 108-245. Housing

The purpose of this project is to provide housing for individuals in need of a therapeutic housing environment. This is an affordable, deed restricted community that is managed thorough Catholic Charities with specific rules and criteria. The proposed units are single room occupancy and restricted to one resident per unit. These will be long-term rental units and comply with the requirements of the City's affordable Housing Deed restriction regulations. Currently the City affordable guidelines allow for maximum monthly rental rates ranging from low (80%), median (100%), moderate (120%) and middle (140%). These percentages are based upon the Annual Median Income (AMI) for Monroe County. As part of the rental program, a fifth category shall be developed and provide housing for low, low category that would be between 40% and 60% AMI. At this time, the allocation of these rental rates has not been determined.

Sec. 108-246. Economic resources

There will be no increase to the Ad Valorem taxes as this site is Tax Exempt. Non-ad Valorem Assessment include Key West Storm Water and Solid Waste, an increase in these taxes is anticipated; but unknown at this time.

Although a final construction budget had not been prepared at this time, the following estimates are presented in good faith.

Total Construction Cost: \$3,900,000

Phase 1:	Annual Cost:	\$2,925,000
	Labor Cost:	\$1,462,500
	Material Cost:	\$1,462,500

Phase 2:	Annual Cost:	\$ 975,000
	Labor Cost:	\$ 487,500
	Material Cost:	\$ 487,500

Sec. 108-247. Special considerations

This proposed development is consistent with the Land Use Regulations. This type of use has been found consistent with the City Regulations and zoning designation as noted in Planning Board Resolution 2003-039, provided in Appendix E. The uses proposed by this application are consistent and similar in nature with the uses previously approved. This simply proposes to expand the number of residential units in response to a very urgent need for safe, compliant, affordable housing as recognized by the City. Current workshops being held by the City to address the need for affordable housing have recommended the very type of unit proposed by this application, small, single room occupancy units.

This particular development adds another dimension to this type of housing - support services needed for a segment of the individuals within the community that need assistance in maintaining stable residency and other personal support systems. Residents who are accepted into this community will abide by very specific rules and regulations and violators will result in the termination of program services, referral to another community service and removal from the property.

This site is located on Flagler Avenue – a paved City thoroughfare, it is on a City Bus route, and shopping areas are located within walking distance. It is serviced by existing utilities maintained and operated by the City. In this way, the proposed project furthers the goals of the City of Key West Comprehensive Plan **Policy 3-1.1.11: Selecting Sites for Affordable Housing for Low and Moderate Income households.**

The proposed structures are modular in nature and shall incorporate energy saving components, such as low flush toilets and low use plumbing fixtures. The proposed white roof shall help to reduce energy costs; as will the proposed Energy Star rated appliances. The proposed landscaping has sited trees that will shade the structures as well as provide shaded areas out of doors for the enjoyment of the residents. In this way, the proposed project furthers the goals of the City of Key West Comprehensive Plan **Policy 3-**

1.7.7 Energy Saving Design and Construction Features.

The **Goals and Objectives of the Coastal Management Element of the Comprehensive Plan** are met in several ways by the proposed project. The adjacent wetland shall be protected with the installation of a native plant buffer as well as the removal of invasive exotic plants that tend to invade these native areas (**Policy 5-1.1.3: Protect, Stabilize, and Enhance the Coastal and Wetland Shorelines**). The water quality of the adjacent wetland shall be improved with the installation of new storm water vegetative swales that will help to capture storm water and reduce run-off into this area. A conservation easement shall be recorded pursuant to the requirements of the SFWMD ERP (**Policy 5-1.1.1 Development Restrictions in Wetlands**).

As stated earlier in this application, the process for an ERP permit with SFWMD has begun. The wetland line has been determined and the Applicant is in the process of developing the application permit materials. The survey submitted with this application reflects the wetland line agreed upon with the SFWMD. Appendix C provides the most current maps and information concerning coordination with this department.

Sec. 108-248. Construction management plan and inspection schedule

The Applicant intends to have the project move forward in a timely manner. A construction management plan has not been prepared due to the uncertainty of the award of the additional BPAS allocation. Upon receipt of this allocation, if required, the Applicant shall provide the City with Construction Management Plan and Inspection Schedule.

APPENDIX A:

KEY WEST
PLANNING DEPARTMENT
CORRESPONDANCE
&
BPAS YEAR 1
FINAL RANKINGS

From: **Kevin Bond** kbond@cityofkeywest-fl.gov
Subject: RE: 2700 Flagler
Date: June 18, 2015 at 11:07 AM
To: **Barbara Mitchell** mitchellplanningdesign@gmail.com



Yes.

From: Barbara Mitchell [<mailto:mitchellplanningdesign@gmail.com>]
Sent: Thursday, June 18, 2015 11:02 AM
To: Kevin Bond
Subject: Re: 2700 Flagler

Hi kevin,
Thank you. Can we submit our application with this inconsistency?
Barbara

On Jun 18, 2015, at 10:59 AM, Kevin Bond <kbond@cityofkeywest-fl.gov> wrote:

Hi, Barbara.

The FLUM is still MDR, but most importantly the zoning is PS. The City will need to initiate a FLUM amendment to change from MDR back to PS.

Kevin Bond, AICP, LEED Green Associate, Senior Planner

City of Key West Planning Department
3140 Flagler Avenue
Key West, Florida 33040-4602
P [305.809.3725](tel:305.809.3725) | F [305.809.3978](tel:305.809.3978)
www.cityofkeywest-fl.gov

From: Barbara Mitchell [<mailto:mitchellplanningdesign@gmail.com>]
Sent: Thursday, June 18, 2015 9:05 AM
To: Kevin Bond
Subject: 2700 Flagler

Dear Kevin,

I trust this email finds you well and settling in with a new Planning Director. We are intending to submit the redevelopment plans for Catholic Charities in July. I wanted to confirm that, pursuant to our earlier discussions and agreements, the City has changed the FLUM back to PS. Remember our BAPS application last year? Was this done?

We have updated and confirmed the wetland area, conservation easements and mitigation areas required with SFWMD.

Please advise, and thanks so much for your time.

Barbara

Barbara Mitchell, LEED AP

Mitchell Planning & Design Inc.

Florida:

15450 SE 103rd Place Road

Ocklawaha, Florida 32179

P: 352.288.0401 C: 305.509.0966

Maine:

3 Sinclair Cove

Milbridge, Maine 04658

P: 207.546.3370

mitchellplanningdesign@gmail.com

Florida Keys - Central Florida - Coastal Maine

**KEY WEST BUILDING PERMIT ALLOCATION SYSTEM (BPAS)
YEAR 1 FINAL RANKINGS**

YEAR 1 MARKET-RATE BPAS APPLICATIONS

PROJECTS	RECOMMENDED FOR AWARD				DRAWING OF LOTS											TOTAL BPAS POINTS:										
	Units Requested	Equivalent Single-Family Unit (ESFU)	Total ESFUs	Major/Minor Renovation	Building 1.5' higher than BFE (+5)	Providing addtl affordable housing (+10)	GBC Upgrade 1 Silver (+30)	GBC Upgrade 2 Gold (+40)	AIPP / Tree Fund (+40)	LEED Architect (+60)	Electric Car Charging (+10)	Non-roof SRI of at least 29 (+5)	Roofing materials SRI 29 (+5)	Vegetated Roof 50% (+15)	Building 1.5' higher than BFE (+5)		Providing addtl affordable housing (+5)	GBC Upgrade 1 Silver (+30)	GBC Upgrade 2 Gold (+40)	AIPP / Tree Fund (+40)	LEED Architect (+60)	Electric Car Charging (+10)	Non-roof SRI of at least 29 (+5)	Open Space / On-site Recreational (+10)	Vegetated Roof 50% (+15)	
1028-1030 TRUMAN AVE	2	1.00	2	Major	5	30			10	10	5	10	5													75
2800 FLAGLER AVE	8	1.00	8	Major											5		40		10	10				10		75
1315 WHITEHEAD ST	1	1.00	1	Major		30			10	10	5	10	5													70
700 EATON ST	1	1.00	1	Major	5	30			10	10	5		5													65
700 AMELIA ST	1	1.00	1	Minor	5						5	10	5													25
5555 COLLEGE RD	30	1.00	30	Major													10		5			10				25
TOTAL REQUESTED:	43																									

YEAR 1 AFFORDABLE BPAS APPLICATIONS

PROJECTS	RECOMMENDED FOR AWARD				DRAWING OF LOTS											TOTAL BPAS POINTS:											
	Units Requested	Equivalent Single-Family Unit (ESFU)	Total ESFUs	Major/Minor Renovation	Building 1.5' higher than BFE (+5)	Providing addtl affordable housing (+10)	GBC Upgrade 1 Silver (+30)	GBC Upgrade 2 Gold (+40)	AIPP / Tree Fund (+40)	LEED Architect (+60)	Electric Car Charging (+10)	Non-roof SRI of at least 29 (+5)	Roofing materials SRI 29 (+5)	Vegetated Roof 50% (+15)	Building 1.5' higher than BFE (+5)		Providing addtl affordable housing (+5)	GBC Upgrade 1 Silver (+30)	GBC Upgrade 2 Gold (+40)	AIPP / Tree Fund (+40)	LEED Architect (+60)	Electric Car Charging (+10)	Non-roof SRI of at least 29 (+5)	Open Space / On-site Recreational (+10)	Vegetated Roof 50% (+15)		
2700-2706 FLAGLER AVE	29	0.10	2.9	Major											5	5	30							10		10	60
3800 N ROOSEVELT BLVD	20	1.00	20	Major											5	5					5		10			25	
TOTAL REQUESTED:	22.9																										

NOTES:

YEAR 1 MARKET-RATE UNITS AVAILABLE: 36

YEAR 1 AFFORDABLE UNITS AVAILABLE: 7

In case of tie scores and insufficient available units, a drawing of lots will determine the awardee.

Advanced award allowed for multi-unit affordable housing projects.

Verification

**City of Key West
Planning Department**



Verification Form

(Where Authorized Representative is an individual)

1. Barbara Mitchell, being duly sworn, depose and say that I am the Authorized Representative of the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

2700 Flagler Ave - 2706 Flagler Ave.
Street address of subject property

All of the answers to the above questions, drawings, plans and any other attached data which make up the application, are true and correct to the best of my knowledge and belief. In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.

Barbara Mitchell
Signature of Authorized Representative

Subscribed and sworn to (or affirmed) before me on this 22nd day of August 2014 by
date

Barbara Mitchell
Name of Authorized Representative

He/She is personally known to me or has presented drivers license as identification.

Suzanne Gray
Notary Seal
SUZANNE GRAY
Notary Public, Maine
My Commission Expires August 9, 2019

Name of Acknowledger typed, printed or stamped

Commission Number, if any

Authorization

City of Key West
Planning Department



Authorization Form
(Individual or Joint Owner)

Please complete this form if someone other than the owner is representing the property owner in this matter.

I, Carroll Coleman and Successors authorize _____
Please Print Name(s) of Owner(s) as appears on the deed

William Horn and/or Barbara Mitchell
Please Print Name of Representative

to be the representative for this application and act on my/our behalf before the City of Key West.

[Signature]
Signature of Owner

Signature of Joint-Co-owner if applicable

Subscribed and sworn to (or affirmed) before me on this 23rd day of June 2014
Date

by Deacon Richard Turcolte, Ph.D
Name of Owner

He/She is personally known to me or has presented _____ as identification

[Signature]
Notary Signature



D. Bhikham
Name of Acknowledger typed, printed or stamped

EE 837568
Commission Number, if any

CATHOLIC CHARITIES
Of the Archdiocese of Miami, Inc.

Corporate Members

BE IT RESOLVED that the Corporate Members of Catholic Charities of the Archdiocese of Miami, Inc. officially renews its certification as to the authority vested in Reverend Deacon Richard Turcotte, PH.D, Chief Executive Officer of Catholic Charities of the Archdiocese of Miami, Inc, and vouchsafes his authority to sign any and all applications and/or contracts with organizations on behalf of Catholic Charities. The Corporate Members also continues to vouchsafe his authority as Vice President of the corporation to sign bank documents including, but not limited to, disbursements by check, and authorizes his registration as a signatory on all agency bank accounts.

Adopted this 24 day of August 24th, 2010, by the Corporate Members of Catholic Charities of the Archdiocese of Miami, in Miami, Miami-Dade County, Florida.


Archbishop of Miami

SEAL

Deed

SPECIAL WARRANTY DEED

THIS INDENTURE, made this _____ day of August, 1964.

BETWEEN Joseph P. Hurley, as Bishop of the Diocese of St. Augustine, of the County of St. Johns and State of Florida, hereinafter called the "Grantor", and Coleman F. Carroll, as Bishop of the Diocese of Miami, of the County of Dade and State of Florida, hereinafter called the "Grantee",

WITNESSETH, that the said Grantor for and in consideration of the sum of TEN DOLLARS AND OTHER GOOD AND VALUABLE CONSIDERATIONS to him on hand paid, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the Grantee, his successors and assigns, in fee simple forever, that certain land, free and clear of any mortgages or encumbrances; except (1) zoning regulations; (2) conditions, restrictions, limitations, easements, and rights-of-way, of record, if any; and (3) taxes assessed subsequent to the year 1963, situate, lying and being in the County of Monroe, State of Florida, described as follows:

1. Commencing at the intersection of the southerly right of way line of Flagler Avenue and the westerly right of way line (curb line) of Roosevelt Boulevard, in Key West, Florida, near south $68^{\circ}45'40''$ west along the southerly right of way line of Flagler Avenue for a distance of 6245.19 feet to the point of beginning of the said real estate hereinafter described; from said point of beginning continue bearing south $68^{\circ}45'40''$ west along said southerly right of way line of Flagler Avenue for a distance of 280.0 feet to a point; thence bear south $21^{\circ}14'20''$ east for a distance of 386.0 feet to a point on the northerly side of a proposed canal; thence bear north $68^{\circ}45'40''$ east along the northerly side of said proposed canal for a distance of 280.0 feet to a point; thence bear north $21^{\circ}14'20''$ west for a distance of 386.0 feet back to the point of beginning, said described real estate connecting and being adjacent to the southwesterly 757.21 feet of that parcel of land known as Parcel 29 as set forth in an unrecorded map of lands of Key West Improvement Co., Inc., prepared by Cranshaw, Bailey and Associates, dated December 2, 1952.
2. Commencing at the intersection of the southerly right of way line of Flagler Avenue and the westerly right of way line (curb line) of Roosevelt Boulevard, in Key West, Florida, near south $68^{\circ}45'40''$ west along the southerly right of way line of Flagler Avenue for a distance of 6725.19 feet to the point of beginning of the said real estate hereinafter described; from said point of beginning continue bearing south $68^{\circ}45'40''$ west along said southerly right of way line of Flagler Avenue for a distance of 279 feet to a point; thence bear south $21^{\circ}14'20''$ east for a distance of 386.0 feet to a point on the northerly side of a proposed canal; thence bear north $68^{\circ}45'40''$ east along the northerly side of said proposed canal for a distance of 270 feet to a point; thence bear north $21^{\circ}14'20''$ west for a distance of 386.0 feet back to the point of beginning, said described real estate connecting and being adjacent to the southwesterly 267.21 feet of that parcel of land known as Parcel 29 as set forth in an unrecorded map of lands of Key West Improvement Co., Inc., prepared by Cranshaw, Bailey and Associates, dated December 2, 1952.



#3. Commencing at the intersection of the southerly right of way line of Flagler Avenue and the Westerly right of way line (curb line) of Roosevelt Boulevard, in Key West, Florida, bear south $68^{\circ}45'40''$ west along the southerly right of way line of Flagler Avenue for a distance of 6995.19 feet to the point of beginning of the said real estate hereinafter described; From said point of beginning continue bearing south $68^{\circ}45'40''$ west along said southerly right of way line of Flagler Avenue for a distance of 287.21 feet to a point on the easterly side of a proposed canal; thence bear south $21^{\circ}14'20''$ east along the easterly side of said proposed canal for a distance of 386.0 feet to a point on the northerly side of the proposed canal; thence bear north $68^{\circ}45'40''$ east along the northerly side of said proposed canal for a distance of 287.21 feet to a point; thence bear north $21^{\circ}14'20''$ west for a distance of 386.0 feet back to the point of beginning, said described real estate being (the southwesterly 287.21 feet of) that parcel of land known as Parcel 29 as set forth in an unrecorded map of lands of Key West Improvement Co., Inc., prepared by Granshaw, Bailey and Associates, dated December 2, 1952.

4. Commencing at the intersection of the southerly right of way line of Flagler Avenue and the westerly right of way line (curb line) of Roosevelt Boulevard, in Key West, Florida, bear south $68^{\circ}45'40''$ west along the southerly right of way line of Flagler Avenue for a distance of 6995.19 feet to the point of beginning of the said real estate hereinafter described; From said point of beginning continue bearing south $68^{\circ}45'40''$ west along the southerly right of way line of Flagler Avenue for a distance of 200.0 feet to a point; thence bear south $21^{\circ}14'20''$ east a distance of 386.0 feet, more or less, to a point on the northerly side of a proposed canal; thence bear north $68^{\circ}45'40''$ east along the northerly side of said proposed canal for a distance of 200.0 feet to a point; thence bear north $21^{\circ}14'20''$ west for a distance of 386.0 feet, more or less, back to the point of beginning, said described real estate being a portion of that parcel of land known as Parcel 29 as set forth in an unrecorded map of lands of Key West Improvement Co., Inc., prepared by Granshaw, Bailey and Associates, dated December 2, 1952.

together with any improvements thereon and all fixtures and appurtenances located in such improvements.

AND THE SAID GRANTOR DOES HEREBY fully warrant the title to the said land, and will defend the same against the lawful claims of all persons whomsoever claiming by, through, or under any title.

IN WITNESS WHEREOF, the said Grantor, Joseph P. Hurley, Bishop of the Diocese of St. Augustine, has caused this agreement to be signed in his name and has hereunto set his own hand and seal as bear above written.

Signed, Sealed and Delivered
in Our Presence:

Joseph P. Hurley

Joseph P. Hurley, As Bishop of
the Diocese of St. Augustine

STATE OF FLORIDA :
: ss
COUNTY OF ST. JOHNS :

I HEREBY CERTIFY that on this 10th day of August, 1964, before me personally appeared JOSEPH P. HURLEY, AS BISHOP OF THE DIOCESE OF ST. AUGUSTINE, to me well known and known to me to be the person described in and who executed the foregoing conveyance to Coleman F. Carroll, as Bishop of the Diocese of Miami, and he acknowledged the execution thereof to be his free act and deed for the uses and purposes therein mentioned.

WITNESS my signature and official seal at _____, Florida, the day and year last aforesaid.

Notary Public, State of Florida
at Large

My Commission Expires:

Notary Public, State of Florida at Large
My Commission Expires End 12, 1966
Notary Public, State of Florida



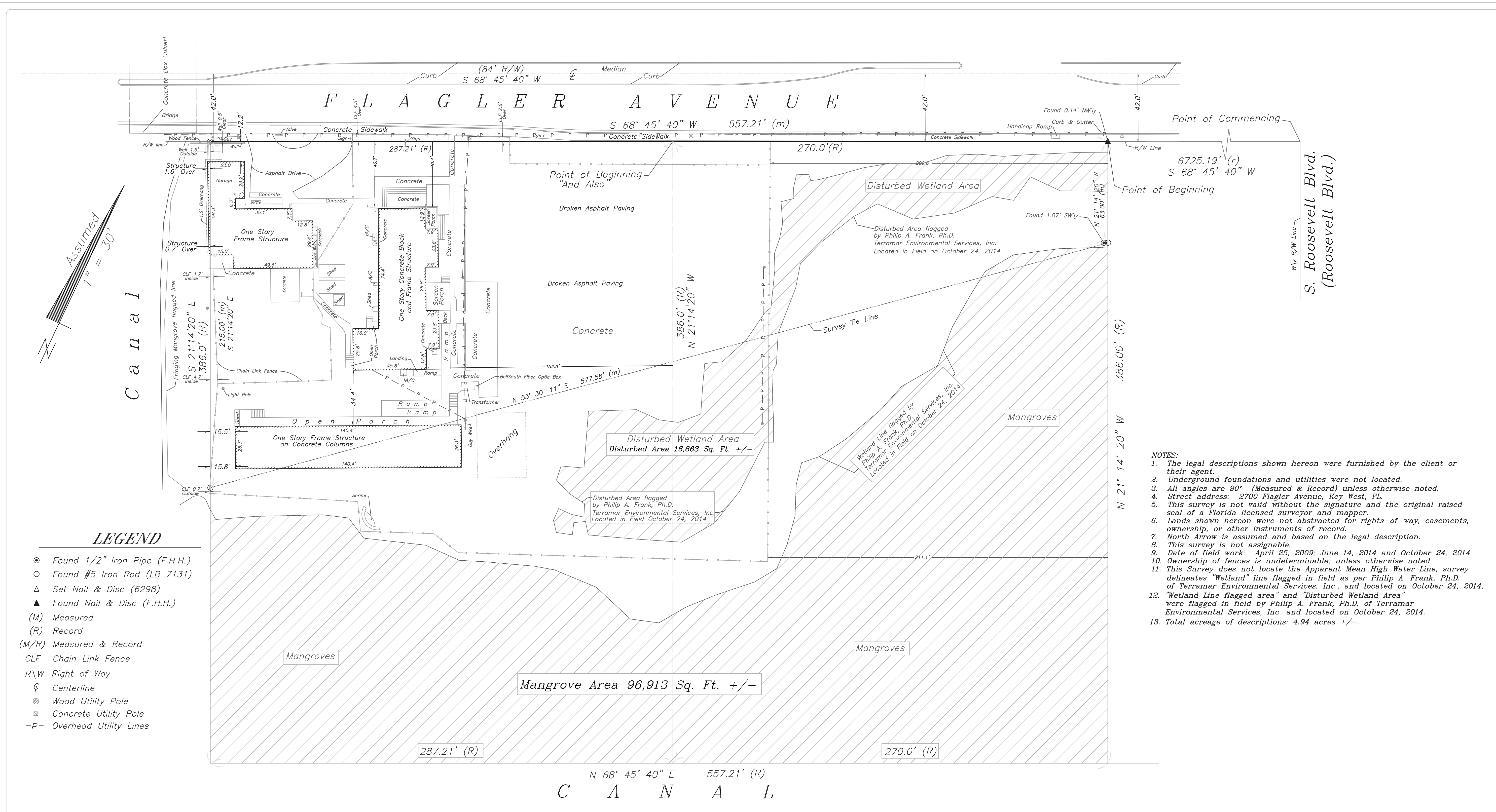
This Copy is a True Copy of the Original on File in this Office. Witness my hand and Official Seal.

This 25th day of July

A.D., 20 03
DANNY L. KOLHAGE
Clerk Circuit Court

By Diane Shedd D.C.

Survey



- LEGEND**
- Found 1/2" Iron Pipe (F.H.H.)
 - △ Found #5 Iron Rod (LB 7131)
 - Set Nail & Disc (6298)
 - ▲ Found Nail & Disc (F.H.H.)
 - (M) Measured
 - (R) Record
 - (M/R) Measured & Record
 - CLF Chain Link Fence
 - R\W Right of Way
 - ⊕ Centerline
 - ⊗ Wood Utility Pole
 - ⊗ Concrete Utility Pole
 - P- Overhead Utility Lines

BOUNDARY SURVEY OF: Commencing at the intersection of the Southerly right of way line of Flagler Avenue and the Westerly right of way line (curb line) of Roosevelt Boulevard, in Key West, Florida, bear South 68°45'40" West along the Southerly right of way line of Flagler Avenue for a distance of 6725.19 feet to the Point of Beginning of the said real estate hereinafter described; From said Point of Beginning continue bearing South 68°45'40" West along said Southerly right of way line of Flagler Avenue for a distance of 270 feet to a point; thence bear South 21°14'20" East for a distance of 386.0 feet to a point on the Northerly side of a proposed canal; thence bear North 68°45'40" East along the Northerly side of said proposed canal for a distance of 270 feet to a point; thence bear North 21°14'20" West for a distance of 386.0 feet back to the Point of Beginning, said described real estate connecting and being adjacent to the Southwesterly 287.21 feet of that parcel of land known as Parcel 29 as set forth in an unrecorded map of lands of Key West Improvement Co., Inc., prepared by Cranshaw, Bailey and Associates, dated December 2, 1952.

AND ALSO; Commencing at the intersection of the Southerly right of way line of Flagler Avenue and the Westerly right of way line (curb line) of Roosevelt Boulevard, in Key West, Florida, bear South 68°45'40" West along the Southerly right of way line of Flagler Avenue for a distance of 6995.19 feet to the Point of Beginning of the said real estate hereinafter described; From said Point of Beginning continue bearing South 68°45'40" West along said Southerly right of way line of Flagler Avenue for a distance of 287.21 feet to a point on the Easterly side of a proposed canal; thence bear South 21°14'20" East along the Easterly side of said proposed canal for a distance of 386.0 feet to a point on the Northerly side of the proposed canal; thence bear North 68°45'40" East along the Northerly side of said proposed canal for a distance of 287.21 feet to a point; thence bear North 21°14'20" West for a distance of 386.0 feet back to the Point of Beginning, said described real estate being (the Southwesterly 287.21 feet of) that parcel of land known

BOUNDARY SURVEY FOR: Archdiocese of Miami;

J. LYNN O'FLYNN, INC.

J. Lynn O'Flynn, PSM
 Florida Reg. #6298
 May 6, 2009

J. LYNN O'FLYNN, Inc.
 Professional Surveyor & Mapper
 PSM #6298
 3430 Duck Ave., Key West, FL 33040
 (305) 296-7422

Not valid without the signature and original raised seal of a Florida licensed Surveyor and Mapper.

