



Staff Report for Item 9

To: Chairman Bryan Green and Historic Architectural Review Commission Members

From: Kelly Perkins, MHP
HARC Assistant Planner

Meeting Date: March 22, 2016

Applicant: Toolbox GC

Application Number: H16-01-0124

Address: #1411 White Street

Description of Work:

One story frame addition on rear existing deck.

Site Facts:

Located at the corner of White Street and Washington, the single-story, masonry vernacular building is listed as a contributing resource and was constructed 1928, but the structure appears on the 1926 Sanborn map. Unfortunately, earlier Sanborn maps do not cover that block. The structure has a side gable roof with a front gable front porch with tapered columns. It currently has a non-historic one-story frame addition in the rear, which does not match the footprint of the one-story rear addition on the Sanborn maps.

Guidelines Cited in Review:

Additions and Alterations/New Construction (pages 36-38a), specifically the guidelines for additions and alterations.

Staff Analysis

This Certificate of Appropriateness proposes the construction of a one-story addition over a rear deck, next to the existing rear addition. The new addition will be 8 feet shorter than the main house and almost 2 feet shorter than the rear addition. As the new addition is along the side of the building that faces Washington Street, it will be very visible from the public right-of-way. The new addition will have hardi-board siding, v-crimp roofing, two

fabric awnings that will match the rest of the building, and aluminum impact windows and doors. The applicant has stated that none of the existing roof will be removed.

Consistency with the Guidelines

Staff believes the project is consistent with the guidelines in regards to additions and alterations. Even though the addition will be very visible, it is located on a secondary elevation. The project will have no impact on any historic structure or an adverse impact on the historic district.

APPLICATION

COMBINATION APPLICATION: FLOODPLAIN, CONSTRUCTION AND HARC

1-20-16

\$50.00 APPLICATION FEE NON-REFUNDABLE



City of Key West

3140 FLAGLER AVENUE
KEY WEST, FLORIDA 33040

Phone: 305.809.3956

HARC PERMIT NUMBER 16-01-0124		BUILDING PERMIT NUMBER 16-358		INITIAL & DATE
FLOODPLAIN PERMIT				REVISION #
FLOOD ZONE	PANEL #	ELEV. L. FL.	SUBSTANTIAL IMPROVEMENT <input type="checkbox"/> YES <input type="checkbox"/> NO _____ %	

ADDRESS OF PROPOSED PROJECT:

1411 White Street

OF UNITS **1**

RE # OR ALTERNATE KEY:

1041998

NAME ON DEED:

White and Washington LLC

PHONE NUMBER

OWNER'S MAILING ADDRESS:

1411 White Street

EMAIL

Key West, FL 33040

CONTRACTOR COMPANY NAME:

Toolbox GC

PHONE NUMBER

305-294-7776

CONTRACTOR'S CONTACT PERSON:

Kevin Melloncamp

EMAIL

kevin@toolboxgc.com

ARCHITECT / ENGINEER'S NAME:

PHONE NUMBER

ARCHITECT / ENGINEER'S ADDRESS:

EMAIL

BY: *[Signature]*

JAN 25 2016

HARC: PROJECT LOCATED IN HISTORIC DISTRICT OR IS CONTRIBUTING: YES NO (SEE PART C FOR HARC APPLICATION.)

CONTRACT PRICE FOR PROJECT OR ESTIMATED TOTAL FOR MAT'L., LABOR & PROFIT:

\$30,000.

FLORIDA STATUTE 837.06: WHOEVER KNOWINGLY MAKES A FALSE STATEMENT IN WRITING AND WITH THE INTENT TO MISLEAD A PUBLIC SERVANT IN THE PERFORMANCE OF HIS OR HER OFFICIAL DUTY SHALL BE GUILTY OF A MISDEMEANOR OF THE SECOND DEGREE PUNISHABLE PER SECTION 775.082 OR 775.083.

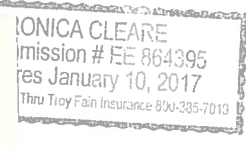
PROJECT TYPE: ONE OR TWO FAMILY MULTI-FAMILY COMMERCIAL NEW REMODEL
 CHANGE OF USE / OCCUPANCY ADDITION SIGNAGE WITHIN FLOOD ZONE _____
 DEMOLITION SITE WORK INTERIOR EXTERIOR AFTER-THE-FACT

DETAILED PROJECT DESCRIPTION INCLUDING QUANTITIES, SQUARE FOOTAGE ETC.,

Replace existing Open Deck with NEW 1 Story Frame Addition of 130 Sq.Ft.

I'VE OBTAINED ALL NECESSARY APPROVALS FROM ASSOCIATIONS, GOVT AGENCIES AND OTHER PARTIES AS APPLICABLE TO COMPLETE THE DESCRIBED PROJECT.	
OWNER PRINT NAME:	QUALIFIER PRINT NAME: Kevin Melloncamp
OWNER SIGNATURE:	QUALIFIER SIGNATURE: <i>[Signature]</i>
Notary Signature as to owner:	Notary Signature as to qualifier: <i>[Signature]</i>
STATE OF FLORIDA; COUNTY OF MONROE, SWORN TO AND SCRIBED BEFORE ME THIS <u>1/25</u> DAY OF <u>January</u> , 20 <u>16</u> .	STATE OF FLORIDA; COUNTY OF MONROE, SWORN TO AND SCRIBED BEFORE ME THIS <u>25th</u> DAY OF <u>January</u> , 20 <u>16</u> .
Personally known or produced as identification.	as identification.

Notified contractor that an additional set of plans are req'd.



8296-12099-015

Open: KEVIN D
Date: 1/15/16 5:54:19
Permit #: 016
Type: BP
3075953
13436
\$50.00
\$100.00
8522

PART B: SUPPLEMENTARY PROJECT DETAILS TO AVOID DELAYS / CALL-BACKS

PROPERTY STRUCTURES AFFECTED BY PROJECT: MAIN STRUCTURE ACCESSORY STRUCTURE SITE

ACCESSORY STRUCTURES: GARAGE / CARPORT DECK FENCE OUTBUILDING / SHED

FENCE STRUCTURES: 4 FT. 6 FT. SOLID 6 FT. / TOP 2 FT. 50% OPEN

POOLS: INGROUND ABOVE GROUND SPA / HOT TUB PRIVATE PUBLIC

PUBLIC POOLS REQUIRE BD. OF HEALTH LICENSE APPLICATION AT TIME OF CITY APPLICATION.
PUBLIC POOLS REQUIRE BD. OF HEALTH LICENSE PRIOR TO RECEIVING THE CITY CERTIFICATE OF OCCUPANCY.

ROOFING: NEW ROOF-OVER TEAR-OFF REPAIR AWNING
 5 V METAL ASPLT. SHGLS. METAL SHGLS. BLT. UP TPO OTHER

FLORIDA ACCESSIBILITY CODE: 20% OF PROJECT FUNDS INVESTED IN ACCESSIBILITY FEATURES.

