

TREE COMMISSION TREE REMOVAL REPORT
CITY of KEY WEST

PROPERTY: 719 Poorhouse Ln

APPLICATION NUMBER: T2025-0077

REQUEST: Property owner is seeking removal of (1) Sapodilla Tree (*Manilkara zapota*).

APPLICATION SUMMARY: An application was submitted to remove one large Sapodilla tree from the property. The application states that the tree is infested with termites and is a hazard. This is a request to rescind the denial of T2024-0351 and re-evaluate the application based on new information.

TREE ASSESSMENT and PHOTOS:

These were taken on February 25, 2025 from the roadside due to “No Trespassing” signs, and no active application at the time.



Photo of tree overall

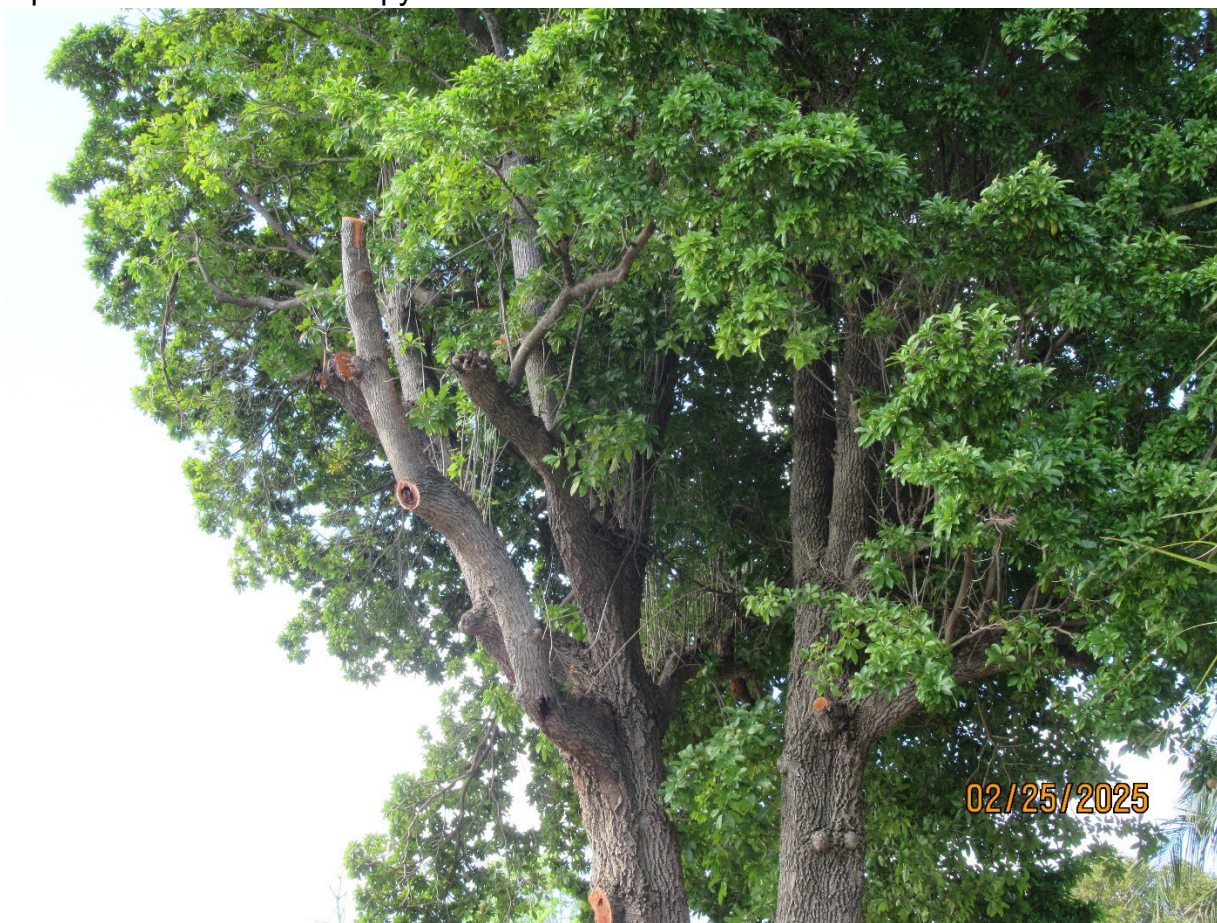


2 photos of the tree's canopy





2 photos of the tree's canopy





A photo of cut limbs from February and a photo of the tree overall



Diameter: 38.2"

Condition: 60% (at time of inspection, tree appears to be in fair to good health overall, canopy needs proper trimming, some of the branches that were cut in February have holes in the middle of them and some are completely solid)

Location: 80% (growing on a vacant lot next to public parking area, very visible tree)

Species: 100% (on City of KW protected tree list)

Tree Value: 80%

Required Mitigation: 30.6 caliper inches

In April, 2024 a "No Permit Required" letter based on State Statute 163.045 was submitted; however, during my review of the Statute, the letter, and the circumstances, a permit would have been required regardless of the letter based on the statute. The tree was not removed by the arborist who submitted the letter.

Permit T2024-0351 was applied for in reference to a building permit for a Single-Family Residence. There is an issued building permit for constructing an SFR House, and an open application for the construction of a pool on the property. The SFR plans mention root pruning in the tree protection plan. City Ordinances require a permit for root pruning of any kind, regardless of building permits. This has been discussed with the representative.

There have been numerous requests from the Representative that an emergency permit be issued. This is a beloved tree in the community, and Sapodillas are hardwood trees that can handle infestations and not be an immediate hazard. Because the tree was not leaning over structures, and there had been no reports of limbs or branches falling on their own due to any decay or damage, I did not find an emergency permit necessary.

I have requested photos of the termites, and the termite tunnel mentioned in the Hammerhead Termite Report for further documentation and evidence. As of April 9, 2025, I have not received any photos.

RECOMMENDATION: This is a beloved tree by the community, and it's a very large hardwood tree that is overall pretty healthy. I think bait treatment for the termites would be a good alternative to removal.

PREPARED BY:

Mckenzie Fraley

Mckenzie Fraley

Urban Forestry Manager

City of Key West

Additional Staff Report and Building Plans

TREE COMMISSION TREE REMOVAL REPORT
CITY of KEY WEST – ADDITIONAL INFORMATION
-Mckenzie Fraley, Urban Forestry Manager

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Additional Information:

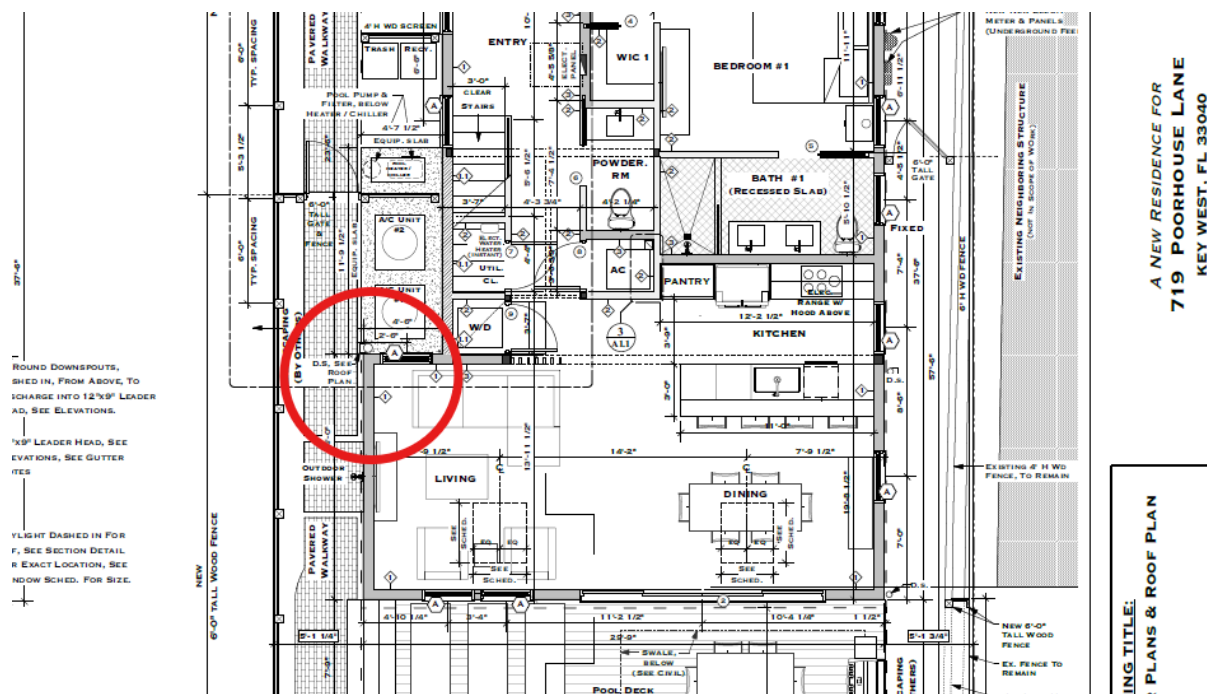
On April 11, 2025, I was posting a Public Notice for the upcoming Tree Commission meeting on the tree and met with the contractor who is to be constructing the house. He was working on the fence for the property and explained to me that the orange marks represent where the house is going to be located. I informed him on site and followed up via email, that any work conducted to the tree, including root pruning, would require a permit from my office or the Tree Commission.



A photo of the roots of the tree with the orange marks within the red box



A photo of the roots of the tree with the orange marks within the red box



A screenshot of the plans with a rough estimate of the location of the tree based on using the measurement tool on Adobe. The tree is not referenced in the set of plans other than on the first page showing the current conditions.



T. S. NEAL ARCHITECTS, INC.



305-340-8857
251-422-9547



DRAWING TITLE:
SURVEY & SITE DETAILS

DRAWN: EDSA
CHECKED: TSN
DATE: 05-28-2024

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REVISION #	DATE
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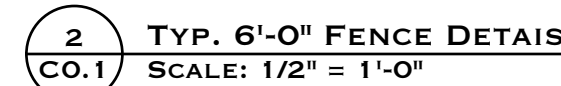
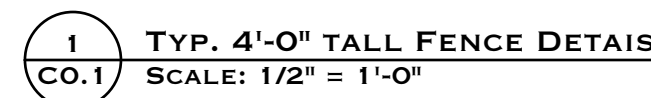


T. S. NEAL ARCHITECTS, INC.



1. PROTECT DESIGNATED EXISTING TREES SCHEDULED TO REMAIN AGAINST:
 - UNNECESSARY CUTTING, BREAKING, OR SKINNING OF ROOTS
 - SKINNING AND BRUISING OF BARK
 - SMOTHERING OF TREES BY STOCKPILING CONSTRUCTION OR EXCAVATION MATERIALS WITHIN PROTECTION BARRIER
2. PROTECTION BARRIERS (TREE BARRICADES) SHALL BE PLAINLY VISIBLE AND SHALL CREATE A CONTINUOUS BOUNDARY AROUND TREES OR VEGETATION CLUSTERS IN ORDER TO PREVENT ENCROACHMENT WITHIN THE BARRICADE.
3. FOR ALL TREES TO BE PRESERVED, SEE TREE PROTECTION AND BARRICADE ELEVATION DETAIL.
4. NO GRADE CHANGES SHALL BE MADE WITHIN THE PROTECTIVE BARRIER ZONES WITHOUT PRIOR APPROVAL.
5. THE METHOD OF PROTECTION IS TO MAKE CERTAIN THAT 50% OF THE AREA UNDER THE CANOPY DRIFLINE REMAINS UNDISTURBED (NO GRADE CHANGE OR ROOT CUT) AND THERE SHALL BE NO DISTURBANCE TO THE ROOT PLATE.
6. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPLACEMENT AND MITIGATION COSTS OF TREES DAMAGED BEYOND REPAIR THAT HAVE BEEN IDENTIFIED AS PROTECTED AND PRESERVED. IF TREES ARE HARMED THROUGH LACK OF PROTECTION OR THROUGH NEGLIGENCE ON THE PART OF THE CONTRACTOR, THE CONTRACTOR SHALL BEAR THE BURDEN OF THE COST OF REPAIR OR REPLACEMENT.
7. ROOT PRUNING SHALL BE DONE BY OR UNDER SUPERVISION OF AN ISA CERTIFIED ARBORIST, AND MEET OR EXCEED ANSI A300 OR APPROVED TREE CARE INDUSTRY STANDARDS. A CERTIFIED ARBORIST MUST BE ONSITE DURING THE ENTIRETY OF ROOT PRUNING.
8. NO ROOT PRUNING SHALL BE DONE WITHIN A DISTANCE OF 3X THE DIAMETER THE TREE UNLESS AUTHORIZED BY THE ARBORIST.
9. NO MORE THAN 30% OF THE TREES ROOTS MAY BE PRUNED.
10. A PRUNING TRENCH SHALL BE CLEARED IN A WAY THAT EXPOSES THE ROOTS WHILE LEAVING THEM INTACT. USE HAND TOOLS OR AN AIR KNIFE. LIMITS OF TRENCH TO BE DETERMINED BY THE ARBORIST.
11. ALL ROOTS OUTSIDE OF THE PROTECTIVE BARRICADE TO BE REMOVED DURING THE DEVELOPMENT SHALL BE SEVERED CLEAN USING A SHARP TOOL. TO PROVIDE A CLEAN CUT, ROOTS SHALL BE LEFT WITH CLEAN SMOOTH ENDS AND NO RAGGED EDGES AND A TWO-INCH LAYER OF MULCH SHALL BE APPLIED OVER THE SURFACE OF EXPOSED ROOTS DURING DEVELOPMENT WITHIN ONE HOUR OF DAMAGE OR EXPOSURE.
12. AFTER PRUNING, TREE ROOTS SHALL BE COVERED AND KEPT MOIST. FILL PRUNING TRENCH WITH TOPSOIL AND WATER DAILY FOR A PERIOD DETERMINED BY THE ARBORIST.

