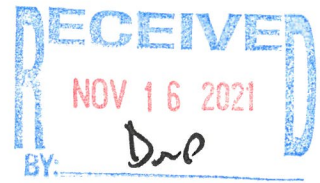


Application



Application For Alcohol Sales Special Exception

City of Key West, Florida • Planning Department

1300 White Street • Key West, Florida 33040 • 305-809-3764 • www.cityofkeywest-fl.gov

Application Fee \$2,520.00

(Includes \$210.00 advertising / noticing fee and \$105.00 fire review fee)

Special Exceptions are Quasi-Judicial Hearings and it is Improper to Speak to Planning Board Members about the Request Outside of the Hearing.

Please print or type a response to the following:

1. Site Address 1202 - 1206 White Street, Key West, FL 33040
2. Name of Applicant Spottswood, Spottswood, Spottswood & Sterling/Richard McChesney
3. Applicant is: Owner _____ Authorized Representative X _____
(please see the attached Verification & Authorization Forms)
4. Address of Applicant 500 Fleming Street, Key West, FL 33040
5. Phone # of Applicant 305-294-9556 Mobile# _____
6. **E-Mail Address** Richard@spottswoodlaw.com
7. Name of Owner, if different than above Island City Butcher Shop, LLC
8. Address of Owner 1206 White Street, Key West, FL 33040
9. Phone Number of Owner 305-741-7207 Mobile# _____
10. Email Address Raymond Vazquez <raymond@raymondjvazquez.com>
11. Zoning District of Parcel HNC-1 RE# 00033010-000000

12. Description of Use and Exception Requested

The Island City Butcher Shop provides meats, cheeses and other retail food products to their customers. They propose to add the sale of beer and wine in package form for one-stop shopping and convenience.

Please note that any special exception granted hereunder may be approved with conditions, which conditions shall be monitored in accordance with Section 18-610. The exception shall be to the applicant only, shall not be transferable and shall only be effective in conjunction with the use(s) specified in the application. The Planning Board recognizes public input and how the applicant has demonstrated a “good neighbor policy” by contacting or attempting to contact all noticed property owners who have objected to the application, and by addressing the objections expressed by these neighbors. Further, the Planning Board can consider any other factors they determine relevant to the public’s health, safety and welfare.

The Planning Board may only grant the requested alcohol sales special exception after considering the following criteria. Please provide a response as to how this proposed use and exception meet or fulfill these criteria:

13. Demonstrate compatibility with surrounding existing uses:

SEE ATTACHED COVER LETTER

14. Demonstrate the extent of conflict between the proposed use and the hours of operation of the facilities:

SEE ATTACHED COVER LETTER

15. What are the mitigative measures proposed to be implemented by the applicant:

SEE ATTACHED COVER LETTER

SPOTTSWOOD, SPOTTSWOOD, SPOTTSWOOD & STERLING, PLLC
ATTORNEYS AND COUNSELORS AT LAW
500 FLEMING STREET
KEY WEST, FLORIDA 33040

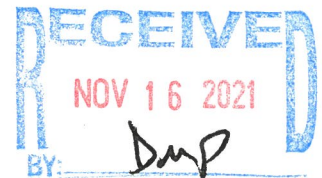
JOHN M. SPOTTSWOOD, JR.
ERICA HUGHES STERLING
ROBERT A. SPOTTSWOOD, JR.
RICHARD J. McCHESNEY

Telephone | 305-294-9556
Facsimile | 305-504-2696

OF COUNSEL:

JOHN M. SPOTTSWOOD (1920 – 1975)
ROBERT A. SPOTTSWOOD of Counsel
WILLIAM B. SPOTTSWOOD of Counsel
WILLIAM B. SPOTTSWOOD, JR. of Counsel

November 16, 2021



Katie Halloran
Planning Director
Key West Planning Department
1300 White Street
Key West, FL 33040

RE: Request for Alcohol Sales Exception Approval
1202-1206 White Street – Parcel # 00033010-000000

Dear Ms. Halloran:

On behalf of our client, Island City Butcher Shop, LLC, (“Applicant”) we are requesting an Alcohol Sales Exception for the sale of package beer and wine for the Property located at 1202 White Street, (the “Property”) within the HNC-1 zoning district. The Applicant would like to apply for a 2COP license to sell package beer and wine at their business, The Local, Butcher & Market.