SIGNAGE: # OF SINGLE FACE # OF DOUBLE FACE REPLACE SKIN ONLY BOULEVARD ZONE
 POLE WALL PROJECTING AWNING HANGING WINDOW

SQ. FT. OF EACH SIGN FACE: _____

SUBCONTRACTORS / SPECIALTY CONTRACTORS SUPPLEMENTARY INFORMATION:

MECHANICAL: DUCTWORK COMMERCIAL EXH. HOOD INTAKE / EXH. FANS LPG TANKS
A / C: COMPLETE SYSTEM AIR HANDLER CONDENSER MINI-SPLIT

ELECTRICAL: LIGHTING RECEPTACLES HOOK-UP EQUIPMENT LOW VOLTAGE
SERVICE: OVERHEAD UNDERGROUND 1 PHASE 3 PHASE _____ AMPS

PLUMBING: ONE SEWER LATERAL PER BLDG. INGROUND GREASE INTCPTRS. LPG TANKS

RESTROOMS: MEN'S WOMEN'S UNISEX ACCESSIBLE

PART C: HARC APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS

APPLICATION FEES: PAINTING SINGLE FAMILY: \$10 STAFF APPROVAL: \$50 COMMISSION REVIEW \$100

PLEASE ATTACH APPROPRIATE VARIANCES / RESOLUTIONS FROM HARC, PLANNING BOARD OR TREE COMMISSION.

ATTENTION: NO BUILDING PERMITS WILL BE ISSUED PRIOR TO HARC APPROVAL.

PLEASE SEND ELECTRONIC SUBMISSIONS TO: harc@cityofkeywest-fl.gov

INDICATE TYPE OF CERTIFICATE OF APPROPRIATENESS: GENERAL DEMOLITION SIGN PAINTING OTHER

ADDITIONAL INFORMATION: _____

PROJECT SPECIFICATIONS: PLEASE PROVIDE PHOTOS OF EXISTING CONDITIONS, PLANS, PRODUCT SAMPLES, TECHNICAL DATA

ARCHITECTURAL FEATURES TO BE ALTERED:	ORIGINAL MATERIAL:	PROPOSED MATERIAL:
Open Deck	Wood	Wood & Concrete Addition

DEMOLITION: PLEASE FILL OUT THE HARC APPENDIX FOR PROPOSED DEMOLITION.

DEMOLITION OF HISTORIC STRUCTURES IS NOT ENCOURAGED BY THE HISTORIC ARCHITECTURAL REVIEW COMMISSION.

SIGNAGE: (SEE PART B) BUSINESS SIGN BRAND SIGN OTHER: _____

BUSINESS LICENSE # _____ IF FAÇADE MOUNTED, SQ. FT. OF FAÇADE _____

Oper: KEYWBLD Type: BP Drawer: 1
Date: 1/28/16 50 Receipt no: 8522
PT 2016 *1000124
Trans number: 1.00 BUILDING PERMITS-NEW \$50.00
CK CHECK 3075954 \$100.00
Trans date: 1/25/16 13436
Time: 16:54:19

SIGN SPECIFICATIONS		
SIGN COPY:	PROPOSED MATERIALS:	SIGNS WITH ILLUMINATION:
		TYPE OF LTG.:
		LTG. LINEAL FTG.:
MAX. HGT. OF FONTS:		COLOR AND TOTAL LUMENS:
IF USING LIGHT FIXTURES PLEASE INDICATE HOW MANY: INCLUDE SPEC. SHEET WITH LOCATIONS AND COLORS.		

OFFICIAL USE ONLY:		HARC STAFF OR COMMISSION REVIEW	
<input type="checkbox"/> APPROVED	<input type="checkbox"/> NOT APPROVED	<input type="checkbox"/> DEFERRED FOR FUTURE CONSIDERATION	<input type="checkbox"/> TABLED FOR ADD'L. INFO. <input type="checkbox"/>
HARC MEETING DATE:	HARC MEETING DATE:	HARC MEETING DATE:	
REASONS OR CONDITIONS:			
STAFF REVIEW COMMENTS:			
HARC PLANNER SIGNATURE AND DATE:		HARC CHAIRPERSON SIGNATURE AND DATE:	

PART D: STATE OF FLORIDA OFFICIAL NOTIFICATIONS AND WARNINGS

FLORIDA STATUTE 713.135: WARNING TO OWNER: YOUR FAILURE TO RECORD A 'NOTICE OF COMMENCEMENT' MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED WITH THE COUNTY RECORDER AND A COPY POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING A NOTICE.

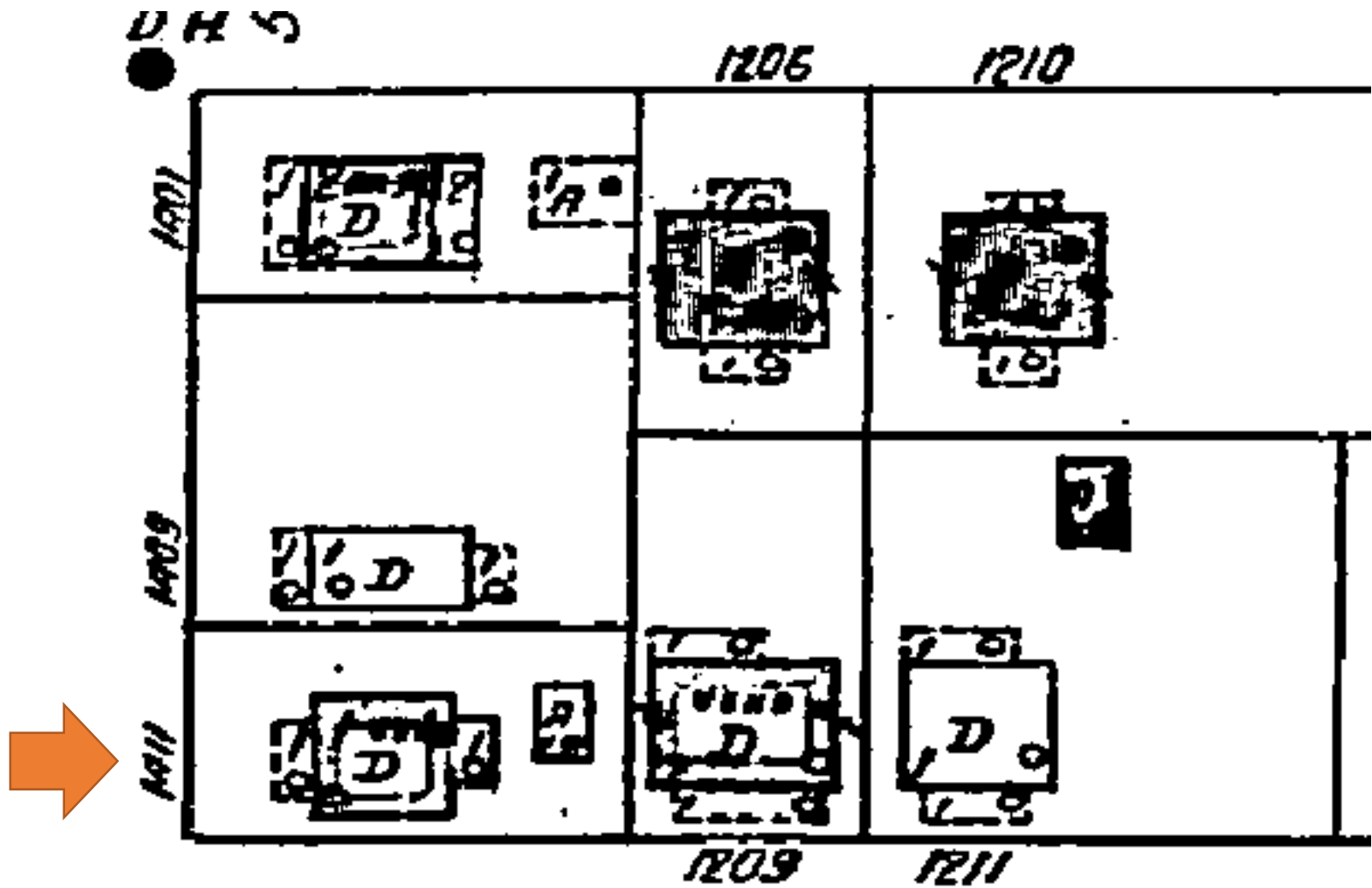
FLORIDA STATUTE 469: ABESTOS ABATEMENT. AS OWNER / CONTRACTOR / AGENT OF RECORD FOR THE CONSTRUCTION APPLIED FOR IN THIS APPLICATION, I AGREE THAT I WILL COMPLY WITH THE PROVISIONS F. S. 469.003 AND TO NOTIFY THE FLORIDA D. E. P. OF MY INTENT TO DEMOLISH / REMOVE ASBESTOS. IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT APPLICATION, THERE MAY BE DEED RESTRICTIONS AND / OR ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF MONROE COUNTY AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENT ENTITIES SUCH AS AQUADUCT ATHORITY, FLORIDA DEP OR OTHER STATE AGENCIES; ARMY CORPS OF ENGINEERS OR OTHER FEDERAL AGENCIES.