NOTE: PAINT ALL FENCING TO BE PAINTED WHITE






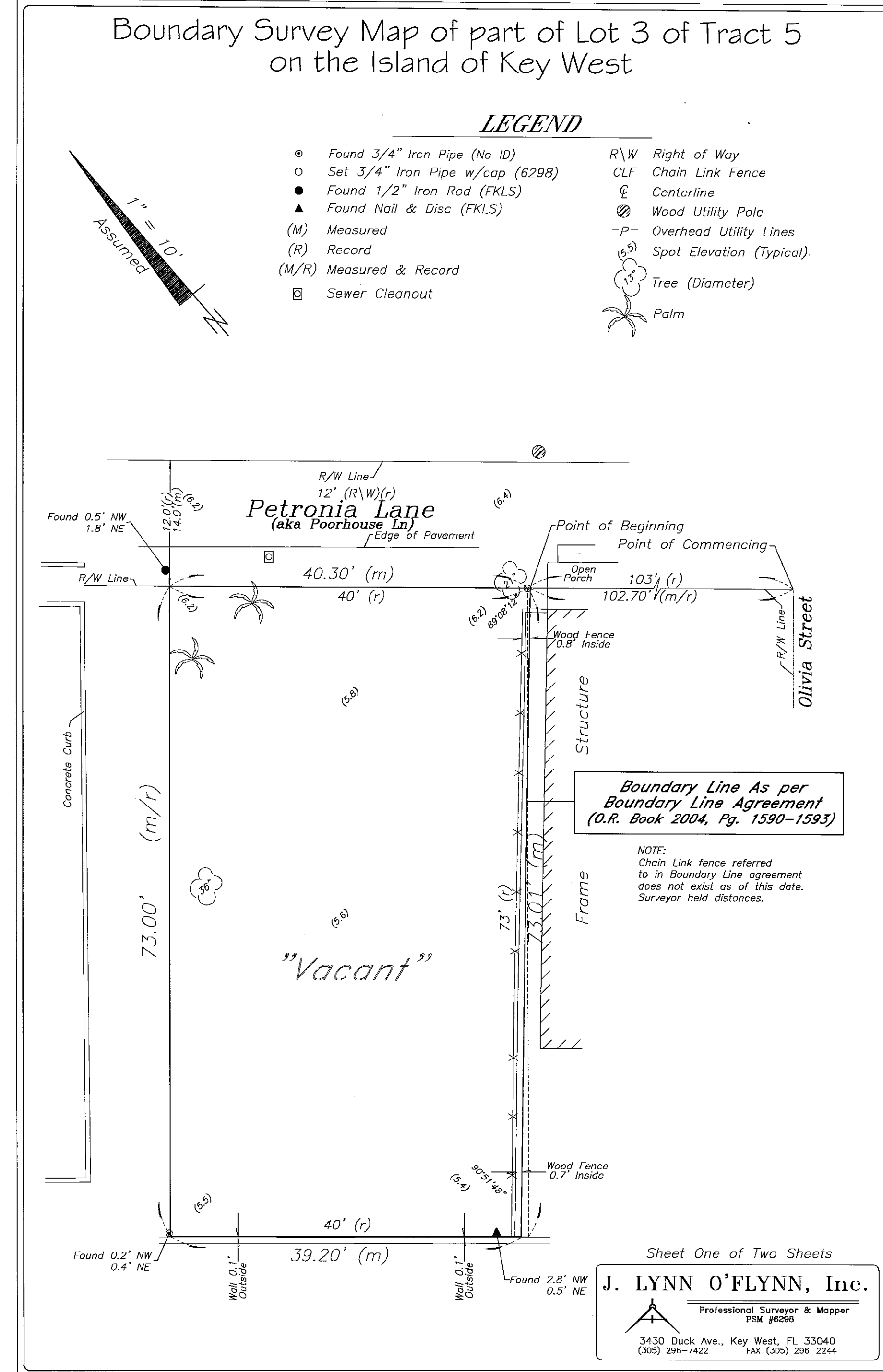
SITE NOTES

1. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AN ENGINEER/SURVEYOR CERTIFIED STAKE OUT OF THE BUILDING, DRIVEWAY, PARKING AREAS, AND PORCHES IN COORDINATION WITH THE DRAWINGS AND ANY REQUIRED ZONING SETBACKS. THE BUILDING LOCATION AND FINISH FLOOR LEVEL SHALL BE APPROVED BY THE ARCHITECT AND OWNER PRIOR TO ANY EXCAVATION WORK. THE GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, PROPERTY LINES, EASEMENTS, AND SETBACKS PRIOR TO PROCEEDING WITH EXCAVATION.
2. THE GENERAL CONTRACTOR SHALL OBTAIN A LINE LOCATION SURVEY AND DISCONNECT ANY EXISTING UTILITIES REQUIRED FOR ANY EXISTING WORK. THE EXISTING UTILITIES SHALL BE REMOVED TO THE EXTENT REQUIRED TO ACCOMMODATE NEW CONSTRUCTION AND AS APPROVED BY LOCAL UTILITIES REPRESENTATIVES. INSTALL NEW UTILITIES AND SERVICES AS REQUIRED FOR NEW HOUSE CONSTRUCTION. PROVIDE UNDERGROUND SERVICE UNLESS DIRECTED & AGREED OTHERWISE. AREAS WHERE SERVICES ARE REMOVED SHALL BE EXCAVATED TO MINIMUM EXTENT REQUIRED.
3. THE DRAWINGS SHALL BE COORDINATED WITH THE ACTUAL EXISTING SITE CONDITIONS, EXISTING TREE LOCATIONS, AND REMOVAL OF ANY EXISTING STRUCTURES OR FEATURES ETC. ANY POTENTIAL CONFLICTS OR DISCREPANCIES THAT MAY AFFECT THE HOUSE LOCATION OR ANY SIGNIFICANT FEATURES SHALL BE REPORTED TO THE ARCHITECT AND OWNER PRIOR TO ANY CONSTRUCTION. THE GENERAL CONTRACTOR SHALL COORDINATE AND MAKE ADJUSTMENTS AS MAY BE AGREED UPON AT THAT TIME TO ALL FINISH FLOOR ELEVATIONS WITH THE ARCHITECT AND OWNER AT THE TIME OF BUILDING STAKEOUT. ACTUAL NUMBERS OF TREADS AND RISERS OR STEPS MAY VARY FROM THE NUMBER SHOWN ON THE DRAWINGS BASED ON CURRENT FIELD CONDITIONS.
4. THE GENERAL CONTRACTOR SHALL MAINTAIN ON SITE DRAINAGE AWAY FROM FOOTING TRENCHES AND SHALL PROVIDE POSITIVE SLOPES AWAY FROM THE BUILDING AND DRIVEWAYS. BUT UNDER NO CIRCUMSTANCE CAUSE ADDITIONAL DRAINAGE OR EROSION TO ADJACENT PROPERTIES. PROVIDE TEMPORARY DIVERSIONS AS NECESSARY.
5. THE GENERAL CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES AND ALL ON SITE VEGETATION AND TREES OUTSIDE THE BUILDING FOOTPRINT FROM ANY HARM OR ADVERSE CONDITIONS RELATED TO CONSTRUCTION ACTIVITIES DURING THE ENTIRE TERM OF CONSTRUCTION. THE REMOVAL OF ANY TREES OR VEGETATION IN THE AREA OF THE BUILDING FOOTPRINT SHALL BE COORDINATED WITH THE ARCHITECT & LANDSCAPE DESIGNER PRIOR TO REMOVAL. PROVIDE A FENCED TREE PROTECTION ZONE AROUND SIGNIFICANT AND PROTECTED TREES REMAINING. NO PARKING OR STACKING OF MATERIALS, DEBRIS, OR SOIL, SHALL BE PERMITTED UNDER TREE CANOPY OR ON TOP OF TREE ROOTS. MEET ON SITE WITH ARCHITECT & OWNER TO DETERMINE SPECIFIC TRASH TO BE REMOVED PRIOR TO SITE REMOVAL. TO IDENTIFY BOUNDS OF CONTRACTORS STAGING & MATERIALS STORAGE AREAS & EMPLOYEE PARKING. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR LEAVING THE SITE CLEAN & ORDERLY EACH & EVERY DAY & IN NO CIRCUMSTANCE IS TRASH OR LITTER ALLOWED TO REMAIN IN VIEW OR OUTSIDE OF SECURE CONTAINERS. THE PORT-O-LET & DUMPSTERS & TRASH CONTAINERS MUST BE PLACED IN AN AREA AGREEABLE TO THE OWNER, SURVEYOR, ARCHITECT, & ENGINEER. THEY MAY NOT BE ALLOWED TO OVERFLOW OR BECOME A NUISANCE OR EYECORE AND SHALL BE EMPTIED REGULARLY.
6. THE GENERAL CONTRACTOR SHALL PROVIDE EROSION CONTROL MEANS & METHODS TO PREVENT SITE EROSION & SHALL PROVIDE UNDERWATER FLOW DIRECTION TO COLLECTION AREA, NO EXCESS DIRT, MUD, DEBRIS, WASTE, CONSTRUCTION DEBRIS, WASHOUT, OR CLEANING OPERATIONS SHALL BE ALLOWED OFF SITE OR ALLOWED TO FLOW OFF SITE. ALL SILT FENCING OR OTHER EROSION CONTROL METHODS SHALL BE MAINTAINED IN GOOD WORKING CONDITION, SEE CIVIL.
7. THE LOCATION OF ANY EXISTING AND PROPOSED SITE UTILITIES AND SERVICE ENTRANCES & ROUTES SHALL BE DETERMINED ON SITE WITH THE OWNER PRIOR TO ANY WORK BEING PERFORMED. LOCAL UTILITY REPRESENTATIVES SHALL BE INFORMED AND SHALL AGREE AND APPROVE ALL UTILITY WORK BEING PERFORMED. PROVIDE UNDERGROUND SERVICE TO FULFILL EXTENT POSSIBLE AS AGREEABLE TO THE OWNER. SEE MEP DRAWINGS.
8. CONSTRUCTION ACCESS WITH SOIL TRACKING DEVICES TO KEEP ALL MATERIALS ON SITE DURING CONSTRUCTION.
9. PERMANENT SITE STABILIZATION, SOIL OR GRAVEL, SHALL BE IN PLACE PRIOR TO ISSUANCE OF C.O. FOR PROJECT.
10. INSTALL SILT FENCE AROUND PERIMETER OF PROPERTY PRIOR TO ANY CONSTRUCTION ACTIVITIES ONSITE. SEE SILT FENCE DETAILS.
11. CONSTRUCTION ACCESS WITH SOIL TRACKING DEVICES TO KEEP ALL MATERIALS ON SITE DURING CONSTRUCTION.



SITE DATA DIAGRAM KEY:

-  EXTENT OF BUILDING COVERAGE
 EXTENT OF IMPERVIOUS COVERAGE
 EXTENT OF DECK COVERAGE
 EXISTING PROP. LINE, SEE SURVEY



SURVEY PROVIDED BY OWNER FOR REF. ONLY.

SITE DATA 719 POORHOUSE LANE

ITEM	EXISTING	REQ. PER LDR	PROPOSED	REMARK
DISTRICT	HHDR	HHDR	HHDR	NO CHANGE
SITE AREA	2,800 SQ. FT.	4,000 SQ. FT.	EXISTING	NO CHANGE
LOT SIZE	SEE SURVEY	40' X50' (RM)	EXISTING	NO CHANGE
IMPERVIOUS	0.0%	1,782 SQ. FT. (50% MAX)	1,818 SQ. FT. (52%)	CONFORMS
OPEN SPACE	0.0%	1,038 SQ. FT. (30% MIN)	1,041 SQ. FT. (30.3%)	CONFORMS
BUILDING COV.	0.0%	1,782 SQ. FT. (50% MAX)	0.00 SQ. FT. (0%)	CONFORMS
ACCESSORY STRUCTURE	0.0%	See Yard, Max 100-200 FT. LAWN (20' MIN)	0.00 SQ. FT. (0%)	CONFORMS
REAR YARD COV.	0.0%	1,782 SQ. FT. (50% MAX)	0.00 SQ. FT. (0%)	CONFORMS
FRONT YARD SIDE GREEN SPACE COV.	100.0%	See Yard, Max 100-200 FT. LAWN (20' MIN)	200.00 SQ. FT. (7.1%)	CONFORMS
SETBACKS				
FRONT SETBACK	0'-0"	10'	10'-4.3/4"	CONFORMS
REAR SETBACK	0'-0"	20'	20'-11"	CONFORMS
SIDE SETBACK EAST	0'-0"	5'	5'	CONFORMS
SIDE SETBACK WEST	0'-0"	5'	5'-0"	CONFORMS
BUILDING HEIGHT	0'-0"	8'-0"	28'-0"	CONFORMS

TIMOTHY SETH NEAL FLA. REGISTRATION # AR97505

INTERIOR

NOTE:
WALL TYPE 1.1 TO HAVE
CONTINUOUS 2X6 STUDS, NO
SLICES, SEE STRUCTURAL

(INTERIOR 2x4)

2

2X4 PT. WD. STUD @ 16" O.C.
W/ SOUND BATT INSUL.,
ROCKWOOL OR EQ. SEE
STRUCT.

(INTERIOR 2X6)

3

MEMBRANE W/ TILE @ SHOWER
WALLS, VERIFY ADDITIONAL
FINISHES W/ OWNER

CLOSET

4

2


GRAPHIC LEGEND

EXTENT OF 5V METAL
CRIMP ROOFING

1 WALL TYPE, SEE WALL TYPES

SECTION CUT **SECTION MARKER**

(AKA POORHOUSE LN)

[illegible]

T.S. NEAL
ARCHITECT INC.

