



Historic Architectural Review Commission Staff Report for Item 8

To: Chairman Bryan Green and Historic Architectural Review Commission Members

From: Kathleen McDonald, MHP
Historic Preservation Planner II

Meeting Date: September 28, 2021

Applicant: William Shepler

Address: #925 Whitehead Street

Description of Work:

Restoration of front façade and two-story porches. Enclosure of side porches. Renovations and new fenestrations at rear. New pool and deck.

Site Facts:

The site under review is located at 925 Whitehead Street. According to our survey, the two-story structure on site is historic and contributing, with a year built circa 1890. Sanborn maps indicate that the footprint of the structure has been relatively unchanged since the 1890s.

Guidelines Cited on Review:

- Guidelines for Windows (pages 29-30), specifically guidelines 1, 2, 3, 6 and 10.
- Guidelines for Entrances, Porches and Doors (pages 32-33), specifically guidelines 2, 3, 5, 11, 12, 15 and 16.
- Guidelines for Additions and Alterations to Contributing, Non-Contributing and Non-Historic Buildings and Structures (pages 37a-37k), specifically guidelines 1, 6, 11, 22, 29 and 30.
- Guidelines for Decks, Patios, Hot Tubs, Spas, Pools and Related Equipment (page 39a), specifically the preamble and guideline 1.

Staff Analysis:

The Certificate of Appropriateness under review proposes restoration and renovations at the house at 925 Whitehead Street. This application also proposes the construction of a new pool and deck at the rear of the property.

On the west (front) elevation, all historic windows and doors are to be restored. The non-historic gable end window is to be replaced with a 6-over-6 wood impact window. The historic railing on

the second-floor porch is to be restored, while a new railing is to be installed on the first-floor porch to match the historic railing.

On the south (side) elevation, all historic windows are to be restored, and 4 of those windows are to be slightly moved. 2 windows are to be moved due to interior floor plan changes, while the other 2 are to be moved to make way for a new second-floor porch on the rear of the building. A door on this elevation is to be replaced by a 6-over-6 wood impact window.

On the east (rear) elevation, the second floor is to be converted into a covered porch. A new double aluminum French door is proposed on the new second-floor porch. An opening is to be created on the first floor to install new sliding doors. A historic window on the second floor is in poor condition as is proposed to be replaced with a 6-over-6 wood impact window. The non-historic gable end window is also proposed to be replaced with a 6-over-6 wood impact window.

On the north (side) elevation, existing screened porches on the first and second floor are proposed to be enclosed. New windows on the newly enclosed portion are proposed to be 6-over-6 wood impact windows. All historic windows are proposed to be restored, and 1 of these windows is proposed to be slightly moved to make way for the new second-floor porch on the rear.

A new deck and pool are proposed at the rear of the property. A new picket gate is proposed to replace the existing on the front property line.

Consistency with Cited Guidelines:

Staff finds the overall proposal to be consistent with the guidelines; however, 2 of the windows on the south elevation being moved to accommodate the floor plan goes against guideline 10 under Windows.

The restoration of windows throughout the house and the placement of new wood windows in some locations meets guidelines 1, 2, 3 and 6 under Windows. The proposed front facade restoration meets guidelines 3, 5, 15 and 16 under Entrances, Porches and Doors. The enclosure of the porches on the north façade meets guideline 2 under Entrances, Porches and Doors, as it not on a publicly visible elevation and the porch has been altered over time and its enclosure would not adversely affect the integrity of the structure. The new second-floor porch on the rear façade meets the cited guidelines for Additions and Alterations, as it would not affect character-defining features, it would not be visible, and the demolition of historic material would be minimal. The small porch would also not be out of proportion or scale in relation to the rest of the historic house. Because they are on a rear elevation that is not publicly visible, the proposed French doors and sliding doors on the rear would meet guidelines 11 and 12 under Entrances, Porches and Doors. The proposed deck, pool and pool equipment locations meet the cited guidelines for Decks, Patios, Hot Tubs, Spas, Pools and Related Equipment.

The only conflict that staff sees with the guidelines involves the movement of 2 historic windows on the south elevation. In total, this project proposes to move 5 windows: 3 to make way for a new second-floor porch on the rear of the building, and 2 to accommodate the interior floor plan.

In terms of the 3 that would be moved to make way for the new rear porch, staff opines that in this case, it would be more appropriate to move the windows than to remove them with the demolition of the rear portions of the existing walls. In terms of the 2 that would be moved to accommodate the interior floor plan, staff has taken the position in the past that it is not appropriate to move historic windows from their original locations in order to better fit the floor plan.

Other than the 2 windows being moved on the south elevation, staff sees no conflicts with the proposal and the HARC guidelines.

APPLICATION

HARC MAJOR PROJECTS CERTIFICATE OF APPROPRIATENESS

\$420 NON-REFUNDABLE BASE APPLICATION FEE - OTHER FEES MAY BE APPLICABLE Rev 12/14/2020 ET



City of Key West

1300 White Street
Key West, Florida 33040

HARC COA #	REVISION #	INITIAL & DATE
FLOOD ZONE	ZONING DISTRICT	BLDG PERMIT #

A PRE-APPLICATION MEETING WITH HARC STAFF IS REQUIRED PRIOR TO SUBMITTAL

ADDRESS OF PROPOSED PROJECT:	925 WHITEHEAD ST. , KEY WEST, FL		
NAME ON DEED:	PAUL MISCH	PHONE NUMBER	219-793-2232
OWNER'S MAILING ADDRESS:		EMAIL	MISCH1225@GMAIL
APPLICANT NAME:	WILL SHEPHERD	PHONE NUMBER	305-890-6491
APPLICANT'S ADDRESS:	201 FRONT ST. , SUITE 203	EMAIL	WILL@WSHEPHERD.COM
	KEY WEST, FL		
APPLICANT'S SIGNATURE:		DATE	8/26/21

ANY PERSON THAT MAKES CHANGES TO AN APPROVED CERTIFICATE OF APPROPRIATENESS MUST SUBMIT A NEW APPLICATION.

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND-DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083. THE APPLICANT FURTHER HEREBY ACKNOWLEDGES THAT THE SCOPE OF WORK AS DESCRIBED IN THE APPLICATION SHALL BE THE SCOPE OF WORK THAT IS CONTEMPLATED BY THE APPLICANT AND THE CITY. THE APPLICANT FURTHER STIPULATES THAT SHOULD FURTHER ACTION BE TAKEN BY THE CITY FOR EXCEEDING THE SCOPE OF THE DESCRIPTION OF WORK, AS DESCRIBED HEREIN, AND IF THERE IS CONFLICTING INFORMATION BETWEEN THE DESCRIPTION OF WORK AND THE SUBMITTED PLANS, THE AFOREMENTIONED DESCRIPTION OF WORK SHALL BE CONTROLLING.

PROJECT INCLUDES: REPLACEMENT OF WINDOWS RELOCATION OF A STRUCTURE ELEVATION OF A STRUCTURE
 PROJECT INVOLVES A CONTRIBUTING STRUCTURE: YES NO INVOLVES A HISTORIC STRUCTURE: YES NO
 PROJECT INVOLVES A STRUCTURE THAT IS INDIVIDUALLY LISTED ON THE NATIONAL REGISTER: YES NO

DETAILED PROJECT DESCRIPTION INCLUDING MATERIALS, HEIGHT, DIMENSIONS, SQUARE FOOTAGE, LOCATION, ETC.
GENERAL: RESTORING FRONT FACADE & 2 STORY PORCHES TO ORIGINAL CONFIGURATION & CHARACTER. ENCLLOSING DILAPIDATED SIDE PORCHES, OPENING PORTION OF 2ND FLOOR REAR AS NEW PORCH, NEW DECK & POOL
MAIN BUILDING: SEE ABOVE
DEMOLITION (PLEASE FILL OUT AND ATTACH DEMOLITION APPENDIX):
MINOR DEMO OF DILAPIDATED SIDE PORCHES, AND SIDING THAT IS IN POOR CONDITION, PORTION OF 2ND FL. REAR.

**APPLICATIONS MUST BE SUBMITTED IN PERSON WITH HARD COPIES BY 3PM ON THE SCHEDULED DEADLINE
PLEASE SEND AN ELECTRONIC COPY OF ALL DOCUMENTS CITY_HARC@CITYOFKEYWEST-FL.GOV**

ACCESSORY STRUCTURE(S): N/A	
PAVERS: None	FENCES: New Open picket gates at existing front property line
	locations. Details , shapes & sizes to match existing.
DECKS: New rear decks as per plans	PAINTING: Paint entire building , colors TBD
SITE (INCLUDING GRADING, FILL, TREES, ETC):	POOLS (INCLUDING EQUIPMENT):
Fill from pool excavation to be distributed in rear yyard	New 8' x 16' Pool
ACCESSORY EQUIPMENT (GAS, A/C, VENTS, ETC):	OTHER:
New AC and pool pump as per Site plan	

OFFICIAL USE ONLY:	HARC COMMISSION REVIEW	EXPIRES ON:
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
MEETING DATE:	<input type="checkbox"/> APPROVED <input type="checkbox"/> NOT APPROVED <input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	INITIAL:
REASONS OR CONDITIONS:		
STAFF REVIEW COMMENTS:		
FIRST READING FOR DEMO:	SECOND READING FOR DEMO:	
HARC STAFF SIGNATURE AND DATE:	HARC CHAIRPERSON SIGNATURE AND DATE:	

THIS APPLICATION MAY BE REVIEWED BY PLANNING DEPARTMENT STAFF.

HARC CERTIFICATE OF APPROPRIATENESS: DEMOLITION APPENDIX




City of Key West

1300 White Street
Key West, Florida 33040

HARC COA #	INITIAL & DATE
ZONING DISTRICT	BLDG PERMIT #

ADDRESS OF PROPOSED PROJECT:	925 Whitehead Street, Key West, FL
PROPERTY OWNER'S NAME:	Paul Misch
APPLICANT NAME:	William Shepler

I hereby certify I am the owner of record and that the work shall conform to all applicable laws of this jurisdiction. By receiving a Certificate of Appropriateness, I realize that this project will require a Building Permit approval PRIOR to proceeding with the work outlined above and that a final inspection is required under this application. I also understand that any changes to an approved Certificate of Appropriateness must be submitted for review.

PROPERTY OWNER'S SIGNATURE		8/27/21	DATE AND PRINT NAME
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DETAILED PROJECT DESCRIPTION OF DEMOLITION
Remove dilapidated recessed side porch railings and partial walls. Remove portion of 2nd Floor
Rear to accommodate new 2nd floor covered porch. Remove dilapidated windows to be replaced.

CRITERIA FOR DEMOLITION OF CONTRIBUTING OR HISTORIC STRUCTURES:
Before any Certificate of Appropriateness may be issued for a demolition request, the Historic Architectural Review Commission must find that the following requirements are met (please review and comment on each criterion that applies):
(1) If the subject of the application is a contributing or historic building or structure, then it should not be demolished unless its condition is irrevocably compromised by extreme deterioration or it does not meet any of the following criteria:
(a) The existing condition of the building or structure is irrevocably compromised by extreme deterioration.
The existing conditions of the recessed side porches are irrevocably compromised due to years of neglect. The rear facade has been altered over the years and has also suffered from neglect.
(2) Or explain how the building or structure meets the criteria below:
(a) Embodies no distinctive characteristics of a type, period, or method of construction of aesthetic or historic significance in the city and is not a significant and distinguishable building entity whose components may lack individual distinction.
The areas to be removed are not character defining for the building and are not visible from the street.

Nothing in this application is intended to alter the authority of the Building Official to condemn for demolition dangerous buildings, as provided in Section 102-218 of the Land Development Regulations and Chapter 14 of the Code of Ordinances.

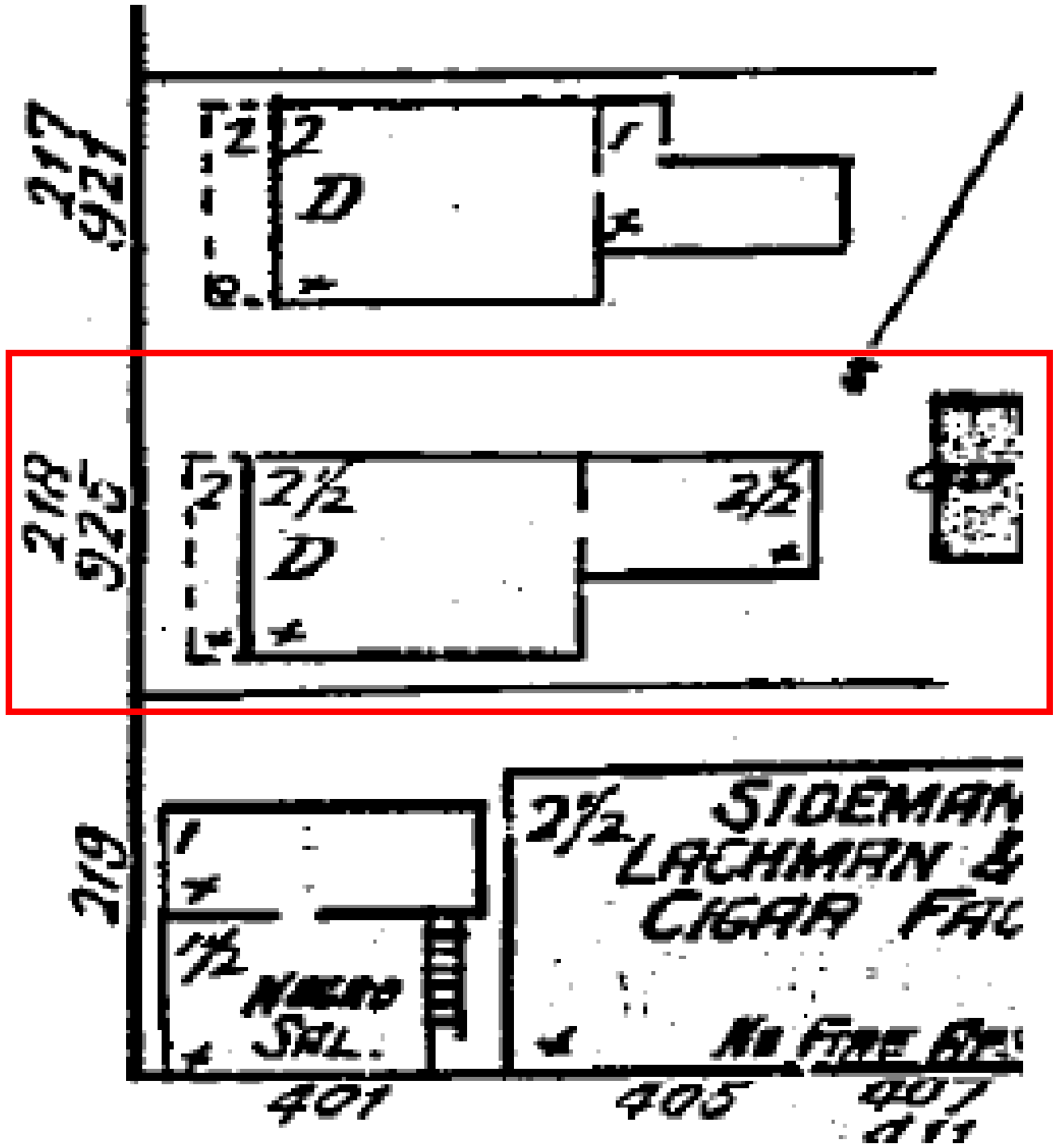
(b) Is not specifically associated with events that have made a significant contribution to local, state, or national history.
No it is not.
(c) Has no significant character, interest, or value as part of the development, heritage, or cultural characteristics of the city, state or nation, and is not associated with the life of a person significant in the past.
No it is not.
(d) Is not the site of a historic event with significant effect upon society.
Not it is not.
(e) Does not exemplify the cultural, political, economic, social, or historic heritage of the city.
No it does not.
(f) Does not portray the environment in an era of history characterized by a distinctive architectural style.
Not tthe portion that we are altering
(g) If a part of or related to a square, park, or other distinctive area, nevertheless should not be developed or preserved according to a plan based on the area's historic, cultural, natural, or architectural motif.
N/A
(h) Does not have a unique location or singular physical characteristic which represents an established and familiar visual feature of its neighborhood or of the city and does not exemplify the best remaining architectural type in a neighborhood.
No it does not.

Nothing in this application is intended to alter the authority of the Building Official to condemn for demolition dangerous buildings, as provided in Section 102-218 of the Land Development Regulations and Chapter 14 of the Code of Ordinances.