Per code section 18-28, the subject Property is within 300 ft of the Kingdom Hall of Jehovah’s Witnesses. We have contacted the Key West Congregation and their letter of no objection is attached.


Integrating the sale of packaged beer and wine is not incompatible to the surrounding area. White Street is a local thoroughfare comprised primarily of commercial businesses along this multi-block corridor. Businesses such as restaurants, government buildings, a grocery store, gas stations, laundromats and a large variety of commercial establishments front the streets that fringe this historic neighborhood. Several of these locations sell beer and wine in packaged form.

The hours and operation of The Local Butcher & Market do not impact the services of the Kingdom Hall located approximately 200 feet away by normal fare. This reputable business operates in a manner that enhances the services and community character of the neighborhood.

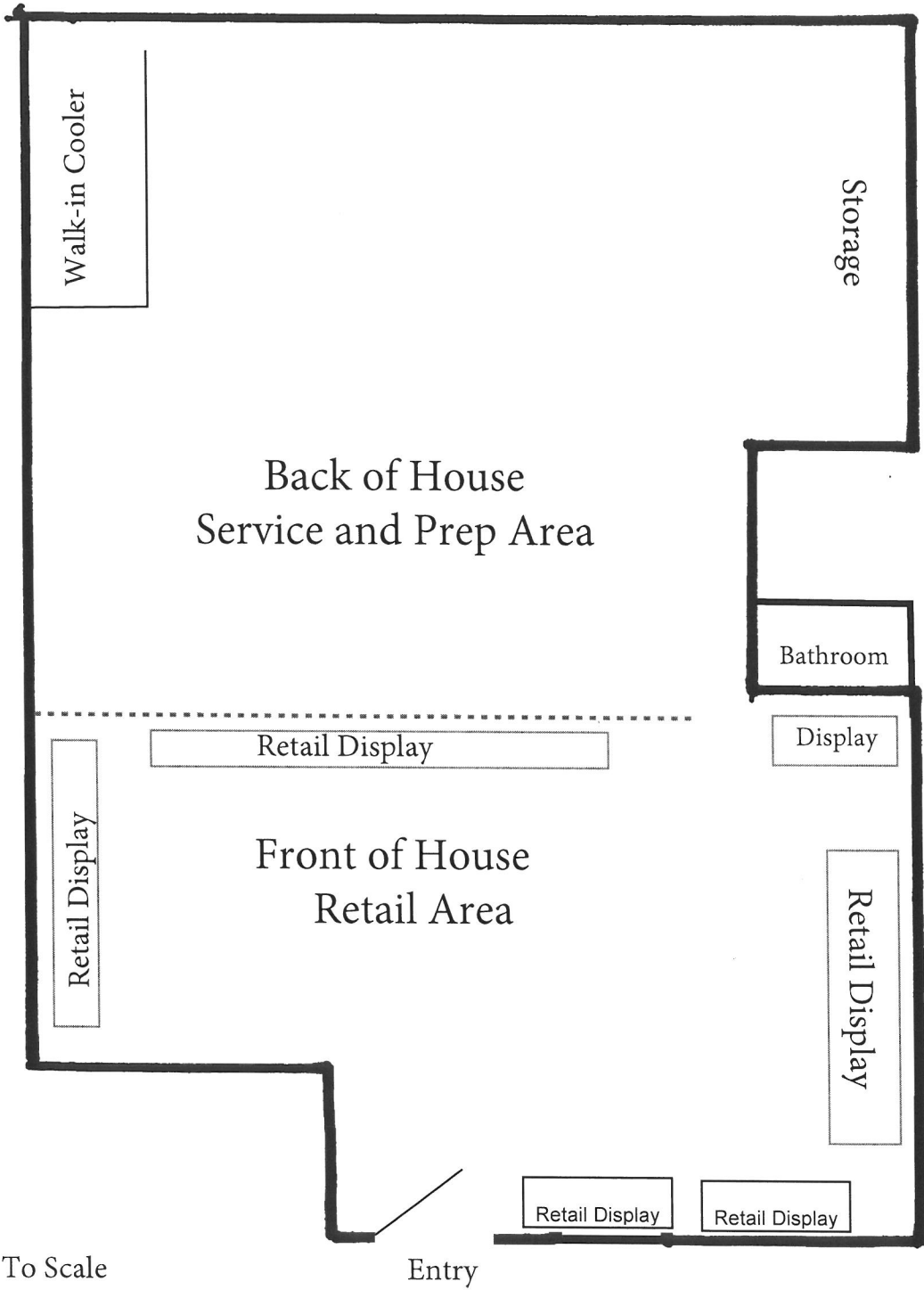
Mitigative measures do not apply in this case. The addition of alcohol sales does not produce negative impacts requiring mitigation. Our coordination with the members of the Kingdom Hall resulted in no concerns on their part and they have provided us with a letter of no objection.