2974 OVERSEAS HWY
CUDJOE KEY, FL
33042

305-340-8857
251-422-9547

STATE OF FLORIDA
TIMOTHY SETH NEAL
— ★ —
AR97505
REGISTERED ARCHITECT

719 POORHOUSE LANE
KEY WEST, FL 33040

FLOOR PLANS & ROOF PLAN

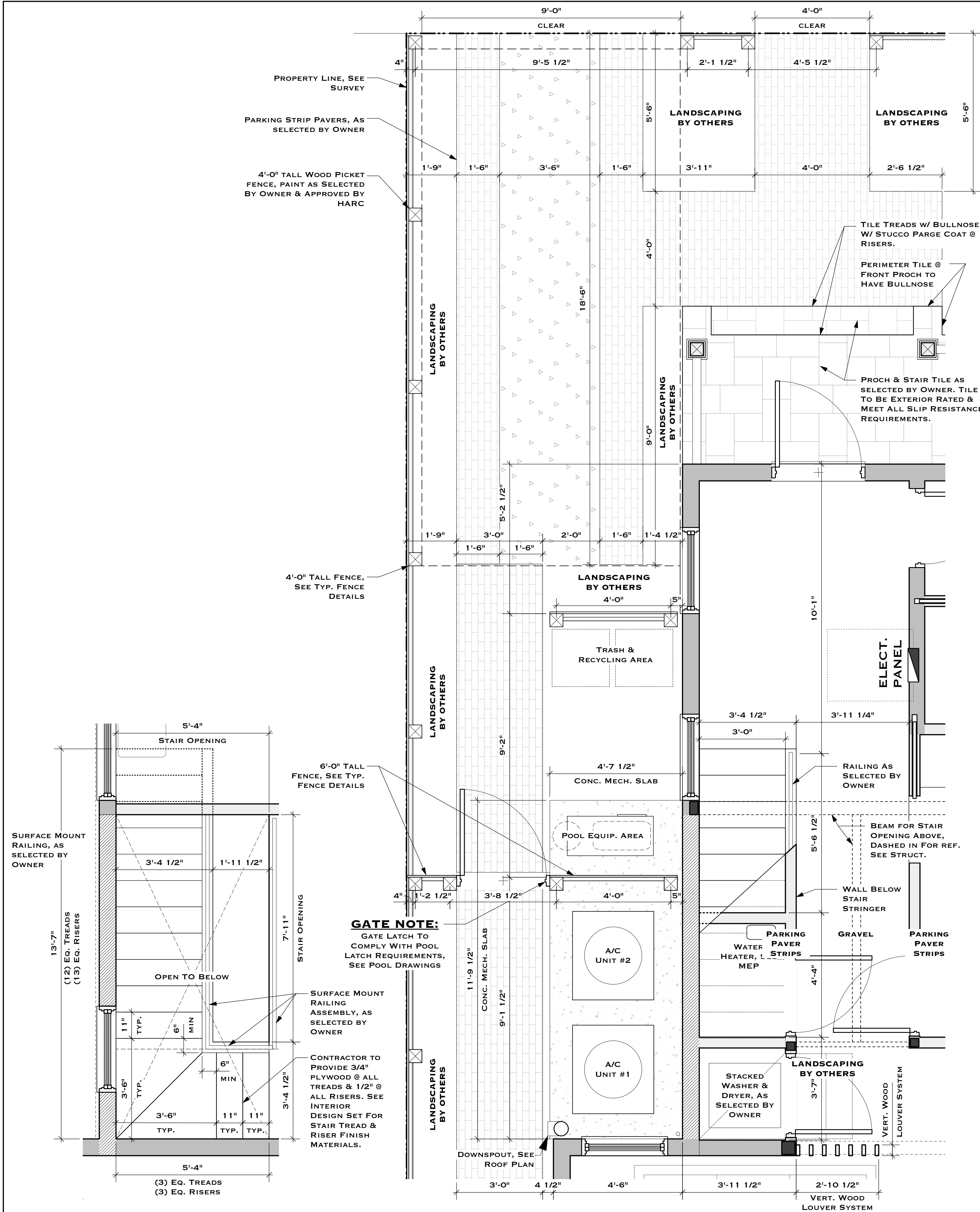
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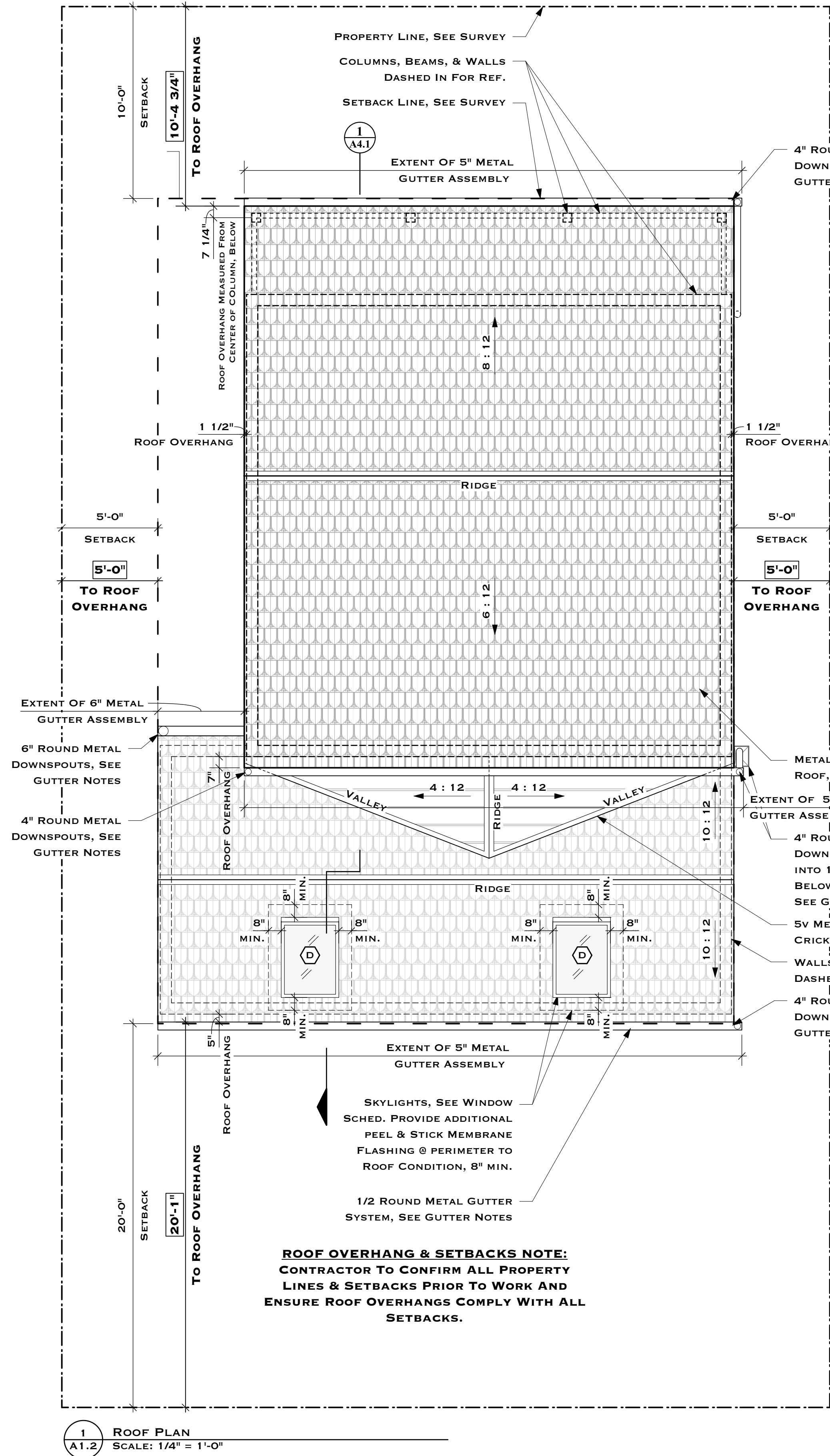
NEAL ARCHITECTS, INC.

TIMOTHY SETH NEAL FLA. REGISTRATION # AR97505



3 ENLARGED PLAN - 2ND FLOOR STAIR
SCALE: 1/2" = 1'-0"

2 ENLARGED PLAN - FIRST FLOOR STAIR & MECH. PAD
SCALE: 1/2" = 1'-0"



GUTTER NOTES:

PROVIDE CONC. SPLASHBLOCKS @ ALL DOWNSPOUT DISCHARGES, DIRECT FLOW AWAY FROM THE HOUSE & TO SWALES.

DOWNSPOUTS TO BE INSTALLED IN THE LEAST VISIBLE MANNER, CONFIRM FINAL LAYOUT WITH OWNER / CONTRACTOR ON SITE.

ALL GUTTERS & DOWNSPOUTS TO BE PREFINISHED METAL, COLOR & STYLE AS SELECTED BY OWNER.

ROOFING TYPES:

ROOF TYPE 1:
METAL SHINGLE ROOFING SYSTEM. ALL REQUIRED COMPONENTS SIMILAR OR EQUAL TO BERRIDGE VICTORIAN SHINGLE. SEE NOA FOR MORE INFORMATION.

ROOF TYPE 2:
PROVIDE METAL ROOFING SYSTEM & ALL REQUIRED COMPONENTS SIMILAR OR EQUAL TO BERRIDGE DOUBLE RIB, 24-GAUGE STEEL V-CRIMP. SEE NOA FOR MORE INFORMATION.

ROOFING NOTES:

REFER STRUCTURAL DRAWINGS FOR WIND PRESSURES AND DECKING REQUIREMENTS.

INSTALL NEW PEEL & STICK MEMBRANE UNDERLAYMENT APPLICABLE ROOF TYPE.

VERIFY COMPATIBILITY OF ROOFING AND UNDERLAYMENT WITH MANUFACTURER.

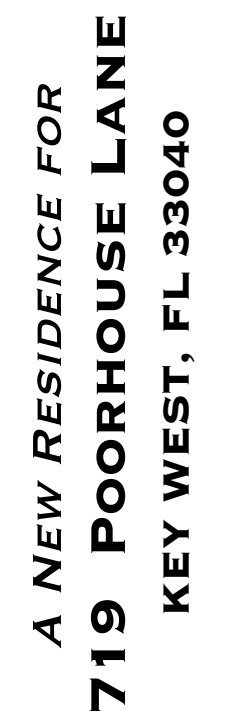
ROOFING MANUFACTURER SHALL CONFIRM THAT ROOFING SYSTEMS MEET ALL GOVERNING CODES REGARDING UPLIFT & WIND CRITERIA AND ANY OTHER DESIGN OR SPECIFIC CRITERIA AFFECTING THE ROOFING. PROVIDE NOA OR FLORIDA APPROVAL FOR ROOFING PRODUCT AND INSTALLATION. MANUFACTURERS INSTALLATION INSTRUCTIONS & RECOMMENDATION SHALL BE STRICTLY ADHERED TO.

ROOFING MANUFACTURER SHALL SUPPLY ALL PRODUCTS & COMPONENTS INCLUDING BUT NOT LIMITED TO FLASHING, TRIM, MITERED CORNERS, FASTENERS, SEALANT, ETC. COMPATIBLE WITH ROOFING SYSTEM FOR A COMPLETE AND WEATERTIGHT ROOFING SYSTEM INSTALLED IN A FIRST-CLASS WORKMAN-LIKE MANNER. PROVIDE FLASHING AND TRIM AS PER MANUFACTURER'S RECOMMENDATIONS AND SHACNA'S REFERENCE MANUAL DETAILS.

PROVIDE 20 YEAR MINIMUM FINISH WEATERTIGHTNESS & CORROSION WARRANTY.



305-340-8857
251-422-9547



DRAWING TITLE:
POOL PLAN, SECTION & NOTES

DRAWN: EDSA
CHECKED: TSN
DATE: 05-28-2024

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REVISION #	DATE
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1. POOL CONSTRUCTION TO BE IN ACCORDANCE WITH THE 5TH EDITION OF THE 2020 RESIDENTIAL FLORIDA BUILDING CODE AND ASNI/NSPI-8 AND ANS/NSPI-5. ALL APPLICABLE CODES AND STANDARDS OF THE CITY OF KEY WEST BUILDING DEPARTMENT, AND ALL NATIONAL ELECTRIC CODE. THE FINAL POOL INSTALLATION MUST MEET ALL SAFETY CODES AS OUTLINED IN THE 5TH EDITION OF THE 2017 RESIDENTIAL FLORIDA BUILDING CODE R4101.17 THROUGH R4101.17.3.

2. NO DIVING BOARD AND NO DIVING IS ALLOWED.

3. POOL IS ON SOIL CONDITIONS CONSISTING OF WELL-COMPACTED STRUCTURAL FILL OR CORAL ROCK. IF OTHER SOIL CONDITIONS ARE PRESENT, CONTRACTOR SHALL STOP WORK AND NOTIFY THE OWNER, ARCHITECT, OR ENGINEER.

4. ARCHITECT ASSUMES NO RESPONSIBILITY FOR POOL CONSTRUCTION WITHIN REQUIRED SETBACK AREAS. POOL CONTRACTOR SHALL VERIFY WITH A FLORIDA REGISTERED LAND SURVEYOR ALL DIMENSIONS IN THE FIELD AND ESTABLISHED LOT LINES.

5. POOL FINISH: DIAMOND BRITE OR EQUIVALENT THAT REQUIRES ACID WASHING, ENSURE COMPLETE AND EVEN COVERAGE OF ACID. STREAKS IN THE FINISH WILL NOT BE ACCEPTED. IF STREAKS OCCUR, POOL CONTRACTOR WILL BE RESPONSIBLE FOR DRAINING POOL AND REAPPLYING ACID WASH TO ELIMINATE STREAKING OR CHIPPING OUT AND REINSTALLING NEW FINISH IF NEEDED.

6. POOL DECK TO SLOPE AWAY FROM COPING AT A MINIMUM OF 1/8" PER FOOT. POOL BID TO INCLUDE COPING MATERIAL AND INSTALLATION UNLESS OTHERWISE SPECIFIED

7. ELECTRICAL & GAS WORK SHALL CONFORM TO THE NATIONAL ELECTRIC CODE, MONROE COUNTY CODE, AND CITY OF KEY WEST CODE SUPPLEMENT (AS APPLICABLE). POOL AREA, GROUND ALL BOXES, RAILS, LIGHTS, MOTORS, ETC. WITH #8 WIRE.

9. POOL CONTRACTOR IS RESPONSIBLE FOR COMPLETING ALL STUCCO WORK ON NEW & EXPOSED CONCRETE THAT IS READILY VISIBLE & ABOVE GRADE.

10. POOL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL FILL FROM POOL EXCAVATION FROM THE SITE IN A TIMELY MANNER. STORING FILL ON SITE AFTER EXCAVATION IS NOT ACCEPTABLE UNLESS PREVIOUSLY APPROVED AND COORDINATED.

11. SEE "PL" SHEET SERIES FOR POOL STRUCTURAL,
ELECTRICAL & PLUMBING DETAILS.

1. POOL: DIAMOND-BRITE – CONFIRM WITH OWNER COLOR OF CHOICE

2. COPING: AS SELECTED BY OWNER. 1" X 10" X 16" IVORY TRAVERTINE ASSUMED FOR BASIS OF DESIGN, VERIFY LENGTHS & SHAPES TO BE CUT W/ OWNER.

3. WATERLINE TILE: TO BE SELECTED BY OWNER, EQUAL TO CROSSVILLE, INC.

4. TILE GROUT: TO BE SELECTED BY OWNER

5. MUD-CAP TILE: TO BE SELECTED BY OWNER, SEE PLAN AND SECTION FOR LOCATIONS – ROLL ALL EDGES WITH 2" RADIUS

1. DRAIN & FITTINGS: (1) AQUASTAR 'VGB' SERIES CHANNEL DRAIN STANDARD COLOR: WHITE, ALL OTHER EXPOSED FITTINGS TO MATCH OR EQUAL

2. SKIMMER LID: SKIMMER TO RECEIVE TRAVERTINE LID TO MATCH ADJACENT COPING

3. FILTRATION: JANDY OR EQUAL

4. POOL LIGHTING: (1) NEXXUS BRAND LED MELODY BLANCO 10 WATT POOL LIGHTS BY SAVI WITH RGB CARTRIDGE (VERIFY COLORS WITH OWNERS) POOL LIGHTS TO BE SWITCHED FROM INTERIOR OF HOUSE – COORDINATE EXACT AMOUNT & LOCATION WITH OWNER

5. CHLORINATION: JANDY AQUA PURE, SALT GENERATION SYSTEM SIZED TO FIT. **VERIFY WITH OWNER**

6. AUTO-FILL: MECHANICAL AUTO-FILL – USE LEVELOR BRAND, SIZED ACCORDINGLY

7. PUMPS: JANDY PRO SERIES, FLOPRO, VARIABLE SPEED PUMPS WITH INTEGRAL TIME CLOCK. POOL CONTRACTOR TO PROVIDE AUTOMATED DIVERTER VALVE TO ALLOW INDEPENDENT FLOW CONTROL OF THE FLOW THRU'S FROM HOT TUB TO POOL EQUAL TO JANDY. CONFIRM EXACT TYPE W/ OWNER.