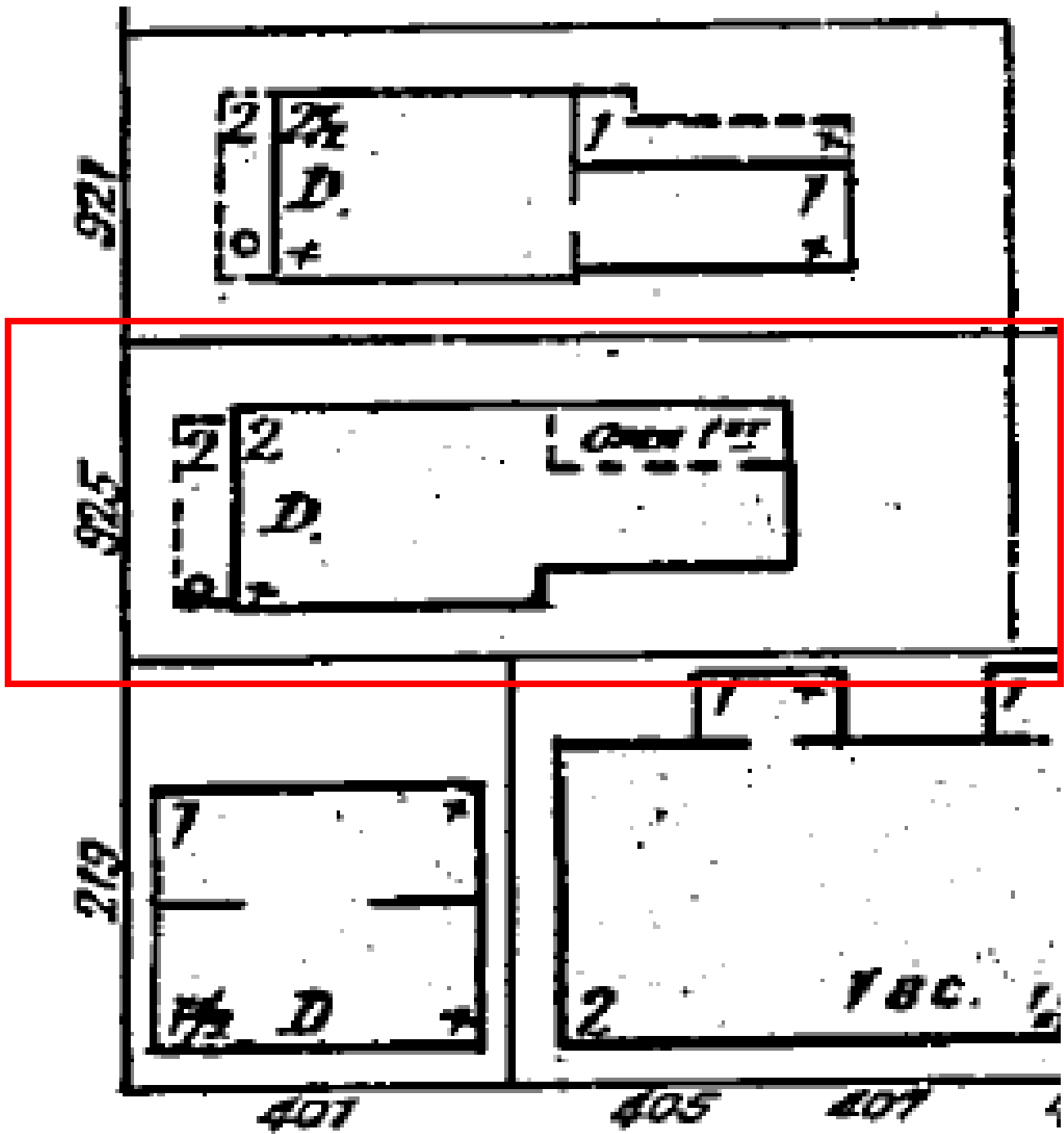
(i) Has not yielded, and is not likely to yield, information important in history,
Not it has not, no not likely.

CRITERIA FOR DEMOLITION OF NON-CONTRIBUTING OR NON-HISTORIC STRUCTURES:	
The following criteria will also be reviewed by the Historic Architectural Review Commission for proposed demolitions. The Commission shall not issue a Certificate of Appropriateness that would result in the following conditions (please review and comment on each criterion that applies):	
(1) Removing buildings or structure that are important in defining the overall historic character of a district or neighborhood so that the character is diminished.	
	N/A
(2) Removing historic buildings or structures and thus destroying the historic relationship between buildings or structures and open space.	
	N/A
(3) Removing an historic building or structure in a complex; or removing a building façade; or removing a significant later addition that is important in defining the historic character of a site or the surrounding district or neighborhood.	
	N/A
(4) Removing buildings or structures that would otherwise qualify as contributing.	
	N/A

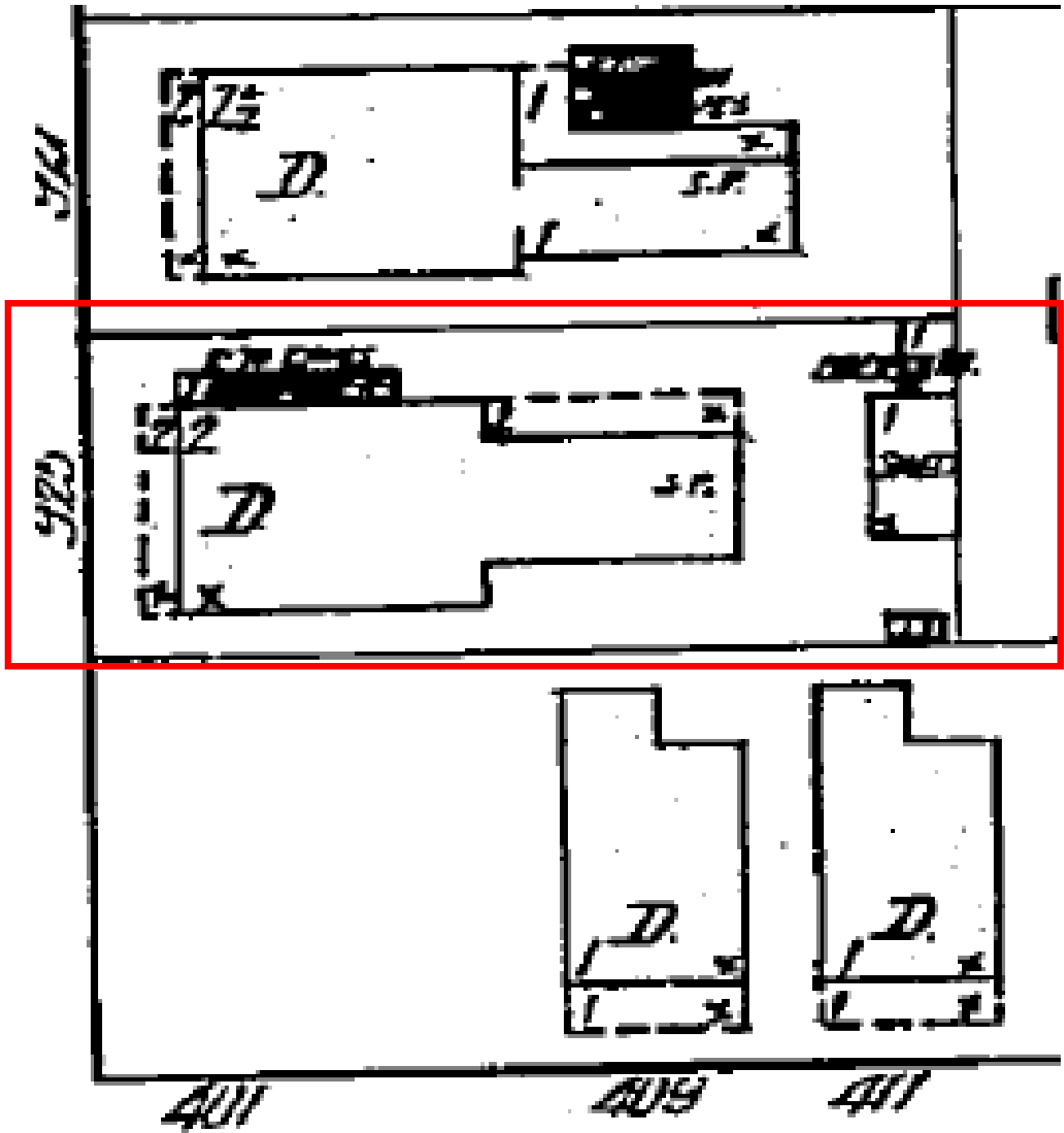
SANBORN MAPS



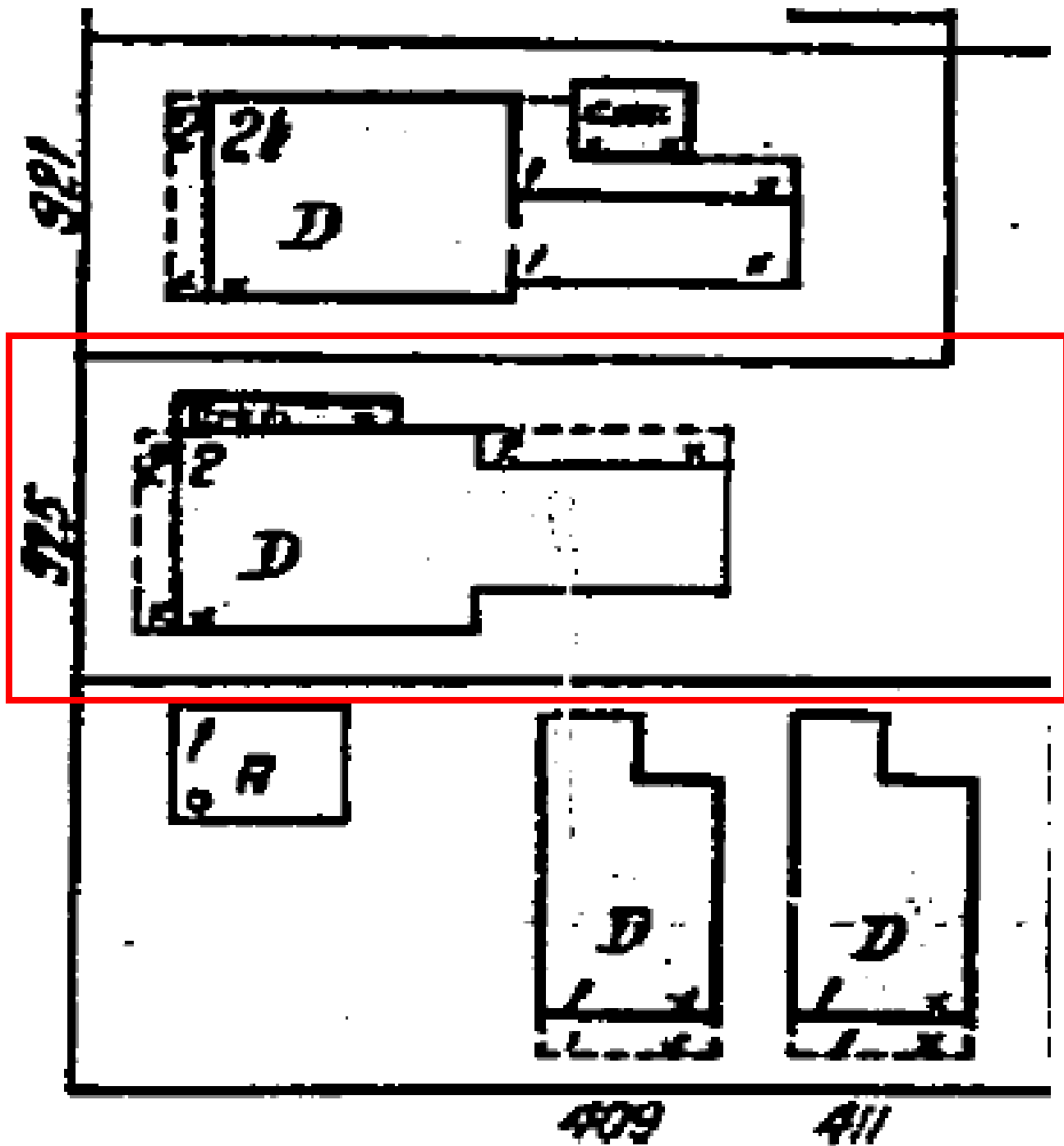
1892 Sanborn with the property at 925 Whitehead Street indicated in red.



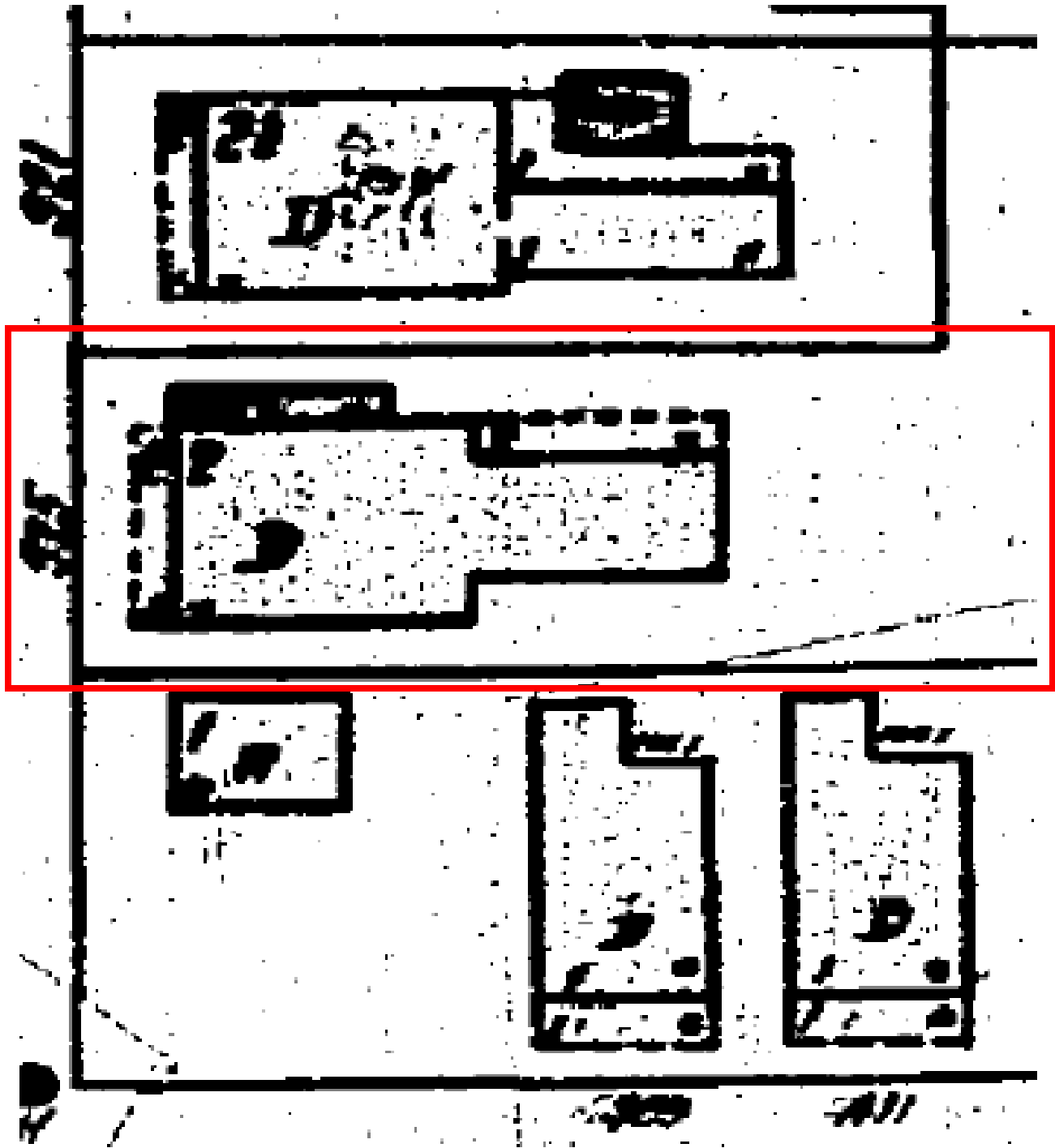
1899 Sanborn with the property at 925 Whitehead Street indicated in red.



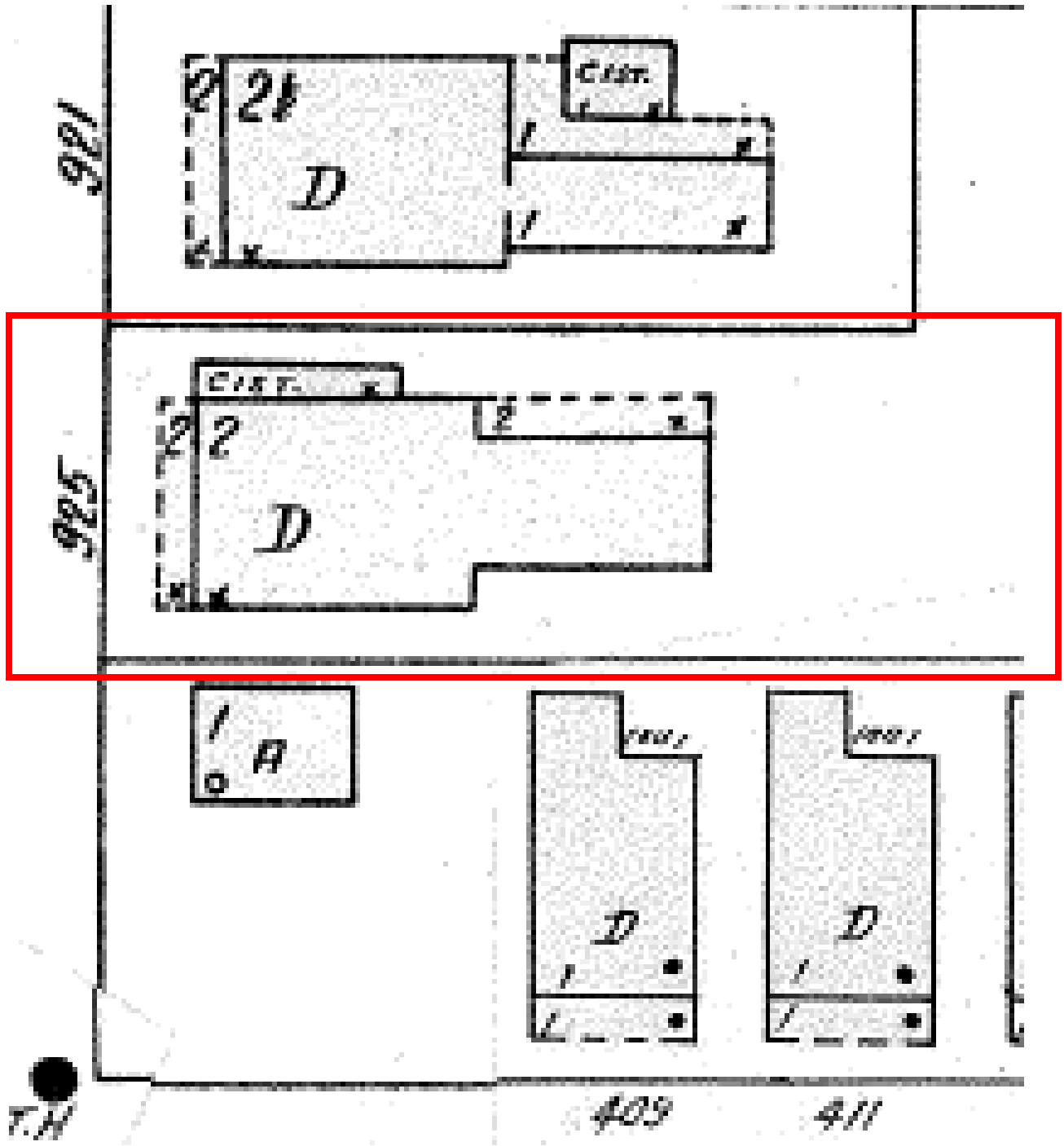
1912 Sanborn with the property at 925 Whitehead Street indicated in red.