FEDERAL LAW REQUIRES LEAD PAINT ABATEMENT PER THE STANDARDS OF THE USDEP ON STRUCTURES BUILT PRIOR TO 1978.

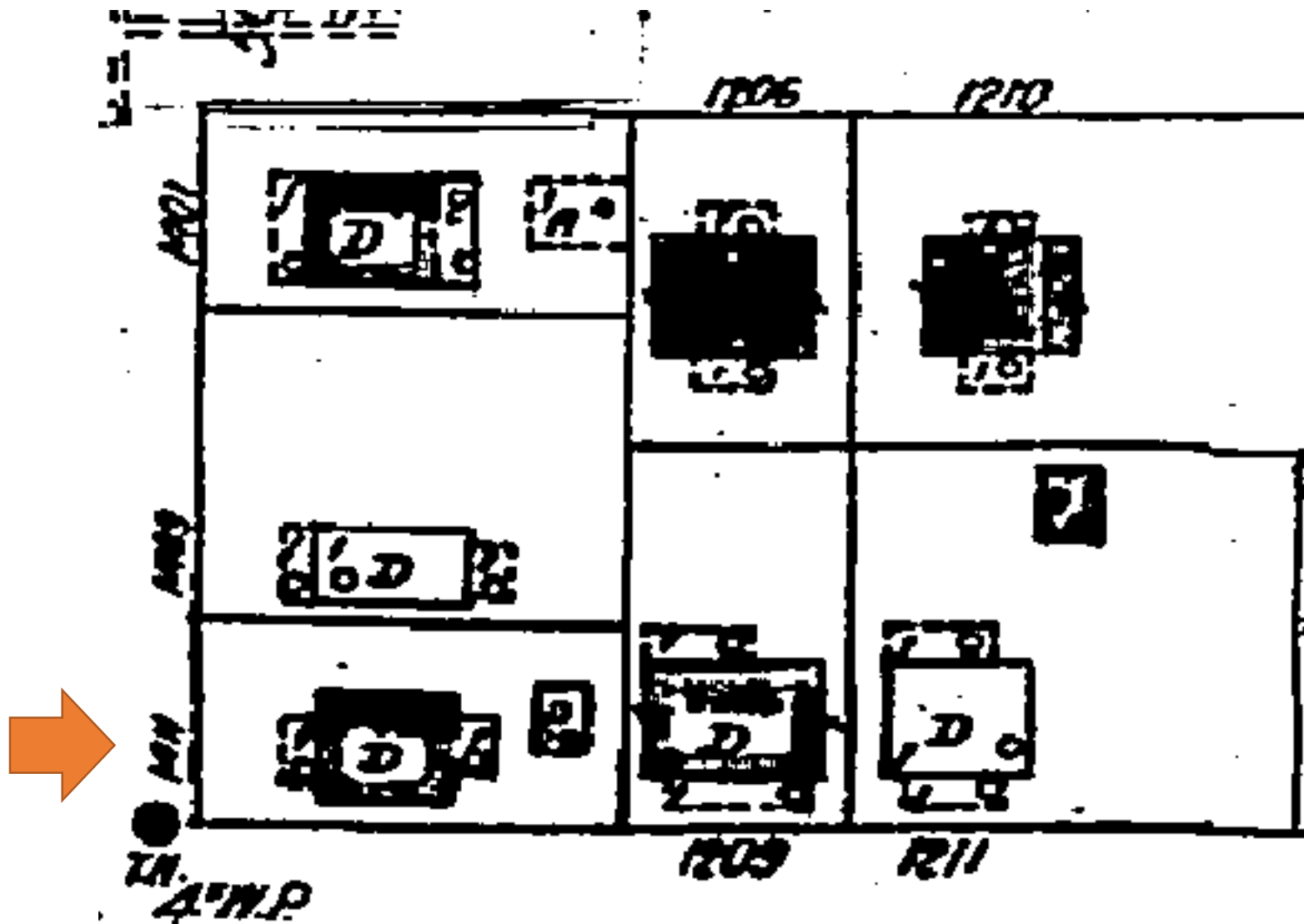
OFFICIAL USE ONLY BY PLANS EXAMINER OR CHIEF BUILDING OFFICIAL:				CBO OR PL. EXAM. APPROVAL:
HARC FEES:	BLDG. FEES:	FIRE MARSHAL FEE:	IMPACT FEES:	
				DATE:

Oper: KEYWBLD Type: BP Drawer: J
 Date: 3/04/16 50 - Receipt no: 11498
 2016 1000124-
 PT * BUILDING PERMITS-NEW
 1.00 \$50.00
 CK CHECK 13470 \$50.00
 Total tendered \$50.00
 Total payment \$50.00
 Trans date: 3/04/16 Time: 10:57:08