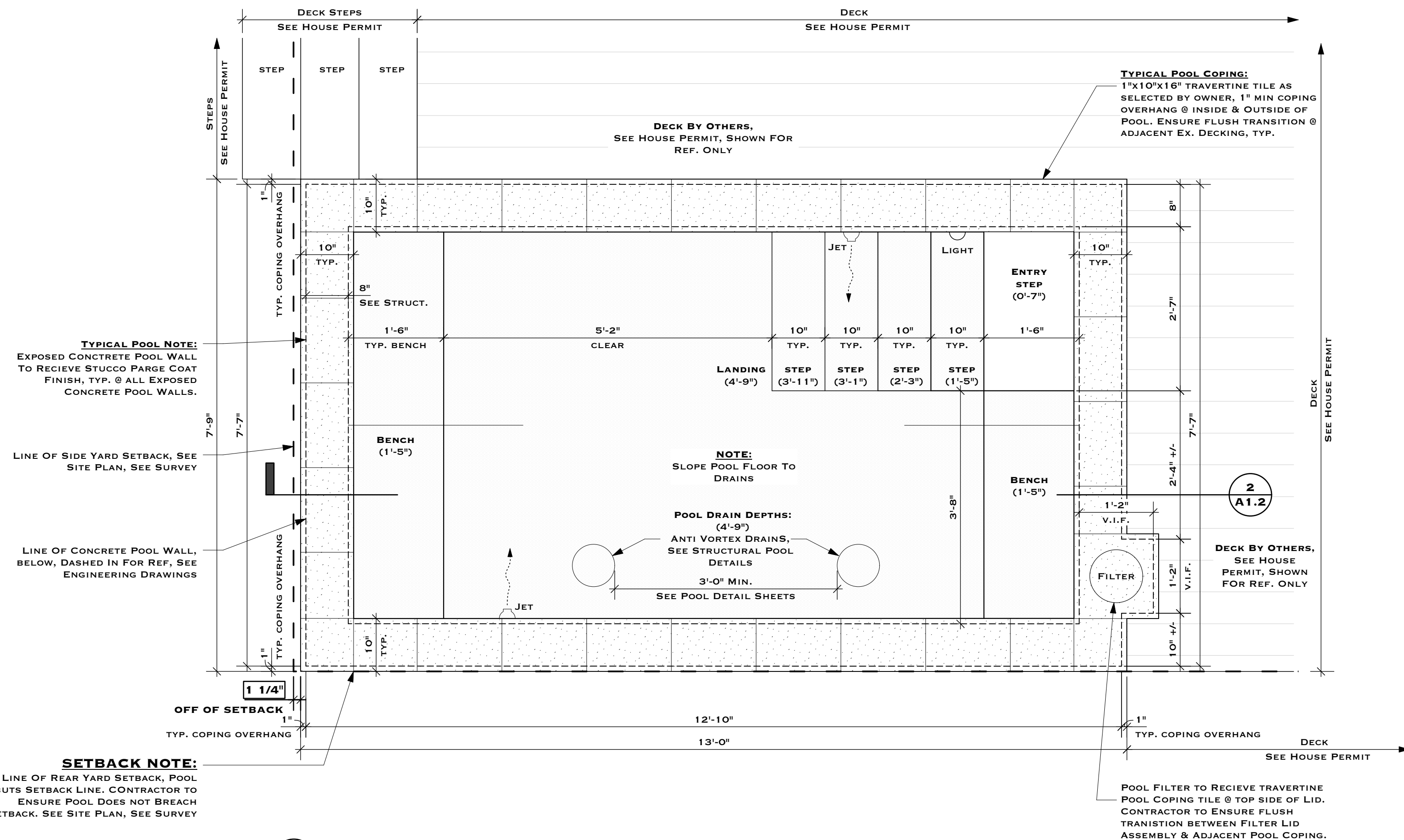
8. CONTRACTOR TO PROVIDE POOL DISCONNECT VALVES FOR EQUIP. MAINTENANCE

9. HEATING & COOLING: HAYWARD, HEAT PUMP OR EQUAL
IF DESIRED BY CLIENT

10. SAFETY NET: INCLUDE IN PRICE FOR POOL

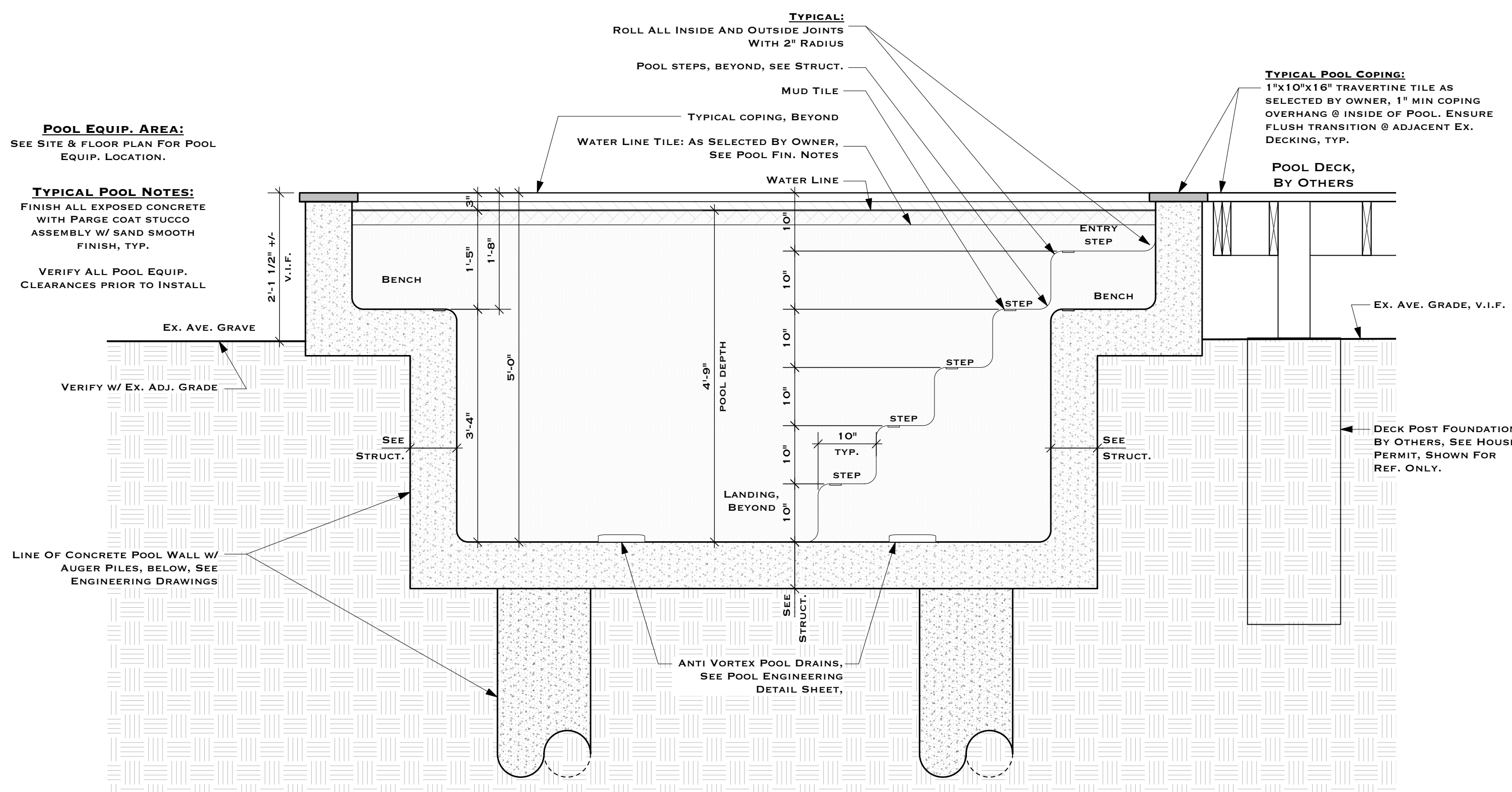
11. PROVIDE MAGNA-LATCH D&D CHILD SAFETY GATE POOL LATCHAT OR EQUAL AT GATES TO THE BACK YARD AREA, 54" MOUNTING HEIGHT IF APPLICABLE.

12. PROVIDE DOOR ALARMS TO EXTERIOR DOORS FACING THE POOL DECK, IF APPLICABLE.



1
A1.3

ENLARGED PLAN - POOL
SCALE: 3/4" = 1'-0"



2 SECTION - POOL
A1.3 SCALE: 3/4" = 1'-0"

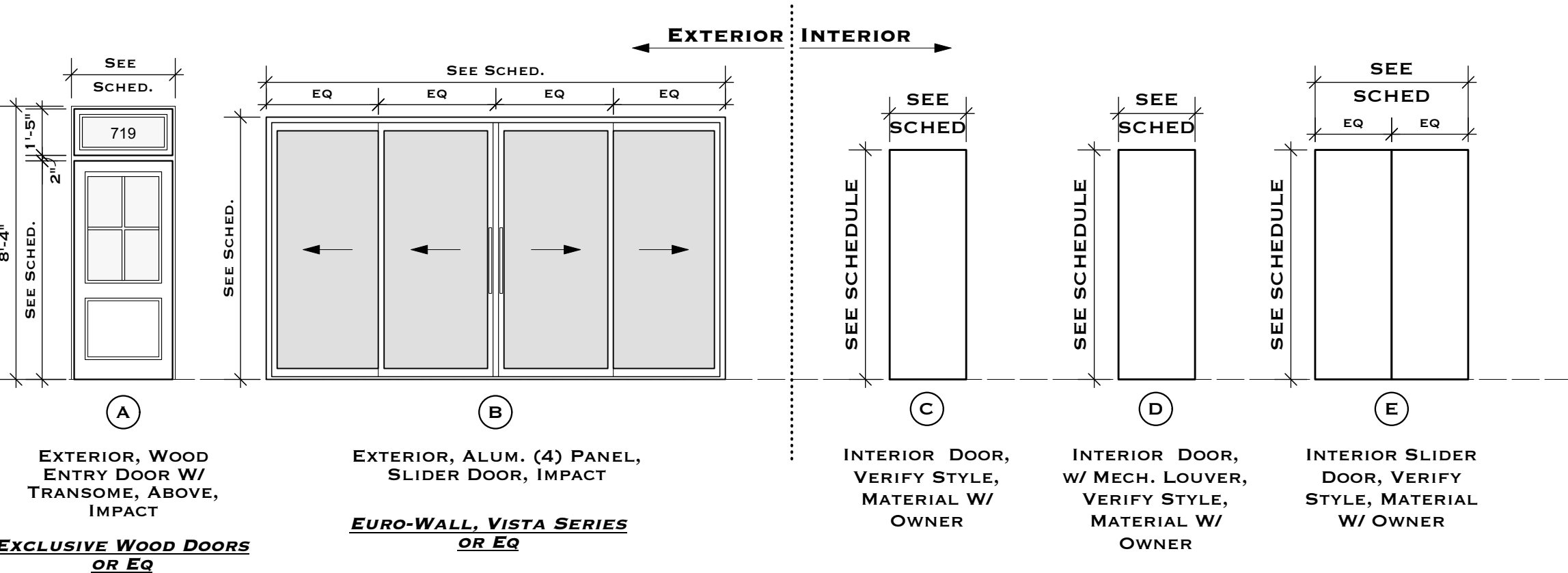
TIMOTHY SETH NEAL FLA. REGISTRATION # AR97505

Door Schedule:			
Opening Mark	Type	Size	Description
1	A	3'-0" x 6'-8" + Transom	Exterior Solid Wood, Single Lite, Impact Door w/ Transom Above
2	B	14'-0" x 8'-0"	Exterior, Alum, (4) Panel Sider Door, Impact, Very Slide Direction w/ Owners.
3	C	2'-6" x 7'-0"	Interior Door as Selected By Owner
4	C	2'-0" x 7'-0" Pocket	Interior Door as Selected By Owner, Pocket
5	C	2'-4" x 7'-0" Pocket	Interior Door as Selected By Owner, Pocket
6	C	2'-4" x 7'-0" Pocket	Interior Door as Selected By Owner, Pocket
7	C	2'-8" x Sloped, V.I.F.	Interior, Sloped, Low Door, as Selected By Owner
8	D	2'-8" x 7'-0", Louvered	Interior Door as Selected By Owner, (Louvered Mech. Return, Verify Style w/ Owner)
9	C	2'-8" x +/- 6'-0" V.I.F.	Interior Door as Selected By Owner, Verify Height in Feild, Coor. w/ Stacked Washer Dryer Selection
10	C	2'-6" x 6'-8"	Interior Door as Selected By Owner
11	E	4'-0" x 6'-8", (2) Panel Slider	Interior Slider Door, (2) Panel, as Selected By Owner
12	C	2'-4" x 6'-8" Pocket	Interior Door as Selected By Owner, Pocket
13	C	1'-10" x 6'-8"	Interior Door as Selected By Owner
14	C	2'-6" x 6'-8"	Interior Door as Selected By Owner
15	E	4'-0" x 6'-8", (2) Panel Slider	Interior Slider Door, (2) Panel, as Selected By Owner
16	C	2'-4" x 6'-8" Pocket	Interior Door as Selected By Owner, Pocket

DOOR HARDWARE NOTE: ALL DOOR HARDWARE AS SELECTED BY OWNER

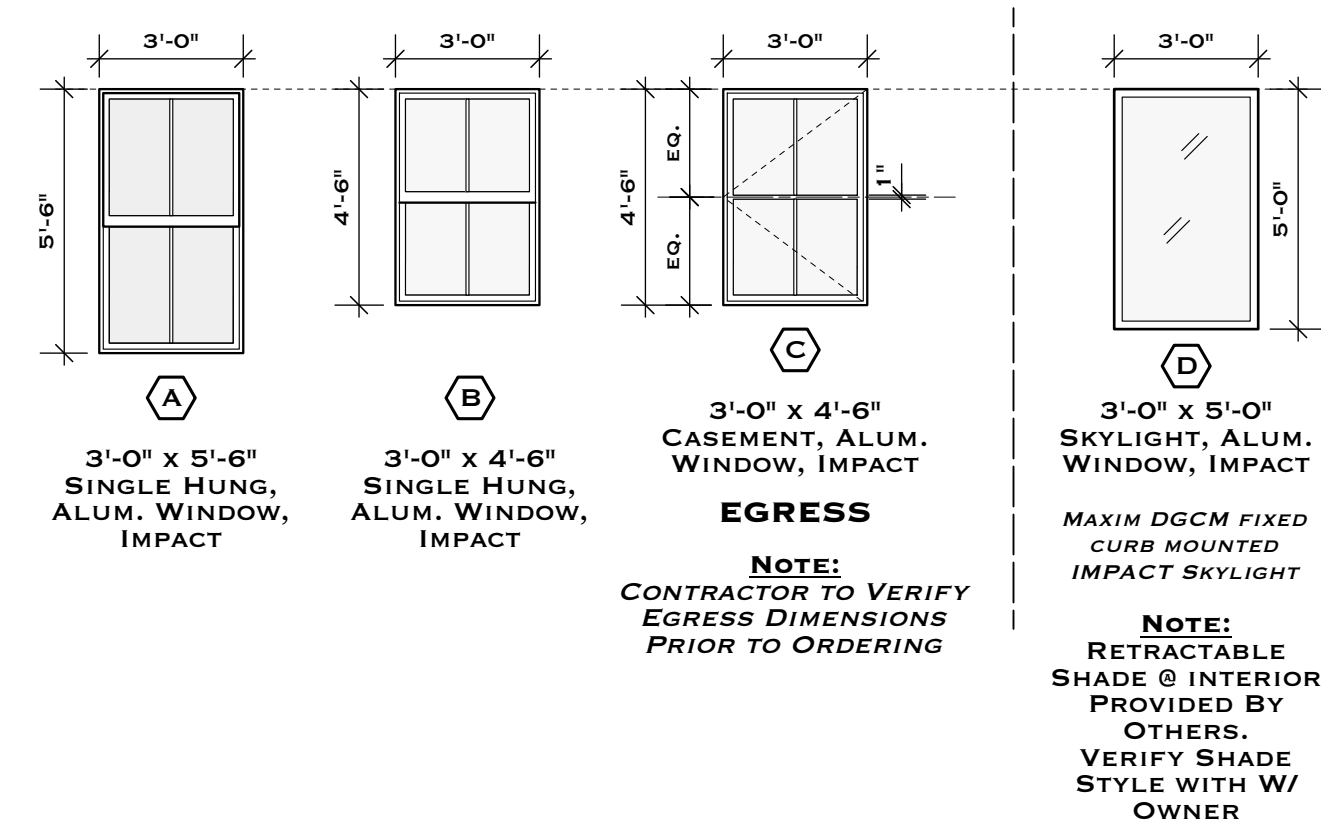
DOOR TYPES

MANUFACTURER: EXCLUSIVE DOORS OR EQ. DOORS SIZES TO APPROXIMATE UNIT DIMENSIONS. DOORS TO MEETING REQUIRED DESIGN PRESSURES & FBC ENERGY CONSERVATION 2023 INSULATION AND FENESTRATION REQUIREMENTS. REFER EXTERIOR ELEVATIONS FOR REQUIRED DESIGN PRESSURES FOR EACH DOOR LOCATION. SEE SCHEDULE FOR SIZES. ALL EXTERIOR HARDWARE TO BE FOR COASTAL CONDITIONS. OWNER TO SELECT DOOR FINISH COLOR, VERIFY PRIOR TO ORDERING. CONTRACTOR TO PROVIDE DOOR & WINDOW SUBMITTAL FOR ARCHITECT'S REVIEW & APPROVAL PRIOR TO ORDERING.