1926 Sanborn with the property at 925 Whitehead Street indicated in red.



1948 Sanborn with the property at 925 Whitehead Street indicated in red.



1962 Sanborn with the property at 925 Whitehead Street indicated in red.

PROJECT PHOTOS



1965 photo of the house at 925 Whitehead Street.



Front View of 925 Whitehead Street House



View from US-1



Adjacent Northern Property



Close View of adjacent Northern Property



Rear View



Rear View with Southern & Northern Properties



Adjacent Eastern Property



Adjacent Eastern Property



Rear View looking North



Looking to US-1



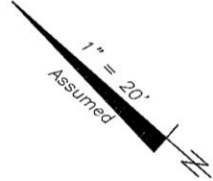
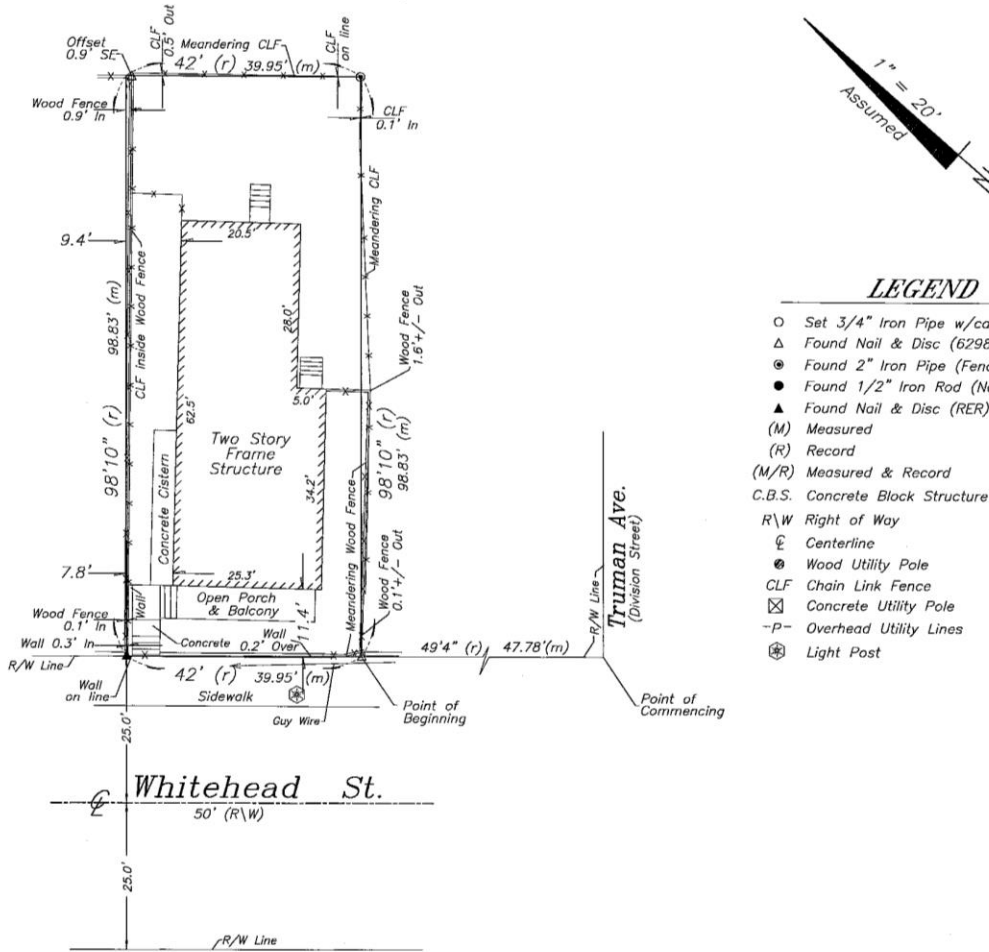
Directly across the street



Southern View from US-1

SURVEY

Boundary Survey Map of part of Lot 4, Square 9 Tract 4, ISLAND OF KEY WEST



LEGEND

- Set 3/4" Iron Pipe w/cap (6298)
- △ Found Nail & Disc (6298)
- Found 2" Iron Pipe (Fence Post)
- Found 1/2" Iron Rod (No ID)
- ▲ Found Nail & Disc (RER)
- (M) Measured
- (R) Record
- (M/R) Measured & Record
- C.B.S. Concrete Block Structure
- R\W Right of Way
- ⊕ Centerline
- ⊙ Wood Utility Pole
- CLF Chain Link Fence
- ⊠ Concrete Utility Pole
- P- Overhead Utility Lines
- ⊙ Light Post

- NOTES:**
1. The legal description shown hereon was furnished by the client or their agent.
 2. Underground foundations and utilities were not located.
 3. All angles are 90° (Measured & Record) unless otherwise noted.
 4. Street address: 925 Whitehead Street, Key West, FL.
 5. This survey is not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
 6. Lands shown hereon were not abstracted for rights-of-way, easements, ownership, or other instruments of record.
 7. North Arrow is assumed and based on the legal description.
 8. All concrete, bricking & decking is not shown.
 9. Date of field work: November 28, 2020
 10. Ownership of fences is undeterminable, unless otherwise noted.
 11. All improvements are not shown.

BOUNDARY SURVEY OF: On the Island of Key West, Florida, and is a part of Lot 4, Square 9, Tract 4, more particularly described as follows:
 On Whitehead Street beginning at a point 49 feet and 4 inches distant from the corner of Division Street, and extending along said Whitehead Street 42 feet; thence at right angles 98 feet and 10 inches; thence at right angles 42 feet; thence at right angles 98 feet and 10 inches to the Point of Beginning.

BOUNDARY SURVEY FOR: Paul & Pamela Misch; Mark Misch;
 Highsmith & Van Loon, P.A.;
 Old Republic National Title Insurance Company;

I HEREBY CERTIFY that this survey was made under my responsible charge and meets the Standard of Practice as set forth by the Florida Board of Professional Surveyors & Mappers in Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

J. LYNN O'FLYNN, INC.

J. Lynn O'Flynn, PSM
 Florida Reg. #6298
 November 30, 2020

THIS SURVEY
 IS NOT
 ASSIGNABLE

J. LYNN O'FLYNN, Inc.

Professional Surveyor & Mapper
 PSM #6298

3430 Duck Ave., Key West, FL 33040
 (305) 296-7422 FAX (305) 296-2244

PROPOSED DESIGN

NOTES:

SCOPE OF DEMOLITION

- THE EXISTING CONDITION/DEMOLITION DRAWINGS ARE INTENDED AS A GENERAL GUIDE TO THE DEMOLITION REQUIRED FOR THIS PROJECT. DEMOLITION IS NOT SHOWN IN COMPLETE DETAIL AND IT SHALL BE THE RESPONSIBILITY OF THE DEMOLITION CONTRACTORS TO REMOVE EXISTING CONSTRUCTION AS REQUIRED TO ACCOMPLISH THE NEW DESIGN INTENT AND/OR WORK SHOWN OR REASONABLY IMPLIED FOR CONSTRUCTION OF THE FLOOR PLAN.
- THE CONTRACTOR SHALL REFER TO THE WORK SHOWN ON ALL OTHER DRAWINGS IN THE SET FOR THE EXTENT OF DEMOLITION REQUIRED TO PERFORM WORK INTENT.

GENERAL CONDITIONS:

- ALL CONTRACTORS ARE REQUIRED TO VISIT THE JOB SITE TO VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO BEGINNING ANY WORK. NOTIFY ARCHITECT AS SOON AS POSSIBLE OF ANY DISCREPANCIES FOR RESOLUTION OF THE ISSUE(S) PRIOR TO THE BEGINNING OF ANY WORK.
- IT IS NOT THE INTENT OF THESE DRAWINGS TO SHOW EACH AND EVERY DETAIL.
- THE CONTRACTOR SHALL DO ALL WORK IN STRICT CONFORMANCE TO THE PLANS, FLORIDA BUILDING CODE 2020, CURRENT NEC, LOCAL CODES AND ORDINANCES, MANUFACTURERS RECOMMENDATIONS AND INSTRUCTIONS, AND ACCEPTABLE TRADE PRACTICES. IN THE EVENT OF CONFLICT BETWEEN THE ABOVE MENTIONED, THE MOST STRINGENT REQUIREMENTS SHALL GOVERN THE WORK.
- CONTRACTOR SHALL NOT SCALE DRAWINGS. ANY INFORMATION THAT CANNOT BE OBTAINED FROM THE DIMENSIONS, DETAILS OR SCHEDULES SHALL BE OBTAINED FROM ARCHITECT.
- CONTRACTOR SHALL FURNISH ALL SUBCONTRACTORS WITH A COMPLETE SET OF PLANS.
- SHOP DRAWINGS OF ALL PREFABRICATED STRUCTURAL AND MECHANICAL SYSTEMS SHALL BEAR THE SEAL OF A REGISTERED FLORIDA PROFESSIONAL ENGINEER AS REQUIRED BY APPLICABLE CODES AND SHALL BE SUBMITTED TO THE ARCHITECT BY THE GENERAL CONTRACTOR FOR REVIEW AND APPROVAL PRIOR TO ORDER CONFIRMATION AND CONSTRUCTION.
- TYPICAL: DEMOLITION CONTRACTOR AND/OR GENERAL CONTRACTOR ARE TO REMOVE ALL EXISTING ITEMS SHOWN ON PLANS, AND ALL NOTED ITEMS INCLUDING ALL ITEMS SHOWN ON MECHANICAL, PLUMBING, FIRE PROTECTION, AND ELECTRICAL DEMOLITION DRAWINGS IN THE SET UNLESS OTHERWISE NOTED TO REMAIN OR TO BE REUSED (SEE MECHANICAL, PLUMBING, FIRE PROTECTION, AND ELECTRICAL DEMOLITION DRAWINGS AND NOTES).
 - ITEMS FOUND WITHIN WALLS AND CEILING THAT RUN THROUGH THE SPACE FEEDING AND/OR CONNECTING AN ADJACENT AREA(S) ARE REQUIRED TO REMAIN UNLESS OTHERWISE NOTED ON DRAWINGS.
 - FOR QUESTIONABLE ITEMS INCLUDING, BUT NOT LIMITED TO FOUND/UNKNOWN CONDITIONS AND ITEMS NOT SHOWN/LISTED ON THE ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS THE CONTRACTOR WILL COORDINATE WITH THE ARCHITECT BEFORE REMOVING THE ABOVE MENTIONED ITEM.
 - CONTRACTOR TO REMOVE ALL ABANDONED CONDUIT, DUCTWORK, HANGERS, CEILING TILE, GRID, FRAMING, PIPING, ETC. THROUGHOUT WORK AREA.
 - GENERAL CONTRACTOR SHALL RELOCATE ANY EXISTING J-BOXES, SWITCHES, ETC. THAT ARE BEING REUSED AND REQUIRED TO BE MOVED TO ACCOMMODATE NEW WALL CONSTRUCTION OR NEW FURRING.
- GENERAL CONTRACTOR SHALL COORDINATE ALL DEMOLITION WITH OTHER TRADES AND AS NOTED IN THE MECHANICAL, PLUMBING, FIRE PROTECTION, AND ELECTRICAL DEMOLITION DRAWINGS AND NOTES.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE POLICE FOR ALL TRAFFIC CONTROL, BARRIERS, OR NOTICES. WORK SHALL BE PERFORMED ONLY DURING HOURS AND DAYS ALLOWED BY LAW.

