

THE CITY OF KEY WEST
PLANNING BOARD
Staff Report



To: Chairman and Planning Board Members

Through: Kevin Bond, AICP, LEED Green Associate, Acting Planning Director

From: Carlene Smith, LEED Green Associate, Planner II

Meeting Date: December 18, 2014

Agenda Item: **Variance – 1309 Newton Street (RE # 00022660-000000; AK # 1023451)** – A request for variances to side yard setbacks and minimum open space requirements in order to renovate an existing contributing structure on property located within the Historic Medium Density Residential (HMDR) zoning district pursuant to Sections 90-395, 108-346 and 122-600(6)b. of the Land Development Regulations of the Code of Ordinances of the City of Key West, Florida.

Request: The applicant is proposing site modifications to include the renovation of the existing contributing structure and construction of an in ground pool and deck.

Applicant/Owner: Jody L. Draves

Location: 1309 Newton Street (RE # 00022660-000000; AK # 1023451)

Zoning: Historic Medium Density Residential (HMDR) Zoning District

Background/Request:

The existing non-conforming single-family residence is a contributing structure. The structure is located within the front, rear and side yard setbacks, and is also non-conforming to building coverage, impervious surface ratio and open space requirements permitted in the HMDR zoning district. The applicant is proposing site modifications to include demolition of a portion of the non-historic addition, construction of new v-crimp roofing to the remaining non-historic addition and construction of an in ground pool and decking. The new v-crimp roof will be placed on the remaining non-historic addition, triggering the variance for side yard setbacks. The placement of the in ground pool has been coordinated closely with the Fire Marshall's office and now meets the required five foot setback.



Relevant HMDR Zoning District Dimensional Requirements: Code Section 122-600				
Dimensional Requirement	Required/ Allowed	Existing	Proposed	Change / Variance Required?
Minimum lot size	4,000 SF	2,040.46	No change	-
Maximum density	16 dwelling units per acre	1 unit	No change	-
Maximum floor area ratio	1.00	n/a	n/a	-
Maximum building coverage	40%	67% (1,360.65 sf)	55% (1,114.48 sf)	Reducing – No Variance Rqd
Maximum impervious surface	60%	68% (1,395.57 sf)	65.18% (1,329.99 sf)	Reducing – No Variance Rqd
Minimum open space	35%	31.15% (635.74 sf)	23.61% (481.68 sf)	Variance Rqd
Maximum height	30 feet	16.833 feet	No change	-
Minimum front setback	10 feet	6.55 feet	No change	-
Minimum right side setback	5 feet	4.44 feet	No change	Variance Rqd - Increasing Bldg Envelope
Minimum left side setback	5 feet	1.71 feet	No change	Variance Rqd - Increasing Bldg Envelope
Minimum rear setback	15 feet	6.37 feet	14.50 feet	-

Process:

Development Review Committee Meeting:

October 23, 2014

Planning Board Meeting:

December 18, 2014

HARC:

TBD

Analysis – Evaluation for Compliance With The Land Development Regulations:

The criteria for evaluating a variance are listed in Section 90-395 of the City Code. The Planning Board before granting a variance must find all of the following:

- 1. Existence of special conditions or circumstances. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other land, structures or buildings in the same zoning district.**

The existing conditions of the contributing structure pre-date the dimensional requirements of the current LDRs, and therefore is legally non-conforming to dimensional requirements in the HMDR Zoning District. However, legally nonconforming site characteristics are not uncommon in the City, and therefore do not generate the existence of special conditions or circumstances.

NOT IN COMPLIANCE.

- 2. Conditions not created by applicant. That the special conditions and circumstances do not result from the action or negligence of the applicant.**

The nonconformities are not conditions created by the applicant, nor do they result from the action or negligence of the applicant. Therefore, reducing the minimum open space requirement would confer special privileges upon the applicant.

NOT IN COMPLIANCE.

- 3. Special privileges not conferred. That granting the variance requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings or structures in the same zoning district.**

Section 122-27 of the Land Development Regulations discourages the expansion of site nonconformities. Although site modifications are reducing the building coverage and impervious surface ratio requirements, they are also reducing the minimum open space requirement which triggers a variance request.

NOT IN COMPLIANCE.

- 4. Hardship conditions exist. That literal interpretation of the provisions of the land development regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant.**

The applicant currently has existing use of the site without the variance approval. Therefore, hardship conditions do not exist. Denial of the requested variance would not deprive the applicant of rights commonly enjoyed by other properties in the HMDR Zoning District.

NOT IN COMPLIANCE.

- 5. Only minimum variance granted. That the variance granted is the minimum variance that will make possible the reasonable use of the land, building, or structure.**

The variances requested are not the minimum required that will make possible the reasonable use of the land, building, or structure. However, it is the minimum necessary to accommodate the request.

NOT IN COMPLIANCE.

- 6. Not injurious to the public welfare. That the granting of the variance will be in harmony with the general intent and purpose of the land development regulations and that such variance will not be injurious to the area involved or otherwise detrimental to the public interest or welfare.**

The proposed renovation helps preserve the integrity of the contributing structure by removing a portion of the non-historic addition and adding v-crimp roofing to match the existing roof. The reduction of the impervious surface ratio will help reduce stormwater runoff from the property. Therefore, the proposed development is in the public interest and is not detrimental to the welfare of the community.

IN COMPLIANCE.

7. **Existing nonconforming uses of other property not the basis for approval. No nonconforming use of neighboring lands, structures, or buildings in the same district, and no permitted use of lands, structures or buildings in other districts shall be considered grounds for the issuance of a variance.**

Existing non-conforming uses of other properties, use of neighboring lands, structures, or buildings in the same district, or other zoning districts, are not the basis for this request.

NOT IN COMPLIANCE.

Concurrency Facilities and Other Utilities or Service (Section 108-233):

Based on comments received at the DRC, it does not appear that the requested variance will trigger any public facility capacity issues.

The Planning Board shall make factual findings regarding the following:

1. **That the standards established by Section 90-395 of the City Code have been met by the applicant for a variance.**

The standards established by Section 90-395 of the City Code have not been fully met by the applicant for the variance requested.

2. **That the applicant has demonstrated a "good neighbor policy" by contacting or attempting to contact all noticed property owners who have objected to the variance application, and by addressing the objections expressed by these neighbors.**

The Planning Department has not received any public comment for the variance request as of the date of this report.

RECOMMENDATION:

Based on the criteria established by the Comprehensive Plan and the Land Development Regulations, the Planning Department recommends the request for variance be **denied**. However, if the Planning Board approves this request, staff would like to require the following conditions:

General Conditions:

1. The proposed site modifications shall be consistent with the plans dated July 11, 2014 by Steve Mitchell, P.E., Professional Engineer. No approval granted for any other work of improvements shown on the plans other than the renovation of the contributing structure and construction of the in ground pool and deck.
2. The applicant shall obtain a Certificate of Appropriateness for site modifications.
3. Trees near and within the project area will be protected during construction/demolition. Trees located within the work area that may need to be removed or trimmed may require permits from the Tree Commission.

Condition to be completed prior to the issuance of certificate of occupancy:

4. Roof gutter downspouts shall be directed back onto property.

Draft Resolution

**PLANNING BOARD
RESOLUTION NO. 2014-**

A RESOLUTION OF THE CITY OF KEY WEST PLANNING BOARD GRANTING WITH CONDITIONS VARIANCES TO SIDE YARD SETBACKS AND MINIMUM OPEN SPACE REQUIREMENTS ON PROPERTY LOCATED AT 1309 NEWTON STREET (RE # 00022660-000000; AK # 1023451) IN THE HISTORIC MEDIUM DENSITY RESIDENTIAL (HMDR) ZONING DISTRICT PURSUANT TO SECTIONS 90-395, 108-346 AND 122-600(6)b. OF THE LAND DEVELOPMENT REGULATIONS OF THE CODE OF ORDINANCES OF THE CITY OF KEY WEST, FLORIDA.

WHEREAS, the applicant is proposing site modifications to include demolition of a portion of the non-historic addition, construction of new v-crimp roofing to the remaining non-historic addition and construction of an in ground pool and decking at property located at 1309 Newton Street (RE # 00022660-000000; AK # 1023451); and

WHEREAS, the existing single-family residence is a contributing structure; and

WHEREAS, the structure is located within the front, rear and side yard setbacks, and is also nonconforming to building coverage, impervious surface ratio and open space requirements as permitted in the HMDR zoning district; and

WHEREAS, Section 108-346 of the Land Development Regulations (the “LDRs”) of the Code of Ordinances (the “Code”) of the City of Key West, Florida (the “City”) provides that the minimum open space requirement of 35%; and

WHEREAS, the applicant requests a variance to the proposed open space of 23.61%; and

WHEREAS, Section 122-600(6)b. of the Land Development Regulations (the “LDRs”) of the Code of Ordinances (the “Code”) of the City of Key West, Florida (the “City”) provides that the

_____ Chairman
_____ Planning Director

minimum side yard setback is 5 feet; and

WHEREAS, the applicant requests a variance to the existing right side yard setback 4.44 feet and left side yard setback of 1.71 in order to add v-crimp roofing increasing the building envelope; and

WHEREAS, this matter came before the Planning Board at a duly noticed public hearing on December 18, 2014; and

WHEREAS, the Planning Board finds that special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other land, structures or buildings in the same district; and

WHEREAS, the Planning Board finds that the special conditions do not result from the action or negligence of the applicant; and

WHEREAS, the Planning Board finds that granting the variance requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings or structures in the same zoning district; and

WHEREAS, the Planning Board finds that literal interpretation of the provisions of the land development regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant; and

WHEREAS, the Planning Board finds that the variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure; and

WHEREAS, the Planning Board finds that the granting of the variance will be in harmony with the general intent and purpose of the land development regulations and that such variance will

not be injurious to the area involved or otherwise detrimental to the public interest or welfare; and

WHEREAS, the Planning Board finds that no nonconforming use of neighboring lands, structures, or buildings in the same district, and no permitted use of lands, structures or buildings in other districts are grounds for the issuance of the requested variance; and

WHEREAS, the Planning Board finds that the applicant has demonstrated a “good neighbor policy” by contacting or attempting to contact all noticed property owners who have objected to the variance application, and by addressing the objections expressed by these neighbors.

NOW, THEREFORE, BE IT RESOLVED by the Planning Board of the City of Key West, Florida:

Section 1. That the above recitals are incorporated by reference as if fully set forth herein.

Section 2. An approval by Resolution of the Key West Planning Board for variance to impervious surface ratio to allow site modifications to include the construction of an in ground pool with water feature wall on property located at 1309 Newton Street (RE # 00022660-000000; AK # 1023451) in the HMDR Zoning District pursuant to Sections 90-395, 108-346 and 122-600(6)b. of the City of Key West Land Development Regulations with the following conditions:

General Conditions:

1. The proposed site modifications shall be consistent with the plans dated July 11, 2014 by Steve Mitchell, P.E., Professional Engineer. No approval granted for any other work of improvements shown on the plans other than the renovation of the contributing structure and construction of the in ground pool and deck.
2. The applicant shall obtain a Certificate of Appropriateness for site modifications.

Condition to be completed prior to the issuance of certificate of occupancy:

4. Roof gutter downspouts shall be directed back onto property.

Section 3. It is a condition of this variance that full, complete and final application for all conditions of this approval for any use and occupancy for which this variance are wholly or partly necessary, shall be submitted in their entirety within two years after the date hereof; and further, that no application shall be made after expiration of the two-year period without the applicant obtaining an extension from the Planning Board and demonstrating that no change of circumstances to the property or its underlying zoning has occurred.

Section 4. The failure to fully and completely apply the conditions of approval for permits for use and occupancy pursuant to this variance in accordance with the terms of the approval as described in Section 3 hereof, shall immediately operate to terminate this variance, which variance shall be of no force or effect.

Section 5. This variance does not constitute a finding as to ownership or right to possession of the property, and assumes, without finding, the correctness of applicant's assertion of legal authority respecting the property.

Section 6. This Resolution shall go into effect immediately upon its passage and adoption and authentication by the signatures of the presiding officer and the Clerk of the Commission.

Section 7. This Resolution is subject to appeal periods as provided by the City of Key West Code of Ordinances (including the Land Development Regulations). After the City appeal period has expired, this permit or development order will be rendered to the Florida Department of

Economic Opportunity. Pursuant to Chapter 73C-44, F.A.C., this permit or development order is not effective for forty five (45) days after it has been properly rendered to the DEO with all exhibits and applications attached to or incorporated by reference in this approval; that within the forty five (45) day review period, the DEO can appeal the permit or development order to the Florida Land and Water Adjudicatory Commission; and that such an appeal stays the effectiveness of the permit until the appeal is resolved by agreement or order.

Read and passed on first reading at a regularly scheduled meeting held this 18th day of December 2014.

Authenticated by the Chairman of the Planning Board and the Planning Director;

Richard Klitenick, Planning Board Chairman Date

Attest:

Kevin Bond, AICP, Acting Planning Director Date

Filed with the Clerk:

Cheryl Smith, City Clerk Date

_____ Chairman
_____ Planning Director

Application



Application For Variance

City of Key West, Florida • Planning Department

3140 Flagler Avenue • Key West, Florida 33040-4602 • 305-809-3720 • www.keywestcity.com

RECEIVED

SEP 26 2014

CITY OF KEY WEST
PLANNING DEPT.

Application Fee: \$1,150.00 / After-the-Fact: \$2,150.00
(includes \$100.00 advertising/noticing fee and \$50.00 fire review fee)

Please complete this application and attach all required documents. This will help staff process your request quickly and obtain necessary information without delay. If you have any questions, please call 305-809-3720.

PROPERTY DESCRIPTION:

Site Address: 1309 Newton Street, Key West, FL 33040

Zoning District: HMDR Real Estate (RE) #: 00022600-000000

Property located within the Historic District? Yes No

APPLICANT: Owner Authorized Representative

Name: Jody L. Braves

Mailing Address: 1401 Pine Street

City: Key West State: FL Zip: 33040

Home/Mobile Phone: 703-731-9233 Office: 305-293-5253 Fax: _____

Email: jodybraveskw@comcast.net

PROPERTY OWNER: (if different than above) same as above
Name: _____

Mailing Address: _____

City: _____ State: _____ Zip: _____

Home/Mobile Phone: _____ Office: _____ Fax: _____

Email: _____

Description of Proposed Construction, Development, and Use: Restore exterior/repair to historical standards, add pool. Demolition/renovation of interior back to original Dade County Pine and replace where needed.

List and describe the specific variance(s) being requested:

Both side setbacks and rear setback

Are there any easements, deed restrictions or other encumbrances attached to the property? Yes No

If yes, please describe and attach relevant documents: _____

City of Key West • Application for Variance

Will any work be within the dripline (canopy) of any tree on or off the property? Yes No
 If yes, provide date of landscape approval, and attach a copy of such approval.

Is this variance request for habitable space pursuant to Section 122-1078? Yes No

Please fill out the relevant Site Data in the table below. For Building Coverage, Impervious Surface, Open Space and F.A.R. provide square footages and percentages.

Site Data Table				
	Code Requirement	Existing	Proposed	Variance Request
Zoning	HM DR			
Flood Zone	AE-6			
Size of Site	2,040.46	16'10"	16'10"	
Height <i>building</i>	30 feet	8.6	8.6	
Front Setback	10 feet	6.55	6.55	X
Side Setback	5 feet	1.71	1.71	✓
Side Setback	5 feet	4.44	4.44	✓
Street Side Setback	N/A	1.79	5.00	X
Rear Setback	15 feet	1.79	5.00	X
F.A.R.	N/A	(66%)	(54%)	
Building Coverage	40%	1,351.96	1,205.54	Decreasing
Impervious Surface	60%	1,550.61	1,645.06	Decreasing ??
Parking	1 space/unit	NONE	NONE	
Handicap Parking	N/A	—	—	
Bicycle Parking	N/A	—	—	
Open Space/ Landscaping	35%	1,550.61	1,717.90	
Number and type of units	1 unit	1	1	
Consumption Area or Number of seats	N/A	—	—	

This application is reviewed pursuant to Section 90-391 through 90-397 of the City of Key West Land Development Regulations (LDRs). The City's LDRs can be found in the Code of Ordinances online at http://www.municode.com/Library/FL/Key_West under Subpart B.

*Please note, variances are reviewed as quasi-judicial hearings, and it is improper for the owner or applicant to speak to a Planning Board member or City Commissioner about the hearing.

481.68 - open

Standards for Considering Variances

Before any variance may be granted, the Planning Board and/or Board of Adjustment must find all of the following requirements are met:

1. Existence of special conditions or circumstances. That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other land, structures or buildings in the same zoning district.

This home was originally built in the 1890s. Other structures were built adjacent in what I can only guess, were appropriate standards at that time.

2. Conditions not created by applicant. That the special conditions and circumstances do not result from the action or negligence of the applicant.

The side and front distances are existing now and I am not moving the building walls. I am maintaining the current structural integrity and historical details.

3. Special privileges not conferred. That granting the variance(s) requested will not confer upon the applicant any special privileges denied by the land development regulations to other lands, buildings or structures in the same zoning district.

This house and the distances to the street and adjoining houses is very common in the Meadows - all of the houses are very close together.

4. Hardship conditions exist. That literal interpretation of the provisions of the land development regulations would deprive the applicant of rights commonly enjoyed by other properties in this same zoning district under the terms of this ordinance and would work unnecessary and undue hardship on the applicant.

Without variance approval, the historical structure would need to be removed.

5. Only minimum variance(s) granted. That the variance(s) granted is/are the minimum variance(s) that will make possible the reasonable use of the land, building or structure.

And allow retention of the original historical structure and Batt + Board + Dade County Pine.

City of Key West • Application for Variance

6. Not injurious to the public welfare. That granting of the variance(s) will be in harmony with the general intent and purpose of the land development regulations and that such variances will not be injurious to the area involved or otherwise detrimental to the public interest or welfare.

Retention of the front porch area will improve historical appearance and keeping the fence will ensure privacy and hide trash cans, etc. from view.

7. Existing nonconforming uses of other property shall not be considered as the basis for approval. That no other nonconforming use of neighboring lands, structures, or buildings in the same district, and that no other permitted use of lands, structures or buildings in other districts shall be considered grounds for the issuance of a variance.

Need to preserve historical K.W. house

The Planning Board and/or Board of Adjustment shall make factual findings regarding the following:

- That the standards established in Section 90-395 have been met by the applicant for a variance.
- That the applicant has demonstrated a "good neighbor policy" by contacting or attempting to contact all noticed property owners who have objected to the variance application, and by addressing the objections expressed by these neighbors. Please describe how you have addressed the "good neighbor policy."

REQUIRED SUBMITTALS: All of the following must be submitted in order to have a complete application. Please submit one paper copy and one electronic copy of all materials.

- Correct application fee. Check may be payable to "City of Key West."
- Notarized verification form signed by property owner or the authorized representative.
- N/A Notarized authorization form signed by property owner, if applicant is not the owner.
- Copy of recorded warranty deed
- Property record card
- Signed and sealed survey
- Site plan (plans MUST be signed and sealed by an Engineer or Architect)
- Floor plans *on Plans*
- N/A Stormwater management plan *on Plans*

Verification

**City of Key West
Planning Department**



Verification Form

(Where Authorized Representative is an individual)

I, Jody Lynne Draves, being duly sworn, depose and say that I am the Authorized Representative of the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

1309 Newton Street Key West, FL 33040
Street address of subject property

All of the answers to the above questions, drawings, plans and any other attached data which make up the application, are true and correct to the best of my knowledge and belief. In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.

Jody Lynne Draves
Signature of Authorized Representative

24 September 2014

Subscribed and sworn to (or affirmed) before me on this 24 September 2014 by Jody L. Draves by
date

Jody L. Draves
Name of Authorized Representative

~~He/She~~ is personally known to me or has presented _____ as identification.

Adam N. Van Natta
Notary's Signature and Seal

Adam N. Van Natta
Paralegal NCO

119 APR 27 55 PM 2014
Name of Acknowledger typed, printed or stamped
My Commission Expires: INDEF

DEPARTMENT OF THE ARMY
JOINT INTERAGENCY TASK FORCE SOUTH
PO BOX 9651 ATTN:
NAVAL AIR STATION, KEY WEST FL 33040
FOR OFFICIAL USE ONLY

Commission Number, if any

City of Key West
Planning Department



Verification Form

(Where Authorized Representative is an individual)

I, Barry Heath Finley being duly sworn, depose and say that I am the Authorized Representative of the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

1309 Newton Street, Key West, FL 33040
Street address of subject property

All of the answers to the above questions, drawings, plans and any other attached data which make up the application, are true and correct to the best of my knowledge and belief. In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.

[Signature]
Signature of Authorized Representative

Subscribed and sworn to (or affirmed) before me on this 16th October 2014 by
date

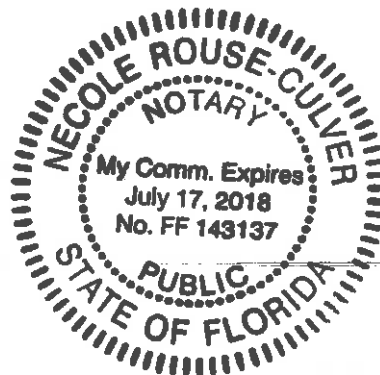
Barry Heath Finley
Name of Authorized Representative

He/She is personally known to me or has presented SC Driver License as identification.

[Signature]
Notary's Signature and Seal

Necole Rouse-Culver
Name of Acknowledger typed, printed or stamped

FF 143137
Commission Number, if any



Authorization

City of Key West
Planning Department



Authorization Form
(Individual or Joint Owner)

Please complete this form if someone other than the owner is representing the property owner in this matter.

I, Jody Lynne Draves authorize
Please Print Name(s) of Owner(s) as appears on the deed

Barry Heath Finley
Please Print Name of Representative

to be the representative for this application and act on my/our behalf before the City of Key West.

Jody Lynne Draves Signature of Owner
Signature of Joint/Co-owner if applicable

Subscribed and sworn to (or affirmed) before me on this 14 October 2014
Date

by Jody L. Draves
Name of Owner

He/She is personally known to me or has presented DoD Employee I.D. Card as identification.

Adam N. Van Natta
Notary's Signature and Seal

Adam N. Van Natta
Paralegal NCO

Name of Acknowledger typed, printed or stamped
My Commission Expires: INDEF

Commission Number, if any

DEPARTMENT OF THE ARMY
JOINT INTERAGENCY TASK FORCE SOUTH
PO BOX 9051 ATTN:
NAVAL AIR STATION, KEY WEST FL 33040
FOR OFFICIAL USE ONLY

Deed

NOTE TO CLERK/TAX EXAMINER: Actual consideration paid is \$ 410,000.00

This Instrument Prepared by and Return to:

Jennifer G. Sanchez, Esq.
Sanchez & Ashby, P.A.
1223 White Street, Unit 104
Key West, FL 33040
(305) 293-0084

Parcel ID Number: 00022660-000000

Warranty Deed

This Indenture, Made this ^{6th} day of August, 2014 A.D., Between
KWRH, LLC, a Florida limited liability company

of the County of Monroe, State of Florida, grantor, and
Jody L. Draves, a single woman

whose address is: 1401 Pine St., Key West, FL 33040

of the County of Monroe, State of Florida, grantee.

Witnesseth that the GRANTOR, for and in consideration of the sum of

TEN DOLLARS (\$10)

DOLLARS,

and other good and valuable consideration to GRANTOR in hand paid by GRANTEE, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said GRANTEE and GRANTEE'S heirs, successors and assigns forever, the following described land, situate, lying and being in the County of Monroe, State of Florida to wit:

SEE EXHIBIT "A" ATTACHED HERETO

Subject to current taxes, easements and restrictions of record.

Warranty Deed - Page 2

Parcel ID Number: 00022660-000000

In Witness Whereof, the grantor has hereunto set its hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Brooke Morrison
Printed Name: Brooke Morrison
Witness

By: Edward Flynn (Seal)
KWRH, LLC, a Florida limited liability company
Edward Flynn, Manager
P.O. Address: 817 Duval St., Key West, FL 33040

Patricia J House
Printed Name: Patricia J House
Witness

STATE OF South Carolina
COUNTY OF

The foregoing instrument was acknowledged before me this 6th day of August, 2014 by Edward Flynn, Manager of KWRH, LLC, a Florida limited liability company who is personally known to me or who has produced his Florida driver's license as identification.

Patricia J. House
My commission expires October 29, 2017
Notary Public for South Carolina

Patricia J House
Printed Name: Patricia J. House
Notary Public
My Commission Expires: 10/29/17

EXHIBIT "A"

On the Island of Key West, Monroe County, Florida described as follows:

Part of Lots 5 and 6 of Square 2 of James A. Waddell's Subdivision of Part of Tract 7 as recorded in Plat Book 1, Page 28, more particularly described as follows: Beginning at the corner of Angela and Georgia streets and running thence along Angela street 98 feet for a point of beginning; running thence from said point of beginning along Angela street in a Northeasterly direction 24 1/2 feet; thence at right angles in a Southeasterly direction 160 feet out to Newton street; thence at right angles in a Southwesterly direction 24 1/2 feet along newton street; thence in a Northwesterly direction 160 feet to the Point of Beginning on Angela street;

Less:

Part of Lot 5, of Square 2 of James A. Waddell's Subdivision of part of Tract 7 as recorded in Plat Book 1, Page 28, more particularly described as follows: Beginning at the corner of Angela and Georgia streets and running thence along Angela street 98 feet for a point of beginning; running thence from said point of beginning along Angela street in a Northeasterly direction 24 1/2 feet; thence at right angles in a Southeasterly direction 75 feet; thence at right angles in a Southwesterly direction 24 1/2 feet; thence in a Northwesterly direction 75 feet back to the point of beginning on Angela street.