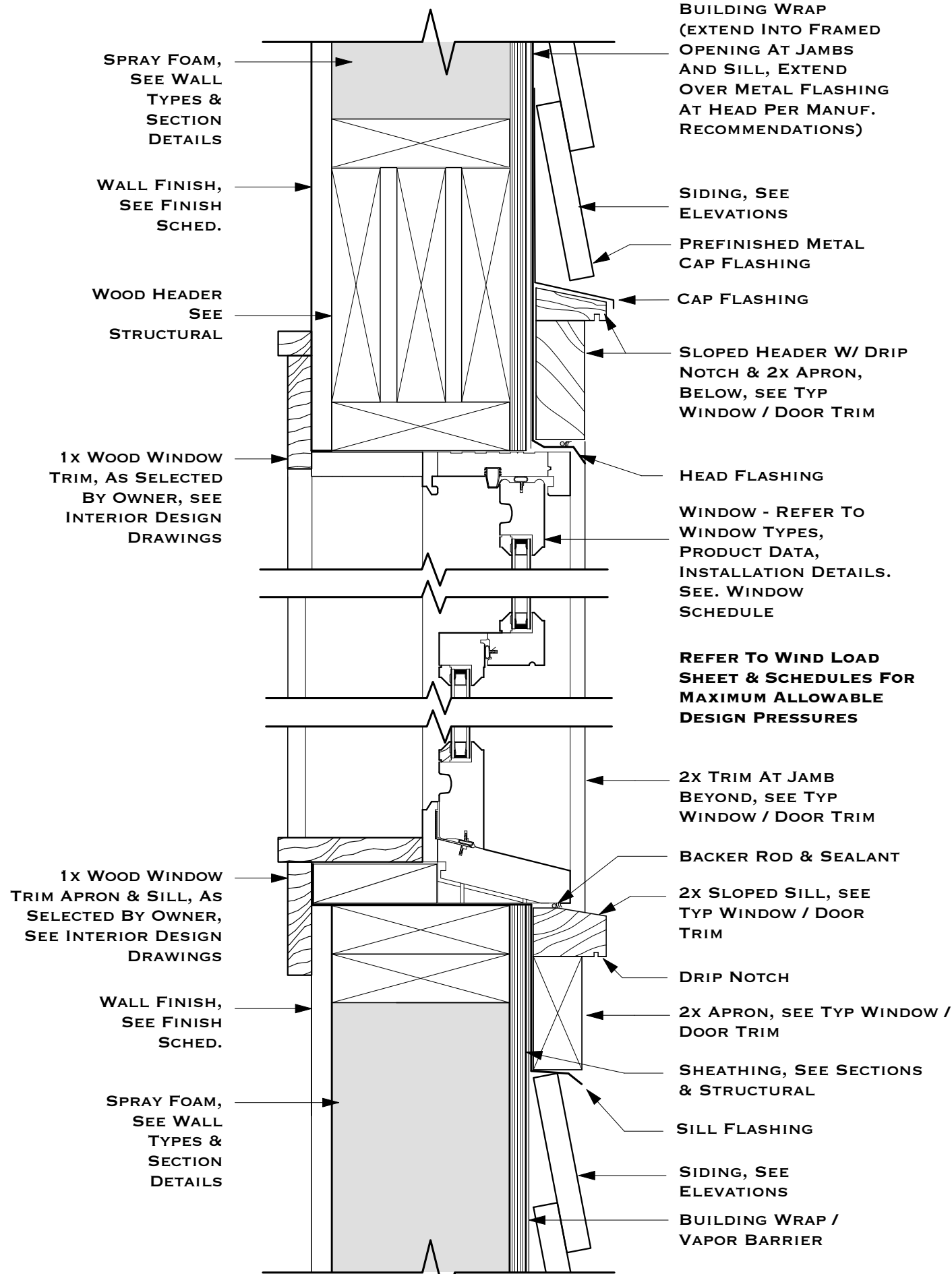
WINDOW TYPES

MANUFACTURER: WINDOR, OR EQUAL. WINDOW SIZES SHOWN ARE APPROXIMATE UNIT DIMENSIONS. INSTALL IMPACT, INSULATED, LOW-E, CLEAR GLASS IN ALL WINDOWS MEETING REQUIRED DESIGN PRESSURES, U FACTOR & SOLAR HEAT GAIN. SEE ARCHITECTURAL ELEVATIONS FOR WINDOW SWING DIRECTION. SEE STRUCTURAL SHEET FOR MAXIMUM ALLOWABLE DESIGN PRESSURES. REFER TO EXTERIOR ELEVATIONS FOR REQUIRED DESIGN PRESSURES FOR EACH WINDOW LOCATION. WINDOWS TO MEET EGRESS AT ALL BEDROOM LOCATIONS. ALL HARDWARE TO BE FOR COASTAL CONDITIONS. CONTRACTOR TO PROVIDE NOA'S OR FLORIDA PRODUCT APPROVALS. OWNER TO SELECT WINDOW FINISH COLOR, VERIFY PRIOR TO ORDERING. CONTRACTOR TO PROVIDE SUBMITTAL FOR ARCHITECT'S REVIEW & APPROVAL PRIOR TO ORDERING.



GENERAL FINISH REMARKS:

- CONTRACTOR VERIFY ALL FINISHES SELECTIONS (PAINT, COUNTERTOPS, TILE, DOOR & CABINET HARDWARE, ETC.) WITH OWNER PRIOR TO PURCHASE AND INSTALLATION.
- ALL TRIMWORK AND MOULDING PROFILES AND FINISHES AS SELECTED BY OWNER.
- ALL PLUMBING FIXTURES, DECORATIVE LIGHT FIXTURES, AND APPLIANCES AS SELECTED BY OWNER.
- CABINETS DESIGN BY OTHERS, PLAN LAYOUT FOR REFERENCE ONLY.
- CONTRACTOR TO VERIFY CLOSET SHELVING AND RODS CONFIGURATIONS WITH OWNER.
- CONTRACTOR TO PAINT ENTIRE HOUSE EXTERIOR WITH HARC APPROVED COLOR SELECTIONS EQ. TO BENJAMIN MOORE OR SHERWIN WILLIAMS.
- ALL FINISH FLOOR MATERIALS AS SELECTED BY OWNER; CONTRACTOR TO NOTIFY ARCHITECT OF RECORD OF SELECTIONS PRIOR TO ORDERING. CONTRACTOR TO COORDINATE FINISH FLOOR MATERIAL WITH ALL APPLICABLE FLOOR LEVEL CHANGES & DOOR RECESSES.
- PROVIDE SOUND BATT INSULATION, ROCKWOOL OR EQ. AT ALL INTERIOR BATHROOM, BEDROOM, & MECHANICAL ROOMS FOR NOISE. INSULATE ALL EXTERIOR WALLS w/ OPEN-CELL SPRAY FOAM, R-19 MIN, INSULATE AT ROOF LINE w/ R-30 OPEN CELL SPRAY FOAM, INSULATE UNDER RAISED FLOOR WITH CLOSED CELL SPRAY FOAM R-13 MIN, (EQUAL TO ICF/ENR). INSULATION TO MEET THERMAL BARRIERS, FLAME SPREAD AND IGNITION BARRIER REQUIREMENTS PER FBC CODE & ASTM-84 REQUIREMENTS.
- PROVIDE MOISTURE RESISTANT BOARD AT ALL WET AREAS. PROVIDE DUROCK CEMENT BOARD OR WONDERBOARD BEHIND ALL TILED AREAS OR SCHULTER SHOWER PAN SYSTEM. COORDINATE BOUNDS OF TILE WITH THE OWNER & DESIGNER. PROVIDE TILE AROUND ALL TUB & SHOWERS UP TO 84" MIN. UNLESS INDICATED OTHERWISE. ALL TILE AT FLOORS AND WALL SHALL BE INSTALLED, PER TCNA MANUEL RECOMMENDATIONS. USE EPOXY GROUT, SANDED GROUT AT JOINTS LARGER THAN 1/8" AND UNSANDED FOR 1/8" AND SMALLER, VERIFY ALL GROUT COLOR SELECTIONS WITH OWNER.
- GENERAL CONTRACTOR AND PAINTING SUB CONTRACTORS SHALL CONFIRM WITH THE OWNER THE EXACT LOCATIONS OF WALLCOVERINGS AND SPECIAL WALL MOUNTED ITEMS THAT SHALL REQUIRE WALL SURFACE PREPARATION OR SPECIAL BLOCKING FOR SUPPORT. THE PAINTING SUB CONTRACTOR SHALL PROVIDE WALL PRIMER AT SHEET ROCK SURFACES TO RECEIVE WALL COVERING WITH PRIMER SUITABLE TO RECEIVE WALL COVERING MATERIALS AND ADHESIVES.
- ALL TILE LOCATED IN EXTERIOR OR "WET" CONDITIONS TO HAVE ADEQUATE SLIP RESISTANCE. SLIP RESISTANT TILE MUST BE APPROPRIATELY MAINTAINED TO MAINTAIN SLIP RESISTANT RATING, SEE MANUF. FOR RECOMMENDED MAINTENANCE REGIMENT.

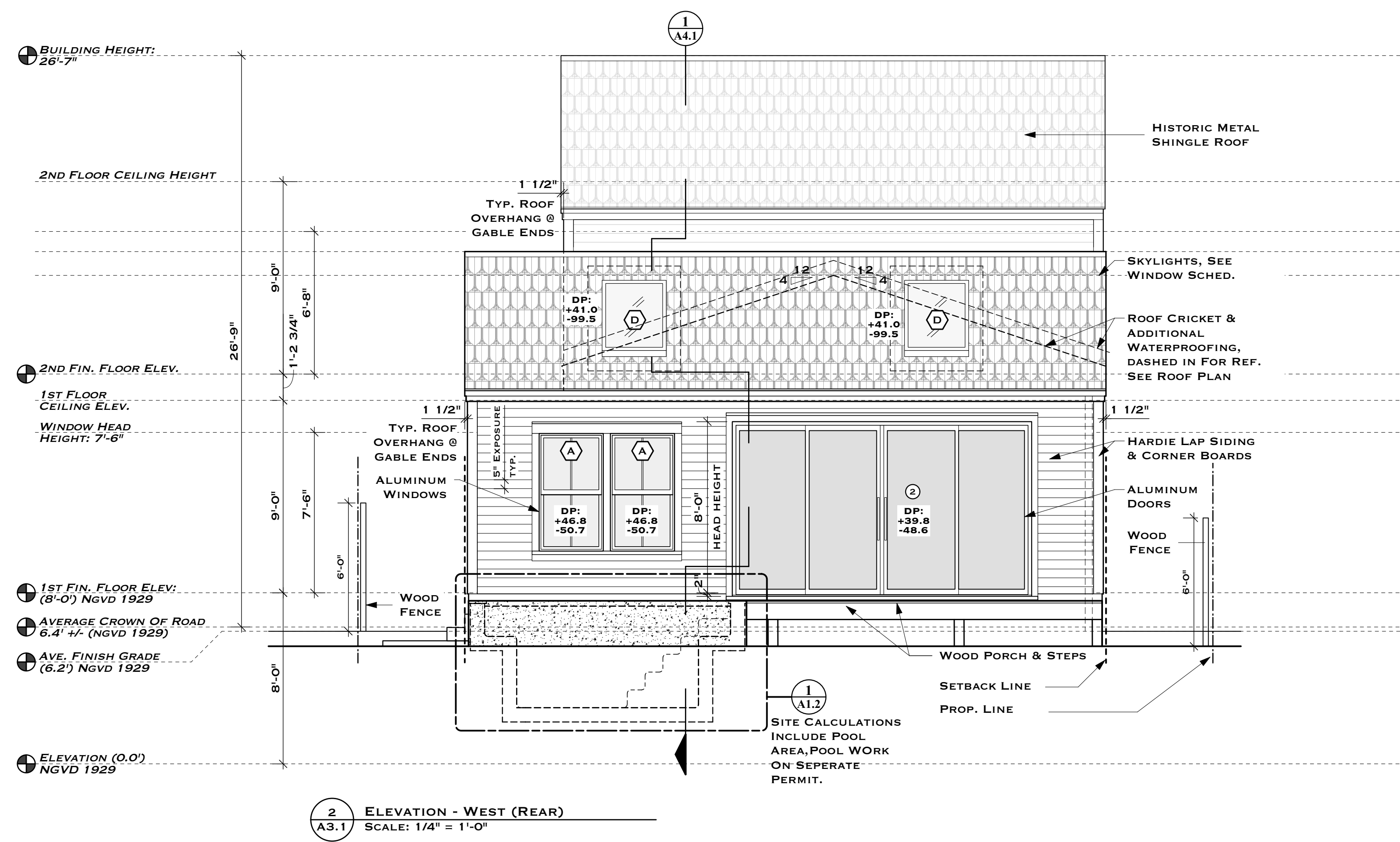
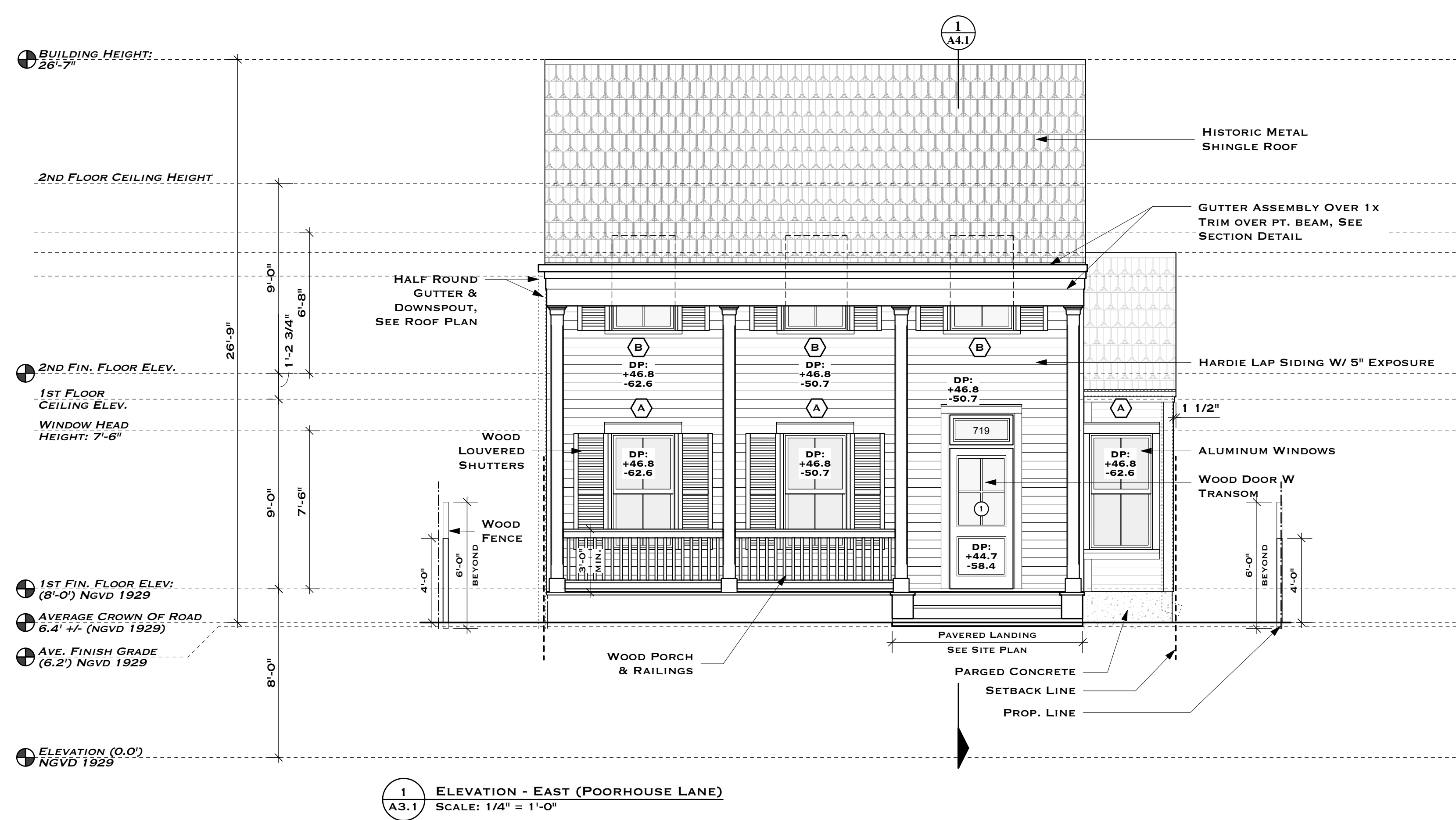