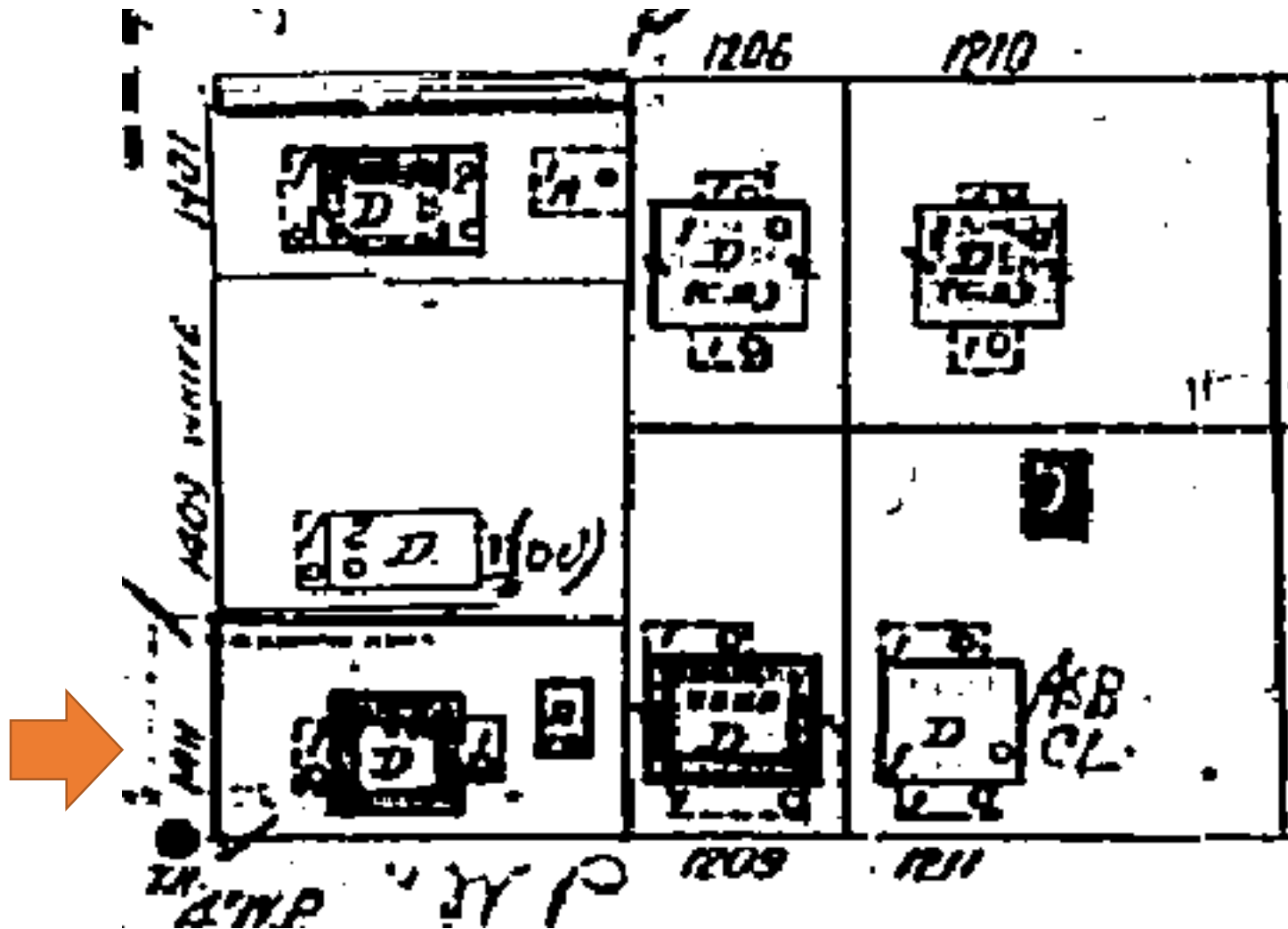
SANBORN MAPS



1926 Sanborn Map



1948 Sanborn Map



1962 Sanborn Map

PROJECT PHOTOS



Ventilation grille on the gable end of the roof.

1411

Handwritten pink sign on the utility pole.

1214







NO
TRESPASSING









SURVEY

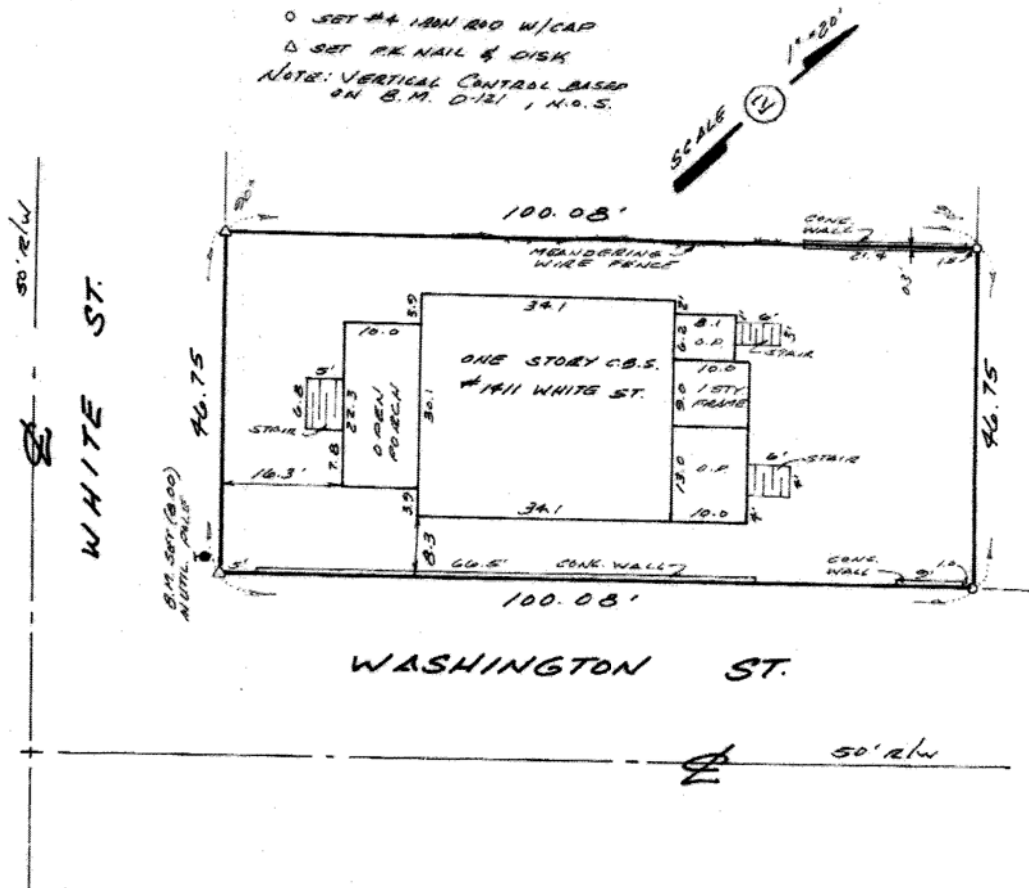


PHILLIPS & TRICE SURVEYING, INC.

Professional Land Surveyors
1204 Simonton Street
Key West, Florida 33040
(305) 294-4747

JACK M. PHILLIPS, P.L.S.
FLORIDA CERTIFICATE NO. 1410

JOE M. TRICE, P.L.S.
FLORIDA CERTIFICATE NO. 2110



TOPOGRAPHIC SURVEY OF: Lot 1, Square 5 of a Subdivision of Tract 19 by the TROPICAL BUILDING AND INVESTMENT COMPANY according to the plat thereof, as recorded in Plat Book 1 at Page 34 of the Public Records of Monroe County, Florida.

TOPOGRAPHIC SURVEY FOR: NABLO-TROXEL

I HEREBY CERTIFY that the survey delineated hereon meets or exceeds the minimum technical standards as set forth by the Florida Board of Land Surveyors, pursuant to Section 472.027 of the Florida Statutes, and that there are no encroachments, above ground, other than those shown hereon.

THIS SURVEY IS NOT VALID UNLESS EMBOSSED WITH A RAISED SEAL

June 12, 1989
Key West, Florida

PHILLIPS & TRICE SURVEYING, INC.

Joe M. Trice
Professional Surveyor
Florida Reg. Cert. #2110

PROPOSED DESIGN

SITE DATA

ZONING: HMDR
SETBACKS: F 10', S 5', R 15', SS 7.5"

LOT SIZE: 46.75' x 100' = 4,675 Sq.Ft.
DENSITY: DU / ACRE
FAR: N/A

BUILDING COVERAGE (Drip Line):

EXISTING: 1,875 Sq.Ft. / 4,675 = 40% < 40% OK

PROPOSED: No Change

IMPERVIOUS SURFACE COVERAGE:

