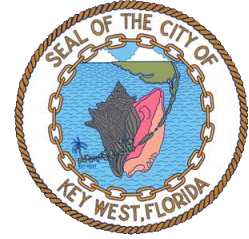


**THE CITY OF KEY WEST
PLANNING BOARD
Staff Report**



To: Chair and Planning Board Members

From: Melissa Paul-Leto, Planner Analyst

Through: Thaddeus Cohen, Planning Director

Meeting Date: January 21, 2016

Agenda Item: **Variance- 516 Emma Street (RE# 00010120-000226; AK# 8865287) -**
A request for a variance to side setback requirements in order to install a small elevator for handicap accessibility issues located within the (HPRD) Zoning District pursuant to Section 122-990(6)b., of the Land Development Regulations of the Code of Ordinances of the City of Key West, Florida.

Request: Variance approval to an existing side setback issue in regards to the eve line in order to enclose and 8.5 feet by 8.5 feet section on the left rear side of the house to facilitate the installation of a small elevator to an existing single family structure.

Applicant: William Rowan Architecture, Architect

Property Owner: James and Marjorie Sanger

Location: 516 Emma Street (RE# 00010120-000226; AK# 8865287)

Zoning: Historic Planned Redevelopment and Development (HPRD) District



Background:

The property, which is located in the Truman Annex Subdivision is a non-contributing single-family structure. In 2005 HARC approved the demolition and reconstruction of the rear porch. The enclosure of the side rear of the porch will not change the footprint of the structure nor add any building coverage.

Relevant HPRD Zoning District Dimensional Requirements: Code Section 122-990				
Dimensional Requirement	Required/ Allowed	Existing	Proposed	Change / Variance Required?
Maximum density	22 dwelling units per acre	1 residential	1 residential	Complies
Maximum floor area ratio	1.00	N/A	N/A	N/A
Maximum height	35 feet	22 feet 9.75 inches	22 feet 9.75 inches	Complies
Maximum building coverage	40% (1,638 SF)	53% (2,170 SF)	53% (2,170 SF)	No change Existing Non-conformity
Maximum impervious surface	50%	81% (3,201 SF)	81% (3,201 SF)	No change Existing Non-conformity
Minimum lot size	1 acre	4,097 SF	4,097 SF	Complies
Minimum lot width	50 feet	50 feet	50 feet	Complies
Minimum lot depth	100 feet	79.5 feet	79.5 feet	Complies
Minimum front setback	2.5 feet	9 feet 8 inches	9 feet 8 inches	Complies
Minimum side setback (Right)	5 feet	7.91 feet	7.91 feet	Complies
Minimum rear setback	10 feet	1 feet 9 inches	1 feet 9 inches	No change Existing Non-conformity
Minimum side setback (Left)	2.5 feet	2.71 feet	2.71 feet	-4 inches From the second floor eve line Variance Required

Process:

Planning Board:

January 21, 2016

Local Appeal Period:

30 days

DEO Review:

Up to 45 days

Analysis – Evaluation for Compliance With The Land Development Regulations:

The standards for considering variances are set forth in Section 90-395(a) of the City of Key West (the “City”) Land Development Regulations (“LDRs”). Before any variance may be granted, the Planning Board must find all of the following:

- (1) Existence of special conditions or circumstances. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other land, structures or buildings in the same zoning district.**

The land, structures and buildings on the subject property do not have special conditions or circumstance involved that any other property located within the HPRD Zoning District possesses.

NOT IN COMPLIANCE.

- (2) Conditions not created by applicant. That the special conditions and circumstances do not result from the action or negligence of the applicant.**

Currently, the residential structure is conforming within the side setback requirements. However, the Applicant is proposing to enclose an area of the side rear porch starting from the second story eve line. The second story eve line overhangs by 6 inches into the 2 feet 5 inches side setback. This is a circumstance resulting from the proposed action of the Applicant. Therefore, the conditions are created by the Applicant.

NOT IN COMPLIANCE.

- (3) Special privileges not conferred. That granting the variance requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings or structures in the same zoning district.**

Granting the requested variance would confer special privileges upon the Applicant that are denied by the LDRs to other lands, buildings and structures in the HPRD Zoning District.

NOT IN COMPLIANCE.

- (4) Hardship conditions exist. That literal interpretation of the provisions of the land development regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant.**

The Applicant currently enjoys the use of the property as a single-family residential dwelling. The Applicant wishes to repurpose the rear deck and balcony in order to assist the owners in the elderly years with mobility issues by including a small elevator. The denial of the requested variance would possibly in the future deprive the Applicant of access to the second floor of their home.

IN COMPLIANCE.

- (5) Only minimum variance granted. That the variance granted is the minimum variance that will make possible the reasonable use of the land, building, or structure.**

The variance request is the minimum required that will make possible in the future reasonable use of building/structure. It is the minimum necessary to accommodate the request. IN COMPLIANCE.

- (6) Not injurious to the public welfare. That the granting of the variance will be in harmony with the general intent and purpose of the land development regulations and that such variance will not be injurious to the area involved or otherwise detrimental to the public interest or welfare.**

The granting of the requested variance would not be injurious to the area involved and otherwise detrimental to the public interest.

IN COMPLIANCE.

- (7) Existing nonconforming uses of other property not the basis for approval. No nonconforming use of neighboring lands, structures, or buildings in the same district, and no permitted use of lands, structures or buildings in other districts shall be considered grounds for the issuance of a variance.**

The Applicant has not used existing nonconforming uses of other property in the HMDR Zoning District or permitted uses of property in other zoning districts as the grounds for approval of the requested variances.

IN COMPLIANCE.

Concurrency Facilities and Other Utilities or Service (Code Section 108-233):

It does not appear that the requested variances would trigger any public facility capacity issues.

Pursuant to Code Section 90-395(b), the Planning Board shall make factual findings regarding the following:

- (1) That the standards established by Code Section 90-395 have been met by the applicant for a variance.**

The standards for the granting of variances established by Code Section 90-395 have not all been met by the Applicant.

- (2) That the applicant has demonstrated a "good neighbor policy" by contacting or attempting to contact all noticed property owners who have objected to the variance application, and by addressing the objections expressed by these neighbors.**

As of the writing of this report, staff is not aware of any objections at this time.

Recommendation:

Based on the above analysis of the standards for considering variances established by the Comprehensive Plan and the Land Development Regulations, the Planning Department recommends the requested variance be **DENIED**.



Application For Variance

City of Key West, Florida • Planning Department

3140 Flagler Avenue • Key West, Florida 33040-4602 • 305-809-3720 • www.keywestcity.com

RECEIVED

SEP 14 2015

CITY OF KEY WEST
PLANNING DEPT.

Application Fee: \$1,150.00 / After-the-Fact: \$2,150.00
(includes \$100.00 advertising/noticing fee and \$50.00 fire review fee)

Please complete this application and attach all required documents. This will help staff process your request quickly and obtain necessary information without delay. If you have any questions, please call 305-809-3720.

PROPERTY DESCRIPTION:

Site Address: 516 Emma Street

Zoning District: HPRD

Real Estate (RE) #: 00010120 - 000226

Property located within the Historic District? Yes No

APPLICANT: Owner Authorized Representative

Name: William Rowan Architecture / Jennifer Reed

Mailing Address: 321 Peacon Ln.

City: Key West

State: FL

Zip: 33040

Home/Mobile Phone: 305-509-3435

Office: _____

Fax: _____

Email: theannexkw@gmail.com

PROPERTY OWNER: (if different than above)

Name: James and Marjorie Sanger

Mailing Address: 516 Emma Street

City: Key West

State: FL

Zip: 33040

Home/Mobile Phone: 305-433-0654

Office: _____

Fax: _____

Email: jrsanger@gmail.com

Description of Proposed Construction, Development, and Use: See attached

List and describe the specific variance(s) being requested:

Left side setback (see attached)

Are there any easements, deed restrictions or other encumbrances attached to the property? Yes No

If yes, please describe and attach relevant documents: _____

City of Key West • Application for Variance

Will any work be within the dripline (canopy) of any tree on or off the property? Yes No
 If yes, provide date of landscape approval, and attach a copy of such approval.

Is this variance request for habitable space pursuant to Section 122-1078? Yes No

Please fill out the relevant Site Data in the table below. For Building Coverage, Impervious Surface, Open Space and F.A.R. provide square footages and percentages.

Site Data Table				
	Code Requirement	Existing	Proposed	Variance Request
Zoning	HPDR			
Flood Zone	X			
Size of Site	4,097 SF			
Height				
Front Setback	2.5'	9.05'	9.05'	
Side Setback	(right) 5'	7.91'	7.91'	
Side Setback	(left) 2.5'	2.71'	2.71'	*
Street Side Setback				
Rear Setback	10'	1.9'	1.9'	
F.A.R	N/A			
Building Coverage	40% (1,638 SF)	53%	53%	
Impervious Surface	60% (2,048 SF)	81%	81%	
Parking	N/A			
Handicap Parking	N/A			
Bicycle Parking	N/A			
Open Space/ Landscaping	20%			
Number and type of units	1, residential			
Consumption Area or Number of seats	N/A			

This application is reviewed pursuant to Section 90-391 through 90-397 of the City of Key West Land Development Regulations (LDRs). The City's LDRs can be found in the Code of Ordinances online at http://www.municode.com/Library/FL/Key_West under Subpart B.

*Please note, variances are reviewed as quasi-judicial hearings, and it is improper for the owner or applicant to speak to a Planning Board member or City Commissioner about the hearing.

ATTACHMENT TO Page 1.

Description of Proposed Construction, Development, Use:

The owners of the property at 516 Emma have determined that a small elevator is needed to assist them in getting up and down from the first and second floor in their home. Applicant proposes to enclose an 8.5' x 8.5' section of the left, rear side of the house to facilitate the installation of a small elevator. The elevator is required to assist the aging property owners with mobility to their second floor. This addition will require a 10-foot extension to the existing eave line along the NW side of the structure. The proposed addition does not change the existing foot print of the structure. Impervious ratio & building coverage percentages remain the same.

List and describe the specific variance being requested pursuant to code Section 90-398:

Side set back limits: 2.5 allowed; 2.7 existing; 2.7 proposed

The left side set back variance being requested will facilitate the additional 10 feet of eave line to follow along the existing eave, without having to turn in, or use a different eave/gutter system. Thus, in order to maintain a continuous eave line along the left side, we are requesting a variance of 6" into the left side setback. Note that the only thing that will occupy this 6" space is a second story eave. (Measurements above are taken from the structure, not the eave, per surveyor's standards.)

Standards for Considering Variances

Before any variance may be granted, the Planning Board and/or Board of Adjustment must find all of the following requirements are met:

(1) Existence of special conditions or circumstances. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other land, structures or buildings in the same zoning district.

Special conditions exist in regards to the requested variance. The existing left-side eve line is already in this space. Per surveying standards, the structure does not impinge on the existing setback, it is only the existing second story eve that overhangs by 6". This variance is required to facilitate a continuous extension of the existing second story eve line. The improvement of the structure incorporates a 10 foot extension of the eve line, in all ways equal to the existing structure.

(2) Conditions not created by the applicant. That the special conditions and circumstances do not result from the action or negligence of the applicant.

These conditions were not created by the applicant and predate the applicant's interest in the property. No action or negligence on the part of the applicant exists.

(3) Special privileges not conferred. That granting the variance requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings or structures in the same zoning district.

No privileges will be conferred nor implied by the granting of this variance. The granting of this variance will allow for the consistent adherence to existing eve lines currently present in the structure.

(4) Hardship conditions exist. That literal interpretation of the provisions of the land development regulations would deprive the application of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant.

Hard ship conditions exist in the event that this variance is not granted. The planed improvement of the property re-purposes of part of the north facing (rear) deck & balcony to assist aging owners with mobility issues (a small elevator). This home was a large investment & depriving them of this elevator will make access to the second floor difficult, or in time, impossible.

(5) Only minimum variance(s) granted. That the variance(s) granted is/are the minimum variance(s) that will make possible the reasonable use of the land, building or structure.

This request is for the least amount of variance possible. This request is only to maintain a constant eve line along the existing structure. This variance will only encroach to the point of existing conditions present in the current structure.

(6) Not injurious to the public welfare. That granting of the variance(s) will be in harmony with the general intent and purpose of the land development regulations and that such variances will not be injurious to the area involved or otherwise detrimental to the public interest or welfare.

No part of this variance is injurious to the public welfare. The 6 inch variance requested will allow the new eve line to continue seamlessly with the existing eve line. This is on the second story and will not interfere with any access onto or around this property nor the neighboring property.

(7) Existing nonconforming uses of other property shall not be considered as the basis for approval. That no other nonconforming use of neighboring lands, structures or buildings in the same district, and that no other permitted use of lands, structures or buildings in other districts shall be considered grounds for the issuance of a variance.

Existing nonconforming use of other properties is not the basis for this application. The planned renovation has been designed to conform as much as possible within the conditions and circumstances peculiar to lot size, the existing building and the way the existing structure is positioned on the lot. Maintaining the current aesthetic presentiment of this structure is only obtained by the granting of this variance

Verification

**City of Key West
Planning Department**



Verification Form

(Where Authorized Representative is an individual)

I, Jennifer Reed, being duly sworn, depose and say that I am the Authorized Representative of the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

516 Emma St. Key West, FL 33040
Street address of subject property

All of the answers to the above questions, drawings, plans and any other attached data which make up the application, are true and correct to the best of my knowledge and belief. In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.

Jennifer Reed
Signature of Authorized Representative

Subscribed and sworn to (or affirmed) before me on this 8/26/15 by _____
date

Jennifer Reed
Name of Authorized Representative

He/She is personally known to me or has presented _____ as identification.

Notary's Signature and Seal

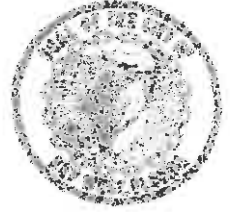
BRIAN OLSON
Name of Acknowledger typed, printed or stamped



FF 196067, exp 2-7-19
Commission Number, if any

Authorization

City of Key West
Planning Department



Authorization Form
(Individual or Joint Owner)

Please complete this form if someone other than the owner is representing the property owner in this matter.

I, James Sanger + MARJORIE SANGER authorize
Please Print Names of Owners as appears on the deed

Jennifer Reed / William Roman Architecture
Please Print Name of Representative

to be the representative for this application and act on my/our behalf before the City of Key West.

[Signature]
Signature of Owner

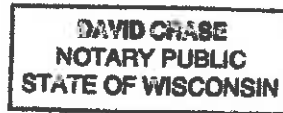
[Signature]
Signature of Joint Co-owner if applicable

Subscribed and sworn to (or affirmed) before me on this Aug. 28, 2015
Date

by James Sanger / MARJORIE SANGER
Name of Owner

He/She is personally known to me or has presented Drivers License as identification.