- CONTRACTOR SHALL COORDINATE ALL WORK, BOTH INTERIOR AND EXTERIOR WITH DRAWINGS BY ENGINEERS FOR ELECTRICAL, MECHANICAL, PLUMBING, STRUCTURAL, CIVIL, AND ALL AFFECTED DISCIPLINES.
- THESE PLANS ARE FOR THE CONSTRUCTION OF THE BUILDING AT THE LOCATION SO DESIGNATED HERON. THESE PLANS ARE NO TO BE REPRODUCED OR USED FOR ANY OTHER LOCATION.
- THERE SHALL BE NO DEVIATION FROM THE INTENT OF THESE PLANS WITHOUT PRIOR APPROVAL FROM THE ARCHITECT.
- ALL WORK SHALL BE PERFORMED TO THE BEST TRADE STANDARDS. ALL CONSTRUCTION IS TO BE PLUMB, SQUARE, LEVEL, AND FREE OF DEFECTS OR OBTRUSIONS UNLESS OTHERWISE NOTED ON THE PLANS. ALL MATERIAL IS TO BE NEW, ALL WOOD IS TO BE PRESSURE TREATED, AND ALL CONNECTORS ARE TO BE GALVANIZED, UNLESS OTHERWISE STATED ON THE DRAWINGS.
- BUILDER IS RESPONSIBLE FOR COORDINATING THE SHUTOFF AND CAPPING OF ALL UTILITIES PROVIDED TO THE SITE. BUILDER SHALL DISPOSE OF ALL RUBBLE AND DEBRIS IN A SAFE MANNER AND IN ADHERENCE TO ALL APPLICABLE LAWS. BUILDER IS RESPONSIBLE FOR ENSURING THAT SUBCONTRACTORS ARE FULLY AWARE OF THE REQUIREMENTS OF THIS PROJECT AND ARE SUPPLIED WITH ALL REQUIRED DRAWINGS.
- PRIOR TO COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR SHALL FULLY FAMILIARIZE HIMSELF WITH THE SITE CONDITIONS AND COMPARE THEM TO THE CONSTRUCTION DRAWINGS FOR ACCURACY AND COMPLETENESS. ANY DISCREPANCIES OR CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. WORK SHALL STOP IN THAT AREA UNTIL THE ISSUE IS RESOLVED.
- THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE JOB SITE AND REPORT ANY DISCREPANCIES OR CONDITIONS THAT ARE UNSATISFACTORY OR UNSAFE BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL PROVIDE FOR THE SAFETY, PREVENTION OF INJURY OR LOSS AT THE JOB TO ALL PERSONS EMPLOYED ON THE WORK, PERSONS VISITING THE WORK AND THE GENERAL PUBLIC. HE SHALL ALSO BE RESPONSIBLE FOR THE PREVENTION OF DAMAGE DUE TO THE WORK, TO MATERIALS OR EQUIPMENT AND OTHER PROPERTY AT THE SITE OR ADJACENT THERETO.
- THE GENERAL CONTRACTOR SHALL PROVIDE AN ON SITE DUMPSTER IN A LOCATION COORDINATED WITH THE OWNER FOR THE DISPOSAL OF REMOVED MATERIAL AND CONSTRUCTION DEBRIS. THE DUMPSTER SHALL BE EMPTIED AT APPROPRIATE INTERVALS TO PREVENT OVERFLOW AND UNSIGHTLY CONDITIONS.
- THE CONTRACTOR SHALL DO ALL WORK IN STRICT CONFORMANCE WITH THE PLANS, FLORIDA BUILDING CODE, LOCAL CODES AND ORDINANCES, MANUFACTURERS RECOMMENDATIONS AND ACCEPTABLE TRADE PRACTICES. IF ANY CONFLICT AMONG THE ABOVE, THE MOST STRINGENT REQUIREMENT SHALL GOVERN THE WORK.
- ANY CHANGES MADE PRIOR TO APPROVAL BY THE OWNER AND/OR ARCHITECT ARE DISALLOWED AS EXTRAS AND THE CONTRACTOR MAY HAVE TO RESTORE ALL CHANGES TO CONFORM TO PLANS WITHOUT ADDITIONAL COMPENSATION.
- SHOP DRAWINGS OF ALL PREFABRICATED STRUCTURAL FLOOR AND ROOF SYSTEMS SHALL BEAR THE SEAL OF THE REGISTERED FLORIDA PROFESSIONAL ENGINEER AS REQUIRED BY THE BUILDING CODE AND SHALL BE SUBMITTED TO THE ARCHITECT BY THE GENERAL CONTRACTOR FOR APPROVAL PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL NOT SCALE DRAWINGS. ANY INFORMATION THAT CANNOT BE OBTAINED BY DIMENSIONS, DETAIL OR SCHEDULE, SHALL BE OBTAINED FROM THE ARCHITECT.
- THE CONTRACTOR SHALL CHECK AND COORDINATE THE WORK OF VARIOUS TRADES TO PREVENT ANY CONFLICTS.
- THE CONTRACTOR SHALL FURNISH ALL SUBCONTRACTORS WITH A COMPLETE SET OF PLANS.
- THESE PLANS AS DRAWN AND NOTED COMPLY WITH THE BUILDING ENVELOPE ENERGY REQUIREMENTS OF THE FLORIDA MODEL ENERGY CODE. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE GOVERNING CODE IN ITS ENTIRETY AND BUILD IN ACCORDANCE WITH ALL PROVISIONS OF THIS CODE WHICH MAY BE SPECIFICALLY ADDRESSED ON THE PLANS AND NOTES.
- ALL ELECTRICAL WORK SHALL BE DONE IN COMPLIANCE WITH THE NATIONAL ELECTRIC CODE (CURRENT EDITION) AND THE MONROE COUNTY CODE.
- PORTABLE REST ROOM FACILITIES TO BE PROVIDED AT THE SITE BY THE CONTRACTOR.
- COMPLETE HOT AND COLD WATER SYSTEMS AND VENT WASTE AND DRAIN SYSTEMS ALL TO CODE. SHALL BE FURNISHED.
- PROVIDE PLASTIC SLEEVES IN MASONRY, PARTITIONS, AND FOUNDATIONS, ETC. AS REQUIRED FOR UTILITY SERVICES.
- ALL INTERIOR BATHROOM WALLS WILL HAVE SOUND ATTENUATION BLANKET BETWEEN STUDS.
- ALL PLASTIC PIPES WILL HAVE SOUND INSULATION WRAP AND ALL PENETRATIONS AND STRAPS WILL BE INSULATED FOR SOUND.
- ALL BOLTS, CLIPS, HANGERS ETC. SHALL BE GALVANIZED (G90 MINIMUM)
- CAST IN PLACE CONCRETE SHALL BE IN ACCORDANCE WITH ACI 318, ACI 301, AND FLORIDA BUILDING CODE, FC=4.0 KSI IN 28 DAYS OR AS INDICATED IN STRUCTURAL NOTES AND DETAILS.
- ALL TIMBER CONSTRUCTION SHALL CONFORM TO AFC LATEST EDITION.
- NO PIPE, CONDUIT, OR JUNCTION BOXES TO BE PLACED IN THE SLAB OR COLUMNS UNLESS SPECIFICALLY SHOWN ON THE STRUCTURAL DRAWINGS.
- NEW CONCRETE EXPOSED TO DIRECT SUN SHALL BE SPRAYED OR MOPPED WITH A CURING COMPOUND TO SEAL IN MOISTURE AFTER THE FINISH HAS SET, OR THE CONCRETE CAN BE COVERED AND SOAKED WITH WATER.
- CONCRETE SHALL NOT BE MIXED IN PLACE IN A WET AUGER HOLE.
- ALL WOOD WITHIN 18" OF GRADE IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
- ALL FORMS SHALL BE WET JUST PRIOR TO PLACING CONCRETE.
- ALL SOILS TO BE TREATED FOR BUG INFESTATION PRIOR TO ANY POURS OR COVERINGS.
- ALL FOUNDATION OPENINGS, WALL OPENINGS, FLOOR OPENINGS, ELECTRICAL BOXES, AND PENETRATIONS OF ANY KIND SHALL BE SEALED WITH NONFLAMMABLE, HIGH DENSITY FOAM.
- THESE PLANS WERE DESIGNED TO MEET FLORIDA BUILDING CODE ASCE 7-98 AND WIND LOAD DESIGN IS BASED ON 180 MILES PER HOUR.
- ALLOWANCE: CONTRACTOR SHALL INCLUDE AND ENUMERATE IN HIS BASE BID THE TOTAL SUMS FOR ALL ALLOWANCE ITEMS. ALLOWANCES SUMS SHALL INCLUDE ITEMS SELECTED BY OWNER. QUANTITIES, PURCHASE, DELIVERY AND INSTALLATION SHALL BE BY CONTRACTOR. ALL OVERAGES OF ALLOWANCE AMOUNTS SHALL BE PAID FOR BY OWNER. ALL SAVINGS OF ALLOWANCE AMOUNTS SHALL BE CREDITED TO OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING, DELIVERY AND INSTALLATION DATES. ALLOWANCE ITEMS, IF ANY SHALL BE LISTED IN WRITING BY THE OWNER/ARCHITECT PRIOR TO BIDDING.
- DESIGN: IN ACCORDANCE WITH THE FLORIDA BUILDING CODE 2020.
- LIVE LOADS USED IN DESIGN: (SEE STRUCTURAL)
 - WIND VELOCITY:.....180 MPH AS PER ASCE 7-10

BUILDING CONDITIONS:

- ALL CONTRACTORS ARE TO PATCH ALL SURFACES OF EXISTING INTERIOR PARTITIONS THAT ARE NOT BEING DEMOLISHED OR WERE DAMAGED DUE TO DEMOLITION PROCEEDINGS.
- REMOVE ALL EXISTING FLOOR FINISHES, ADHESIVE, ETC. AS SHOWN ON THE DRAWINGS (PATCH AND REPAIR) TO ACCOMMODATE NEW FLOOR FINISHES. PREPARE FLOOR SURFACE PER MANUFACTURER'S RECOMMENDATIONS. LEVEL AREAS AND FEATHER TO NEW AND DIFFERENT FINISHED TO AVOID TRIP HAZARDS > 1/2" FEATHER SLOPE 1:12).
- REMOVE ALL INDICATED WALLS, WALL FURRING, DOOR, FRAMES, ETC. THROUGHOUT THE AREA TO FACILITATE NEW CONSTRUCTION AS SHOWN IN THE CONSTRUCTION DOCUMENTS.
- THE GENERAL CONTRACTOR SHALL REMOVE ALL EXISTING DRYWALL CEILING(S), SUSPENDED CEILING TILE(S), AND GRID(S). THE GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL NEW CEILING(S) AS SHOWN IN SET. COORDINATE BRACING AND SUPPORT FOR LIGHT FIXTURES, ETC.
- WHERE SMALL AREAS OF CEILING ARE AFFECTED BY DEMOLITION AND/OR ADJACENT TO EXISTING CEILING, REPAIR ADJOINING CEILINGS AND PAINT AND/OR INSTALL NEW TILE TO MATCH EXISTING. ROOM OR AREA SHOULD BE CONSISTENT WITH NEW CONSTRUCTION.
- THE DEMOLITION CONTRACTOR SHALL EXERCISE CARE SO THAT ONLY THE CONSTRUCTION INDICATED OR REASONABLY IMPLIED TO BE REMOVED SHALL BE DEMOLISHED. THE EXISTING CONSTRUCTION TO REMAIN SHALL BE LEFT INTACT AND UNDAMAGED, TYPICAL. ANY DAMAGE(S) WILL BE REQUIRED TO BE REPAIRED BY THE CONTRACTOR(S) AT NOT COST TO THE PROJECT INCLUDING AREAS OUTSIDE OF THE EXTENTS OF WORK.
- UTILITIES, WATER, AND SEWER LINES ARE TO BE IDENTIFIED, CUT, CAPPED AND CLEARLY IDENTIFIED AND FLAGGED.

HEALTH, SAFETY, AND WELFARE:

- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS DURING DEMOLITION AND CONSTRUCTION TO PROTECT AND MAINTAIN THE INTEGRITY AND OPERATION OF EXISTING OR TEMPORARY LIFE SAFETY AND EMERGENCY EGRESS AREAS AND SYSTEMS AS REQUIRED BY LOCAL BUILDING CODES.
- THE GENERAL CONTRACTOR WILL VERIFY WITH THE ARCHITECT ANY EXISTING SECURITY ITEMS TO BE REMOVED AND REUSED. THE GENERAL CONTRACTOR WILL REINSTALL AS DIRECTED.
- THE CONTRACTORS ARE RESPONSIBLE FOR THE REMOVAL OF ALL DEMOLITION AND CONSTRUCTION DEBRIS GENERATED FROM WORK, TAKING CARE TO PREVENT OVERLOADING OF FLOOR ASSEMBLY AND PROTECTION OF ADJACENT EXISTING CONSTRUCTION.
- DURING DEMOLITION, THE CONTRACTOR(S) SHALL TAKE ALL PRECAUTIONS NECESSARY TO PREVENT STRUCTURAL AND OTHER DAMAGE TO THE BUILDINGS EXISTING WALLS.
- ALL ITEMS INDICATED TO BE REMOVED AND ITEMS NOT INDICATED TO BE REUSED SHALL BE DISPOSED OF PROPERLY BY THE CONTRACTORS AS AGREED UPON AND DIRECTED BY THE OWNER OR THEIR AGENT.

DRAWING INDEX

A11	SITE PLAN, SITE CALCS. & NOTES
AE21	EXISTING 1 ST & 2 ND FLOOR PLANS
A21	PROPOSED 1 ST & 2 ND FLOOR PLANS
AE31	EXISTING ELEVATIONS
A31	PROPOSED ELEVATIONS
A41	FIRST & SECOND FLOORS RCP
A51	DESIGN PRESSURE & SCHEDULES
S2.1	DECK AND PARTIAL SECOND FLOOR FRAMING
S2.2	PARTIAL REAR SECTION & TYPICAL DETAILS

M-1.0	MECHANICAL SCOPE, NOTES & SCHEDULES
M-1.1	MECHANICAL DETAILS & SCHEDULES
M-2.0	MECHANICAL PLANS
E-0.0	ELECTRICAL SCOPE, NOTES AND DETAILS
E-0.0	ELECTRICAL PLANS
E-1.0	PLUMBING SCOPE, NOTES AND DETAILS
P-2.0	FIRST, SECOND & ATTIC PLUMBING PLAN
P-3.0	PLUMBING RISERS

CODE INFORMATION

THIS PROJECT SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES INCLUDING:

- CODE OF ORDINANCES - CITY OF KEY WEST, FL
- FLORIDA BUILDING CODE 2020:
 - RESIDENTIAL BUILDING CODE 2020
 - EXISTING BUILDING CODE 2020

ALL WORK SHALL COMPLY WITH ASCE 24-14

SCOPE OF WORK

THIS IS THE RENOVATION OF A TWO STORY SINGLE FAMILY RESIDENCE.

THERE WILL BE SOME SITE CLEANING, WINDOWS AND DOORS REPLACEMENT, NEW DECKING, THE ENTIRE INTERIOR OF THE BUILDING WILL BE RENOVATED

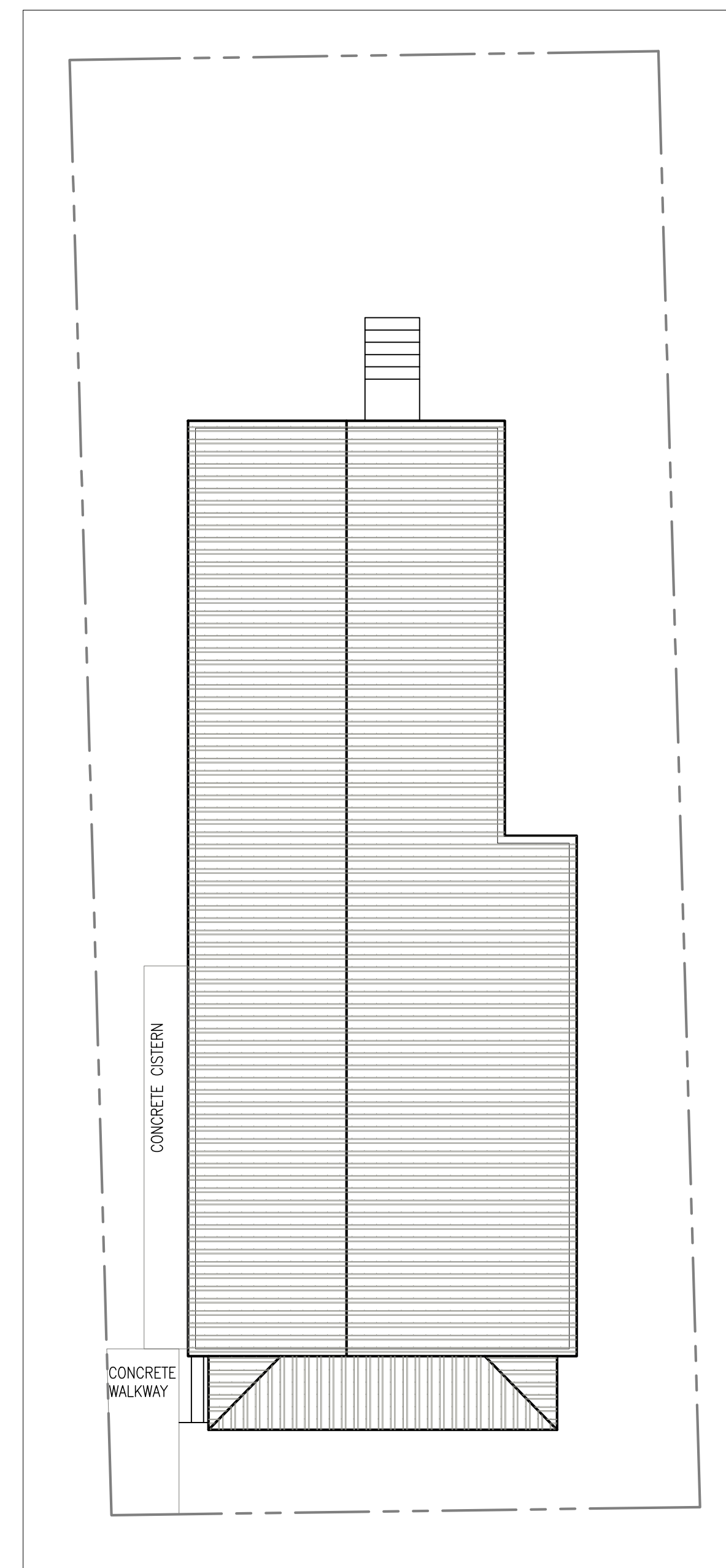
ZONING INFORMATION

ZONING DISTRICT : HMDR
FLOOD ZONE: X

ZONING CALCULATIONS

Zoning Calculations				
Property Address: 925 Whitehead				
Zoning District: HMDR				
	ALLOWED	EXISTING	PROPOSED	COMPLIANCE
HEIGHT	30'	33'*	No Change	N/A
BUILDING COVERAGE	40%	1,655 s.f. (42%)*	No Change	N/A
IMPERVIOUS SURFACE RATIO	60%	1786 s.f. (45.2%)	2176 s.f. (55.0%)	Yes
LOT SIZE	Min. 4,000 s.f.	3952 s.f.*	No Change	No Change
LOT WIDTH	Min. 40'	40'	No Change	Yes
LOT DEPTH	Min. 90'	98.8'	No Change	Yes
FRONT SETBACK (SOUTH)	Min. 10'	5.75'*	No Change	Yes
SIDE SETBACK (EAST)	Min. 5'	7.9'	No Change	Yes
SIDE SETBACK (WEST)	Min. 5'	5.9'	No Change	No Change
REAR SETBACK (NORTH)	Min. 15'	24.5'	No Change	Yes
OPEN SPACE	Min. 35%	2122 s.f. (53.7%)	1411s.f. (35.7%)	Yes