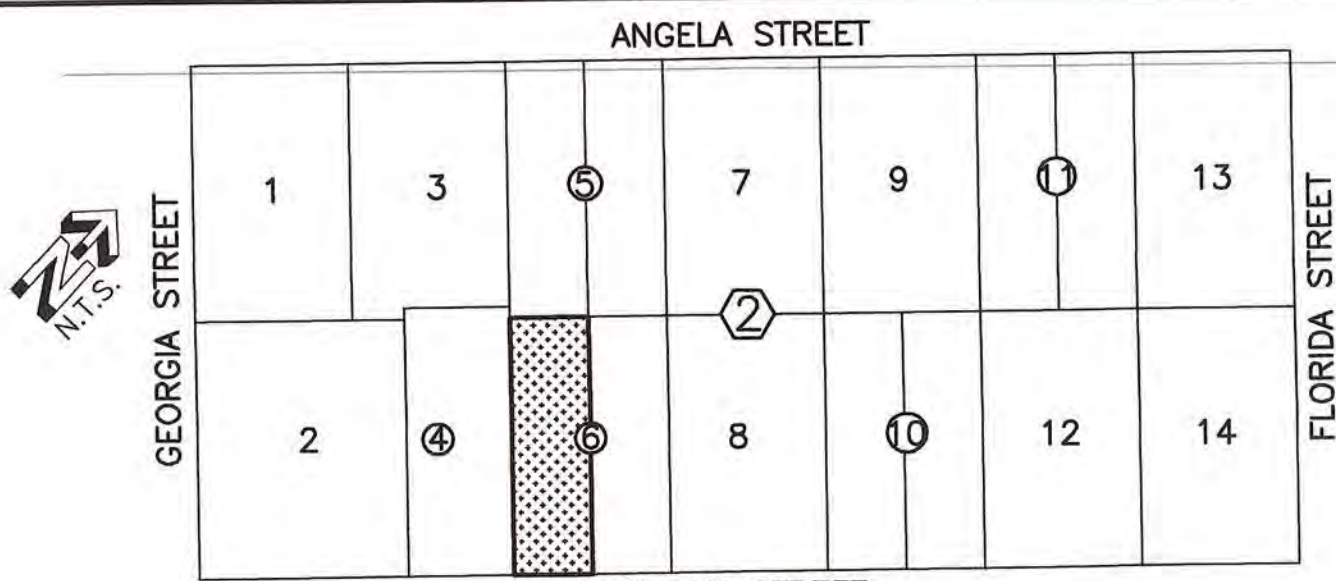
Less

A parcel of land on the Island of Key West and known as a part of Lot 6, in Square 2 of James A. Waddell's Subdivision of Tract 7 recorded in Plat Book 1, Page 28 of the Public Records of Monroe County, Florida; said parcel being more particularly described as follows: Commencing at the intersection of the Northeasterly right of way line of Georgia street with the Northwesterly right of way line of Newton street and run thence Northeasterly along the Northwesterly right of way line of Newton street for a distance of 122.50 feet; thence Northwesterly and at right angles for a distance of 8.9 feet to the Southeasterly face of the overhang of an existing one story frame structure; said point being the point of beginning; thence continue Northwesterly along the last mentioned course for a distance of 36.3 feet to the Northwesterly face of said overhang; thence Southwesterly with a deflection angle of 90°18'56" to the left and along said overhang for a distance of 0.9 feet to a point; thence Southeasterly and at right angles along the Southwesterly face of said overhang for a distance of 36.3 feet; thence Northeasterly and along said overhang for a distance of 0.7 feet back to the Point of Beginning.

Less

A parcel of land on the Island of Key West and known as a part of Lot 6, in Square 2 of James A. Waddell's Subdivision of Tract 7 recorded in Plat Book 1, Page 28 of the Public Records of Monroe County, Florida; said parcel being more particularly described as follows: Commencing at the intersection of the Northeasterly right of way line of Georgia street with the Northwesterly right of way line of Newton street and run thence Northeasterly along the Northwesterly right of way line of Newton street for a distance of 122.50 feet; thence Northwesterly and at right angles for a distance of 45.20 feet to the point of beginning; thence continue Northwesterly along the previously mentioned course for a distance of 28.80 feet to a point; thence Southwesterly and at right angles for a distance of 0.51 feet; thence Southeasterly with a deflection angle of 90°13'08" to the left and along the Southwesterly face of an existing one story frame structure and Northwesterly extension thereof for a distance of 28.80 feet to a point; thence Northeasterly with a deflection angle of 89°46'52" to the left for a distance of 0.40 feet back to the Point of Beginning.

Survey



LOCATION MAP
Square 2, Tract 7

LEGAL DESCRIPTION:
On the Island of Key West, Monroe County, Florida described as follows:
Part of Lots 5 and 6 of Square 2 of James A. Waddell's Subdivision of part of Tract 7 as recorded in Plat Book 1, Page 28, more particularly described as follows: Beginning at the corner of Angela and Georgia Streets and running thence along Angela Street 98 feet for a Point of Beginning; running thence from said Point of Beginning along Angela Street in a NE'y direction 24 1/2 feet; thence at right angles in a SE'y direction 160 feet out to Newton Street; thence at right angles in a SW'y direction 24 1/2 feet along Newton Street; thence in a NW'y direction 160 feet to the Point of Beginning on Angela Street.

LESS
Part of Lot 5, of Square 2 of James A. Waddell's Subdivision of part of Tract 7 as recorded in Plat Book 1, Page 28, more particularly described as follows: Beginning at the corner of Angela and Georgia Streets and running thence along Angela Street 98 feet for a Point of Beginning; running thence from said Point of Beginning along Angela Street in a NE'y direction 24 1/2 feet; thence at right angles in a SE'y direction 75 feet; thence at right angles in a SW'y direction 24 1/2 feet; thence in a NW'y direction 75 feet back to the Point of Beginning on Angela Street.

LESS
A parcel of land on the Island of Key West and known as a part of Lot 6, in Square 2 of James A. Waddell's Subdivision of Tract 7 recorded in Plat Book 1, Page 28 of the Public Records of Monroe County, Florida; said parcel being more particularly described as follows: COMMENCING at the intersection of the NE'y right of way line of Georgia Street with the NW'y right of way line of Newton Street and run thence NE'y along the NW'y right of way line of Newton Street for a distance of 122.50 feet; thence NW'y and at right angles for a distance of 8.9 feet to the SE'y face of the overhang of an existing one story frame structure; said point being the Point of Beginning; thence continue NW'y along the last mentioned course for a distance of 36.3 feet to the NW'y face of said overhang; thence SW'y with a deflection angle of 90°18'56" to the left and along said overhang for a distance of 0.9 feet to a point; thence SE'y and at right angles along the SW'y face of said overhang for a distance of 36.3 feet; thence NE'y and along said overhang for a distance of 0.7 feet back to the Point of Beginning.

LESS
A parcel of land on the Island of Key West and known as a part of Lot 6, in Square 2 of James A. Waddell's Subdivision of Tract 7 recorded in Plat Book 1, Page 28 of the Public Records of Monroe County, Florida; said parcel being more particularly described as follows: COMMENCING at the intersection of the NE'y right of way line of Georgia Street with the NW'y right of way line of Newton Street and run thence NE'y along the NW'y right of way line of Newton Street for a distance of 122.50 feet; thence NW'y and at right angles for a distance of 45.20 feet to the Point of Beginning; thence continue NW'y along the previously mentioned course for a distance of 28.80 feet to a point; thence SW'y and at right angles for a distance of 0.51; thence SE'y with a deflection angle of 90°13'08" to the left and along the SW'y face of an existing one story frame structure and NW'y extension thereof for a distance of 28.80 feet to a point; thence NE'y with a deflection angle of 89°46'52" to the left for a distance of 0.40 feet back of the Point of Beginning.

SURVEYOR'S NOTES:
North arrow based on assumed median
Reference Bearing: R/W Newton Street (assumed)
3.4 denotes existing elevation
Elevations based on N.G.V.D. 1929 Datum
Bench Mark No.: D-121 Elevation: 3.914

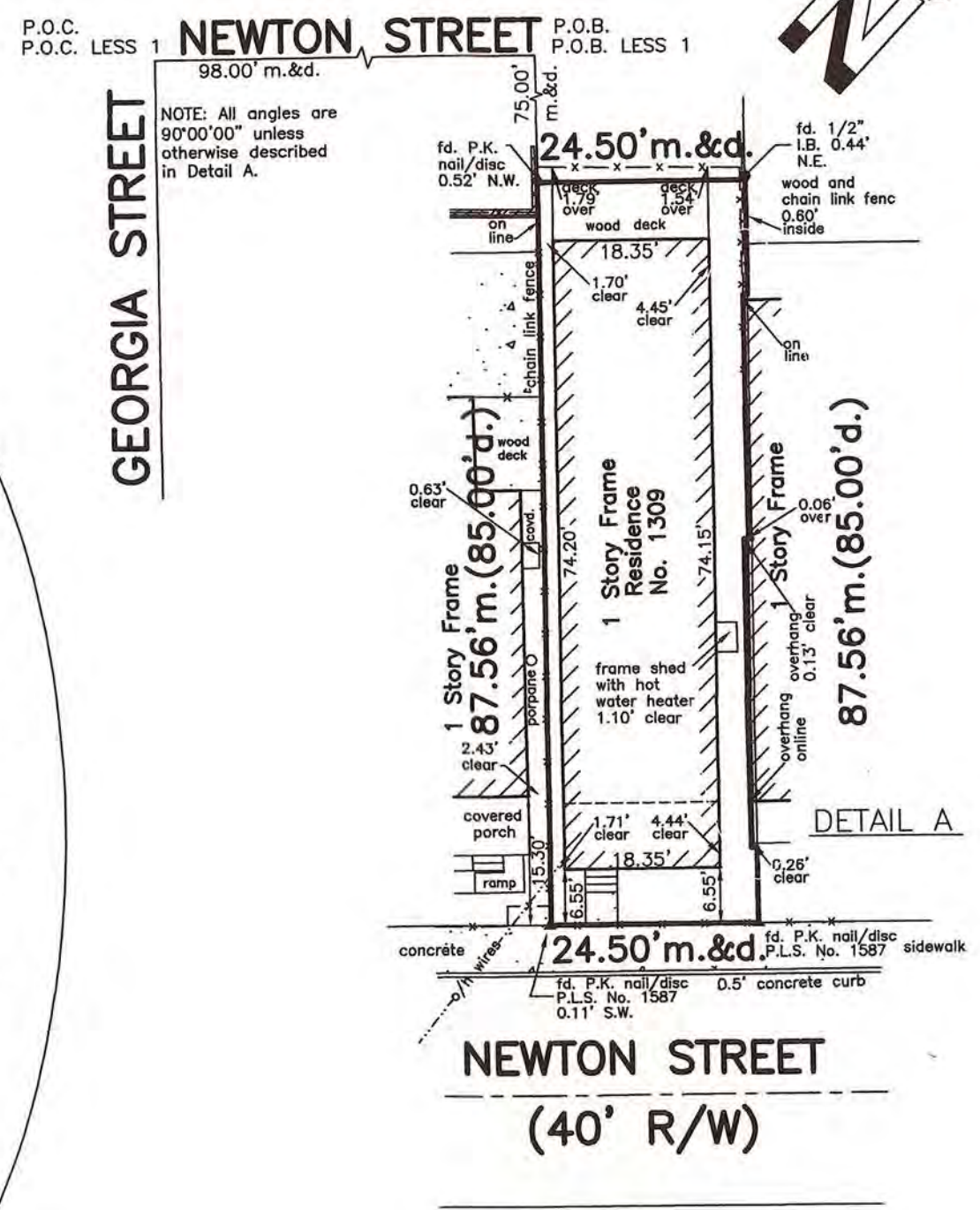
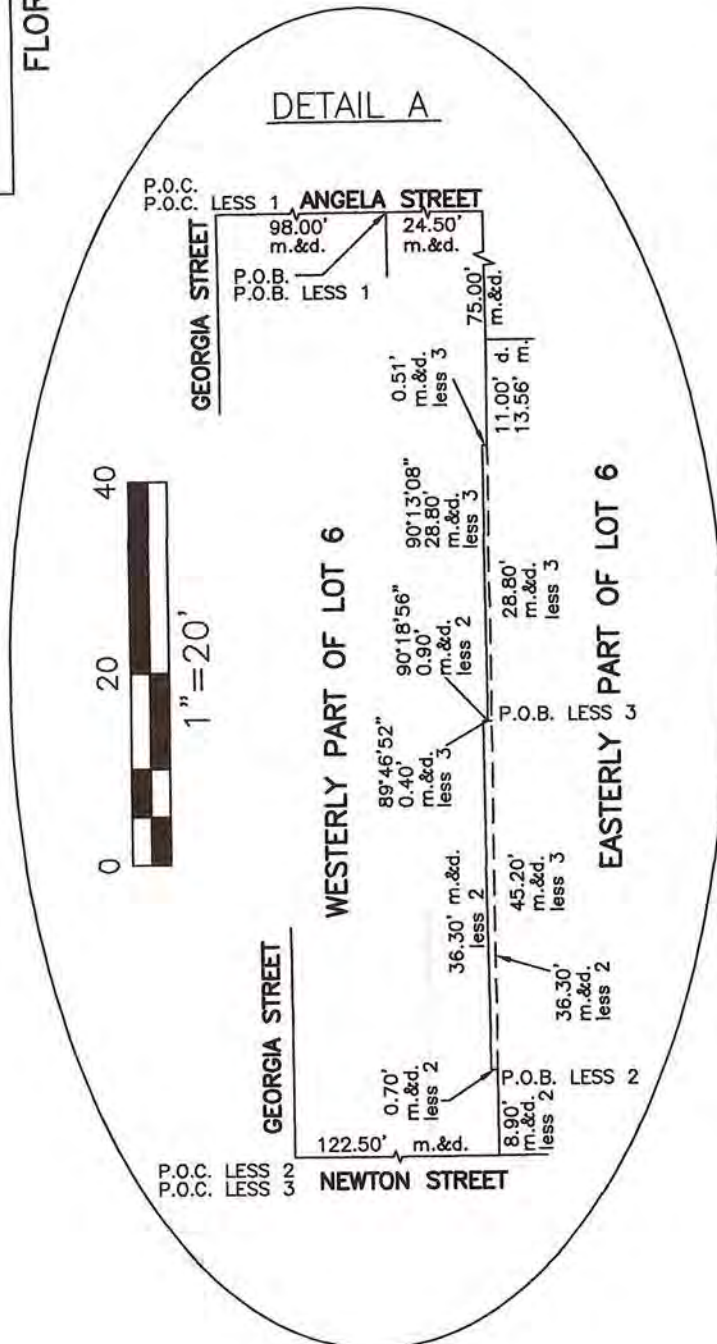
Monumentation:
⊙ = set 1/2" Iron Pipe, P.L.S. No. 2749
▲ = Found P.K. Nail, P.L.S. No. 1587
△ = Set P.K. Nail, P.L.S. No. 2749

Field Work performed on: 3/21/14

CERTIFICATION:
I HEREBY CERTIFY that the attached **BOUNDARY SURVEY** is true and correct to the best of my knowledge and belief; that it meets the minimum technical standards adopted by the Florida Board of Land Surveyors, Chapter 5J-17, Florida Statute Section 472.027, and the American Land Title Association, and that there are no visible encroachments unless shown hereon.

FREDERICK H. HILDEBRANDT
Professional Land Surveyor & Mapper No. 2749
Professional Engineer No. 36810
State of Florida

NOT VALID UNLESS EMBOSSED WITH RAISED SEAL & SIGNATURE



- Abbreviations:**
- Sty. = Story
 - R/W = Right-of-Way
 - fd. = Found
 - p. = Plat
 - m. = Measured
 - d. = deed
 - N.T.S. = Not to Scale
 - ⊙ = Centerline
 - Elev. = Elevation
 - o/h = Overhead
 - F.F.L. = Finish Floor Elevation
 - conc. = concrete
 - I.P. = Iron Pipe
 - C.B.S. = Concrete Block Stucco
 - cov'd. = Covered
 - wd. = Wood
 - Bal. = Balcony
 - B.M. = Bench Mark
 - P.O.C. = Point of Commence
 - P.O.B. = Point of Beginning
 - P.B. = Plat Book
 - pg. = page
 - Elec. = Electric
 - Tel. = Telephone
 - Pl. = Planter
 - A/C = Air Conditioner

Jody Draves 1309 Newton Street, Key West, Fl. 33040			
BOUNDARY SURVEY		Dwn No.: 14-190	
Scale: 1"=20'	Ref. 04-13 214-39 file	Flood panel No. 1516 K	Dwn. By: F.H.H.
Date: 3/24/14		Flood Zone: AE	Flood Elev. 6'4"
REVISIONS AND/OR ADDITIONS			
fred\key west\block 90\1309 newton street			

ISLAND SURVEYING INC.
ENGINEERS PLANNERS SURVEYORS
3152 Northside Drive
Suite 201
Key West, Fl. 33040
(305) 293-0466
Fax. (305) 293-0237
fhildeb1@bellsouth.net
L.B. No. 7700

Site Plans



JODY DRAVES RESIDENTIAL REMODEL

1309 NEWTON ST. KEY WEST, FL 33040



General Notes

All work shall comply with the Florida Building Code, latest edition, and all applicable laws, codes and ordinances of the city, county, and the state of Florida. In the city of Key West, applicable Codes forming the basis of this:

- BUILDING: Florida Building Code, 2010
- ELECTRICAL: National Electrical Code, 2010
- PLUMBING: Florida Building Code (Plumbing), 2010
- MECHANICAL: Florida Building Code (Mech.), 2010
- GAS: LP Gas Code, 2010 edition (NFPA 58)

This project is designed in accordance with A.S.C.E. 7-10 to resist wind loads 180 mph (gusts) (Exposure C)

Florida Administrative Code

61G1-16.003 WHEN SEAL MAYBE AFFIXED. The personal seal, signature and date of the architect shall appear on all architectural documents to be filed for public record and shall be construed to obligate his partners of his corporation. A corporate seal alone is insufficient. Documents shall be signed personally and sealed by the responsible architect Final official record documents (not tracings, etc.) shall be so signed. The signing and sealing of the index sheet or shells (if it identifies all parts) of drawings and specifications shall be considered adequate. Without such index, all sheets and pages shall be so signed and sealed. An architect or interior designer nor affix, or permit to be affixed his seal or name to any plan, shall specifications, drawings, or other related document which was not prepared by him or under his responsible supervising control as provided in rule 61G1-23FAC. An architect or interior designer shall not use his seal or do an other act as an architect or interior designer unless holding at the time a certificate of registration and all required renewals thereof.

SHEET INDEX

NO.	DESCRIPTION
1	C COVER SHEET
2	AB-1 FLOOR PLAN (EXISTING)
3	AB-2 ELEVATIONS (EXISTING)
4	SS-1 SITE SURVEY
5	SS-2 SITE PLAN (PROPOSED)
6	A-1 FLOOR PLAN (PROPOSED)
7	A-2 ELEVATIONS (PROPOSED)
8	A-3 DEMOLITION PLAN
9	A-4 ROOF FRAMING PLANS
10	A-5 SECTION DETAILS
11	A-6 SCHEDULES, DOORS, WINDOWS, NOTES
12	M-1 HVAC PLAN
13	M-2 PLUMBING PLAN
14	M-3 ELECTRICAL PLAN
15	S-1 PROJECT NOTES
16	S-2 DETAIL SHEET
17	S-3 SHEAR WALL PLAN
18	S-4 SHEAR WALL DETAILS

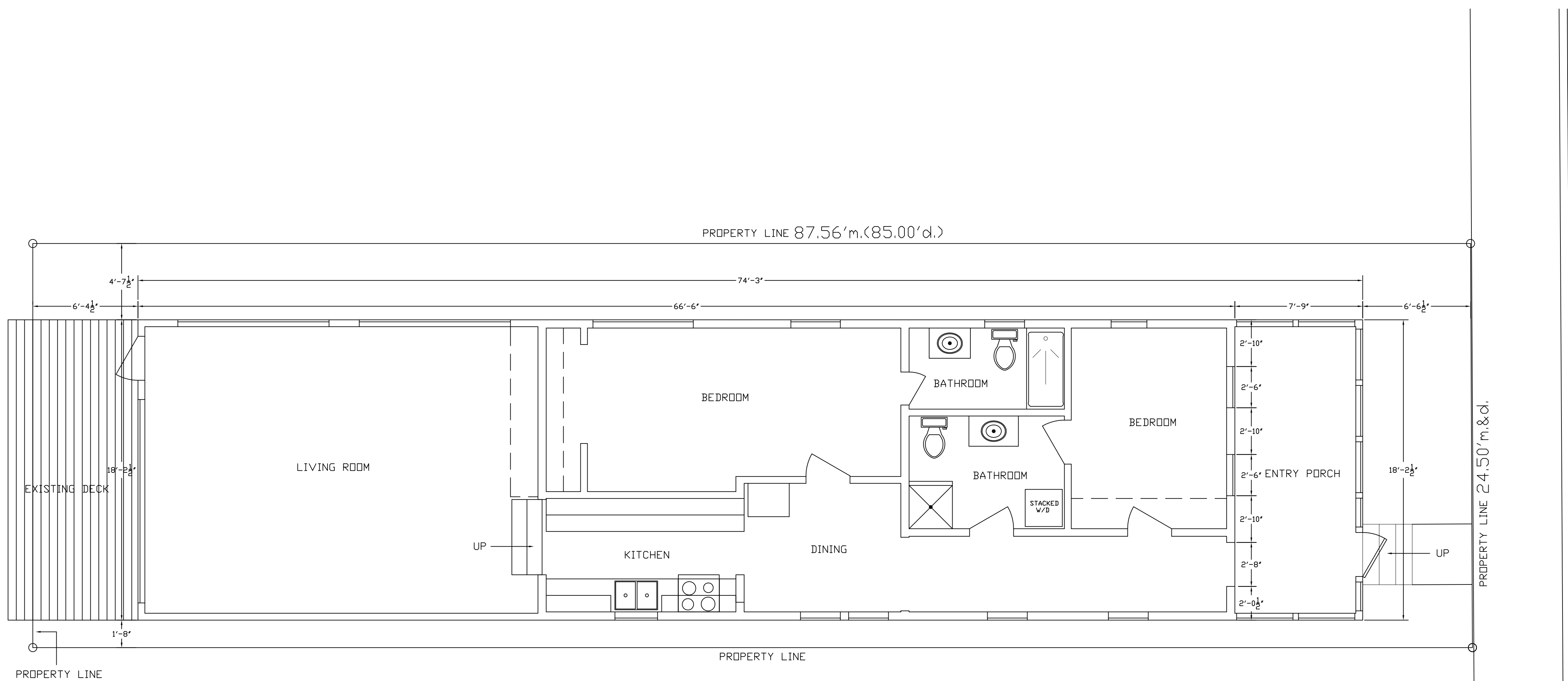
JODY DRAVES

1309 NEWTON ST. KEY WEST, FLORIDA 33040

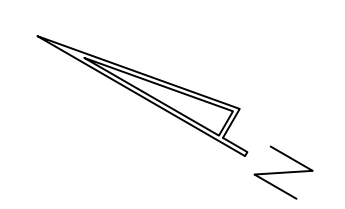
PROJECT NO:
FLYNN

DATE:
07/11/2014

C
1 OF 18



NEWTON STREET

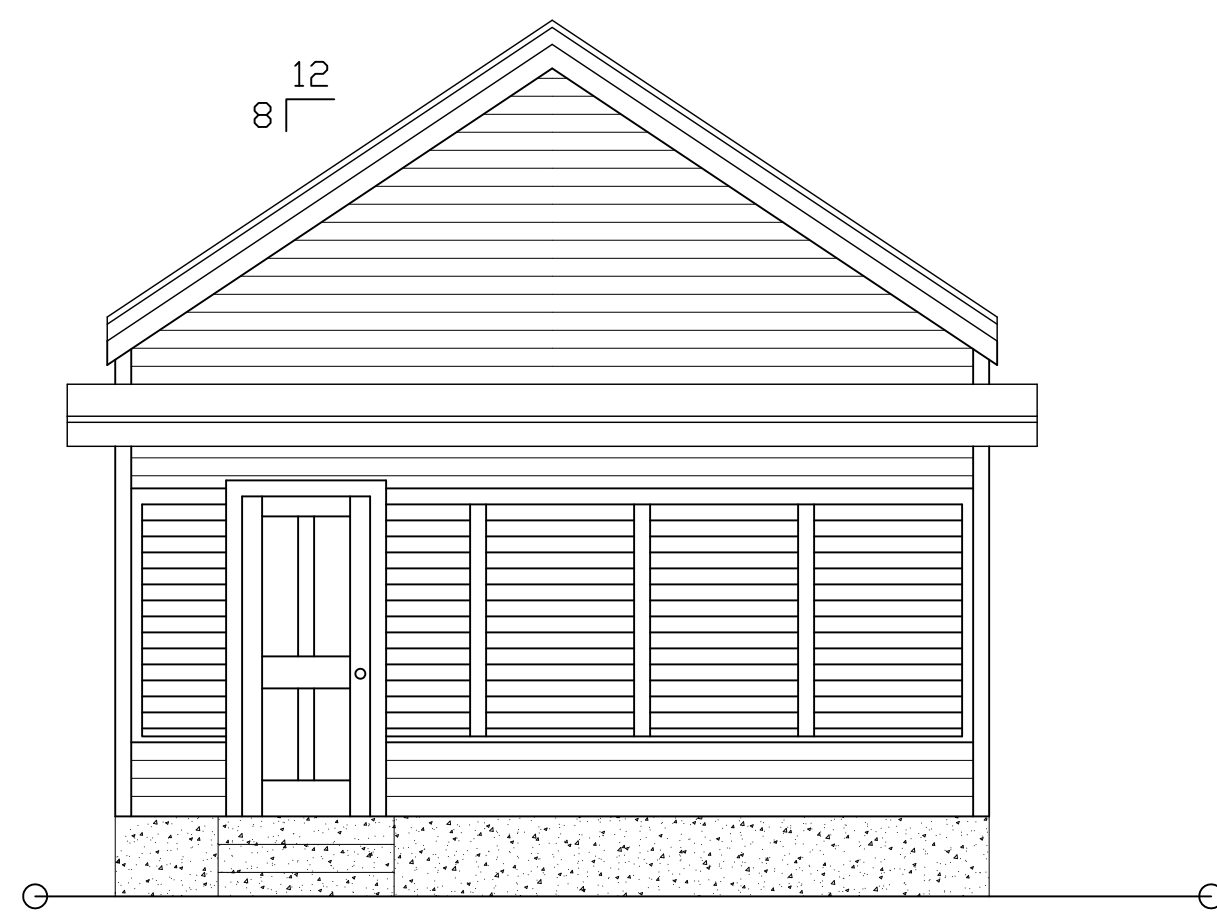


1 FLOOR PLAN (FIRST FLOOR) AS BUILT
 AB-1 1/4" = 1'-0"

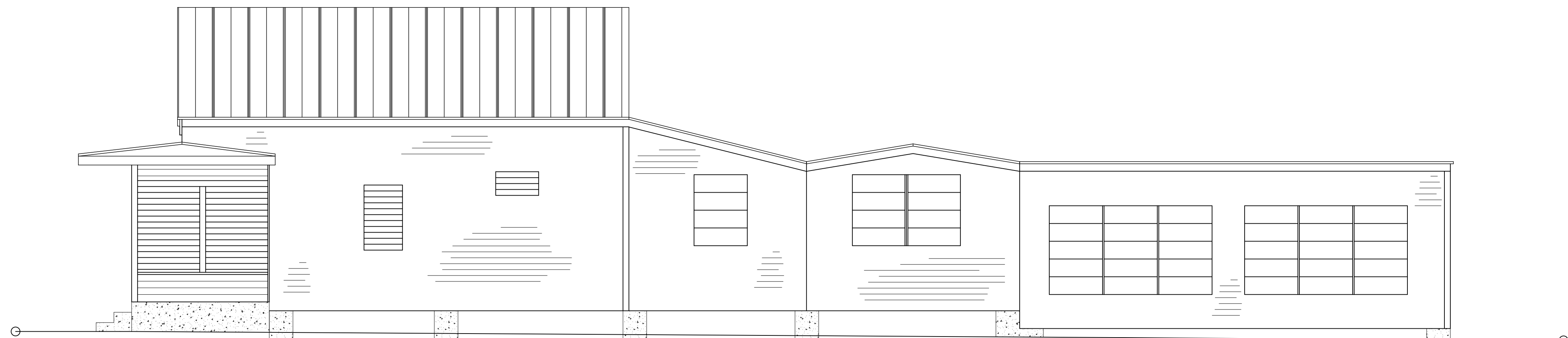
JODY DRAVES
 1309 NEWTON ST. KEY WEST, FLORIDA 33040