The license applied for will be for package sales to complement the existing butcher shop and specialty market, a favorite stop for locals. Thank you for your consideration in this matter and we look forward to working with you on this project.

Sincerely,

A handwritten signature in blue ink, appearing to read "Richard J. McChesney". The signature is stylized with a large, sweeping initial "R" and a long horizontal flourish extending to the right.

Richard J. McChesney

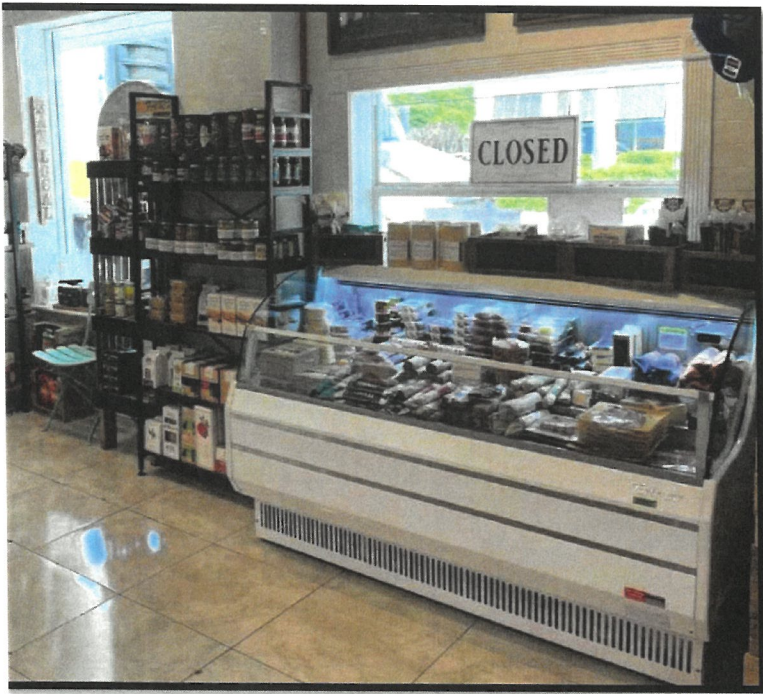


Drawing Not To Scale

Entry

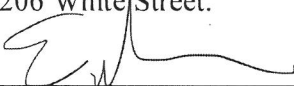
1202-1206 White Street

1202-1206 White Street
The Local Butcher – Island City Butcher Shop and Market



To: City of Key West planning staff and commissioners

We, at Key West Florida Congregation of Jehovah's Witnesses, do not object to applicant's application for the package sale of beer and/or wine to the customers of The Local Butcher & Market, located at 1206 White Street.



Signed

10/7/2021

Date

Authorization Form



**City of Key West
Planning Department**

Authorization Form
(Where Owner is a Business Entity)

Please complete this form if someone other than the owner is representing the property owner in this matter.

I, Raymond J. Vasquez as
Please Print Name of person with authority to execute documents on behalf of entity

Registered Agent and Managing Member of Island City Butcher Shop, LLC
Name of office (President, Managing Member) *Name of owner from deed*

authorize Spottswood, Spottswood, Spottswood & Sterling
Please Print Name of Representative

to be the representative for this application and act on my/our behalf before the City of Key West.

[Signature]
Signature of person with authority to execute documents on behalf of entity owner

Subscribed and sworn to (or affirmed) before me on this August 23, 2021
Date

by Raymond J. Vasquez
Name of person with authority to execute documents on behalf of entity owner

He/She is personally known to me or has presented _____ as identification.