[Signature]
Notary's Signature and Seal



David Crase
Name of Acknowledger typed, printed or stamped

4/26/2019
Commission Number, if any

Deed

PREPARED BY AND RETURN TO:
RICHARD M. KLITENICK
RICHARD M. KLITENICK, P.A.
1009 SIMONTON STREET
KEY WEST, FL 33040
305-292-4101
FILE NUMBER: RE10-006
DOCUMENTARY STAMPS PAID: \$14,437.50
RECORDING FEES: \$18.50

Doc# 1778353 02/22/2010 10:02AM
Filed & Recorded in Official Records of
MONROE COUNTY DANNY L. KOLHAGE

02/22/2010 10:02AM
DEED DOC STAMP CL: MARGO \$14,437.50

Doc# 1778353
Bk# 2453 Pg# 1662

[Space above this line for Recording Data]

WARRANTY DEED

THIS WARRANTY DEED is made on this 15th day of February, 2010 between DANIEL T. FRANTA, a single man and GREG POLICASTRO a/k/a GREGORY A. POLICASTRO, a single man, whose address is (for purposes of this Deed only) c/o Franta- 27 Kingsberry Drive, Somerset, NJ 08873 (hereinafter collectively referred to as "Grantor"), and JAMES R. SANGER and MARJORIE F. SANGER, husband and wife, whose address is 7288 Kinnikinnick Drive, Roscoe, IL 61073 (hereinafter collectively referred to as "Grantee").

(Whenever used herein the terms 'Grantor' and 'Grantee' include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said Grantor, for and in consideration of the sum of TWO MILLION SIXTY-TWO THOUSAND FIVE HUNDRED & 00/100^{ths} DOLLARS (\$2,062,500.00) and other good and valuable consideration to said Grantor in hand paid by said Grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said Grantee, and Grantee's heirs and assigns forever, the following described land, situate, lying and being in Monroe County, Florida, with the street address of 516 Emma Street, Key West, FL 33040, more particularly described as:

A PARCEL OF LAND ON THE ISLAND OF KEY WEST, MONROE COUNTY, FLORIDA BEING A PORTION OF LOT 3, BLOCK 52, ALL AS SHOWN ON THE UNRECORDED "MAP OF THE TOWN OF KEY WEST", TOGETHER WITH THE ISLAND AS SURVEYED AND DELINEATED FEBRUARY, 1829 BY W.A. WHITEHEAD AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE INTERSECTION OF THE SOUTHWESTERLY RIGHT-OF-WAY LINE OF THOMAS STREET AND THE NORTHWESTERLY RIGHT-OF-WAY LINE OF ANGELA STREET, SAID POINT MARKED BY AN ALUMINUM DISC STAMPED NO. 928; THENCE N 33° 59' 24" W ALONG THE SAID SOUTHWESTERLY RIGHT-OF-WAY LINE OF THOMAS STREET FOR 454.76 FEET TO A POINT OF INTERSECTION WITH THE NORTHWESTERLY RIGHT-OF-WAY LINE OF SOUTHARD STREET (AS ESTABLISHED AUGUST, 1987); THENCE S 55° 57' 21" W ALONG THE SAID NORTHWESTERLY RIGHT-OF-WAY LINE OF SOUTHARD STREET FOR 377.01 FEET TO A POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE NORTH; THENCE IN A SOUTHWESTERLY AND WESTERLY DIRECTION ALONG THE SAID CURVE, HAVING FOR ITS ELEMENTS A RADIUS OF 25.00 FEET AND A CENTRAL ANGLE OF 90° 02' 30" FOR 39.29 FEET TO A POINT OF TANGENCY; THENCE N 34° 00' 09" W ALONG THE NORTHEASTERLY RIGHT-OF-WAY LINE OF EMMA STREET FOR 181.68 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE N 34° 00' 09" W FOR 43.41 FEET THENCE N 55° 59' 51" E FOR 100.00 FEET TO THE SOUTHWESTERLY RIGHT-OF-WAY LINE OF PORTER LANE; THENCE S 34° 00' 09" E ALONG THE SAID SOUTHWESTERLY RIGHT-OF-WAY LINE OF PORTER LANE 27.71 FEET; THENCE S 55° 59' 51" W FOR 7.50 FEET; THENCE S 34° 00' 09" E FOR 6.00 FEET; THENCE S 55° 59' 51" W FOR 13.00 FEET; THENCE S 34° 00' 09" E FOR 9.70 FEET; THENCE S 55° 59' 51" W FOR 79.50 FEET TO THE SAID NORTHEASTERLY RIGHT-OF-WAY LINE OF EMMA STREET AND THE POINT OF BEGINNING. CONTAINING 4,097.15 SQUARE FEET.

PARCEL IDENTIFICATION NUMBER: 00010120-000226; ALTERNATE KEY ("AK") NUMBER: 8865287



SUBJECT TO CONDITIONS AND RESTRICTIONS OF RECORD, IF ANY, BUT THIS DEED SHALL NOT ACT TO RE-IMPOSE THE SAME.

Doc# 1778353
Bk# 2453 Pg# 1683

SUBJECT TO: TAXES FOR THE YEAR 2010 AND SUBSEQUENT YEARS


Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land; that the Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2008, and those items listed above.

In Witness Whereof, Grantor has hereunto set Grantor's hand and seal the day and year first above written.


Signed, sealed and delivered in our presence:



Witness # 1 signature
Print name: _____



DANIEL T. FRANTA



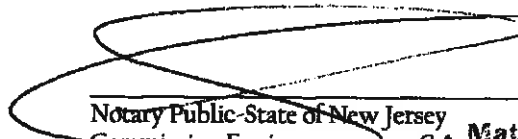
Witness # 2 signature
Print name: Alexa Maroz

STATE OF NEW JERSEY
COUNTY OF MIDDLESEX

I HEREBY CERTIFY that on this day personally appeared before me, an officer duly authorized to administer oaths and take acknowledgements, DANIEL T. FRANTA, who is personally known to me to be the same person who is one of the Grantors described in the foregoing Warranty Deed, or who produced NJ Drivers License as identification, and he acknowledged to me that he executed the same freely and voluntarily for the purposes therein expressed.

WITNESS my hand and official seal at North Brunswick (City), Middlesex County, State of New Jersey on this 18 day of February, 2010.

(STAMP/SEAL)


Notary Public-State of New Jersey
Commission Expires: N/A Matthew T. Bach
Attorney at Law
of New Jersey

(Policastro signature page follows)



Michael Bohmke
Witness # 1 signature

Print name: W. CHARLES BENIMKE

[Signature]
Witness # 2 signature

Print name: RICHARD M. KLITENICK

Gregory A Polcastro
GREG POLCASTRO a/k/a GREGORY

A. POLICASTRO

Deed 1778353
Bk# 2453 Pgt 1684

STATE OF FLORIDA
COUNTY OF MONROE

I HEREBY CERTIFY that on this day personally appeared before me, an officer duly authorized to administer oaths and take acknowledgements, GREGORY A. POLICASTRO, who is personally known to me to be the same person who is one of the Grantors described in the foregoing Warranty Deed, or who produced FLA DRIVER LICENSE as identification, and he acknowledged to me that he executed the same freely and voluntarily for the purposes therein expressed.

WITNESS my hand and official seal at Key West, Monroe County, Florida on this 15th day of February, 2010.

(STAMP/SEAL)



[Signature]
Notary Public-State of Florida
Commission Expires: 11-11-2012

MONROE COUNTY
OFFICIAL RECORDS

[Handwritten initials]

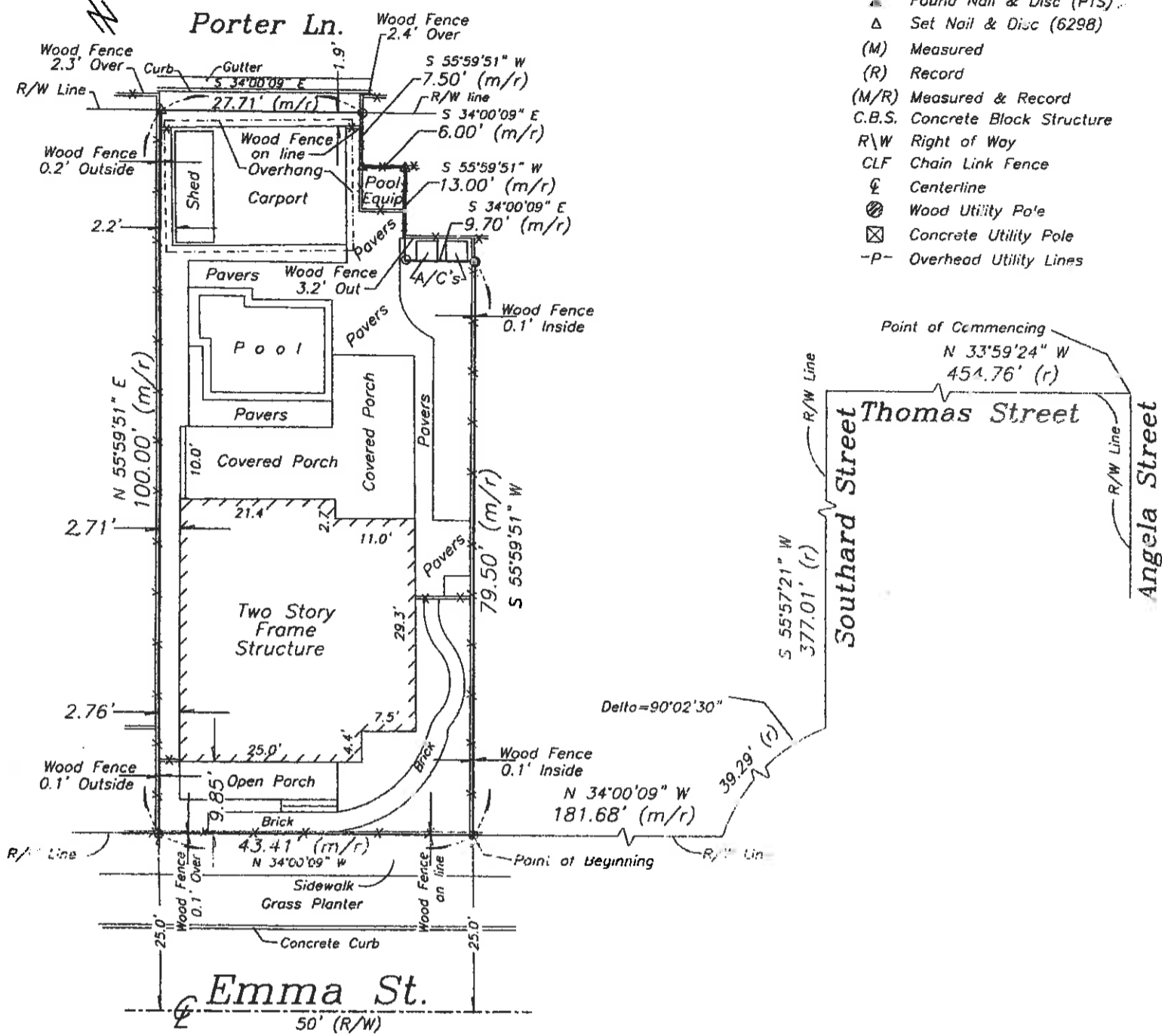
Survey

Boundary Survey Map of part of Lot 3, Block 52, Island of Key West

Assumed
1" = 20'

LEGEND

- Found 1/2" Iron Pipe (FHH)
- Set 3/4" Iron Pipe w/cap (6298)
- Found 1/2" Iron Rod (Norby)
- ▲ Found Nail & Disc (PTS)
- △ Set Nail & Disc (6298)
- (M) Measured
- (R) Record
- (M/R) Measured & Record
- C.B.S. Concrete Block Structure
- R\W Right of Way
- CLF Chain Link Fence
- ⊕ Centerline
- ⊗ Wood Utility Pole
- ⊠ Concrete Utility Pole
- P- Overhead Utility Lines



NOTES:

1. The legal description shown hereon was furnished by the client or their agent.
2. Underground foundations and utilities were not located.
3. All angles are 90° (Measured & Record) unless otherwise noted.
4. This survey is not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
5. Lands shown hereon were not abstracted for rights-of-way, easements, ownership, or other instruments of record.
6. This survey is not assignable.
7. Bearings are assumed and based on the legal description, as NE'ly right of way line of Emma Street as N 34°00'09" W.
8. Date of field work: April 5, 2010
9. Street address: 516 Emma Street, Key West, Florida.
10. Ownership of fences is undeterminable, unless otherwise noted.
11. Adjoiners are not furnished.

BOUNDARY SURVEY OF: A parcel of land on the Island of Key West, Monroe County, Florida, being a portion of Lot 3, Block 52, all as shown on the unrecorded "MAP OF THE TOWN OF KEY WEST", together with the Island as surveyed and delineated February 1829 by W.A. Whitehead and being more particularly described as follows: Commence at the intersection of the Southwesterly Right-of-Way line of Thomas Street and the Northwesterly right-of-way line of Angela Street, said point marked by an aluminum disk stamped No. 926; thence N 33°59'24" W along the said Southwesterly right-of-way line of Thomas Street for 454.76 feet to a point of intersection with the Northwesterly right-of-way line of Southard Street (as established August, 1987) thence S 55°57'21" W along the said Northwesterly right-of-way of Southard Street for 377.01 feet to a point of curvature of a circular curve concave to the North; thence in a Southwesterly and Westerly direction along the said curve, having for its elements a radius of 25.00 feet and central angle of 90°02'30" for 39.29 feet and central angle of 90° feet to a point of tangency; thence N 34°00'09" W along the Northeastly right-of-way line of Emma Street for 181.68 feet to Point of Beginning; thence continue N 34°00'09" W for 43.41 feet; thence N 55°59'51" E for 100.00 feet to the Southwesterly right-of-way line of Porter Lane; thence S 34°00'09" E along the said Southwesterly right-of-way line of Porter Lane 27.71 feet; thence S 55°59'51" W for 7.50 feet; thence S 34°00'09" E for 6.00 feet; thence S 55°59'51" W for 13.00 feet; thence S 34°00'09" E for 9.70 feet; thence S 55°59'51" W for 70.50 feet to the said Northeastly right-of-way line of Emma Street and the Point of Beginning.