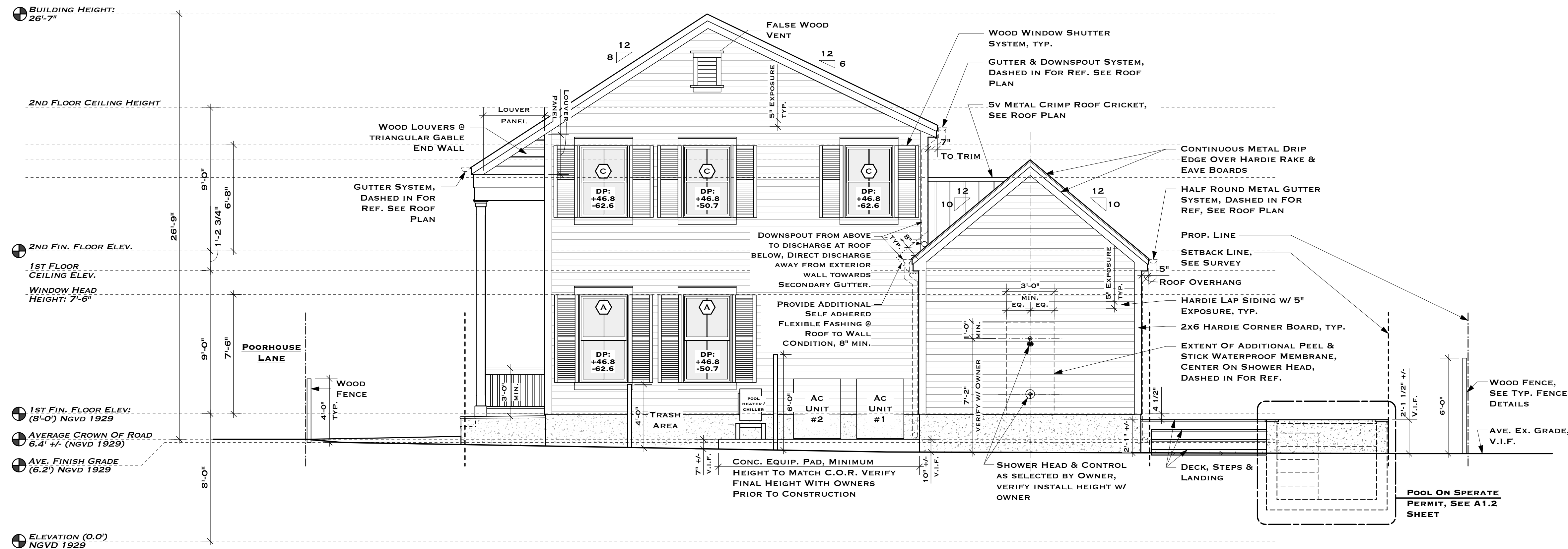
- NOTE:**
- ALL INTERIOR WINDOW & DOOR TRIM AS SELECTED BY OWNER.
 - DOOR TRIM SIMILAR TO WINDOW TRIM.
 - VERIFY ALL FINISHES WITH INTERIOR DESIGN DRAWINGS.

OWNER SUPPLIED ITEMS:

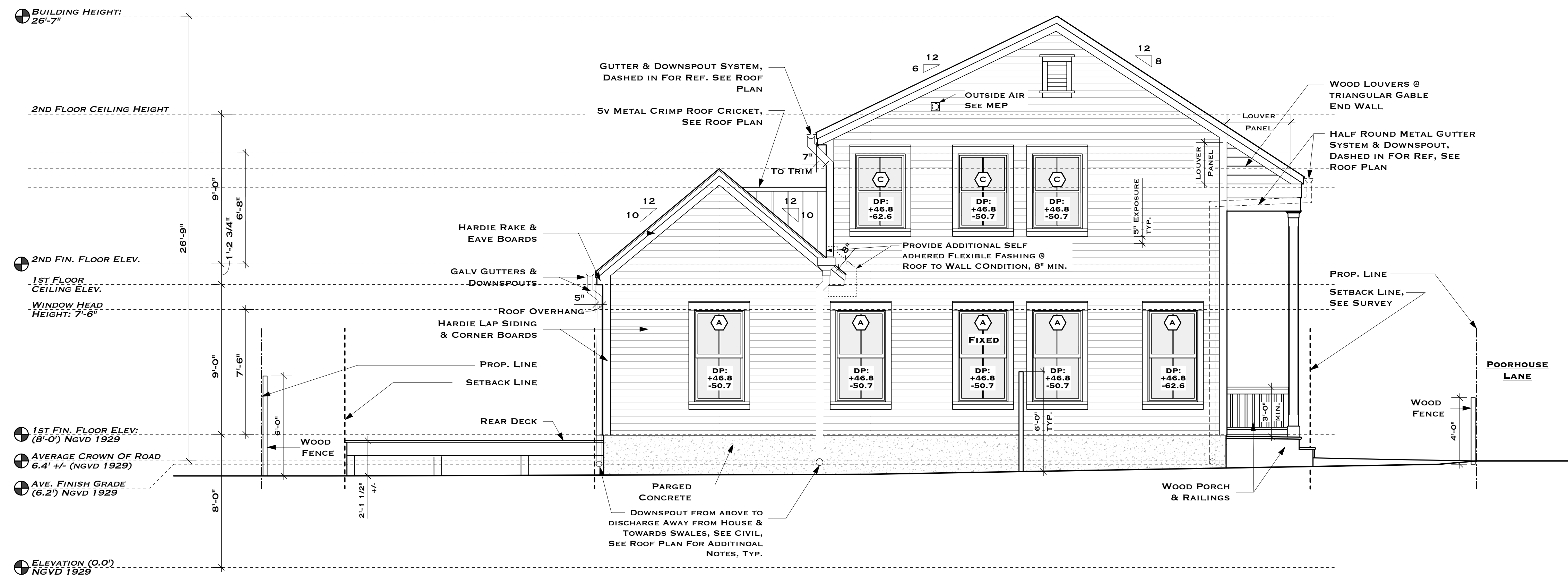
- LANDSCAPING - CONTRACTOR COORDINATE WITH OWNER
- IRRIGATION SYSTEM - CONTRACTOR COORDINATE WITH OWNER
- AV & SECURITY SYSTEM - CONTRACTOR COORDINATE WITH OWNER
- APPLIANCES: CONTRACTOR COORDINATE WITH OWNER TO INSTALL APPLIANCES
 - WASHER(S) & DRYER(S) (COMPACT HEIGHT REQ. SEE DOOR HEIGHT)
 - KITCHEN APPLIANCES
- PLUMBING FIXTURES & TRIM. CONTRACTOR TO COORDINATE INSTALL REQUIREMENTS & CLEARANCES WITH OWNER. CONTRACTOR TO PROVIDE WATER HEATER(S).
- DECORATIVE LIGHT FIXTURES: CONTRACTOR TO COORDINATE QUANTITIES, CLEARANCES & INSTALL HEIGHTS WITH OWNER.
- CABINET KNOBS: CONTRACTOR TO COORDINATE QUANTITIES w/ OWNER
- MIRRORS - CONTRACTOR INSTALLED
- BUILDERS RISK INSURANCE

NOTE:
WATER HEATERS SHALL BE SUPPLIED BY CONTRACTOR!

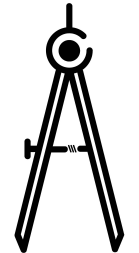




1 ELEVATION - SIDE (NORTH)
A3.2 SCALE: 1/4" = 1'-0"



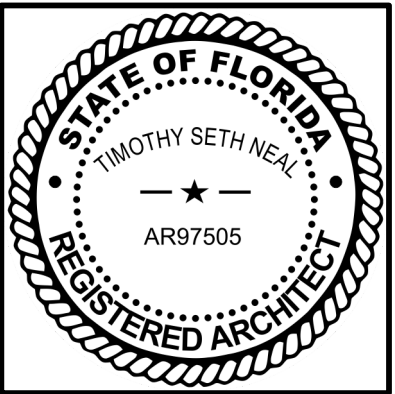
2 ELEVATION - SIDE (SOUTH)
A3.2 SCALE: 1/4" = 1'-0"



T.S. NEAL
ARCHITECT INC.

22974 OVERSEAS HWY
CUDJOE KEY, FL
33042

305-340-8857
251-422-9547



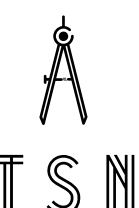
A NEW RESIDENCE FOR
719 POORHOUSE LANE
KEY WEST, FL 33040

DRAWING TITLE:
ELEVATIONS

DRAWN: ED SA
CHECKED: TSN
DATE: 05-28-2024

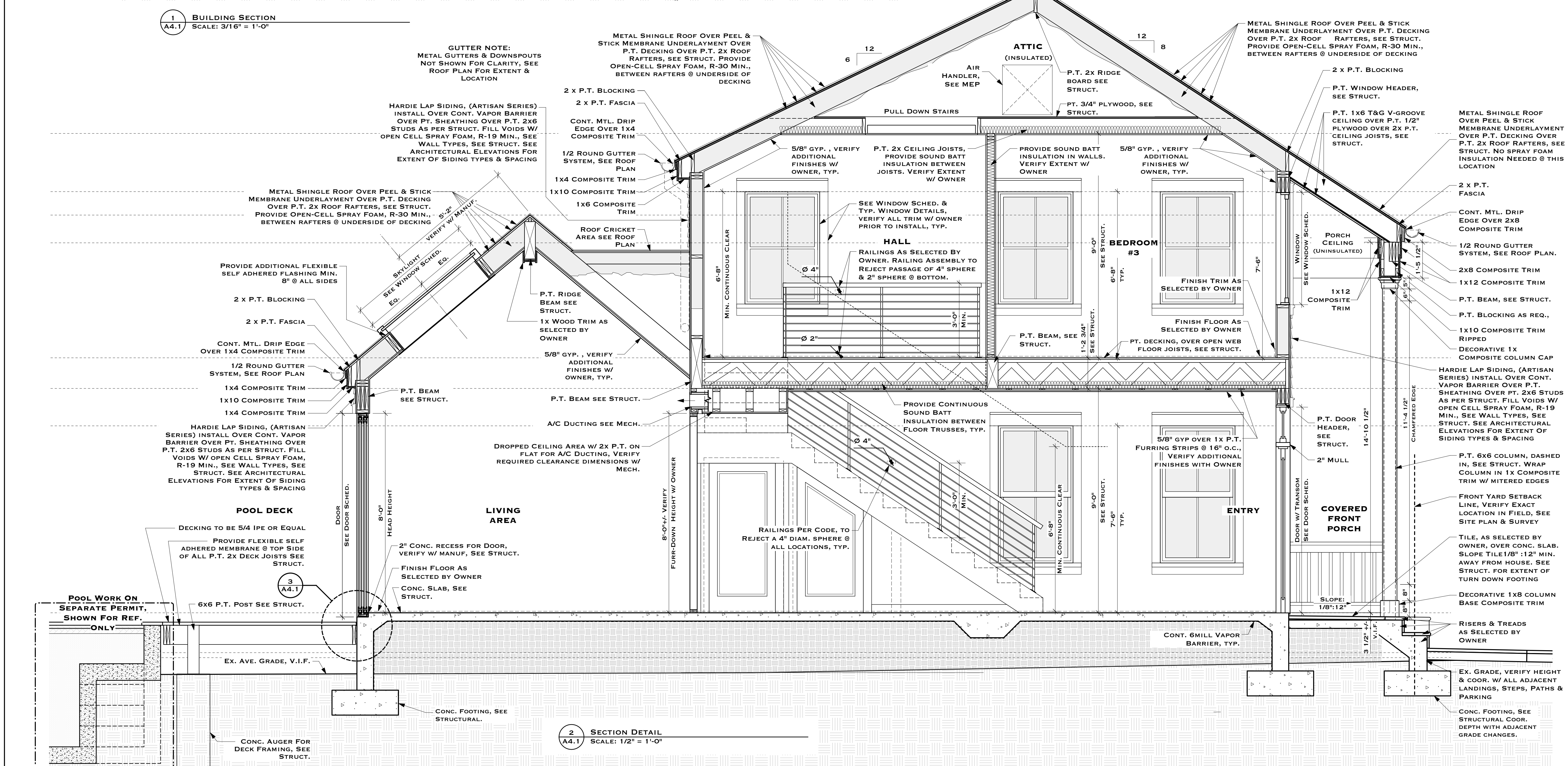
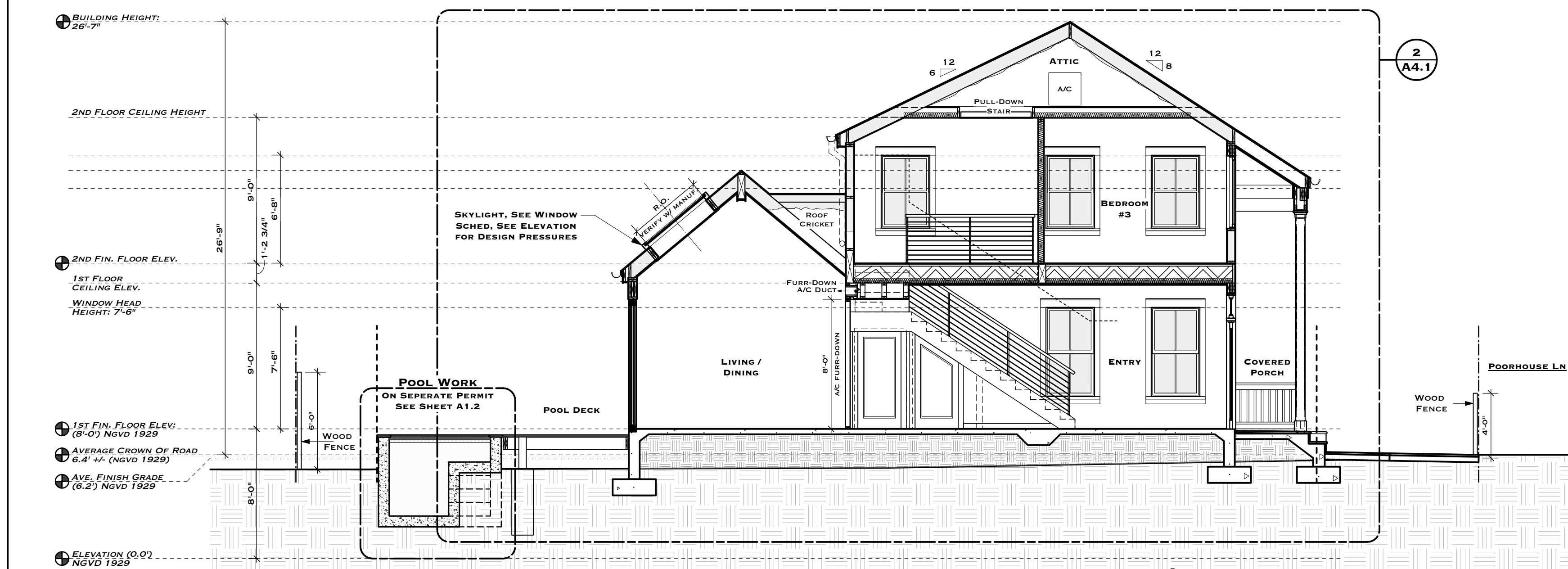
REVISION # DATE

A3.2
SHEET #



T.S. NEAL ARCHITECTS, INC.