[Signature]
Notary's Signature and Seal

Name of Acknowledger typed, printed or stamped

Commission Number, if any



Verification Form



**City of Key West
Planning Department
Verification Form**
(Where Applicant is an entity)

I, Richard McChesney, in my capacity as Member
(print name) *(print position; president, managing member)*
of Spottswood, Spottswood, Spottswood & Sterling
(print name of entity)

being duly sworn, depose and say that I am the Authorized Representative of the Owner (as appears on the deed), for the following property identified as the subject matter of this application:

1202-1206 White Street
Street address of subject property

I, the undersigned, declare under penalty of perjury under the laws of the State of Florida that I am the Authorized Representative of the property involved in this application; that the information on all plans, drawings and sketches attached hereto and all the statements and answers contained herein are in all respects true and correct.

In the event the City or the Planning Department relies on any representation herein which proves to be untrue or incorrect, any action or approval based on said representation shall be subject to revocation.

Richard McChesney
Signature of Applicant

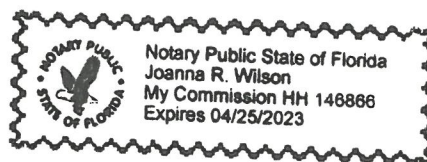
Subscribed and sworn to (or affirmed) before me on this 11/16/21 by
date

RICHARD MCCHESENEY
Name of Applicant

He/She is personally known to me or has presented _____ as identification.

je @ Wilson
Notary's Signature and Seal

Joanna R. Wilson
Name of Acknowledger typed, printed or stamped



HH 146866
Commission Number, if any

Property Record Card

qPublic.net™ Monroe County, FL

Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID 00033010-000000
 Account# 1033774
 Property ID 1033774
 Millage Group 10KW
 Location 1206 WHITE St, KEY WEST
 Address
 Legal KW GWYNN SUB 0-195 PT LT 1 SQR 3 TR 13 H3-57 OR430-919 OR1072-126
 Description OR1280-1505 OR1310-1228/29 OR1308-2333/34 OR1308-2336/38 OR2089-1038
 OR2076-1664/65 OR2364-72/3 OR2363-75/81 OR2364-82/85 OR2395-2383
 OR2577-2119C OR2577-2122/24 OR3082-1598
 (Note: Not to be used on legal documents.)
 Neighborhood 32080
 Property Class STORE COMBO (1200)
 Subdivision
 Sec/Twp/Rng 05/68/25
 Affordable No
 Housing



Owner

ISLAND CITY BUTCHER SHOP LLC
 1202 White St
 Key West FL 33040

Valuation

	2021	2020	2019	2018
+ Market Improvement Value	\$563,083	\$585,911	\$585,911	\$538,305
+ Market Misc Value	\$252	\$252	\$252	\$252
+ Market Land Value	\$681,529	\$681,529	\$781,199	\$749,636
= Just Market Value	\$1,244,864	\$1,267,692	\$1,367,362	\$1,288,193
= Total Assessed Value	\$1,244,864	\$1,148,100	\$1,043,728	\$948,844
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$1,244,864	\$1,267,692	\$1,367,362	\$1,288,193

Land Use	Number of Units	Unit Type	Frontage	Depth
(1200)	5,442.00	Square Foot	0	0

Commercial Buildings

Style 1 STORY STORES / 11C
 Gross Sq Ft 7,035
 Finished Sq Ft 6,268
 Perimeter 832
 Stories 2
 Interior Walls
 Exterior Walls AB AVE WOOD SIDING
 Quality 400 ()
 Roof Type FLAT OR SHED
 Roof Material MEMBRANE
 Exterior Wall1 AB AVE WOOD SIDING
 Exterior Wall2
 Foundation
 Interior Finish
 Ground Floor Area
 Floor Cover
 Full Bathrooms 0
 Half Bathrooms 0
 Heating Type
 Year Built 1923
 Year Remodeled
 Effective Year Built 2000
 Condition

Code	Description	Sketch Area	Finished Area	Perimeter
------	-------------	-------------	---------------	-----------