BOUNDARY SURVEY FOR: James & Marjorie Sanger;

J. LYNN O'FLYNN, INC.

J. Lynn O'Flynn, PSM
Florida Reg. #6298

April 15, 2010

J. LYNN O'FLYNN, Inc.



Professional Surveyor & Mapper
PSM #8298

3430 Duck Ave., Key West, FL 33040
(305) 296-7422 FAX (305) 296-2744

SANGER RESIDENCE ELEVATOR AND ENCLOSURE ADDITION

516 EMMA STREET KEY WEST, FLORIDA 33040

SHEET INDEX		
NO.		DESCRIPTION
1	C	COVER - LOCATION, GENERAL NOTES
2	A-1	EXISTING & PROPOSED PLAN, ELEVATIONS
3	S-1	SECTION, FRAMING PLAN, NOTES
4	SP	ELEVATOR INSTALL DETAILS, SPECS, NOTES

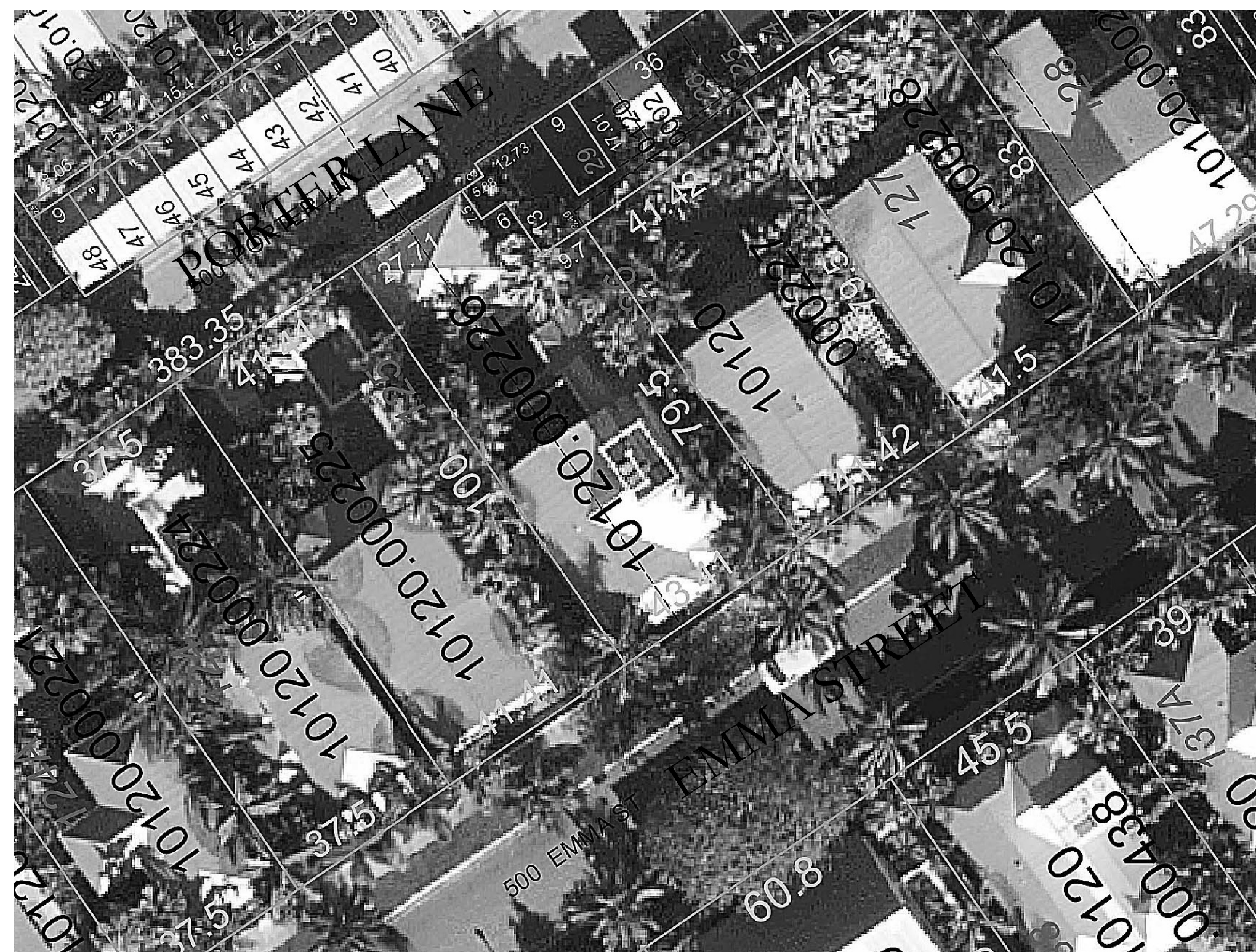
GENERAL NOTES

All work shall comply with the Florida Building Code, latest edition, and all applicable laws, codes and ordinances of the city, county, and the state of Florida. In the city of Key West, applicable Codes forming the basis of this design and compliance requirements for the contractor include:

BUILDING: Florida Building Code, 2010
ELECTRICAL: National Electrical Code, 2010
PLUMBING: Florida Building Code (Plumbing), 2010
MECHANICAL: Florida Building Code (Mech.), 2010
GAS: LP Gas Code, 2010 edition (NFPA 58)

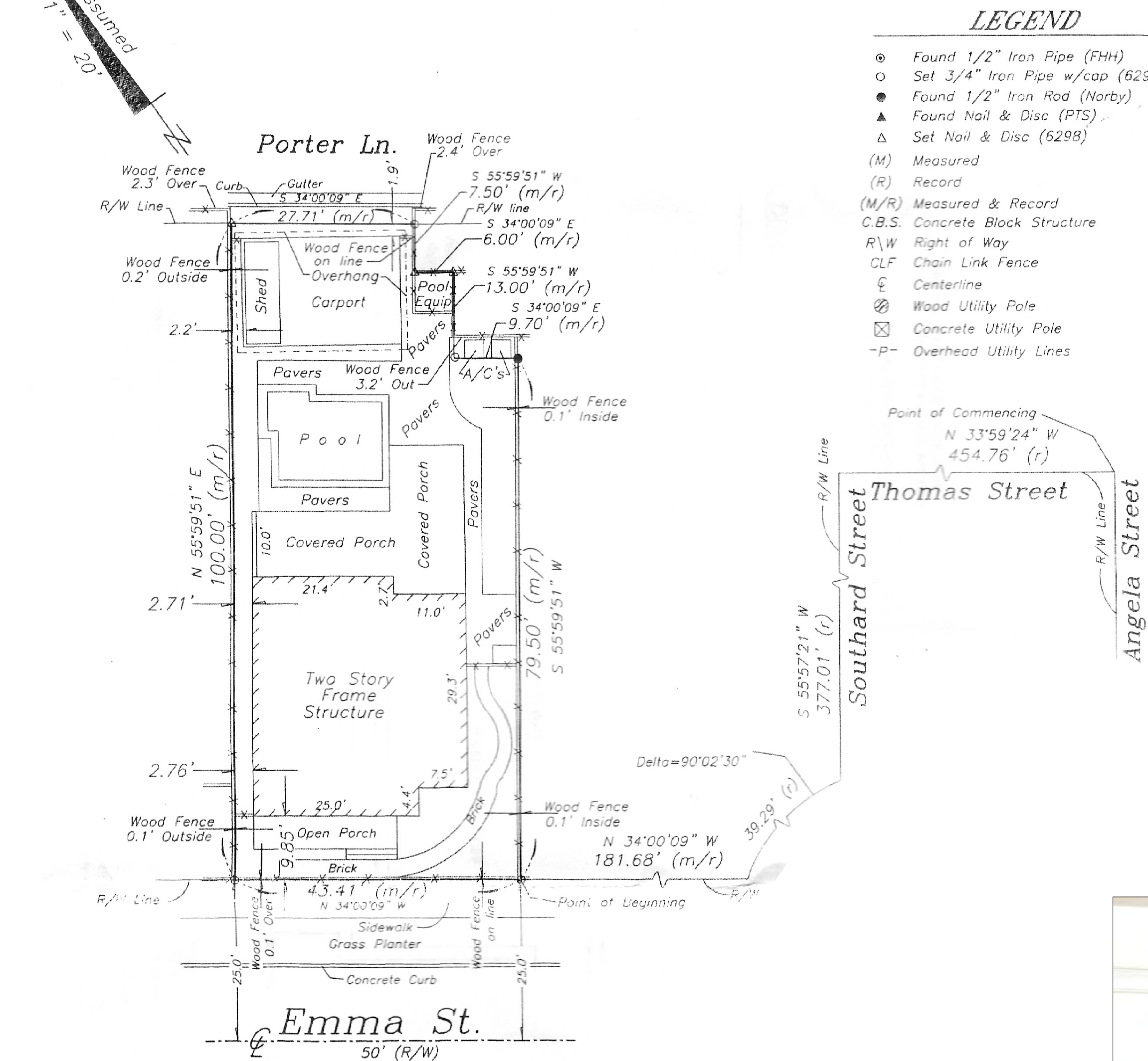
This project is designed in accordance with A.S.C.E. 7-10 to resist wind loads 180 mph (gusts) (Exposure C)

Site Data			
	Allowed	Existing	Proposed
Zoning	HPRD		
Flood	X		
Lot Size		4,097 SF.	
Building Coverage	40% (1,638 SF)	53% (2,170 SF)	53% (2,170 SF) NC.
Impervious	50% (2,048 SF)	78% (3,201 SF)	78% (3,201 SF) NC.
Open Space		22% (896 SF) NC.	
Setbacks			
Front	2.5'	9.85'	9.85' NC.
Side	5'	7.9'	7.9' NC.
Side	2.5'	2.7'	2.7' NC.
Rear	10'	19'	19' NC.
Storm Drainage			Coverage decreases therefore no additional drainage required



SITE LOCATION

Boundary Survey Map of part of Lot 3, Block 52, Island of Key West



SURVEY
N.T.S.



ELEVATOR DISPLAY ONLY

Florida Administrative Code
64G-09.009 WHEN SEAL MAY BE APPLIED. The personal seal, signature and date of the architect shall appear on all architectural documents to be filed for public record and shall be countersigned by the partner of his corporation. A corporate seal alone is insufficient. Documents shall be signed personally and sealed by the responsible architect. Final official record documents (not tracings, etc.) shall be so signed. The signing and sealing of the index sheet or sheets (if it identifies all parts) of drawings and specifications shall be considered adequate. Without such index, all sheets and pages shall be so signed and sealed. An architect or interior designer shall not affix, or permit to be affixed his seal or name to any plan, specifications, drawings, or other related document which was not prepared by him or under his responsible supervising control as provided in rule 64G-09.009. An architect or interior designer shall not use his seal or do an other act as an architect or interior designer unless holding at the time a certificate of registration and all required renewals thereon.

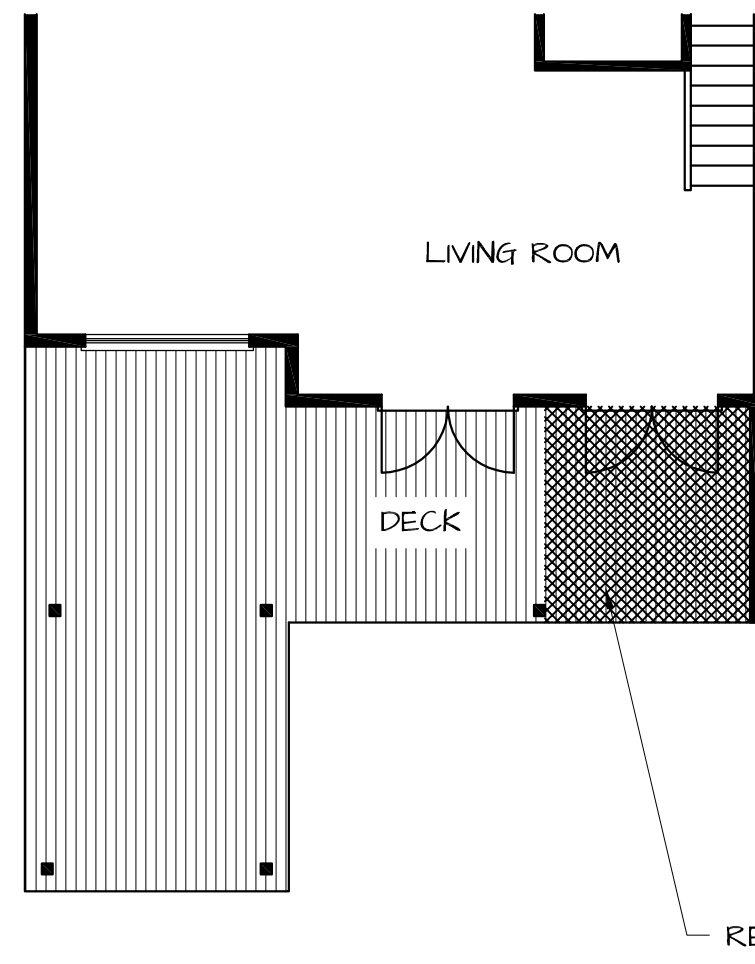
SANGER RESIDENCE
ELEVATOR AND ENCLOSURE ADDITION
KEY WEST, FLORIDA 33040
516 EMMA STREET

WILLIAM ROWAN N
ARCHITECTURE
KEY WEST, FLORIDA
FLORIDA LICENSE AR000751
321 PEACOCK LANE
305 296 5784

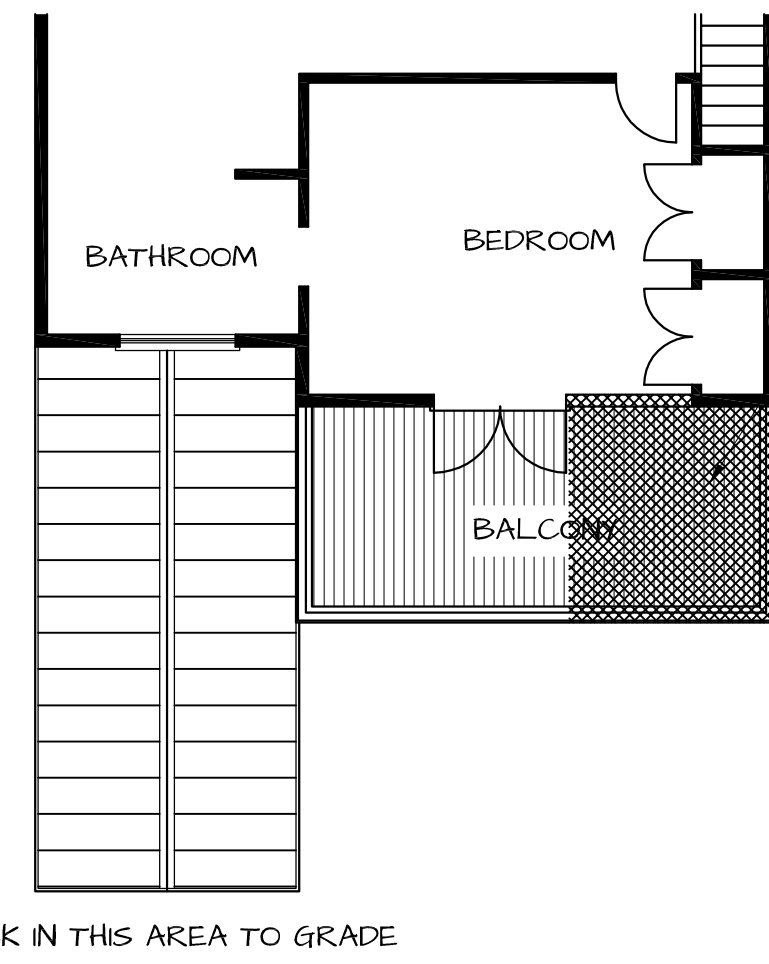
PROJECT NO :