PROJECT NO.: FLYNN
 DATE: 07/11/2014

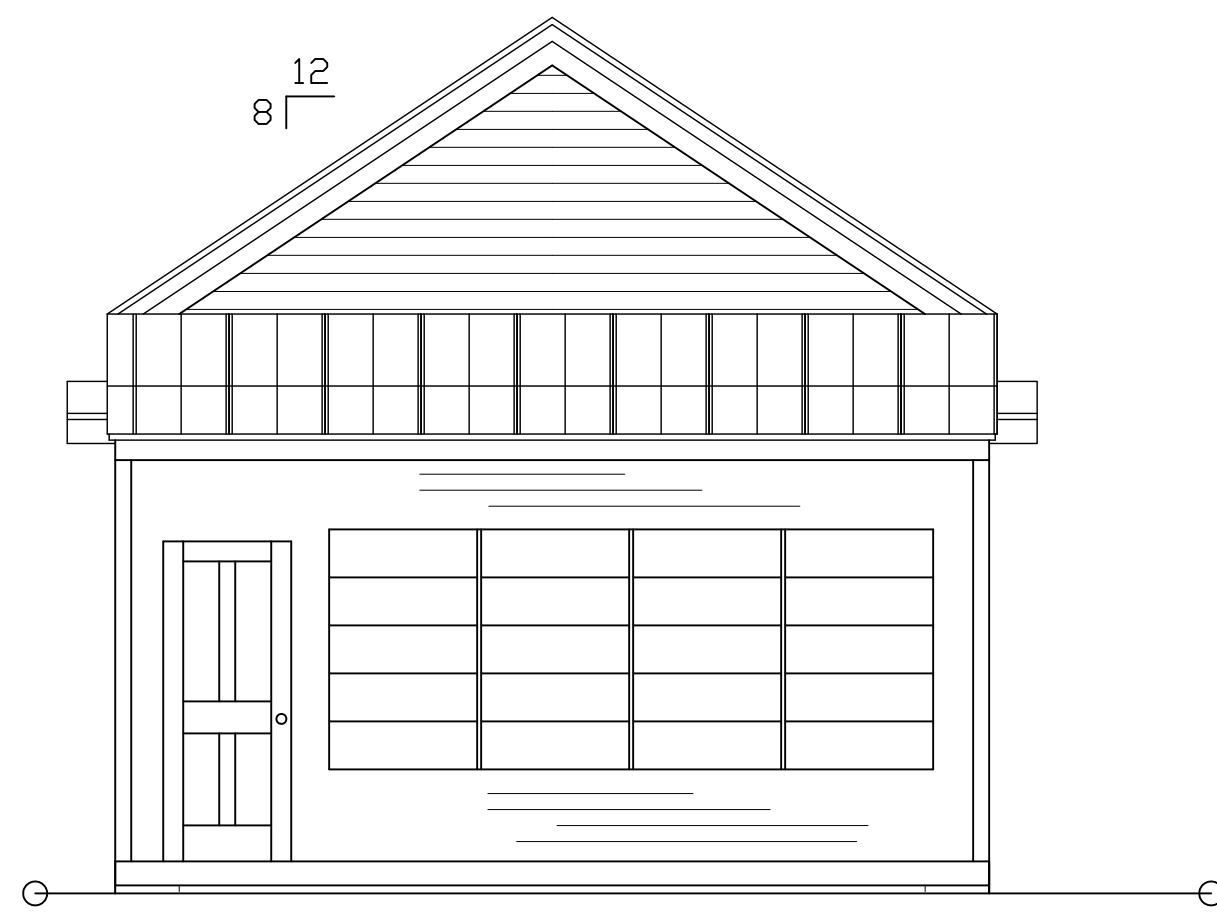
AB-1
 2 OF 18



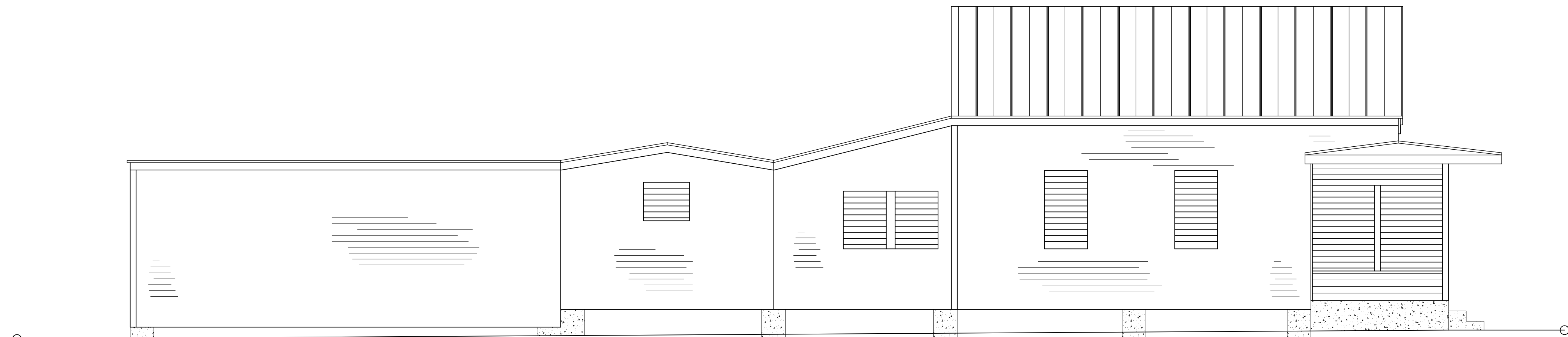
1 SOUTH ELEVATION (AS BUILT)
 1/4" = 1'-0"



2 EAST ELEVATION (AS BUILT)
 1/4" = 1'-0"



3 NORTH ELEVATION (AS BUILT)
 1/4" = 1'-0"



4 WEST ELEVATION (AS BUILT)
 1/4" = 1'-0"

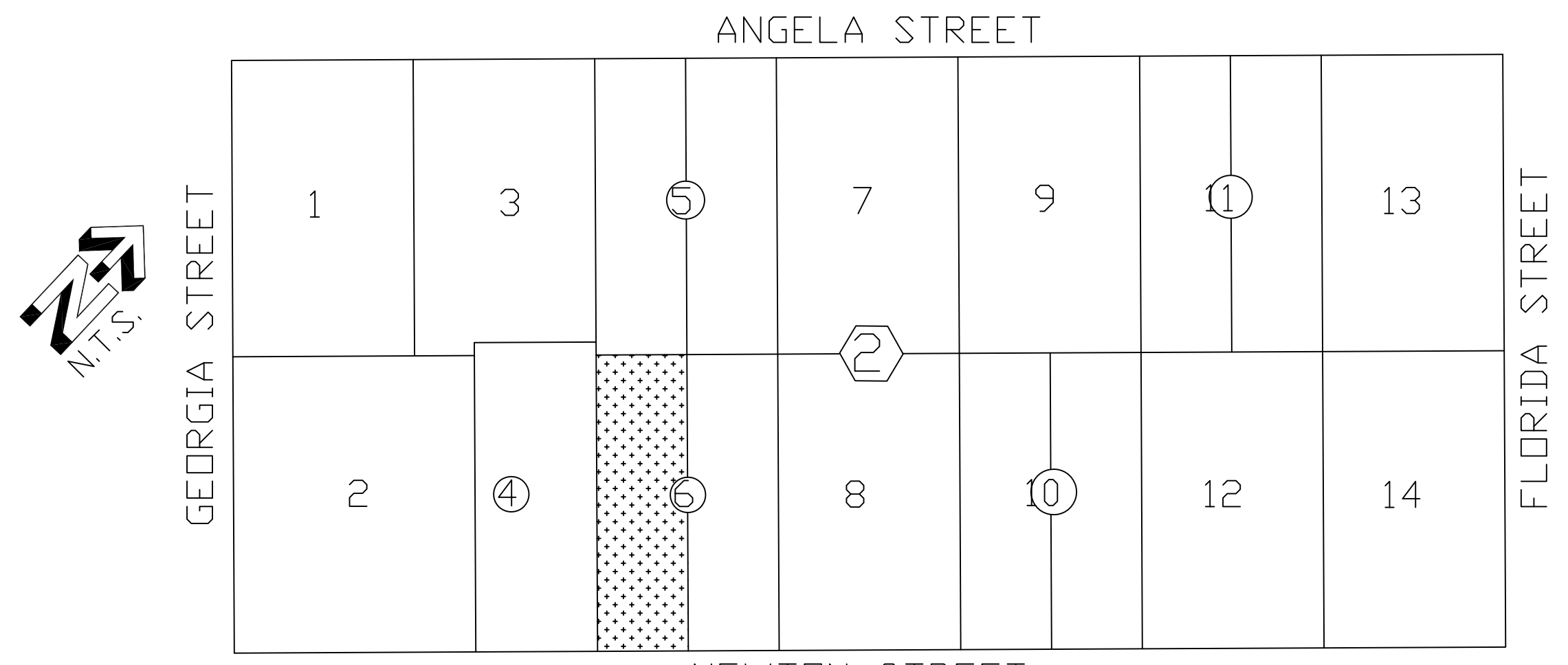
JODY DRAVES

1509 NEWTON ST. KEY WEST, FLORIDA 335040

PROJECT NO.: FLYNN

DATE: 07/11/2014

AB-2
 3 OF 18



LOCATION MAP
Square 2, Tract 7

LEGAL DESCRIPTION:

On the Island of Key West, Monroe County, Florida described as follows:
Part of Lots 5 and 6 of Square 2 of James A. Waddell's Subdivision of part of Tract 7 as recorded in Plat Book I, Page 28, more particularly described as follows: Beginning at the corner of Angela and Georgia Streets and running thence along Angela Street 98 feet for a Point of Beginning; running thence from said Point of Beginning along Angela Street in a NE'ly direction 24 1/2 feet; thence at right angles in a SE'ly direction 160 feet out to Newton Street; thence at right angles in a SW'ly direction 24 1/2 feet along Newton Street; thence in a NW'ly direction 160 feet to the Point of Beginning on Angela Street.

LESS

Part of Lot 5, of Square 2 of James A. Waddell's Subdivision of part of Tract 7 as recorded in Plat Book I, Page 28, more particularly described as follows: Beginning at the corner of Angela and Georgia Streets and running thence along Angela Street 98 feet for a Point of Beginning; running thence from said Point of Beginning along Angela Street in a NE'ly direction 24 1/2 feet; thence at right angles in a SE'ly direction 75 feet; thence at right angles in a SW'ly direction 24 1/2 feet; thence in a NW'ly direction 75 feet back to the Point of Beginning on Angela Street.

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SURVEYOR'S NOTES:

North arrow based on assumed median Reference Bearing; W Newton Street (assumed)
3.4 denotes existing elevation
Elevations based on N.G.V.D. 1929 Datum
Bench Mark No.: D-121 Elevation: 3.914

Monumentation:

- ⊙ = set 1/2" Iron Pipe, P.L.S. No. 2749
- ▲ = Found P.K. Nail, P.L.S. No. 1587
- △ = Set P.K. Nail, P.L.S. No. 2749

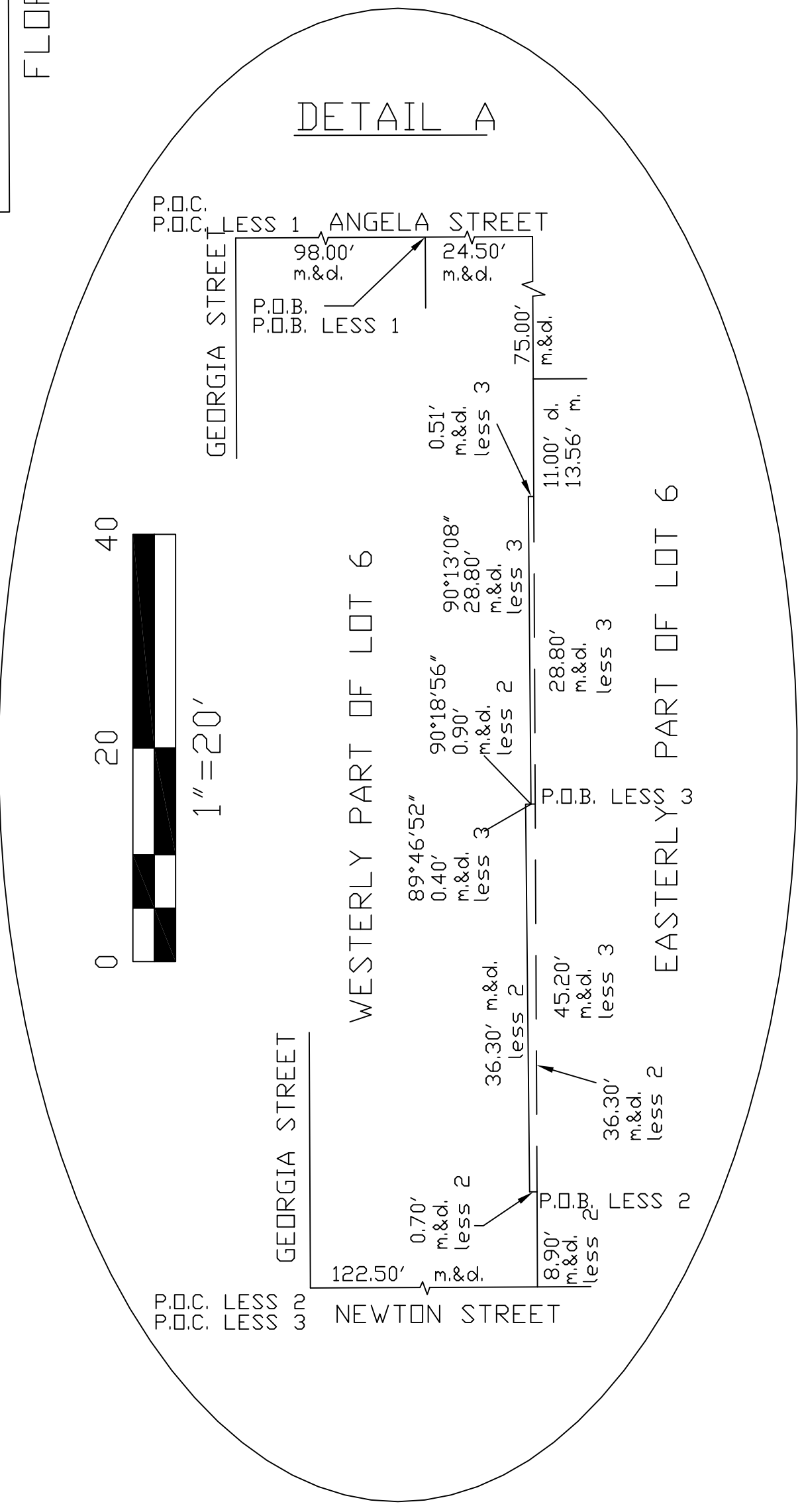
Field Work performed on: 3/21/14

CERTIFICATION:

I HEREBY CERTIFY that the attached BOUNDARY SURVEY is true and correct to the best of my knowledge and belief; that it meets the minimum technical standards adopted by the Florida Board of Land Surveyors, Chapter 5J-17, Florida Statute Section 472.027, and the American Land Title Association, and that there are no visible encroachments unless shown hereon.

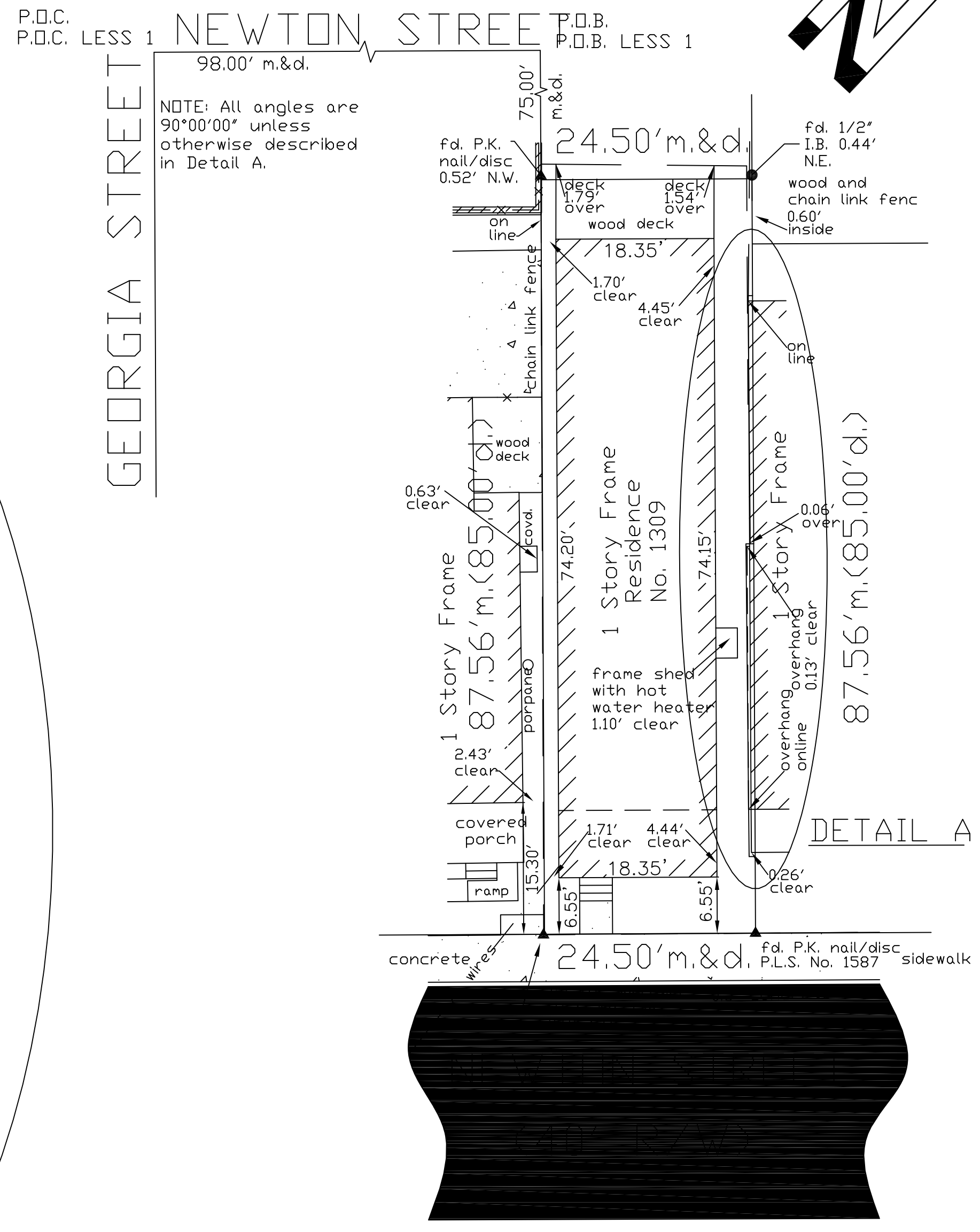
FREDERICK H. HILDEBRANDT
Professional Land Surveyor & Mapper No. 2749
Professional Engineer No. 36810
State of Florida

CERTIFICATION MADE TO:
Consumer Title & Escrow Services, Inc.;
Uw First American Title Insurance Company;
KWRH, LLC



Abbreviations:

- | | | |
|-----------------------|---------------------------------|-----------------------------|
| Sty. = Story | o/h = Overhead | P.O.C. = Point of Commence |
| R/W = Right-of-Way | F.F.L. = Finish Floor Elevation | P.O.B. = Point of Beginning |
| fd. = Found | conc = concrete | P.B. = Plat Book |
| p. = Plat | I.P. = Iron Pipe | pg. = page |
| m. = Measured | C.B.S. = Concrete Block Stucco | Elec = Electric |
| d. = deed | cov'd = Covered | Tel. = Telephone |
| N.T.S. = Not to Scale | wd. = Wood | Pl. = Planter |
| ⊙ = Centerline | Bal. = Balcony | A/C = Air Conditioner |
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KWRH, LLC 1309 Newton Street, Key West, Fl. 33040			
BOUNDARY SURVEY		Dwn No.:	14-190
Scale: 1"=20'	Ref. 04-13 214-39 file	Flood panel No. 1516 K	Dwn. By: F.H.H.
Date: 3/24/14		Flood Zone: AE	Flood Elev. 6'6"
REVISIONS AND/OR ADDITIONS			
ENGINEERS PLANNERS SURVEYORS			
3152 Northside Drive Suite 201 Key West, Fl. 33040		(305) 293-0466 Fax. (305) 293-0237 fhldebi@bellsouth.net L.B. No. 7700	

3152 Northside Drive
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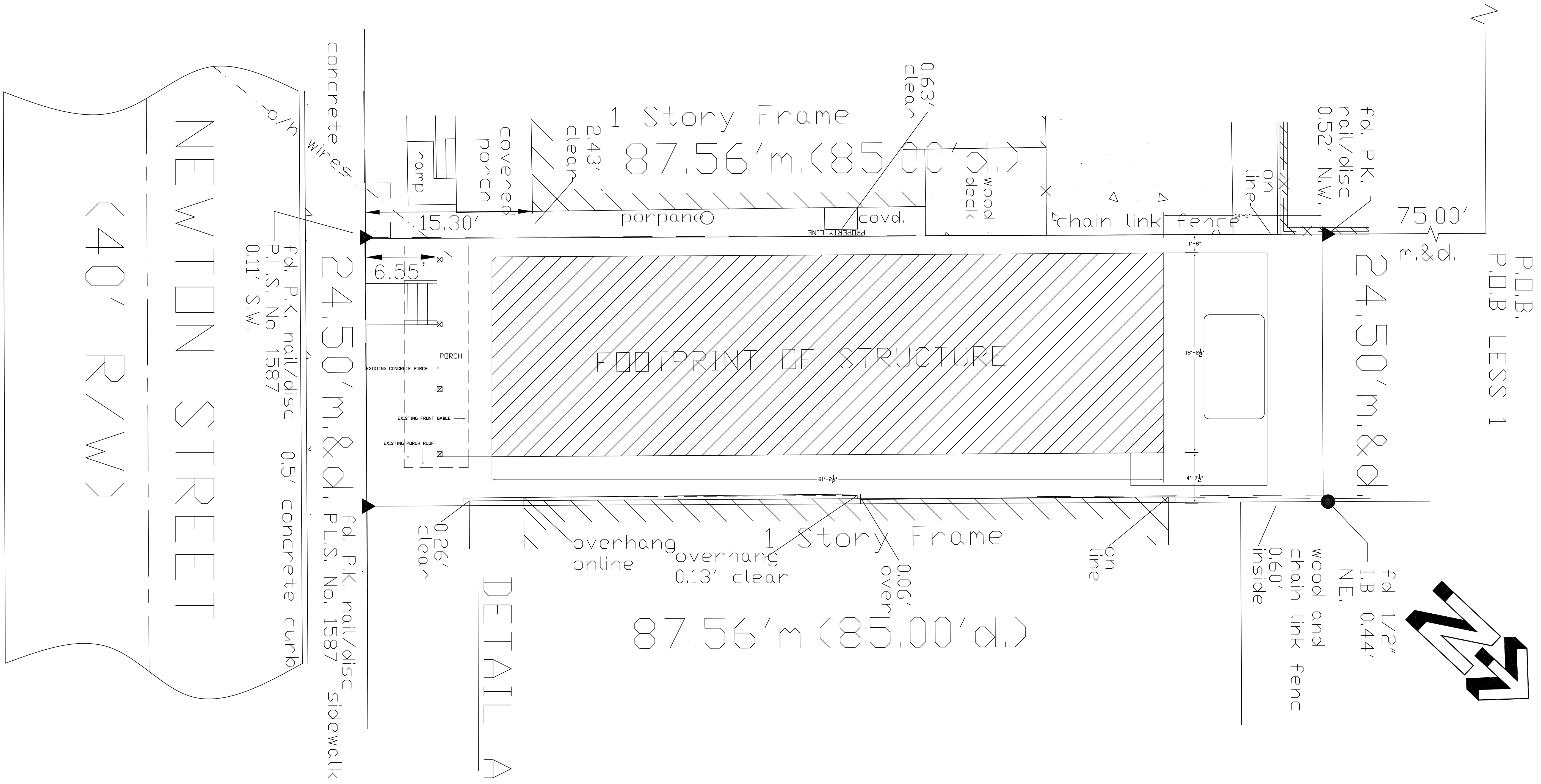
JODY DRAVES

1309 NEWTON ST. KEY WEST, FLORIDA 33040

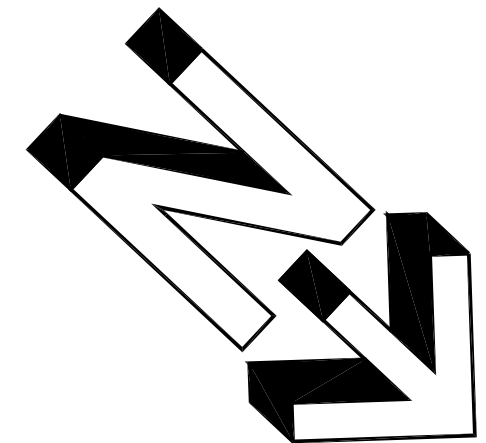
PROJECT NO.: FLYNN
DATE: 07/11/2014

SS-1
4 OF 18

NOT VALID UNLESS EMBOSSED WITH RAISED SEAL & SIGNATURE



P.O.B.
P.O.B. LESS 1



DETAIL A

concrete curb
wires
fd. P.K. nail/disc
P.L.S. No. 1587
0.11' S.W.
24.50' m. (80' d.)
fd. P.K. nail/disc
P.L.S. No. 1587
sidewalk

NEWTON STREET
(40' R/W)

1 Story Frame

87.56' m. (85.00' d.)