Boundary Survey of:
 2700 Flagler Avenue
 Key West, FL

REVISIONS:
 1. Rev. Vegetation Line 9/22/03
 2. Rev. Vegetation Line 11/6/03
 3. Update 5/16/09
 4. Update 6/14/14
 5. Locate Wetland Lines 10/24/14

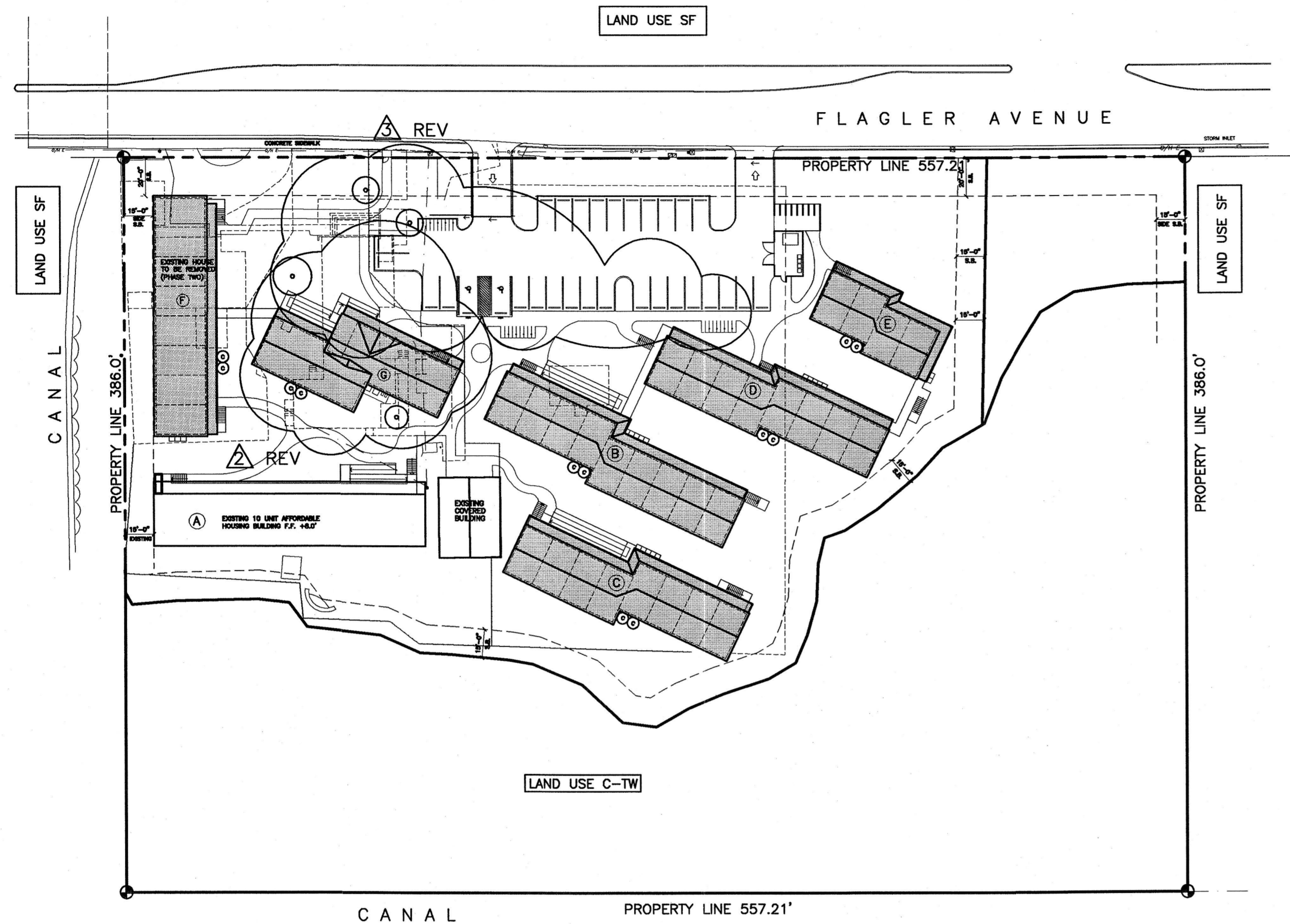
DRAWN BY: MPB
CHECKED BY: JLO
DATE: 5-6-03

SHEET: 1
OF: 1

- NOTES:**
1. The legal descriptions shown hereon were furnished by the client or their agent.
 2. Underground foundations and utilities were not located.
 3. All angles are 90° (Measured & Record) unless otherwise noted.
 4. Street address: 2700 Flagler Avenue, Key West, FL.
 5. This survey is not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
 6. Lands shown hereon were not abstracted for rights-of-way, easements, ownership, or other instruments of record.
 7. North Arrow is assumed and based on the legal description.
 8. This survey is not assignable.
 9. Date of field work: April 25, 2009; June 14, 2014 and October 24, 2014.
 10. Ownership of fences is undeterminable, unless otherwise noted.
 11. This Survey does not locate the Apparent Mean High Water Line, survey delineates "Wetland" line flagged in field as per Philip A. Frank, Ph.D. of Terramar Environmental Services, Inc., and located on October 24, 2014.
 12. "Wetland Line flagged area" and "Disturbed Wetland Area" were flagged in field by Philip A. Frank, Ph.D. of Terramar Environmental Services, Inc. and located on October 24, 2014.
 13. Total acreage of descriptions: 4.94 acres +/-.

Site Plans

CATHOLIC CHARITIES HOUSING PROJECT



PROPOSED ROOF & SITE PLAN

SITE PLAN BASED ON INFORMATION OBTAINED FROM SURVEY PREPARED BY J. LYNN O'FLYNN, INC. DATED ON 09-28-15. SCALE: 1"=50'-0"

KEY PERSONNEL

ARCHITECT:	PLANNER & LANDSCAPE DESIGN:	ENVIRONMENTAL CONSULTANT:
WILLIAM P. HORN ARCHITECT, P.A. WILLIAM P. HORN, RA, LEED AP 915 EATON ST. KEY WEST, FL 33040 TEL (305) 296-8302	MITCHELL PLANNING & DESIGN BARBARA MITCHELL, LEED AP 15480 SE 103rd PLACE RD. OAKLAHAWA, FL 32197 (305) 509-0966	TERRAMAR ENVIRONMENTAL SERVICES, INC. PHILIP A. FRANK, SENIOR ENVIRONMENTAL SCIENTIST 1241 CRANE BOULEVARD SUGARLOAF KEY, FLORIDA 33042 (305) 393-4200
CIVIL ENGINEERING:	MEP ENGINEERING:	SURVEYOR:
PEREZ ENGINEERING AND DEVELOPMENT INC. ALLEN E. PEREZ, PE 1010 EAST KENNEDY DRIVE SUITE 400 KEY WEST, FL 33040 TEL (305) 293-9440	INNOVATIVE ENGINEERING GROUP INC. SUDHIR GUPTA, PE, LEED AP 5532 N.W. 72ND AV. MIAMI FL 33186 TEL (305) 888-9826	J. LYNN O'FLYNN, INC. J. LYNN O'FLYNN, PROFESSIONAL SURVEYOR & MAPPER 3430 DUCK AVE. KEY WEST, FL 33040 TEL (305) 296-7422

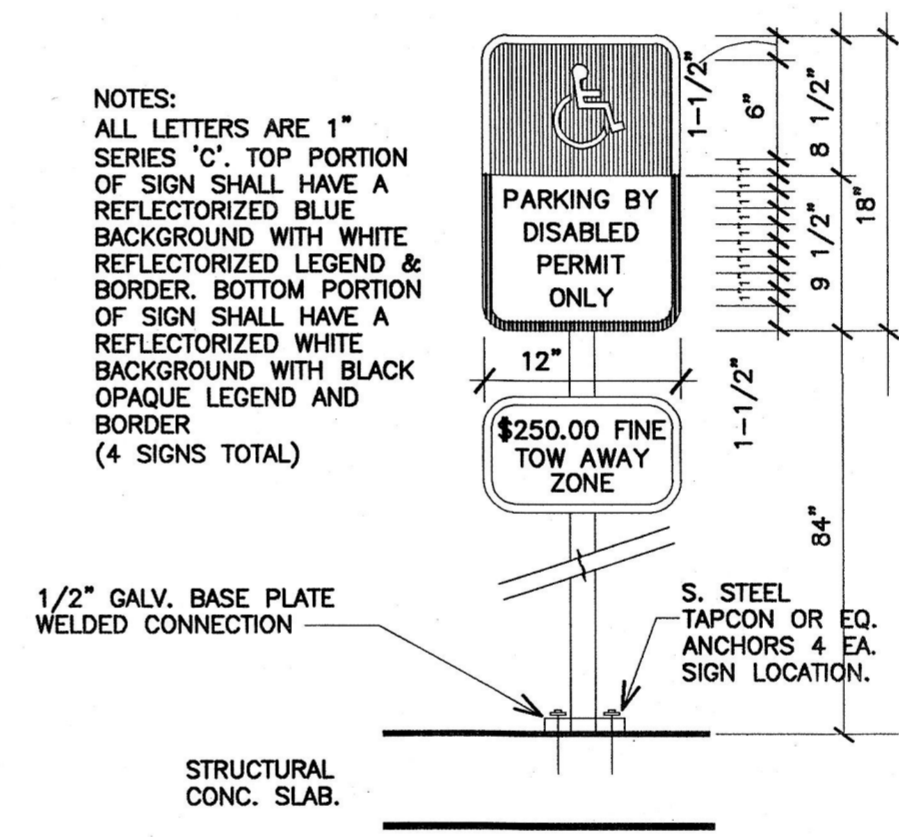
SHEET INDEX

- A-0 COVER SHEET
- A-1 SITE PLAN
- A-1.1 PHASING PLAN - PHASE ONE
- A-2 FLOOR PLAN - ELEVATION TYPICAL BUILDING
- A-3 FLOOR PLAN - ELEVATION OFFICE/LAUNDRY BUILDING 'G'
- E-1 ELECTRICAL SITE PLAN
- EX-1 EXISTING SITE PLAN
- C-1 CONCEPTUAL DRAINAGE PLAN
- C-2 CONCEPTUAL UTILITY PLAN
- LA-01 LANDSCAPE PLAN FOR PLANNING BOARD
- LA-02 LANDSCAPE SCHEDULE AND NOTES, TREE IMPACT PLAN
- LA-03 IRRIGATION PLAN FOR PLANNING BOARD
- LA-04 IRRIGATION NOTES
- LS-1 LIFE SAFETY - SITE PLAN
- LS-2 LIFE SAFETY - PROPOSED PLAN
- SU-1 SURVEY

SCOPE OF WORK

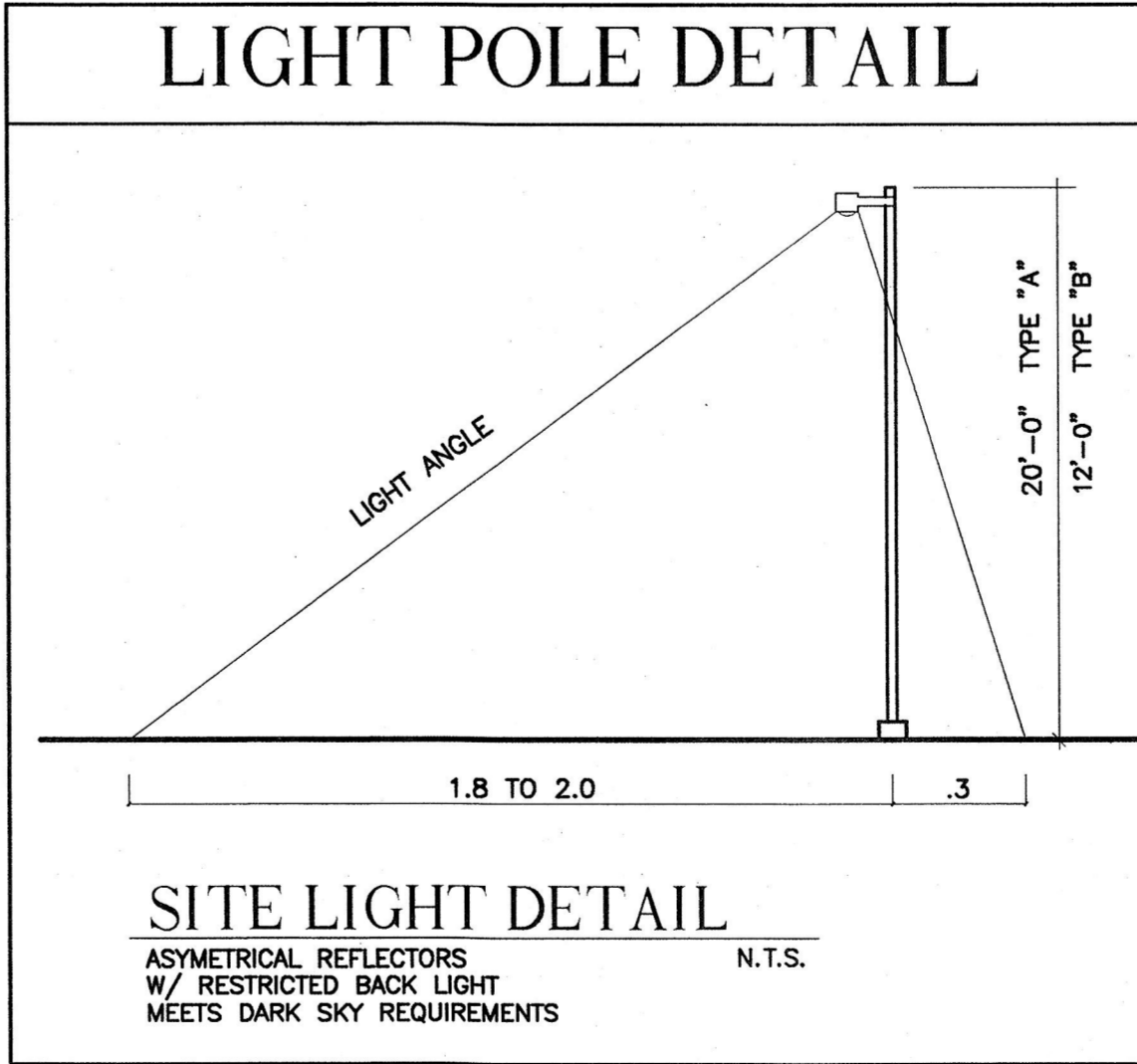
WORK INCLUDES ADDING NEW PARKING LOT, STORMWATER SYSTEMS AND LANDSCAPING. ADDITION OF 37 NEW SINGLE OCCUPANCY HOUSING UNITS (BUILDINGS B, C, D, E AND F) ADDITION OF ONE OFFICE AND KITCHEN FACILITY (BUILDING G)

WORK ALSO INCLUDES DEMOLISHING TWO STRUCTURES (A ONE STORY FRAME AND A ONE STORY CONCRETE BUILDING) IN ORDER TO CONSTRUCT BUILDINGS F AND G.



HANDICAP SIGN DETAIL

SCALE: 1"=1'-0"



SITE DATA

LAND USE : PS (PUBLIC SERVICE)
 SITE AREA : 215,083 SF. (4.93 ACRES)
 UPLAND AREA : 109,797 SF.
 WETLAND AREA : 105,286 SF.
 FLOOD ZONE : AE +8.0'
 SETBACKS : FRONT: ALLOWABLE: 20' PROPOSED: 20'
 WEST SIDE: ALLOWABLE: 15' PROPOSED: 15'-4"
 EAST SIDE: ALLOWABLE: 15' PROPOSED: 16'-7"
 REAR WETLAND: ALLOWABLE: 15' PROPOSED: 15'

LOT COVERAGE : ALLOWABLE = 40% = 43,919 SF.
 EXISTING = 12.0% = 13,191 SF.
 PROPOSED = 29.5% = 32,470 SF.

IMPERVIOUS AREA : ALLOWABLE = 60% MAX. 65,878 SF.
 EXISTING = 32.8% = 38,309 SF.
 PROPOSED = 46.4% = 50,985 SF.

* CALCULATED BROKEN ASPHALT PAVING AS 50% IMPERVIOUS FOR EXISTING IMPERVIOUS

OPEN SPACE : ALLOWABLE = 35% = 38,429 S.F.
 EXISTING = 67.2% = 71,488 S.F.
 PROPOSED = 53.5% = 58,812 S.F.

LANDSCAPE AREA : ALLOWABLE = 20% MIN. 21,959 S.F.
 EXISTING = 67.2% = 71,488 S.F.
 PROPOSED = 53.5% = 58,812 S.F.

MAX. HEIGHT : ALLOWABLE = 25'
 PROPOSED = 23.75'

F.A.R. : ALLOWABLE = 80% = 87,837 S.F.

	PRINCIPAL USE:	ACCESSORY USE:
EXISTING TO REMAIN :	4,948 S.F.	
PROPOSED :	14,936 S.F.	2,314 S.F.
TOTAL :	19,884 S.F.	2,314 S.F.
FAR :	22.6%	2.6%

PARKING:
 REQUIRED: EXISTING UNITS: 1 SPACE PER 4 UNITS
 10 UNITS/4=2.5 SPACES
 PROPOSED SRO UNITS:
 1 SPACE PER 2 UNITS (BEDS)
 37/2= 18.5 SPACES

TOTAL SPACES REQUIRED: 21.0
 TOTAL SPACES PROVIDED: 30 (INCLUDING 9 SPACES FOR ACCESSORY USES)

BIKE PARKING:
 REQUIRED: EXISTING UNITS: 35% OF THE 2.5 = 0.87 OR 1
 PROPOSED UNITS: 35% OF 18.5=6.5
 TOTAL REQUIRED: 7.5 OR 8 SPACES
 TOTAL PROVIDED: 28 SPACES (+8 SCOOTER SPACES)

BUILDING DATA

EXISTING BUILDINGS :

EXISTING BUILDING (TO BE REMOVED) :	2,816 SF.
EXISTING ONE STORY BLDG. (TO BE REMOVED) :	3,762 SF.
EXISTING COVERED BUILDING :	1,225 SF.
EXISTING 10 UNIT BUILDING (A) :	3,723 SF.
RAISED PORCH/STAIRS/RAMPS :	1,654 SF.
TOTAL :	13,180 SF.

PROPOSED BUILDINGS :

ENCLOSED BUILDING (B) :	3,627 SF.
ENCLOSED BUILDING (C) :	3,224 SF.
ENCLOSED BUILDING (D) :	3,236 SF.
ENCLOSED BUILDING (E) :	1,825 SF.
ENCLOSED BUILDING (F) :	3,224 SF.
ENCLOSED BUILDING (G) :	2,695 SF.
RAISED PORCH/STAIRS/RAMPS/O.H. :	8,656 SF.
TOTAL :	26,287 S.F.

EXISTING TO REMAIN, FROM ABOVE : 6,602 SF.
 TOTAL PROPOSED : 32,889 SF.

WILLIAM P. HORN ARCHITECT, P.A.
 915 EATON ST. KEY WEST, FLORIDA 33040
 TEL (305) 296-8302 FAX (305) 296-1033
 LICENSE NO. AA 0003040
 MITCHELL PLANNING & DESIGN
 PEREZ ENGINEERING & DEVELOPMENT, INC.

CATHOLIC CHARITIES HOUSING PROJECT
 2700 FLAGLER AVENUE KEY WEST, FL.

SEAL

THESE DRAWINGS MAY NOT BE REPRODUCED WITHOUT WRITTEN AUTHORIZATION BY WILLIAM P. HORN

DATE
 08-15-14 BPAS
 08-29-14 BPAS REV.
 07-17-15 DRC
 01-15-16 PL. BD.

REVISIONS
 10-30-15 DRC REV.
 01-27-16 PL. BD. REV.
 03-02-16 PL. BD. REV.
 06-10-16 PHASING DRAWN BY
 EMA
 JW
 PROJECT NUMBER
 1323

A-0

CATHOLIC CHARITIES HOUSING PROJECT
 2700 FLAGLER AVENUE
 KEY WEST, FLORIDA

LAND USE SF-2

REV

FLAGLER AVENUE

STORM INLET

LAND USE SF-2

LAND USE SF-2

LAND USE SF-2

SEAL

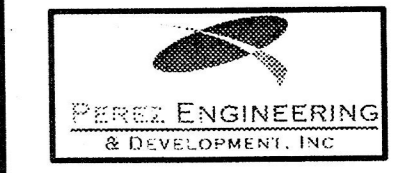
WILLIAM P. HORN
ARCHITECT, P.A.

915 EATON ST.
KEY WEST,
FLORIDA
33040

TEL: (305) 296-5302
FAX: (305) 296-1033

LICENSE NO.
AA 0003040

MITCHELL PLANNING & DESIGN



CATHOLIC CHARITIES
HOUSING PROJECT

2700 FLAGLER AVENUE
KEY WEST, FL

SEAL

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WILLIAM P. HORN

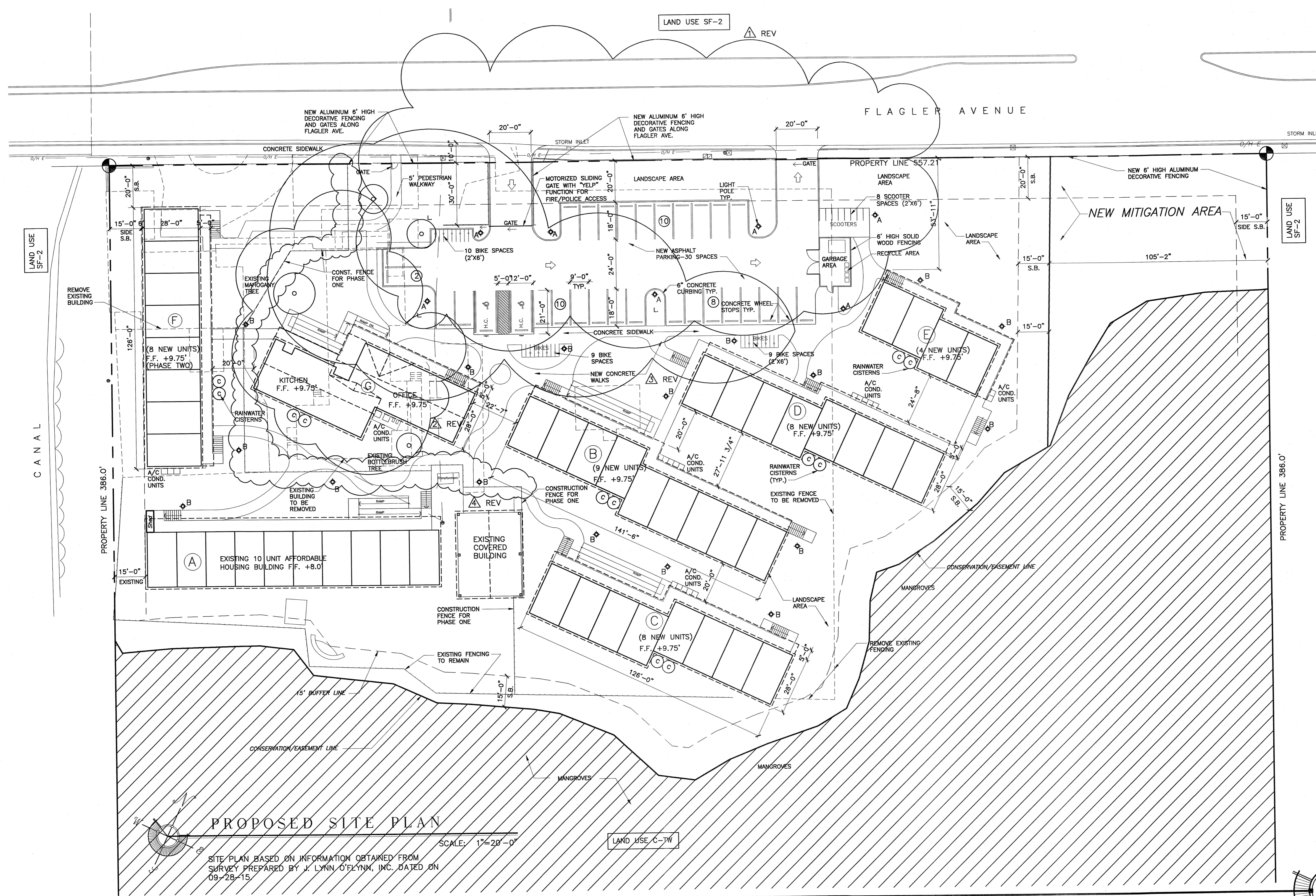
DATE
08-15-14 BPAS
08-29-14 BPAS REV.
07-17-15 DRC
01-15-16 PL. BD.

REVISIONS
10-30-15 DRC REV.
01-27-16 PL. BD. REV.
03-02-16 PL. BD. REV.
06-10-16 PHASING
DRAWN BY

EMA
JW

PROJECT
NUMBER
1323

A-1



PROPOSED SITE PLAN

SCALE: 1"=20'-0"

LAND USE C-TW

SITE PLAN BASED ON INFORMATION OBTAINED FROM
SURVEY PREPARED BY J. LYNN O'FLYNN, INC. DATED ON
09-28-15

CATHOLIC CHARITIES
HOUSING PROJECT
2700 FLAGLER AVENUE
KEY WEST, FLORIDA

LAND USE SF-2

FLAGLER AVENUE

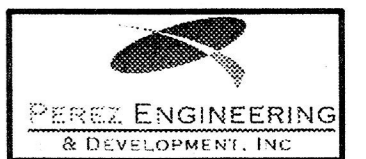
WILLIAM P. HORN
ARCHITECT, P.A.

915 EATON ST.
KEY WEST,
FLORIDA
33040

TEL: (305) 296-5302
FAX: (305) 296-1033

LICENSE NO.
AA 0003040

MITCHELL PLANNING & DESIGN



CATHOLIC CHARITIES
HOUSING PROJECT

2700 FLAGLER AVENUE
KEY WEST, FL.

SEAL

THESE DRAWINGS MAY
NOT BE REPRODUCED
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AUTHORIZATION BY
WILLIAM P. HORN

DATE

08-15-14 BPAS
08-29-14 BPAS REV.
07-17-15 DRC
01-15-16 PL. BD.