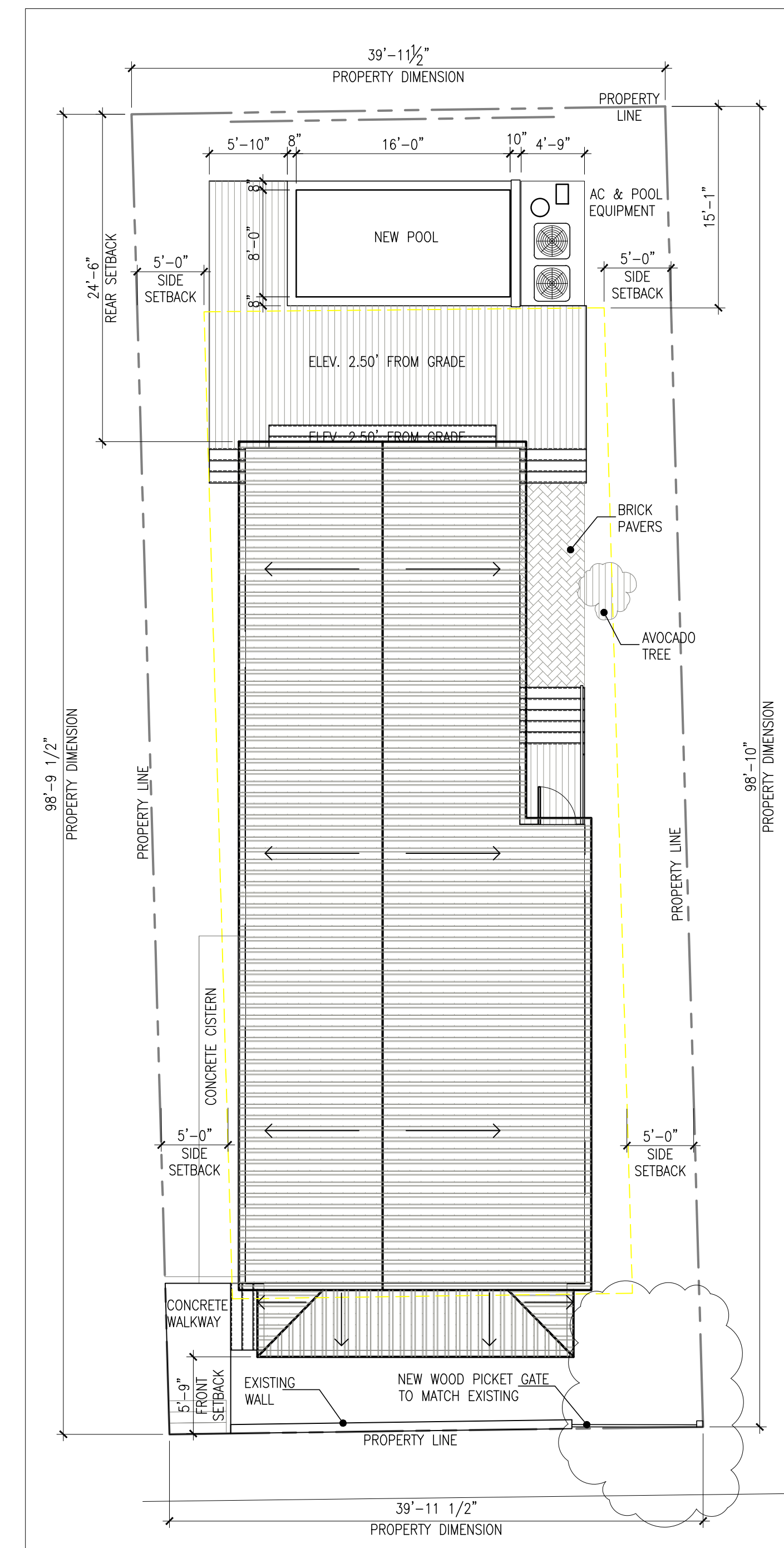
*Existing Non-Conforming Condition



2
A1.1
EXISTING SITE PLAN
SCALE: 1/8"=1'-0"



2
A1.1
PROJECT LOCATION
SCALE: NOT TO SCALE



1
A1.1
PROPOSED SITE PLAN
SCALE: 1/8"=1'-0"



william shepler & associates
architecture

201 Front Street, Suite 203
Key West, FL 33040
Tel: 305-735-3131
Email: info@wshepler.com

Seal:

Signature:

Consultants:

Submissions / Revisions:
HARC SUBMISSION: 8.30.21
REVISION 1: 9.16.21

925 WHITEHEAD STREET
KEY WEST, FL
RESIDENTIAL INTERIOR REMODELING

Drawing Size | Project #:
24x36 | 29019

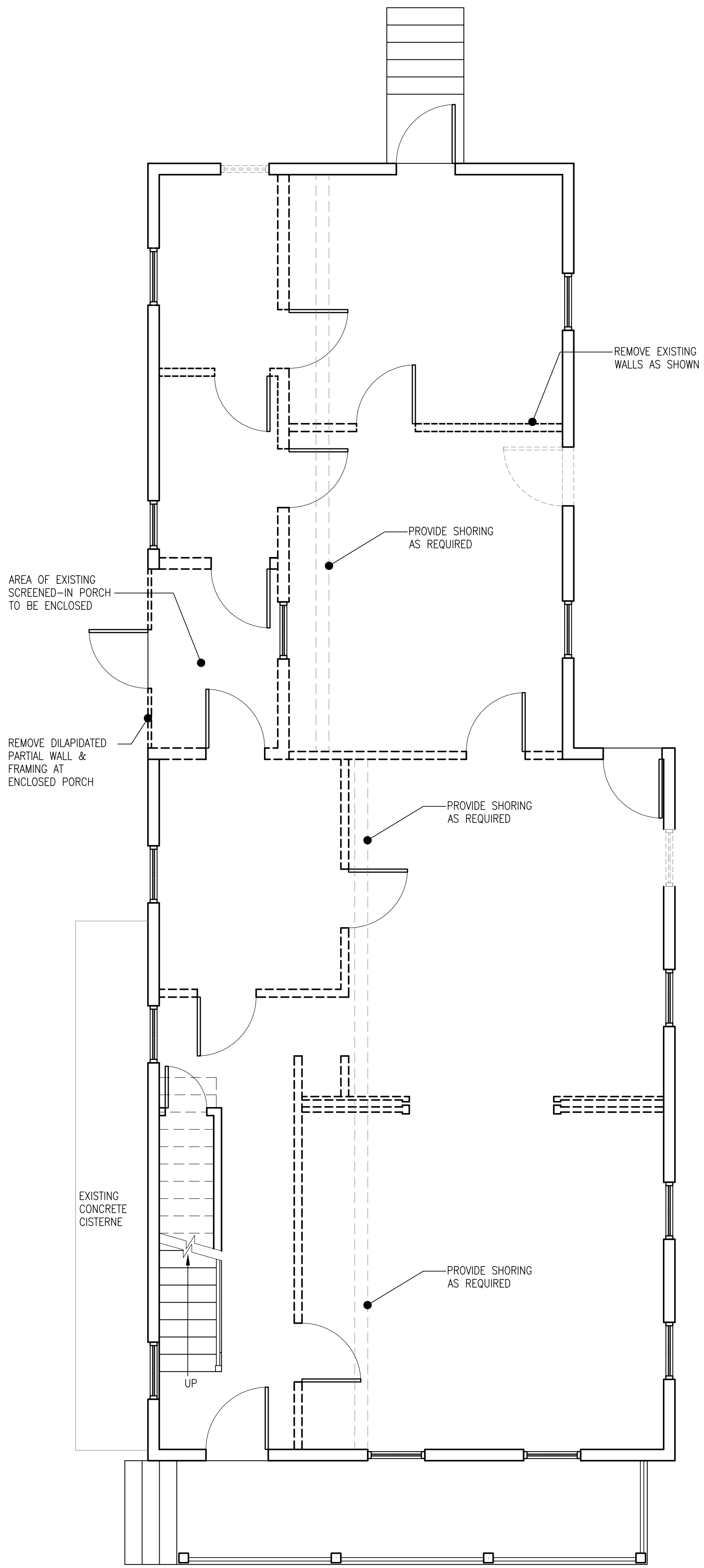
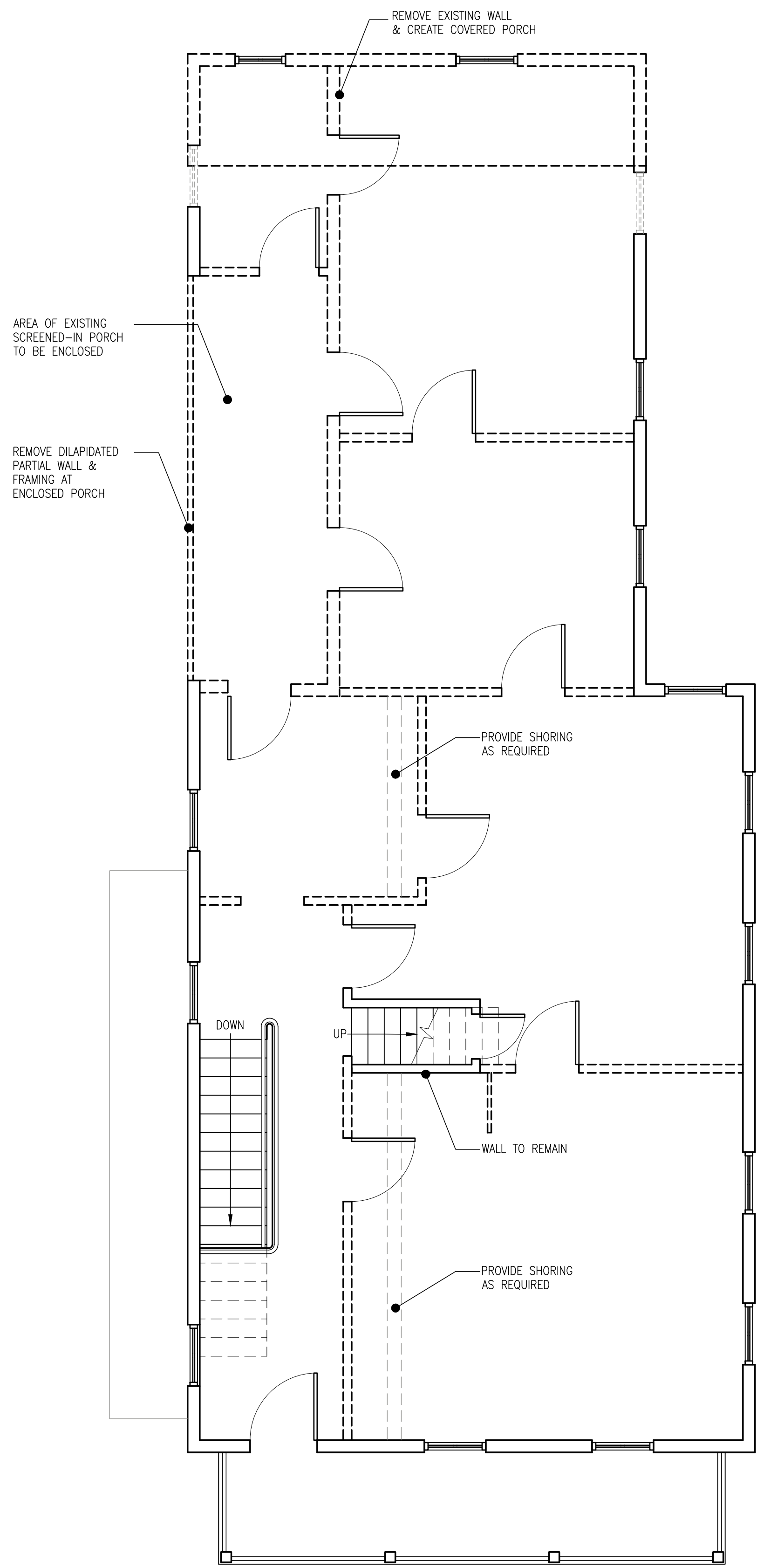
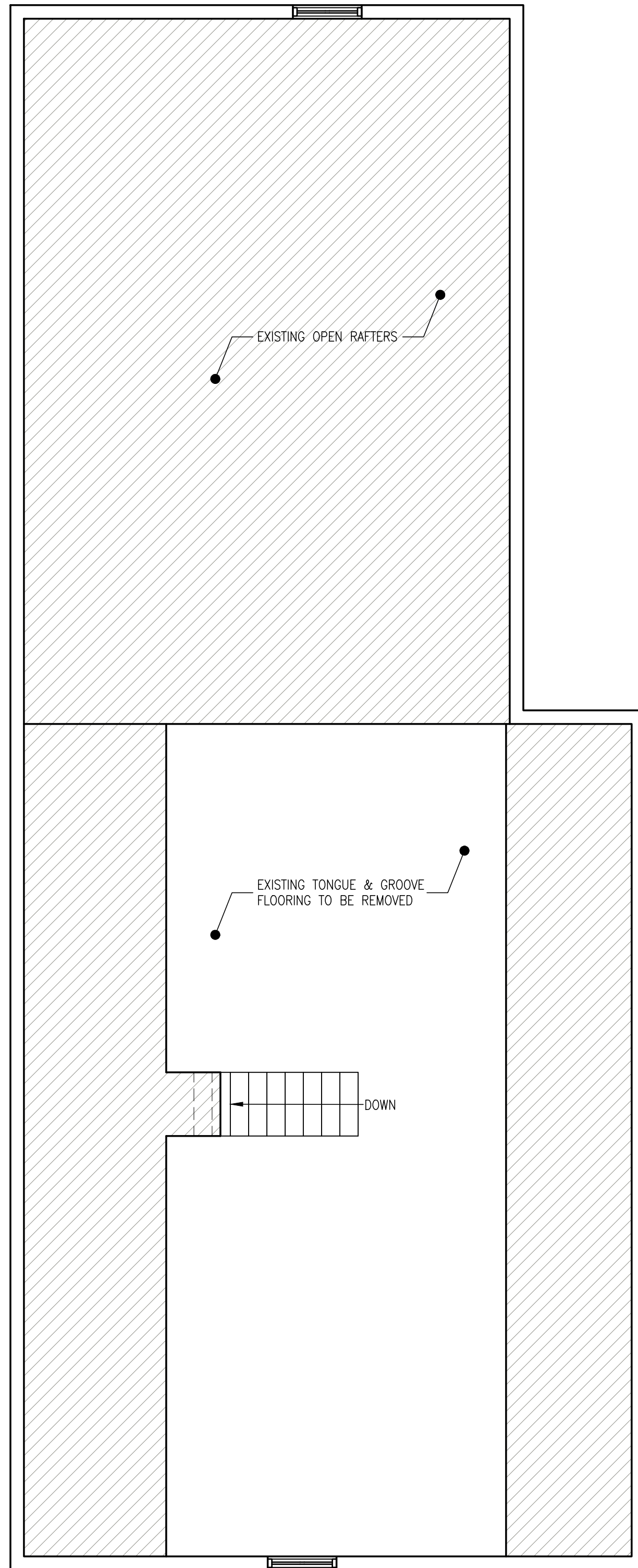
Title:
SITE PLAN
SITE CALCS
DEMO &
NOTES

Sheet Number:

A-1.1

Date: - SEPTEMBER 16, 2021

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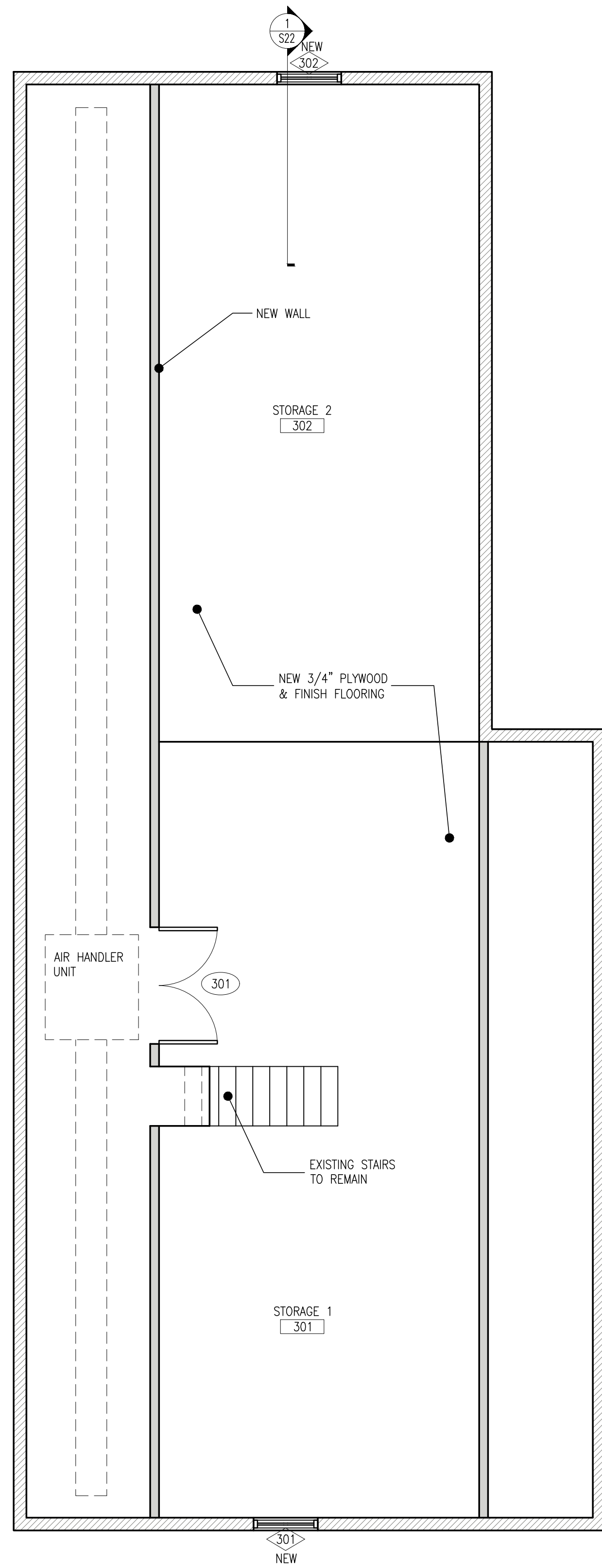