rev. 11/4/2015
DATE : 5/15/2015

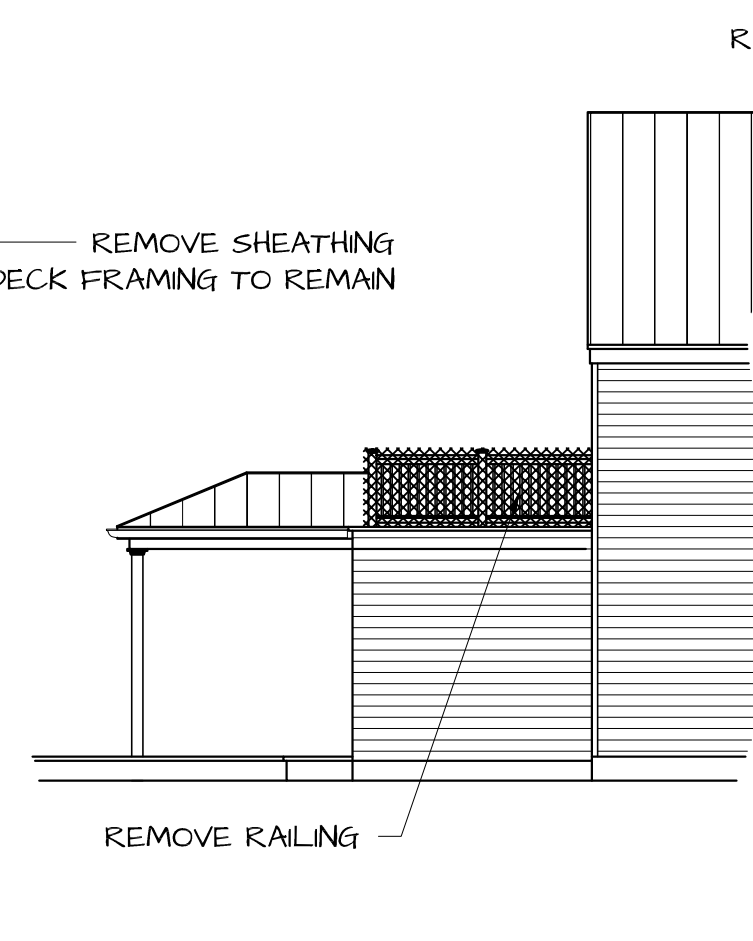
C
1 OF 4



FIRST FLOOR (PARTIAL)
1/8" = 1'-0" EXISTING



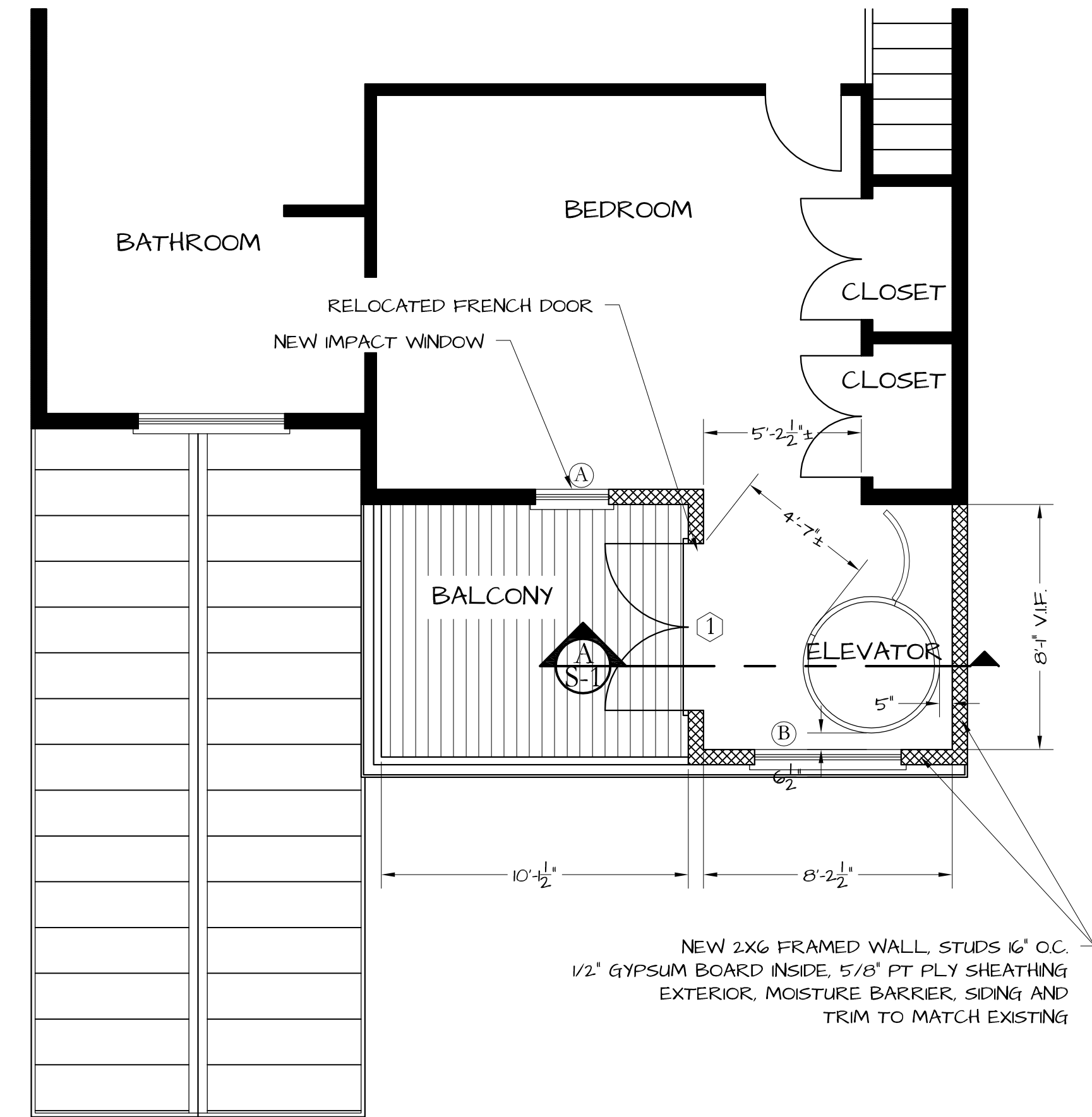
SECOND FLOOR (PARTIAL)
1/8" = 1'-0" EXISTING



WEST ELEVATION
1/8" = 1'-0" EXISTING



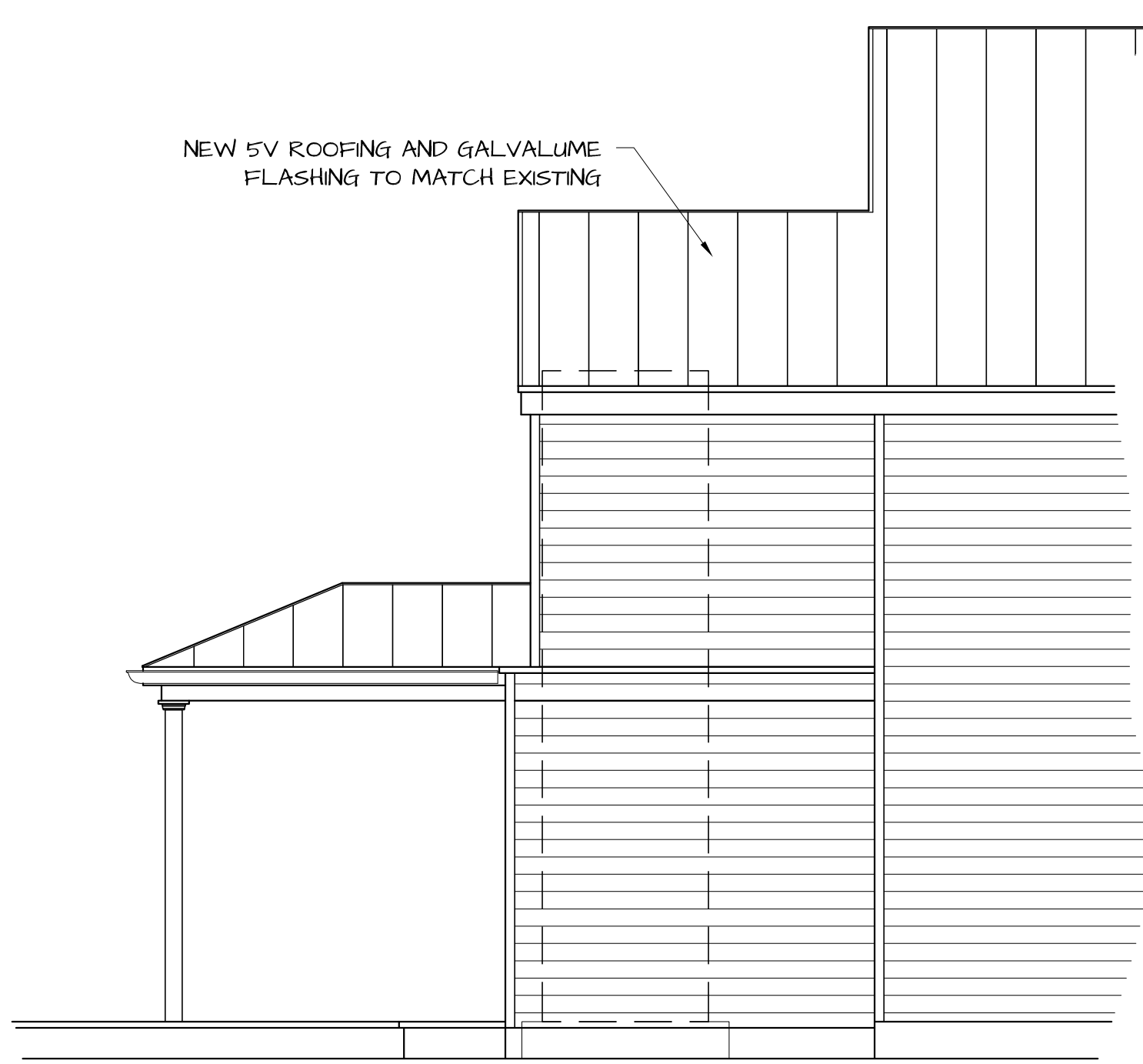
NORTH ELEVATION
1/8" = 1'-0" EXISTING



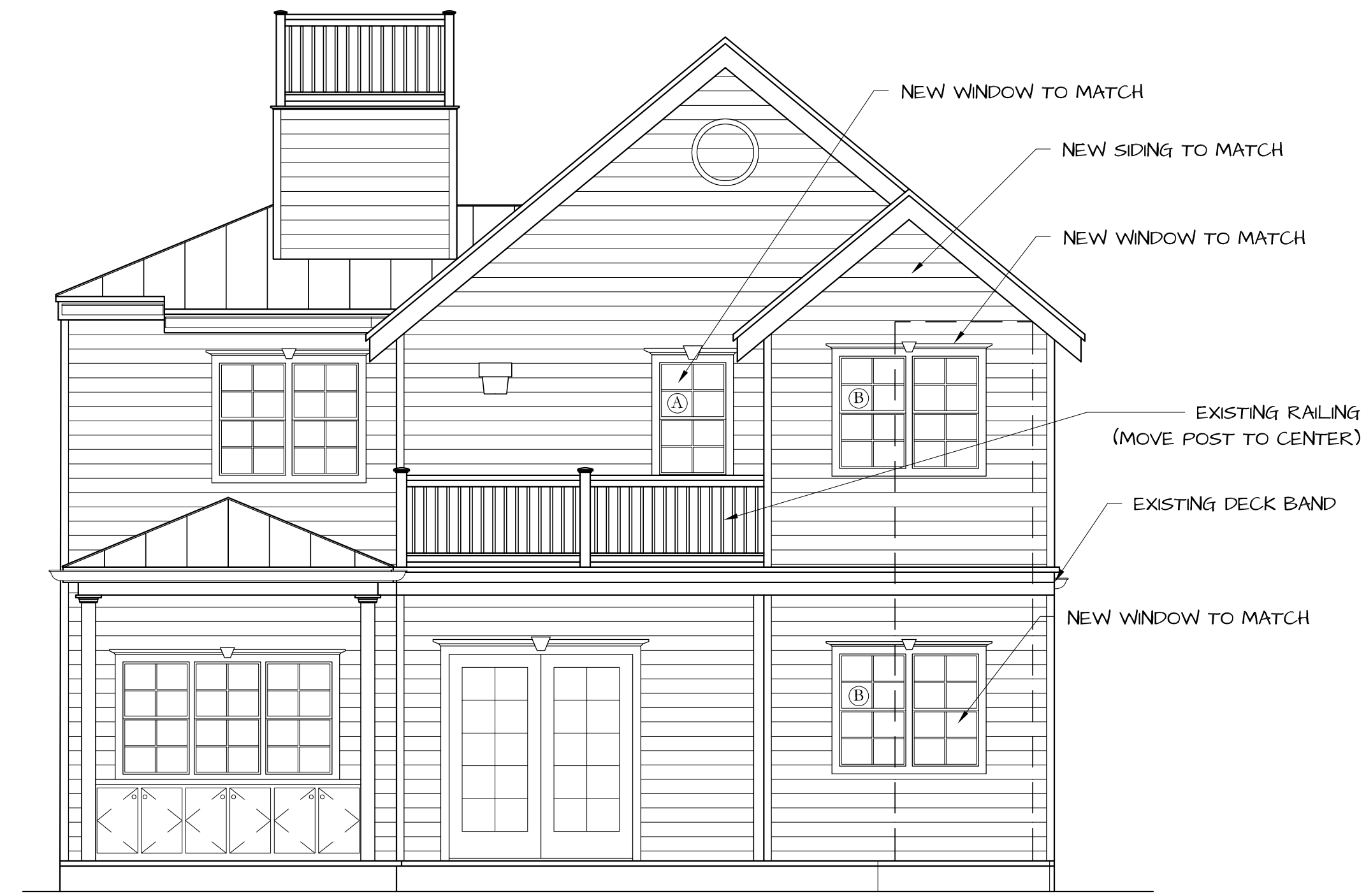
SECOND FLOOR (PARTIAL)
1/4" = 1'-0" PROPOSED

NEW 2X6 FRAMED WALL, STUDS 16" O.C.
1/2" GYPSUM BOARD INSIDE, 5/8" PT PLY SHEATHING
EXTERIOR, MOISTURE BARRIER, SIDING AND
TRIM TO MATCH EXISTING