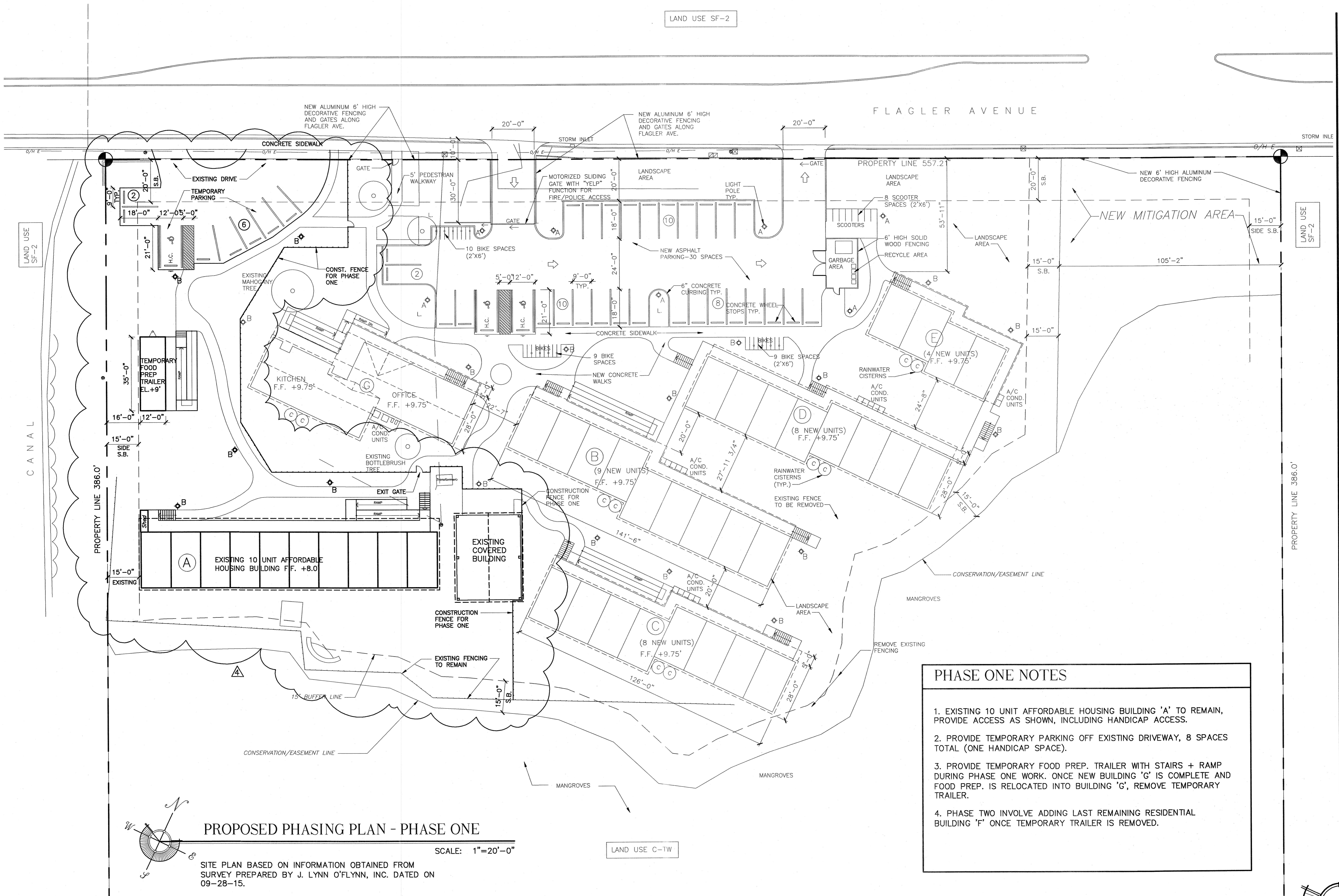
REVISIONS

10-30-15 DRC REV.
01-27-16 PL. BD. REV.
03-02-16 PL. BD. REV.
06-10-16 PHASING
DRAWN BY

EMA
JW

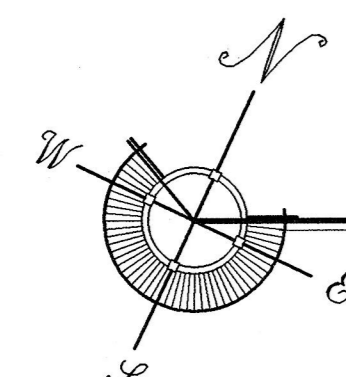
PROJECT
NUMBER

1323



PHASE ONE NOTES

- EXISTING 10 UNIT AFFORDABLE HOUSING BUILDING 'A' TO REMAIN, PROVIDE ACCESS AS SHOWN, INCLUDING HANDICAP ACCESS.
- PROVIDE TEMPORARY PARKING OFF EXISTING DRIVEWAY, 8 SPACES TOTAL (ONE HANDICAP SPACE).
- PROVIDE TEMPORARY FOOD PREP. TRAILER WITH STAIRS + RAMP DURING PHASE ONE WORK. ONCE NEW BUILDING 'G' IS COMPLETE AND FOOD PREP. IS RELOCATED INTO BUILDING 'G', REMOVE TEMPORARY TRAILER.
- PHASE TWO INVOLVE ADDING LAST REMAINING RESIDENTIAL BUILDING 'F' ONCE TEMPORARY TRAILER IS REMOVED.



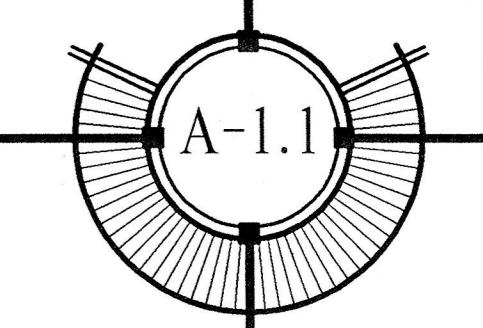
PROPOSED PHASING PLAN - PHASE ONE

SCALE: 1"=20'-0"

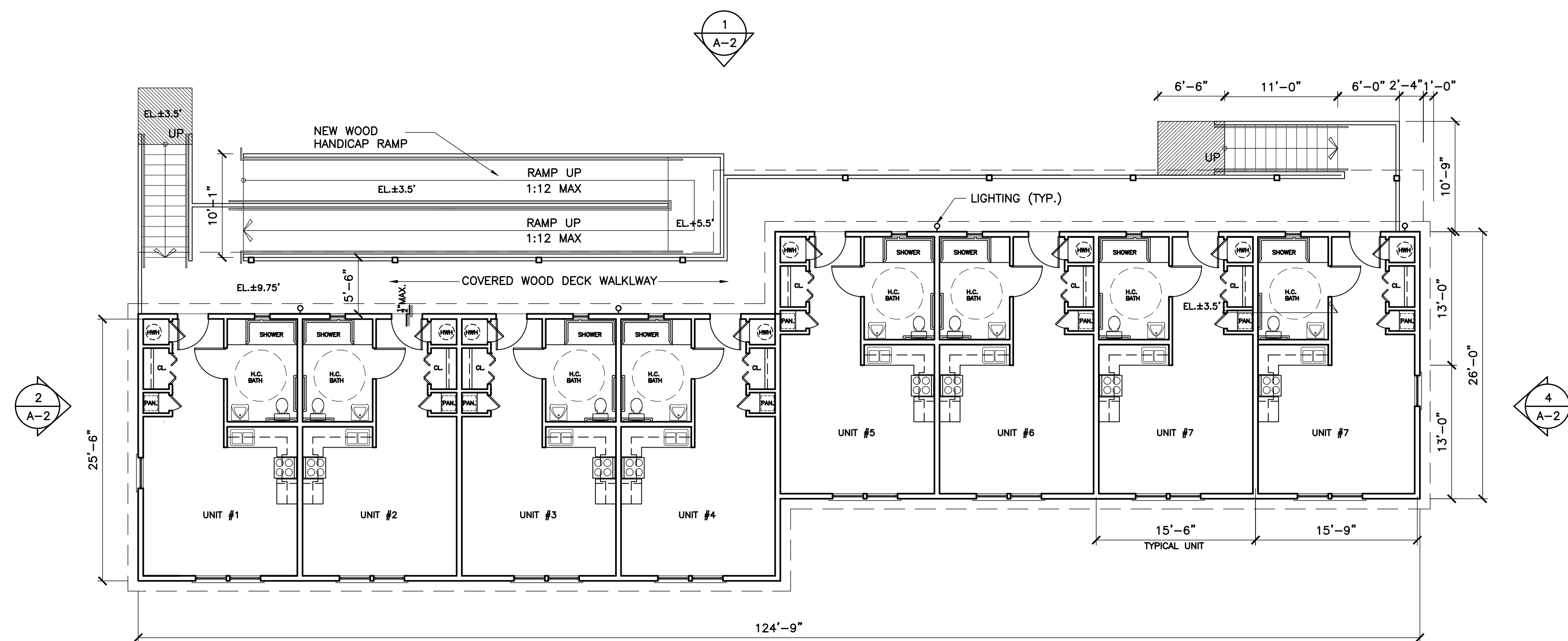
SITE PLAN BASED ON INFORMATION OBTAINED FROM SURVEY PREPARED BY J. LYNN O'FLYNN, INC. DATED ON 09-28-15.

LAND USE C-TW

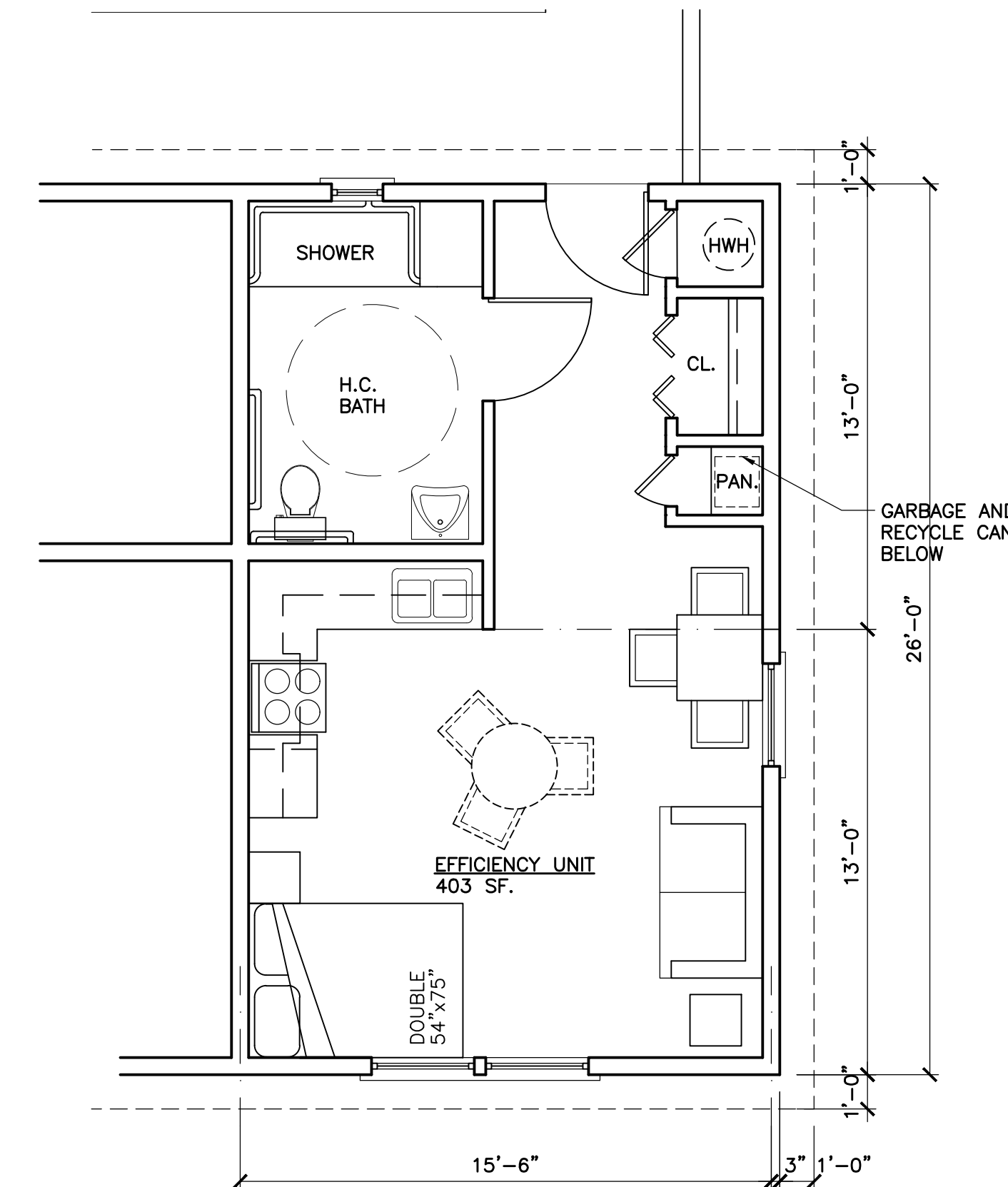
**CATHOLIC CHARITIES
HOUSING PROJECT
2700 FLAGLER AVENUE
KEY WEST, FLORIDA**



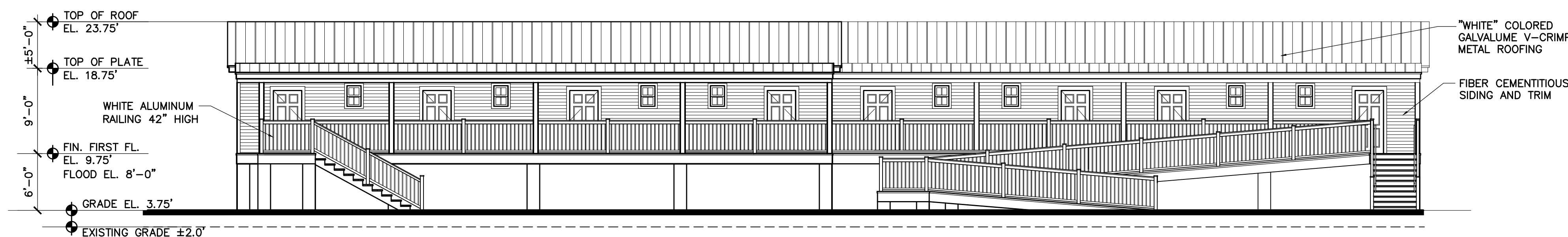
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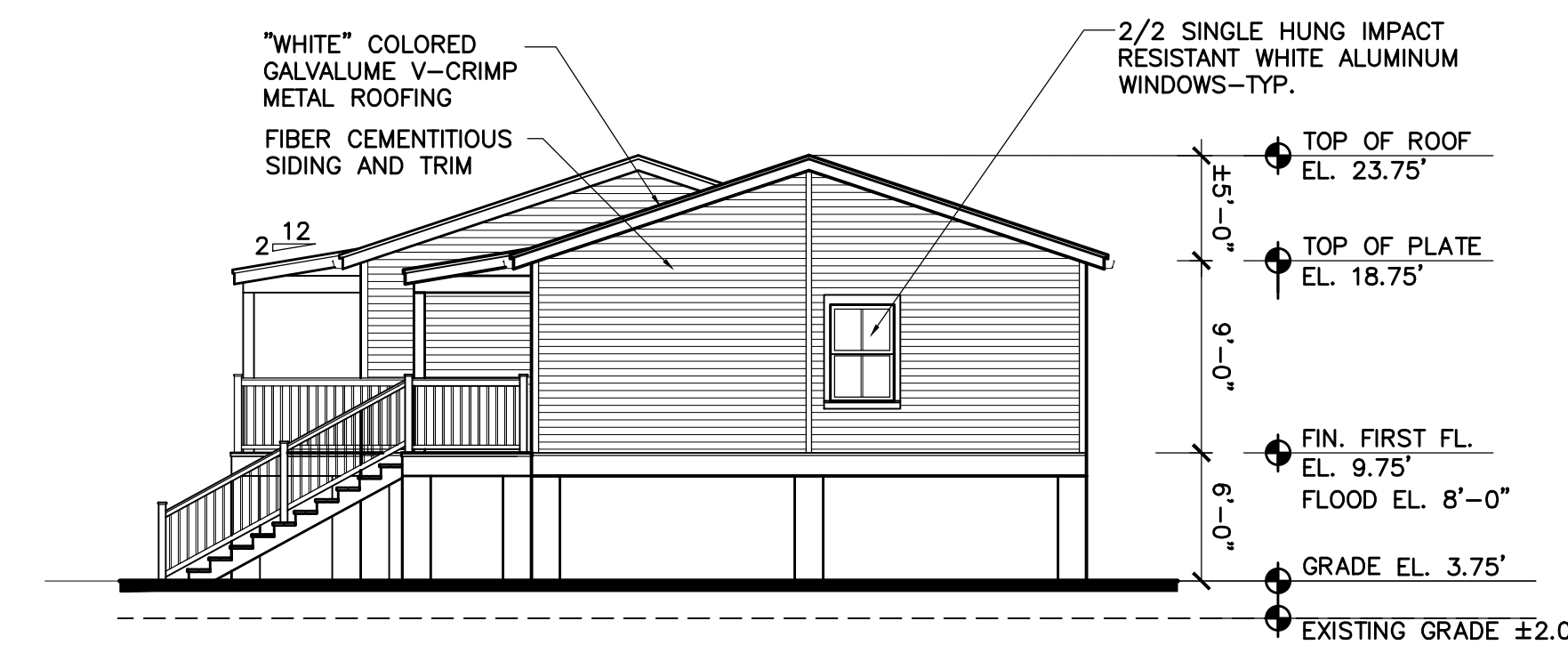
PROPOSED PLAN
TYPICAL BUILDING LAYOUT SCALE: 1/8"=1'-0"



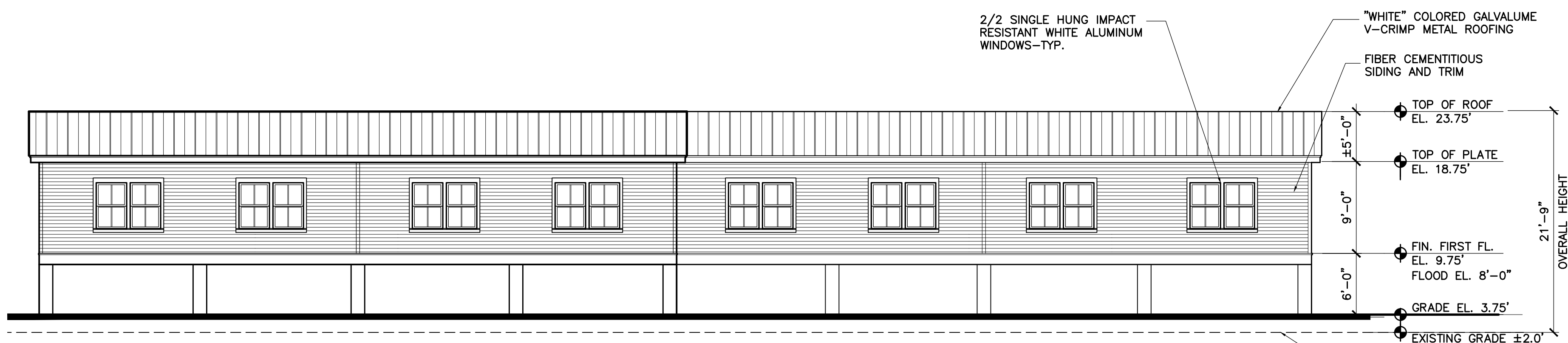
TYPICAL PRE-FABRICATED UNIT PLAN
403 SF. (TYPICAL) SCALE: 1/4"=1'-0"



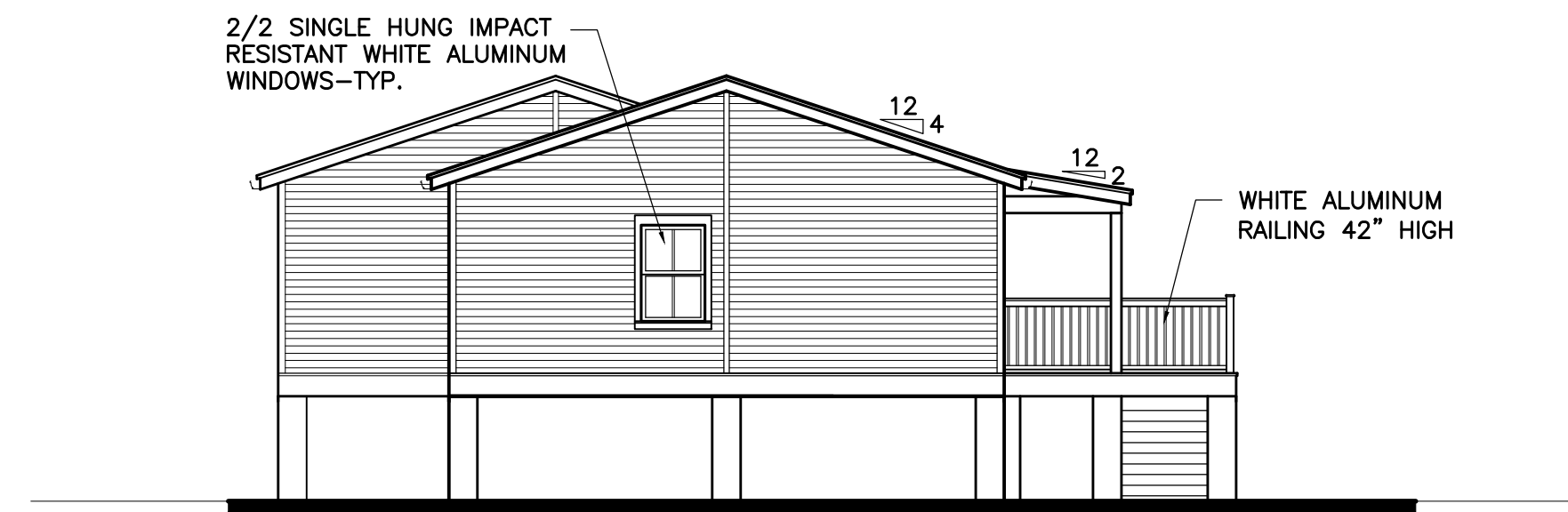
FRONT ELEVATION SCALE: 1/8"=1'-0"



SIDE ELEVATION SCALE: 1/8"=1'-0"



BACK ELEVATION SCALE: 1/8"=1'-0"



SIDE ELEVATION SCALE: 1/8"=1'-0"



CATHOLIC CHARITIES
HOUSING PROJECT

2700 FLAGLER AVENUE
KEY WEST, FL.

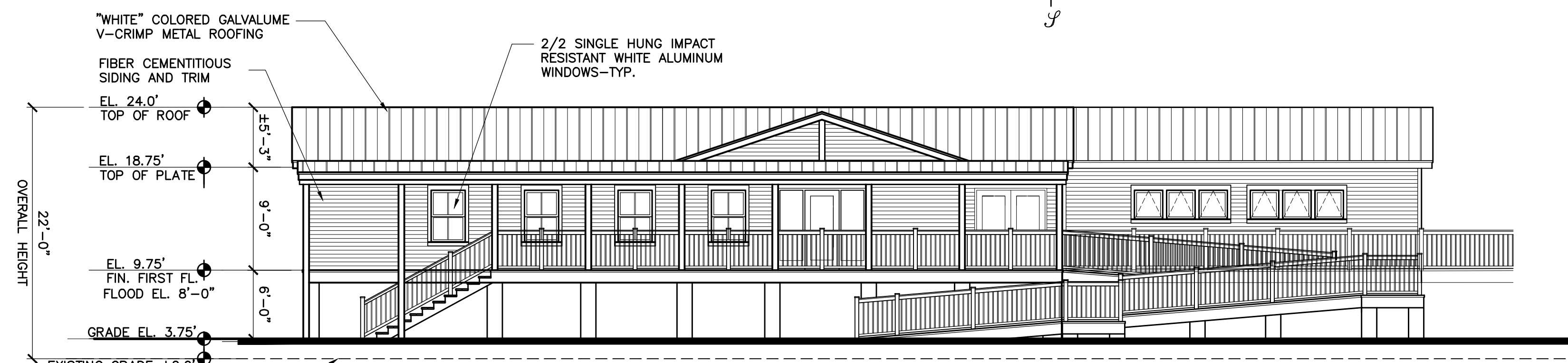
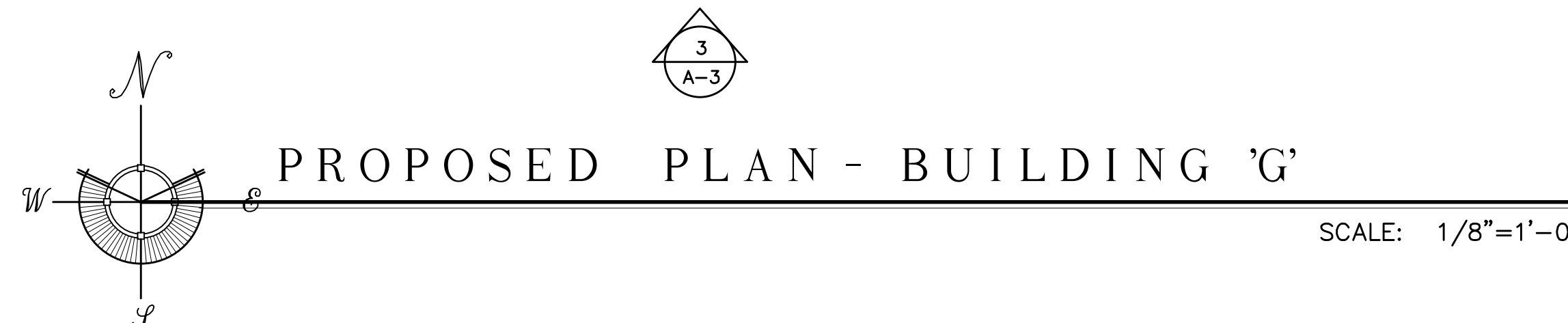
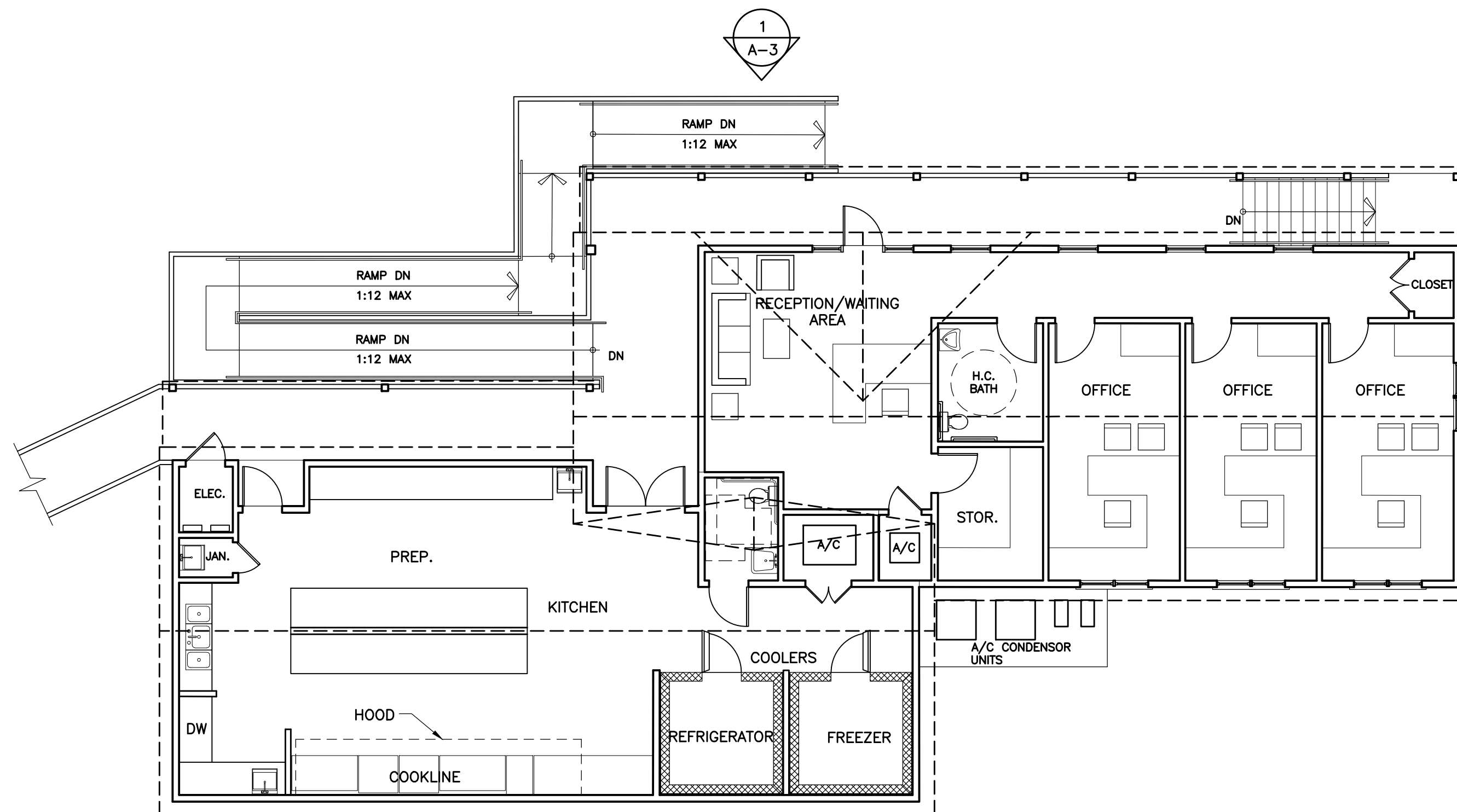
SEAL

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AUTHORIZATION BY
WILLIAM P. HORN

DATE
08-15-14 BPAS
08-29-14 BPAS REV.
07-17-15 DRC
01-15-16 PL. BD.