3 EXISTING/DEMO ATTIC FLOOR PLAN
AE2.1 SCALE: 1/4"=1'-0"

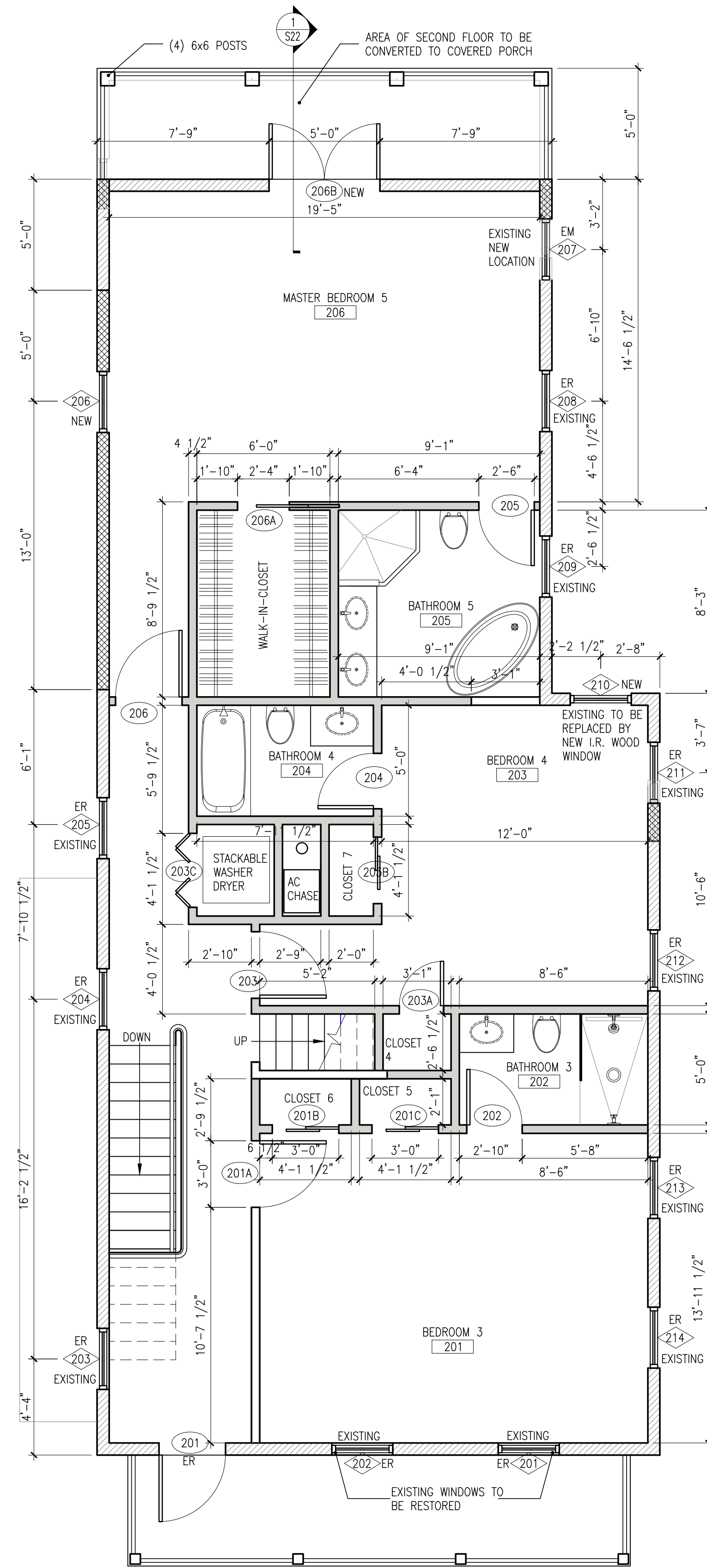
2 EXISTING/DEMO SECOND FLOOR PLAN
AE2.1 SCALE: 1/4"=1'-0"

1 EXISTING/DEMO FIRST FLOOR PLAN
AE2.1 SCALE: 1/4"=1'-0"

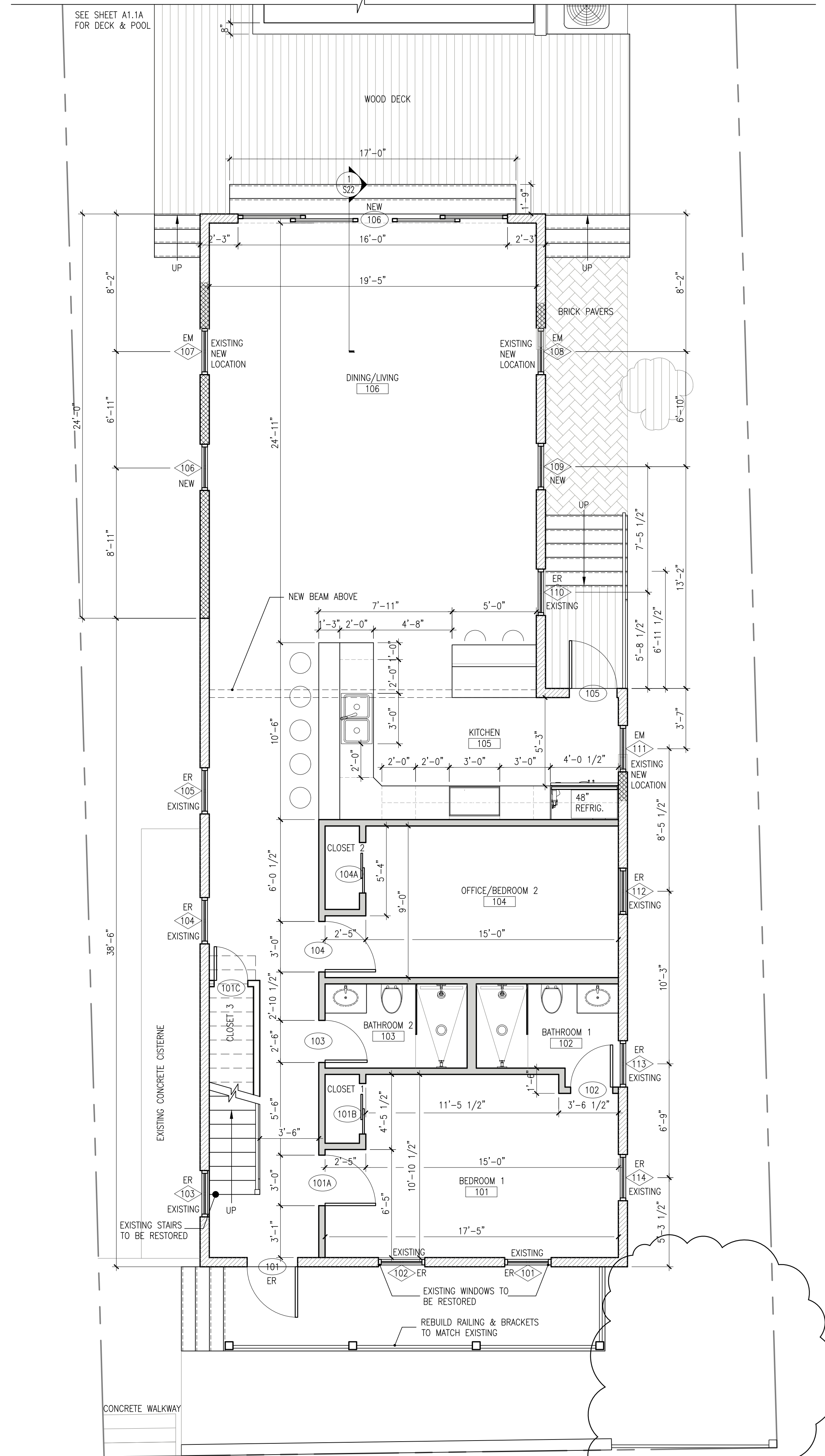
- EXISTING EXTERIOR WALL TO REMAIN; NEW WOOD STUDS AS REQUIRED, R13 INSULATION, 5/8" PLYWOOD SHEATHING, TYVEK, WOOD SIDING TO MATCH EXISTING
- EXISTING INTERIOR WALL TO REMAIN
- NEW EXTERIOR WALL NEW WOOD STUDS AT 16"O.C., R13 INSULATION 5/8" PLYWOOD SHEATHING, TYVEK, WOOD SIDING TO MATCH EXISTING
- NEW INTERIOR WALL NEW WOOD PRESSURED TREATED 2x4 STUD @ 16"O.C. MINERAL WOOL INSULATION AND 1/2" GYPSUM BOARD BOTH SIDES



3 PROPOSED ATTIC FLOOR PLAN
A2.1 SCALE: 1/4"=1'-0"



2 PROPOSED SECOND FLOOR PLAN
A2.1 SCALE: 1/4"=1'-0"



1 PROPOSED FIRST FLOOR PLAN
A2.1 SCALE: 1/4"=1'-0"

Seal:

Signature:

Consultants:

Submissions / Revisions:
HARC SUBMISSION: 8.30.21
REVISION 1: 8.16.21

925 WHITEHEAD STREET
KEY WEST, FL
RESIDENTIAL INTERIOR REMODELING

Drawing Size | Project #:
24x36 | 20019

Title:

PROPOSED FLOOR PLANS

Sheet Number:

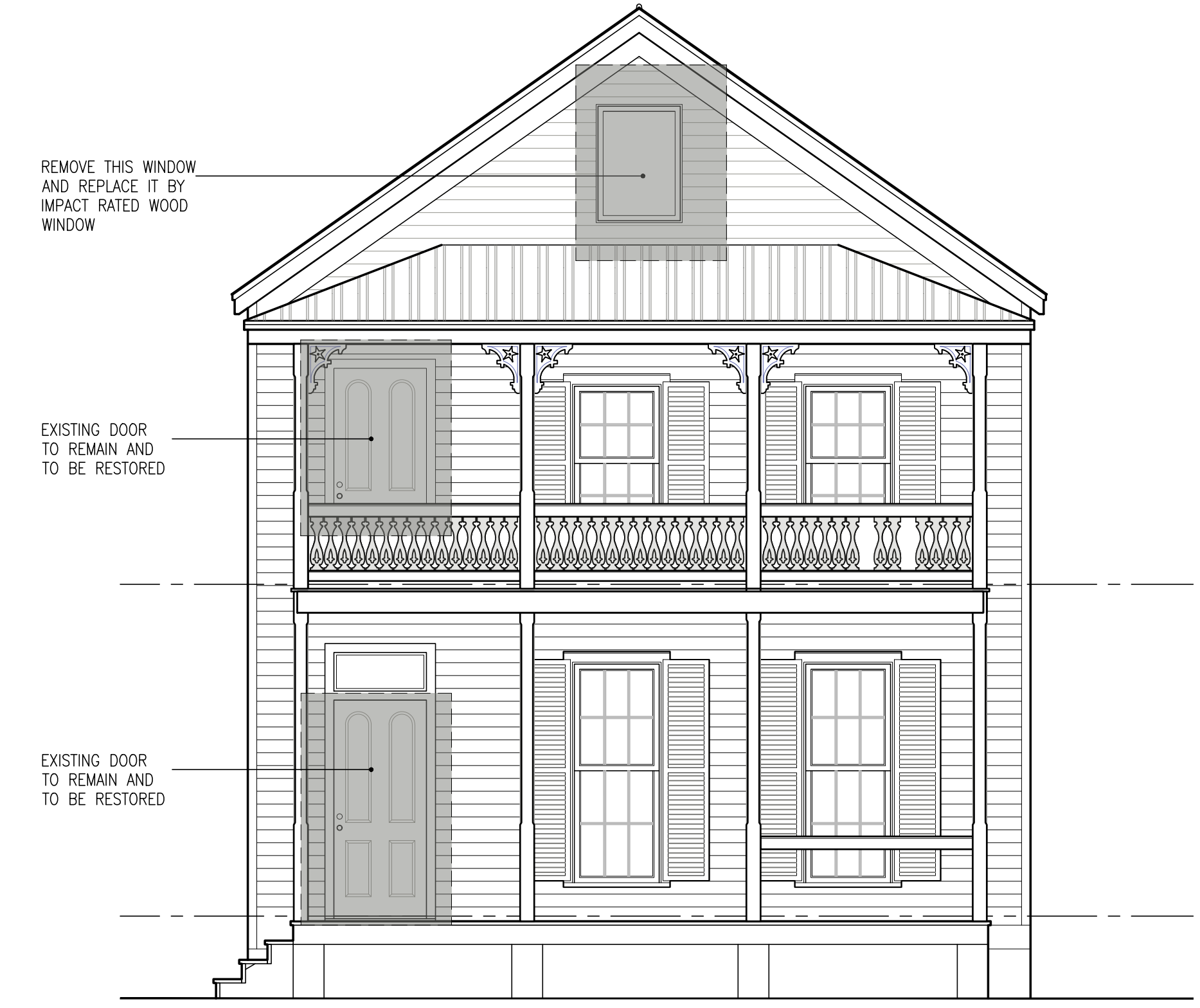
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Date: - SEPTEMBER 16, 2021

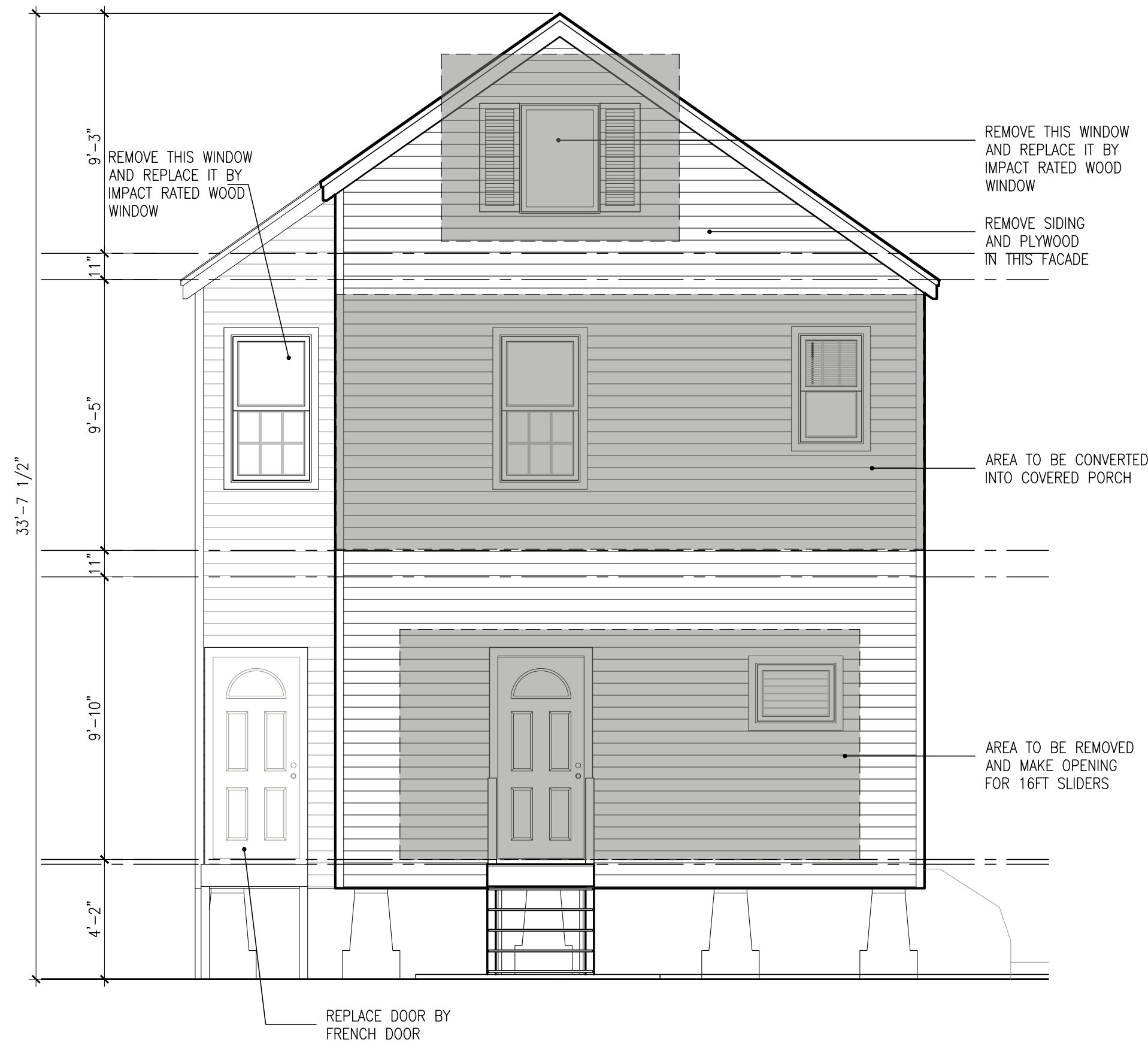
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3 EXISTING SOUTH ELEVATION / DEMO
AE3.1 SCALE: 1/4"=1'-0"