FOOTPRINT OF STRUCTURE

1 Story Frame

87.56' m. (85.00' d.)

overhang
online
0.26'
clear

overhang
0.13' clear

0.06'
overhang

0.63'
clear

2.43'
clear

fd. P.K.
nail/disc
0.52' N.W.

75.00'
m. (80' d.)

24.50' m. (80' d.)

fd. 1/2"
I.B. 0.44'
N.E.
wood and
chain link fence
0.60'
inside

on
line

chain link fence

wood
deck

covd.

covered
porch

ramp

EXISTING CONCRETE PORCH
PORCH
EXISTING FRONT GABLE
EXISTING PORCH ROOF

PROPERTY LINE

CONSTRUCTION PLAN GENERAL NOTES

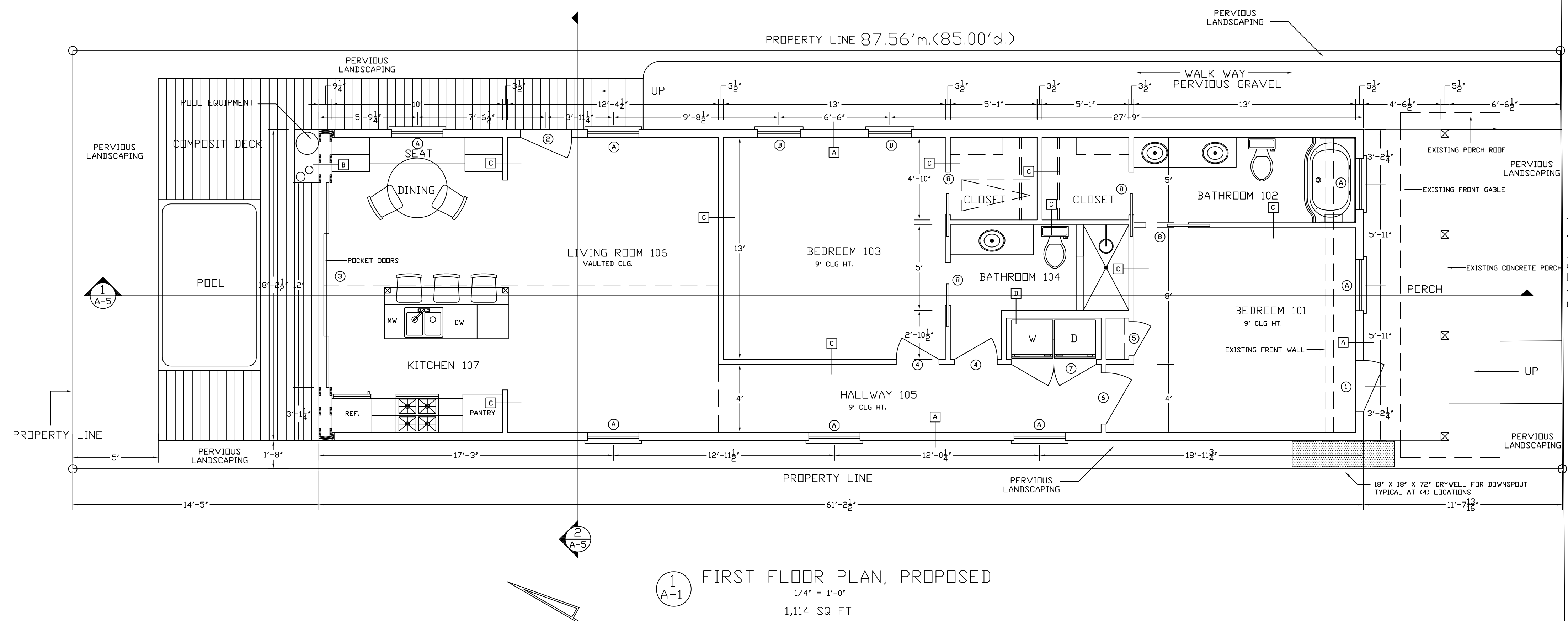
1	WRITTEN DIMENSIONS GOVERN. IF SCALING PLAN, VERIFY SCALE.
2	MOST DIMENSIONS ARE TO ROUGH FRAMING NOT FINISHED SURFACES.
3	ALL DIMENSIONS MARKED "CLEAR" OR "CLR" SHALL BE MAINTAINED AND ALLOW FOR THICKNESS OF ALL WALL FINISHES.
4	DIMENSION NOTED "CLEAR" OR "CLR" MUST BE MAINTAINED + / - 1/8" WITHOUT INSTRUCTION FROM ARCHITECT AND / OR OWNER, AS APPLICABLE.
5	DIMENSIONS MARKED + / - MEAN A TOLERANCE NOT GREATER OR SMALLER THAN 2 INCHES FROM INDICATED DIMENSION. VERIFY FIELD DIMENSIONS EXCEEDING TOLERANCE WITH ARCHITECT OR OWNER, AS APPLICABLE.
6	DIMENSIONS LOCATING DOORS ARE TYPICALLY TO THE INSIDE FINISHED EDGES OF JAMBS. VERIFY ROUGH OPENINGS WITH MANUFACTURER.
7	DIMENSIONS LOCATING WINDOWS ARE TYPICALLY TO THE CENTER OF WINDOWS. VERIFY ROUGH OPENINGS WITH MANUFACTURER.
8	NOTIFY ARCHITECT OF ANY DISCREPANCIES OR CONFLICTS IN THE LOCATIONS OF THE NEW CONSTRUCTION.
9	OBTAIN APPROVAL FROM ARCHITECT OR OWNER, AS APPLICABLE, PRIOR TO MODIFYING BUILDING COMPONENTS, SYSTEMS AND ITEMS NOT IDENTIFIED PRIOR TO ADJUSTING ANY FIELD CONDITIONS TO FIT PLANS.
10	ALL WORK SHALL BE ERECTED AND INSTALLED, PLUMB, LEVEL, SQUARE AND TRUE AND IN PROPER ALIGNMENT.
11	ALL NEW AND / OR EXISTING PENETRATIONS FOR PIPING, WIRING ETC. SHALL BE FULLY BLOCKED AND SEALED IN ACCORDANCE WITH APPLICABLE BUILDING FIRE CODES.
12	REFER TO MECHANICAL PLANS FOR LOCATIONS OF HVAC, PLUMBING AND ELECTRICAL COMPONENTS.

WALL SCHEDULE

MK.	WALL TYPE / DETAILS	NOTES
A	NEW EXTERIOR 2X6 WALL, INTERIOR 5/8" GYPSUM OR GREEN BOARD AT WET LOCATIONS EXTERIOR 5/8" PLYWOOD WITH VAPOR BARRIER AND LAP SIDING	STUDS PLACED 16" O.C.
B	NEW EXTERIOR 2X10 WALL, INTERIOR 5/8" GYPSUM OR GREEN BOARD AT WET LOCATIONS EXTERIOR 5/8" PLYWOOD WITH VAPOR BARRIER AND LAP SIDING	STUDS PLACED 16" O.C.
C	NEW INTERIOR 2X4 WALL, INTERIOR 5/8" GYPSUM BOTH SIDES, GREEN BOARD AT WET LOCATIONS	STUDS PLACED 16" O.C.
D	NEW INTERIOR 2X6 WALL, INTERIOR 5/8" GYPSUM BOTH SIDES, GREEN BOARD AT WET LOCATIONS	STUDS PLACED 16" O.C.

SITE DATA TABLE

	CODE REQUIREMENTS	EXISTING	PROPOSED	VARIANCE REQUEST
ZONING	HMDR			
FLOOD ZONE	AE-6			
SIZE OF SITE	2,040.46			
BUILDING HEIGHT	30 FT	16' 10"	16' 10"	N/A
FRONT SETBACK	10 FT	6.55'	6.55'	N/A
SIDE SETBACK	5 FT	1.71'	1.71'	YES
REAR SETBACK	5 FT	4.44'	4.44'	YES
STREET SIDE SETBACK	5 FT	6.55'	6.55'	N/A
REAR SETBACK	15 FT	6.37'	14.50'	NO
F.A.R.	N/A	N/A	N/A	N/A
BUILDING COVERAGE	40%	1,360.65 SF	1,114.48 SF	N/A
IMPERVIOUS SERVICE	60%	1,395.57	1,329.99	N/A
PARKING	1 SPACE PER UNIT	NONE	NONE	N/A
HANDICAP PARKING	N/A	N/A	N/A	N/A
BICYCLE PARKING	N/A	N/A	N/A	N/A
OPEN SPACE / LANDSCAPING	35%	635.74	481.68	N/A
NUMBER AND TYPE OF UNITS	1 UNIT	1 UNIT	1 UNIT	N/A
CONSUMPTION AREA OR NUMBER OF SEATS	N/A	N/A	N/A	N/A



1 FIRST FLOOR PLAN, PROPOSED
1/4" = 1'-0"
1,114 SQ FT

NOTE:
REFER TO SHEETS S-1 THRU S-4
FOR STRUCTURAL DETAILS.

JODY DRAVES

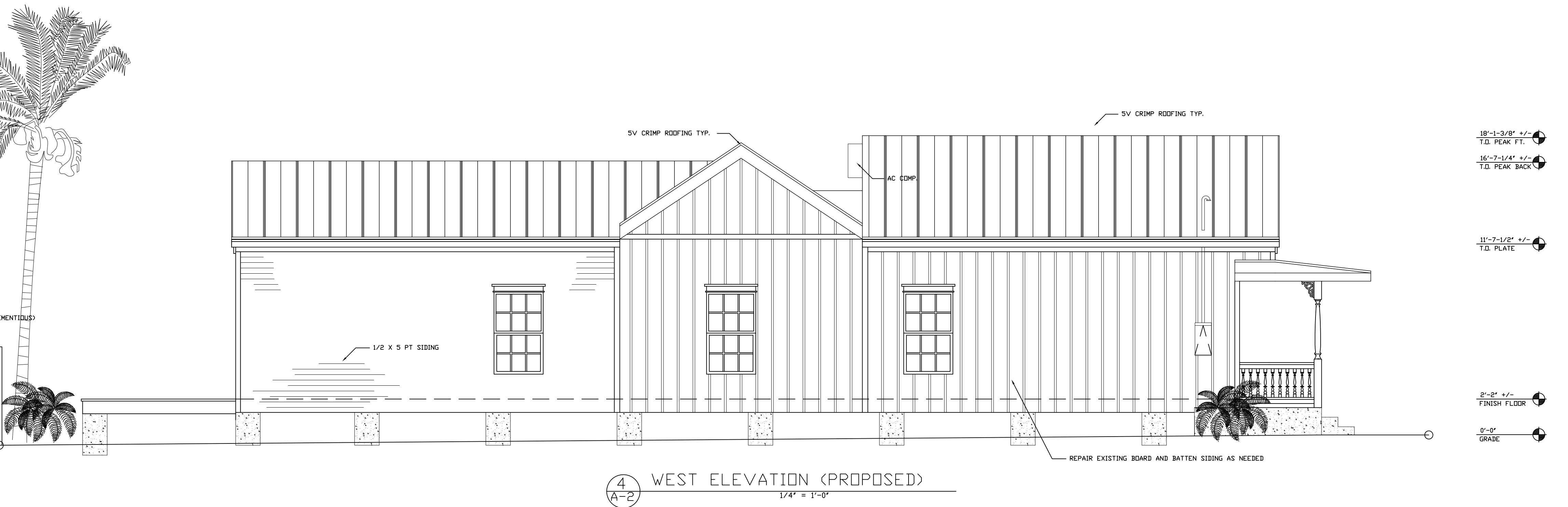
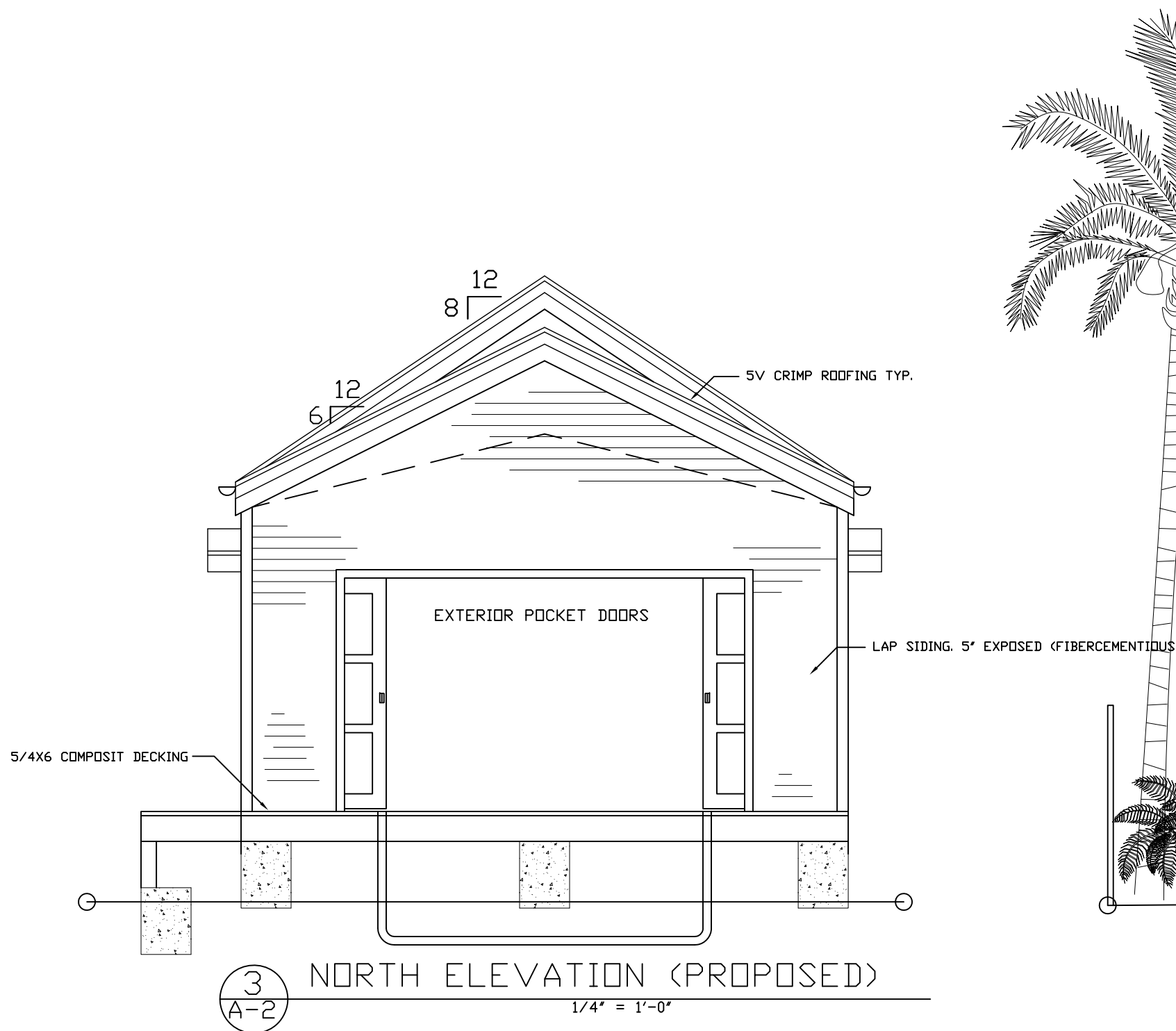
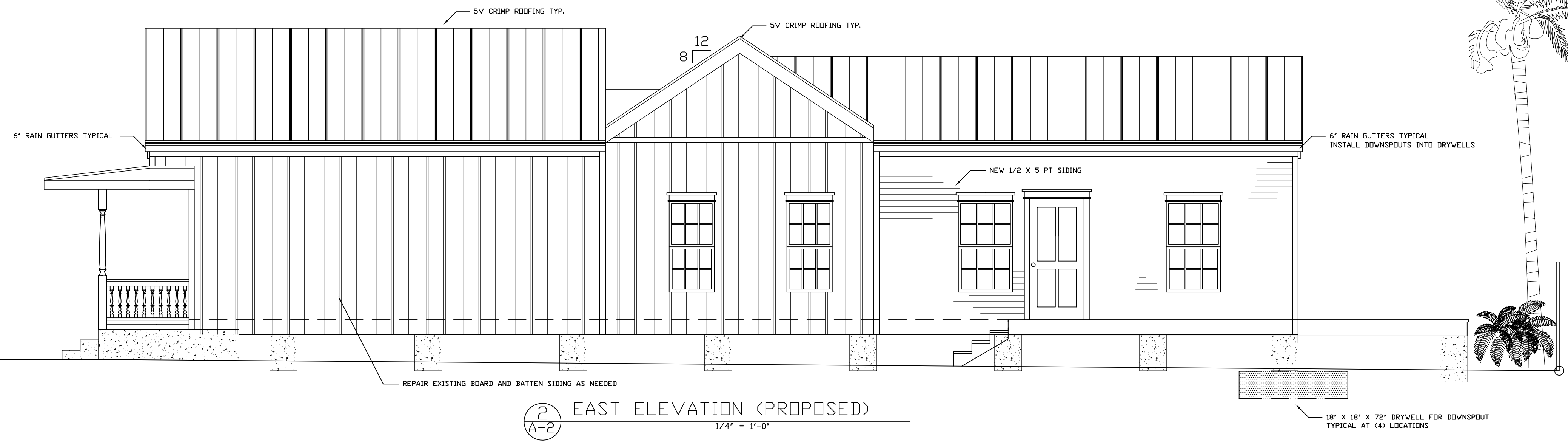
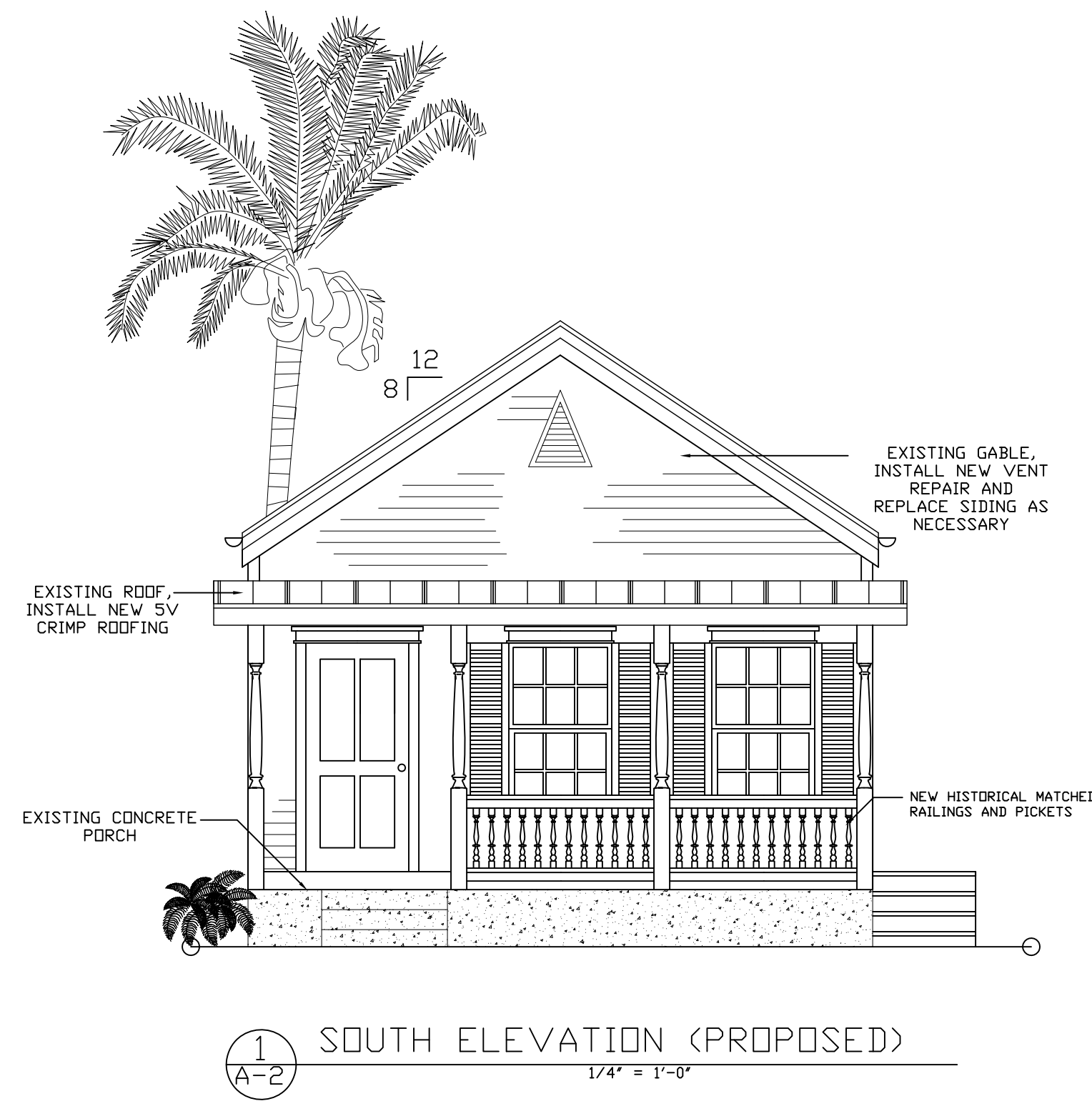
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- 18'-1-3/8" +/-
T.O. PEAK FT.
- 16'-7-1/4" +/-
T.O. PEAK BACK
- 11'-7-1/2" +/-
T.O. PLATE
- 2'-2" +/-
FINISH FLOOR
- 0'-0" +/-
GRADE