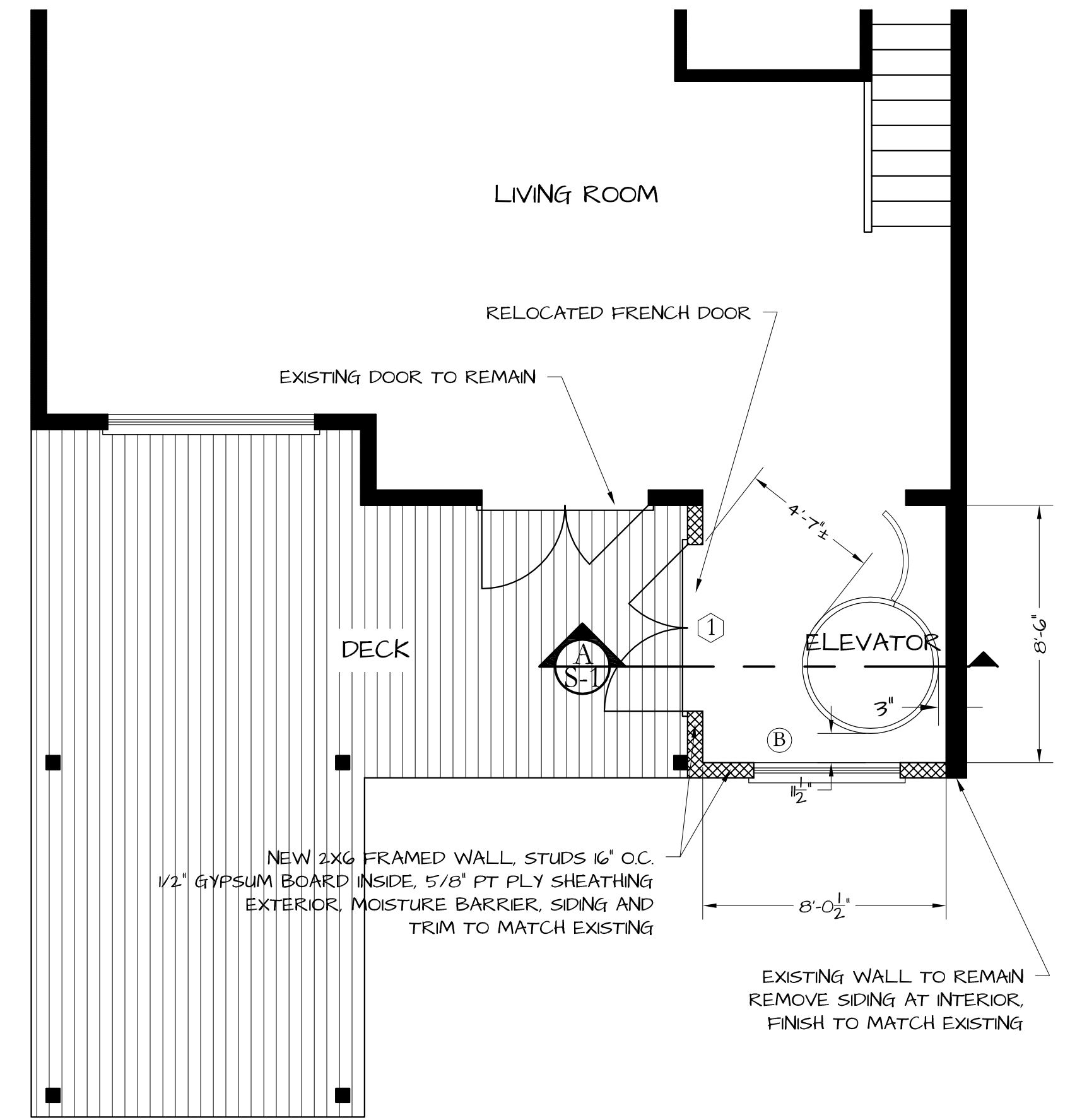
- DEMOLITION NOTES:
1. If Demolition commences prior to permit, GC shall obtain demo permits.
 2. Furnish all labor and materials as required to complete demolition and removal of all items as indicated.
 3. Provide strict control of job cleaning and prevent dust and debris from emanating from demolition area. Keep area clean.
 4. If any questions arise as to the removal of any material clarify the point in question with the architect or owner before proceeding.
 5. At completion of demolition work the construction areas shall be left in 'broom clean' condition. All debris and misc. material shall be moved to waste area provided by the contractor.
 6. Debris removal must be performed in accordance with owner and building management requirements and procedures.
 7. Carefully remove all existing light fixtures and lenses (verify with owner) and store for future use. Before indicated reinstallation, inspect each fixture and repair or replace parts as required. All relocated fixtures shall be in full operating order. All tubes and/or ballasts not reused shall be disposed of in a proper manner.
 8. Contractor shall be responsible for patching and/or repairing any damage caused by him or his subcontractors to existing construction. Refinish to match existing adjacent finish or as noted herein.
 9. Existing plants to remain except where damage occurs due to demolition or noted otherwise. Replace or relocate where required.
 10. Removal of any equipment, cabling, switches, and conduit pertaining to data/communications and telephone shall be verified with telephone companies or service owner data/communications representative as required to prevent new construction delays.
 11. Demolition is not necessarily limited to what is shown on the drawings. The intent is to indicate the general scope of demolition required to complete the work in accordance with the contract drawings.
 12. Contractor to coordinate with owner for reuse of existing millwork.
 13. Verify and mark all existing property lines before any demo of any kind.
 14. Ground level deck to be removed and ground prepared for new slab.
 15. Second floor deck framing to be verified after removal of sheathing.
 16. New floor framing to match existing and heights to remain.



WEST ELEVATION
1/4" = 1'-0" PROPOSED



NORTH ELEVATION
1/4" = 1'-0" PROPOSED



FIRST FLOOR (PARTIAL)
1/4" = 1'-0" PROPOSED

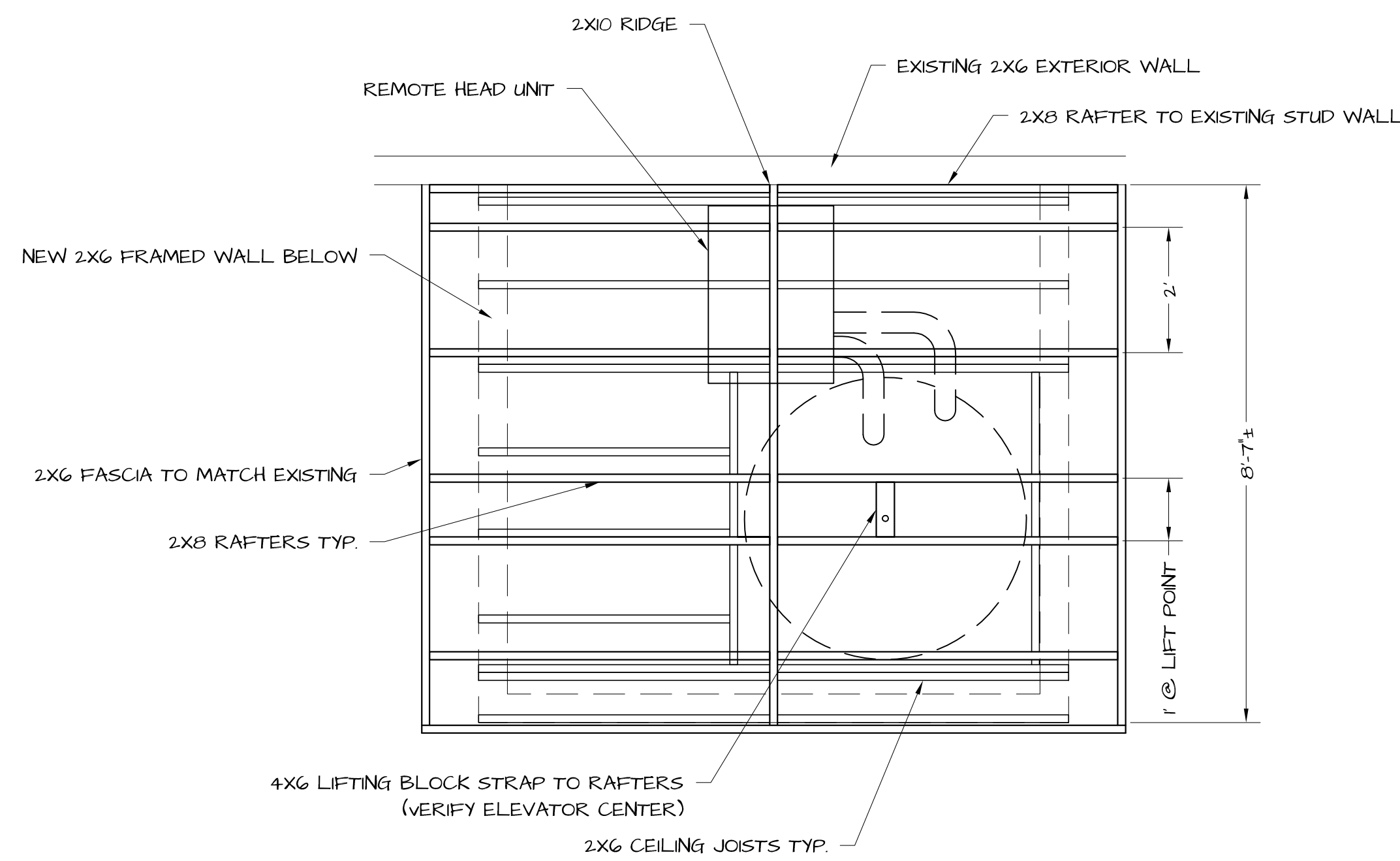
SANGER RESIDENCE
ELEVATOR AND ENCLOSURE ADDITION
516 EMMA STREET
KEY WEST, FLORIDA 33040

WILLIAM ROWAN
ARCHITECTURE
53 DRAGON LANE
KEY WEST, FLORIDA
33026-3784
FLORIDA LICENSE: AR-001751

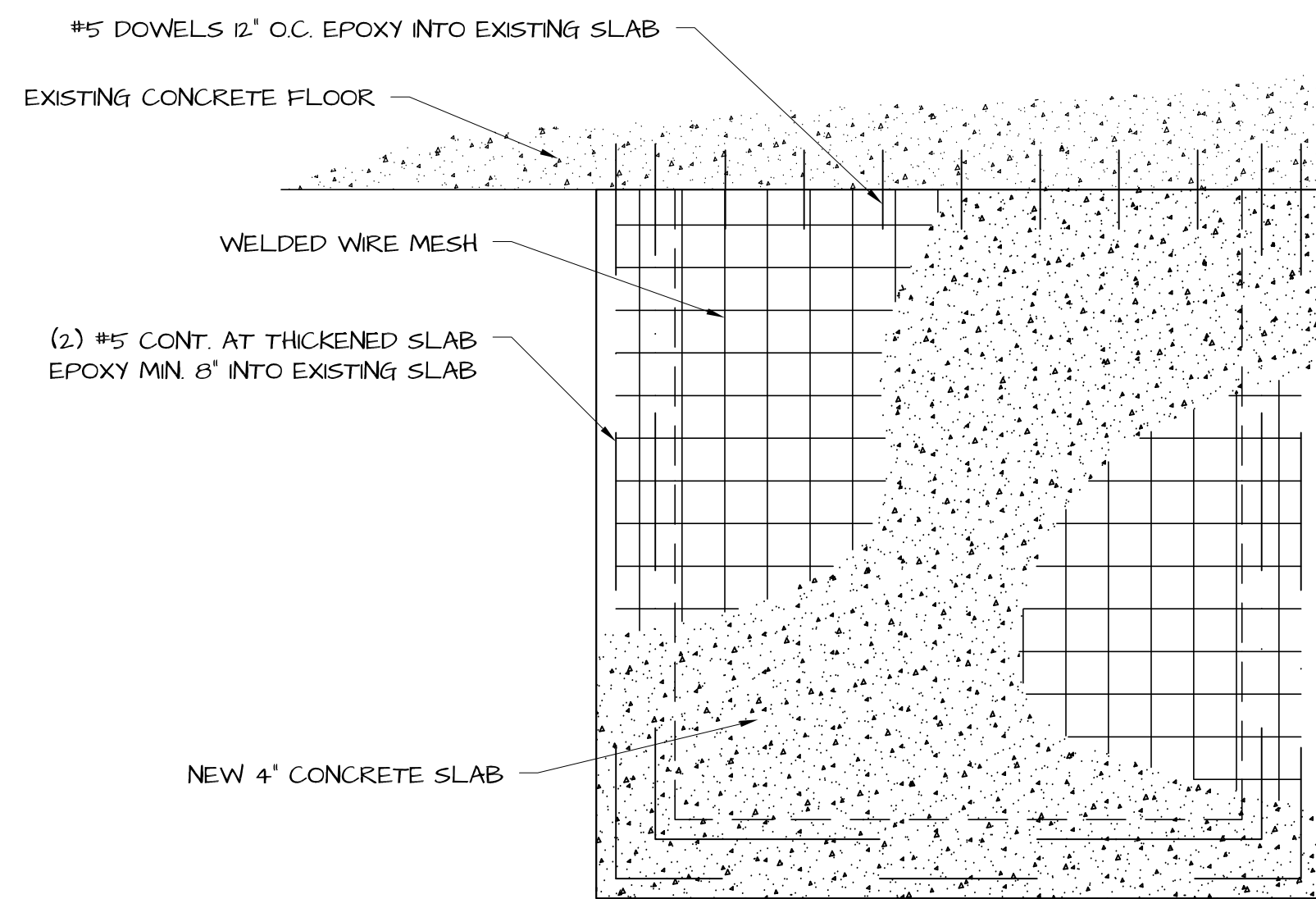
PROJECT NO :

DATE 5/15/2015

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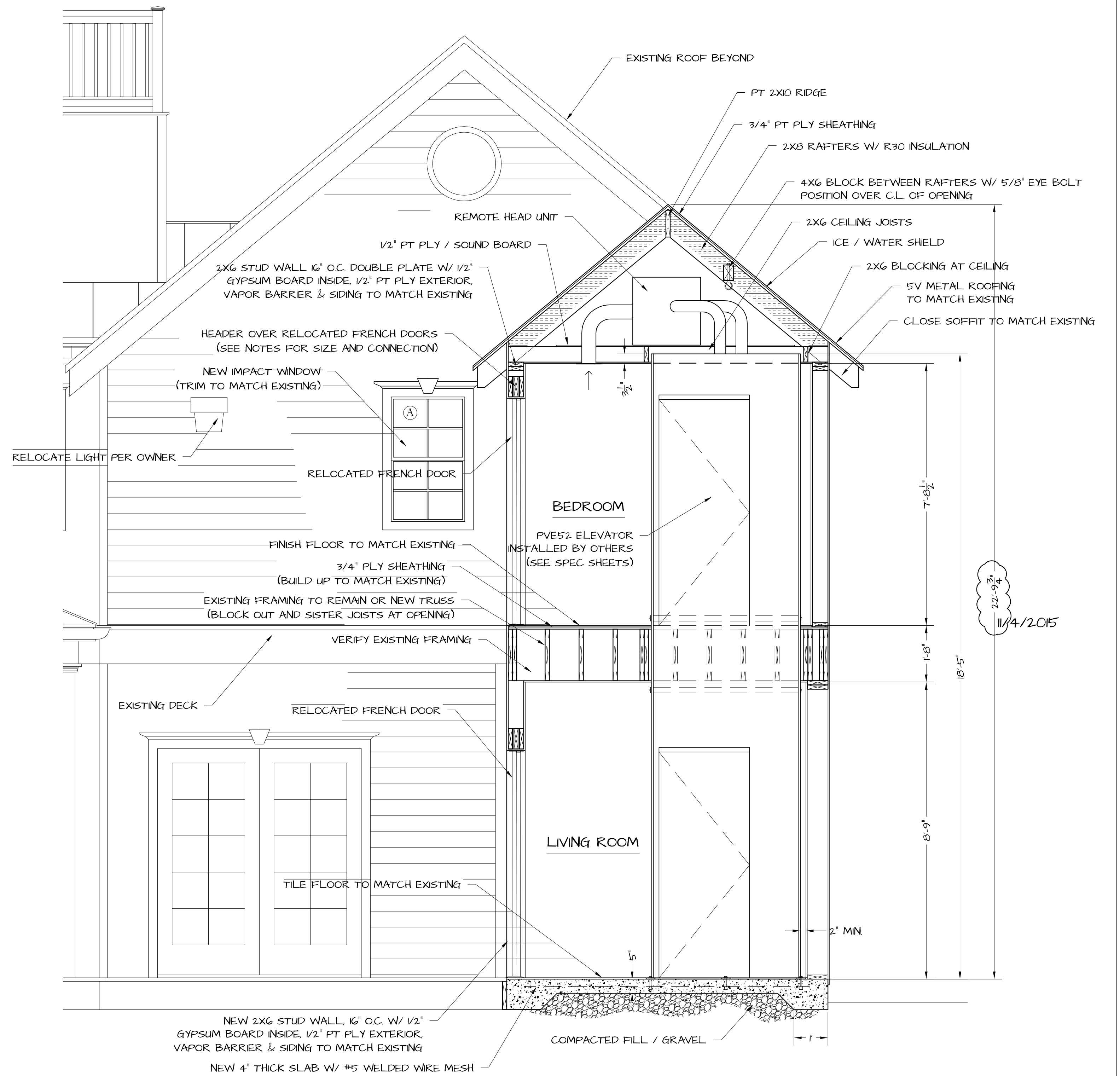
ROOF FRAMING PLAN
1/2" = 1'-0"