REVISIONS
1 10-30-15 DRC REV.
2 01-27-16 PL. BD. REV.
3 03-02-16 PL. BD. REV.

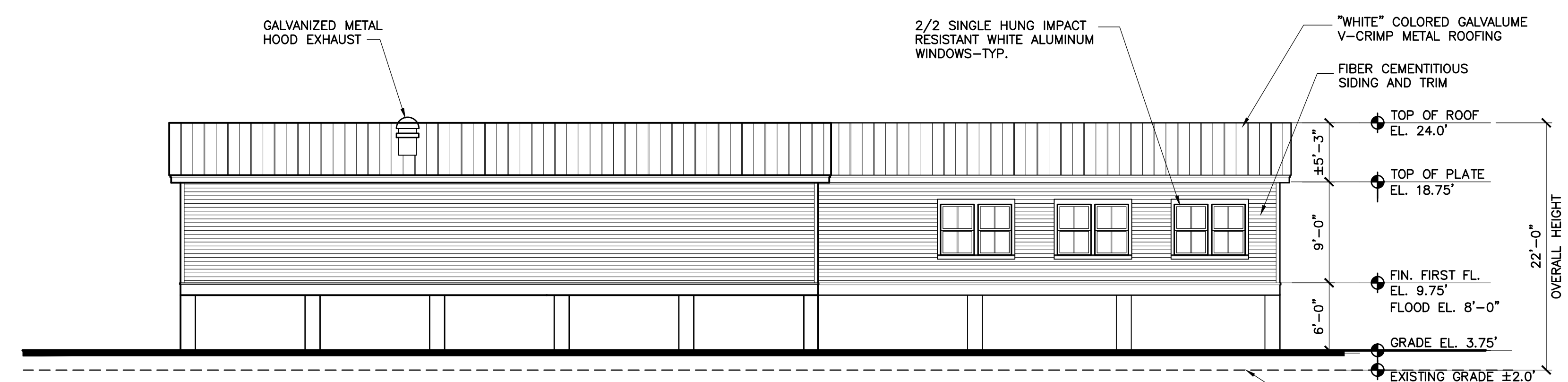
DRAWN BY
EMA
JW
PROJECT
NUMBER
1323



3
A-3
FRONT ELEVATION
SCALE: 1/8"=1'-0"



3
A-3
SIDE ELEVATION
SCALE: 1/8"=1'-0"

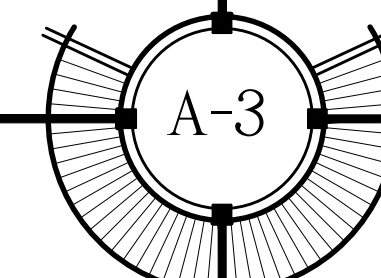


1
A-3
BACK ELEVATION
SCALE: 1/8"=1'-0"



4
A-3
SIDE ELEVATION
SCALE: 1/8"=1'-0"

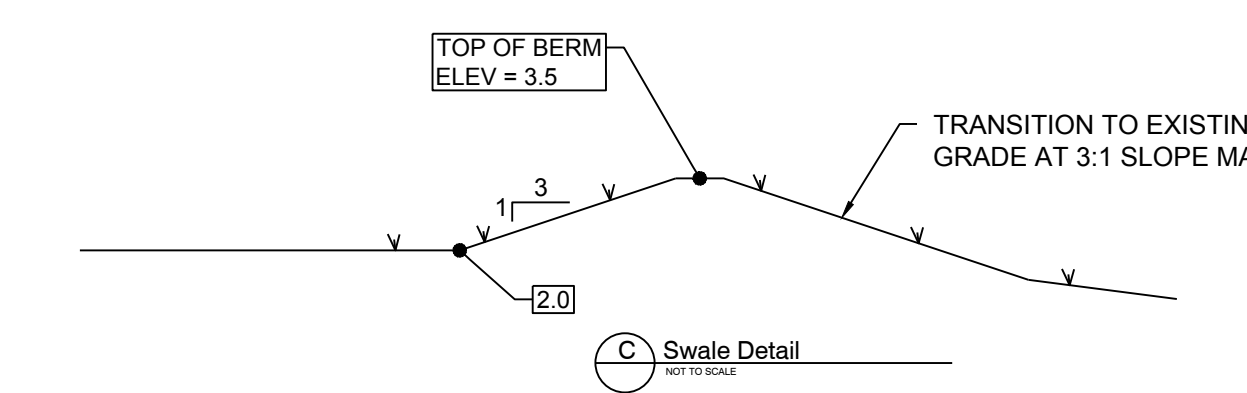
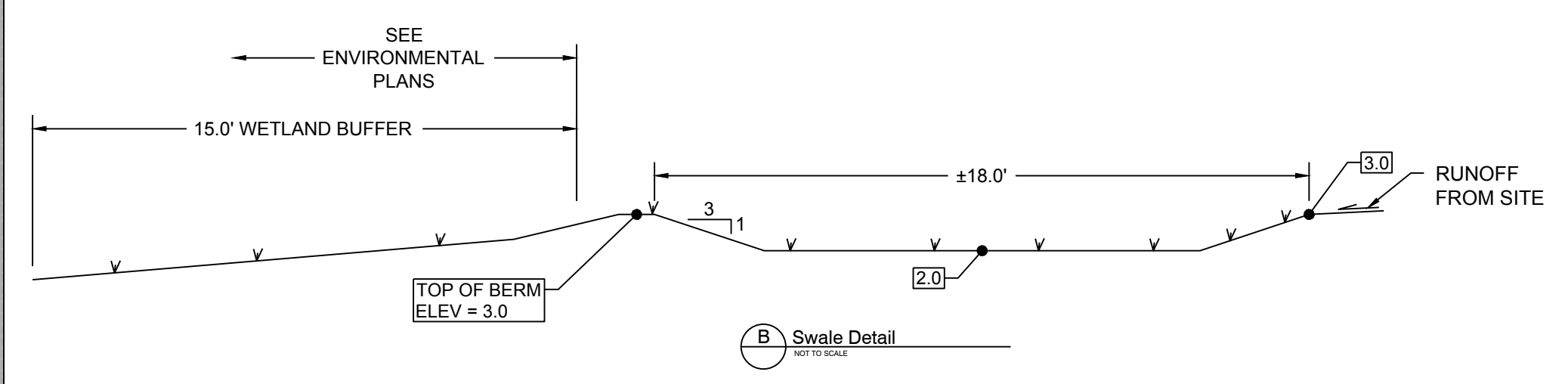
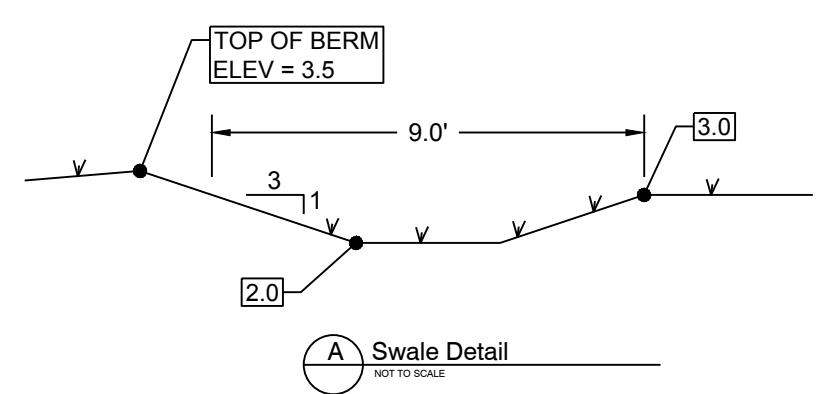
CATHOLIC CHARITIES
HOUSING PROJECT
2700 FLAGLER AVENUE
KEY WEST, FLORIDA



Water Quantity Calculations - 25yr/72hr Design Storm			
<i>Water Quantity - Predevelopment</i>			
Project Area	A =	2,713	ac 118,187 sf
Pervious Area		2,244	ac 97,747 sf
Impervious Area		0,469	ac 20,440 sf
% Impervious		17.29%	
Rainfall for 25yr/24hr event	P ₂₄ =	9	in
Rainfall for 25yr/3day event	P ₇₂ =	12.23	in
Depth to Water Table		4	ft
Predeveloped Available Storage		8.18	in
Soil Storage	S =	6.77	in
$Q_{pre} = \frac{(P_{72} - 0.2S)^2}{(P_{72} + 0.8S)}$	Q _{pre} =	6.71	in
Runoff Volume from 25 year/ 3 day storm	V _{25yr/72hr} =	18.20	ac-in
<i>Water Quantity - Postdevelopment</i>			
Project Area	A =	2,713	ac 118,187 sf
Pervious Area		1,546	ac 67,346 sf
Impervious Area		1,167	ac 50,841 sf
% Impervious		43.0%	
Rainfall for 25yr/24hr event	P ₂₄ =	9	in
Rainfall for 25yr/3day event	P ₇₂ =	12.23	in
Depth to Water Table		4	ft
Developed Available Storage		8.18	in
Soil Storage	S =	4.66	in
$Q_{post} = \frac{(P_{24} + 0.2S)^2}{(P_{24} + 0.8S)}$	Q _{post} =	8.00	in
Runoff Volume from 25 year/ 3 day storm	V _{25yr/72hr} =	21.70	ac-in
<i>Postdevelopment - Predevelopment</i>			
$Q_{pre-post} = Q_{post} - Q_{pre}$	Q _{pre-post} =	1.29	in
Pre/Post Volume = Q _{pre-post} x A	V _{pre-post} =	3.51	ac-in

Water Quality Calculations - 25yr/72hr Design Storm			
<i>Water Quality</i>			
Project Area	2,713	ac	118,187 sf
Surface Water	0.000	ac	0 sf
Roof Area	0.680	ac	29,633 sf
Pavement/Walkways	0.487	ac	21,208 sf
Pervious area	1.546	ac	67,346 sf
Impervious area for water Quality (Site area for Water Quality - Pervious area)	0.487	ac	21,208 sf
% Impervious	18%		
A) One inch of runoff from project area	2,713	ac-in	
B) 2.5 inches times percent impervious (2.5 x percent impervious x (site area - surface water))	1,217	ac-in	
<i>Comparison of Water Quality Methods</i>			
	2,713	>	1,217
	ac-in		ac-in
Total Volume Required	3,506	ac-in	12,726 cf
Total Volume Provided	3,566	ac-in	12,944 cf

NOTE: CONTRACTOR TO COORDINATE CONVEYANCE OF ROOF DRAINS/RUNOFF TO NEW STORMWATER MANAGEMENT SYSTEM



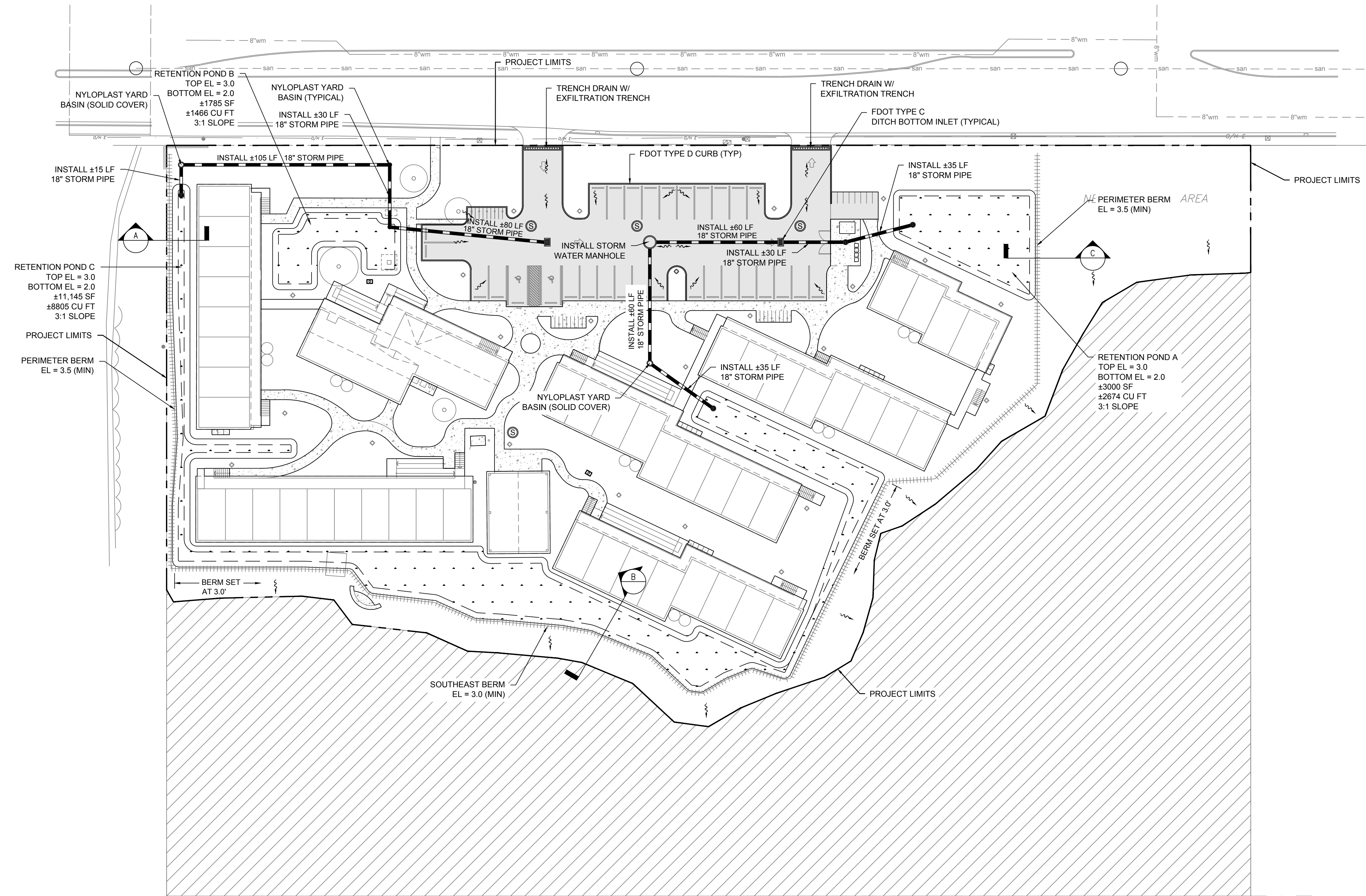
LEGEND

- PROJECT LIMITS
- ASPHALT PAVEMENT
- CONCRETE
- RETENTION AREA
- STORMWATER FLOW

NOTE: SYMBOLS IN LEGEND ARE NOT TO SCALE

SCALE 1"=30'

BAR IS TWO INCHES ON ORIGINAL DRAWINGS IF NOT TWO INCHES ON THIS SHEET ADJUST SCALES ACCORDINGLY



CIVIL ENGINEERING • REGULATORY PERMITTING • CONSTRUCTION MANAGEMENT

PEREZ ENGINEERING & DEVELOPMENT, INC.

KEY WEST OFFICE
1010 S. KENNEDY BLVD., SUITE 201
KEY WEST, FL 33040
TEL: (305) 293-9440 FAX: (305) 296-0243

ALLEN E. PEREZ, P.E.
Florida P.E. NO. 51468
March 2, 2016

ORIGINAL: _____

REVISIONS:

1	
2	
3	
4	
5	
6	

CATHOLIC CHARITIES HOUSING

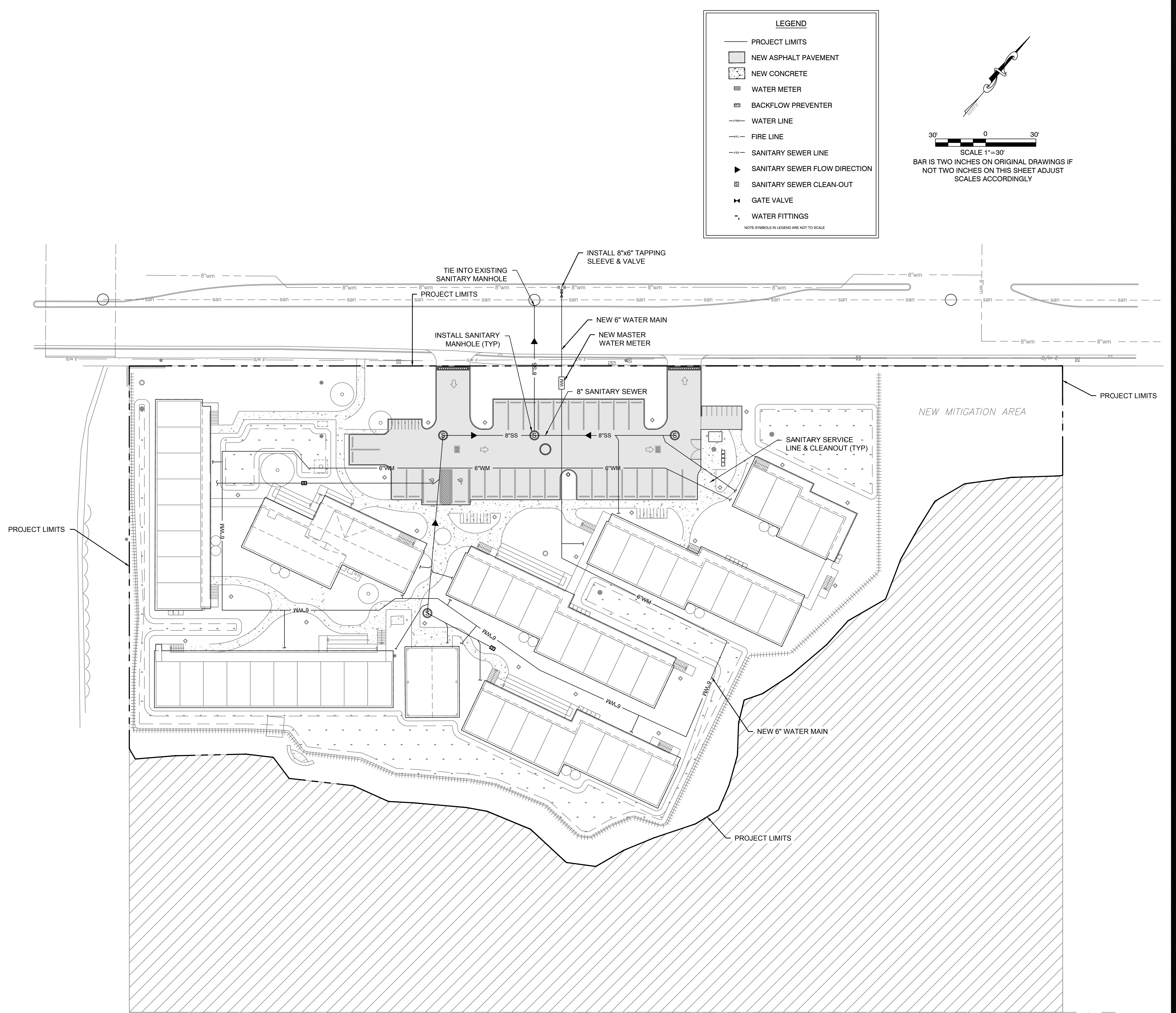
2700 FLAGLER AVENUE

KEY WEST, FL 33040

KEY WEST, FL 33040

CONCEPTUAL DRAINAGE PLAN

JOB NO. 141005
DRAWN BGO
DESIGNED AEP
CHECKED AEP
QC _____
SHEET C-1



LEGEND

- PROJECT LIMITS
- NEW ASPHALT PAVEMENT
- NEW CONCRETE
- ⊠ WATER METER
- ⊠ BACKFLOW PREVENTER
- W-W WATER LINE
- F-F FIRE LINE
- S-S SANITARY SEWER LINE
- ▶ SANITARY SEWER FLOW DIRECTION
- ⊠ SANITARY SEWER CLEAN-OUT
- ⊠ GATE VALVE
- WATER FITTINGS

NOTE: SYMBOLS IN LEGEND ARE NOT TO SCALE

SCALE 1"=30'

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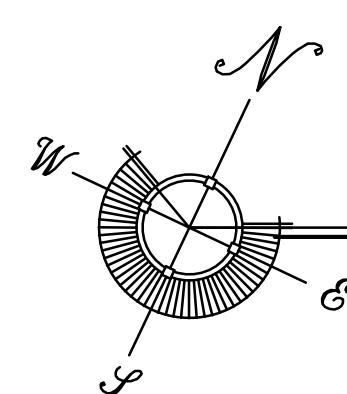
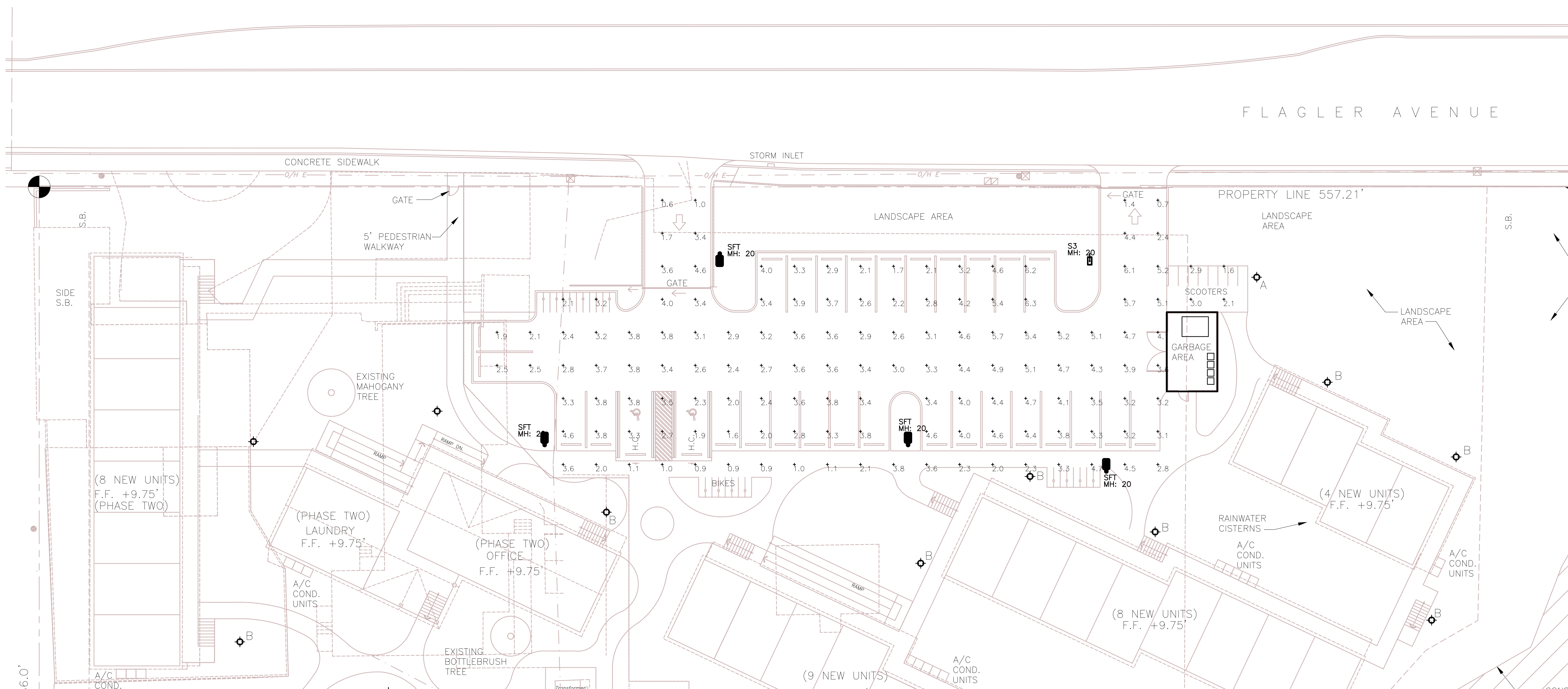
ALLEN E. PEREZ, P.E.
Florida P.E. NO. S 1468
March 2, 2016