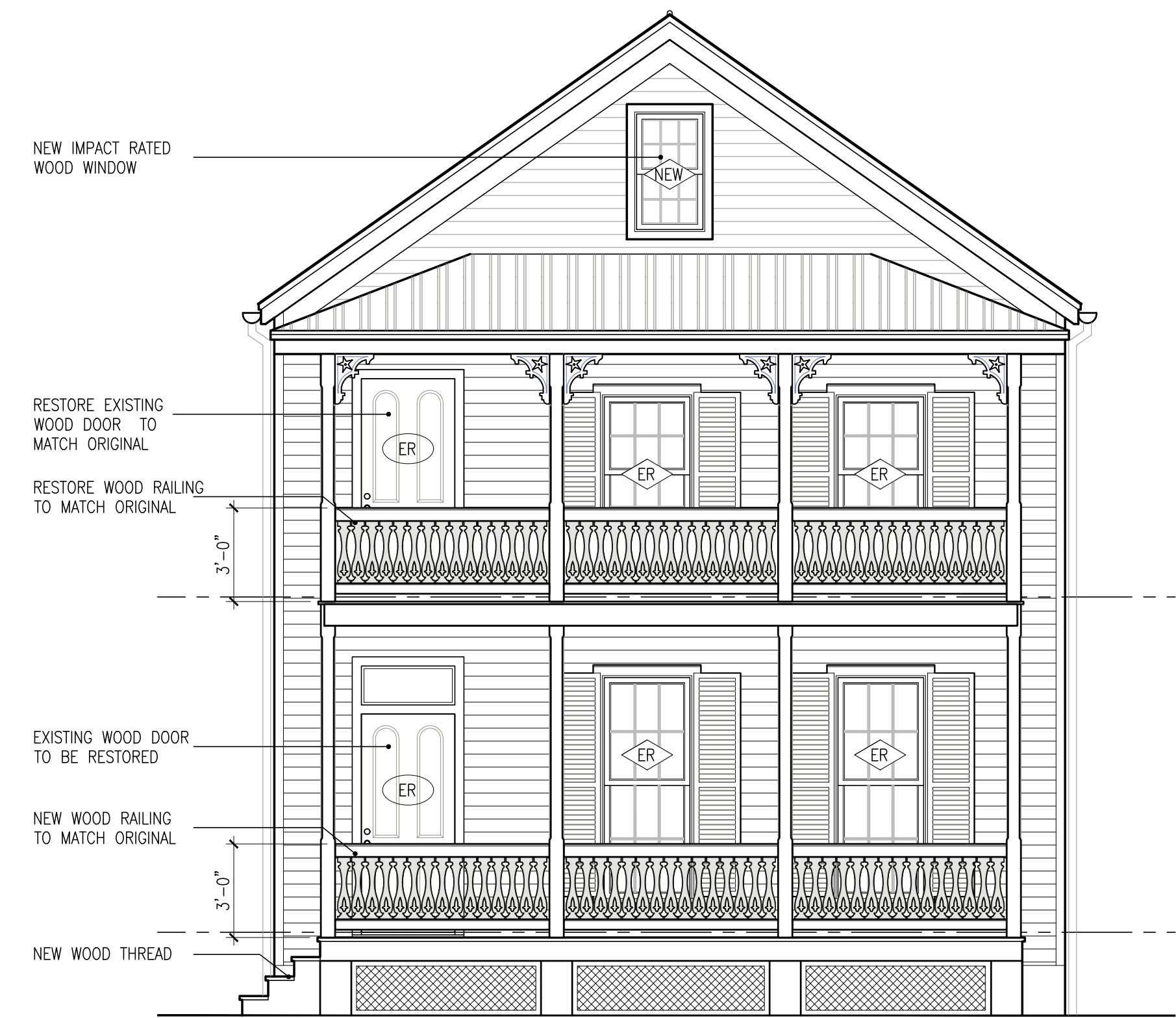
2 EXISTING WEST ELEVATION / DEMO
AE3.1 SCALE: 1/4"=1'-0"



4 EXISTING EAST ELEVATION / DEMO
AE3.1 SCALE: 1/4"=1'-0"



1 EXISTING NORTH ELEVATION / DEMO
AE3.1 SCALE: 1/4"=1'-0"

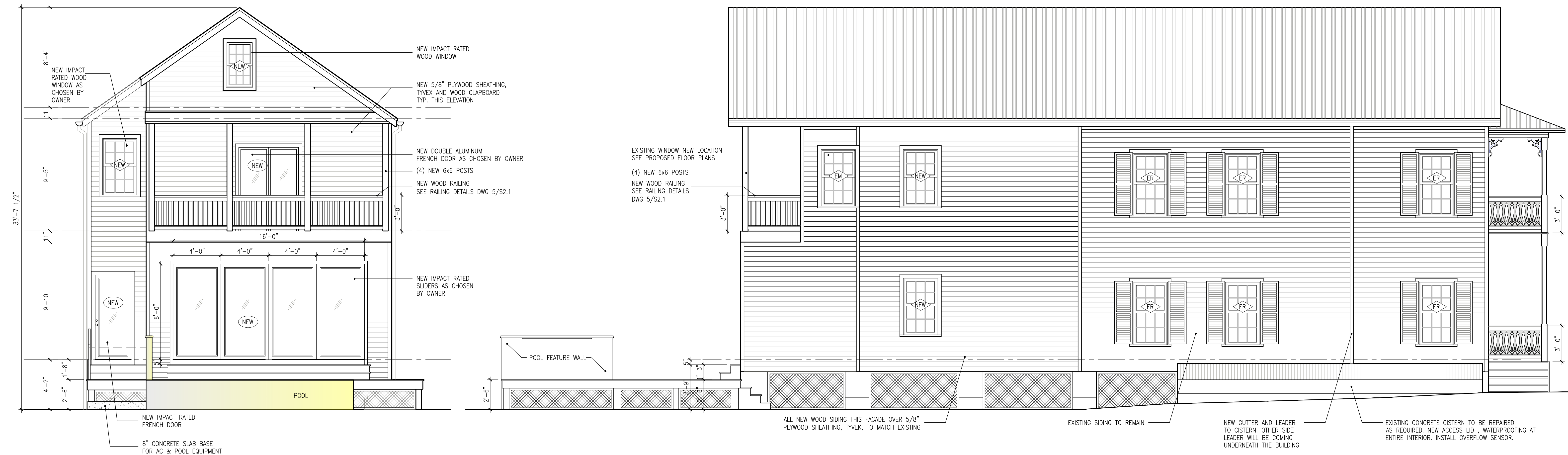


2
A3.1 **PROPOSED WEST ELEVATION**
SCALE: 1/4"=1'-0"



3
A3.1 **PROPOSED SOUTH ELEVATION**
SCALE: 1/4"=1'-0"

	NEW WINDOW
	EXISTING WINDOW MOVED TO NEW LOCATION
	EXISTING WINDOW TO BE RESTORED
	NEW DOOR
	EXISTING DOOR TO BE RESTORED



4
A3.1 **PROPOSED EAST ELEVATION**
SCALE: 1/4"=1'-0"

1
A3.1 **PROPOSED NORTH ELEVATION**
SCALE: 1/4"=1'-0"

Seal:

Signature:

Consultants:

Submissions / Revisions:
PLANNING SUBMISSION: 2.6.21
REVISION 1: 2021.08.24

925 WHITEHEAD STREET
KEY WEST, FL
RESIDENTIAL INTERIOR REMODELING

Drawing Size: 24x36 | Project #: 2019

Title:

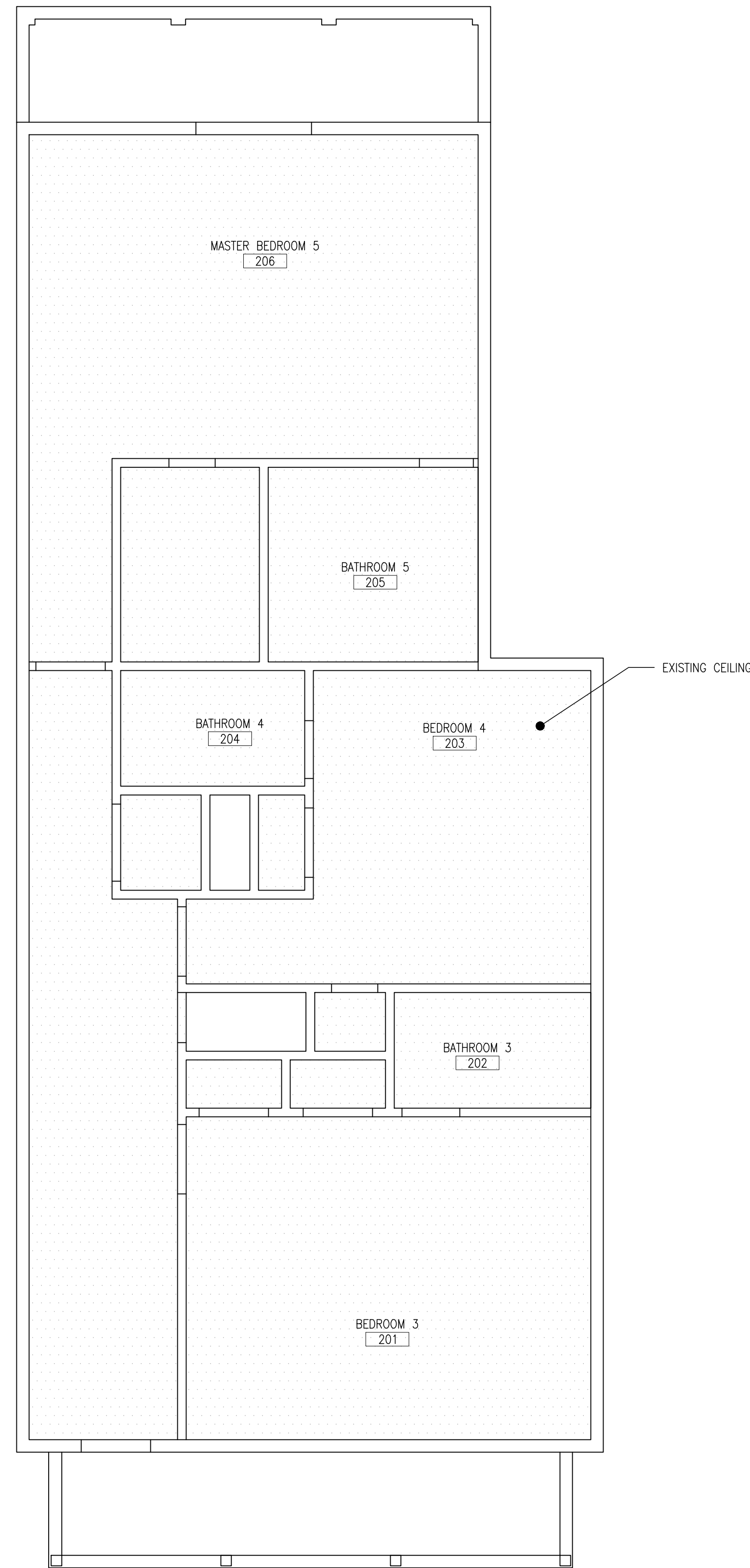
**REFLECTED
CEILING
PLANS**

Sheet Number:

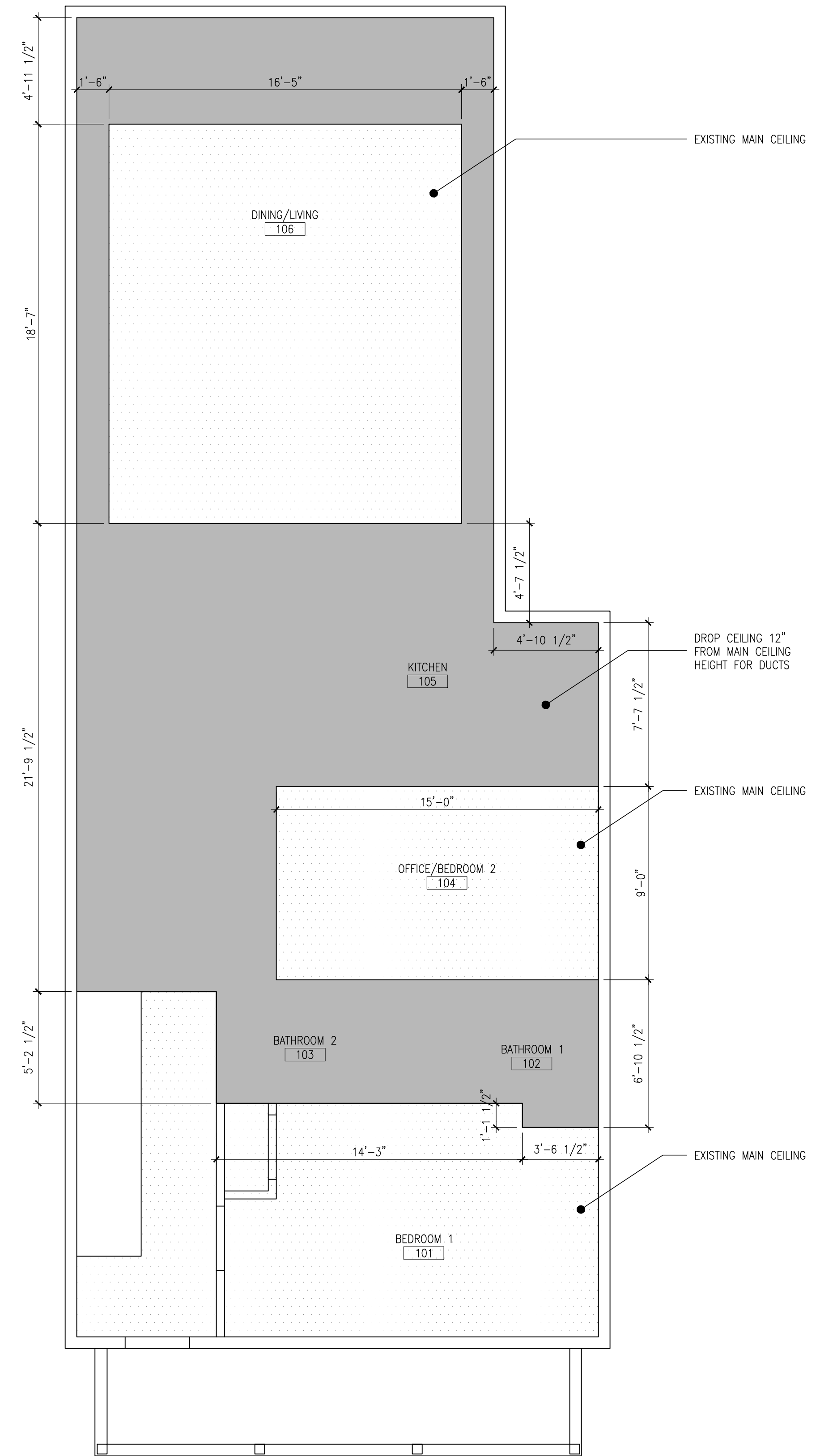
A-4.1

Date: - JULY 12, 2021

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2
A4.1
EXISTING SECOND FLOOR RCP
SCALE: 1/4"=1'-0"



1
A4.1
PROPOSED FIRST FLOOR RCP
SCALE: 1/4"=1'-0"

Seal:

Signature:

Consultants:

Submissions / Revisions:

PLANNING SUBMISSION: 2.6.21

REVISION 1: 2021.08.24

925 WHITEHEAD STREET
KEY WEST, FL
RESIDENTIAL INTERIOR REMODELING

Drawing Size: 24x36 Project #: 20019

Title:
DOOR & WINDOW SCHEDULE, DESIGN PRESSURE

Sheet Number:

A-5.1

Date: - JULY 12, 2021

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EXTERIOR DOOR SCHEDULE											
SECOND FLOOR EXTERIOR DOOR SCHEDULE											
SYMBOL	DESCRIPTION	INT / EXT	UNIT SIZE	R.O.	MANUFACT. / MODEL	FINISH	H.W.	NOA / FL #	DESIGN PRESS.	REQ'D PRESSURES	COMMENTS
101	OUTSWING SOLID WD. DOOR	EXT	EXISTING	N/A	N/A	TBD	TBD	N/A	N/A	+46.4 / -60.6	REMAIN TO BE RESTORED
105	OUTSWING FRENCH DOOR (X)	EXT	3'-0" x 6'-8"	Verify	CGI / 160 SENTINEL	TBD	TBD	20-0722.16	+80 / -80	+46.2 / -60.3	1 PANELS OUTSWING
106	SLIDERS OXO	EXT	(4) 4'-0" x 8'-0"	Verify	CGI / SGD150-LMI	TBD	TBD	20-0728.06	+60 / -60	+44.9 / -57.7	4 PANELS
SECOND FLOOR EXTERIOR DOOR SCHEDULE											
201	OUTSWING SOLID WD. DOOR	EXT	EXISTING	N/A	N/A	N/A	N/A	N/A	N/A	+46.4 / -60.6	REMAIN TO BE RESTORED
206B	DOUBLE OUTSWING FRENCH DOOR XX	EXT	(2) 3'-0" X 7'-0"	Verify	CGI / 160 SENTINEL	TBD	TBD	20-0722.16	+80 / -80	+46.2 / -60.3	2 PANELS OUTSWING