EXISTING: 2,010 Sq. Ft. / 4,675 = 43% < 60% OK

PROPOSED: No Change

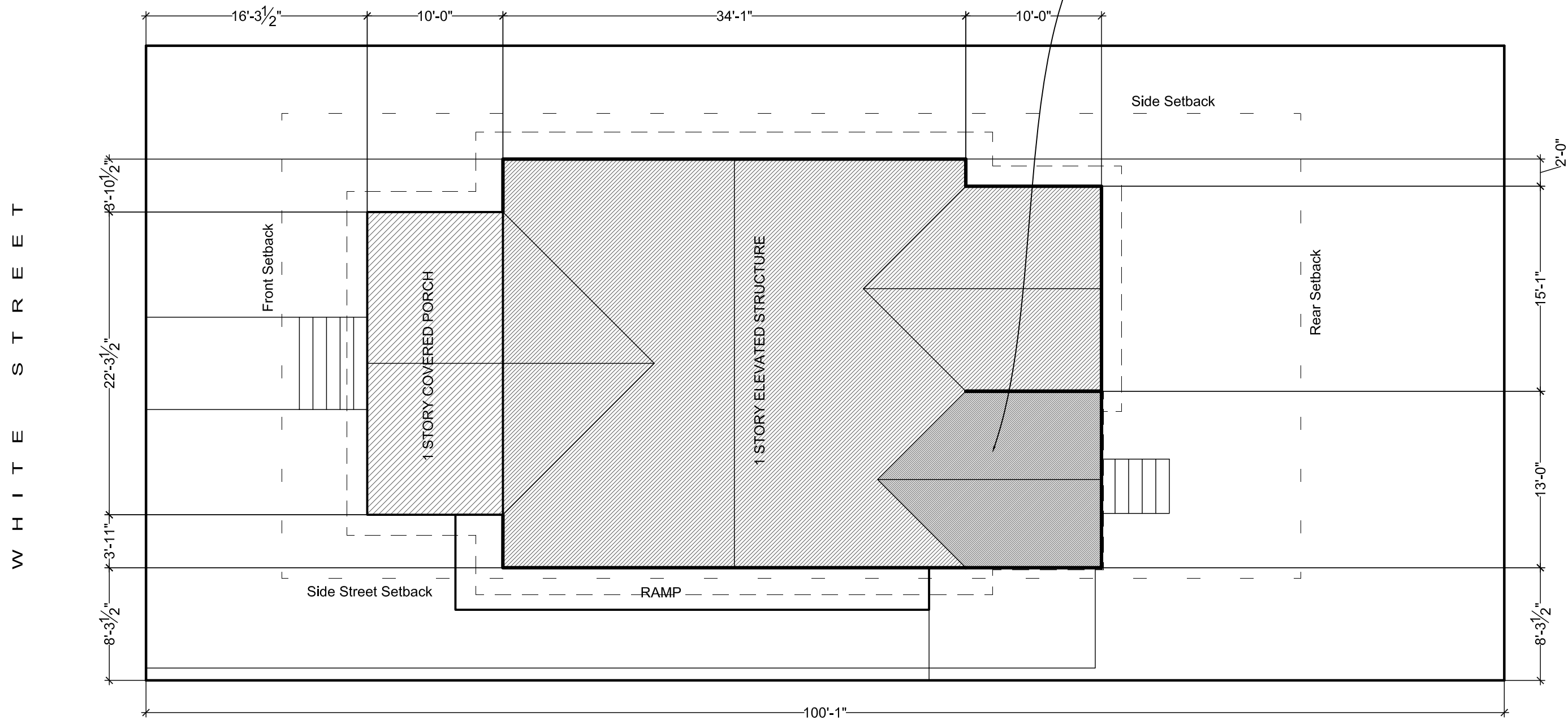
OPEN SPACE (Green Area): 35% MIN OK

STORM WATER MANAGEMENT CALCULATIONS

ADDITIONAL IMPERVIOUS AREA = 0
LOT AREA = 4,675 SQ.FT.

No Additional Impervious Surface

Replace existing Open Deck
with NEW 1 Story Frame Addition.
Frame new gable roof structure atop
existing historic roof



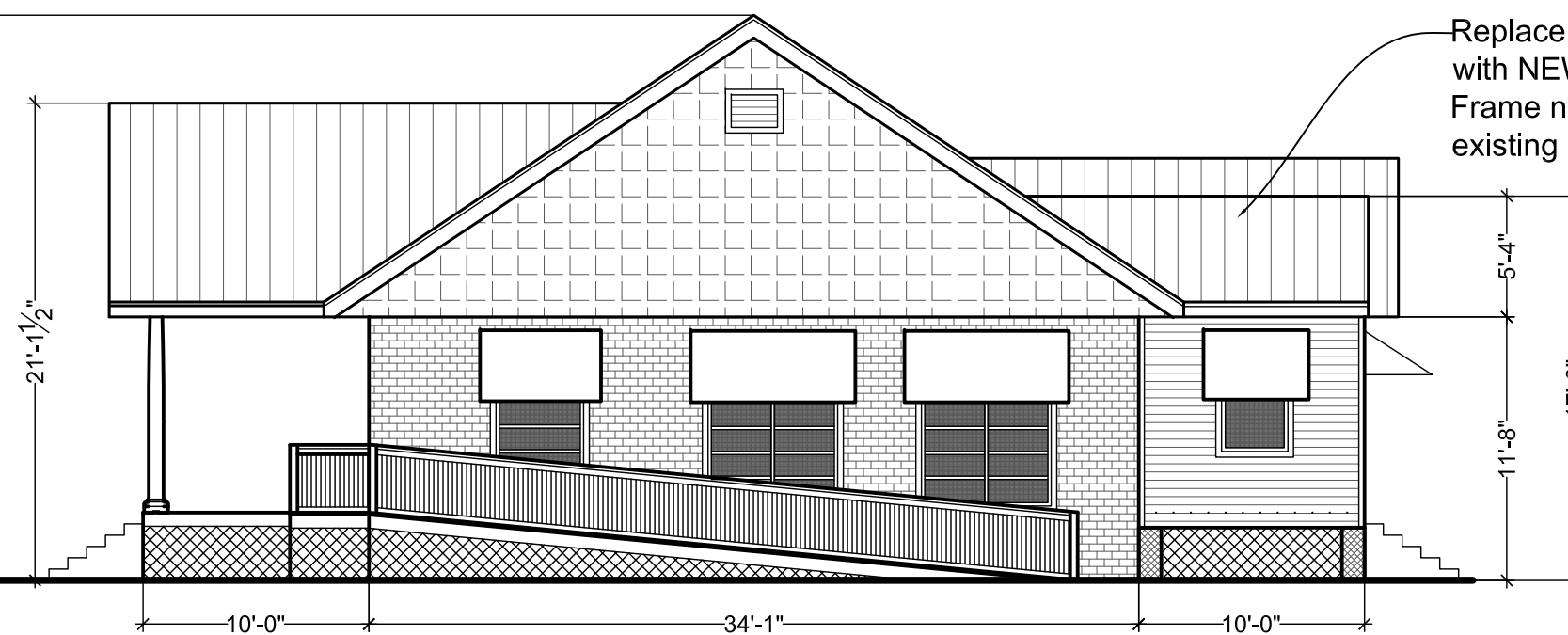
W A S H I N G T O N S T R E E T

SITE PLAN
1/8" = 1'-0"


SP1a
2-18-2016



FRONT ELEVATION
 $\frac{1}{8}'' = 1'-0''$



RIGHT SIDE ELEVATION
 $\frac{1}{8}'' = 1'-0''$

Replace existing Open Deck with NEW 1 Story Frame Addition. Frame new gable roof structure atop existing historic roof.