FOUNDATION PLAN
1/2" = 1'-0"

CONSTRUCTION PLAN GENERAL NOTES

1. Do not scale drawings, written dimensions govern. All partition locations shall be as shown on the partition plan. In case of conflict, verify with the owner or architect.
2. All new gypsum board partitions shall be taped and sanded smooth with no visible joints. Patch and repair surfaces to match adjacent or adjoining surfaces where required. All surfaces shall be aligned and sanded smooth.
3. All partitions are dimensioned from finish face of gypsum board to finish face of gypsum board unless otherwise noted. All dimensions marked "Clear" or "clr" shall be maintained and shall allow for thicknesses of all wall finishes, UNO.
4. Dimensions noted "clear" or "clr" must be accurately maintained and shall not vary more than +/- 1/8" without instruction from architect and/or owner, as applicable.
5. Dimensions marked +/- mean a tolerance not greater nor smaller than 2 inches from indicated dimension, UNO, verify field dimensions exceeding tolerance with architect or owner.
6. All dimensions to the exterior window wall are to the inside face of sill UNO.
7. Notify architect or owner of any discrepancies or conflicts in the locations of the new construction.
8. All exposed gypsum board edges to have metal edge trim work or equivalent.
9. All work shall be directed and installed, plumb, level, square, and true and in proper alignment.
10. Refer to cover sheet for additional notes, legends, symbols, abbreviations, and schedules.
11. Refer to electrical power plans for locations of switched outlets and the like.
12. Obtain approval from architect or owner, as applicable, prior to modifying building components, systems and items not identified prior to adjusting any and all other field conditions required to fit plans.
13. All existing and new floor penetrations for piping shall be fully blocked and sealed in accordance with the applicable building fire codes.
14. Trim the bottoms of the doors to clear the top of finished floor, as applicable, by 1/2" maximum, UNO. Verify slab conditions, trim each door to fit condition. Where radical variations in floor elevation exist, doors shall be ordered with bottom stile sized to accommodate these undercut conditions.
15. Dimensions locating doors are to the inside of edge of jamb UNO.
16. Refer to elevator mfg notes for install clearances.
17. New windows are to be verified and matched to existing style and size.



A SECTION
1/2" = 1'-0"

DOOR / WINDOW SCHEDULE

MK.	QTY.	DESCRIPTION	SIZE	FINISH	NOTES	ZONE	7-10 PRESSURES REQ.	NOA #	PRESSURES	DATE
I	2	RELOCATED FRENCH DOORS	80" H X 60" W	PAINT	ALUM IMPACT	4	3333 SQ. FT. +415.0 / -45.3		EXISTING (RELOCATED)	
A	1	SINGLE HUNG IMPACT	52" H X 36" W	PAINT	ALUM IMPACT	4	1300 SQ. FT. +44.25 / -48.07		SEE ATTACHED CURRENT FL. NOA	
B	2	SINGLE HUNG IMPACT (X2)	52" H X 72" W	PAINT	ALUM IMPACT	5	2600 SQ. FT. +42.22 / -54.69		SEE ATTACHED CURRENT FL. NOA	

PRESSURES / FLORIDA NOA

FIRE SAFETY NOTES

1. Existing smoke detectors to be tested or replaced

ELECTRICAL NOTES

1. Refer to elevator mfg for specific locations of switches and panels
2. Existing panel to be verified for 220V and dedicated 95 amp breaker

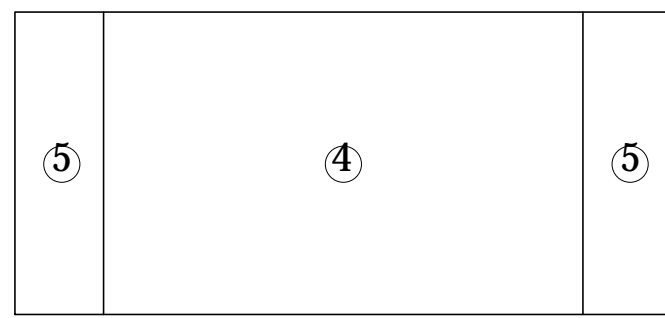
SANGER RESIDENCE
ELEVATOR AND ENCLOSURE ADDITION
516 EMMA STREET
KEY WEST, FLORIDA 33040

WILLIAM ROWAN
ARCHITECTURE
531 DRAGON LANE
KEY WEST, FLORIDA
FLORIDA LICENSE: AR400751

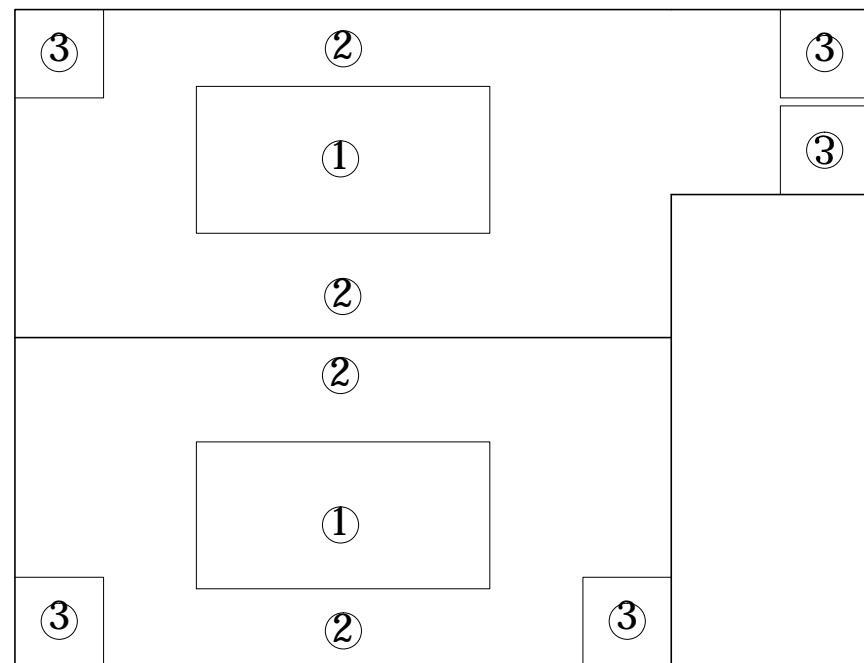
PROJECT NO.:
rev 11/4/2015
DATE: 5/15/2015

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COMPONENTS AND CLADDING
WIND PRESSURE DIAGRAM



WALL ELEVATION



ROOF PLAN TWO STORY BUILDING

TWO STORY	K _d = 0.85	Minimum Building Dimension, L:	30.0 ft
EXPOSURE C	GC _{pi} = 0.18	End Zone (a):	3.0 ft
180 MPH	K _{zt} = 1.0	a = 10% of LHD (3.0 ft) or 0.4h (6.0 ft), whichever is smaller but not less than 4% of LHD (1.2 ft) or 3 ft.	
ENCLOSED	K _h = 0.85		
GABLE	q _h = 59.85 psf		

Width (in)	Height (in)	Zone	Shutter?	Area (sqft)	K _z	q _z	GC _p +	GC _p -	Design Pressures (psf)
14.0	11.0	3		10.00	0.85	59.85	0.50	-2.60	+24.42 -99.83
120.0	24.0	3		20.00	0.85	59.85	0.44	-2.42	+22.26 -93.34
120.0	60.0	3		50.00	0.85	59.85	0.36	-2.18	+19.40 -84.77
120.0	120.0	3		100.00	0.85	59.85	0.30	-2.00	+17.24 -78.28
18.0	7.0	4		10.00	0.85	59.85	0.90	-0.99	+38.78 -42.01
120.0	24.0	4		20.00	0.85	59.85	0.85	-0.94	+37.06 -40.30
120.0	60.0	4		50.00	0.85	59.85	0.79	-0.88	+34.79 -38.02
120.0	120.0	4		100.00	0.85	59.85	0.74	-0.83	+33.07 -36.31
15.0	17.0	2		10.00	0.85	59.85	0.50	-1.70	+24.42 -67.51
120.0	24.0	2		20.00	0.85	59.85	0.44	-1.55	+22.26 -62.10
120.0	60.0	2		50.00	0.85	59.85	0.36	-1.35	+19.40 -54.96
120.0	120.0	2		100.00	0.85	59.85	0.30	-1.20	+17.24 -49.55
10.0	23.0	1		10.00	0.85	59.85	0.50	-0.90	+24.42 -38.78
120.0	24.0	1		20.00	0.85	59.85	0.44	-0.87	+22.26 -37.70
120.0	60.0	1		50.00	0.85	59.85	0.36	-0.83	+19.40 -36.27
120.0	120.0	1		100.00	0.85	59.85	0.30	-0.80	+17.24 -35.19

GENERAL STRUCTURAL NOTES

- LOADS
- ALL DESIGN PER 2010 FLORIDA BUILDING CODE
 - DEAD LOADS:
 - PARTITIONS: 20 PSF
 - WOOD STRUCTURAL RL DECKS: 15 PSF
 - LIVE LOADS:
 - ROOF: 20 PSF
 - FLOOR: 40 PSF RESIDENTIAL
 - FLOOR: 75 PSF RETAIL STORES
 - FLOOR: 80 PSF CORRIDORS
 - FLOOR: 100 PSF ASSEMBLY
 - FLOOR: 125 PSF STORAGE
 - LATERAL LOADS:
 - WIND LOADS (FBC)
 - V = 180 MPH
 - EXPOSURE C
 - I = 1.0
 - ENCLOSED BUILDING
 - INTERNAL PRESSURE COEFFICIENT ± 0.18

GENERAL

- STRUCTURAL DRAWINGS SHALL GOVERN THE WORK FOR ALL STRUCTURAL FEATURES, UNLESS NOTED OTHERWISE. THE ARCHITECTURAL DRAWINGS SHALL GOVERN THE WORK FOR ALL DIMENSIONS.
- THE METHOD AND FREQUENCY OF ATTACHING MECHANICAL EQUIPMENT UNITS, ETC., TO THE STRUCTURAL ELEMENTS SHALL BE SUBJECT TO THE ARCHITECT/ENGINEER'S REVIEW AND APPROVAL.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, ETC., AND SHALL NOTIFY THE ARCHITECT OF ANY AND ALL DISCREPANCIES, ADDITIONAL INFORMATION, ETC., BEFORE BEGINNING THE WORK.
- ALL STRUCTURAL WORK SHALL BE INSPECTED IN ACCORDANCE WITH THE BUILDING CODE AND ALL LOCAL ORDINANCES. THE OWNER SHALL ENGAGE AN EXPERIENCED, QUALIFIED INSPECTION AGENCY, SUBJECT TO THE REVIEW OF THE ARCHITECT, TO PERFORM ALL STRUCTURAL INSPECTION WORK, AS REQUIRED.
- STEP FOOTINGS BELOW ALL SANITARY AND WATER LINES.

SHOP DRAWINGS

- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR THE REVIEW OF THE ARCHITECT AND ENGINEER. SHOP DRAWINGS SHALL BE SUBMITTED FOR VARIOUS TRADES INCLUDING BUT NOT LIMITED TO: FABRICATED STRUCTURAL STEEL; REINFORCING STEEL FOR CONCRETE AND MASONRY; METAL DECK; SHEAR STUDS; AND NELSON STUDS AND ANCHORS; PRECAST CONCRETE COMPONENTS; CONCRETE FORM WORK (WHERE APPLICABLE); PREFABRICATED WOOD TRUSSES; ENGINEERED WOOD COMPONENTS (GLUE-LAMINATED WOOD FRAMING, WOOD CHORD FLOOR TRUSSES, ETC.); TEMPORARY AND/OR PERMANENT RETAINING STRUCTURES BY SPECIALTY CONTRACTORS.
- SHOP DRAWINGS TO BE SUBMITTED SHALL PROVIDE COMPLETE INFORMATION FOR THE PRODUCTS OR COMPONENTS TO BE SUPPLIED. SUBMITTAL INFORMATION SHALL INCLUDE, BUT NOT BE LIMITED TO: MEMBER SIZES AND DIMENSIONS; GRADES OF MATERIAL FURNISHED; MATERIAL PREPARATION REQUIRED; MATERIAL FINISH AND MATERIAL COATINGS TO BE FURNISHED; INFORMATION REGARDING CUTS, COPIES AND HOLES REQUIRED FOR OTHER TRADES; END CONNECTIONS; CAMBER AND OTHER DEVIATION FROM LINES; SPECIAL ERECTION AND/OR INSTALLATION PROCEDURES INCLUDING REQUIREMENTS FOR TEMPORARY STABILIZATION.
- THE CONTRACTOR SHALL NOT DIRECTLY INCORPORATE THE STRUCTURAL DRAWINGS, OR PORTIONS THEREOF, INTO SHOP DRAWINGS OR ERECTION DRAWINGS TO BE SUBMITTED FOR THIS PROJECT.
- THE REVIEW OF SHOP DRAWINGS AND OTHER SUBMITTALS FOR THIS PROJECT IS FOR CONFORMANCE WITH THE DESIGN CONCEPT AND FOR GENERAL COMPLIANCE WITH THE INFORMATION CONTAINED IN THE CONTRACT DOCUMENTS. COMMENTS REGARDING THESE SUBMITTALS DO NOT RELIEVE THE CONTRACTOR FROM COMPLIANCE WITH THE APPLICABLE CODES OR CONTRACT DOCUMENTS. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING HIS WORK IN A SAFE AND SATISFACTORY MANNER.
- SPREAD FOOTINGS HAVE BEEN DESIGNED TO BEAR ON UNDISTURBED SOILS OR PROPERLY COMPACTED FILL HAVING AN ASSUMED ALLOWABLE BEARING CAPACITY OF 2000 PSF.
- REMOVE ALL TOPSOIL, VEGETATION, ORGANIC, AND DELETERIOUS MATERIAL. STRIPPING DEPTHS ARE ANTICIPATED TO RANGE BETWEEN 0 AND 18 INCHES. SOME AREAS MAY REQUIRE STRIPPING DEEPER THAN 18 INCHES.
- THE UPPER 12 INCHES OF ALL SANDY BEARING SOILS IN THE FOOTING EXCAVATION BOTTOM SHALL BE COMPACTED TO A T LEAST 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY. COMPACTION OR RECOMPACTION OF SANDY BEARING SOILS SHALL BE DONE WITH A LIGHTWEIGHT SLED OR ROLLER. WHEN USING A LIGHTWEIGHT COMPACTOR, INDIVIDUAL FILL LIFTS SHALL BE 6 INCHES OR LESS IN LOOSE THICKNESS.
- FOLLOWING STRIPPING, THE STRIPPED AREA SHALL BE "ROOT-RAKED" TO A DEPTH OF AT LEAST 18 INCHES WITH A ROOT RAKE MOUNTED ON TRACK-MOUNTED EQUIPMENT. AT LEAST PASSES IN EACH OF TWO PERPENDICULAR DIRECTIONS SHALL BE MADE. ROOTS BROUGHT TO THE SURFACE WITH THIS PROCESS SHALL BE REMOVED.
- AFTER STRIPPING AND SITE CLEARING, COMPACT THE EXPOSED SOILS WITH A MINIMUM OF EIGHT OVERLAPPING PASSES WITH A VIBRATORY COMPACTOR. COMPACTING SHALL CONTINUE UNTIL A DENSITY OF AT LEAST 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D-1557) HAS BEEN OBTAINED TO A DEPTH OF AT LEAST 12 INCHES BELOW THE COMPACTED SURFACE. COMPACTOR COVERAGES SHALL BE DIVIDED EVENLY INTO TWO PERPENDICULAR DIRECTIONS.
- STRUCTURAL FILL SHALL CONSIST OF AN INORGANIC, NON-PLASTIC, GRANULAR SOIL CONTAINING LESS THAN 10% MATERIAL PASSING THE NO. 200 MESH SIEVE. PLACE STRUCTURAL FILL IN LIFTS NOT EXCEEDING 12 INCHES IN LOOSE THICKNESS AND COMPACT EACH LIFT THOROUGHLY WITH A VIBRATORY COMPACTOR. COMPACTION SHALL BE CONTINUED UNTIL A DENSITY OF AT LEAST 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY IS OBTAINED IN EACH LIFT.