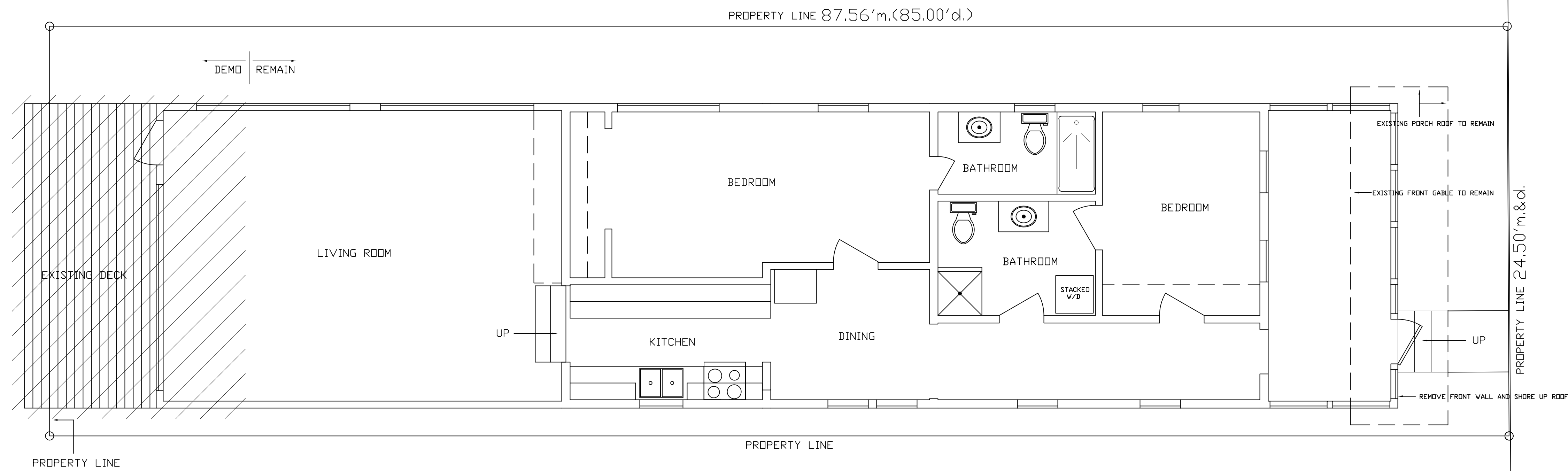
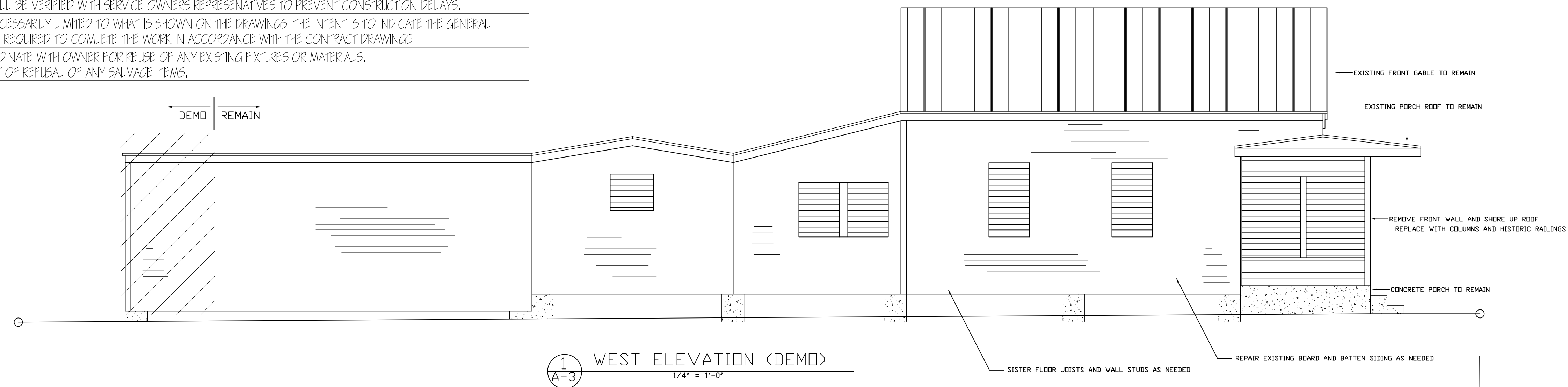
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EXTERIOR DEMOLITION NOTES

1	IF DEMOLITION COMMENCES PRIOR TO PERMIT, GC SHALL OBTAIN DEMO PERMITS.
2	FURNISH ALL LABOR AND MATERIALS AS REQUIRED TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS AS INDICATED.
3	PROVIDE STRICT CONTROL OF JOB SITE CLEANING AND PREVENT DEBRIS AND DUST FROM EMANATING FROM DEMOLITION AREA.
4	IF ANY QUESTIONS ARISE AS TO THE REMOVAL OF ANY MATERIAL, CLARIFY THE POINT IN QUESTION WITH THE ARCHITECT OR OWNER BEFORE PROCEEDING.
5	AT COMPLETION OF DEMOLITION WORK THE CONSTRUCTION AREA SHALL BE LEFT IN "BROOM CLEAN" CONDITION. ALL DEBRIS AND MISC. MATERIALS SHALL BE REMOVED TO WASTE AREA PROVIDED BY THE CONTRACTOR.
6	DEBRIS REMOVAL MUST BE PERFORMED IN ACCORDANCE WITH OWNER AND BUILDING MANAGEMENT REQUIREMENTS AND PROCEDURES.
7	CAREFULLY REMOVE ALL EXISTING LIGHT FIXTURES AND LENSES (WITHIN NOTED DEMOLITION AREA) AND STORE FOR FUTURE USE. BEFORE REUSE, INSPECT AND REPAIR FIXTURES AS NEEDED TO ENSURE PROPER FUNCTION. DISPOSE OF UNUSED FIXTURES PROPERLY.
8	CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND/ OR REPAIRING ANY DAMAGE CAUSED BY HIM OR HIS SUBCONTRACTORS TO EXISTING CONSTRUCTION. REFINISH TO MATCH EXISTING ADJACENT FINISH OR AS NOTED HEREIN.
9	EXISTING PLANTS TO REMAIN EXCEPT WHERE DAMAGE OCCURS DUE TO DEMOLITION OR NOTED OTHERWISE. REPLACE OR RELOCATE WHERE REQUIRED.
10	REMOVAL OF ANY EQUIPMENT, CABLING, SWITCHES, CONDUIT AND/ OR PIPING PERTAINING TO POWER, DATA, COMMUNICATIONS, WATER AND SEWER SHALL BE VERIFIED WITH SERVICE OWNERS REPRESENTATIVES TO PREVENT CONSTRUCTION DELAYS.
11	DEMOLITION IS NOT NECESSARILY LIMITED TO WHAT IS SHOWN ON THE DRAWINGS. THE INTENT IS TO INDICATE THE GENERAL SCOPE OF DEMOLITION REQUIRED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONTRACT DRAWINGS.
12	CONTRACTOR TO COORDINATE WITH OWNER FOR REUSE OF ANY EXISTING FIXTURES OR MATERIALS. OWNER HAS FIRST RIGHT OF REFUSAL OF ANY SALVAGE ITEMS.



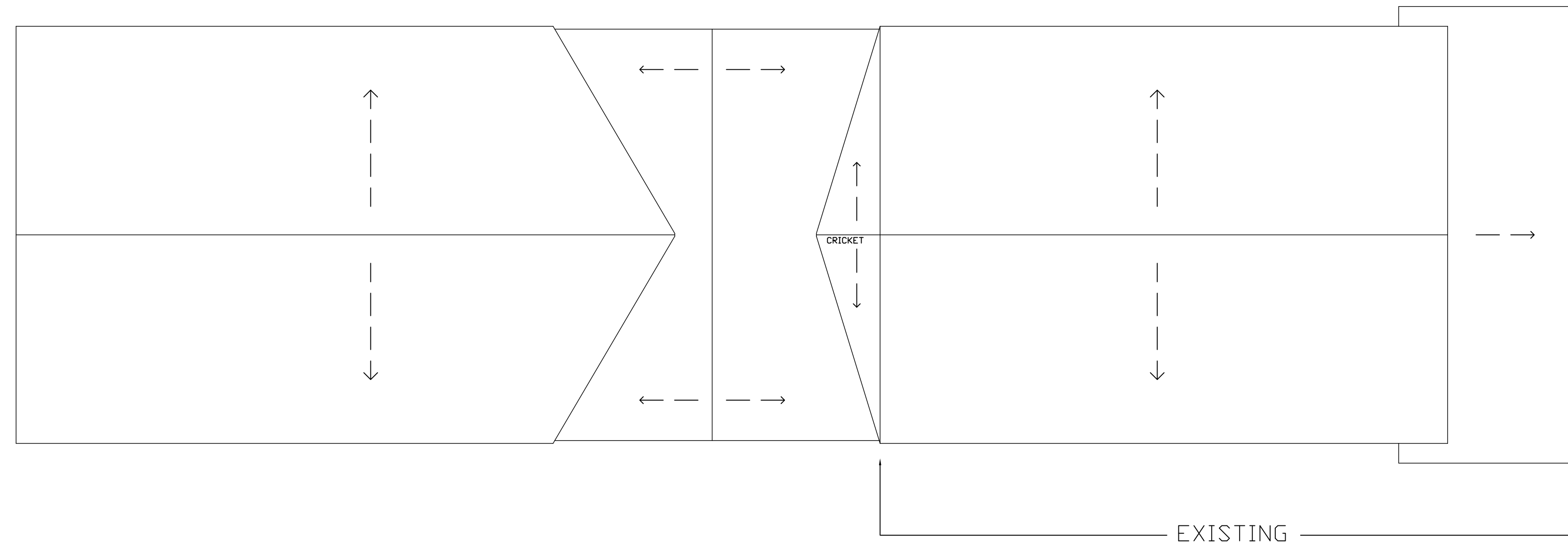
NEWTON STREET

JODY DRAVES

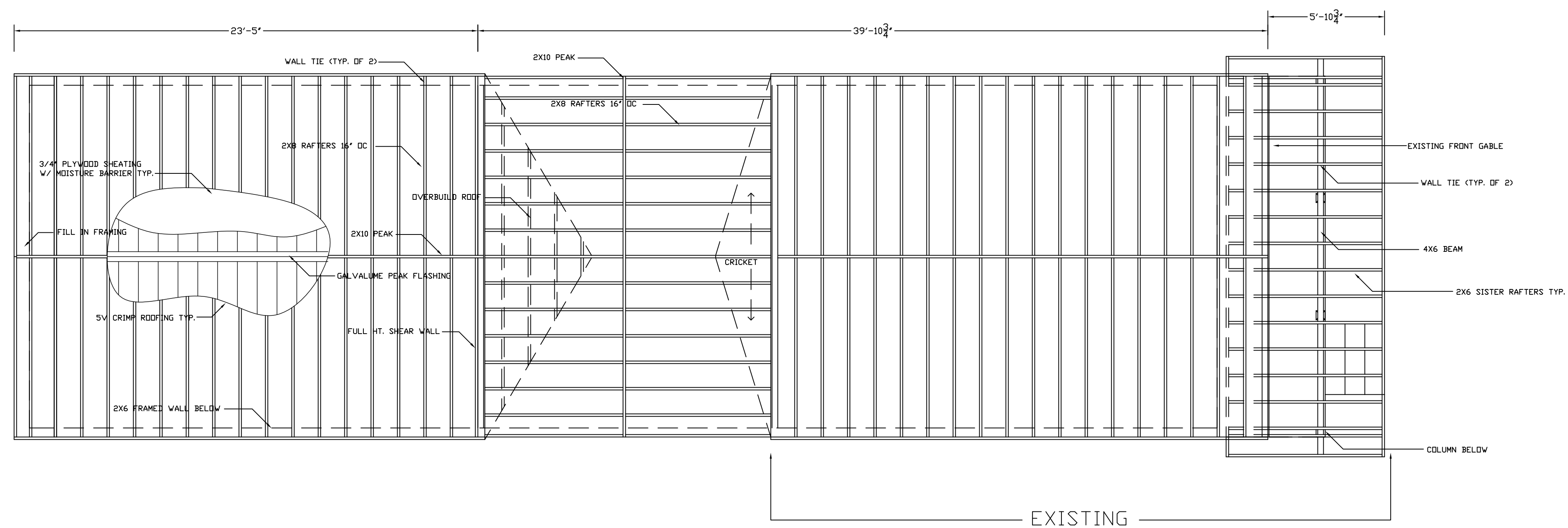
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1
A-4
ROOF PITCH PLAN
1/4" = 1'-0"



2
A-4
ROOF FRAMING PLAN
1/4" = 1'-0"

NOTE:
REFER TO SHEETS S-1 THRU S-4
FOR STRUCTURAL DETAILS.

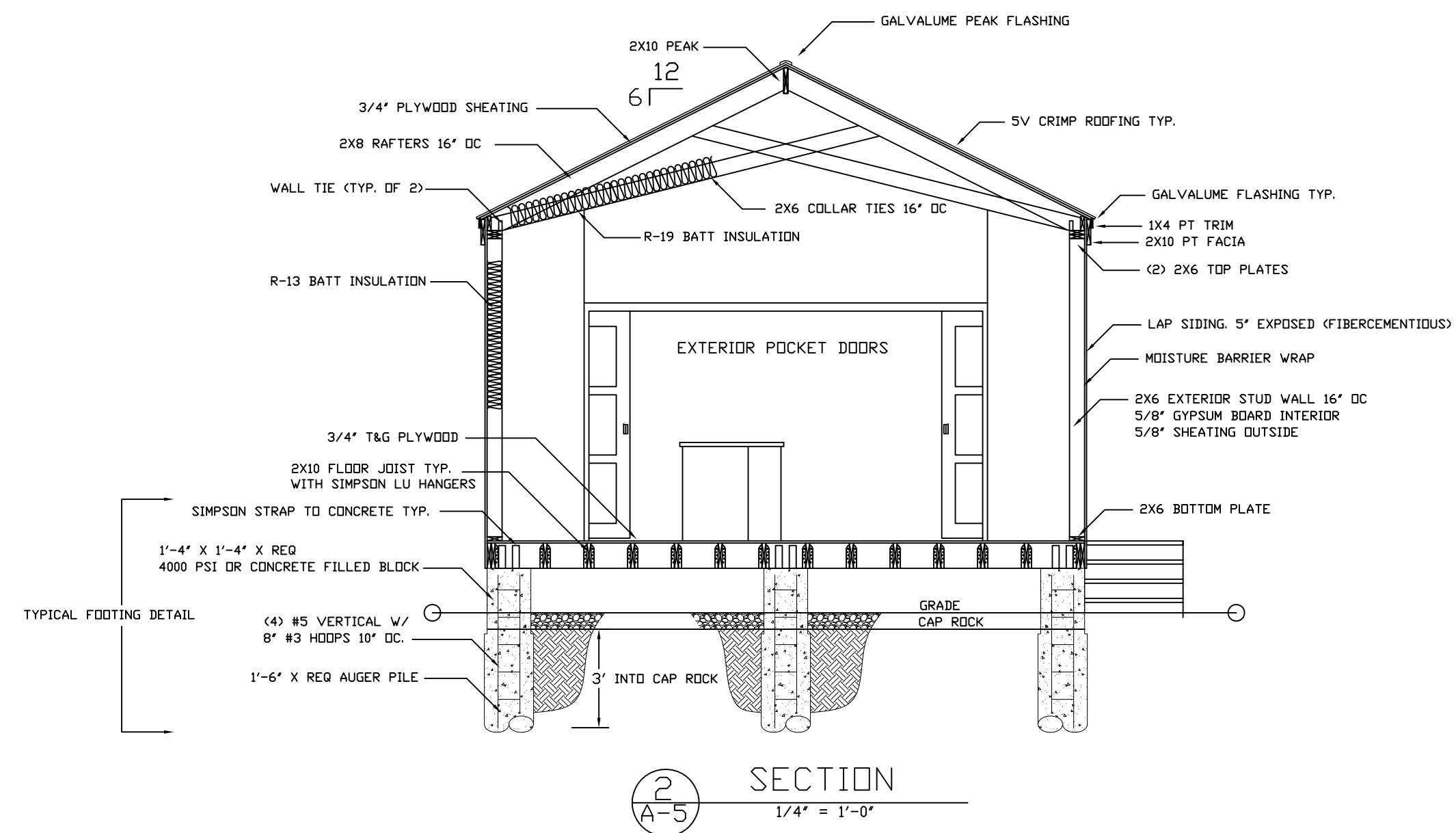
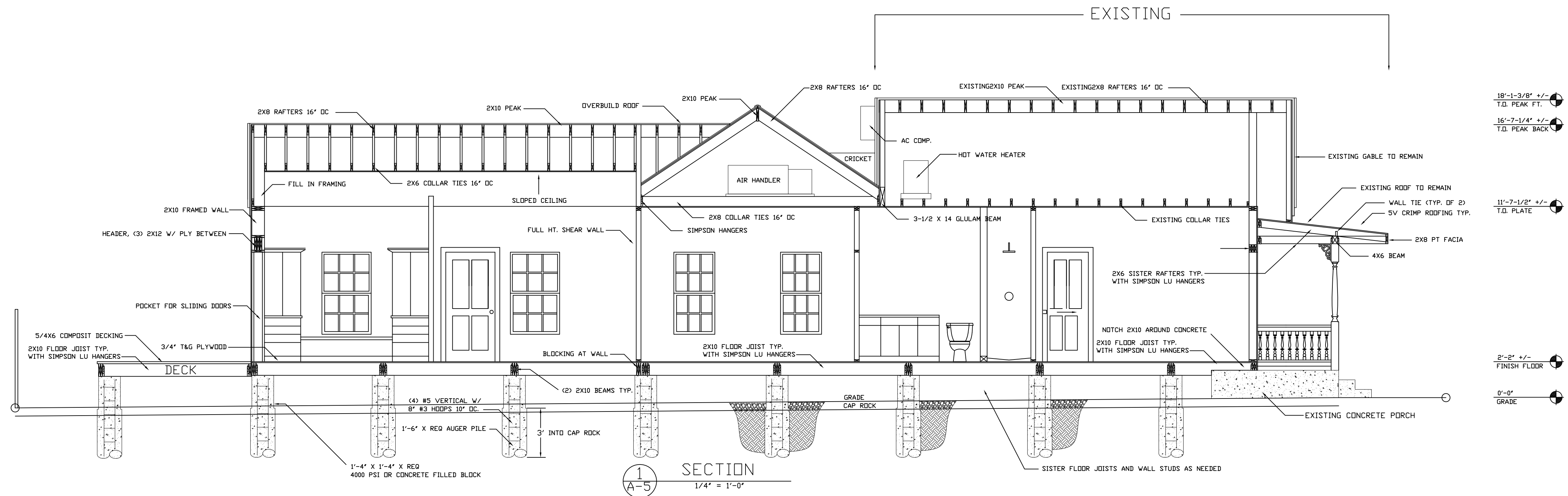
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NOTE:
REFER TO SHEETS S-1 THRU S-4
FOR STRUCTURAL DETAILS.

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DOOR SCHEDULE									
NO.	QTY.	TYPE	WIDTH	HEIGHT	THICK.	MATERIAL	FINISH	GLAZING	REMARKS
1	3	DOUBLE	3'-0"	6'-8"	1-3/4"	WOOD	PAINT	3/4 GLAZING	EXTERIOR FRONT PORCH
2	1	SINGLE	3'-0"	6'-8"	1-3/4"	WOOD	PAINT	N/A	EXTERIOR SIDE ENTRY
3	1	POCKET	12'-0"	7'-0"	1-3/4"	ALUMINUM	PAINT	FULL	EXTERIOR DECK POCKET
4	2	SINGLE	2'-6"	6'-8"	1-3/8"	WOOD	PAINT	N/A	BEDROOM ENTRY
5	1	SINGLE	2'-0"	6'-8"	1-3/8"	WOOD	PAINT	N/A	BEDROOM CLOSET
6	1	SINGLE	3'-0"	6'-8"	1-3/8"	WOOD	PAINT	N/A	BEDROOM ENTRY
7	1	DOUBLE	5'-0"	6'-8"	1-3/8"	WOOD	PAINT	N/A	LAUNDRY
8	4	POCKET	2'-6"	6'-8"	1-3/8"	WOOD	PAINT	N/A	BATHS AND CLOSETS
9									

WINDOW SCHEDULE										
MK.	QTY.	TYPE	WIDTH	HEIGHT	MANUFACTURER			MATERIAL	FINISH	REMARKS
A	5	SH.	3'-0"	5'-0"	TBD			TBD	PAINT	VARIOUS LOCATIONS
B	2	SH.	2'-6"	5'-0"	TBD			TBD	PAINT	VARIOUS LOCATIONS
C										
D										
E										
F										
G										
H										

FINISH SCHEDULE										
NO.	ROOM NAME	FLOOR	BASE	NORTH	EAST	SOUTH	WEST	CEILING	HEIGHT	REMARKS
101	BEDROOM	TBD								
102	BATHROOM									
103	BEDROOM									
104	BATHROOM									
105	HALLWAY									
106	LIVING ROOM									
107	KITCHEN/DINING									
108										

WIND PRESSURE COMPONENTS							
MK.	DESCRIPTION	EFFECTIVE WIND AREA	ZONE	PRESSURE REQUIRED	PRESSURE PROPOSED	NOA #	DATE
1	DBL DOORS	20 SQ FEET	4	0	0	0	00/00/00
2	DOOR	20 SQ FEET	4	0	0	0	00/00/00
3	POCKET DOORS	84 SQ FEET	4	0	0	0	00/00/00
A	SH. WINDOW	15 SQ FEET	4	0	0	0	00/00/00
B	SH. WINDOW	12.5 SQ FEET	4	0	0	0	00/00/00
C							

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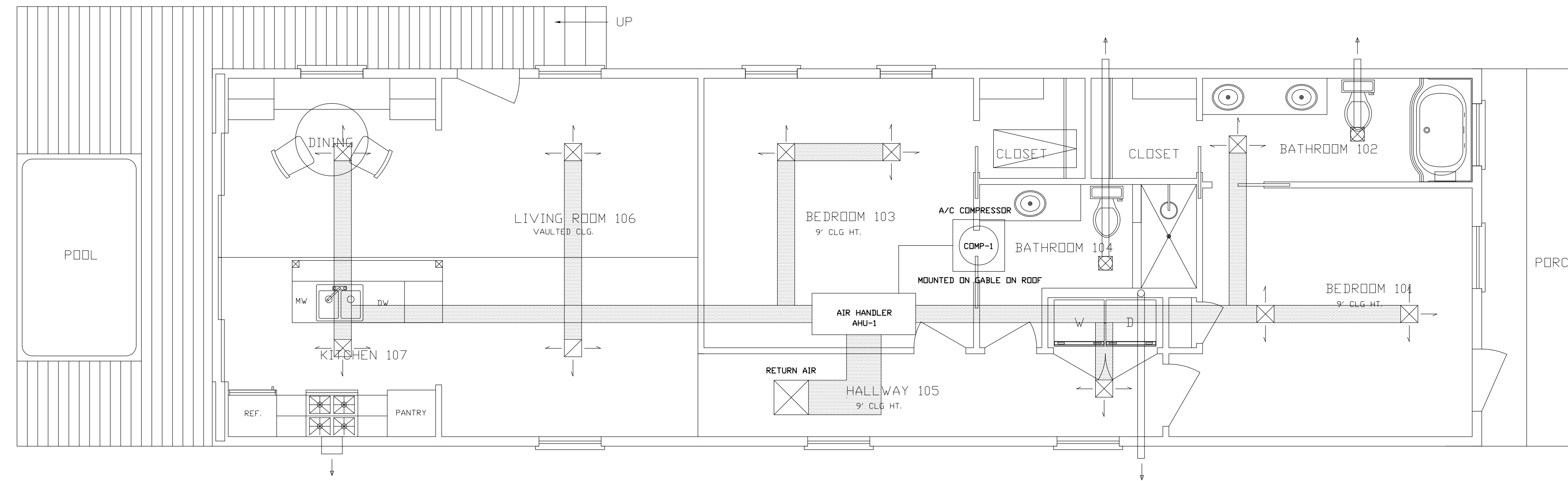
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General Notes

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This project is designed in accordance with A.S.C.E. 7-10 to resist wind loads 180 mph (gusts) (Exposure C).



1 HVAC PLAN
M-1 1/4" = 1'-0"

HVAC SCHEDULE				
UNIT	DESCRIPTION / MANUFACTURER	TYPE	BTU/ TON	REMARKS
AHU-1	AIR HANDLING UNIT (TBD)	SPLIT	TBD	
COMP-1	COMPRESSOR UNIT (TBD)	SPLIT	TBD	

MECHANICAL NOTES

SCOPE:
THE CONTRACTOR SHALL VISIT THE SITE AND EXAMINE THE DRAWING AND SPECIFICATIONS BEFORE SUBMITTING A PROPOSAL. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2010 FBC AND WITH ALL AMENDMENTS, AND LOCAL CODES AND ORDINANCES. INSTALLATION SHALL COMPLY WITH THE STANDARDS SET BY THE NFPA, ASHRAE, ASPE, SMACNA, NEC AND UL. THE SYSTEMS, EQUIPMENT, DEVICES AND ACCESSORIES SHALL BE INSTALLED, FINISHED, TESTED AND ADJUSTED FOR CONTINUOUS AND PROPER OPERATION.
THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS WORK FITTING IN PLACE AND SHALL COORDINATE WITH THE OTHER TRADES TO AVOID INTERFERENCE WITH THEIR WORK.
THE INFORMATION GIVEN HEREIN AND ON THE DRAWINGS IS AS EXACT AS COULD BE SECURED, BUT ITS EXTREME ACCURACY IS NOT GUARANTEED. THE DRAWINGS ARE DIAGRAMMATIC, INTENDED TO SHOW GENERAL ARRANGEMENT, CAPACITY AND LOCATION OF VARIOUS COMPONENTS, EQUIPMENT AND DEVICES.
IF WORK IS REQUIRED IN A MANNER TO MAKE IT IMPOSSIBLE TO PRODUCE FIRST CLASS WORK, OR SHOULD DISCREPANCIES APPEAR AMONG THE CONTRACT DOCUMENTS OR BETWEEN THE CONTRACT DOCUMENTS AND MANUFACTURERS RECOMMENDATIONS, THE CONTRACTOR SHALL REQUEST INTERPRETATION FROM THE OWNER OR ARCHITECT BEFORE PROCEEDING WITH WORK.
CONTRACTOR SHALL FURNISH ALL MINOR ITEMS WHICH ARE OBVIOUSLY AND REASONABLY NECESSARY TO COMPLETE THE INSTALLATION WEATHER OR NOT SPECIFIC IN THE DOCUMENTS.
REQUIRED COORDINATION:
ALL WORK SHALL BE COORDINATED WITH ALL TRADES INVOLVED.
OFFSETS IN DUCTS AND PIPING (INCLUDING DIVIDED DUCTS) AND TRANSITIONS AROUND OBSTRUCTIONS SHALL BE INCLUDED IN BID.
CONSTRUCTION PLANS:
IN GENERAL, PLANS AND DIAGRAMS ARE SCHEMATIC ONLY AND SHOULD NOT BE SCALED.