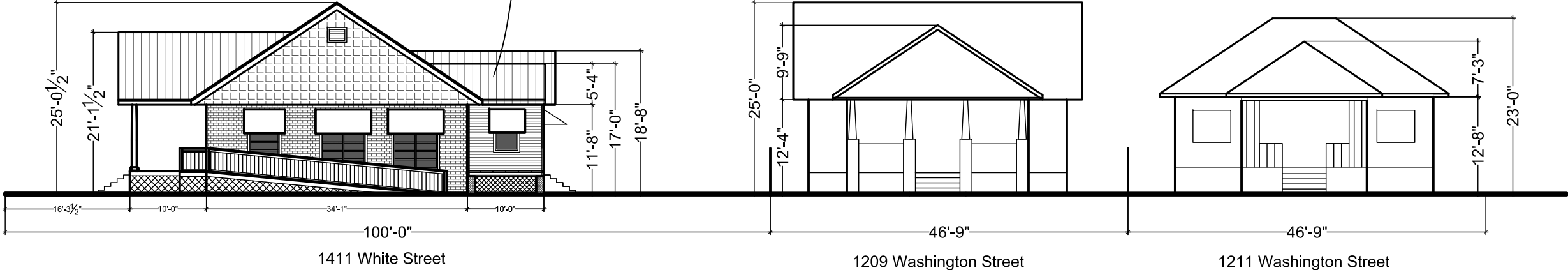
NEW 1 Story Frame Addition

- V-Crimp Roofing
- Hardi Plank Lap Siding
- Fabric Awnings to match existing
- Alum. Impact Rated Door & Window
- New Concrete Foundation Piers
- Existing Concrete steps to remain

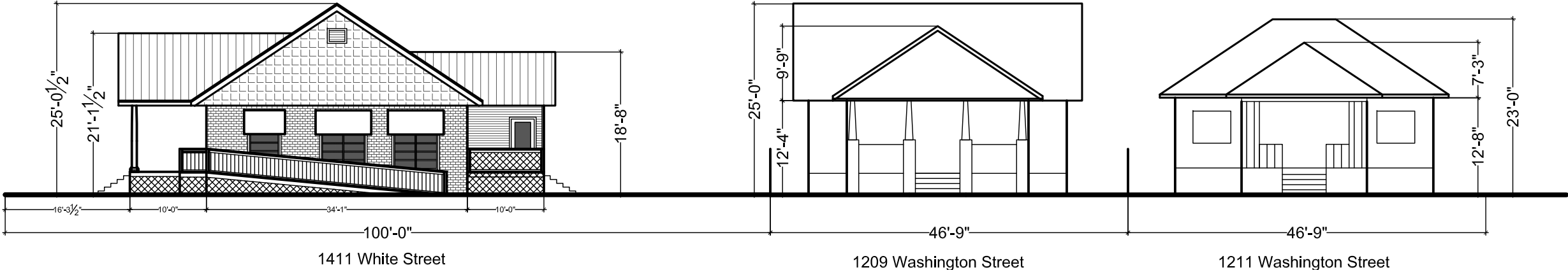


REAR ELEVATION
 $\frac{1}{8}'' = 1'-0''$

Replace existing Open Deck
 with NEW 1 Story Frame Addition.
 Frame new gable roof structure atop
 existing historic roof



PROPOSED ELEVATION
 1/16" = 1'-0"



EXISTING ELEVATION
 1/16" = 1'-0"

SITE DATA

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SETBACKS: F 10', S 5', R 15', SS 7.5"

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PROPOSED: No Change

OPEN SPACE (Green Area): 35% MIN OK

STORM WATER MANAGEMENT CALCULATIONS

ADDITIONAL IMPERVIOUS AREA = 0

LOT AREA = 4,675 SQ.FT.

No Additional Impervious Surface

Toolbox GC

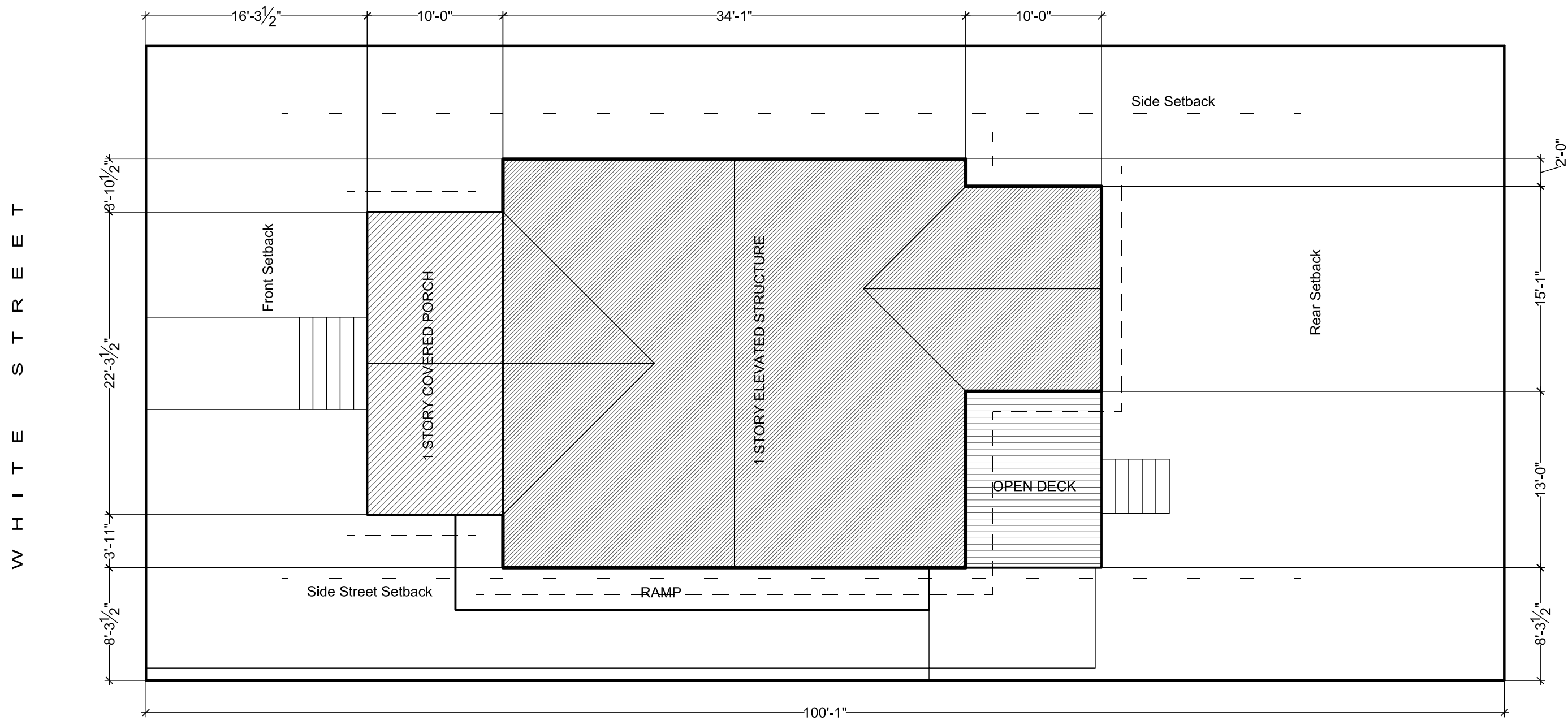
GENERAL CONTRACTORS

Toolbox, Inc. 3058 Riviera Dr. Key West, FL 33040
www.toolboxgc.com #CGC1507978 305-294-7776