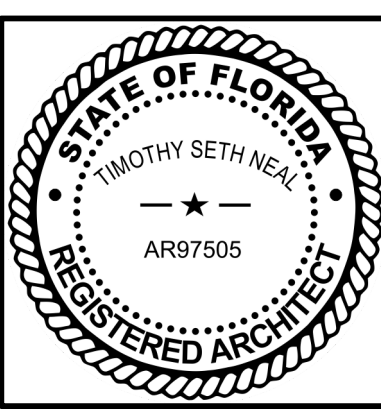
TIMOTHY SETH NEAL FLA. REGISTRATION # AR97505



T.S. NEAL
ARCHITECT INC.

22974 OVERSEAS HWY
CUDJOE KEY, FL
33042

305-340-8857
251-422-9547



A NEW RESIDENCE FOR
719 POORHOUSE LANE
KEY WEST, FL 33040

DRAWING TITLE:
BUILDING SECTION &
SECTION DETAIL

DRAWN: EDSA
CHECKED: TSN
DATE: 05-28-2024

REVISION #	DATE

A4.1
SHEET #

T.S.N.
T. S. NEAL ARCHITECTS, INC.

Application



Tree Permit Application

Please Clearly Print All Information unless indicated otherwise. Date: 4/8/25

Tree Address 719 Poorhouse Ln, Key West, FY 33040

Cross/Corner Street Petronia Ln

List Tree Name(s) and Quantity 1x Sapodilla

Reason(s) for Application:

☒ Remove

☐ Transplant

☐ Heavy Maintenance Trim

☒ Tree Health ☒ Safety ☐ Other/Explain below

☐ New Location ☐ Same Property ☐ Other/Explain below

☐ Branch Removal ☐ Crown Cleaning/Thinning ☐ Crown Reduction

Additional Information and Explanation

110.259 (b) infested / cannot treat fruiting trees
110.327 (2) insect infested / hazard to people, structures + other trees

Property Owner Name

Key West Modernist LLC, Doug Maxwell, Managing Partner

Property Owner email Address

doug@s3arc.com

Property Owner Mailing Address

6417 Montgomery St, Suite 2B, Rhinebeck, NY 12572

Property Owner Phone Number

212-518-3130

Property Owner Signature

Douglas Maxwell

*Representative Name

Tarzan Tree Care

Representative email Address

janesjunglework@gmail.com

Representative Mailing Address

22974 Bluegill Lane Cudjoe Key FL 33042

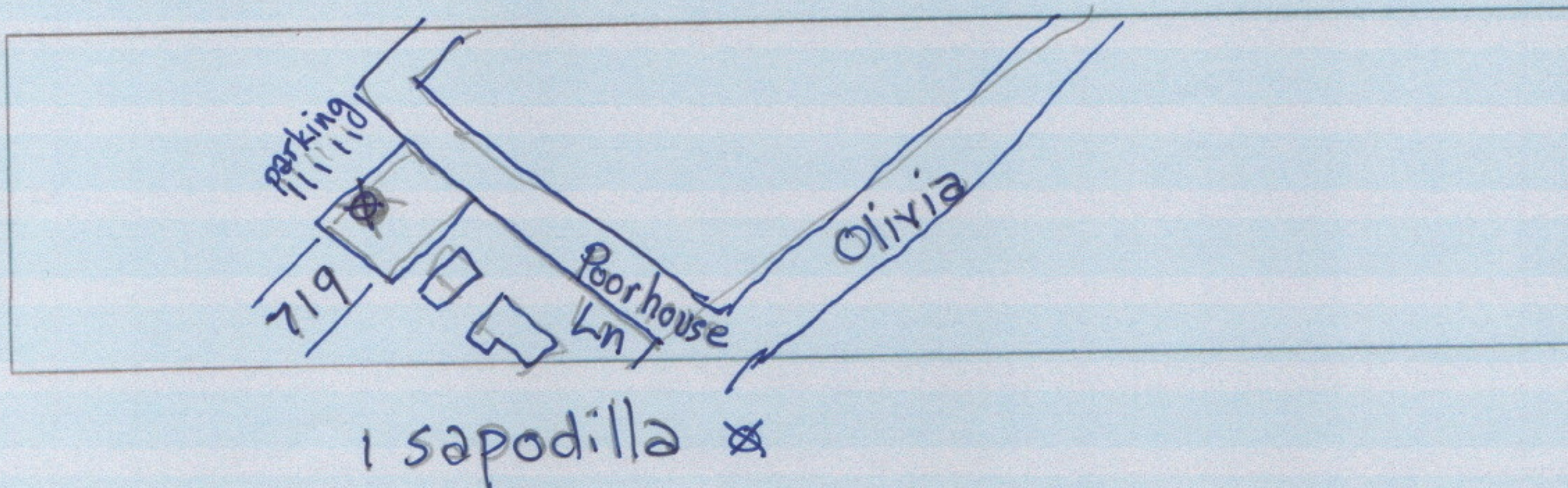
Representative Phone Number

305-304-9303

*NOTE: A Tree Representation Authorization form must accompany this application if someone other than the owner will be representing the owner at a Tree Commission meeting or picking up an issued Tree Permit.

As of August 1, 2022, application fees are required. [Click here for the fee schedule.](#)

Sketch location of tree (aerial view) including cross/corner street. Please identify tree(s) on the property regarding this application with colored tape or ribbon.





Tree Representation Authorization

Attendance at the Tree Commission meeting on the date when your request will be discussed is necessary in order to expedite the resolution of your application. This **Tree Representation Authorization form** must accompany the application if the property owner is unable to attend or will have someone else pick up the Tree Permit once issued. Please Clearly Print All Information unless indicated otherwise.

Date 4/8/25
Tree Address 719 Poorhouse Ln, Key West, FY 33040
Property Owner Name Key West Modernist LLC, Doug Maxwell, Managing Partner
Property Owner Mailing Address 6417 Montgomery St, Suite 2B, Rhinebeck, NY 12572
Property Owner Mailing City, State, Zip _____
Property Owner Phone Number 212-518-3130
Property Owner email Address doug@s3arc.com
Property Owner Signature Douglas Maxwell

Representative Name Tarzan Tree Care
Representative Mailing Address 22976 Bluegill Lane
Representative Mailing City, State, Zip Cudjoe Key FL 33042
Representative Phone Number 305-304-9303
Representative email Address janesjunglework@gmail.com

I, Douglas Maxwell hereby authorize the above listed agent(s) to represent me in the matter of obtaining a Tree Permit from the City of Key West for my property at the tree address above listed. You may contact me at the telephone listed above if there are any questions or need access to my property.

Property Owner Signature Douglas Maxwell

The forgoing instrument was acknowledged before me on this 8th day April, 2025
By (Print name of Affiant) Douglas Maxwell who is personally known to me or has produced as identification and who did take an oath.

Notary Public

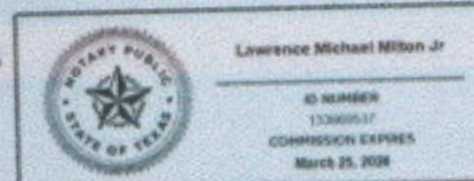
Sign name:

Print name:

Lawrence Michael Milton Jr

Lawrence Michael Milton Jr

Electronically signed and notarized online using the Proof platform.



My Commission expires: 03/25/2026

Notary Public-State of Texas, County of Harris (Seal)

ADDITIONAL INFORMATION



WILTON SIMPSON
COMMISSIONER

Florida Department of Agriculture and Consumer Services
Division of Agricultural Environmental Services

WOOD-DESTROYING ORGANISMS INSPECTION REPORT

Rule 5E-14.142, F.A.C., Florida Administrative Code

SECTION 1 - GENERAL INFORMATION

Inspection Company: HAMMERHEAD TERMITE CONTROL Business License Number: JB113477
 Inspection Company Name: 30384 QUAIL ROOST TRAIL Phone Number: 305-515-2800
 Company Address: BIG PINE KEY, FL 33043 Date of Inspection: 3/12/25
 Company City, State and Zip Code: _____
 Inspector's Name and Identification Card Number: Jorge Ayala 242573
 Address of Property Inspected: 719 Poorhouse Lane Key West FL 33040
 Structure(s) on Property Inspected: property grounds
 Inspection and Report requested by: Terzan Tree Care Sandra Riddle
 Report Sent to Requestor and to: _____
 Name and Contact Information if different from above

SECTION 2 - INSPECTION FINDINGS - CONSUMERS SHOULD READ THIS SECTION CAREFULLY

THIS REPORT IS MADE ON THE BASIS OF WHAT WAS VISIBLE AND READILY ACCESSIBLE AT THE TIME OF INSPECTION AND DOES NOT CONSTITUTE A GUARANTEE OF THE ABSENCE OF WOOD-DESTROYING ORGANISMS (WDOs) OR DAMAGE OR OTHER EVIDENCE UNLESS THIS REPORT SPECIFICALLY STATES HEREIN THE EXTENT OF SUCH GUARANTEE.
 This report does not cover areas such as, but not limited to, those that are enclosed or inaccessible, areas concealed by wall-coverings, floor coverings, furniture, equipment, stored articles, insulation or any portion of the structure in which inspection would necessitate removing or defacing any part of the structure.
 This property was not inspected for any fungi other than wood-decaying fungi, and no opinion on health related effects or indoor air quality is provided or rendered by this report. Individuals licensed to perform pest control are not required, authorized or licensed to inspect or report for any fungi other than wood-destroying fungi, nor to report or comment on health or indoor air quality issues related to any fungi. Persons concerned about these issues should consult with a certified industrial hygienist or other person trained and qualified to render such opinions. A wood-destroying organism (WDO) means an arthropod or plant life which damages and can reinfest seasoned wood in a structure, namely, termites, powder post beetles, old house borers, and wood-decaying fungi.

NOTE: This is NOT a structural damage report. It should be understood that there may be damage, including possible hidden damage present. FURTHER INVESTIGATION BY QUALIFIED EXPERTS OF THE BUILDING TRADE SHOULD BE MADE TO DETERMINE THE STRUCTURAL SOUNDNESS OF THE PROPERTY.

Based on a visual inspection of accessible areas, the following findings were observed:
 (See Page 2, Section 3 to determine which areas of the inspected structure(s) may have been inaccessible.)

A. ☐ NO visible signs of WDO(s) (live, evidence or damage) observed.

B. ☒ VISIBLE evidence of WDO(s) was observed as follows:

☒ 1. LIVE WDO(s): Subterranean termites
 Sapodilla tree.
 (Common Name of Organism and Location -- use additional page, if needed)

☒ 2. EVIDENCE of WDO(s) (dead wood-destroying insects or insect parts, frass, shelter tubes, exit holes, or other evidence):

tunnel with termites in Sapodilla tree
 Subterranean termites
 (Common Name, Description and Location -- Describe evidence -- use additional page, if needed)

☐ 3. DAMAGE caused by WDO(s) was observed and noted as follows:

(Common Name, Description and Location of all visible damage -- Describe damage -- use additional page, if needed)

CONTINUED ON PAGE TWO

SECTION 3 - OBSTRUCTIONS AND INACCESSIBLE AREAS: The following areas of the structure(s) inspected were obstructed or inaccessible. NO INFORMATION on the status of wood-destroying organisms or damage from wood-destroying organisms in these areas is provided in this report.

In addition to those areas described in consumer information on Page 1, Section 2; the following specific areas were not visible and/or accessible for inspection. The descriptions and reasons for inaccessibility are stated below:

- ☐ Attic **SPECIFIC AREAS:** _____
 REASON: _____
- ☐ Interior **SPECIFIC AREAS:** _____
 REASON: _____
- ☐ Exterior **SPECIFIC AREAS:** _____
 REASON: _____
- ☐ Crawlspace **SPECIFIC AREAS:** _____
 REASON: _____
- ☐ Other: **SPECIFIC AREAS:** _____
 REASON: _____

SECTION 4 - NOTICE OF INSPECTION AND TREATMENT INFORMATION

EVIDENCE of previous treatment observed: ☐ Yes ☒ No If Yes, the structure exhibits evidence of previous treatment. List what was observed: _____

(State what visible evidence was observed to suggest possible previous treatment - use additional page, if needed)

NOTE: The inspecting company can give no assurances with regard to work done by other companies. The company that performed the treatment should be contacted for information on treatment history and any warranty or service agreement which may be in place.

A Notice of Inspection has been affixed to the structure at: _____
(State the location)

This Company has treated the structure(s) at the time of inspection ☐ Yes ☒ No
If Yes: Common name of organism treated: _____
(Common name of organism)

Name of Pesticide Used: _____ Terms and Conditions of Treatment: _____

Method of treatment: ☐ Whole structure ☐ Spot treatment: _____

Specify Treatment Notice Location: _____

SECTION 5 - COMMENTS AND FINANCIAL DISCLOSURE

Comments: We do not treat Fruit trees with liquid termiticide
to avoid any contamination to fruit
(Use additional pages, if necessary)

Neither the company (licensee) nor the inspector has any financial interest in the property inspected or is associated in any way in the transaction or with any party to the transaction other than for inspection purposes.

Signature of Licensee or Agent: Michelle Wainber Date: 3/19/25

Address of Property Inspected: 719 Poorhouse Lane Inspection Date: 3/12/25
Kay West RP 33040

8 Messages
Question

65%



12/20/2023

To whom it may concern,

I Robert Crider, as an ISA Certified Arborist, have performed an onsite assessment, performed in accordance with the tree risk assessment procedures outlined in Best Management Practices - Tree Risk Assessment, Second Edition (2017), an inspection on 1 large Sapodilla Tree located at 719 Poorhouse Lane in Key West FL. During the inspection, a very large colony of subterranean termites were found in the tree. The areas infected includes the main trunk, including 2 codominant stems and a large colony extending into the canopy of the tree. Due to these findings, I declared, under section 163.045 of the Florida code, that this tree is a hazard to public safety and should be removed.

Thank you,
Robert Crider

Certification ID: FL-6015A



TM



Permits

Permit Application
Search Permit
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Search Projects

Contractor

Search Contractors

Properties

Search Property

License

Search Licenses

Code

Search
Pay Fees

CRM

Search Issues



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Paid Items

Contact

Contact us

Permit Search

Search By: **Street Address** 
Search Operator: **Begins With** 
Search Value: **719 poor**

[Click here for search examples](#)

SEARCH

Search Results

Permit #TREE2024-0119

PRINT



Search Results

Permit Number

2007-00005049
BLD2021-0573
BLD2021-1080
BLD2021-1094
BLD2024-1923
BLD2024-3022
BLD2024-3042
BLD2024-3100
BLD2024-3190
BLD2025-0033
TREE2024-0070

TREE2024-0351

Permit Info

Site Info

Contacts (2)

Inspections(0)

Chronology (0)

Reviews(1)

Type: TREE

Subtype: NO PERMIT REQUIRED

Short Description: NPR State Law - Removal of (1) termite infested
Sapodilla tr

Status: CLOSED

Applied Date: 4/10/2024

Approved Date:

Issued Date:

Finalized Date:

Expiration Date:

Notes: 4/11/2024 11:45:43 AM NPR State Law - Removal of (1)
termite infested Sapodilla tree. Arborist letter provided
Cert ID: FL-6015A

Previous Staff Report

TREE COMMISSION TREE REMOVAL REPORT
CITY of KEY WEST

PROPERTY: 719 Poorhouse Lane

APPLICATION NUMBER: T2024-0351

REQUEST: Property owner is seeking removal of (1) Sapodilla tree (Manilkara zapota).

APPLICATION SUMMARY: The application states that the tree needs to be removed due to new construction.



Photo of tree showing location.



Photo of whole tree.



Two photos of
tree canopy.