FLA	FLOOR LIV AREA	6,268	6,268	498
OPF	OP PRCH FIN LL	767	0	334
TOTAL		7,035	6,268	832

Yard Items

Description	Year Built	Roll Year	Quantity	Units	Grade
WALL AIR COND	1989	1990	1	1 UT	2

Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved
3/15/2021	\$2,200,000	Warranty Deed	2309291	3082	1598	05 - Qualified	Improved
6/26/2012	\$650,000	Warranty Deed		2577	2122	03 - Qualified	Improved
6/26/2012	\$0	Quit Claim Deed		2577	2119	11 - Unqualified	Improved
12/30/2008	\$100	Warranty Deed		2395	2383	J - Unqualified	Improved
5/1/1994	\$325,000	Warranty Deed		1308	2336	M - Unqualified	Improved

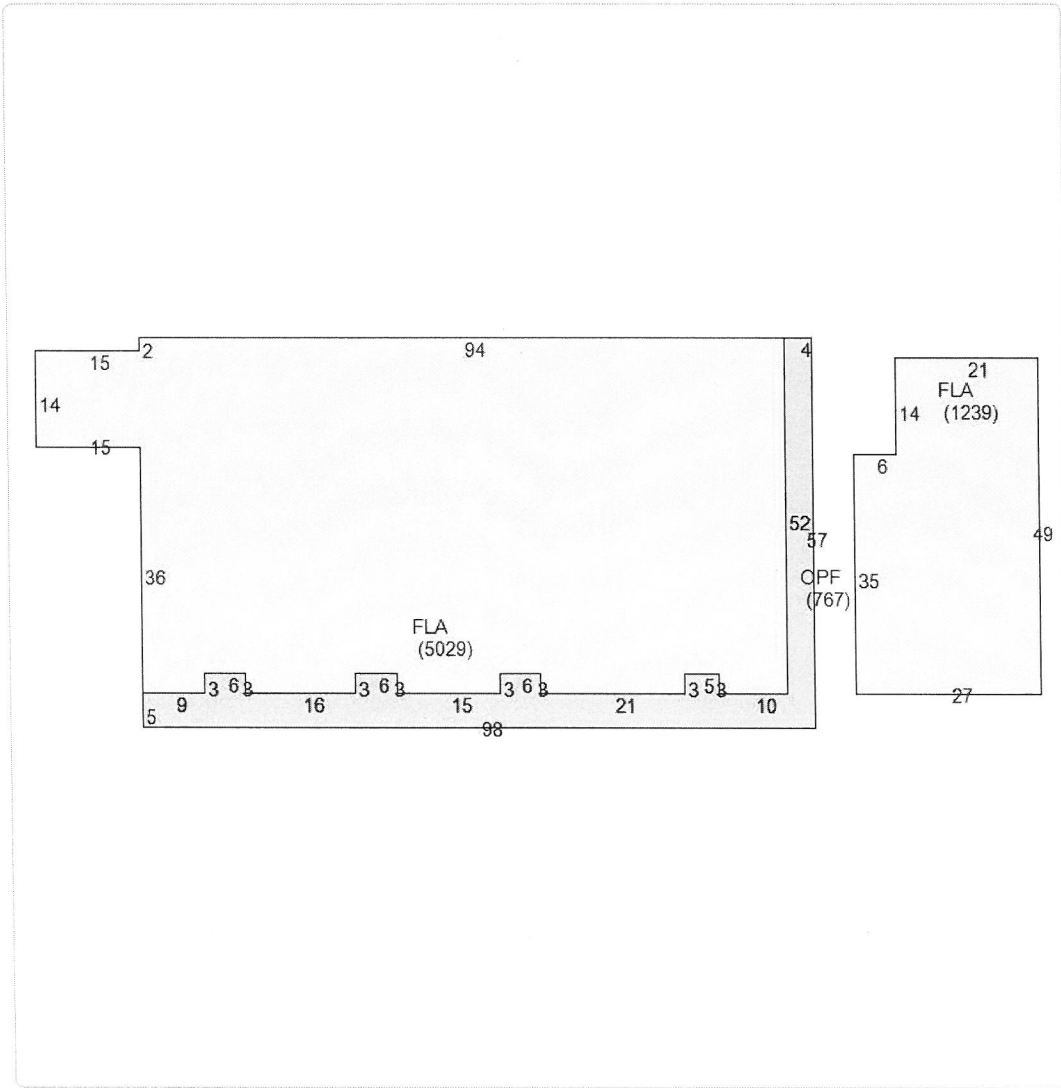
Permits

Number	Date Issued	Date Completed	Amount	Permit Type	Notes
BLD2019-3343	10/7/2019	12/21/2020	\$78,350	Commercial	EXTERIOR REPAIR TO EXISTING DECKING INSTALL NEW APPROX 450 SQ/FT INSTALL 1-TTRIPLE HUNG WINDOWS
BLD2019-1521	4/26/2019		\$2,450	Commercial	ADD DEDICATED CIRCUITS FOR THR HEAT CASES IN COUNTER/SALES AREA
15-3360	1/27/2016		\$4,000	Commercial	WIRE EXISTING UNIT
15-4364	11/9/2015		\$20,000	Commercial	