REVISIONS:	ORIGINAL:
1	
2	
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CATHOLIC CHARITIES
2700 FLAGLER AVENUE
KEY WEST, FL 33040

CATHOLIC CHARITIES HOUSING
KEY WEST, FL 33040
CONCEPTUAL UTILITY PLAN

JOB NO.	141005
DRAWN	BGO
DESIGNED	AEP
CHECKED	AEP
QC	
SHEET	C-2



ELECTRICAL SITE PLAN

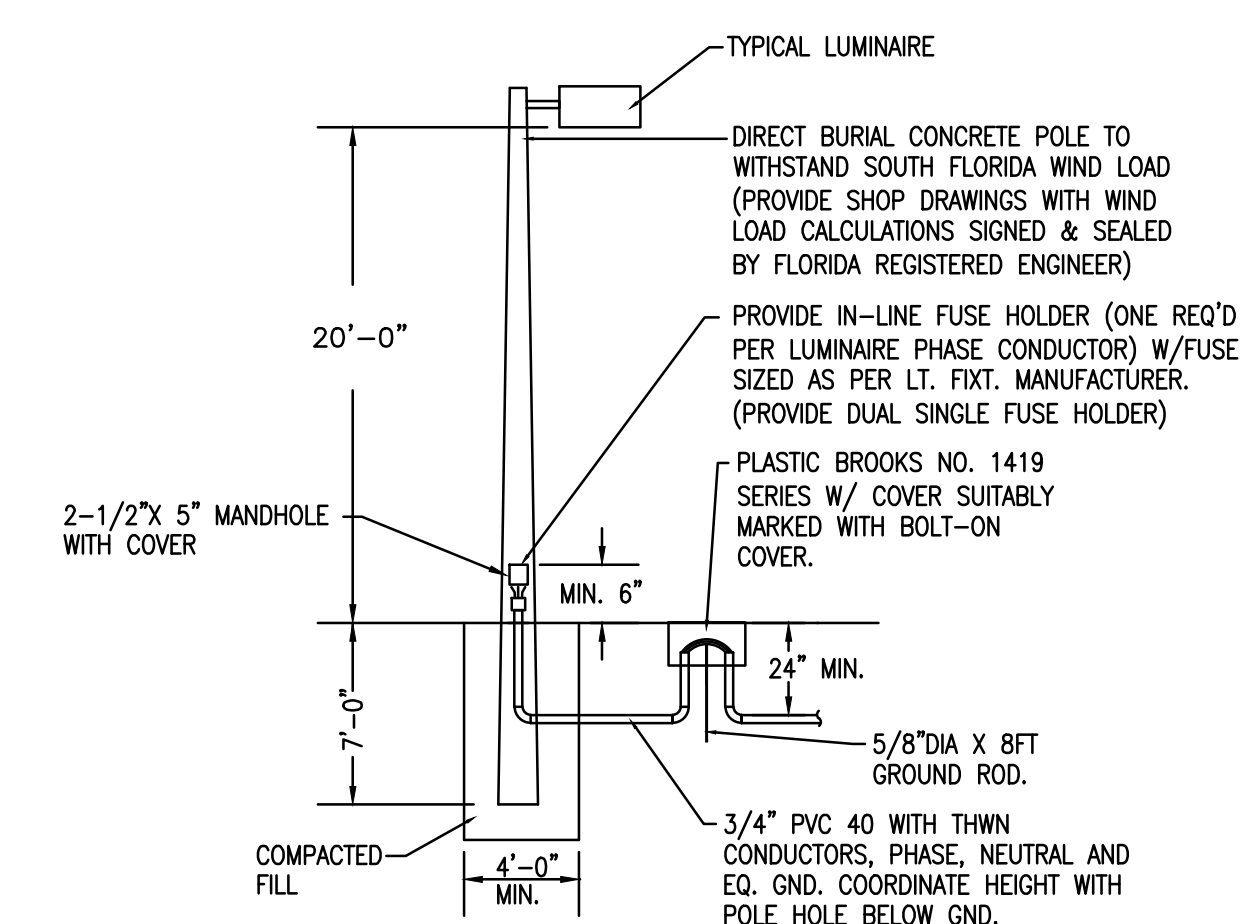
SCALE: 1/16"=1'-0"

Luminaire Schedule								
Symbol	Qty	Label	Arrangement	[MANUFAC]	Description	Lum. Lumens	LLF	Lum. Watts
	1	S3	SINGLE	U.S. ARCHITECTURAL LIGHTING	RZR-PLED-III-80LED-700mA-NW	17688	0.860	172.9
	4	SFT	SINGLE	U.S. ARCHITECTURAL LIGHTING	RZR-FT-80LED-NW-700	16472	0.860	174

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Site	Illuminance	Fc	3.29	6.3	0.6	5.48	10.50

NOTES

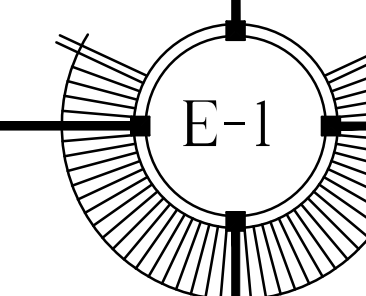
- CALCULATIONS HAVE BEEN PERFORMED ACCORDING TO IES STANDARDS AND PRACTICE. SOME DIFFERENCES BETWEEN MEASURED VALUES AND CALCULATED RESULTS MAY OCCUR DUE TO TOLERANCES IN CALCULATION METHODS, TESTING PROCEDURES, COMPONENT PERFORMANCES, MEASURED CONDITIONS SUCH AS TECHNICAL AND FIELD VOLTAGES AND TEMPERATURE VARIATIONS. INPUT DATA SUCH AS ROOM DIMENSIONS, REFLECTANCES, FURNITURE, LIGHT LOSS FACTOR, FURNITURE, ARCHITECTURAL ELEMENTS AND FOLIAGE SIGNIFICANTLY AFFECT THE LIGHTING CALCULATIONS. IF THE REAL ENVIRONMENT DO NOT MATCH INPUT DATA DIFFERENCES WILL OCCUR BETWEEN MEASURED AND CALCULATED VALUES.
- CONCRETE POLES ARE TO BE 27' OVERALL LENGTH AND 20' ABOVE GROUND.
- WIND LOAD CALCULATIONS, TO MEET SOUTH FLORIDA WIND LOAD REQUIREMENTS, MUST BE PREPARED AND SUBMITTED AS PART OF THE SUBMITTAL PROCESS. SAID CALCULATIONS MUST BE SIGNED AND SEALED BY FLORIDA REGISTERED ENGINEER.
- POINT-BY-POINT CALCULATIONS PROGRAM USED - VISUAL SERIAL # 5101 5260 4589 0193, VERSION 2.06.0211



SITE LUMINAIRES
MOUNTING DETAIL
N.T.S.

NOTE:
CONTRACTOR SHALL VERIFY THAT SITE LIGHTING POLES SHOWN ARE NOT LOCATED IN THE AREA OF ANY UTILITY EASEMENTS. BEFORE INSTALLATION IF ANY OF THE POLES SHOWN ARE LOCATED ON ANY UTILITY EASEMENTS CONTRACTOR SHALL NOTIFY ARCHITECT/ENGINEER OF CONFLICT. NO EXTRAS WILL BE ALLOWED FOR FAILURE TO DO SO.

Innovative Engineering
Group Inc. CA#6717
2500 NW 79th Ave. #240
Doral, FL 33122
305-468-1783
Sudhir K. Gupta, P.E.
Fla. Reg. No. 29189



SEAL

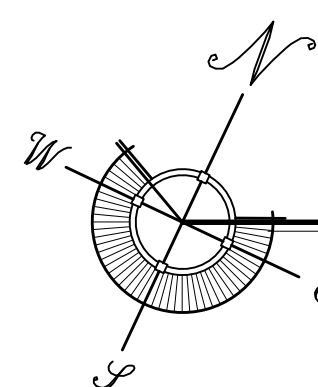
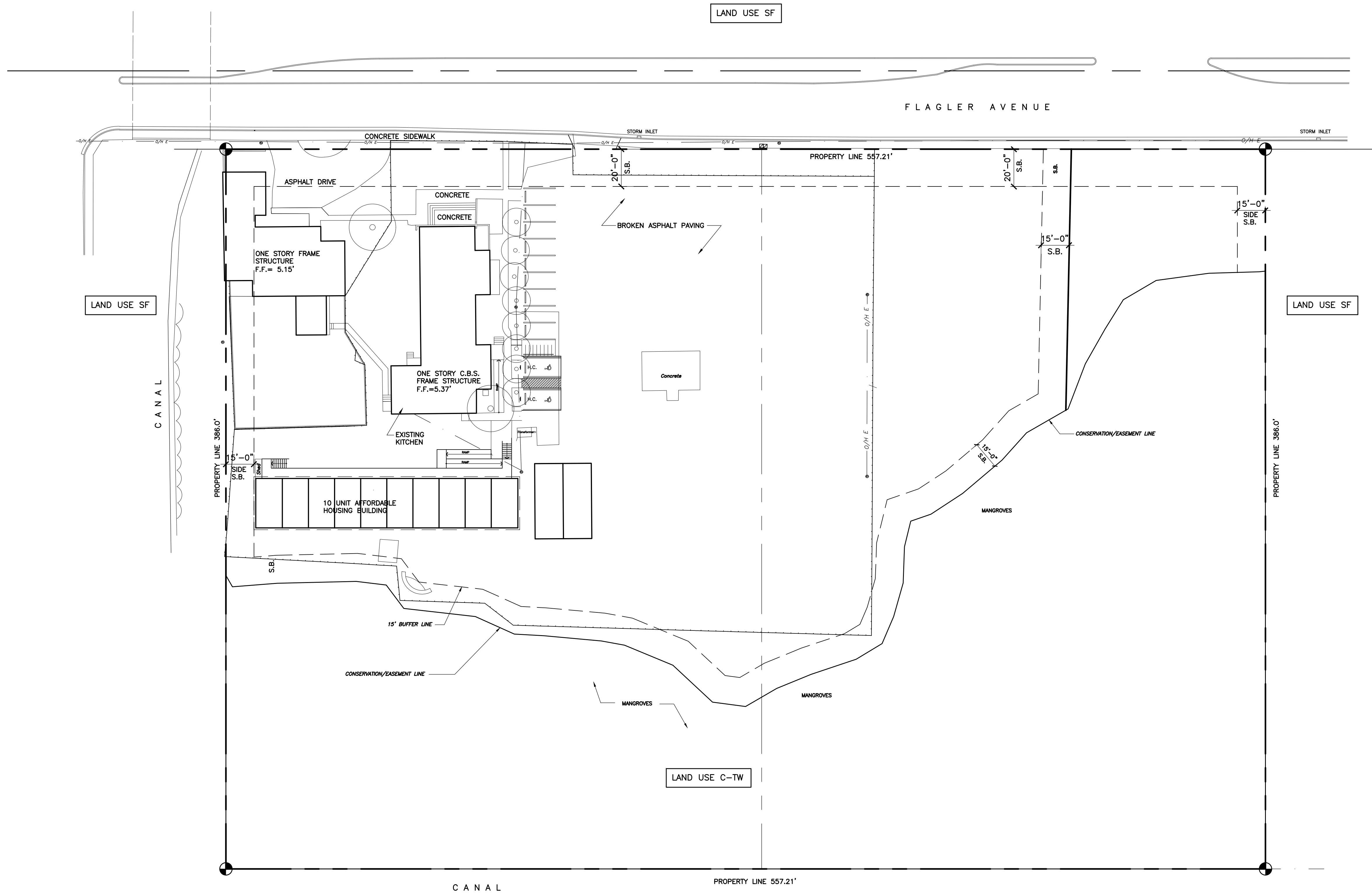
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EMA

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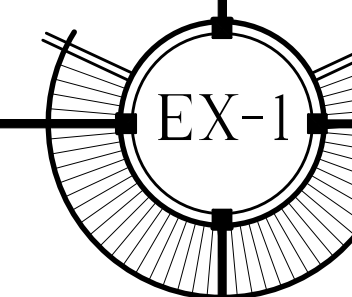


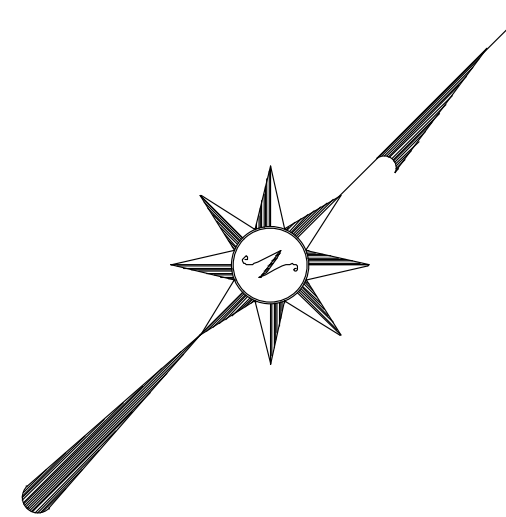
EXISTING SITE PLAN

SCALE: 1"=30'-0"

SITE PLAN BASED ON INFORMATION OBTAINED FROM
SURVEY PREPARED BY J. LYNN O'FLYNN, INC. DATED ON
10-24-14.

CATHOLIC CHARITIES
AFFORDABLE HOUSING PROJECT
2700 FLAGLER AVENUE
KEY WEST, FLORIDA





CITY OF KEY WEST LANDSCAPE CODE REQUIREMENTS:

Section 108.413 Road Frontage	Flager Ave 557 feet	Plant Units Required: 668	Plant Units Provided: 671	44 Canopy @ 10 = 440	50 Ornamental Tree @ 3= 150	81 Shrubs @ 1 = 81
Section 108.414 Interior Landscape Area	20% of Total Parking Area: Parking Area: 10,645 s.f.	Req'd: 2,129 s.f.	Provided: 1,200 s.f. / 11.3%	Waiver Requested		
Section 108.415 Parking Lot Perimeter Landscape Area	Total Building Area: 32,508 s.f.	Req'd Perimeter Strip: 7.5' Provided: 7.5' on 50%	Waiver Requested			
Section 108.416 Other Landscape Requirements for Nonvehicular Use Areas	Total NOS is 33.5% of the Site NOS Area: 36,840 s.f.	Requirement: 4 trees per 2,500 s.f. NOS	Total Trees Required: 59	Total Trees Provided: 38	Total Palms Provided: 27	
Tree Permit: T136568 - 1 Native Palm Required	One Sabal Palm provided adjacent to Building B					
Tree Permit: T147164: 11.5 Inches Required	Six Green Buttonwood @ 2" dbh provided					
Tree Permit: PENDING 18.3 Inches Required	Trees Removed: One Mahogany, One Green Buttonwood, 2 Washingtonia Palms, Miscellaneous Seagrapes Three Paradise Trees, 7.5" dbh total (Adjacent to Building E), Three Gumbo Limbo 10.5" dbh total (in Open Space area), One Simpson Stopper 1" dbh (Office Area), Two Thatch Palms (adjacent to existing Housing Unit), Two Alexander Palm (adjacent to Building B)					

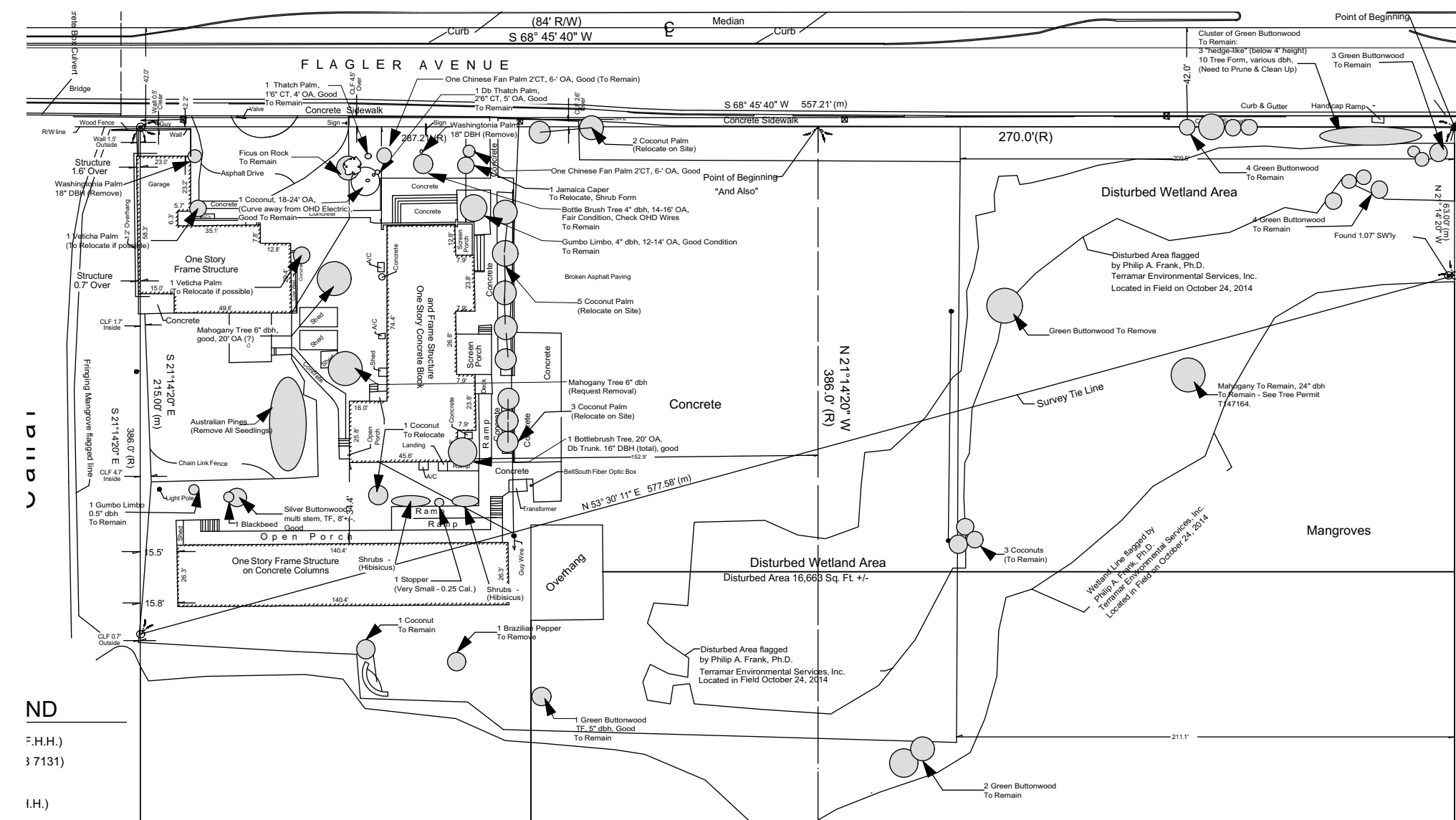
PLANT SCHEDULE

TREES TYPE	ID	Quantity	Latin Name	Common Name	Scheduled Size	Notes
Understory	AF	2	Acacia farnesiana	Sweet Acacia	7 gal	Yellow Flower, Butterfly larval host, fragrant
Understory	BS	16	Bursera simaruba	Gumbo Limbo	10-12", PH	Native, Florida #1
Canopy	BS-LG	3	Bursera simaruba	Gumbo Limbo	14-16", PH, 3.5" dbh	Native, Florida #1, Tree Permit (Review December 2015) Replacement Inches
Canopy	CD	9	Coccoloba diversifolia	Pigeon Plum	14-16" PH, 4" cal	Native, Florida #1
Canopy	CE	14	Conocarpus erectus	Green Buttonwood	8-10", 2" DBH min, TF	Native, Florida #1, Tree Permit Replacement Inches
Canopy	CE-S	20	Conocarpus erectus sericeus	Silver Buttonwood	12-14", FG, STD, 3-4" cal	Native, Florida #1
Understory	CGU	9	Clusia quillifera	Small Leaf Clusia	6-8", 2.5 gal, min, 2-3" cal.	Native, Florida #1
Canopy	CO	7	Chrysophyllum oliviforme	Satinleaf	12-14" PH, 3" cal.	Native, Florida #1
Canopy	LL	5	Lysiterna latifolia	Wild Tamarind	FG, 12-14" PH	Native, Florida #1
Understory	MFSS	9	Myrcianthes gairdneri var. "Simpson Stopper"	Simpson Stopper	8-10", TF, 2-3" cal.	Fragrant Native, Specimen, Florida #1 - 1 for Tree Permit (Review December 2015) Replacement inches
Canopy	SG	3	Simarouba alauca	Paradise Tree	30 gal, 10-12" Min, 2.5 dbh	Native, Florida #1, Tree Permit (Review December 2015) Replacement Inches
PALMS						
TREES TYPE	ID	Quantity	Latin Name	Common Name	Scheduled Size	Notes
Canopy	PEdb	2	Ptychosperma elegans	Alexander Palm	14-16" PH, Field Grown	Florida #1, Tree Permit (Review December 2015) Replacement for Vetchia species removal
Canopy	SP	15	Sabal Palmetto	Sabal Palm	14-20", FG, PH	Native, staggered heights, straight trunk (One Sabal for Replacement Palm)
Understory	THR	29	Thrinax radiata	Florida Thatch Palm	6-8", PH	Field grown, Florida #1, staggered heights (Three Thatch for Replacement Palms)
Understory	TR II	13	Thrinax radiata	Florida Thatch Palm	8-10", PH	Native, Florida #1, FG, Double
TREES & PALMS EXISTING & RELOCATED						
TREES TYPE	ID	Quantity	Latin Name	Common Name	Scheduled Size	Notes
Canopy	BS-R	2	Bursera simaruba	Gumbo Limbo	Existing, 4" dbh, 12-14' OA	Existing to Remain, Use Tree Protection during construction.
Canopy	C-R	2	Callistemon	Bottle Brush	Existing	Existing to Remain, Use Tree Protection during construction.
Canopy	CE-S-R	1	Conocarpus erectus sericeus	Silver Buttonwood	Existing, multi-trunk	Existing to Remain, Use Tree Protection during construction.
Canopy	CE-EX	17	Conocarpus erectus	Green Buttonwood	Existing	Existing to Remain, Use Tree Protection during construction.
Canopy	CN-R	6	Coccothrinax nucifera	Coconut Palm	Existing to Remain	Existing to Remain in Place, Nice curve, character palm. Use Tree Protection
Canopy	CN20T	11	Coccothrinax nucifera	Coconut Palm	Various	Transplant Stock - Relocation Site for On Site Coconuts. Total Number 11 per Tree Permit
Canopy	LC-R	2	Livistonia chinensis	Chinese Fan Palm	Existing to Remain	Existing to Remain, Use Tree Protection during construction.
Canopy	SM-R	1	Swietenia mahagoni	Mahogany	Existing to Remain	Existing to Remain, Use Tree Protection during construction.
Understory	THR-R	1	Thrinax radiata	Florida Thatch Palm	Existing to Remain	Existing Palm to remain. Use Tree Protection during construction.
Understory	TR-R	1	Thrinax radiata	Florida Thatch Palm	Existing to Remain	Native, Double, Existing to Remain in Place Use Tree protection
SHRUBS, ACCENTS & GROUND COVERS						
TREES TYPE	ID	Quantity	Latin Name	Common Name	Scheduled Size	Notes
Shrub	AP	14	Asclepias perennis	White Swamp Milkweed	3 gal	Butterfly attractor/life cycle plant, larval host plant
Shrub	BA	19	Borrhchia arborescens	Sea Oxeye Daisy	1 gal, 12-18", full	Native, Florida #1, Yellow Flower, ground cover
Shrub	BL	8	Byrsanima lucida	Locust Berry	7 gal, 5" cal.	Florida #1, Native, Drought Tolerant
Shrub	CAM	6	Carrissa macrocarpa	Natal Plum	3 gal, 24"	Full, Florida Fancy
Accent	CA-GE	2	Crinum augustum "Queen Emma"	Queen Emma	7 gal.	Accent Plant, Florida #1
Shrub	CE-S3	31	Conocarpus erectus var. sericeus	Silver Buttonwood	3 gal, full, 36" OA	Native, Florida #1
Shrub	CIH	54	Chrysobalanus icaco "Horizontal"	Horizontal Cocoplum	24-36", spread	Native, Florida #1
Shrub	CM-EB	30	Carrissa macrocarpa "Emerald Blanket"	Natal Plum Emerald Blanket	18-24" spread	Full, Florida Fancy
Accent	DE	17	Duranta erecta	Golden Dewdrop cv "Sapphire Shower's"	7 gal, Full	Specimen
Shrub	HPC	16	Hamelia patens "Compacta"	Dwarf Firebush	3 gal, 20-24"	Native, Florida #1
Shrub	MCP	18	Muhlenbergia capillaries	Muhly Grass	3 gal	Native
Ground Cover	NBN	66	Neoregelia "Bossa Nova"	Bossa Nova Bromeliad	2 gal 10-12" spread	Florida #1, sun
Shrub	PM	22	Podocarpus macrophyllus "Pringles"	Dwarf Podocarpus	3 gal, 18-24", full	Florida #1, Amend backfill with topsoil, composted cow manure and peat moss.
Shrub	PN	7	Psychotria nervosa	Wild Coffee	24-36" spread	Native, Florida #1
Shrub	SM	60	Suriana maritima	Bay Cedar	36-40" height	Native, Florida #1
Shrub	STA	16	Sophora tomentosa	Necklace Pod	3-4", PH, full	Native, Florida #1, sun
Ground Cover	STJ	169	Stachytarpheta jamaicensis	Dwarf Porterweed	1 gal	Native Groundcover, Purple, Butterfly attractor
Shrub	TF	5	Tripsacum floridanum	Dwf Fakahatchee Grass	3 gal.	Native Grass
Accent	ZF	3	Zamia furfuracea	Cardboard Palm	15 to 25 gal, 3' x 3' min	Florida #1
Shrub	ZP	15	Zamia pulmilia	Coontie	24" x 24", full	Native, Florida #1

NOTE:
QUANTITY AND SIZE OF PLANT MATERIAL SHALL BE FINALIZED AS PART OF THE DEVELOPMENT OF CONSTRUCTION DOCUMENTS.
THE MINIMUM SIZE FOR CANOPY TREES SHALL BE 12' PLANTED HEIGHT, CANOPY PALMS SHALL BE 18' PLANTED HEIGHT, UNDERSTORY TREES SHALL BE 6 TO 8' PLANTED HEIGHT, UNDERSTORY PALMS SHALL BE 4-6' PLANTED HEIGHT AND SHRUBS SHALL BE 24" MINIMUM.