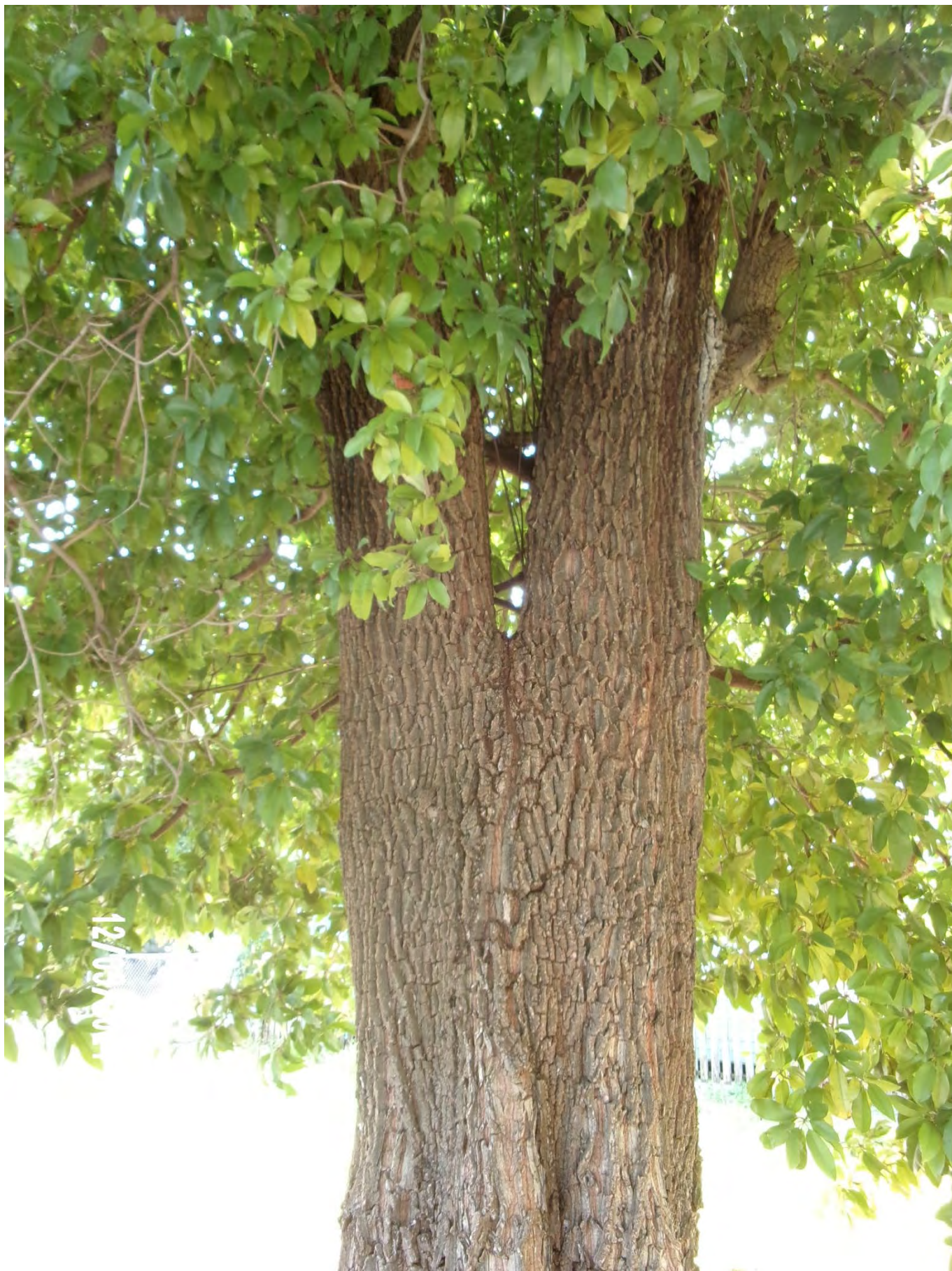


Photo of tree trunk.



Close up photo of tree crotch area, view 1.



Close up photo of tree crotch area, view 2.



Photo of root flare area.

TREE ASSESSMENT: Sapodilla (*Manilkara zapota*)

Diameter: 38.2" dbh

Condition: 70% (at time of inspection, tree appears to be in good health overall, canopy needs proper trimming- tree has not been maintained, canopy branches broken and damaged during Hurricane Irma)

Location: 80% (growing on a vacant lot next to public parking area, very visible tree)

Species: 100% (on City of KW protected tree list)

Tree Value: 83%

Required Mitigation: 31.7 caliper inches

PREPARED BY:

Karen DeMaria

Karen DeMaria

Consulting Arborist/Senior Environmental Scientist

Terramar Environmental Services, Inc.

1241 Crane Boulevard

Sugarloaf Key, Florida 33042

305-393-9216, KWTreelady@gmail.com

PREVIOUS APPLICATION

RECEIVED

NOV 13 2024

BY: TK



T2024-0351

Tree Permit Application

Please Clearly Print All Information unless indicated otherwise. Date: 11/4/24

Tree Address 719 poorhouse
Cross/Corner Street Windsor Petronia Ln
List Tree Name(s) and Quantity One Sapodilla
Reason(s) for Application:
☒ Remove ☐ Tree Health ☐ Safety ☐ Other/Explain below
☐ Transplant ☐ New Location ☐ Same Property ☐ Other/Explain below
☐ Heavy Maintenance Trim ☐ Branch Removal ☐ Crown Cleaning/Thinning ☐ Crown Reduction
Additional Information and Explanation Building House

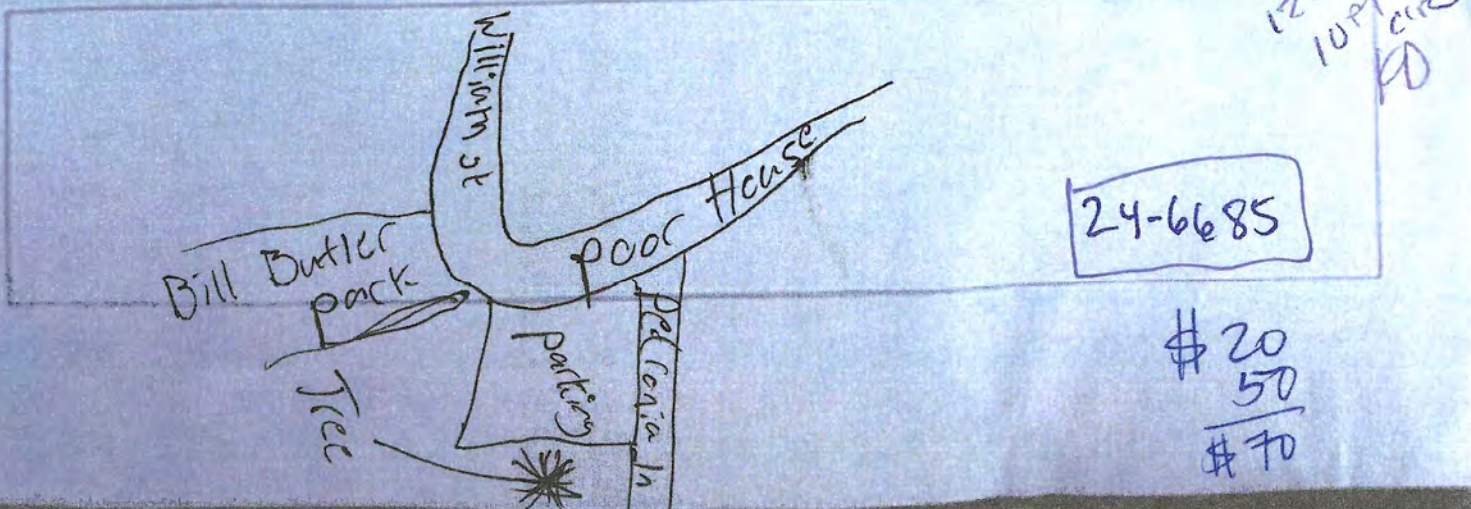
Property Owner Name X Doug Maxwell, Key West Modernist
Property Owner email Address X doug@s3arc.com
Property Owner Mailing Address X 100 Rocann Dr., Rhinebeck, NY 12572
Property Owner Phone Number X 212-518-3130
Property Owner Signature X [Signature]

*Representative Name John Haltman
Representative email Address jhaltman90@gmail.com
Representative Mailing Address 23027 Bluegill Ln Cudjoe Key
Representative Phone Number 305-587-4834

*NOTE: A Tree Representation Authorization form must accompany this application if someone other than the owner will be representing the owner at a Tree Commission meeting or picking up an issued Tree Permit.

As of August 1, 2022, application fees are required. See back of application for fee amounts.

Sketch location of tree (aerial view) including cross/corner street. Please identify tree(s) on the property regarding this application with colored tape or ribbon.



RECEIVED

NOV 13 2024

BY: TR



T2024-0351

Tree Permit Application

Please Clearly Print All Information unless indicated otherwise. Date: 11/4/24

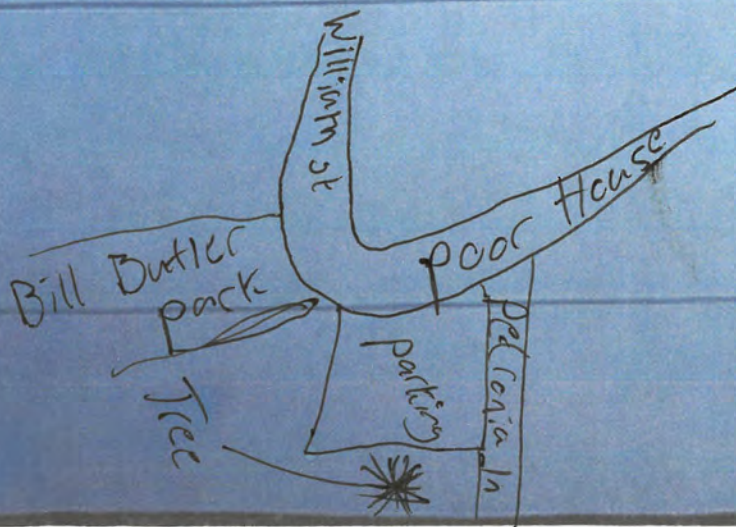
Tree Address 719 poorhouse
Cross/Corner Street Windsor Petronia Ln
List Tree Name(s) and Quantity One Sapodilla
Reason(s) for Application:
☒ Remove ☐ Tree Health ☐ Safety ☐ Other/Explain below
☐ Transplant ☐ New Location ☐ Same Property ☐ Other/Explain below
☐ Heavy Maintenance Trim ☐ Branch Removal ☐ Crown Cleaning/Thinning ☐ Crown Reduction
Additional Information and Explanation Building House

Property Owner Name X Doug Maxwell, Key West Modernist
Property Owner email Address X doug@szarc.com
Property Owner Mailing Address X 100 Rocann Dr., Rhinebeck, NY 12572
Property Owner Phone Number X 212-518-3130
Property Owner Signature X [Signature]
*Representative Name John Haltman
Representative email Address jhaltman90@gmail.com
Representative Mailing Address 23027 Bluegill Ln Cudjoe Key
Representative Phone Number 305-587-4834

*NOTE: A Tree Representation Authorization form must accompany this application if someone other than the owner will be representing the owner at a Tree Commission meeting or picking up an issued Tree Permit.

As of August 1, 2022, application fees are required. See back of application for fee amounts.

Sketch location of tree (aerial view) including cross/corner street. Please identify tree(s) on the property regarding this application with colored tape or ribbon.



\$20
50
\$70



Tree Representation Authorization

Attendance at the Tree Commission meeting on the date when your request will be discussed is necessary in order to expedite the resolution of your application. This Tree Representation Authorization form must accompany the application if the property owner is unable to attend or will have someone else pick up the Tree Permit once issued.

Please Clearly Print All Information unless indicated otherwise.

Date 11/4/24

Tree Address 719 Porchouse

Property Owner Name ☒ Doug Maxwell, Key West Modernist

Property Owner Mailing Address ☒ 100 Rocann Dr., Rhinebeck, NY 12572

Property Owner Mailing City, ☒

State, Zip ☒

Property Owner Phone Number ☒ 212-518-3130

Property Owner email Address ☒ doug@S3arc.com

Property Owner Signature ☒

Representative Name John Hartman

Representative Mailing Address 23227 Bluegill Ln

Representative Mailing City, Cudjoe Key

State, Zip FL 33042

Representative Phone Number 305-587-4838

Representative email Address jhartman90@gmail.com

☒ Doug Maxwell hereby authorize the above listed agent(s) to represent me in the matter of obtaining a Tree Permit from the City of Key West for my property at the tree address above listed. You may contact me at the telephone listed above if there are any questions or need access to my property.

Property Owner Signature ☒

The forgoing instrument was acknowledged before me on this 4 day November

By (Print name of Affiant) Doug Maxwell who is personally known to me or has produced as identification and who did take an oath.

Notary Public

Sign name: Martina G. McClinton

Print name: Martina G. McClinton

My Commission expires: August 9, 2025

Notary Public-State of

New York

(Seal)

MARTINA G. MCCLINTON
Notary Public - State of New York
NO. 01MC6417730
Qualified in Dutchess County
My Commission Expires Aug 9, 2025

Monroe PROPERTY RECORD CARD

Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID 00019610-000000
Account# 1020290
Property ID 1020290
Millage Group 10KW
Location Address 719 POORHOUSE Ln, KEY WEST
Legal Description KW PT OF TR 5 G5-38 OR2004-1590 OR3059-2063 OR3260-697 OR3260-698 OR3255-1077 OR3260-0700 OR3265-1308
(Note: Not to be used on legal documents.)
Neighborhood 6103
Property Class VACANT RES (0000)
Subdivision
Sec/Twp/Rng 06/68/25
Affordable No
Housing



Owner

KEY WEST MODERNIST LLC
 6417 Montgomery St
 Ste 2B
 Rhinebeck NY 12572

Valuation

	2024 Certified Values	2023 Certified Values	2022 Certified Values	2021 Certified Values
+ Market Improvement Value	\$0	\$0	\$0	\$11,946
+ Market Misc Value	\$256	\$256	\$256	\$925
+ Market Land Value	\$1,056,834	\$1,016,186	\$650,359	\$426,121
= Just Market Value	\$1,057,090	\$1,016,442	\$650,615	\$438,992
= Total Assessed Value	\$1,057,090	\$519,638	\$472,398	\$438,992
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$1,057,090	\$1,016,442	\$650,615	\$438,992

Historical Assessments

Year	Land Value	Building Value	Yard Item Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value	Maximum Portability
2024	\$1,056,834	\$0	\$256	\$1,057,090	\$1,057,090	\$0	\$1,057,090	\$0
2023	\$1,016,186	\$0	\$256	\$1,016,442	\$519,638	\$0	\$1,016,442	\$0
2022	\$650,359	\$0	\$256	\$650,615	\$472,398	\$0	\$650,615	\$0
2021	\$426,121	\$11,946	\$925	\$438,992	\$438,992	\$0	\$438,992	\$0
2020	\$387,506	\$12,514	\$925	\$400,945	\$400,945	\$0	\$400,945	\$0
2019	\$365,827	\$13,083	\$925	\$379,835	\$379,835	\$0	\$379,835	\$0
2018	\$336,019	\$13,083	\$925	\$350,027	\$350,027	\$0	\$350,027	\$0

The Maximum Portability is an estimate only and should not be relied upon as the actual portability amount. Contact our office to verify the actual portability amount.

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
RESIDENTIAL DRY (010D)	2,683.00	Square Foot	37.3	73



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Detail by Entity Name

Florida Limited Liability Company
KEY WEST MODERNIST LLC

Filing Information

Document Number	L22000224503
FEI/EIN Number	88-2563735
Date Filed	05/12/2022
State	FL
Status	ACTIVE

Principal Address

6378 Mill St
2nd Floor
Rhinebeck, NY 12572

Changed: 02/22/2024

Mailing Address

6378 Mill St
2nd Floor
Rhinebeck, NY 12572

Changed: 02/22/2024

Registered Agent Name & Address

Registered Agents Inc
7901 4th St N
STE 300
St. Petersburg, FL 33702

Name Changed: 02/13/2023

Address Changed: 02/22/2024

Authorized Person(s) Detail

Name & Address

Title Authorized Member

Maxwell, Doug