1411 White Street

For: M.E. Berman, MD

SITE PLAN -Existing



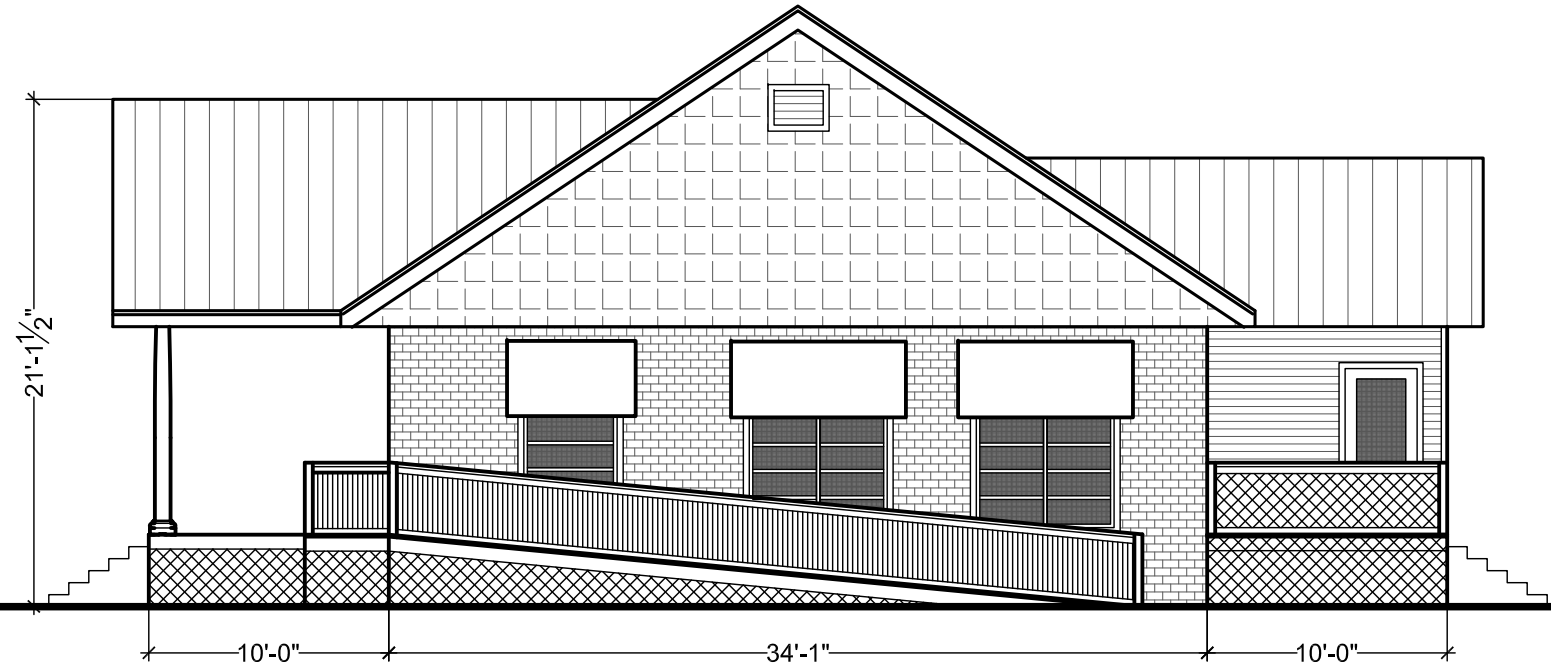
W A S H I N G T O N S T R E E T

SITE PLAN
1/8" = 1'-0"

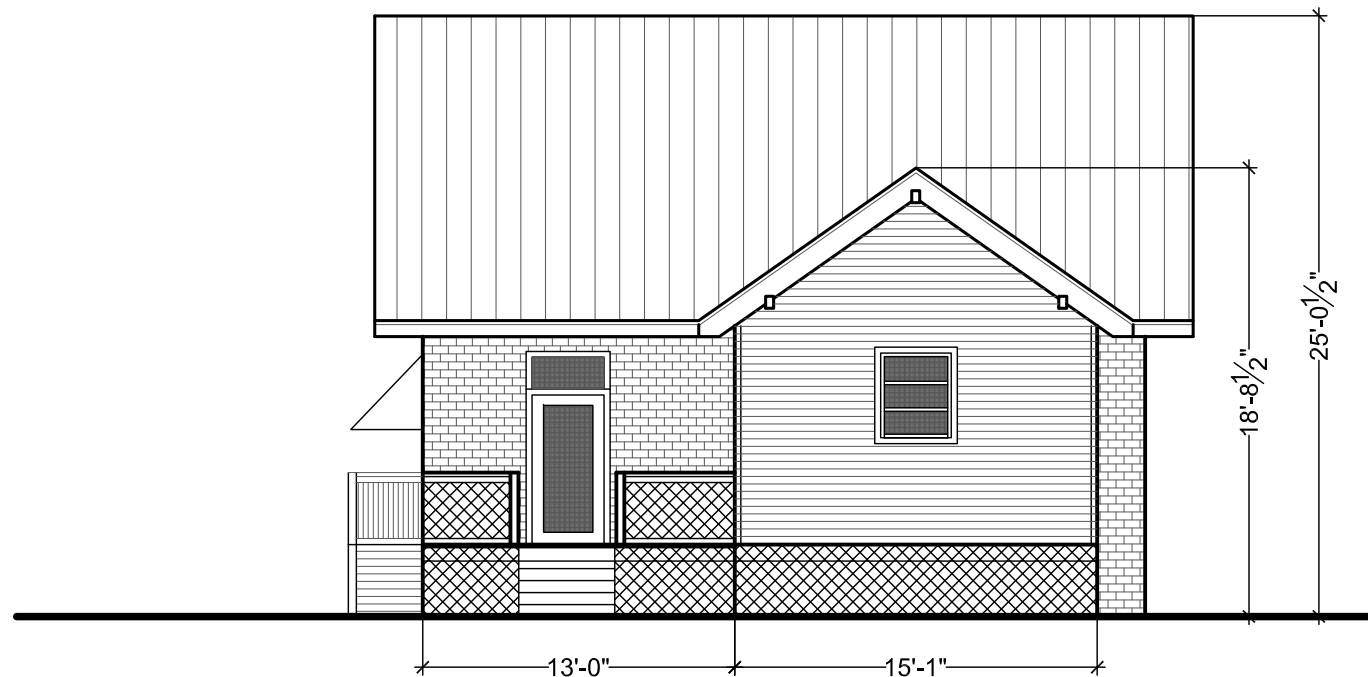

SP1x
11-4-2015



FRONT ELEVATION
 $\frac{1}{8}'' = 1'-0''$



RIGHT SIDE ELEVATION
 $\frac{1}{8}'' = 1'-0''$



REAR ELEVATION
 $\frac{1}{8}'' = 1'-0''$

NOTICING

Public Meeting Notice

The Historic Architectural Review Commission will hold a public hearing at 5:30 p.m., March 22, 2016 at Old City Hall, 510 Greene Street, Key West, Florida. The purpose of the hearing will be to consider a request for:

ONE STORY FRAME ADDITION ON REAR EXISTING DECK.

FOR- #1411 WHITE STREET

Applicant – Toolbox GC

Application #H16-01-0124

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 3140 Flagler Avenue, call 305-809-3975 or visit our website at www.cityofkeywest-fl.gov.

THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION

ADA ASSISTANCE: It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 800-955-8771 or 800-955-8770 (Voice) or the ADA Coordinator at 305-809-3731 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.

PROPERTY APPRAISER INFORMATION



Scott P. Russell, CFA
Property Appraiser
Monroe County, Florida

Key West (305) 292-3420
Marathon (305) 289-2550
Plantation Key (305) 852-7130

Property Record Card -

Maps are now launching the new map application version.