LANDSCAPE SCHEDULE AND NOTES, TREE IMPACT PLAN

SCALE: AS NOTED



EXISTING TREE IMPACT

SCALE: 1" = 60'

SEE SHEET LA-02:D FOR ENLARGED DETAIL

IMPACTED TREE SUMMARY:

- 11 Coconut Palms - to be relocated on site.
- 1 Green Buttonwood - replaced per Plant Schedule
- 2 Washingtonian Palms - replaced per Plant Schedule
- 1 Mahogany Tree - request removal and mitigation due to the location of the laundry facility as part of Phase 2. Pending approval by the Tree Commission. Replaced per plant schedule
- 2 Vetchia Palms - replaced per plant Schedule

LEGEND FOR 15' WIDE WETLAND BUFFER PLANTING

- Sea Oxeye Daisy - *Borrhchia frutescens*
- Salt Grass - *Distichlis spicata* & Dropseed - *Sporobolus virginicus*
- Knot Grass - *Paspalum vaginatum*
- Cordgrass - *Spartina patens*
- Cordgrass - *Spartina spartina*

LANDSCAPE NOTES:

- ALL PLANT MATERIAL SHALL BE FREE OF DISEASE AND SHALL BE AS SHOWN ON THE PLANT LIST. PLANT MATERIAL SHALL BE FLORIDA #1 OR BETTER.
- ALL PLANT MATERIAL SHALL BE SUPPLIED AND COMPLY WITH AMERICAN NURSEMAN STANDARDS.
- ALL PLANT MATERIAL SHALL BE PLANTED, STAKED, AND GUYED IN ACCORDANCE WITH SOUND AND ACCEPTED HORTICULTURAL PRACTICES. ANY SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE DESIGNER OR OWNER PRIOR TO INSTALLATION.
- PLANTING BEDS SHALL BE MULCHED TO A DEPTH OF 3" WITH CLEAN, WEED FREE, SHREDDED HARDWOOD MULCH OR EQUIVALENT.
- REQUIRED SOIL AMENDMENTS SHALL BE DETERMINED PRIOR TO INSTALLATION OF PLANT MATERIAL.
- IRRIGATION INSTALLATION PER PLAN AND SHALL BE IN COMPLIANCE WITH KEY WEST CITY CODE REQUIREMENTS.
- IT IS THE LANDSCAPE CONTRACTORS RESPONSIBLE TO HAVE UNDERGROUND UTILITIES LOCATED PRIOR TO COMMENCEMENT OF WORK. LANDSCAPE CONTRACTOR SHALL COORDINATE WITH GENERAL CONTRACTOR AS REQUIRED.
- ALL INVASIVE EXOTIC PLANT MATERIAL SHALL BE REMOVED AS PART OF CONSTRUCTION.

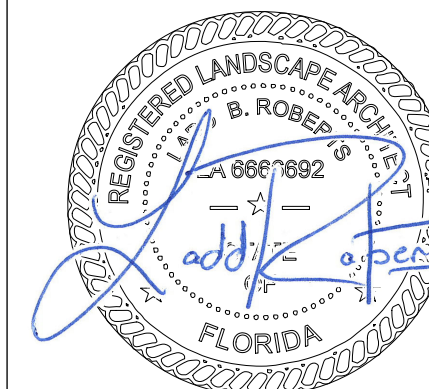
Revisions:

01.08.16:	Final Board
08.18.16:	Final Tree Commission

Date:	08.04.15
Scale:	As Noted
File:	13-BH-003
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LA-02

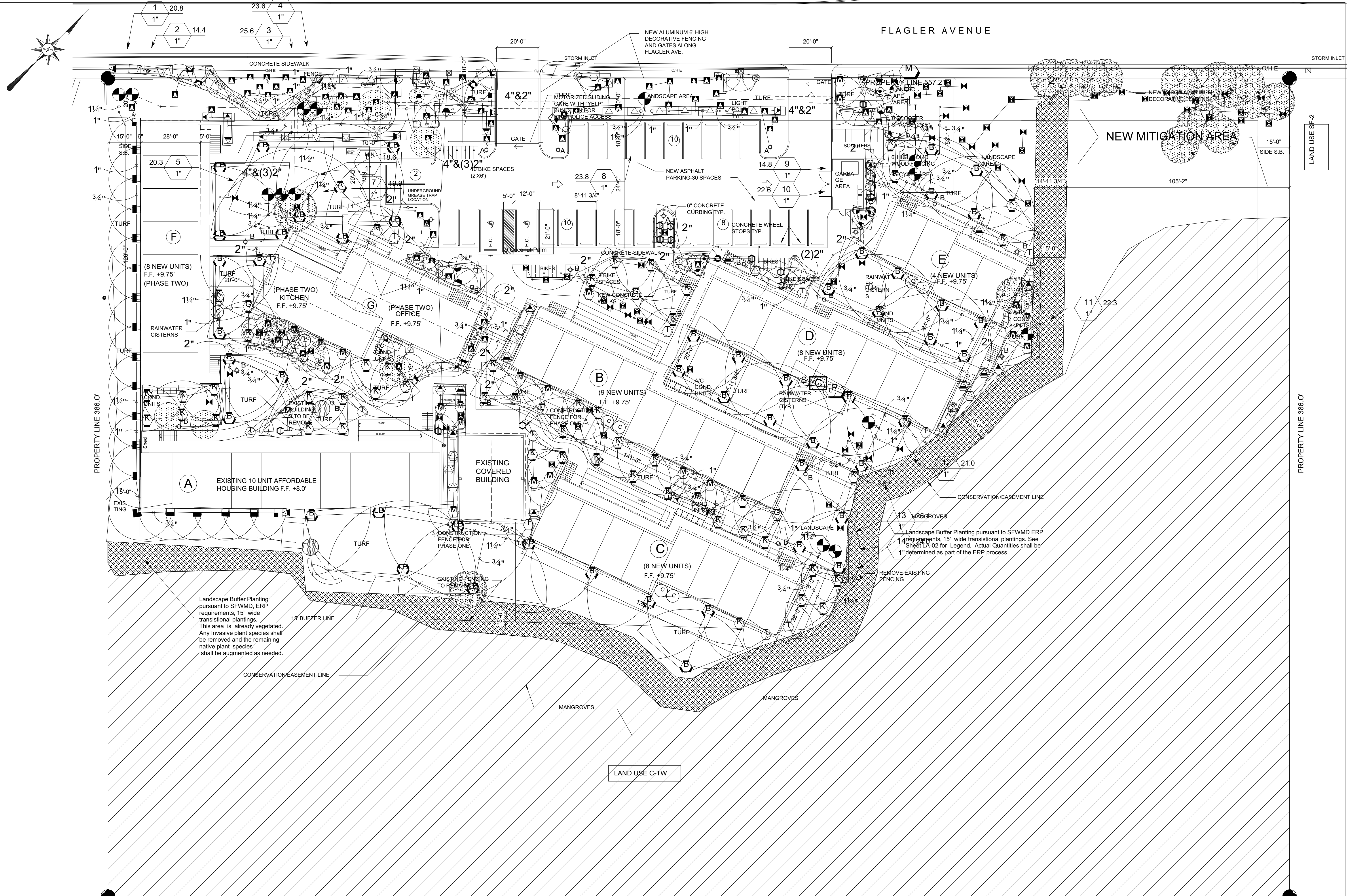
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FINAL BID DOCUMENTS TO BE PROVIDED WITH BUILDING PERMIT



Mitchell Planning & Design, Inc.

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ST. BEDE'S VILLAGE
2700 - 2706 FLAGLER AVENUE
KEY WEST, FLORIDA



IRRIGATION PLAN FOR TREE COMMISSION

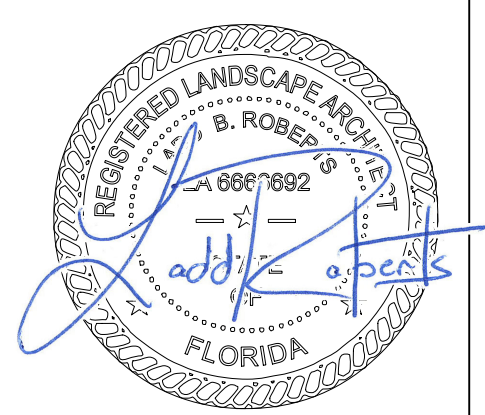
SCALE: 1"=20'

PROPERTY LINE 557.21'

SEE SHEET LA-04 FOR IRRIGATION NOTES AND DETAILS.

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Revisions:

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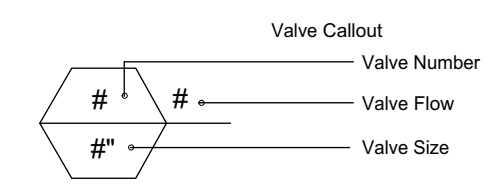
LA-03

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	UNIT	CLASS	SIZE	LENGTH	WIDTH	HEIGHT	DEPTH
☐	Rain Bird 1806-PRS 15 Strip Series	1	LCS	30	0.49	4'x15'			
☐	Rain Bird 1806-PRS 15 Strip Series	3	RCS	30	0.49	4'x15'			
☐	Rain Bird 1806-PRS 15 Strip Series	12	SST	30	1.21	4'x30'			
☐	Rain Bird 1806-PRS 8 Series MPR	2	180	30	0.52	8'			
☐	Rain Bird 1806-PRS 8 Series MPR	2	90	30	0.26	8'			
☐	Rain Bird 1806-PRS 10 Series MPR	3	180	30	0.79	10'			
☐	Rain Bird 1806-PRS 10 Series MPR	4	90	30	0.39	10'			
☐	Rain Bird 1806-PRS 10 Series MPR	1	120	30	0.53	10'			
☐	Rain Bird 1806-PRS 12 Series MPR	3	120	30	0.87	12'			
☐	Rain Bird 1806-PRS 15 Series MPR	16	180	30	1.85	15'			
☐	Rain Bird 1806-PRS 15 Series MPR	4	90	30	0.92	15'			
☐	Rain Bird 1806-PRS 15 Series MPR	1	270	30	2.78	15'			
☐	Rain Bird 1806-PRS 8 Series VAN	1	Adj	30		8'			
☐	Rain Bird 1806-PRS 10 Series VAN	1	Adj	30		10'			
☐	Rain Bird 1806-PRS 12 Series VAN	2	Adj	30		12'			
☐	Rain Bird 1812-PRS 15 Strip Series	7	LCS	30	0.49	4'x15'			
☐	Rain Bird 1812-PRS 15 Strip Series	8	RCS	30	0.49	4'x15'			
☐	Rain Bird 1812-PRS 15 Strip Series	13	SST	30	1.21	4'x30'			
☐	Rain Bird 1812-PRS 8 Series MPR	8	180	30	0.52	8'			
☐	Rain Bird 1812-PRS 8 Series MPR	3	90	30	0.26	8'			
☐	Rain Bird 1812-PRS 10 Series MPR	4	180	30	0.79	10'			
☐	Rain Bird 1812-PRS 10 Series MPR	6	90	30	0.39	10'			
☐	Rain Bird 1812-PRS 10 Series MPR	2	120	30	0.53	10'			
☐	Rain Bird 1812-PRS 12 Series MPR	2	90	30	0.65	12'			
☐	Rain Bird 1812-PRS 12 Series MPR	2	120	30	0.87	12'			
☐	Rain Bird 1812-PRS 12 Series HE VAN	3	Adj	30		12'			
☐	Rain Bird 1812-PRS 6 Series VAN	1	Adj	30		6'			
☐	Rain Bird 1812-PRS 8 Series VAN	4	Adj	30		8'			
☐	Rain Bird 1812-PRS 10 Series VAN	4	Adj	30		10'			
☐	Rain Bird 1806 w/ MP1000	1	210-270	40		14'			
☐	Rain Bird 1806 w/ MP1000	28	90-210	40		14'			
☐	Rain Bird 1806 w/ MP2000	3	210-270	40		19'			
☐	Rain Bird 1806 w/ MP2000 P	47	90-210	40		19'			
☐	Rain Bird 1806 w/ MP3000	1	360	40	3.64	30'			
☐	Rain Bird 1806 w/ MP3000	37	90-210	40		30'			
☐	Rain Bird 1806 w/ MP3500	13	90-210	40		35'			
☐	Rain Bird 1806 w/ MP800SR	11	Adj	40		10'			
☐	Rain Bird 1806 w/ MP Corner	15	Adj	40		13'			
☐	Rain Bird 1806 w/ MP Strip	6	LCS	40	0.22	5'x15'			
☐	Rain Bird 1806 w/ MP Strip	7	RCS	40	0.22	5'x15'			
☐	Rain Bird 1806 w/ MP Strip	8	SST	40	0.44	5'x30'			
☐	Rain Bird 1806-PRS w/ Maxijet ARCGHFG09H	71	90	30	0.25	5'			
☐	Rain Bird 1806-PRS w/ Maxijet ARCGHFG09H	63	90	30	0.40	5'			

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
☐	Rain Bird 100HVF in 12" Valve Box	14
☐	Wilkins 975XL 1-1/2" Backflow Preventer	1
☐	Rain Bird ESP16LXME and Munro BRAINBOX control system	1
☐	Rain Bird RSD-BEx Rain Sensor	1
☐	Water Meter 1"	1
☐	Starite SNF jet pump see cistern notes	1
---	Irrigation Lateral Line: PVC Class 160	6,000 l.f.
---	Irrigation Mainline: PVC 1-1/2" Class 200 SDR 21	800 l.f.
---	Pipe Sleeve: PVC Schedule 40	
---	Extend sleeves 18 inches beyond edges of paving or construction.	

IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR THEIR OWN TAKE OFF



UNDERGROUND IRRIGATION SPECIFICATIONS

1.0 GENERAL

1.1 SUMMARY: Includes but not limited to:
 A. Furnishing and installing sprinkler system as described in Contract Documents complete with accessories necessary for proper functioning.

1.2 SYSTEM DESCRIPTION:
 A. Design Requirements:
 1. Layout of Irrigation Heads:
 a. Location of heads shown on Drawings is approximate. Actual placement may vary slightly as is required to achieve full, even coverage without spraying onto buildings, sidewalks, fences, etc.
 b. During layout, consult with Landscape Architect to verify proper placement and make recommendations, where revisions are advisable.

1.3 QUALITY ASSURANCE:
 A. Regulatory Requirements:
 1. Work and materials shall be in accordance with latest rules and regulations, and other applicable state or local laws. Nothing in Contract Documents is to be construed to permit work not conforming to these codes.
 B. Pre-Installation Conference:
 1. Meet with Owner and Landscape Architect to discuss and clarify all aspects of job requirements prior to commencing work of this Section.
 C. System Adjustments:
 1. Minor adjustments in system will be permitted to avoid existing fixed obstructions.
 2. Mainline, laterals, and valves are shown for clarity purposes only. All irrigation equipment to be installed with landscape area. Mainline, laterals and valves to be installed as far away from existing and new specimen trees as possible.
 D. 1. Documentation and submittal of actual water supply performance prior to commencing installation.

1.4 SUBMITTALS:
 A. Record Drawings:
 1. Prepare an accurate as-built drawing as installation proceeds to be submitted prior to final inspection. Drawing shall include:
 a. Detail and dimension changes made during construction.
 b. Significant details and dimensions not shown in original Bidding Documents.
 2. Maintain, at job site, one copy of Contract Documents (as defined in General Conditions) and relevant shop drawings.
 3. Clearly mark each document "PROJECT RECORD COPY" and maintain in good condition for use of the Landscape Architect and Owner.
 4. As-built drawing shall be provided in pdf format.
 5. Submit product literature for all sprinklers, valves, pipe, wire, wire connectors and controller.
 6. Final payment for system will not be authorized until accurate and complete submittals are delivered to the Landscape Architect.
 B. Instruction Manual:
 1. Provide instruction manual which lists complete instructions for system operation and maintenance.

1.5 PRODUCT STORAGE:
 A. During construction and storage, protect materials from damage and prolonged exposure to sunlight.

1.6 WARRANTY:
 A. Standard one (1) year warranty stipulated in General Conditions shall include:
 1. Completed system including parts and labor.
 2. Filling and repairing depressions and replacing plantings due to settlement of irrigation trenches for one (1) year following final acceptance.
 3. System adjustment to supply proper coverage to areas to receive water.

1.7 MAINTENANCE:
 A. Extra Materials:
 1. In addition to installed system, furnish Owner with the following items at close-out:
 a. Two sprinkler head bodies of each size and type.
 b. Two nozzles for each size and type.
 c. Two adjusting keys for each sprinkler head cover type.

2.0 PRODUCTS:

2.1 PIPE, PIPE FITTINGS, AND CONNECTIONS:
 A. Pipe shall be continuously and permanently marked with Manufacturer's name, size, schedule, type, and working pressure.
 B. Pipe:
 1. Pressure Lines: as indicated on plans.
 2. Lateral Lines: as indicated on plans.
 3. Risers: sch. 80 PVC, gray
 C. Fittings:
 1. Schedule 40 PVC.
 D. Sleeving:
 1. Schedule 40 PVC.

2.2 SPRINKLER HEADS:
 A. Conform to requirements shown on Drawings as to type, radius of throw, pressure, and discharge.

2.3 AUTOMATIC SPRINKLER SYSTEM:
 A. Control valves shall be of size and type indicated on Drawings.
 B. Control wire shall be UL listed, color coded copper conductor direct burial size 14. Use 3M-DBY waterproof wire connectors at splices and locate all splices within valve boxes. Use white or gray color for common wire and other colors for all other wire. Each common wire may serve only one controller.
 C. Add two extra control wires from panel to valves for use if a wire fails and mark it in the control box as extra wires. These wires shall be of a different color than the others.

2.4 VALVES:
 A. Electric Valves:
 1. Make and model shown on Drawings.
 B. Gate valves:
 1. Bronze construction, angle type, 150 pound class, threaded connections, with cross-type operating handle designed to receive operating key.
 C. Automatic Controller:
 1. Make and model shown on Drawings.
 D. Backflow Preventor:
 1. Make and model shown on Drawings.

2.5 VALVE ACCESSORIES:
 A. Valve Boxes:
 1. Ametek or Brooks rectangular heavy duty valve box with locking lid or Landscape Architect approved equal.
 2. Do not install more than one (1) valve in a single box.
 3. Valve boxes shall be large enough for easy removal or maintenance of valves.

3.0 EXECUTION:

3.1 PREPARATION:
 A. Protection:
 1. Work of others damaged by this Section during course of its work shall be replaced or repaired by original installer at this Section's expense.

3.2 INSTALLATION:
 A. Trenching and Backfilling:
 1. Over-excavate trenches by two (2") inches and bring back to indicated depth by filling with fine, rock-free soil or sand.
 2. Cover pipe both top and sides with two (2") inches of material specified in paragraph above. In no case shall there be less than two (2") inches of rock-free soil or sand surrounding pipe.

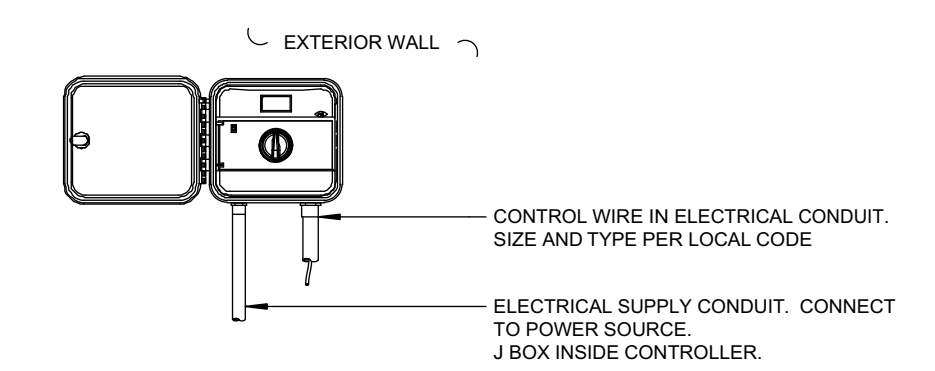
3. Do not cover pressure main, sprinkler pipe, or fittings until the Landscape Architect has inspected and approved system.

B. Installation of Plastic Pipe:
 1. Install plastic pipe in a manner to provide for expansion and contraction as recommended by Manufacturer.
 2. Unless otherwise indicated on Drawings, install main lines with a minimum cover of eighteen (18") inches based on finish grade. Install lateral lines with a minimum cover of twelve (12") inches based on finish grade.
 3. Install pipe and wires under driveways or parking areas in specified sleeves a minimum of eighteen (18") inches below finish grade or as shown on Drawings.
 4. Locate no sprinkler head closer than twelve (12") inches from building foundation. Heads immediately adjacent to mowing strips, walks or curbs shall be one (1") inch below top of mowing strip, walk or curb and have a minimum of one (1") inch clearance between head and mowing strip, walk or curb.
 5. Drawings show arrangement of piping. Should local conditions necessitate rearrangement, obtain approval of Landscape Architect prior to proceeding with work.
 6. Cut plastic pipe square. Remove burrs at cut ends prior to installation so unobstructed flow will result.
 7. Make solvent weld joints in the following manner:
 a. Clean mating pipe and fitting with clean, dry cloth and apply one (1) coat of P-70 primer to each.
 b. Apply uniform coat of 711 solvent to outside of pipe.
 c. Apply solvent to fitting in similar manner.
 d. Reapply a light coat of solvent to pipe and quickly insert into fitting.
 e. Give pipe or fitting a quarter turn to insure even distribution of solvent and make sure pipe is inserted to full depth of fitting socket.
 f. Hold in position for fifteen (15) seconds minimum or long enough to secure joint.
 g. Wipe off solvent appearing on outer shoulder of fitting.
 h. Do not use an excessive amount of solvent thereby causing an obstruction to form on the inside of pipe.
 i. Allow joints to set at least 24 hours before applying pressure to PVC pipe.
 8. Tape threaded connection with teflon tape.
 9. Install concrete thrust blocks wherever change of direction occurs a PVC main pressure lines unless otherwise detailed on Drawings.
 C. Control Valves and Controller:
 1. Install controller, control wires, and valves in accordance with Manufacturer's recommendations and according to applicable electrical code.
 2. Install valves in plastic boxes with reinforced heavy duty plastic covers. Locate valve box tops at finish grade.
 3. Install remote control valves in valve boxes positioned over valve so all parts of valve can be reached for service. Set cover of valve box even with finish grade.
 4. Install all valve boxes over nine (9") inches of gravel for drainage.
 D. Sprinkler Heads:
 1. Prior to the installation of sprinkler heads, open control valves and use full head of water to flush out system.
 2. Set sprinkler heads perpendicular to finish grade.
 3. Set lawn sprinkler heads adjacent to existing walks, curbs, and other paved areas to grade.

3.3 FIELD QUALITY CONTROL:
 A. Flushing and Testing:
 1. Test pressure lines at a minimum sustained pressure of 100 psi for two (2) hours. Pressure shall not drop below 95 psi during the two hour test. Notify Landscape Architect 24 hours prior to test. Do not backfill lines until approved by Landscape Architect.

3.4 ADJUSTMENT AND CLEANING:
 A. Adjust heads to proper grade when turf is sufficiently established to allow walking on it without appreciable harm. Such lowering or raising of heads shall be part of the original contract with no additional charge to the Owner.
 B. Adjust sprinkler heads for proper distribution and trim to ensure spray does not fall on building.
 C. Adjust watering time of valves to provide proper amounts of water to all plants.

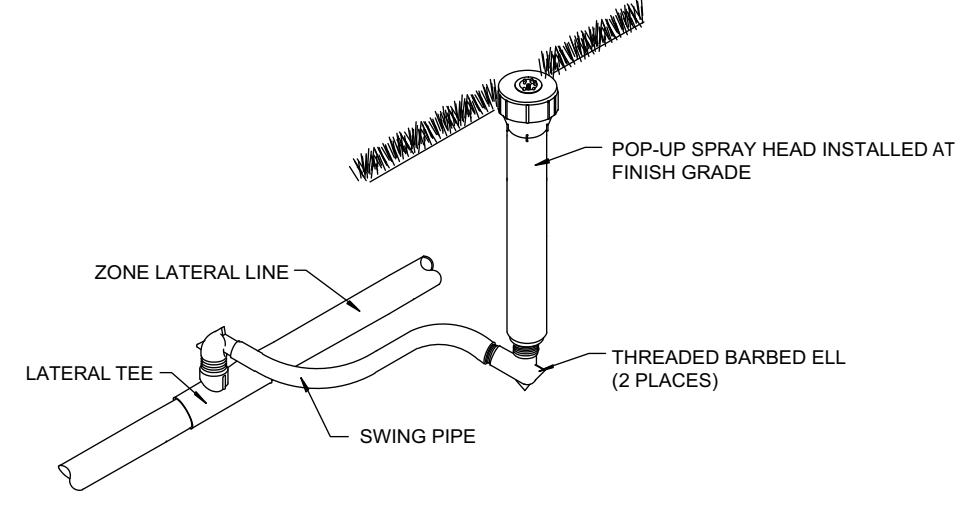
3.5 DEMONSTRATION:
 A. After system is installed and approved, instruct Owners Representative in complete operation and maintenance.



*NOTE: MOUNT CONTROLLER WITH LCD SCREEN AT EYE LEVEL. CONTROLLER SHALL BE HARD WIRED BY A LICENSED ELECTRICIAN.