REINFORCED CONCRETE

- ALL REINFORCED CONCRETE WORK SHALL BE IN CONFORMANCE WITH THE BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318, LATEST EDITION) AND SPECIFICATIONS FOR STRUCTURAL CONCRETE (ACI 301, LATEST EDITION) OF THE AMERICAN CONCRETE INSTITUTE.
- MINIMUM F_c REQUIRED AT 28 DAYS:
 - CONCRETE PIERS AND AUGERCAST PILES (5 SACKS CEMENT PER CYMIN. F_c = 4000 PSI)
 - FOOTINGS, SLABS ON GRADE (4 1/2 SACKS CEMENT CY) MIN. F_c = 3000
- ALL CONCRETE SHALL BE NORMAL WEIGHT CONCRETE (144 PCF ±) WITH ALL CEMENT CONFORMING TO ASTM C150, TYPE I. MAXIMUM AGGREGATE SIZE SHALL BE 1-1/2" FOR FOOTINGS AND 3/4" FOR WALLS AND SLABS CONFORMING TO ASTM C33.

- REINFORCEMENT
 - DEFORMED BARS: ASTM A615, GRADE 60
 - WELDED WIRE FABRIC: ASTM A186
- MINIMUM COVER FOR CAST-IN-PLACE CONCRETE REINF. UNLESS OTHERWISE SHOWN ON DRAWINGS. SHALL BE AS FOLLOWS:
 - FOOTINGS & GRADE BEAMS: 3"
 - COLUMNS & PEDESTALS (OVER VERT. REINF.): 2"
 - BEAMS (OVER MAIN REINF.): 2"
 - SLABS CAST AGAINST EXH. CENTERED
 USE 6x6-W2.9x2.9 WWP@ 4", 5" & 6" SLABS UNLESS NOTED OTHERWISE
- SPICES IN REINFORCEMENT, WHERE PERMITTED, SHALL BE AS FOLLOWS:
 - WELDED WIRE MESH: 8"
 - OTHERS: CLASS "B" TENSION, CASE "1" MINIMUM UNLESS OTHERWISE NOTED
- CLASS "B" CASE "1" TENSION SPICES IN INCHES, SHALL BE AS FOLLOWS:

		3000 PSI		4000 PSI	
#3	(#10)	TOP BARS	ALL OTHERS	TOP BARS	ALL OTHERS
#3	(#10)	28	22	24	18
#4	(#14)	37	29	32	25
#5	(#16)	47	36	40	31
#6	(#19)	56	43	48	37
#7	(#22)	61	53	60	54
#8	(#25)	63	63	60	62
#9	(#29)	105	81	91	70
#10	(#36)	118	91	102	75
#11	(#43)	131	101	112	87

- SPICES IN TOP REINFORCEMENT SHALL BE MADE AT MIDSPAN. SPICES IN BOTTOM REINFORCEMENT SHALL BE OVER SUPPORTS UNLESS NOTED OTHERWISE.
- TOP BARS IN BEAMS SHALL TERMINATE IN A CLASS "B" TENSION SPICE OR HOOK AT DISCONTINUOUS END.
- PARALLEL REINFORCEMENT PLACED IN TWO OR MORE LAYERS SHALL HAVE A CLEAR DISTANCE BETWEEN LAYERS OF 1 INCH. UPPER LAYER BARS SHALL BE PLACED DIRECTLY ABOVE BARS IN THE BOTTOM LAYER.
- ALL REINFORCING SHALL BE HELD SECURELY IN POSITION WITH STANDARD ACCESSORIES DURING PLACEMENT OF CONCRETE. REINFORCING SUPPORTS FOR ALL EXPOSED CONCRETE SHALL BE GALVANIZED WITH PLASTIC COATED FEET.
- ALL TIES SHALL HAVE 135 DEGREE HOOKS.
- PROVIDE 1/2" PREMULDED EXPANSION MATERIAL WHERE SLAB ON GRADE IS POURED AROUND COLUMNS AND AGAINST WALLS UNLESS OTHERWISE SHOWN ON DRAWINGS.

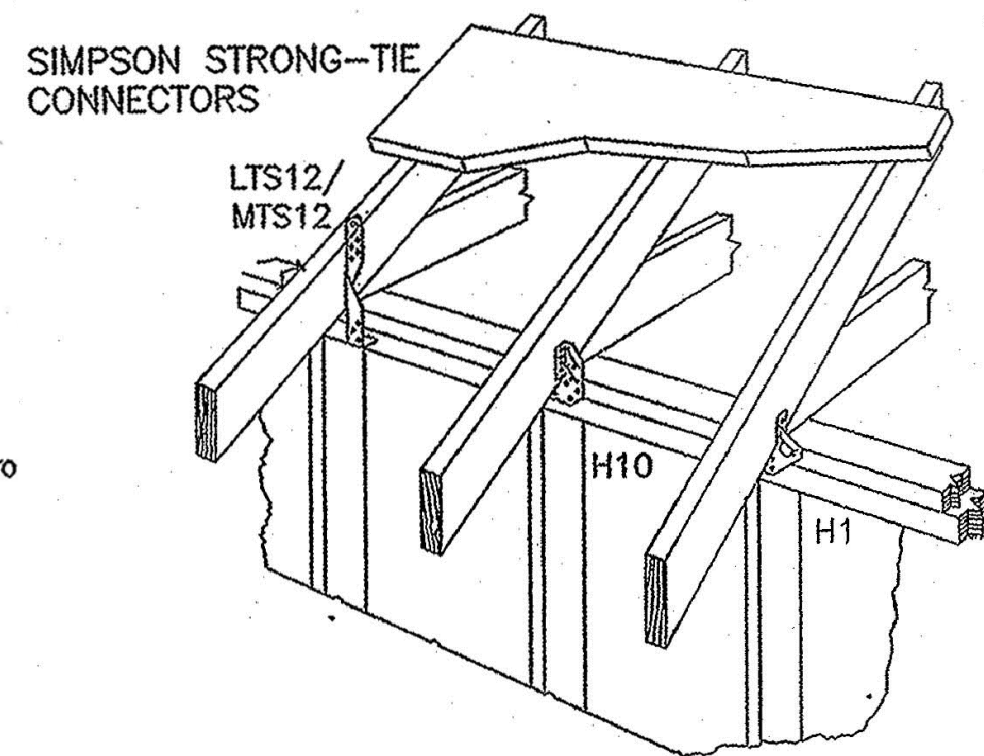
- PROVIDE NAILING PATTERN IN COMPLIANCE WITH SBC RECOMMENDED FASTENING SCHEDULE WHEN JOINING TWO OR MORE FRAMING MEMBERS.
- ALL WOOD JOISTS BEARING ENDS SHALL BE ANCHORED TO SUPPORT IN WOOD FRAMING WITH A TYPE A34 FRAMING ANCHOR, AS MANUFACTURED BY SIMPSON STRONG-TIE COMPANY, INC.
- ALL WOOD JOIST OR HEADERS ENDS WHICH FRAME INTO BEAMS SHALL BE HUNG WITH THE FOLLOWING JOISTS HANGERS, AS MANUFACTURED BY SIMPSON STRONG-TIE COMPANY, INC., OR WITH APPROVED SUBSTITUTES WITH THE FOLLOWING WORKING LOAD CAPACITIES.

JOIST SIZE	SIMPSON HANGER	LOAD CAPACITY
2x6	U2B	653 LBS
2x6	U2H	1,043 LBS
2x10	HU2B-2	890 LBS
2x12	HU2H-2	1,303 LBS
2-2x6	HU2B-2	1,688 LBS
2-2x8	HU2H-2	2,016 LBS
2-2x10	HU2B-2	
2-2x12	HU2H-2	
- ALL ROOF FRAMING WHICH BEAR ON A STUD WALL SHALL BE ATTACHED TO PLATE WITH HURRICANE TIES AS MANUFACTURED BY SIMPSON STRONG-TIE COMPANY, INC.
- ALTERNATE CONNECTION DETAILS MAY BE USED IF SUCH DETAILS ARE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL. HOWEVER, THE ENGINEER SHALL BE THE SOLE JUDGE OF ACCEPTANCE AND THE CONTRACTOR'S BID SHALL ANTICIPATE THE USE OF THOSE SPECIFIED DETAILS SHOWN ON THE DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN OF SUCH ALTERNATE DETAILS WHICH HE PROPOSES.

- PLYWOOD
- ALL PLYWOOD SHALL CONFORM TO THE MOST CURRENT APPLICABLE SPECIFICATION AND SUPPLEMENTS OF THE AMERICAN WOOD ASSOCIATION.
 - ALL ROOF AND WALL SHEATHING SHALL BE 3/4" INCH "APA RATED SHEATHING", 32/16 SPACING, EXPOSURE 1. ALL PANELS SHALL BE NAILED WITH 10d COMMON NAILS AT 4 INCHES ON CENTER AT ALL ENDS AND EDGES AND AT 12 INCHES ON CENTER AT ALL INTERMEDIATE SUPPORTS.
 - ALL FLOOR SHEATHING SHALL BE 3/4" INCH "APA RATED SHEATHING", 32/16 SPACING, EXPOSURE 1. ALL PANELS SHALL BE NAILED WITH 10d COMMON NAILS AT 6" ON CENTER AT ALL ENDS AND EDGES AND AT 12 INCHES ON CENTER AT ALL INTERMEDIATE SUPPORTS.
 - ALL PLYWOOD PANEL END JOINTS SHALL OCCUR OVER SUPPORTS AND SHALL BE STAGGERED ONE HALF PANEL LENGTH FROM ADJACENT PANELS. PROVIDE 1/8" INCH SPACE AT PANEL ENDS.

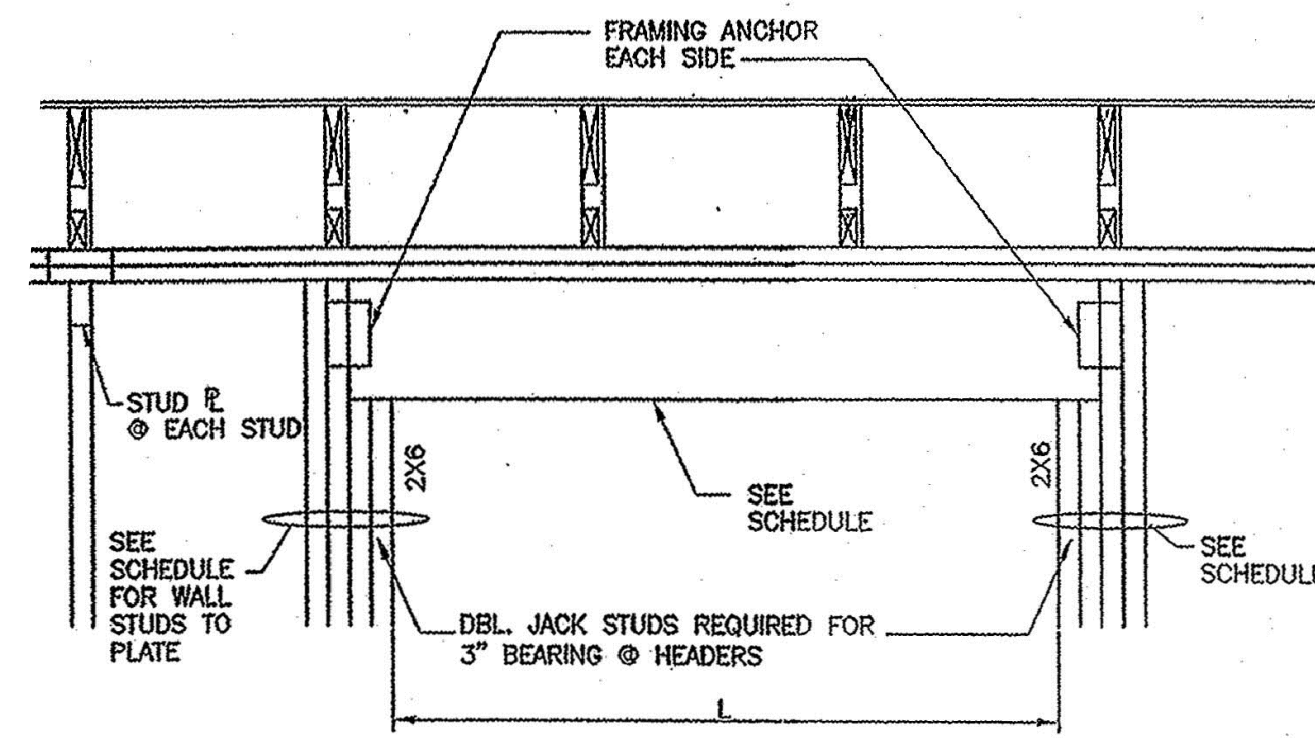
TRUSS/ RAFTER UPLIFT CONNECTION TO DOUBLE TOP PLATE

MODEL NO.	QTY REQ'D	FASTENERS (TOTAL)		UPLIFT CAPACITY (133)
		TO RAFTERS	TO PLATES	
H2.5	1	5-8d	5-8d	415
H5	1	4-8d	4-8d	455
H1	1	6-8dX1 1/2	4-8d	490
LTS12	1	6-10d	6-10d	775
H2.5	2	10-8d	10-8d	830
H10	1	8-8dX1 1/2	8-8dX1 1/2	905
H5	2	8-8d	8-8d	910
H1	2	12-8dX1 1/2	8-8d	980
MTS12	1	7-10d	7-10d	1000
LTS12	2	12-10d	12-10d	1550
H10	2	16-8dX1 1/2	16-8dX1 1/2	1810
MTS12	2	14-10d	14-10d	2000



LINTEL SCHEDULE

L	2x6 STUD WALL		2x4 STUD WALL	
	LINTEL	WALL STUDS	LINTEL	WALL STUDS
0'-0" to 4'-0"	3-2x6	2-2x6	2-2x8	2-2x4
4'-0" to 6'-0"	3-2x10	2-2x6	2-2x10	2-2x4
6'-0" to 8'-0"	3-2x10	3-2x6	2-2x12	3-2x4
8'-0" to 10'-0"	3-2x12	3-2x6	2-2x12	3-2x4



WOOD LINTEL DETAIL

SCALE: 3/8" = 1'-0"

The below requirements are for the vacuum elevator model PVE52. The external diameter of the PVE52 is 52 11/16" (1,316mm).