MECHANICAL NOTES

REQUIRED ACCESS:
CONTRACTOR SHALL ENSURE THAT ALL EQUIPMENT AND DEVICES THAT REQUIRE REPLACEMENT, SERVICING, ADJUSTING OR MAINTENANCE SHALL BE LOCATED TO ALLOW ACCESS AND SPACE FOR REMOVAL OF INTERNAL ASSEMBLIES, IF REQUIRED. CONTRACTOR SHALL PROVIDE ACCESS PANELS WHERE REQUIRED TO ALLOW ACCESS, EVEN IF NOT INDICATED ON THE DRAWINGS AND THESE SHALL BE INCLUDED IN THE BID PRICE.
WIND RESISTANCE:
ALL EQUIPMENT, APPLIANCES AND SUPPORTS LOCATED EXTERIOR OF THE FACILITY SHALL BE INSTALLED TO RESIST 180MPH WIND LOADS AS DETAILED IN THE FBC.
CLIPPING AND PATCHING:
ALL OPENINGS AROUND DUCT OR PIPE PENETRATIONS THROUGH SMOKE OR FIRE RATED FLOORS, CEILINGS OR WALLS SHALL BE SEALED AIR TIGHT WITH MATERIALS HAVING A RATING EQUAL TO THE MATERIAL OF THE CEILING, WALL OR FLOOR PENETRATED.
FIRE STOPPING:
UL APPROVED MATERIALS AND METHODS SHALL PROTECT THE PENETRATIONS OF FIRE AND / OR SMOKE RATED WALLS, CEILINGS OR FLOORS.
THE RATING OF FIRE STOPPING SHALL EQUAL THE RATING OF THE RATED ASSEMBLY.
ALL INSULATION SHALL HAVE COMPOSITE FIRE AND SMOKE HAZARD RATINGS AS TESTED BY PROCEDURE ASTM E-84, NFPA-225, UL-723, NOT EXCEEDING FLAME SPREAD - 25, SMOKE DEVELOPED - 50, FUEL DISTRIBUTED - 50.
CONDENSATE AND DRAIN PIPING:
CONDENSATE DRAIN PIPING SHALL BE PVC TYPE DWM. DRAINS SHALL BE PITCHED NOT LESS THAN 1/80.
RUNS SHALL BE AS SHORT AS POSSIBLE WITHOUT ANY DIPS TO TRAP WATER AND INTERFERE WITH PROPER DRAINAGE. PROVIDE TRAPS AND CLEANOUTS AT DRAINPAN CONNECTIONS.

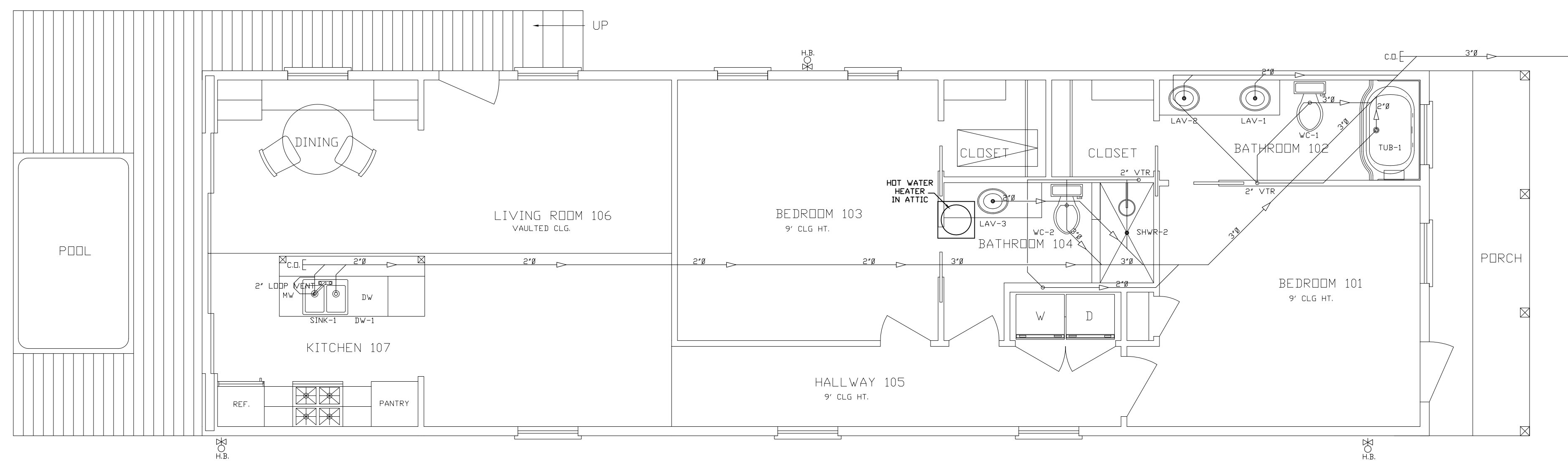
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 1309 NEWTON ST. KEY WEST, FLORIDA 33040
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1 PLUMBING PLAN
M-2
1/4" = 1'-0"

PLUMBING FIXTURE SCHEDULE

ROOM	FIXTURE	DESCRIPTION	REMARKS
BATH 102	LAV-1	BATHROOM SINK - TBD	
BATH 102	LAV-2	BATHROOM SINK - TBD	
BATH 102	WC-1	BATHROOM TOILET - TBD	
BATH 102	TUB-1	BATHROOM TUB - TBD	
BATH 104	LAV-3	BATHROOM SINK - TBD	
BATH 104	WC-2	BATHROOM TOILET - TBD	
BATH 104	SHWR-2	BATHROOM SHOWER - TBD	
KITCHEN 107	SINK-1	KITCHEN SINK - TBD	
KITCHEN 107	DW-1	DISHWASHER - TBD	

PLUMBING NOTES

DIELECTRIC UNIONS:
PROVIDE DIELECTRIC UNIONS OR FLANGES AT CONNECTIONS OR CONTACT BETWEEN PIPES OF DISSIMILAR METALS.

WATER HAMMER ARRESTORS:
INSTALL WATER HAMMER ARRESTORS AT ALL FIXTURE HOT AND COLD SUPPLIES, ALL LAVATORIES, SINKS AND OTHER QUICK FIXTURES.

EXPOSED PIPING:
ALL EXPOSED PIPING SHALL BE POLISHED CHROMIUM ON EITHER BRASS OR BRONZE.

VALVES:
ALL VALVES SHALL HAVE A MINIMUM OF 125 PSIG WORKING PRESSURE. VALVES AND COCKS MAY NOT BE INDICATED IN EVERY INSTANCE ON THE DRAWINGS, BUT WEATHER OR NOT SHOWN, ALL VALVES, COCKS AND CHECK VALVES NECESSARY FOR THE PROPER OPERATION OF THE SYSTEM SHALL BE FURNISHED AND INSTALLED.

ISOLATION / SHUT-OFF VALVES AT ALL MAIN RISERS, SINKS, TOILETS AND WATER INLETS TO EACH PIECE OF EQUIPMENT.
PROVIDE A FLANGE OR UNION BETWEEN THE VALVE AND THE EQUIPMENT TO PERMIT DISCONNECTION, REMOVAL AND SERVICE.

VENTING:
THE STACKS SHALL BE EXTENDED THROUGH ROOF OF BUILDING TO POINTS NOT LESS THAN 12" ABOVE ROOF.
VENTS SHALL BE OFFSET AS REQUIRED TO PENETRATE ROOFS AT LEAST 3 FEET FROM THE RIDGE OR EDGE OF BUILDING AND 10 FEET FROM ANY FRESH AIR INTAKE OR OPERABLE WINDOW OR DOOR.

SANITARY, WASTE, GREASE AND VENT PIPING:
ALL BELOW GROUND PIPING AND FITTINGS SHALL BE SCH 40 PVC-DWV (SOLID CORE).
SLOPE OF SANITARY OR DRAINAGE PIPING 2-1/2" AND SMALLER SHALL BE A MINIMUM OF 1/4" PER FOOT, PIPING 3" AND LARGER SHALL BE SLOPED A MINIMUM OF 1/8" PER FOOT.
CLEANOUTS SHALL BE LOCATED NOT MORE THAN 100 FEET APART AND AT EACH CHANGE OF DIRECTION GREATER THAN 45 DEGREES ALONG THE HORIZONTAL DRAIN. CLEANOUTS SHALL BE INSTALLED AT BASE OF EACH STACK.

PIPE INSULATION:
INSTALL INSULATION PRODUCTS IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS AND IN ACCORDANCE WITH RECOGNIZED INDUSTRY PRACTICES. SEAL ALL JOINTS, BREAKS, TEARS, AND PENETRATIONS WITH FIRE RETARDANT, VAPOR BARRIER MASTIC. COVER VALVES, FITTINGS AND SIMILAR ITEMS IN EACH PIPING SYSTEM. INSULATE ALL DOMESTIC HOT WATER WITH 1" THICK FIBERGLASS SECTIONAL PIPE COVERING WITH CANVAS JACKET OR ARMAFLEX AP PIPE INSULATION KITS OR EQUIVALENT.

PLUMBING NOTES

PLUMBING FIXTURES AND TRIM:
PLUMBING FIXTURES SHALL BE FURNISHED AND INSTALLED IN A NEAT AND WORKMANLIKE MANNER WITH PROPER CONNECTIONS TO SUPPLY AND DRAINAGE PIPING. ALL FIXTURES SHALL BE FREE OF FLAWS AND DEFECTS OF ANY SORT IN MATERIAL AND WORKMANSHIP AND SHALL OPERATE PERFECTLY WHEN INSTALLED IN ACCORDANCE WITH MANUFACTURERS DIRECTIONS. CONTRACTOR SHALL PROVIDE ROUGH-IN AND SHALL INSTALL ALL FIXTURES TO THE PLUMBING SYSTEM. ALL FIXTURES TO BE PROVIDED WITH CHROME PLATED SUPPLIES AND STOPS. PROVIDE 17 GAUGE CHROME PLATED BRASS TRAPS FOR ALL FIXTURES WITHOUT INTEGRAL TRAPS. PROVIDE CONCEALED ARM CARRIERS AND SUPPORTS FOR ALL FIXTURES REQUIRING SAME.

TESTING:
TEST ALL WASTE AND VENT PIPING FOR A PERIOD NOT LESS THAN 8 HOURS BY CAPPING OR PLUGGING ALL JOINTS TO A LEVEL OF THE HIGHEST FIXTURE OR FITTING. FILLING THE SYSTEM WITH WATER AND OBSERVE FOR LEAKS.
TEST WATER PIPING AT 100 PSIG FOR A PERIOD OF 8 HOURS, OBSERVING FOR ANY VISABLE LEAKS.
TEST PIPING AGAIN AFTER FIXTURES ARE INSTALLED. REPAIR ANY LEAKS BY REMAKING JOINT. DO NOT USE CAULKING OR SIMILAR METHODS.

EQUIPMENT FURNISHED BY OTHERS:
WHERE INDICATED ON DRAWINGS, CONTRACTOR SHALL MAKE ALL PIPING CONNECTIONS TO EQUIPMENT FURNISHED BY OTHERS. THIS WORK SHALL INCLUDE FURNISHING AND INSTALLATION OF ALL WATER AND DRAIN PIPING. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH RECOMMENDATIONS OF EQUIPMENT MANUFACTURER.

SUBSTITUTIONS:
UNLESS OTHERWISE AGREED, PLUMBING CONTRACTOR SHALL PAY FOR ADDED COST ASSOCIATED WITH ANY SUBSTITUTION.

OTHER:
PROVIDE FULL BLOCKING AROUND ALL FLOOR PENETRATIONS.
USE HOLE SAW FOR PENETRATIONS UNLESS IMPOSSIBLE.

JODY DRAVES

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General Notes

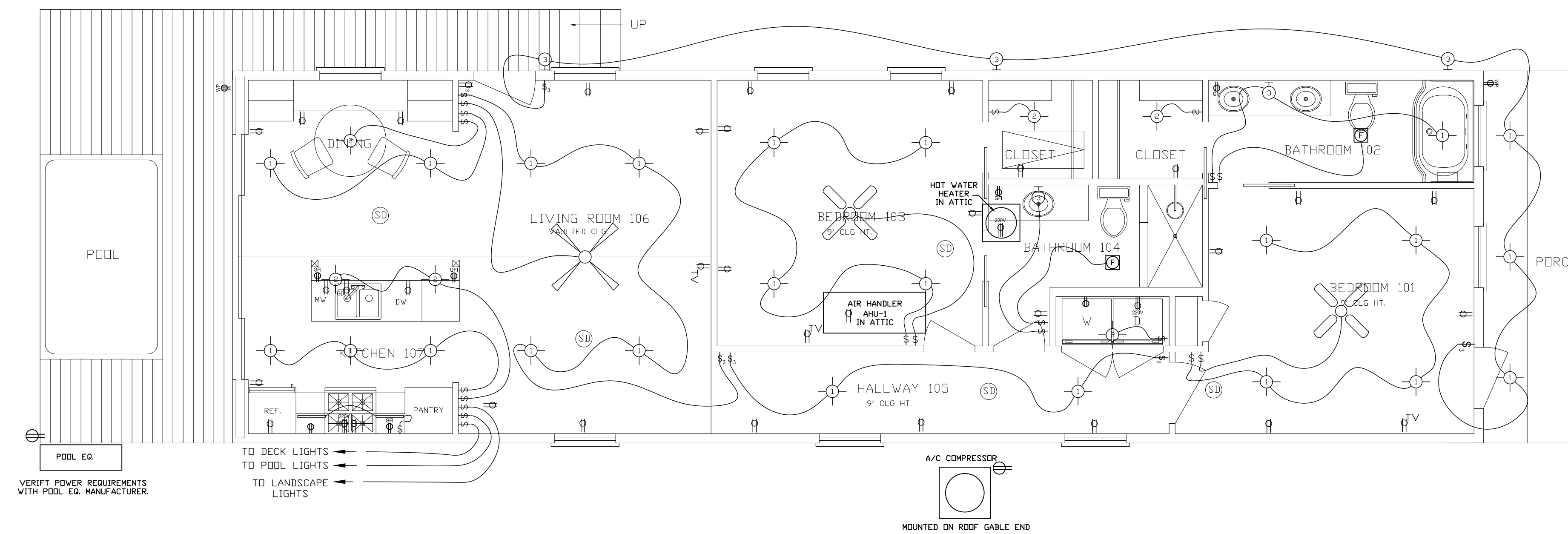
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ELECTRICAL SYMBOLS LEGEND

- ⌚ SINGLE POLE
- ⌚₃ THREE-WAY
- ⊕ DUPLEX OUTLET
- ⊕_{GFI} GFI OUTLET
- ⊕_{WP} WATERPROOF OUTLET
- ⊕₂₂₀ 220V OUTLET
- Ⓢ SMOKE DETECTOR
- RECESSED
- ⊙ RECESSED LOW VOLTAGE MINI CAN
- DIRECTED SURFACE OR PENDANT
- WALL MOUNT
- ← UNDER CABINET LIGHT
- ▶ PHONE JACK
- TV TV HOOK UP
- Ⓞ GARBAGE DISPOSAL
- Ⓞ EXHAUST FAN
- Ⓞ LIGHT/FAN
- HEATER
- ⊗ CEILING FAN



1 ELECTRICAL PLAN
M-3 1/4" = 1'-0"

ELECTRICAL NOTES

1	CONTRACTOR SHALL VISIT THE SITE PRIOR TO BID AND SURVEY ALL EXISTING CONDITIONS AND EQUIPMENT PRIOR TO SUBMITTING BID FOR WORK REQUIRED BY THESE DOCUMENTS. THIS INCLUDES ABOVE THE CEILING AND BELOW THE FLOOR.
2	IF AT ANY TIME, THERE IS DISCREPANCY BETWEEN THE PLANS AND SPECS, OR CONFUSION / CONCERN OVER REQUIRED WORK, CONTRACTOR SHALL IMMEDIATELY NOTIFY ARCHITECT OR OWNER AND GET DIRECTION BEFORE PROCEEDING WITH WORK.
3	FOR ALL EXISTING EQUIPMENT TO BE RELOCATED AND / OR REUSED, CONTRACTOR SHALL BE RESPONSIBLE FOR DISCONNECTION, SAFE STORAGE AND RECONNECTION OF SAID EQUIPMENT COMPLETELY.
4	FOR ALL EXISTING EQUIPMENT TO BE DEMOLISHED, CONTRACTOR SHALL BE RESPONSIBLE FOR DISCONNECTION, REMOVAL AND DISPOSAL OFF SITE PER CODE OF SAID EQUIPMENT.
5	REFER TO MANUFACTURERS SPECIFICATIONS FOR MOUNTING DETAILS OF ALL EQUIPMENT. REFER TO MANUFACTURERS SPECIFICATIONS FOR ELECTRICAL SERVICE REQUIREMENTS OF ALL EQUIPMENT.
6	ALL SWITCHES AND DIMMERS SHALL BE LOCATED 42" ABOVE FINISHED FLOOR TO CENTER OF SWITCH. MULTIPLE SWITCHES AT ONE LOCATION SHALL BE GANGED TOGETHER UNDER ONE COVER PLATE.
7	ALL WET LOCATION OUTLETS ARE TO BE GFCI TYPE. ALL EXTERIOR SWITCHES AND GFCI OUTLETS ARE TO BE OR HAVE WEATHER PROOF COVERS.
8	

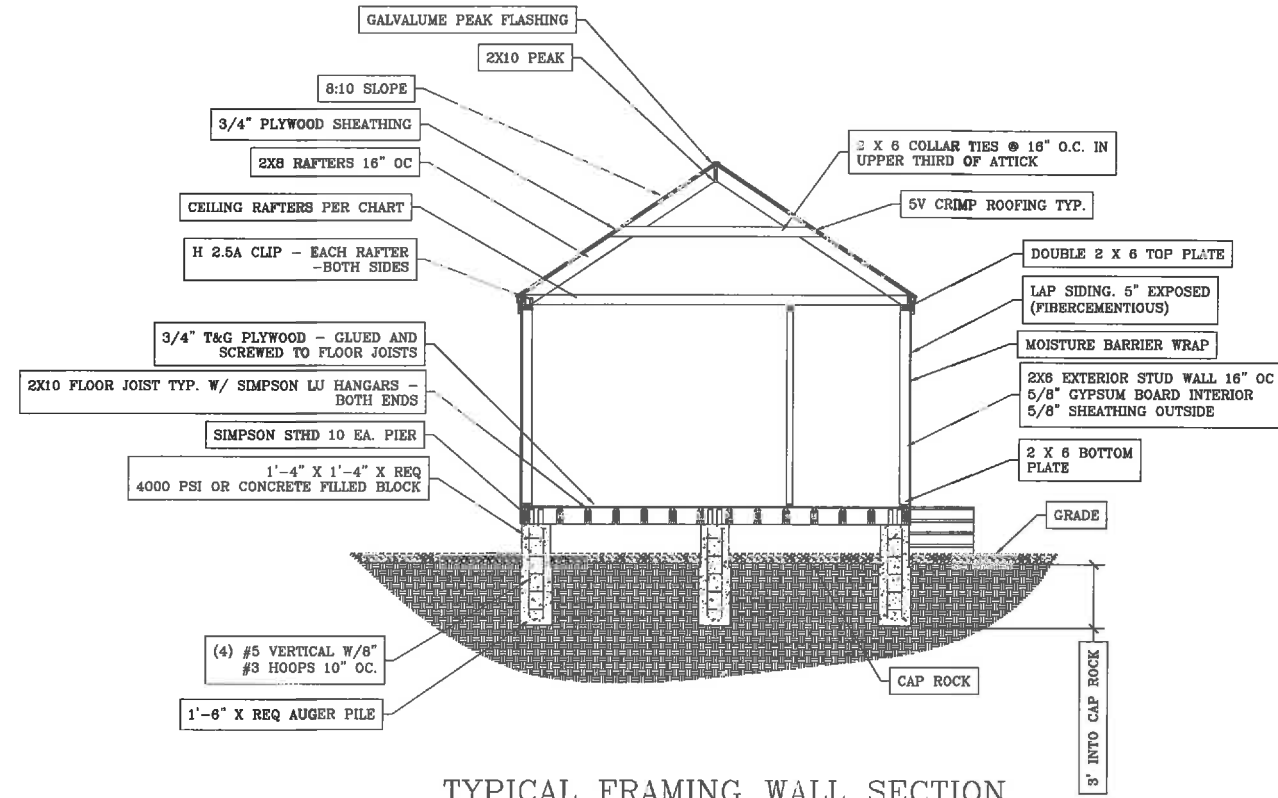
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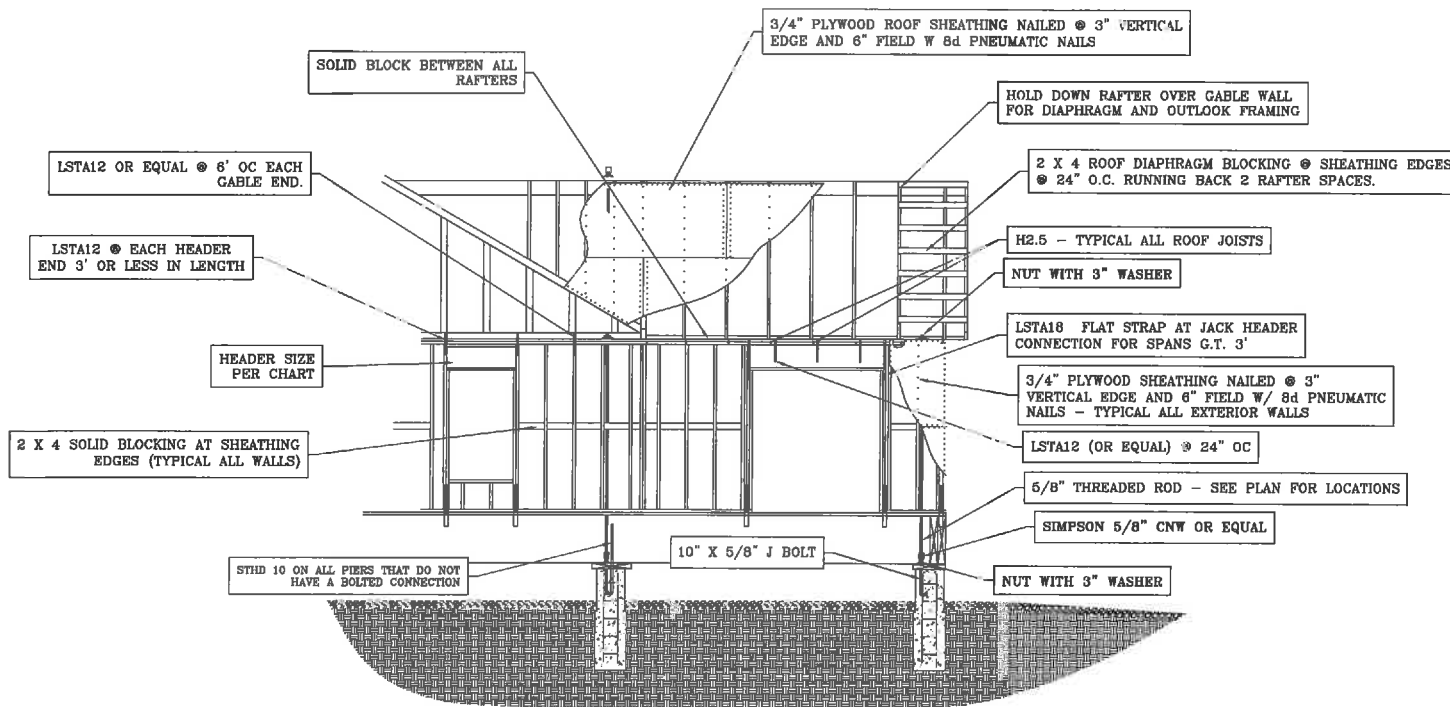
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TYPICAL FRAMING WALL SECTION

NOT TO SCALE

THIS AREA LEFT BLANK INTENTIONALLY



TYPICAL SINGLE STORY WALL SECTION

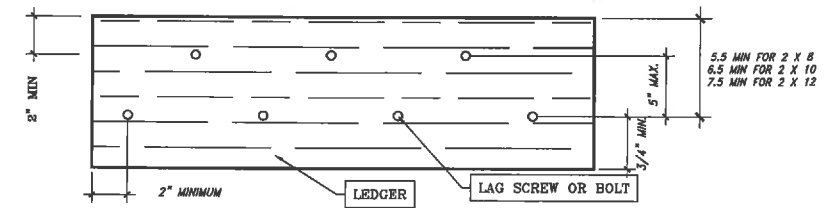
NOT TO SCALE

FASTER SPACING (INCHES) FOR A SOUTHERN PINE OR HEM-FIR DECK LEDGER AND A 2 INCH NOMINAL SOLID SPRUCE-PINE-HEM-FIR BAND JOIST

TABLE R507.2 2012 IRC	JOIST SPAN	L.T. 6'	6'1" - 8'	8'1" - 10'	10'1" - 12'	12'1" - 14'	14'1" - 16'	16'1" - 18'
1/2" DIAMETER LAG SCREW WITH 15/32" MAX. SHEATHING		30	23	18	15	13	11	10
1/2" DIAMETER BOLT WITH 15/32" MAX. SHEATHING		36	36	34	29	24	21	19
1/2" DIAMETER BOLT WITH 15/32" MAX SHEATHING AND 1/2" STACKED WASHERS		36	36	29	24	21	18	16

PLACEMENT OF LAG SCREWS AND BOLTS IN DECK LEDGERS AND BAND JOISTS

TABLE R507.2.1 2012 IRC	MINIMUM END AND EDGE DISTANCES AND SPACING BETWEEN ROWS			
	TOP EDGE	BOTTOM EDGE	ENDS	ROW SPACING
LEDGER	2 INCHES	1/4 INCH	2 INCHES	1 5/8 INCH
BAND JOIST	5/4 INCH	2 INCHES	2 INCHES	1 5/8 INCH



LEDGER BOARD REQUIREMENTS

NOT TO SCALE

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STEVE MITCHELL, P.E.
PO BOX 177
BEAUFORT, SC
29901-706.421.5029

REVISIONS	DATE	CHANGE

JODY DRAVES
1309 NEWTON STREET
KEY WEST, FLORIDA
33040

STATE OF FLORIDA
ENGINEERING SEAL



JOB NO. 40085
DATE: 7.1.2014
SHEET #

52

DETAIL SHEET

PLACE 5/8" X 12" BOLT IN COLUMN AT THIS POINT. USING A SIMPSON COUPLING, ATTACH 5/8" THREADED ROD TO THE J-BOLT.