14-5754	1/30/2015		\$12,000	Commercial	INSTALL 22 SQS MEMBRANE ON FLAT ROOF & V-CRIMP METAL ON SLOPED ROOF.
12-4418	2/21/2013		\$10,000	Commercial	INSTALL WINDOWS & REPLACE SIDING. 31 WINDOWS AND 1575 SQ FT OF SIDING
12-4578	12/31/2012		\$65,000	Commercial	INTERIOR, EXTERIOR AND STRUCTURAL WORK AS PER PLANS.
12-4573	12/28/2012	1/30/2013	\$600	Commercial	INSTALL TEMPORARY SERVICE 60 AMPS, TWO 20 AMP GFI OUTLETS, ONE 220 VOLT OUTLET GROUND
12-4340	12/13/2012		\$10,000	Commercial	STUCCO REPAIRS TO OUSIDE OF BLDG. APPROX 2400 SQ. FT.
12-3671	10/12/2012		\$8,000	Commercial	14 SQES 5 VCRIMP METAL ROOF, NOC REQUIRED. 10' FACIA BOARD.
12-3289	9/12/2012	12/20/2012	\$15,000	Commercial	RE-ROOF REMOVE EXISTING ROOF PLACE BACK PLUS UNDERLAYMENT DRY IN 14 SQS.
9903951	12/7/1999	12/27/1999	\$3,000		ROOFING
96-3375	8/1/1996	12/1/1996	\$1,200		MECHANICAL
B942664	8/1/1994	11/1/1994	\$200		PAINT BLDG
M942622	8/1/1994	11/1/1994	\$2,000		INSTALL STOVE PIPE

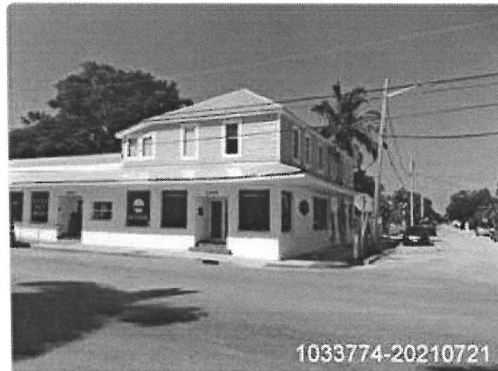
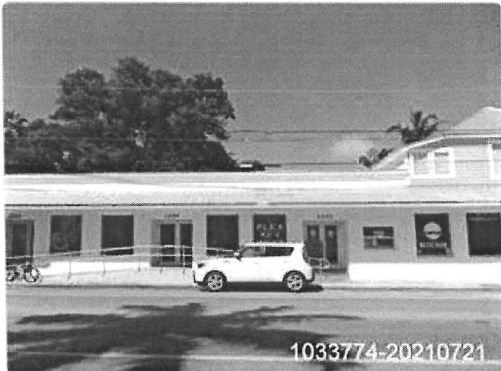
View Tax Info

[View Taxes for this Parcel](#)