INTERIOR DOOR SCHEDULE										
FIRST FLOOR INTERIOR DOOR SCHEDULE										
SYMBOL	DESCRIPTION	INT / EXT	UNIT SIZE	R.O.	MANUFACT. / MODEL	FINISH	HARDWARE	COMMENTS		
101A	1 PANEL / SOLID WOOD SWING DOOR (HEMLOCK)	INT.	3'-0" X 6'-8"	Verify	JELD-WEN / 1022 OR EQUAL	TBD	TBD	SHAKER STYLE FLAT PANEL - BEDROOM 1		
101B	2 PANELS SLIDING DOORS	INT.	(2) 1'-6" X 6'-8"	Verify	JELD-WEN / 1022 OR EQUAL	TBD	TBD	SHAKER STYLE FLAT PANEL - DOUBLE SLIDING CLOSET 1 DOORS		
101C	EXISTING DOOR TO REMAIN @ CLOSET 3 BY THE STAIRS	INT.								
102	1 PANEL / SOLID WOOD SWING DOOR (HEMLOCK)	INT.	2'-6" X 6'-8"	Verify	JELD-WEN / 1022 OR EQUAL	TBD	TBD	SHAKER STYLE FLAT PANEL - BATHROOM 1 DOOR		
103	1 PANEL / SOLID WOOD SWING DOOR (HEMLOCK)	INT.	2'-6" X 6'-8"	Verify	JELD-WEN / 1022 OR EQUAL	TBD	TBD	SHAKER STYLE FLAT PANEL - BATHROOM 2 DOOR		
104	1 PANEL / SOLID WOOD SWING DOOR (HEMLOCK)	INT.	3'-0" X 6'-8"	Verify	JELD-WEN / 1022 OR EQUAL	TBD	TBD	SHAKER STYLE FLAT PANEL - BEDROOM 2		
104A	2 PANELS SLIDING DOORS	INT.	(2) 1'-6" X 6'-8"	Verify	JELD-WEN / 1022 OR EQUAL	TBD	TBD	SHAKER STYLE FLAT PANEL - DOUBLE SLIDING CLOSET 2 DOORS		
SECOND FLOOR INTERIOR DOOR SCHEDULE										
201A	1 PANEL / SOLID WOOD SWING DOOR (HEMLOCK)	INT.	3'-0" X 6'-8"	Verify	JELD-WEN / 1022 OR EQUAL	TBD	TBD	SHAKER STYLE FLAT PANEL - BEDROOM 3		
201B	2 PANELS SLIDING DOORS	INT.	(2) 1'-6" X 6'-8"	Verify	JELD-WEN / 1022 OR EQUAL	TBD	TBD	SHAKER STYLE FLAT PANEL - DOUBLE SLIDING CLOSET 6 DOORS		
201C	2 PANELS SLIDING DOORS	INT.	(2) 1'-6" X 6'-8"	Verify	JELD-WEN / 1022 OR EQUAL	TBD	TBD	SHAKER STYLE FLAT PANEL - DOUBLE SLIDING CLOSET 3 DOORS		
202	1 PANEL / SOLID WOOD SWING DOOR (HEMLOCK)	INT.	2'-6" X 6'-8"	Verify	JELD-WEN / 1022 OR EQUAL	TBD	TBD	SHAKER STYLE FLAT PANEL - BATHROOM DOOR		
203	1 PANEL / SOLID WOOD SWING DOOR (HEMLOCK)	INT.	3'-0" X 6'-8"	Verify	JELD-WEN / 1022 OR EQUAL	TBD	TBD	SHAKER STYLE FLAT PANEL - BEDROOM 4		
203A	1 PANEL / SOLID WOOD POCKET DOOR (HEMLOCK)	INT.	2'-0" X 6'-8"	Verify	JELD-WEN / 1022 OR EQUAL	TBD	TBD	SHAKER STYLE FLAT PANEL - CLOSET 4 DOOR		
203B	2 PANELS SLIDING DOORS	INT.	(2) 1'-6" X 6'-8"	Verify	JELD-WEN / 1022 OR EQUAL	TBD	TBD	SHAKER STYLE FLAT PANEL - DOUBLE SLIDING CLOSET 7 DOORS		
203C	2 PANEL / SOLID WOOD DBL. BI-FOLD CL. DOOR (HEMLOCK)	INT.	3'-4" X 6'-8"	Verify	JELD-WEN / 1022 OR EQUAL	TBD	TBD	SHAKER STYLE FLAT PANEL - DOUBLE BI-FOLD WASH/DRYER DOORS		
204	1 PANEL / SOLID WOOD SWING DOOR (HEMLOCK)	INT.	2'-6" X 6'-8"	Verify	JELD-WEN / 1022 OR EQUAL	TBD	TBD	SHAKER STYLE FLAT PANEL - BATHROOM 4 DOOR		
205	1 PANEL / SOLID WOOD SWING DOOR (HEMLOCK)	INT.	2'-6" X 6'-8"	Verify	JELD-WEN / 1022 OR EQUAL	TBD	TBD	SHAKER STYLE FLAT PANEL - BATHROOM DOOR		
206A	1 PANEL / SOLID WOOD SWING DOOR (HEMLOCK)	INT.	3'-0" X 6'-8"	Verify	JELD-WEN / 1022 OR EQUAL	TBD	TBD	SHAKER STYLE FLAT PANEL - BEDROOM 5		
206A	1 PANEL / SOLID WOOD POCKET DOOR (HEMLOCK)	INT.	2'-4" X 6'-8"	Verify	JELD-WEN / 1022 OR EQUAL	TBD	TBD	SHAKER STYLE FLAT PANEL - POCKET DOOR		

925 Whitehead Street WINDOW SCHEDULE										
FIRST FLOOR WINDOW SCHEDULE										
SYMBOL	DESCRIPTION	UNIT SIZE (WxH)	MANUFACTURER / MODEL	RO	FINISH	SILL HT.	NOA / FL #	DESIGN PRESS.	REQ'D PRESS.	COMMENTS
101	SINGLE HUNG - WOOD	33" x 85"								EXISTING TO BE RESTORED**
102	SINGLE HUNG - WOOD	33" x 85"								EXISTING TO BE RESTORED**
103	SINGLE HUNG - WOOD	33" X 62"								EXISTING TO BE RESTORED**
104	SINGLE HUNG - WOOD	33" X 62"								EXISTING TO BE RESTORED**
105	SINGLE HUNG - WOOD	33" X 62"								EXISTING TO BE RESTORED**
106	DOUBLE HUNG - WOOD	34" x 62"	JELD WEN / CUSTOM WOOD	TBD	VERIFY	TBD	10338.18	+50 / -65	+36.2 / -40.3	NEW
107	SINGLE HUNG - WOOD	33" X 62"								EXISTING - RELOCATED/ RESTORED **
108	SINGLE HUNG - WOOD	33" X 62"								EXISTING - RELOCATED/ RESTORED **
109	DOUBLE HUNG - WOOD	34" x 62"	JELD WEN / CUSTOM WOOD	TBD	VERIFY	TBD	10338.18	+60 / -65	+36.2 / -40.3	NEW
110	SINGLE HUNG - WOOD	33" X 62"								EXISTING TO BE RESTORED**
111	SINGLE HUNG - WOOD	33" X 62"								EXISTING - RELOCATED/ RESTORED
112	SINGLE HUNG - WOOD	33" X 62"								EXISTING TO BE RESTORED**
113	SINGLE HUNG - WOOD	33" X 62"								EXISTING TO BE RESTORED**
114	SINGLE HUNG - WOOD	33" X 62"								EXISTING TO BE RESTORED**
SECOND FLOOR WINDOW SCHEDULE										
201	SINGLE HUNG - WOOD	33" X 62"								EXISTING TO BE RESTORED**
202	SINGLE HUNG - WOOD	33" X 62"								EXISTING TO BE RESTORED**
203	SINGLE HUNG - WOOD	33" X 62"								EXISTING TO BE RESTORED**
204	SINGLE HUNG - WOOD	33" X 62"								EXISTING TO BE RESTORED**
205	SINGLE HUNG - WOOD	33" X 62"								EXISTING TO BE RESTORED**
206	DOUBLE HUNG - WOOD	33" X 62"	JELD WEN / CUSTOM WOOD	TBD	VERIFY	TBD	10338.18	+60 / -65	+47.4 / -62.6	NEW
207	SINGLE HUNG - WOOD	34" X 62"								EXISTING - RELOCATED/ RESTORED
208	SINGLE HUNG - WOOD	33" X 62"								EXISTING TO BE RESTORED**
209	SINGLE HUNG - WOOD	33" X 62"								EXISTING TO BE RESTORED**
210	DOUBLE HUNG - WOOD	33" X 62"	JELD WEN / CUSTOM WOOD	TBD	VERIFY	TBD	10338.18	+50 / -65	+47.4 / -62.6	NEW (TO REPLACE EXISTING)
211	SINGLE HUNG - WOOD	33" X 62"								EXISTING - RELOCATED/ RESTORED
212	SINGLE HUNG - WOOD	33" X 62"								EXISTING **
213	SINGLE HUNG - WOOD	33" X 62"								EXISTING **
214	SINGLE HUNG - WOOD	33" X 62"								EXISTING **
ATTIC WINDOW SCHEDULE										
301	DOUBLE HUNG - WOOD	28" X 46"	JELD WEN / CUSTOM WOOD	TBD	VERIFY	TBD	10338.18	+50 / -65	+48.6 / -65	NEW (TO REPLACE EXISTING)
302	DOUBLE HUNG - WOOD	28" X 46"	JELD WEN / CUSTOM WOOD	TBD	VERIFY	TBD	10338.18	+50 / -65	+48.6 / -65	NEW (TO REPLACE EXISTING)

**NOTE: PROVIDE CLASS "A" METAL CORRUGATED SHUTTER FOR ALL NON-IMPACT RATED WINDOWS

WINDLOADCALC.COM

ASCE 7-10
Wall Openings (Windows & Doors)
Wind Load Program

2001 - 2017 ©
Windloadcalc.com

JOB INFORMATION

Client	
Address	
Company	
Job Number	
Preparer	

TOPOGRAPHIC FACTOR

Hill Shape		Flat, No Hill
H ₁ (ft)		0.0
L ₁ (ft)		0.0
s ₁ (ft)		0.0
z ₁ (ft)		0.0

WIND LOAD DESIGN INFORMATION												
INFO.	APPLYING WIND LOAD FOR:	ZONE	OPENING ELEMENT (feet)	WIDTH (feet)	LENGTH (feet)	EFFECTIVE WIND AREA (sqft)	Nominal Wind Load Pressure		NOA Approval Number	Max Pressure Per NOA	Manufacturer	Model Number
							MAXIMUM POSITIVE PRESSURE (psf)	MAXIMUM NEGATIVE PRESSURE (psf)				
WALL OPENING INFORMATION	DOORS											
	105	5	3.5	3.0	6.7	20.1	44.4	-60.6				
	106	5	4	4.0	8.0	32.0	44.9	-57.7	20-0728.06	+60 / -60	CGI	SGD150-LMI
	206B	5	14.2	3.0	7.0	21.0	46.2	-60.3	20-0722.16	+80 / -80	CGI	160 SENTINEL
	WINDOWS											
	106 (WOOD DOUBLE HUNG)	5	4.5	2.8			36.2	-40.3	10338.18	+50 / -65	JELD WEN	CUSTOM WOOD
	109 (WOOD DOUBLE HUNG)	5	4.5	2.8			36.2	-40.3	10338.18	+50 / -65	JELD WEN	CUSTOM WOOD
	206 (WOOD DOUBLE HUNG)	5	15.3	2.8	5.2	14.6	47.4	-62.6	10338.18	+50 / -65	JELD WEN	CUSTOM WOOD
	210 (DOUBLE HUNG DOOR)	5	15.3	2.8	5.2	14.6	47.4	-62.6	10338.18	+50 / -65	JELD WEN	CUSTOM WOOD
301 (WOOD DOUBLE HUNG)	5	24.7	2.3	3.9	9.1	48.6	-65.0	10338.18	+50 / -65	JELD WEN	CUSTOM WOOD	
302 (WOOD DOUBLE HUNG)	5	24.7	2.3	3.9	9.1	48.6	-65.0	10338.18	+50 / -65	JELD WEN	CUSTOM WOOD	

WINDLOADCALC.COM

NOTICING

Public Meeting Notice

The Historic Architectural Review Commission will hold a public meeting at **5:00 p.m., September 28, 2021 at City Hall, 1300 White Street**, Key West, Florida. In order to view the live feed of the meeting, you can tune in to Comcast channel 77, AT&T Uverse channel 99, or type this link into your browser:

http://keywestcity.granicus.com/MediaPlayer.php?publish_id=1&embed=1 If you wish to participate virtually, please contact HARC staff at 305-809-3975. The purpose of the hearing will be to consider a request for:

RESTORATION OF FRONT FAÇADE AND TWO-STORY PORCHES. ENCLOSURE OF SIDE PORCHES. RENOVATIONS AND NEW FENESTRATIONS AT REAR. NEW POOL AND DECK. REMOVAL OF SIDE PORCH RAILINGS AND PARTIAL WALLS. REMOVAL OF PORTION OF REAR TO ACCOMMODATE NEW SECOND FLOOR PORCH. REMOVAL OF WINDOWS.

#925 WHITEHEAD STREET

Applicant – William Shepler Application #H2021-0046

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 1300 White Street, call 305-809-3975 or visit our website at www.cityofkeywest-fl.gov.

THIS NOTICE CANNOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION

ADA ASSISTANCE: It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 800-955-8771 or 800-955-8770 (Voice) or the ADA Coordinator at 305-809-3811 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.



**NO
TRESPASSING**

Public
Meeting
Notice

PROPERTY APPRAISER INFORMATION



Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID 00018050-000000
 Account# 1018511
 Property ID 1018511
 Millage Group 11KW
 Location 925 WHITEHEAD ST, KEY WEST
 Address
 Legal KW PT LOT 4 SQR 9 TR 4 (LT 11 L 130) P-60 OR 9-247 OR 115-54 OR 208-182 OR 212-414 OR 621-801 OR 2744-973 OR 3056-2103 OR 3060-2462
 Description (Note: Not to be used on legal documents.)
 Neighborhood 6108
 Property SINGLE FAMILY RESID (0100)
 Class
 Subdivision
 Sec/Twp/Rng 06/68/25
 Affordable No
 Housing



Owner

MISCH PAUL
 1327 Whitehead St
 Key West FL 33040

MISCH PAMELA K
 1327 Whitehead St
 Key West FL 33040

MISCH MARK ANTHONY
 1327 Whitehead St
 Key West FL 33040

Valuation

	2021	2020	2019	2018
+ Market Improvement Value	\$303,619	\$324,894	\$257,208	\$261,720
+ Market Misc Value	\$1,047	\$1,060	\$1,072	\$1,084
+ Market Land Value	\$579,541	\$437,613	\$427,264	\$481,966
= Just Market Value	\$884,207	\$763,567	\$685,544	\$744,770
= Total Assessed Value	\$884,207	\$754,098	\$685,544	\$744,770
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$884,207	\$763,567	\$685,544	\$744,770

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
RESIDENTIAL DRY (0100)	3,953.00	Square Foot	40	98.8

Buildings

Building ID 1322
 Style 2 STORY ELEV FOUNDATION
 Building Type S.F.R. - R1 / R1
 Gross Sq Ft 2971
 Finished Sq Ft 2496
 Stories 2 Floor
 Condition AVERAGE
 Perimeter 368
 Functional Obs 0
 Economic Obs 0
 Depreciation % 30
 Interior Walls WALL BD/WD WAL
 Exterior Walls ABOVE AVERAGE WOOD
 Year Built 1938
 Effective Year Built 1999
 Foundation WD CONC PADS
 Roof Type GABLE/HIP
 Roof Coverage METAL
 Flooring Type SFT/HD WD
 Heating Type NONE
 Bedrooms 5
 Full Bathrooms 2
 Half Bathrooms 0
 Grade 550
 Number of Fire Pl 0

Code	Description	Sketch Area	Finished Area	Perimeter
EPA	ENCL PORCH WD	120	0	0
OPX	EXC OPEN PORCH	220	0	0
FLA	FLOOR LIV AREA	2,496	2,496	0
OUU	OP PR UNFIN UL	15	0	0
PUF	SC PRCH FIN UL	120	0	0
TOTAL		2,971	2,496	0

Yard Items

Description	Year Built	Roll Year	Quantity	Units	Grade
CONC PATIO	1949	1950	1	35 SF	1
FENCES	1959	1960	1	144 SF	2
CH LINK FENCE	1964	1965	1	495 SF	1
FENCES	2011	2012	1	84 SF	2

Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved
11/30/2020	\$600,000	Warranty Deed	2293638	3060	2462	37 - Unqualified	Improved
6/28/2014	\$0	Order (to be used for Order Det. Heirs, Probate in	2290897	3056	2103	19 - Unqualified	Improved
2/1/1975	\$32,000	Conversion Code		621	801	Q - Qualified	Improved

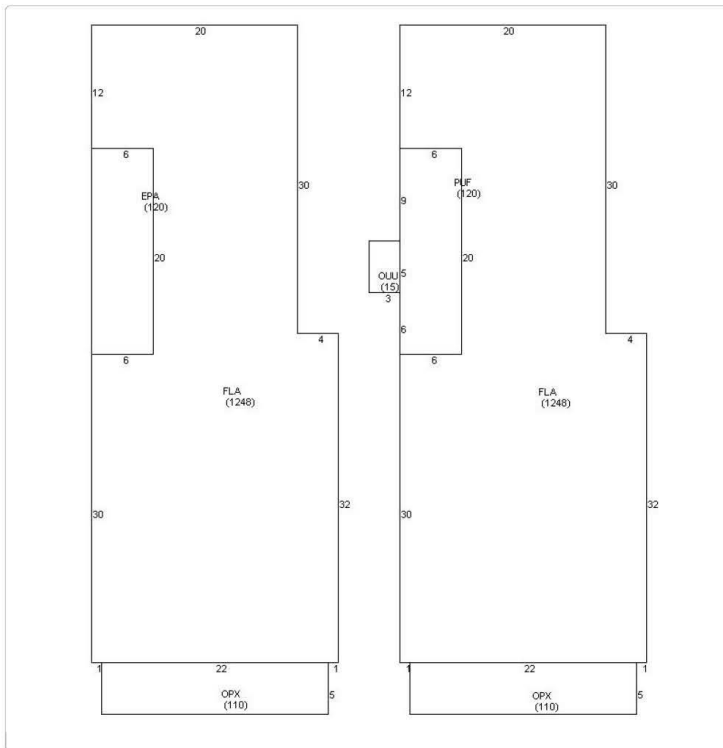
Permits

Number	Date Issued	Date Completed	Amount	Permit Type	Notes
11-4335	12/1/2011	2/23/2012	\$1,500		R & R PICKET FENCE 28'x3'. FRONT GATE AND BACK GATE
03-2271	6/24/2003	10/30/2003	\$100		MOVE EXISTING FENCE
9703205	9/1/1997	12/1/1997	\$700		UPGRADE SERVICE

View Tax Info

[View Taxes for this Parcel](#)

Sketches (click to enlarge)



Photos



Map



TRIM Notice

[2021 TRIM Notice \(PDF\)](#)

2021 Notices Only

No data available for the following modules: Commercial Buildings, Mobile Home Buildings, Exemptions.

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