EXTEND THE ROD UP THROUGH THE FIRST FLOOR FLOOR SYSTEM AND THROUGH THE FLOOR DECKING. ANCHOR THE FIRST FLOOR FLOOR SYSTEM BY PLACING A WASHER AND NUT ON THE 5/8" THREADED ROD AND TIGHTENING IT. EXTEND THE ROD UP THROUGH THE HOLLOW 8" MINIMUM COLUMN AND THROUGH THE GIRDER SITTING ON TOP OF THE COLUMNS. ANCHOR THE GIRDER SYSTEM BY PLACING A WASHER AND NUT ON THE 5/8" THREADED ROD AND TIGHTENING IT.

PLACE 5/8" X 12" BOLT IN COLUMN AT THIS POINT. USING A SIMPSON COUPLING, ATTACH 5/8" THREADED ROD TO THE J-BOLT.

EXTEND THE ROD UP THROUGH THE FIRST FLOOR FLOOR SYSTEM AND THROUGH THE FLOOR DECKING. ANCHOR THE FIRST FLOOR FLOOR SYSTEM BY PLACING A WASHER AND NUT ON THE 5/8" THREADED ROD AND TIGHTENING IT. EXTEND THE ROD UP THROUGH THE FIRST FLOOR STUD WALL CAVITY AND THROUGH THE DOUBLE TOP PLATE. ANCHOR THE FIRST FLOOR STUD WALL SYSTEM BY PLACING A WASHER AND NUT ON THE 5/8" THREADED ROD AND TIGHTENING IT.

PLACE 5/8" X 6" RED HEAD IN THE SLAB AT THIS POINT. USING A SIMPSON COUPLING, ATTACH 5/8" THREADED ROD TO THE J-BOLT.

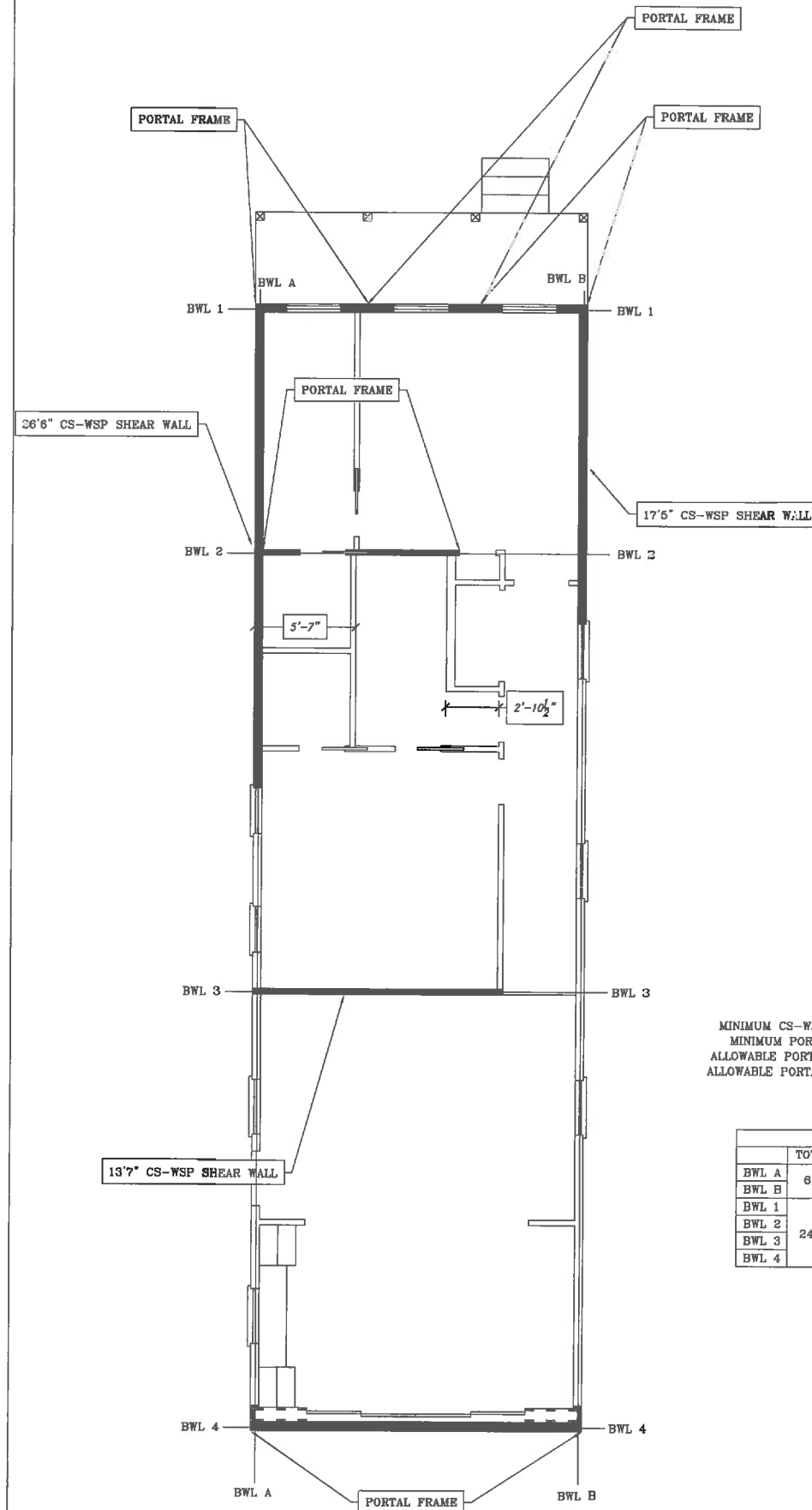
EXTEND THE ROD UP THROUGH THE FIRST FLOOR FLOOR SYSTEM AND THROUGH THE FLOOR DECKING. ANCHOR THE FIRST FLOOR FLOOR SYSTEM BY PLACING A WASHER AND NUT ON THE 5/8" THREADED ROD AND TIGHTENING IT. EXTEND THE ROD UP THROUGH THE FIRST FLOOR STUD WALL CAVITY AND THROUGH THE DOUBLE TOP PLATE. ANCHOR THE FIRST FLOOR STUD WALL SYSTEM BY PLACING A WASHER AND NUT ON THE 5/8" THREADED ROD AND TIGHTENING IT.

PLACE 5/8" X 12" BOLT IN COLUMN AT THIS POINT. USING A SIMPSON COUPLING, ATTACH 5/8" THREADED ROD TO THE J-BOLT.

EXTEND THE ROD UP THROUGH THE FIRST FLOOR FLOOR SYSTEM AND THROUGH THE FLOOR DECKING. ANCHOR THE FIRST FLOOR FLOOR SYSTEM BY PLACING A WASHER AND NUT ON THE 5/8" THREADED ROD AND TIGHTENING IT. EXTEND THE ROD UP THROUGH THE FIRST FLOOR STUD WALL CAVITY AND THROUGH THE DOUBLE TOP PLATE. ANCHOR THE FIRST FLOOR STUD WALL SYSTEM BY PLACING A WASHER AND NUT ON THE 5/8" THREADED ROD AND TIGHTENING IT.

HOUSE THREADED ROD PLAN

NOT TO SCALE



FIRST FLOOR WALL HEIGHT = 9'5" FT.
 MINIMUM CS-WSP SHEAR WALL WIDTH BASED ON 3.5:1 ASPECT RATIO = 32"
 MINIMUM PORTAL FRAME LEC WIDTH BASED ON 6:1 ASPECT RATIO = 19"
 ALLOWABLE PORTAL FRAME LOAD FOR 8" WALL = 4,718 PD. OF LATERAL SHEAR
 ALLOWABLE PORTAL FRAME LOAD FOR 10" WALL = 3,630 PD. OF LATERAL SHEAR

FIRST FLOOR BRACING REQUIREMENTS				
	TOTAL SHEAR	REQUIRED	PROVIDED	METHOD
BWL A	6,968 PD.	3,484 PD.	16,895 PD.	CS-WSP
BWL B		3,484 PD.	10,973 PD.	CS-WSP
BWL 1		N/A	3,630 PD.	PORTAL FRAME
BWL 2		N/A	3,630 PD.	PORTAL FRAME
BWL 3	24,874 PD.	6,217 PD.	8,558 PD.	CS-WSP
BWL 4		N/A	10,890 PD.	PORTAL FRAME

SHEAR WALL PLAN

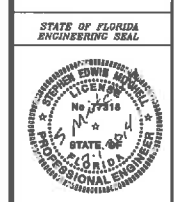
NOT TO SCALE

OFFSHORE 2014 BY M.E.L. LLC
 THESE PLANS ARE FOR A ONE TIME
 USE. M.E.L. LLC DESIGN HAS
 INTELLECTUAL RIGHTS TO THESE
 AND THESE PLANS MAY NOT BE
 REPRODUCED OR COPIED IN ANY MANNER
 WITHOUT WRITTEN PERMISSION OF
 M.E.L. LLC.

STEVE MITCHELL, P.E.
 PO BOX 177
 BEAUFORT, SC
 29901-706.421.5029

REVISIONS	CHANGE
DATE	

JODY DRAVES
 1309 NEWTON STREET
 KEY WEST, FLORIDA
 33040



JOB NO. 40085
 DATE: 7.1.2014
 SHEET #

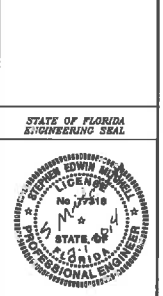


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 S.E.I. LLC.

STEVE MITCHELL, P.E.
 PO BOX 177
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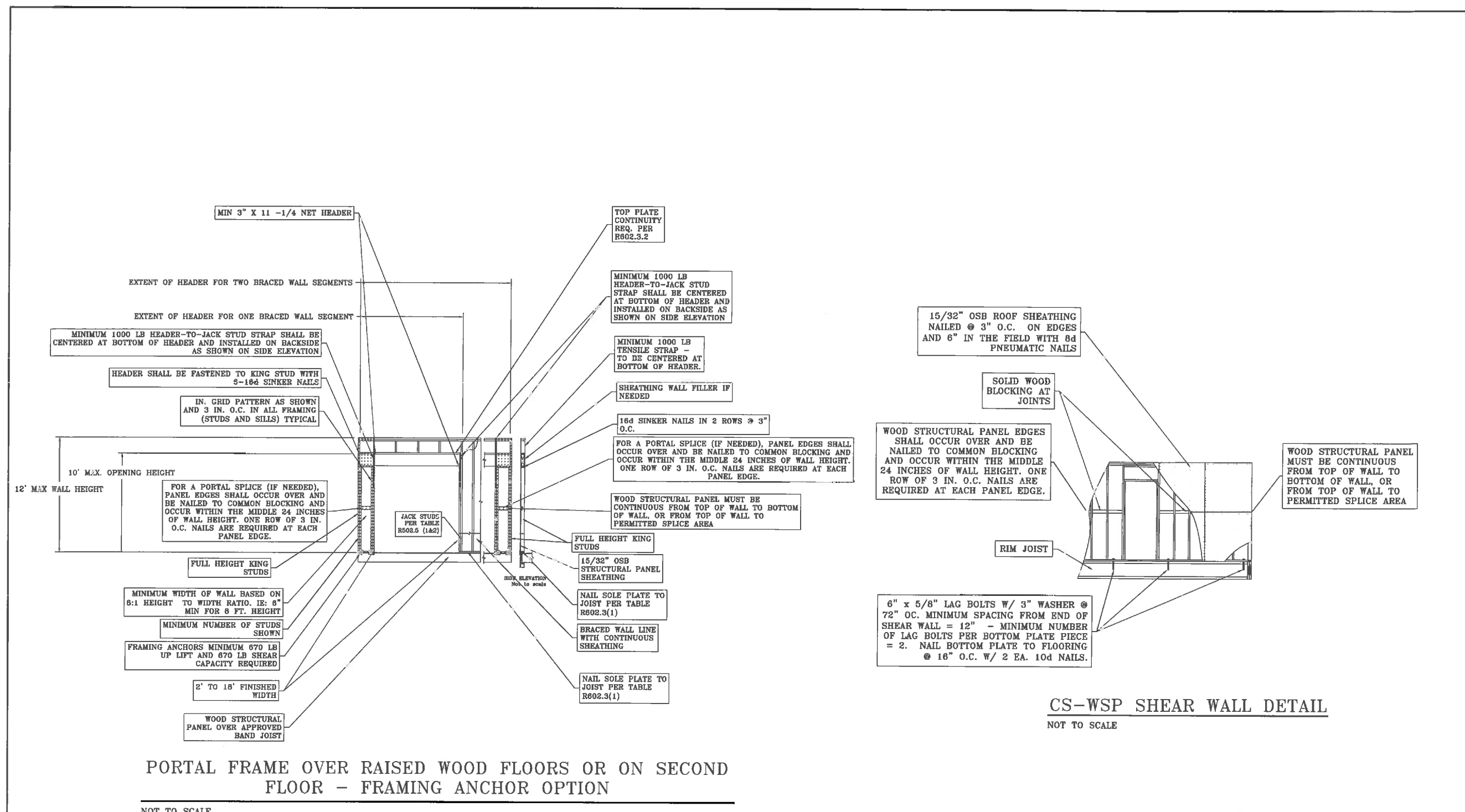
REVISIONS	DATE	CHANGE

JODY DRAVES
 1309 NEWTON STREET
 KEY WEST, FLORIDA
 33040



JOB NO. 40085
 DATE: 7.1.2014
 SHEET #

34
 SHEAR WALL
 DETAILS



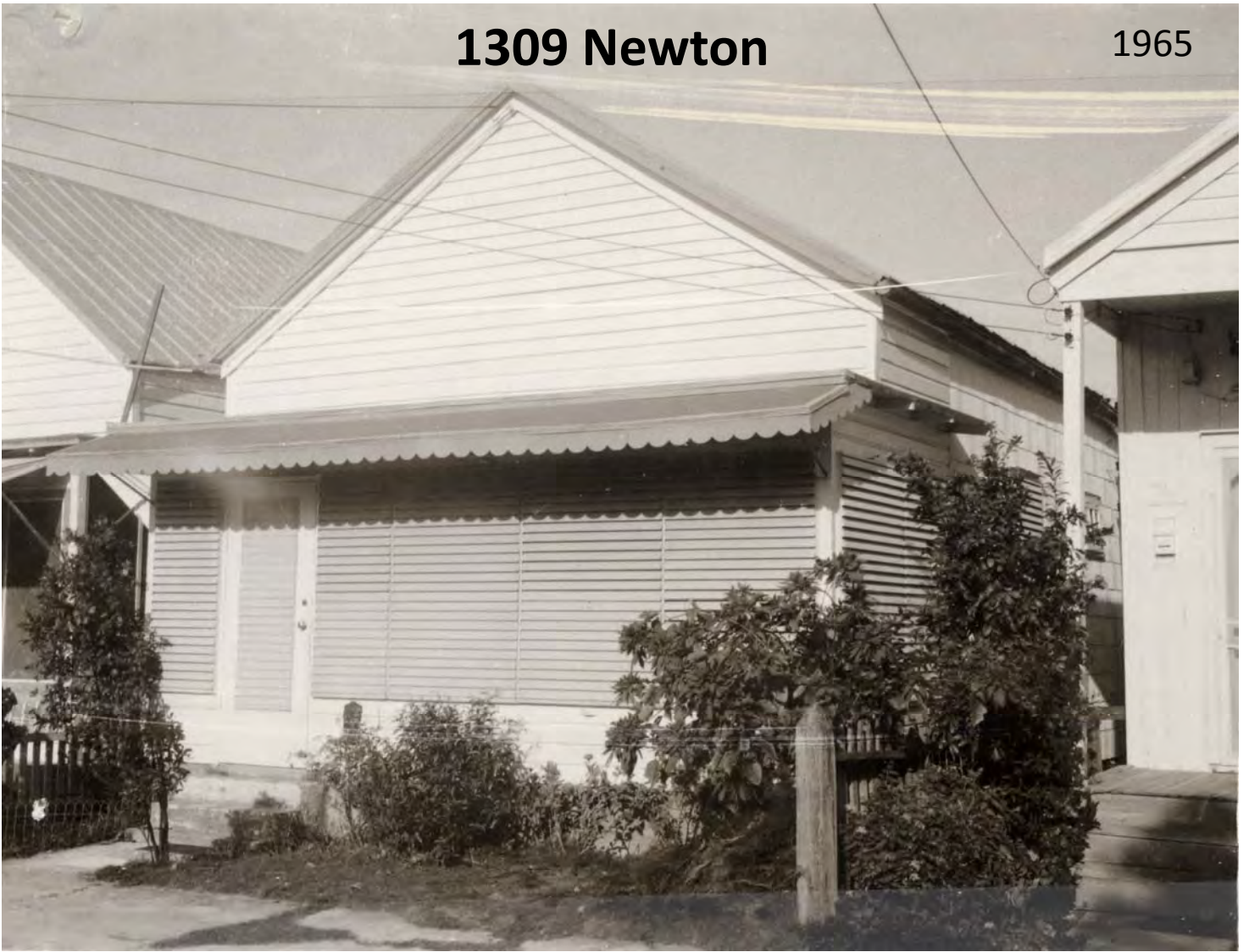
CS-WSP SHEAR WALL DETAIL
 NOT TO SCALE

PORTAL FRAME OVER RAISED WOOD FLOORS OR ON SECOND
 FLOOR - FRAMING ANCHOR OPTION
 NOT TO SCALE

Site Photos

1309 Newton

1965



1309 Newton - right side setback



1309 Newton - left side setback



1309 Newton - right side setback



1309 Newton - rear setback



DRC
Minutes & Comments

Development Review Committee Minutes October 23, 2014 **DRAFT**

built without permits or plans. It's his recommendation that the applicant come in and get a demolition permit and restore the building to the original plan.

URBAN FORESTRY: No comment regarding variance. Ms. DeMaria stated that the old shed had been eaten by strangler fig tree that was removed. Be careful regarding replacement trees planted in the area. Any trees within the work area must be protected during construction.

HARC: Ms. Torregrosa stated that this was not in the Historic District but from the photos it appeared that the property is being used as habitable space.

SUSTAINABILITY: As per Comprehensive Plan Policy 1-1.9.2, 4-3.1.1, 4-3.1.2, 4-3.1.6, 6-1.3.1, we request a condition that you install a cistern to capture rainwater from at least the 2% impervious area over code (60% code – 62% proposed). Eagle Avenue and the surrounding neighborhood is already in a super low zone, with flooding at the year storm. AE7 (Seven feet below Base Flood Elevation, so pervious surfaces are important to your house and your neighborhood.

FEMA: Page two of the Application for Variance incorrectly denotes the flood zone as being inapplicable. The FEMA designated flood zone for this property is AE-7.

- a. Proposed elevation of the 'shed' is in doubt.
 - i. If finished first floor is less than 8-feet NGVD then flood vents will be required and interior finishes not permitted (just bare studs), and limited electrical connections. Use will be restricted to storage and parking. Building Department would request Owner complete a [Non-Conversion Agreement](#) filed with the county Registrar of Deeds.
 - ii. If first finished floor will be at or above 8-feet NGVD then Elevation Certificate will be necessary to document proper height of finished 'shed.'

KEYS ENERGY: No Objections

PLANNING DIRECTOR: Mr. Craig stated that because the applicant did not appear and there were life safety issues the Planning Department will not move this project ahead until the applicant has a discussion with the Building Department and Fire Department.

6. **Variance – 1309 Newton Street (RE # 00022660-000000; AK # 1023451) – A request for variances to side and rear yard setbacks in order to renovate an existing contributing structure on property located within the Historic Medium Density Residential (HMDR) zoning district pursuant to Sections 90-395 and 122-600(6)b. & c. of the Land Development Regulations of the Code of Ordinances of the City of Key West, Florida.**

Ms. Smith gave members an overview of the variance request.

FIRE DEPARTMENT: Mr. Barroso stated that he some questions about the setbacks and he would like the applicant to set up a meeting with the Fire Marshal to discuss the life safety plan.

UTILITIES: Please install roof gutters and direct downspouts back onto property, into landscaped areas.

Development Review Committee Minutes

October 23, 2014 **DRAFT**

ENGINEERING: No Comment

BUILDING: Mr. Wampler stated that the AC unit can be serviced with a ladder but it has to be accessible by a ladder. Otherwise, there has to be a rail around the AC unit to protect the service person.

URBAN FORESTRY: No comment regarding variance. Any trees within the work area must be protected during demolition and construction.

HARC: Ms. Torregrosa stated that the house is contributing and was built circa 1890 and it is positive that the front porch is going to be open again. She stated that the applicant shouldn't use board and batten on the portion that is connecting the old part of the house with the new part of the house because the historic portion of the house has board and batten on the sides. She also reminded the applicant to state on the HARC application that they include wood windows in the historic portion of the house and the means for protecting them and metal windows can be used in the new portion of the house.

SUSTAINABILITY: As per Comprehensive Plan policies 1-1.9.2 & 6-1.1.3: If you are granted this variance, we request a condition that you increase the efficiency of your fixtures to reduce water use of the whole building by 15%. Don't overlook rainwater capture as a method of reducing your potable water use – it has a twofold benefit of reducing stormwater effects on the property as well. Use Comp Plan Policies about not using potable if non-potable is available.

FEMA:

1. The rear section of this residence rests considerably lower than the main residence. As is, this increases the risk of flood damage and likely inflates the cost of flood insurance for the entire structure. The proposed demolition of this section of the residence, with reconstruction at a higher level is beneficial to both owner and community.
2. Page two (backside) of the Elevation Certificate is missing from this application.
3. Utilities servicing this building are not exempt from elevation (A/C etc.).

KEYS ENERGY: No Objections

PLANNING DIRECTOR: Mr. Craig stated that the project may need to be sprinkled and the applicant should meet with the Fire Marshall and HARC to discuss planning options.

- 7. Variance – 1316 Virginia (RE # 00034130-000000; AK # 1035041) – A request for variances to front and side yard setbacks in order to elevate an existing structure on property located within the Historic Medium Density Residential (HMDR) zoning district pursuant to Sections 90-395 and 122-600(6)a. b. & c. of the Land Development Regulations of the Code of Ordinances of the City of Key West, Florida.**

Ms. Smith gave members an overview of the variance request.

FIRE DEPARTMENT: Mr. Barroso stated that he didn't see a site date table in the plans and the applicant should meet with the Fire Marshal to discuss life safety issues.

Additional Information

ELEVATION CERTIFICATE

Important: Read the instructions on pages 1-9.

OMB No. 1660-0008
 Expiration Date: July 31, 2015

SECTION A - PROPERTY INFORMATION

FOR INSURANCE COMPANY USE

A1. Building Owner's Name Jody Draves

Policy Number:

A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.
 1309 Newton Street

Company NAIC Number:

City Key West

State FL

ZIP Code 33040

A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.)
 KW Waddells Sub, PB1-28, PT LOTS 5 & 6, SQR 2, TR 7, Parcel No. 00022660-000000

A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) Non-Residential

Horizontal Datum: NAD 1927 NAD 1983

A5. Latitude/Longitude: Lat. 24 33'33.1"N Long. 81 47'30.5"W

A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.

A7. Building Diagram Number 5

A8. For a building with a crawlspace or enclosure(s):

- a) Square footage of crawlspace or enclosure(s) n/a sq ft
- b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade n/a
- c) Total net area of flood openings in A8.b n/a sq in
- d) Engineered flood openings? Yes No

A9. For a building with an attached garage:

- a) Square footage of attached garage n/a sq ft
- b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade n/a
- c) Total net area of flood openings in A9.b n/a sq in
- d) Engineered flood openings? Yes No

SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. NFIP Community Name & Community Number City of Key West 120168		B2. County Name Monroe		B3. State Florida	
B4. Map/Panel Number 12087C1516	B5. Suffix K	B6. FIRM Index Date 2/18/05	B7. FIRM Panel Effective/Revised Date 2/18/05	B8. Flood Zone(s) AE	B9. Base Flood Elevation(s) (Zone AO, use base flood depth) 6'

B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9.

- FIS Profile FIRM Community Determined Other/Source: _____

B11. Indicate elevation datum used for BFE in Item B9: NGVD 1929 NAVD 1988 Other/Source: _____

B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? Yes No
 Designation Date: _____ CBRS OPA

SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction
 *A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO. Complete Items C2.a-h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters.

Benchmark Utilized: Basic

Vertical Datum: NGVD 1929

Indicate elevation datum used for the elevations in items a) through h) below. NGVD 1929 NAVD 1988 Other/Source: _____

Datum used for building elevations must be the same as that used for the BFE.

Check the measurement used.