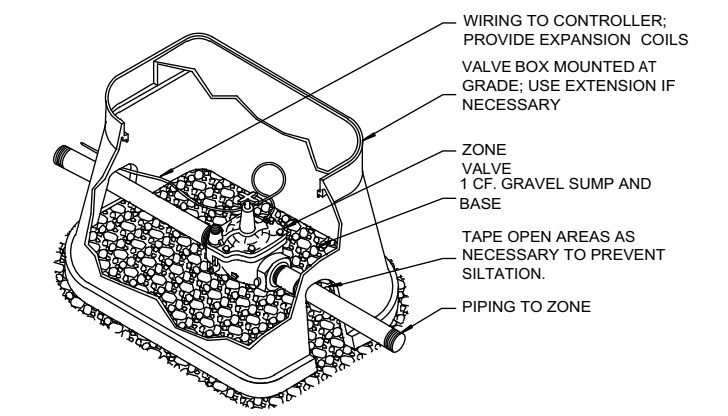
CONTROLLER INSTALLATION DETAIL

SCALE: NTS



SPRAY HEAD INSTALLATION DETAIL

SCALE: NTS



INSTALL TOP OF VALVE A MAXIMUM OF 1" FROM FINISHED GRADE.

ZONE VALVE INSTALLATION DETAIL

SCALE: NTS

CISTERN CONNECTION NOTES:

- IRRIGATION SYSTEM TO OPERATE FROM CISTERN AS PRIMARY SOURCE AND SWITCH TO POTABLE WATER WHEN CISTERN WATER LEVEL IS LOW.
- INSTALL MASTER VALVE OFF MAINLINE FROM METER TO CONTROL VALVES. CONNECT IRRIGATION MAIN FROM CISTERN PUMP TO ZONE BETWEEN CONTROL VALVES AND MASTER VALVES.
- CONNECT WIRES FROM ZONE MATER VALVE ON THE CONTROLLER SO THEY OPERATE MUNRO BRAIN BOX RAIN HARVESTER PUMP CONTROL SYSTEM TO BE INSTALLED BY THE IRRIGATION CONTRACTOR.
- CONNECT THE PUMP START RELAY TO THE MUNRO BRAINBOX TERMINAL THAT WILL ALLOW THE PUMP TO OPERATE WHEN CISTERN WATER IS ABOVE THE LOW WATER LEVEL IN THE TANK AND TURNS THE PUMP OFF WHEN THE CISTERN WATER IS BELOW THE LOW WATER LEVEL IN THE TANK.
- CONNECT THE MASTER VALVE WIRES TO THE MUNRO BRAIN BOX TERMINAL SO THE MASTER VALVE IS OFF WHEN THE WATER IN THE CISTERN IS ABOVE THE LOW WATER LEVEL AND OPENS WHEN THE WATER IN THE CISTERN IS BELOW THE LOW WATER LEVEL.
- INSTALL STARITE PUMP DOWN FLOAT SWITCH IN TANK AND CONNECT TO MUNRO BRAIN BOX.
- INSTALL PRESSURE RELIEF VALVE ON PUMP DISCHARGE WITH 1" RUN BACK INTO CISTERN TANK. INSTALL TORO T-ALFD10150-L DISC FILTER PRIOR TO CONTROL VALVES.

IRRIGATION NOTES

SCALE: AS NOTED

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LA-04

TREE & PALM TRANSPLANTATION NOTES

A. General Notes:

1. Trees & Palms to be relocated shall be root pruned a minimum of twelve weeks prior to transplanting. The Landscape Contractor shall coordinate with the General Contractor for scheduling prior to commencement of any site demolition that would impact the trees/palms.
2. The Landscape Contractor shall verify all overhead and underground utilities and easements prior to beginning work. The Landscape Contractor is advised to call Sunshine State One (1-800-432-4770) to field locate utilities and secure a permit prior to beginning work. The General Contractor is responsible for coordinating all trenching for utilities with the Landscape Plan prior to beginning the project. The Owner or Landscape Architect/Designer shall not be responsible for any damage done to utility or irrigation lines.
3. The Landscape Contractor shall maintain the transplanted materials during the root pruning and transplanting process. Maintenance shall include, at a minimum, weeding, watering, mowing, fertilizing, pest management, and other horticultural practices as required.
4. The Landscape Architect/Designer may inspect the plant materials to verify compliance with with specifications as outlined. Should discrepancies occur, the Landscape Architect/Designer shall provide written comments to Landscape Contractor and Owner.
5. The Landscape Contractor shall guarantee the transplanted material for one year. Any transplanted material found to be in an unhealthy condition at the time of final inspection shall be replaced at the Landscape Contractors cost. Replacement material shall be agreed upon in writing between the Owner, Landscape Contractor and Landscape Architect/Designer.
6. The Landscape Contractor is responsible for obtaining all necessary Local, State and Federal permits as required and shall comply with all applicable Building Codes.

7. Root Pruning & Transplantation of Mahogany Trees, Pigeon Plum and all other non-Gumbo Limbo tree species:

A minimum root radius of two feet (2') from all side of the trunk of the trees to an average depth of two feet (2') shall be maintained. Root prune trenches shall be treated with Mycor Tree Tree Saver Transplant TM, watered thoroughly and backfilled with a mixture of 50% native soil, and 50% wood chips. These trees shall be watered to saturation at time of placement in the trenches. Supplemental irrigation shall be every other day until placement in final planting location. Proper tree strapping techniques shall be applied at all times including a strap to run under the root ball to support the tree during relocation and to protect the tree from damage to the bark. They shall not be left out of the ground for a period of time not to exceed four hours without their roots being protected. Tree booms shall be protected to prevent bark damage. Trees to be transplanted shall be pruned with **only with** prior approval by the Landscape Architect/Designer or qualified arborist.

Upon placement of the tree in the final planting hole, the hole shall be prepared with 1/2 the recommended amount of Mycor Tree Tree Saver Transplant, watered thoroughly, backfilled with a mixture of 50% native soil, 35% sand and 15% peat to a height of 1/2 the rootball. Install the balance of Mycor Tree Saver Transplant. This shall be watered thoroughly, removing all air pockets. Finish backfilling, creating a water basin with a three foot diameter and water until saturated. Trees shall be planted at the same depth at which they were growing and care shall be taken to eliminate all air pockets. All trees shall be s taked in place with a minimum of 3 (more may be necessary) pieces of black staking tape wrapped around the branching fork of the tree once forming a loop and attached to a 24" long piece of #4 reinforcing rod driven fully into the ground.

Trees are to be watered every day for the first week, every second day for the second week, every third day for the third week and weekly thereafter until established.

8. Transplanting Gumbo Limbos and all Palms not including Florida Thatch:

A minimum rootball radius of three feet (3') from all sides of the trunk of the trees or palms to an average depth of three feet (3') shall be maintained. Trees and palms shall be transplanted directly to the prepared hole in the storage area. Proper tree staking techniques shall be applied at all times including a strap to run under the rootball to support the tree and to prevent bark stripping or other damage. Tree booms shall be protected to prevent bark damage. Trees to be transplanted shall not be trimmed unless authorized by the Landscape Architect/Designer. Palms shall be trimmed of all f lowers and nuts. The fronds shall be tied with biodegradable twine. They shall not be left out of the ground for a period of time greater than four hours without their roots being protected.

Root prune/holding trenches shall be treated with Mycor Palm Saver TM, watered thoroughly and backfilled with a mixture of 50% native soil, and 50% wood chips. These trees shall be watered to saturation at time of placement in the trenches. Supplemental irrigation shall be applied every other day until placement in final planting location.

Upon placing the tree/palm in the hole, the hole shall be prepared with 1/2 the recommended amount of Mycor Palm Saver, watered thoroughly, backfilled with a mixture of 75% native soil and 25% sand to a height of 1/2 the rootball. Install the balance of Mycor Palm Saver. Water the hole thoroughly removing all air pockets. Finish planting with the balance of the backfill material, create a water basin and water well. Trees and palms shall be staked with a minimum of 3 (more may be necessary) knot free 4" x 4" nailed in three places to a 2" x 4" x 12" banded to the trunk over burlap wrapped 5 times a round the trunk to a minimum of 7 to 8' above grade. Under no circumstances shall nails be driven directly into the trunk of the tree or palm.

9. Trees/Palms are to be watered every day for the first week, every second day for the second week, every third day for the third week and weekly thereafter until established.

10. Over the guarantee period the Landscape Contractor is responsible for resetting any trees that re not vertical when caused by winds of less than 75 mph.

11. After the transplanted trees are in their final location, the Landscape Contractor shall be required to inspect, water (as required) and maintain soil moisture during the guarantee period in accordance with the following schedule:
 First Month: DAILY Second Month: 3 times per week Third and Fourth Month: 2 times per week Last Eight Months: 1 time per week.
 Amount of Water to be applied: 2 to 3 gallons per inch of trunk caliper as measured at the top of the root ball.

SENSITIVE AREA/TREE PROTECTION

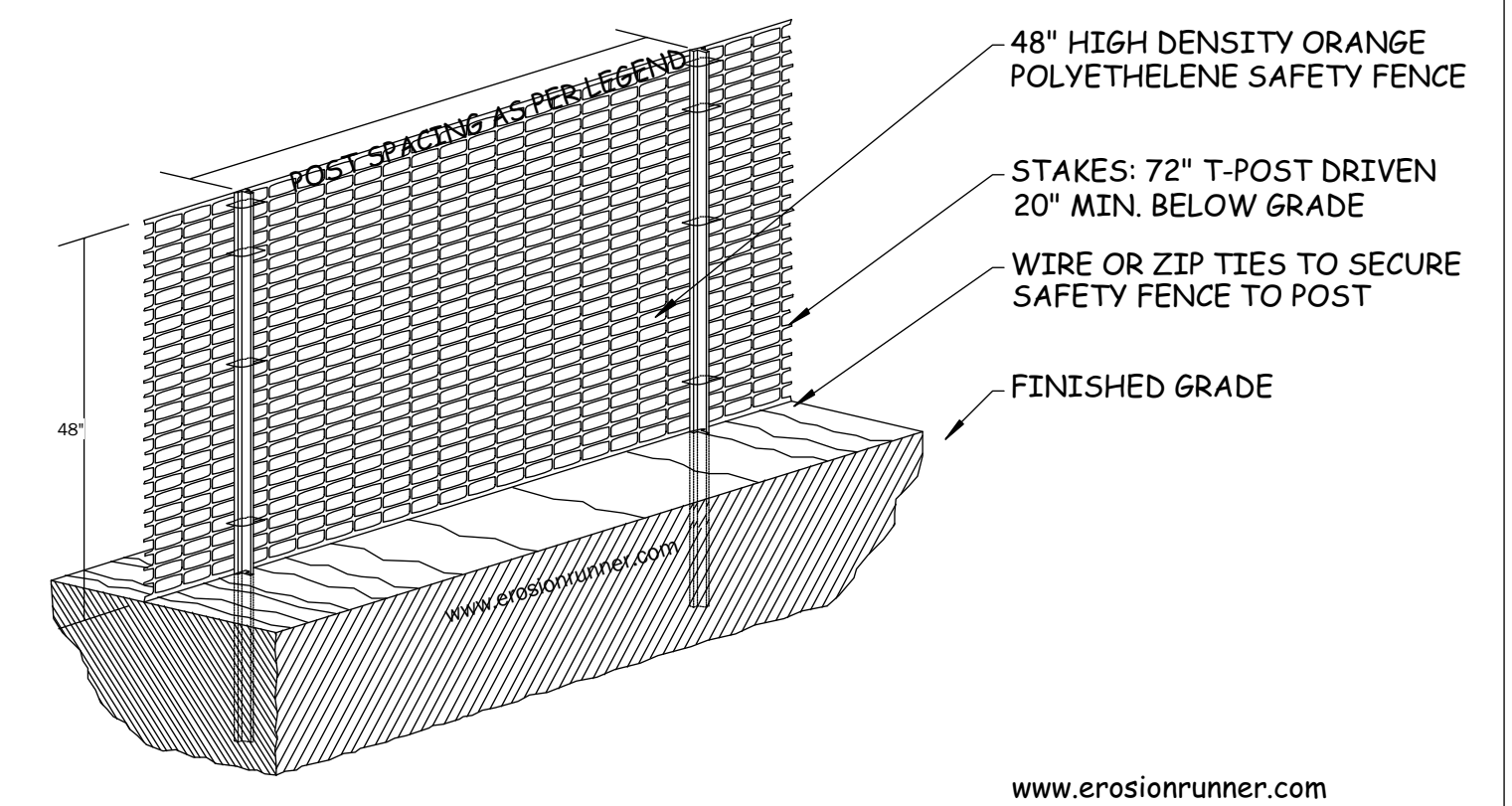
Protection of Existing Trees and Vegetation:

Protect trees tagged to remain in place against unnecessary cutting, breaking or skinning of roots, skinning and bruising of bark, smothering of trees by stockpiling construction materials or excavating materials within drip line, excess foot or vehicular traffic or parking of vehicles within drip line. Trees shall be protected with orange vinyl fencing installed according to manufacturer's instruction or as noted above.

1. ALL SENSITIVE AREAS SHALL BE PROTECTED AS PER PLAN.
2. ALL TREES IN THE CONSTRUCTION AREA NOT SPECIFICALLY DESIGNATED FOR REMOVAL SHALL BE PRESERVED AND PROTECTED WITH HIGH VISIBILITY FENCE AS PER PLAN.
3. WHEN PRACTICABLE, INSTALL HIGH VISIBILITY 3 FEET OUTSIDE OF THE DRIP LINE OF THE TREE.
4. SAFETY FENCE SHOULD BE FASTENED SECURELY TO THE T-POSTS.
5. THE FENCING MUST REMAIN IN PLACE DURING ALL PHASES OF CONSTRUCTION; ANY CHANGE OF THE PROTECTIVE FENCING MUST BE APPROVED.

48" Safety Fence, 72" T-Posts

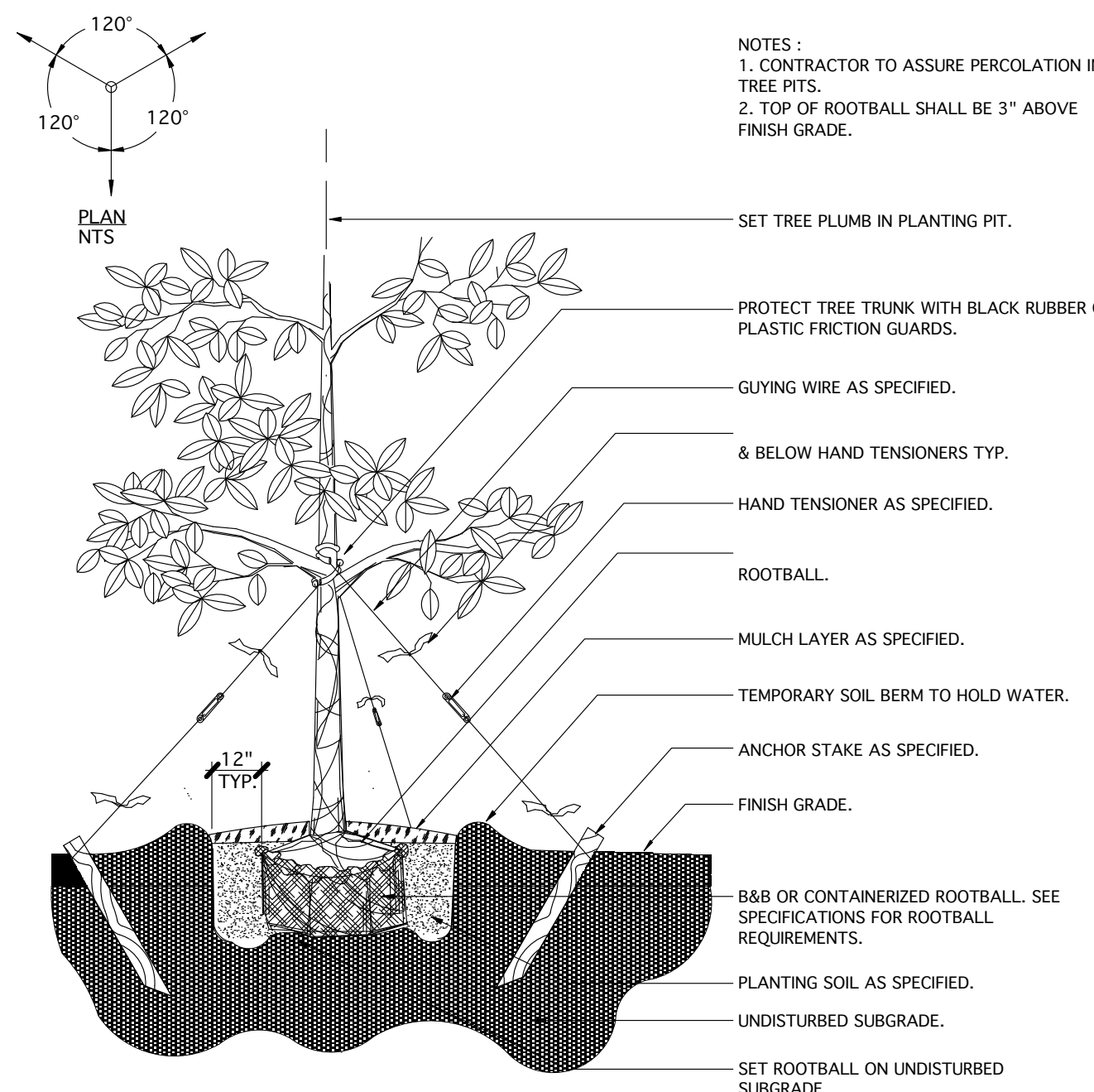
LEGEND	
SAF12	48" ORANGE FENCE, 12 FEET O.C.
SAF11	48" ORANGE FENCE, 11 FEET O.C.
SAF10	48" ORANGE FENCE, 10 FEET O.C.
SAF9	48" ORANGE FENCE, 9 FEET O.C.
SAF8	48" ORANGE FENCE, 8 FEET O.C.
SAF7	48" ORANGE FENCE, 7 FEET O.C.
SAF6	48" ORANGE FENCE, 6 FEET O.C.



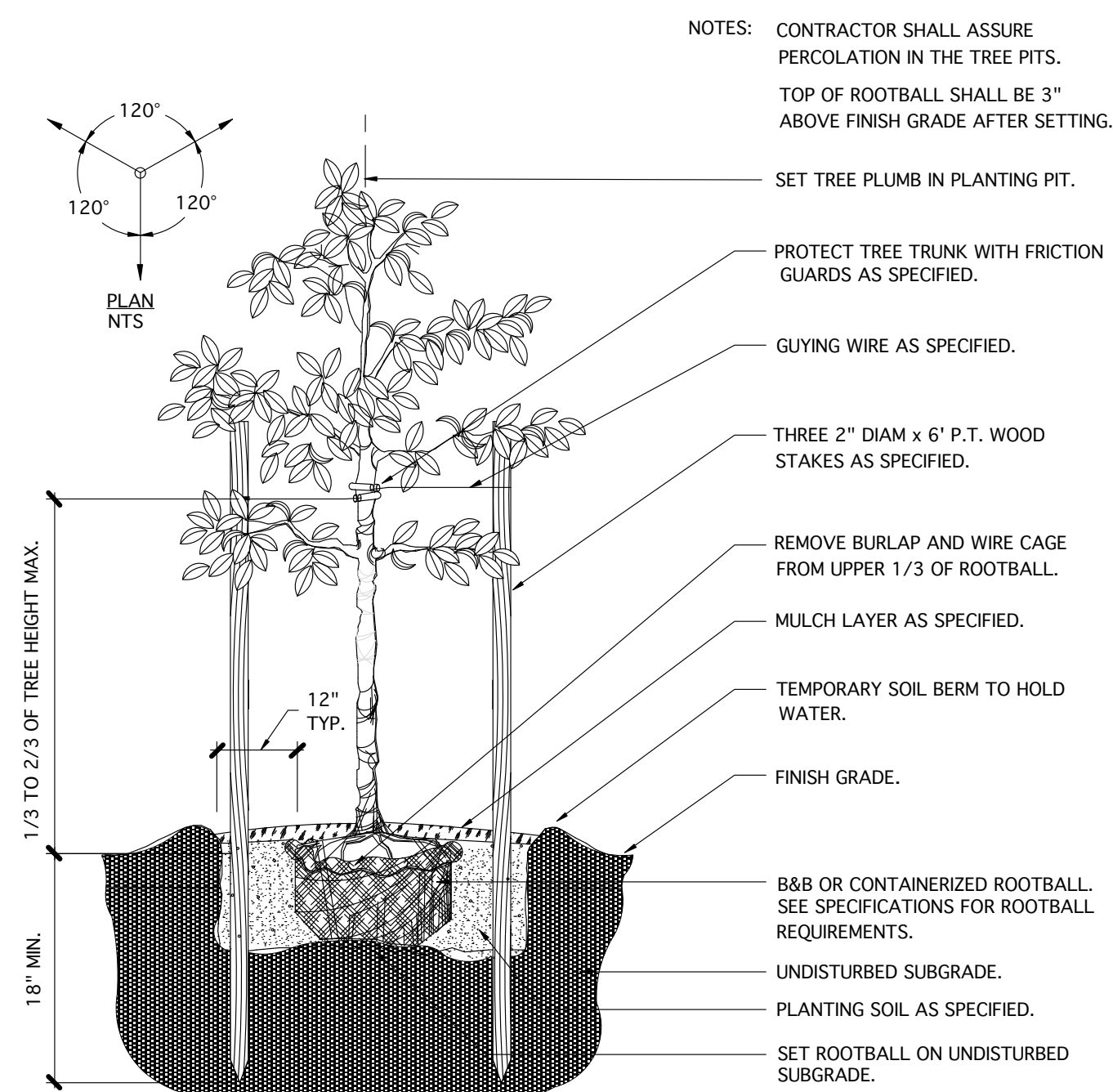
SCALE: NTS

NOTES:

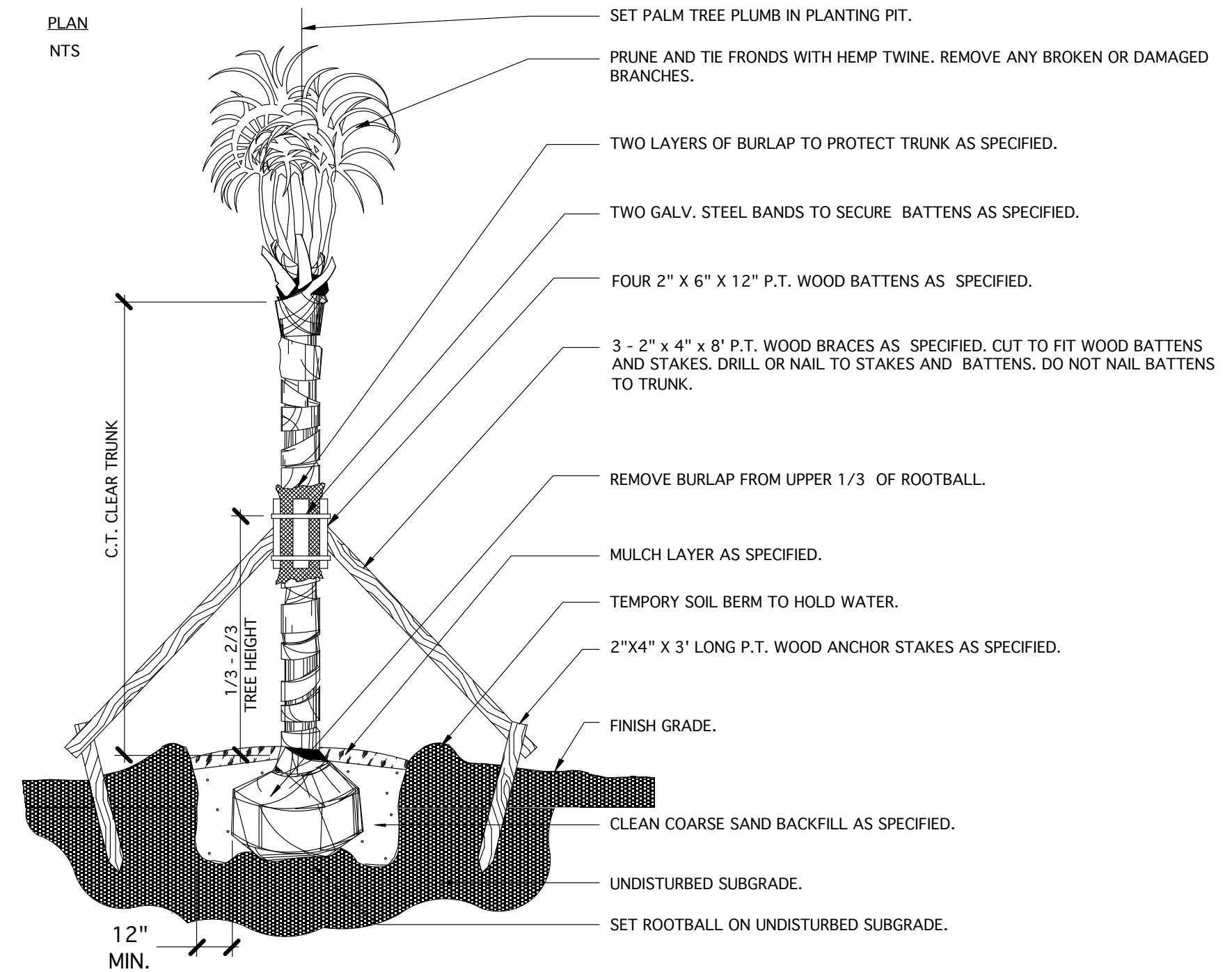
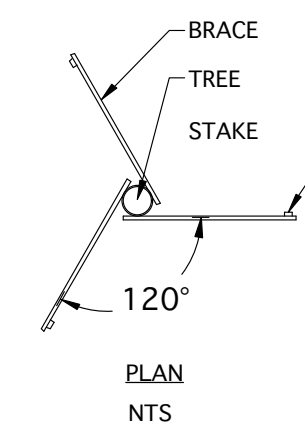
1. SEE PLANS AND SPECS. FOR PALMS WITH BOOTS TO REMAIN ON TRUNK.
2. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY LANDSCAPE ARCHITECT.
3. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.