Standard Model Split Unit Model

- Minimum height required at the ground floor is 92" (2,34 m).
- Minimum required height at the upper floor is 107" (2,70 m).

Diameter of finished through floor hole must be 54 11/16" (1,39m).

When installing a three or four floor elevator, all openings' circular perforations should be perfectly aligned.

The electric feed shall be 220VAC single phase through an independent line of conductors of AWG N° 10 (6mm²); there shall be ground connection and a thermo-magnetic switch of 35A to be used exclusively for the elevator. The electrical supply is to be near the head (elevator's top portion) and it is required to leave the female electrical receptacle at the top center of the elevator.

It is strongly recommended that a Buck Boost or voltage stabilizer be installed along with the electrical work to prevent any damage to electrical components due to voltage fluctuation.

When installing the elevator, consider the total dimensions, as a small room will generate a higher noise level. Therefore, it is not advisable to install the split motor in a very small facility.

There must be an opening to make way for the cylinders of 54 11/16" (1,39 m) in diameter and of 92" (2,34 m) in length down to the ground floor. This access may be through door or window openings.

Install a hook to bear 320lbs at the ceiling where the elevator is to be installed to lift the cylinders. If it is impossible to install this hook, the minimum height at the last level shall be at least 109" (2,75 m).

In no case must the perforation of the ceiling be less than 2" (5cm) from the wall, in order to allow for the installation tripod.



General:

- External cylinder diameter: 52 11/16" (1,339mm)
- Rated Load: 525 lbs. (238 kg)
- Speed: 20 fpm (.10 ms)
- No pit required. Bottom level floor must be 100% level as elevator rests on existing floor.
- No hoistway required.
- Minimum overhead clearance:
 - Standard Unit (turbine motors located on top): 107" (2,719mm)
 - Split Unit (turbine motors located remotely): 97" (2,464mm)
- Penetration required to install through floors and ceilings: 54 11/16" (1,389mm)

Mechanical Requirements

- 220V, 60/50 Hz, 35amp single phase power supply
- 6 turbine motors located in pump box using a total of 6KW

Cabin:

- Entrance width opening: 32" (813mm)
- Internal cabin height: 79" (2007mm)
- Internal cabin diameter: 44" (1,118mm)
- Automatic LED lighting and cabin fan
- Door openings: same side (in-line) and walk through (180°).
 - All doors are hinged on top left, with door swing to the left, from inside the cabin.
 - Door Height: 79 3/4" (2,026mm)
 - Height to top of Door closer: 81 1/2" (2,071mm)
 - Each landing level specified will include only one door.
- 24 Volt electrical circuits with all controls in cabin
- Push button call controls with precise leveling at each landing.

Safety:

- Automatic descent to ground level at safety speed in the event of a power failure.
- Mechanical emergency brakes within two inches of freefall in vacuum loss or catastrophic failure.
- Electromechanical interlocks at each landing
- Alarm system and telephone (optional)

Property Appraiser Information



Scott P. Russell, CFA
Property Appraiser
Monroe County, Florida

Key West (305) 292-3420
Marathon (305) 289-2550
Plantation Key (305) 852-7130

Property Record Card -
Maps are now launching the new map application version

Website tested on IE8,
IE9, & Firefox.
Requires Adobe Flash
10.3 or higher

Alternate Key: 8865287 Parcel ID: 00010120-000226

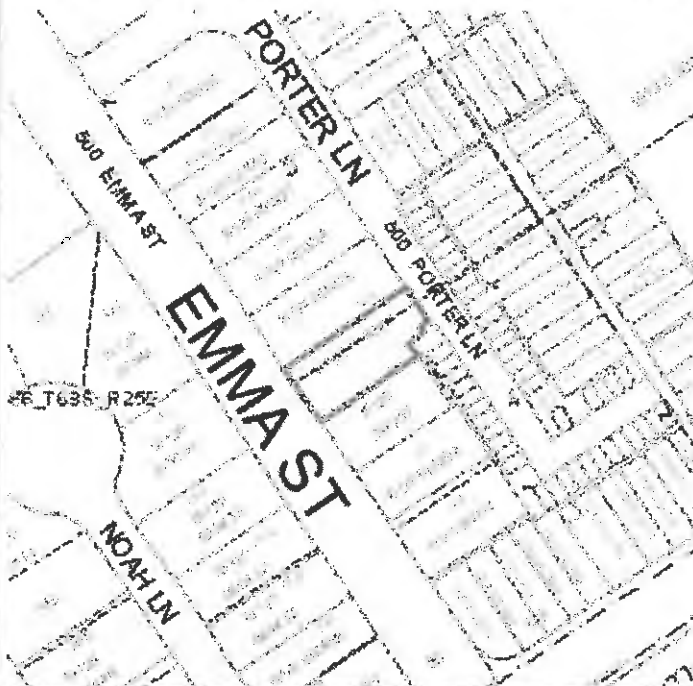
Ownership Details

Mailing Address:
SANGER JAMES R AND MARJORIE F
516 EMMA ST
KEY WEST, FL 33040-8306

Property Details

PC Code: 01 - SINGLE FAMILY
Millage Group: 10KW
Affordable Housing: No
Section-Township-Range: 06-68-25
Property Location: 516 EMMA ST KEY WEST
Legal Description: KW PT LOT 3 SQR 52 (A/K/A PT LOTS 125 AND 126) .094 AC OR1347-2159/62 OR1787-1053/54R/S OR2453-1682/84

Click Map Image to open interactive viewer



Exemptions

Exemption	Amount
39 - 25000 HOMESTEAD	25,000.00
44 - ADDL HOMESTEAD	25,000.00

Land Details

Land Use Code	Frontage	Depth	Land Area
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010D - RESIDENTIAL DRY	44	80	4,097.00 SF
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Building Summary

Number of Buildings: 1
Number of Commercial Buildings: 0
Total Living Area: 2332
Year Built: 1995

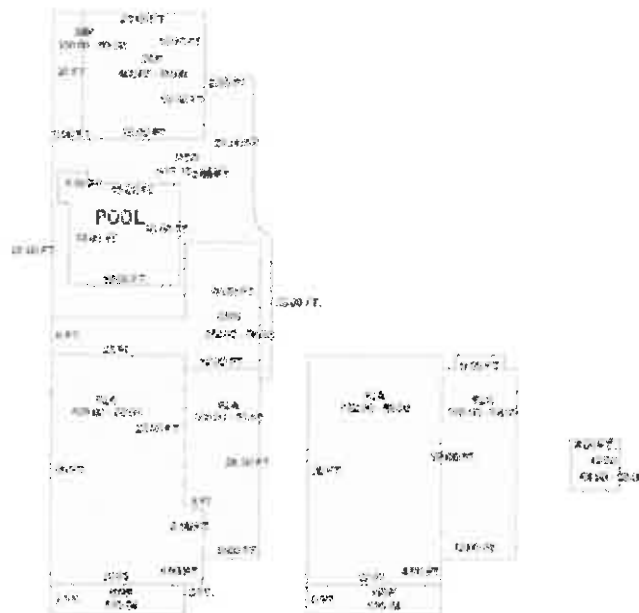
Building 1 Details

Building Type R1	Condition G	Quality Grade 650
Effective Age 16	Perimeter 284	Depreciation % 18
Year Built 1995	Special Arch 0	Grnd Floor Area 2,332
Functional Obs 0	Economic Obs 0	

Inclusions: R1 includes 1 3-fixture bath and 1 kitchen.
Roof Type GABLE/HIP **Roof Cover** METAL **Foundation** CONC PILINGS
Heat 1 FCD/AIR DUCTED **Heat 2** NONE **Bedrooms** 3
Heat Src 1 ELECTRIC **Heat Src 2** NONE

Extra Features:

2 Fix Bath	1	Vacuum	0
3 Fix Bath	1	Garbage Disposal	0
4 Fix Bath	0	Compactor	0
5 Fix Bath	0	Security	0
6 Fix Bath	0	Intercom	0
7 Fix Bath	0	Fireplaces	0
Extra Fix	0	Dishwasher	0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic A/C	Basement %	Finished Basement %	Area
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1	FLA	13:CUSTOM	1	1995	N	Y	0.00	0.00	828
2	OPF		1	1995					110
3	OPX		1	1995					372
4	PTO		1	2004					921
5	FLA	13:CUSTOM	1	2004	N	Y			336
6	FLA	13:CUSTOM	1	1995	N	Y	0.00	0.00	792
7	OUF		1	1995					110
8	OJU		1	1995	N	Y	0.00	0.00	64
9	DCF		1	1995	N	N	0.00	0.00	400
10	FLA	13:CUSTOM	1	2004	N	Y			376
11	SBF	13:CUSTOM	1	2004					100

Misc Improvement Details

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
1	PT2:BRICK PATIO	168 SF	56	3	1995	1995	2	50
2	FN2:FENCES	379 SF	0	0	1994	1995	2	30
3	PO4:RES POOL	204 SF	0	0	1994	1995	5	50

Building Permits

Bldg Number	Date Issued	Date Completed	Amount	Description	Notes
1 10-3027	09/27/2010	06/25/2013	250	Residential	RENOVATION/ALTERATIONS OF TV & PHONE
1 10-3022	09/27/2010	06/25/2013	360,000	Residential	REMOVE EXIST. FLOORING. REPLACE WITH WOOD, REPLACE EXISTING SPIRAL, REPLACE WINDOW & DOOR WITH IMPACT, BUILD NEW DECKING, MISC. REPAIR.
1 10-3026	09/27/2010	06/25/2013	15,000	Residential	PLUMBING FOR 5-TOILETS, 2-SHOWERS, 2-BATHTUBS, 6-LAVATORIES, 1-KITCHEN SINK, 1-DISHWASHER, 1-BAR SINK, 2-WATER HEATERS.
1 11-0853	03/16/2011	06/25/2013	2,750	Residential	INSTALL LOW VOLTAGE SYSTEMS: HOME AUDIO AUTOMATION CONTROL, SURROUND SOUND, INTERCOM, CAMERAS, SECURITY WITH SMOKE DETECTORS.
1 10-3025	12/20/2010	06/25/2013	12,500	Residential	PERMIT ON HOLD; PROPERTY LINE ISSUE UNDER DEBATE. (IN CALL BACK FILE UP FRONT) REPLACE AND REMOVE 2 EXISTING A/C UNITS. ALSO REPLACE ALL ACCESSIBLE DUCT WORK.
1 10-3023	09/27/2010	06/25/2013	6,875	Residential	INSTALL 400 SQ/FT 4 SQS OF 60 MILL SINGLE PLY ROOFING ON THE WIDOWS WALK AND NEW BUILT REAR PORCH. INSTALL 150 SQ/FT 1 1/2 OF 26 G GALVALUME V-CRIMP METAL ROOFING AT TIE-IN/PORCH AREA.
1 10-3022	01/31/2011	06/25/2013	3,500	Residential	REVISION: REMOVE 600 SQ' OF WOOD FLOOR BY CONCRETE SLAB.
1 10-4010	12/29/2010	06/25/2013	20,000	Residential	REMOVE EXISTING POOL. NEW TILE COPING SWIM JET LIGHTS PLASTER.
1 10-3028	09/27/2010	06/25/2013	9,000	Residential	RELOCATE 200 AMP SERVICE & REPLACE DEVICES & LIGHT FIXTURES.
1 B95-0187	01/01/1995	03/01/1995	1,000	Residential	AUGER HOLES
1	02/01/1995	03/01/1995	130,000	Residential	NEW 2 STRY SFR W/CP

	B95-0495						
1	M95-0581	02/01/1995	03/01/1995	4,000	Residential	4 TON AC	
1	A95-0581	02/01/1995	03/01/1995	4,781	Residential	12 SQS METAL ROOFING	
1	B95-1895	03/01/1995	04/01/1995	9,000	Residential	12X16 POOL/168SF DECK	
1	E95-0928	03/01/1995	03/01/1995	3,600	Residential	ELECTRICAL SERVICE	
1	B95-1213	04/01/1995	05/01/1995	4,200	Residential	420SF REAR DECK	
1	97-0155	01/01/1997	07/01/1997	1,200	Residential	REPAIRS/REMODELING	
1	99-0359	01/28/1999	11/02/1999	900	Residential	REPLACE PORCH FLOORING	
1	01-2556	07/16/2001	10/01/2002	1,750	Residential	REPLACE AIR HANDLER	
1	03-1964	08/08/2003	08/06/2004	147,000	Residential	ADDITION & ENLARGE CARPORT	
1	03-3780	10/31/2003	08/06/2004	6,200	Residential	METAL & RUBBER ROOF	
1	04-0506	03/02/2004	08/06/2004	16,000	Residential	EXPAND CARPORT	
1	06-3842	06/16/2006	07/24/2006	1,200	Residential	REPLACE RAKE BOARDS AT GABLES	
1	07-4273	09/11/2007	02/20/2008	10,000	Residential	INSTALL 9 SHUTTERS	

Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2015	377,274	15,076	1,244,388	1,636,738	1,636,738	25,000	1,611,738
2014	361,341	14,143	1,231,690	1,607,174	1,463,359	0	1,607,174
2013	364,240	13,750	952,337	1,330,327	1,330,327	0	1,330,327
2012	372,811	14,202	897,313	1,284,326	1,284,326	0	1,284,326
2011	372,811	14,668	994,664	1,382,143	1,382,143	0	1,382,143
2010	377,096	15,122	910,011	1,302,229	1,236,842	25,000	1,211,843
2009	419,100	15,575	863,453	1,298,128	1,219,393	25,000	1,194,393
2008	397,353	16,041	1,290,555	1,703,949	1,421,734	25,000	1,396,734
2007	477,748	12,424	1,208,615	1,698,787	1,402,558	25,000	1,377,558
2006	1,083,709	12,770	491,640	1,588,119	1,333,732	25,000	1,308,732
2005	855,756	13,129	450,670	1,319,555	1,183,731	25,000	1,158,731
2004	464,302	17,850	450,670	932,822	752,175	25,000	727,175
2003	412,573	18,303	307,275	738,151	738,151	25,000	713,151
2002	570,825	18,768	184,365	773,958	773,958	0	773,958

2001	509,327	19,221	184,365	712,913	712,913	0	712,913
2000	406,790	24,658	131,104	562,552	562,552	0	562,552
1999	366,665	22,745	131,104	520,514	520,514	0	520,514
1998	290,564	18,430	131,104	440,098	440,098	0	440,098
1997	255,973	16,589	102,425	374,987	374,987	0	374,987
1996	228,301	15,121	102,425	345,846	345,846	0	345,846
1995	0	0	92,183	92,183	92,183	0	92,183

Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

Sale Date	Official Records Book/Page	Price	Instrument	Qualification
2/18/2010	2453 / 1682	2,062,500	WD	01
5/24/2002	1787 / 1053	137,500	WD	H
3/1/1995	1347 / 2159	355,000	WD	Q

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Monroe County Property Appraiser
 Scott P. Russell, CFA
 P.O. Box 1176 Key West, FL 33041-1176