- a) Top of bottom floor (including basement, crawlspace, or enclosure floor) 6.76 feet meters
- b) Top of the next higher floor 8.6 feet meters
- c) Bottom of the lowest horizontal structural member (V Zones only) n/a feet meters
- d) Attached garage (top of slab) n/a feet meters
- e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment and location in Comments) 7.32 feet meters
- f) Lowest adjacent (finished) grade next to building (LAG) 5.6 feet meters
- g) Highest adjacent (finished) grade next to building (HAG) 5.9 feet meters
- h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support 5.7 feet meters

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

- Check here if comments are provided on back of form. Were latitude and longitude in Section A provided by a licensed land surveyor? Yes No
- Check here if attachments.

Certifier's Name Fred H. Hildebrandt License Number PLSM 2749
 Title P.E., P.L.S. Company Name Island Surveying, Inc.
 Address 3152 Northside Drive City Key West State FL ZIP Code 33040
 Signature Date 7/28/14 Telephone 305-293-0466

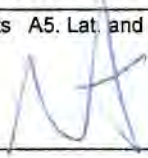


IMPORTANT: In these spaces, copy the corresponding information from Section A.	FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1309 Newton Street	Policy Number:
City Key West State FL ZIP Code 33040	Company NAIC Number:

SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments A5. Lat. and Long. obtained using hand held G.P.S. C2.e) Hot water heater at elevation 7.3'.



Signature _____ Date 7/28/14

SECTION E – BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zones AO and A (without BFE), complete Items E1–E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1–E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
 a) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ feet meters above or below the HAG.
 b) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ feet meters above or below the LAG.

E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 8–9 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is _____ feet meters above or below the HAG.

E3. Attached garage (top of slab) is _____ feet meters above or below the HAG.

E4. Top of platform of machinery and/or equipment servicing the building is _____ feet meters above or below the HAG.

E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? Yes No Unknown. The local official must certify this information in Section G.

SECTION F – PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.

Property Owner's or Owner's Authorized Representative's Name _____

Address _____ City _____ State _____ ZIP Code _____

Signature _____ Date _____ Telephone _____

Comments _____

Check here if attachments.

SECTION G – COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8–G10. In Puerto Rico only, enter meters.

G1. The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)

G2. A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.

G3. The following information (Items G4–G10) is provided for community floodplain management purposes.

G4. Permit Number	G5. Date Permit Issued	G6. Date Certificate Of Compliance/Occupancy Issued
-------------------	------------------------	---

G7. This permit has been issued for: New Construction Substantial Improvement

G8. Elevation of as-built lowest floor (including basement) of the building: _____ feet meters Datum _____

G9. BFE or (in Zone AO) depth of flooding at the building site: _____ feet meters Datum _____

G10. Community's design flood elevation: _____ feet meters Datum _____

Local Official's Name _____ Title _____

Community Name _____ Telephone _____

Signature _____ Date _____

Comments _____

Check here if attachments.

Building Photographs

See Instructions for Item A6.

IMPORTANT: In these spaces, copy the corresponding information from Section A.

FOR INSURANCE COMPANY USE

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.
1309 Newton Street

Policy Number:

City Key West

State FL

ZIP Code 33040

Company NAIC Number:

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.



Front View (7/24/14)



Rear View (7/24/14)

W. Side View (7/24/14)

Property Appraiser Information



Scott P. Russell, CFA
Property Appraiser
Monroe County, Florida

Key West (305) 292-3420
 Marathon (305) 289-2550
 Plantation Key (305) 852-7130

Website tested on IE8, IE9, & Firefox.
 Requires Adobe Flash 10.3 or higher

Property Record Card -
Maps are now launching the new map application version.

Alternate Key: **1023451** Parcel ID: **00022660-000000**

Ownership Details

Mailing Address:
 DRAVES JODY L
 1401 PINE ST
 KEY WEST, FL 33040-7244

Property Details

PC Code: 01 - SINGLE FAMILY
Millage Group: 10KW
Affordable Housing: No
Section-Township-Range: 05-68-25
Property Location: 1309 NEWTON ST KEY WEST
Legal Description: KW WADDELLS SUBDIVISION PB1-28 PT LOTS 5- 6 SQR 2 TR 7 OR438-359 OR887-1803 OR1570-624/25 OR1822-1557/58P/R OR1829-767/68C OR1913-876/77 OR2166-1389/90 OR2641-2016/17C/T OR2679-1346/48 OR2697-2270/72

[Click Map Image to open interactive viewer](#)



Land Details

Land Use Code	Frontage	Depth	Land Area
---------------	----------	-------	-----------

010D - RESIDENTIAL DRY

25

85

2,040.46 SF

Building Summary

Number of Buildings: 1
 Number of Commercial Buildings: 0
 Total Living Area: 1188
 Year Built: 1943

Building 1 Details

Building Type R1
 Effective Age 42
 Year Built 1943
 Functional Obs 0

Condition A
 Perimeter 168
 Special Arch 0
 Economic Obs 0

Quality Grade 400
 Depreciation % 41
 Grnd Floor Area 1,188

Inclusions: R1 includes 1 3-fixture bath and 1 kitchen.

Roof Type GABLE/HIP
 Heat 1 NONE
 Heat Src 1 NONE

Roof Cover METAL
 Heat 2 NONE
 Heat Src 2 NONE

Foundation WD CONC PADS
 Bedrooms 2

Extra Features:

2 Fix Bath 0
 3 Fix Bath 1
 4 Fix Bath 0
 5 Fix Bath 0
 6 Fix Bath 0
 7 Fix Bath 0
 Extra Fix 0

Vacuum 0
 Garbage Disposal 0
 Compactor 0
 Security 0
 Intercom 0
 Fireplaces 0
 Dishwasher 0



Sections:

Nbr	Type	Ext Wall	# Stories	Year Built	Attic A/C	Basement %	Finished Basement %	Area
1	FLA	1:WD FRAME/COMPOSITE	1	1993	N N	0.00	0.00	1,188
2	EPB	1:WD FRAME/COMPOSITE	1	1993	N N	0.00	0.00	144

Misc Improvement Details

Nbr	Type	# Units	Length	Width	Year Built	Roll Year	Grade	Life
1	AC2:WALL AIR COND	1 UT	0	0	1979	1980	1	20
2	CL2:CH LINK FENCE	340 SF	85	4	1964	1965	1	30
3	AC2:WALL AIR COND	1 UT	0	0	1989	1990	2	20
4	FN2:FENCES	100 SF	25	4	2006	2007	2	30

Appraiser Notes

2003-05-09 - A SMALL STRIP OF LAND (13 SQ FT) WAS TAKEN FROM THIS PARCEL PER OR1878-1249/1252Q/C WHICH WAS GIVEN TO NEIGHBOR. DONE FOR THE 2003 TAX ROLL. LG

2014-04-29 MLS \$895,000 2/2 BEAUTIFUL NEWLY RENOVATED SINGLE FAMILY COTTAGE LOCATED IN HIGHLY SOUGHT AFTER MEADOWS DISTRICT. COMPLETION DATE ESTIMATED FOR NOVEMBER 2014. ARCHITECTURAL PLANS ARE APPROVED, PERMITS ARE IN HAND AND CONSTRUCTION IS ABOUT UNFOLD FOR A EXQUISITE 2BD, 2BA COTTAGE, OPEN FLOOR PLAN, POOL AND DECK. EVERYTHING YOU COULD WANT FOR A PERFECT WINTER GETAWAY. CALL LISTING AGENT FOR MORE INFORMATION.

Building Permits

Bldg	Number	Date Issued	Date Completed	Amount	Description	Notes
2	02-2975	11/05/2002	11/26/2002	400	Residential	UPDATE ELECTRIC
	03-2903	08/21/2003	12/16/2003	1,000	Residential	SMOKE DETECTORS
3	06-2751	05/03/2006	09/20/2006	200	Residential	STORM DAMAGE REPAIRS REPLACE ROOFING FELT

Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

Roll Year	Total Bldg Value	Total Misc Improvement Value	Total Land Value	Total Just (Market) Value	Total Assessed Value	School Exempt Value	School Taxable Value
2014	63,641	868	193,350	257,859	257,859	0	257,859
2013	96,099	878	234,295	331,272	284,990	25,000	259,990
2012	96,099	889	188,431	285,419	280,226	25,000	255,226
2011	97,472	903	173,689	272,064	272,064	25,000	247,064
2010	98,844	913	219,043	318,800	318,800	25,000	293,800
2009	110,129	924	332,946	443,999	442,466	25,000	417,466
2008	124,815	938	316,271	442,024	442,024	25,000	417,024
2007	129,310	922	346,878	477,110	477,110	25,000	452,110
2006	290,330	600	204,046	494,976	494,976	0	494,976
2005	303,408	600	142,832	446,840	446,840	0	446,840
2004	183,090	600	142,832	326,522	326,522	0	326,522
2003	183,090	600	63,254	246,944	246,944	0	246,944
2002	130,854	400	54,417	185,671	185,671	0	185,671
2001	106,422	400	54,417	161,239	161,239	0	161,239
2000	106,422	783	39,016	146,221	146,221	0	146,221
1999	83,884	692	39,016	123,592	80,120	25,000	55,120
1998	53,004	520	39,016	92,541	78,859	25,000	53,859
1997	48,327	474	34,909	83,711	73,503	25,000	48,503
1996	40,533	398	33,320	74,251	71,363	25,000	46,363

1995	38,350	197	33,320	71,867	69,623	25,000	44,623
1994	34,297	176	33,320	67,793	67,793	25,000	42,793
1993	34,793	176	33,320	68,289	68,289	25,000	43,289
1992	34,793	176	33,320	68,289	68,289	25,000	43,289
1991	34,793	198	33,320	68,311	68,311	0	68,311
1990	38,658	220	25,970	64,848	64,848	0	64,848
1989	35,144	220	25,480	60,844	60,844	0	60,844
1988	26,095	0	22,540	48,635	48,635	0	48,635
1987	25,884	0	13,426	39,310	39,310	0	39,310
1986	26,013	0	12,936	38,949	38,949	0	38,949
1985	25,504	0	7,900	33,404	33,404	25,000	8,404
1984	23,686	0	7,900	31,586	31,586	25,000	6,586
1983	23,686	0	7,900	31,586	31,586	25,000	6,586
1982	24,218	0	7,900	32,118	32,118	25,000	7,118

Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

Sale Date	Official Records Book/Page	Price	Instrument	Qualification
8/6/2014	2697 / 2270	410,000	WD	02
2/20/2014	2679 / 1346	290,000	WD	12
7/18/2013	2641 / 2016	100	CT	12
11/2/2005	2166 / 1389	586,000	WD	Q
7/14/2003	1913 / 0876	399,000	WD	Q

This page has been visited 324,327 times.

Monroe County Monroe County Property Appraiser
 Scott P. Russell, CFA
 P.O. Box 1176 Key West, FL 33041-1176

Public Notices
(radius map & mailing list)

Public Meeting Notice

The Key West Planning Board will hold a public hearing at **6:00 PM on December 18, 2014 at Old City Hall, 510 Greene Street**, Key West, Florida, (behind Sloppy Joe's Bar). The purpose of the hearing will be to consider a request for:

Variance – 1309 Newton Street (RE # 00022660-000000; AK # 1023451) – A request for variances to side yard setbacks and minimum open space requirements in order to renovate an existing contributing structure on property located within the Historic Medium Density Residential (HMDR) zoning district pursuant to Sections 90-395, 108-346 and 122-600(6)b. of the Land Development Regulations of the Code of Ordinances of the City of Key West, Florida.

The public may examine the application during regular office hours, Monday through Friday between 8:00 AM and 5:00 PM, at the City of Key West Planning Department, located in Habana Plaza at 3140 Flagler Avenue. The application may also be examined online at www.keywestcity.com. Written responses must be submitted before the hearing to the contact person below.

Contact: Carlene Smith, Planner II; E-mail: cesmith@cityofkeywest-fl.gov; Phone: 305-809-3722; Fax 305-809-3978;
Mail: PO Box 1409, Key West FL 33041-1409

THIS NOTICE CANNOT BE REMOVED FROM THE SITE UNTIL AFTER PLANNING BOARD DETERMINATION.

YOU ARE A PROPERTY OWNER WITHIN 300 FEET OF THE SUBJECT PROPERTY

The City of Key West Planning Board will hold a Public Hearing to consider the following request:

Variance – A request for variances to side yard setbacks and minimum open space requirements in order to renovate an existing contributing structure on property located within the Historic Medium Density Residential (HMDR) zoning district pursuant to Sections 90-395, 108-346 and 122-600(6)b. of the Land Development Regulations of the Code of Ordinances of the City of Key West, Florida.

Applicant/Owner: Jody L. Draves

Location: 1309 Newton Street (RE # 00022660-000000; AK # 1023451) **Date of Hearing:** December 18, 2014

Time of Hearing: 6:00 PM **Location of Hearing:** Old City Hall, 510 Greene Street, City Commission Chambers

Interested parties may appear at the public hearing and be heard with respect to the application. Packets can be viewed online, the Friday before the meeting at www.keywestcity.com. Click on City Board & Committee Agendas. A copy of the corresponding application is available from the City of Key West Planning Department located at 3140 Flagler Avenue, Key West, Florida, Monday through Friday between the hours of 8:00 am and 5:00 pm.

Please provide written comments to: Carlene Smith, Planner II; E-mail: cesmith@cityofkeywest-fl.gov; Phone: 305-809-3722; Fax 305-809-3978; Mail: PO Box 1409, Key West FL 33041-1409

Pursuant to Section 286.0105, Florida Statutes, if a person decides to appeal any decision made by the Planning Commission or the City Commission with respect to any matter considered at such hearing or meeting, one will need a record of the proceedings and for such purpose that person may need to ensure that a verbatim record of the proceedings is made; such record includes the testimony and evidence upon which the appeal is to be based.

ADA Assistance: It is the policy of the City of Key West to comply with all requirements of the Americans with Disabilities Act (ADA). Please call the TTY number at 305-809-1000 or the ADA Coordinator at 305-809-3731 at least five business days in advance for sign language interpreters, assistive listening devices, or materials in accessible format.

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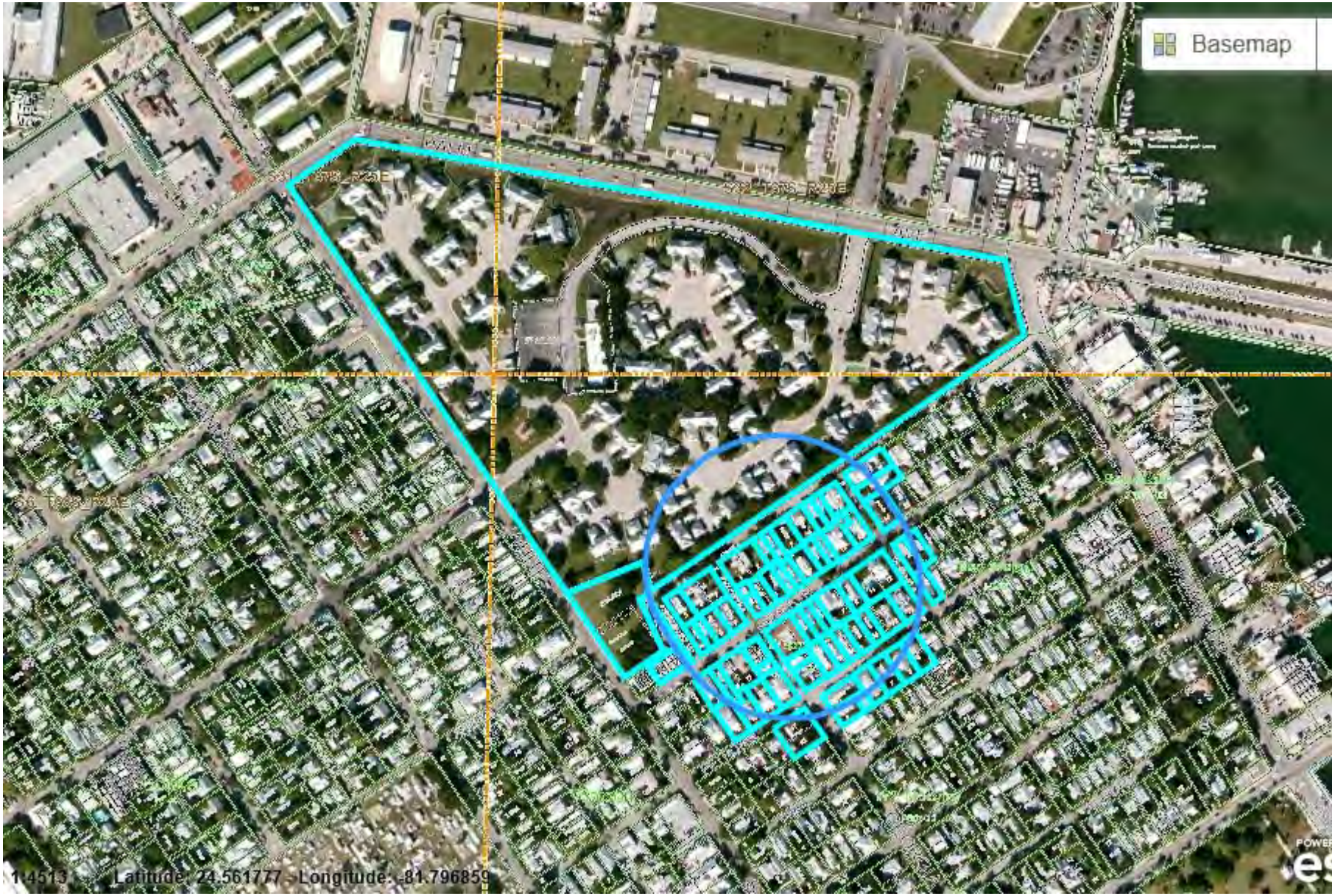
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NAME	ADDRESS	UNIT	CITY	STATE	ZIP	COUNTRY
1 ALLEN ANNE S LIVING TRUST 7/10/2001		1305	PETF KEY WEST	FL	33040-7234	
2 ALONSO KARLA		1220	NEW KEY WEST	FL	33040-7038	
3 ALTOBELLO VIRGINIA E		721	GEOR KEY WEST	FL	33040-7013	
4 APPLGATE DAVID L AND CONSTANCE E		2743 S 97	ZIONSVILLE	IN	46077-9426	
5 AULL KEVIN J AND MELISSA K		711	GEOR KEY WEST	FL	33040-7002	
6 BAKER ROBERT STEVEN REVOCABLE TRUST		620	SW RI FT WHITE	FL	32038	
7 BAUER ANDREA W		1400	NEW KEY WEST	FL	33040	
8 BAUMANN BRUCE E AND REBECCA A		1219	NEW KEY WEST	FL	33040-7053	
9 BORN REALTY TRUST 8/8/2013		14	ARLING SOMERVILLE	MA	02145-3319	
10 BURY CATHERINE J		175 W 93R	NEW YORK	NY	10025-9335	
11 CARRUTHERS HEATHER A		1314	NEW KEY WEST	FL	33040-7026	
12 CARTER NICKOLAS GENE	C/O LORI GRAF LL MANAGEMEN	5950	CAN WOODLAND HILL	CA	91367-5089	
13 CASAS DIANA G L/E		1315	NEW KEY WEST	FL	33040-7025	
14 CHATMAN ANTHONY W AND CYNTHIA L		800	GEOR KEY WEST	FL	33040	
15 CHRISTATOS MICHAEL AND LESLIE A		1324	NEW KEY WEST	FL	33040	
16 COIRA STANLEY MD TRUST AGR 4/23/2001	C/O SEGEL SHELDON	4140	BONI MIAMI	FL	33133-6339	
17 COOK KAREN M		703	FLORI KEY WEST	FL	33040-7016	
18 COVELL BARBARA J AND LARRY C		406	FOX H ANNAPOLIS	MD	21403-1657	
19 CREECH GRAHAM AND REBECCA		1314	PETF KEY WEST	FL	33040-7235	
20 DAMBROSIO JOSEPH M AND NELLA		1301	NEW KEY WEST	FL	33040-7025	
21 DAWKINS STEPHEN P AND JANE HAILE JOINT REV TR AG		1212	ANGI KEY WEST	FL	33040	
22 DAY EDNA L L/E		1300	ANGI KEY WEST	FL	33040-7006	
23 DEWALD JOHN H REV TR 8/13/2010		1223	PETF KEY WEST	FL	33040-7232	
24 DRAVES JODY L		1401	PINE KEY WEST	FL	33040-7244	
25 DUNN LEE H AND THARON S		P O BOX 1	NANTUCKET	MA	2554	
26 DUNN DAVID ALAN DECLARATION OF TRUST 11/3/2014		1316	PETF KEY WEST	FL	33040-7235	
27 ENDERBY RALPH T		257 NW 87	CORAL SPRINGS	FL	33071	
28 FRIEND KELLY J		1220	NEW KEY WEST	FL	33040-7038	
29 GARRISON WILMA A		1317	PETF KEY WEST	FL	33040	
30 GIBBS PROPERTIES INC		1655 N AT NEW	SMYRNA BE	FL	32169-2103	
31 GINGRAS GARY E		1321	NEW KEY WEST	FL	33040-7025	
32 GIRARD D'ALBISSIN ARNAUD AND NAJA		1214	NEW KEY WEST	FL	33040	
33 GOBLE ROBERT T AND CAMILLA JANE		159	RUDD LEXINGTON	SC	29072	
34 HENDERSON JOHN E AND NANCY P		809	OAK T POINT PLEASANT	NJ	8742	

NAME	ADDRESS	UNIT	CITY	STATE	ZIP	COUNTRY
35 HENSON STEVE R AND DEBORAH		1415 ATLA	KEY WEST	FL	33040	
36 HOLMES RONALD		7953 FORI	NINEVEH	IN	46164	
37 HOWE STEPHANIE		914 PACKI	KEY WEST	FL	33040-6435	
38 IRVINE ANN S		1221 PETF	KEY WEST	FL	33040-7232	
39 JACOBSON JEROME		3247 COUI	PULASKI	NY	13142-2260	
40 KENDRICK PETER J		1313 PETF	KEY WEST	FL	33040	
41 KIELSGARD MARK D	C/O BENNET EVELYN M	13627 BEN	CHANTILLY	VA	20151-2347	
42 KING KENNETH MARSHALL		1216 ANGI	KEY WEST	FL	33040	
43 LANGAN ELIZABETH		1203 NEW	KEY WEST	FL	33040-7069	
44 LARSEN VICTOR O JR		2804 ROBI	PLANT CITY	FL	33565-2654	
45 LEVIN ARTHUR M		1318 ANGI	KEY WEST	FL	33040	
46 LUNDBERG DARLENE A		8939 POL	JACKSONVILLE	FL	32208-2346	
47 MAC DONALD STEPHEN		75 OLD CL	HIGH FALLS	NY	12440	
48 MADIEDO PATRICIA M		1075 DUV	KEY WEST	FL	33040-3188	
49 MATTSON WILLIAM LOWELL		PO BOX 4	KEY WEST	FL	33041-4873	
50 MCELROY GERALD P		1319 NEW	KEY WEST	FL	33040-7025	
51 METROPOLITAN COMMUNITY CHURCH		1215 PETF	KEY WEST	FL	33040	
52 NATIONSTAR MORTGAGE LLC	C/O GREENSPOON MARDER PA	100 W CYF	FORT LAUDERDA	FL	33309-2195	
53 NEFF BRUCE G		1310 PETF	KEY WEST	FL	33040	
54 OLEKSAK MARGARET		420 GULF	INDIAN ROCKS B	FL	33785	
55 PAPKE GARY T AND PATRICIA J		431 LEGG	GRAND HAVEN	MI	49417-1721	
56 PARK CHARLES I JR DEC TRUST 3/22/1999		1300 NEW	KEY WEST	FL	33040	
57 PEARY COURT HOLDINGS LP		2828 COR	CORAL GABLES	FL	33145-3214	
58 PREYSLER JULIO JOSE IGLESIAS		3127 SHEF	MIAMI BEACH	FL	33140-3945	
59 ROHRSCHEIDER JANE		1306 ANGI	KEY WEST	FL	33040	
60 RYAN JAMES R AND KRISTEN		635 GOOS	LONGMONT	CO	80503-6458	
61 SEACRIST ROGER D ESTATE		1203 NEW	KEY WEST	FL	33040-7069	
62 SHEEDY ROBERT M		1220 NEW	KEY WEST	FL	33040	
63 SONGER MARK E AND LOIS P		1310 NEW	KEY WEST	FL	33040	
64 SORENSEN SERENA		1203 NEW	KEY WEST	FL	33040-7069	
65 STEINKAMP WYNN RAYMOND		1205 NEW	KEY WEST	FL	33040-7067	
66 STUBBLEFIELD JOY L		D-7 10TH	KEY WEST	FL	33040	
67 TEACHOUT STEPHEN V		1203 NEW	KEY WEST	FL	33040-7069	
68 UNITARIAN UNIVERSALIST FELLOWSHIP OF KEY WEST INC		801 GEOR	KEY WEST	FL	33040	

NAME	ADDRESS	UNIT	CITY	STATE	ZIP	COUNTRY
69 VALDEZ JOSE R		2604 SEID	KEY WEST	FL	33040	
70 VAN DERVEER FAMILY TRUST 3/31/2004		1212 NEW	KEY WEST	FL	33040-7024	
71 VAN STEELANDT NAOMI RUTH DEC OF TRUST 11/19/2007		1402 NEW	KEY WEST	FL	33040-7028	
72 WALLIN JOAN C		3705 POIN	BIG PINE KEY	FL	33043-6118	
73 WASSYLENKO PETER M		3540 BECH	VENICE	FL	34293-4948	
74 WHITMAN DOUGLAS F REVOCABLE TRUST 7/6/2001		1317 NEW	KEY WEST	FL	33040-7025	
75 WILLISON MALCOM R		PO BOX 61	SCHENECTADY	NY	12301-0659	
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