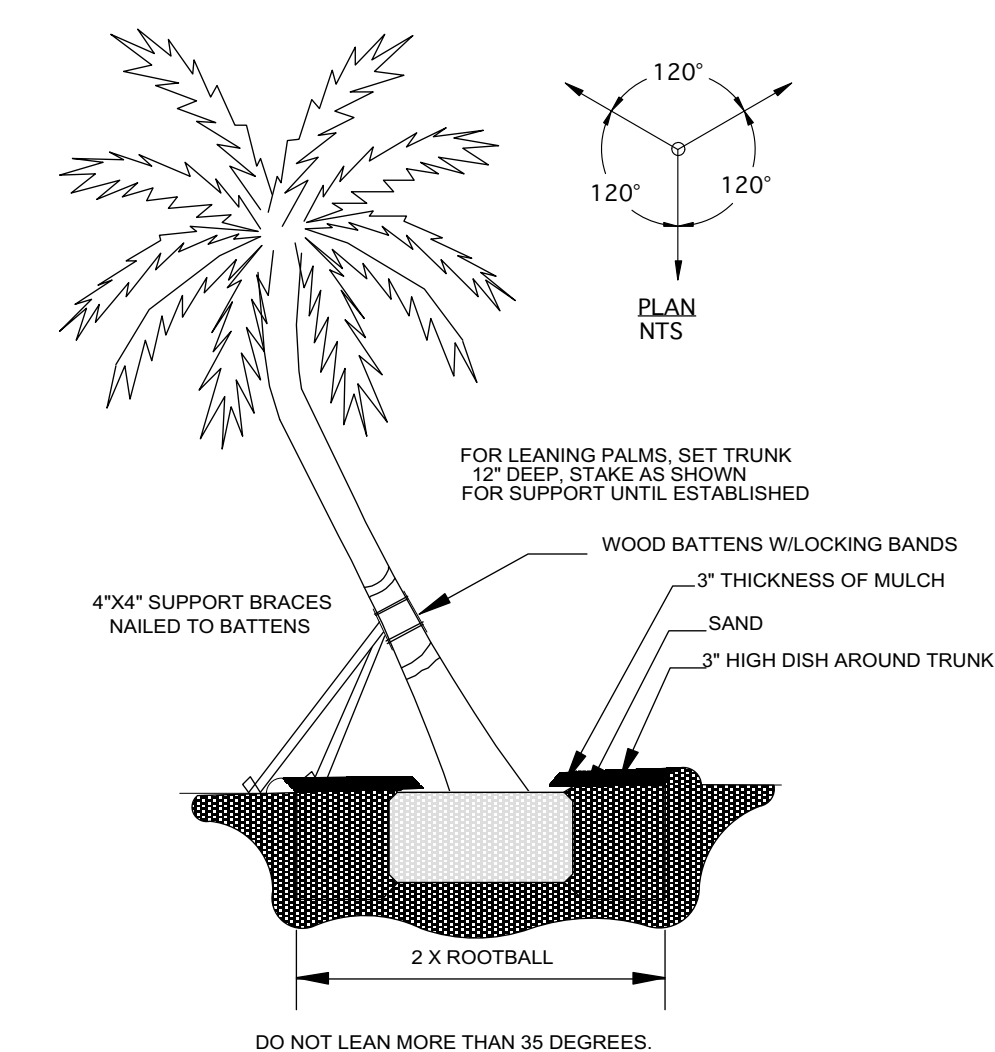
3 LD-01 TYP. LARGE TREE SECTION (4" CAL OR LARGER.) SCALE: N.T.S.



4 LD-01 TYP. SMALL TREE SECTION (UNDER 4" CAL.) SCALE: N.T.S.



1 LD-01 TYP. PALM PLANTING SECTION SCALE: N.T.S.



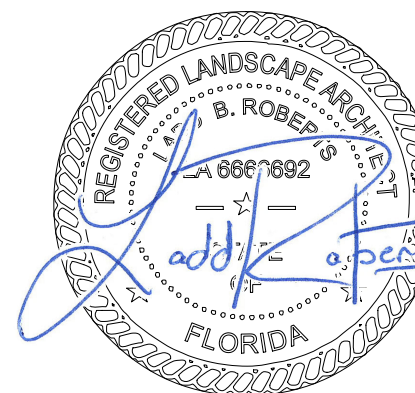
2 LD-06 TYP. LEANING PALM PLANTING SECTION SCALE: N.T.S.

TREE PROTECTION DETAILS & TRANSPLANTATION NOTES

SCALE: AS NOTED

NOT FOR CONSTRUCTION - FOR DEVELOPMENT APPROVAL ONLY
 FINAL BID DOCUMENTS TO BE PROVIDED WITH BUILDING PERMIT

ST. BEDE'S VILLAGE
 2700 - 2706 FLAGLER AVENUE
 KEY WEST, FLORIDA



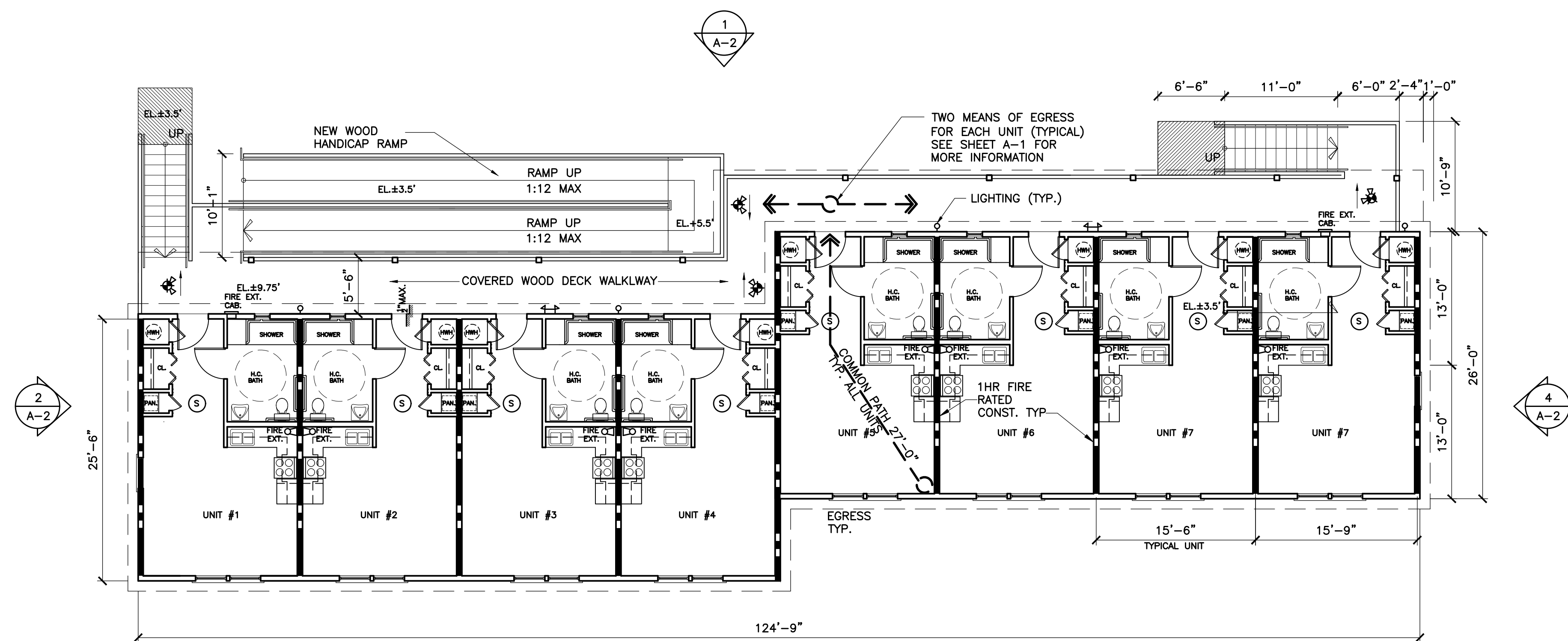
Mitchell Planning & Design, Inc.
 15450 SE 103rd Place Road
 Ocklawaha, Florida 32179
 352.288.0401/305.509.0966
 mitchellplanningdesign@gmail.com

Revisions:

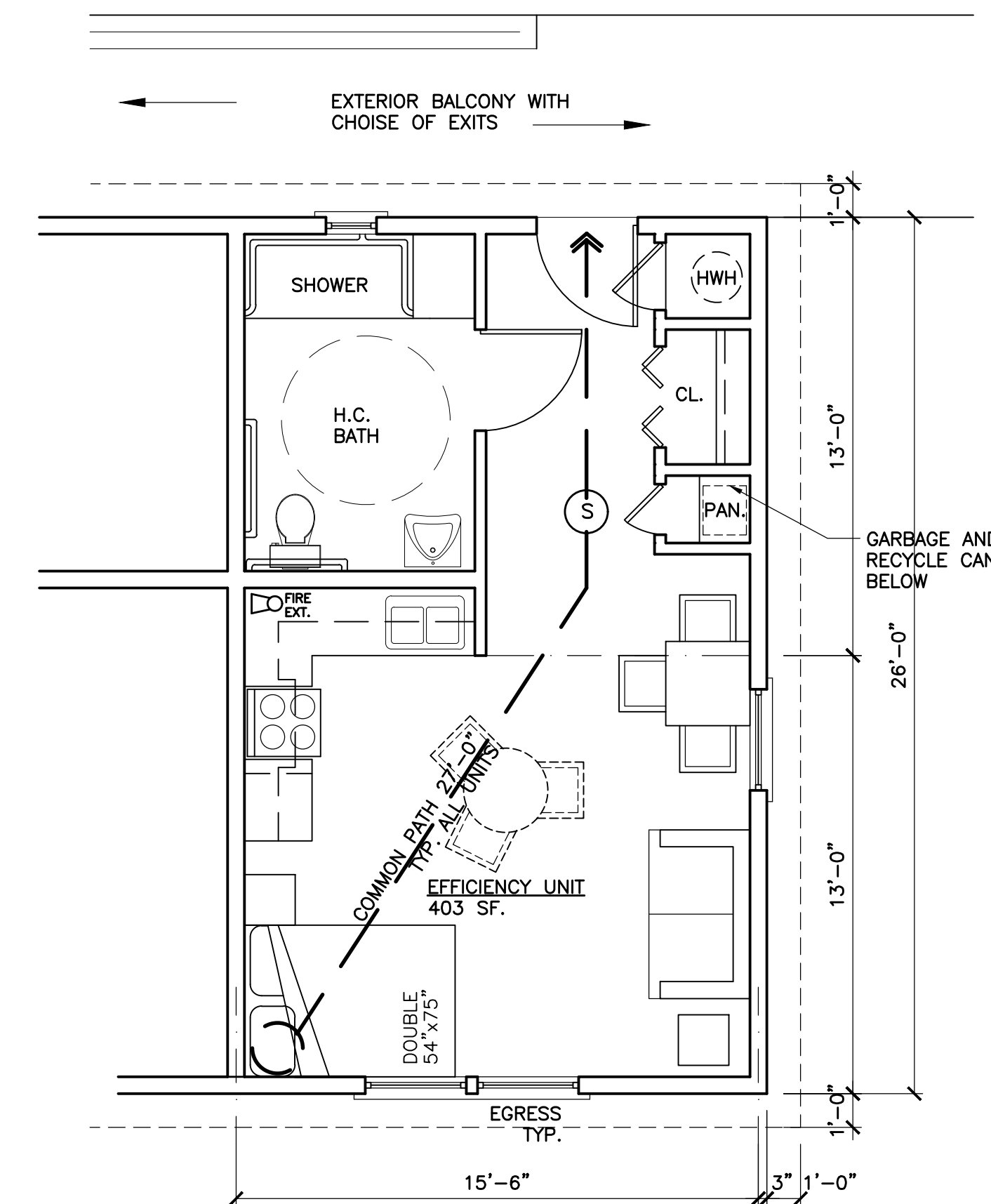
01.08.16:	Planning Board
03.02.16:	Planning Board
08.18.16:	Final Tree Commission

Date:	09.09.16
Scale:	As Noted
File:	13-BH-003
Drawn:	BM
Checked:	LR
Sheet:	

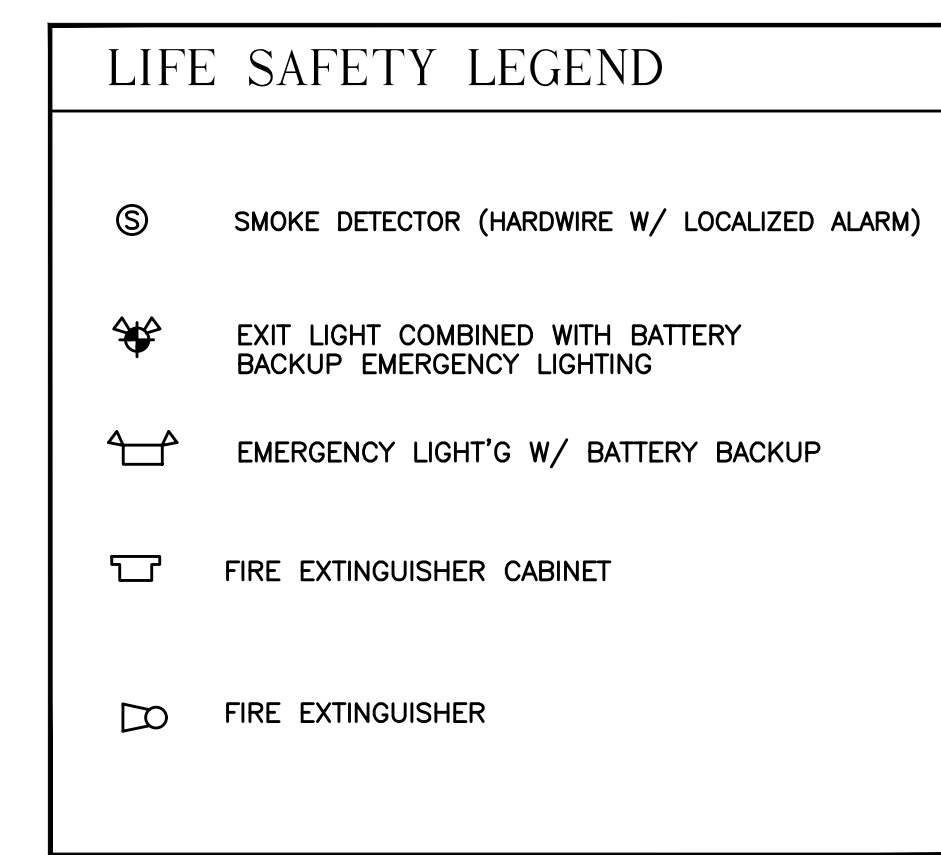
LA-02 A



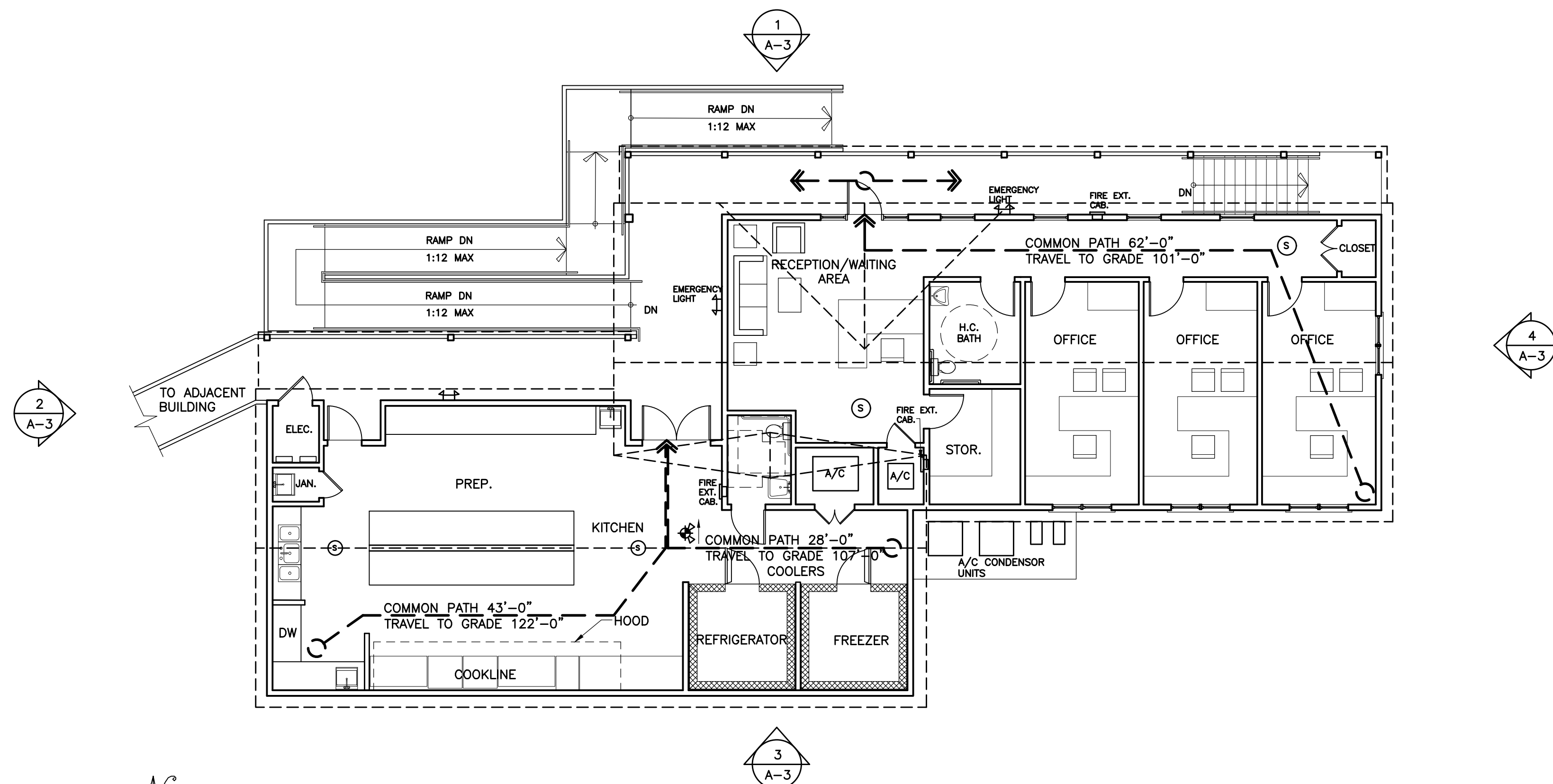
LIFE SAFETY - PROPOSED PLAN
TYPICAL BUILDING LAYOUT
SCALE: 1/8"=1'-0"



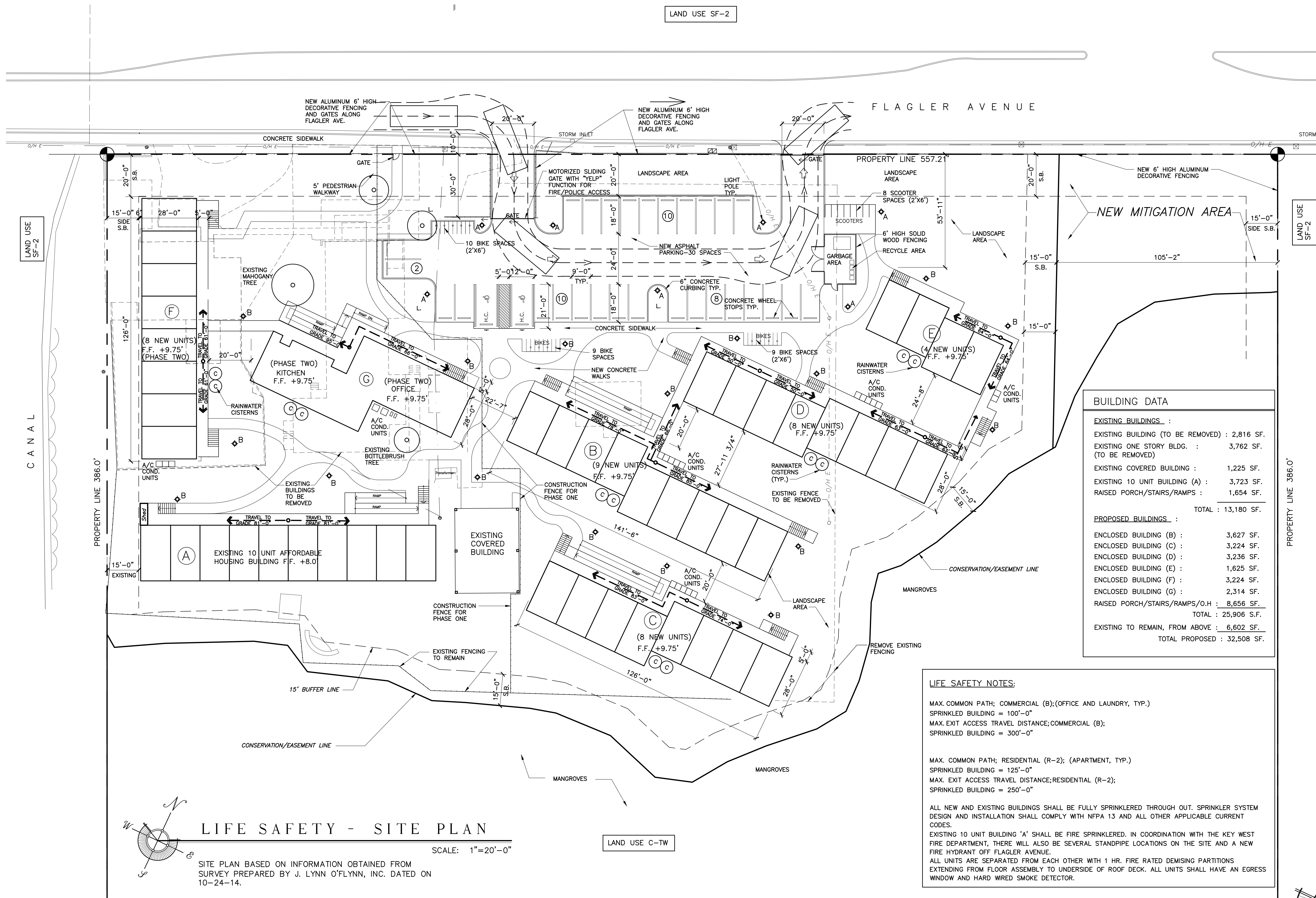
TYPICAL PRE-FABRICATED UNIT PLAN
403 SF. (TYPICAL)
SCALE: 1/4"=1'-0"



ACTUAL LOCATION OF ALL WORK TO BE SITE VERIFIED AND COORDINATE WITH OWNER.



LIFE SAFETY - BUILDING 'G' PLAN
SCALE: 1/8"=1'-0"



BUILDING DATA

EXISTING BUILDINGS :

EXISTING BUILDING (TO BE REMOVED) : 2,816 SF.
 EXISTING ONE STORY BLDG. : 3,762 SF. (TO BE REMOVED)
 EXISTING COVERED BUILDING : 1,225 SF.
 EXISTING 10 UNIT BUILDING (A) : 3,723 SF.
 RAISED PORCH/STAIRS/RAMPS : 1,654 SF.
TOTAL : 13,180 SF.

PROPOSED BUILDINGS :

ENCLOSED BUILDING (B) : 3,627 SF.
 ENCLOSED BUILDING (C) : 3,224 SF.
 ENCLOSED BUILDING (D) : 3,236 SF.
 ENCLOSED BUILDING (E) : 1,625 SF.
 ENCLOSED BUILDING (F) : 3,224 SF.
 ENCLOSED BUILDING (G) : 2,314 SF.
 RAISED PORCH/STAIRS/RAMPS/O.H. : 8,656 SF.
TOTAL : 25,906 S.F.

EXISTING TO REMAIN, FROM ABOVE : 6,602 SF.
TOTAL PROPOSED : 32,508 SF.

LIFE SAFETY NOTES:

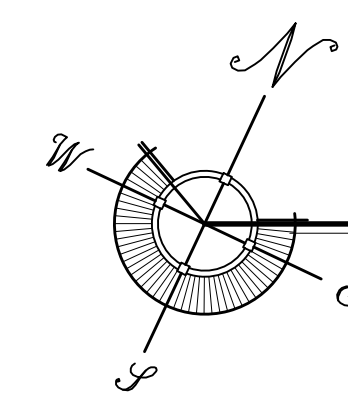
MAX. COMMON PATH; COMMERCIAL (B);(OFFICE AND LAUNDRY, TYP.)
 SPRINKLED BUILDING = 100'-0"
 MAX. EXIT ACCESS TRAVEL DISTANCE;COMMERCIAL (B);
 SPRINKLED BUILDING = 300'-0"

MAX. COMMON PATH; RESIDENTIAL (R-2); (APARTMENT, TYP.)
 SPRINKLED BUILDING = 125'-0"
 MAX. EXIT ACCESS TRAVEL DISTANCE;RESIDENTIAL (R-2);
 SPRINKLED BUILDING = 250'-0"

ALL NEW AND EXISTING BUILDINGS SHALL BE FULLY SPRINKLERED THROUGH OUT. SPRINKLER SYSTEM DESIGN AND INSTALLATION SHALL COMPLY WITH NFPA 13 AND ALL OTHER APPLICABLE CURRENT CODES.

EXISTING 10 UNIT BUILDING 'A' SHALL BE FIRE SPRINKLERED. IN COORDINATION WITH THE KEY WEST FIRE DEPARTMENT, THERE WILL ALSO BE SEVERAL STANDPIPE LOCATIONS ON THE SITE AND A NEW FIRE HYDRANT OFF FLAGLER AVENUE.

ALL UNITS ARE SEPARATED FROM EACH OTHER WITH 1 HR. FIRE RATED DEMISING PARTITIONS EXTENDING FROM FLOOR ASSEMBLY TO UNDERSIDE OF ROOF DECK. ALL UNITS SHALL HAVE AN EGRESS WINDOW AND HARD WIRED SMOKE DETECTOR.



LIFE SAFETY - SITE PLAN

SCALE: 1"=20'-0"

SITE PLAN BASED ON INFORMATION OBTAINED FROM SURVEY PREPARED BY J. LYNN O'FLYNN, INC. DATED ON 10-24-14.