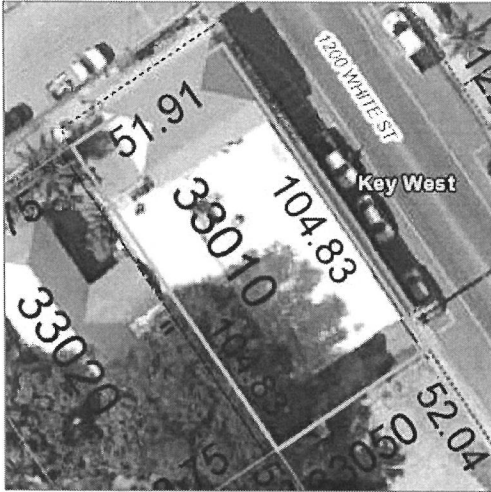
Sketches (click to enlarge)



Photos



Map



TRIM Notice

[2021 TRIM Notice \(PDF\)](#)

Deed

Doc # 2309291 Bk# 3082 Pg# 1598 Recorded 3/19/2021 at 10:11 AM Pages 2
Filed and Recorded in Official Records of MONROE COUNTY KEVIN MADOK
REC: \$18.50 Deed Doc Stamp \$15,400.00

Prepared by and return to:
Richard J. McChesney

Spottswood, Spottswood, Spottswood & Sterling, PLLC
500 Fleming Street
Key West, FL 33040
305-294-9556
File Number: 64-21.00108 RM
Will Call No.:

\$2,200,000

[Space Above This Line For Recording Data]

Warranty Deed

This Warranty Deed made this 15th day of March, 2021 between Victor H. Mills, Jr. and Cynthia A. Mills, husband and wife whose post office address is 6 Calle Dos, Rockland Key, FL 33040, grantor, and Island City Butcher Shop, LLC whose post office address is 1202 White Street, Key West, FL 33040, grantee:

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Monroe County, Florida to-wit:

KNOWN ON WILLIAM A. WHITEHEAD'S MAP OF THE ISLAND OF KEY WEST DELINEATED IN FEBRUARY, A. D. 1829, AS A PART OF TRACT 13 BUT NOW BETTER KNOWN AS LOT 1 AND A PART OF LOT 5 IN SQUARE 3 IN SAID TRACT 13, ACCORDING TO A DIAGRAM OF ONE-THIRD OF SAID TRACT 13 DRAWN BY W. A. GWYNN, COUNTY SURVEYOR, AND DULY RECORDED IN DEED BOOK "O", PAGE 195, OF MONROE COUNTY, FLORIDA, RECORDS:

BEGIN AT THE INTERSECTION OF THE SOUTHWESTERLY RIGHT-OF-WAY LINE OF WHITE STREET AND THE SOUTHEASTERLY RIGHT-OF-WAY LINE OF CATHERINE STREET; THENCE IN A SOUTHEASTERLY DIRECTION ALONG THE SAID SOUTHWESTERLY RIGHT-OF-WAY LINE OF WHITE STREET FOR 156.87 FEET; THENCE AT A RIGHT ANGLE AND IN A SOUTHWESTERLY DIRECTION FOR 51.97 FEET; THENCE AT AN ANGLE OF 89°58'45" TO THE LEFT AND IN A NORTHWESTERLY DIRECTION FOR 156.89 FEET TO THE SAID SOUTHEASTERLY RIGHT-OF-WAY OF CATHERINE STREET; THENCE AT A RIGHT ANGLE AND IN A NORTHEASTERLY DIRECTION ALONG THE SAID SOUTHEASTERLY RIGHT-OF-WAY LINE OF CATHERINE STREET FOR 51.91 FEET TO THE POINT OF BEGINNING.

Parcel Identification Numbers: 00033050-000000 and 00033010-000000

Subject to taxes for 2021 and subsequent years; covenants, conditions, restrictions, easements, reservations and limitations of record, if any.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to

DoubleTime®

said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to **December 31, 2020**.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

[Signature]
 Witness Name: Richard McChesney
[Signature]
 Witness Name: Monica Hornyak

[Signature] (Seal)
 Victor H. Mills, Jr.

[Signature]
 Witness Name: Richard McChesney
[Signature]
 Witness Name: Monica Hornyak

[Signature]
 Cynthia A. Mills

State of Florida
County of Monroe

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 15th day of March, 2021 by Victor H. Mills, Jr. and Cynthia A. Mills, who are personally known or have produced a driver's license as identification.

[Notary Seal]

[Signature]

 Notary Public

Printed Name: _____

My Commission Expires: _____