Alternate Key: 1041998 Parcel ID: 00041320-000000

Ownership Details

Mailing Address:

WHITE AND WASHINGTON LLC
1411 WHITE ST
KEY WEST, FL 33040

Property Details

PC Code: 19 - PROFESSIONAL SERVICES BLDGS

Millage Group: 10KW

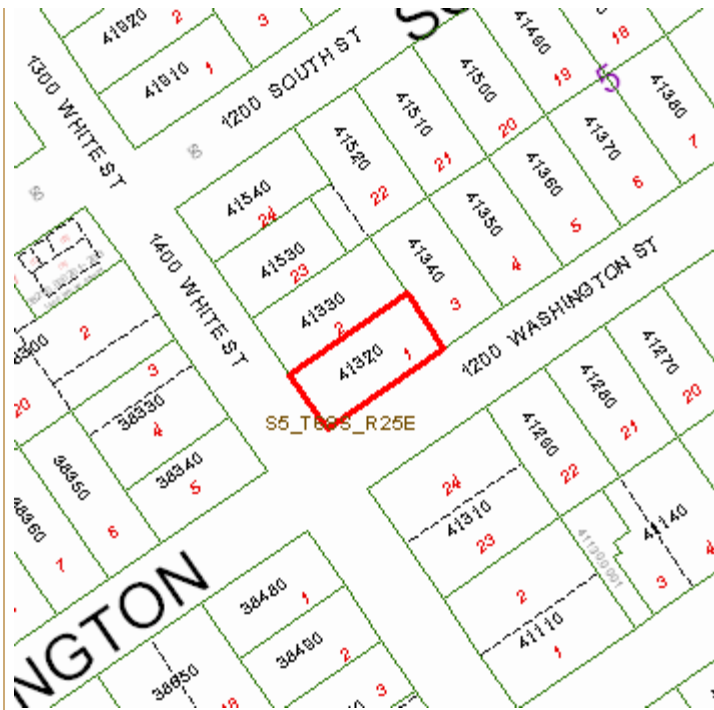
**Affordable
Housing:** No

**Section-Township-
Range:** 05-68-25

Property Location: 1411 WHITE ST KEY WEST

Legal Description: KW TROPICAL BLDG AND INVESTMENT CO SUB LOT 1 SQR 5 TR 19 G4-417 G4-413 COUNTY JUDGE'S
DOCKET 8-141 OR911-325 OR972-455 OR1093-1059 OR2161-1923/24 OR2239-94/95

Click Map Image to open interactive viewer



Land Details

Land Use Code	Frontage	Depth	Land Area
100D - COMMERCIAL DRY	46	100	4,678.00 SF

Building Summary

Number of Buildings: 1
 Number of Commercial Buildings: 1
 Total Living Area: 1180
 Year Built: 1928

Building 1 Details

Building Type
Effective Age 25
Year Built 1928
Functional Obs 0

Condition G
Perimeter 148
Special Arch 0
Economic Obs 0

Quality Grade 350
Depreciation % 33
Grnd Floor Area 1,180

Inclusions:

Roof Type
Heat 1
Heat Src 1

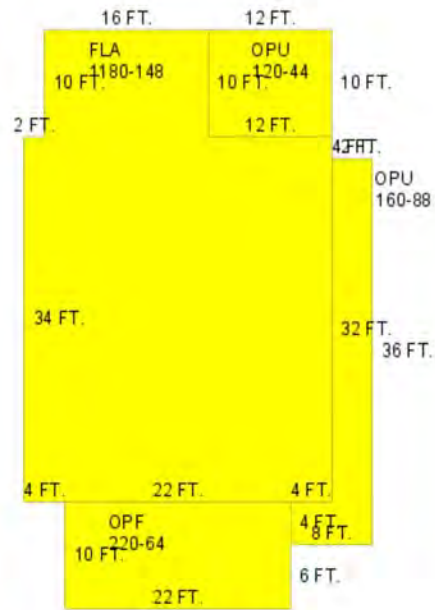
Roof Cover
Heat 2
Heat Src 2

Foundation
Bedrooms 0

Extra Features:

2 Fix Bath 0
3 Fix Bath 0
4 Fix Bath 0
5 Fix Bath 0
6 Fix Bath 0
7 Fix Bath 0
Extra Fix 5

Vacuum 0
Garbage Disposal 0
Compactor 0
Security 0
Intercom 0
Fireplaces 0
Dishwasher 0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic	A/C	Basement %	Finished Basement %	Area
1	FLA		1	1928					1,180
2	OPF		1	1928					220
3	OPU		1	1928					160
4	OPU		1	1928					120

Interior Finish:

Section Nbr	Interior Finish Nbr	Type	Area %	Sprinkler	A/C
	4837	PROFESS BLDG-B	100	N	Y

Misc Improvement Details

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
1	PT3:PATIO	24 SF	0	0	1964	1965	2	50

Appraiser Notes

DR MICHAEL BERMAN

Building Permits

Bldg	Number	Date Issued	Date Completed	Amount	Description	Notes
	09-0648	03/04/2009	07/01/2010	2,468		MAINT AND PAINT VCRIMP
1	05-0634	06/02/2005	12/31/2005	2,500	Residential	INSTALL SHUTTERS
	06-5458	10/02/2006	12/27/2006	890	Residential	REPLACE GUTTERS & DOWNSPOUTS

Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2015	144,159	84	283,487	427,730	427,730	0	427,730
2014	144,159	77	283,487	427,723	427,723	0	427,723
2013	152,396	77	283,487	435,960	417,188	0	435,960
2012	152,396	77	226,789	379,262	379,262	0	379,262
2011	167,830	77	226,789	394,696	394,696	0	394,696
2010	167,830	77	209,064	376,971	376,971	0	376,971
2009	167,830	77	431,113	599,020	599,020	0	599,020
2008	167,830	77	486,512	654,419	654,419	0	654,419
2007	136,426	77	514,580	651,083	651,083	0	651,083
2006	139,636	77	444,410	584,123	584,123	0	584,123
2005	141,241	77	280,680	421,998	421,998	0	421,998
2004	144,415	77	280,680	425,172	425,172	0	425,172
2003	144,415	77	87,713	232,205	232,205	0	232,205
2002	144,415	77	87,713	232,205	232,205	0	232,205
2001	144,415	77	87,713	232,205	232,205	0	232,205
2000	154,419	0	87,713	242,132	242,132	0	242,132
1999	154,419	0	87,713	242,132	242,132	0	242,132
1998	103,154	0	87,713	190,867	190,867	0	190,867
1997	103,154	0	78,357	181,511	181,511	0	181,511
1996	93,777	0	78,357	172,134	172,134	0	172,134
1995	81,273	0	78,357	159,630	159,630	0	159,630
1994	81,273	0	78,357	159,630	159,630	0	159,630

1993	82,191	0	78,357	160,548	160,548	0	160,548
1992	82,191	0	78,357	160,548	160,548	0	160,548
1991	82,191	0	78,357	160,548	160,548	0	160,548
1990	82,209	0	65,492	147,701	147,701	0	147,701
1989	47,744	0	54,967	102,711	102,711	0	102,711
1988	13,813	0	47,950	61,763	61,763	0	61,763
1987	13,645	0	32,245	45,890	45,890	0	45,890
1986	13,716	0	30,819	44,535	44,535	0	44,535
1985	13,303	0	18,095	31,398	31,398	0	31,398
1984	12,431	0	18,095	30,526	30,526	0	30,526
1983	12,459	0	18,095	30,554	30,554	0	30,554
1982	12,705	0	15,134	27,839	27,839	0	27,839

Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

Sale Date	Official Records Book/Page	Price	Instrument	Qualification
5/1/1989	1093 / 1059	157,500	<u>WD</u>	<u>Q</u>
4/1/1986	972 / 455	60,000	<u>WD</u>	<u>Q</u>

This page has been visited 144,193 times.

Monroe County Property Appraiser
 Scott P. Russell, CFA
 P.O. Box 1176 Key West, FL 33041-1176