

# **Staff Report**

5 Major Development Plan- Site development with hardscape and lighting design- **#522 Angela Street- City of Key West/ mbi/k2m (H12-01-1181)**

This staff report is for the review of a Certificate of Appropriateness for the review of proposed site development of the parking lot and public spaces for the corner lot of Angela and Simonton Streets which belongs to the City of Key West. The site will be developed with the construction of a new fire station, public bathrooms facilities and public transportation drop off. The design plans includes surface finishes, street furniture, new fountain and a perimeter fence on some site areas. Since there will be a difference in grade heights from the corner of Simonton and Angela Streets towards the parking area a ramp is proposed with artwork railings resembling fire. The proposed design includes the preservation of the old tree on Simonton Street. The landscape plans were approved by the Tree Commission on August 16, 2012.

Guidelines that should be reviewed for this application:

Fences and walls (pages 41-42);

*(8) Traditional historic fencing included wood pickets, wrought iron, concrete and combination of these materials. Fencing should be designed with respect for the site land environment.*

*(9) Fence heights will be measured from the sidewalk or from the level of the natural grade, whichever is highest.*

Parking areas, landscaping and open space (page 43);

*(1) The past appearance of a property as documented by photographs, drawings, newspapers, government records or archaeological surveys should guide decisions for new work on the site. Changes will be evaluated in light of the past appearance of the property.*

The Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings discuss under District/ neighborhood the following:

*The relationship between historic buildings, and streetscape and landscape features within a historic district or neighborhood helps to define the historic character and therefore should always be a part of the rehabilitation plans.*

*Recommended;*

*Designing required new parking so that it is as unobtrusive as possible, i.e., on side streets or at the rear of buildings. Shared parking should also be planned so that several businesses can utilize one parking area as opposed to introducing random, multiple lots.*

The existing site used to be a trailer park before the City hall and the parking lot were built in 1962. It is staff's opinion that the proposed hardscape elements are contemporary in design and are in keeping with the proposed new fire station as well as the surrounding urban fabric. The proposed fountain at the corner of Angela and Simonton Streets will define the urban block and will give a pedestrian scale. The fence facing Angela Street will also provide a pedestrian sense as well as an urban façade to this part of the block.

It is staff's opinion that the proposed design and hardscape features are consistent with the guidelines and the Secretary of the Interior's Standards and Guidelines. The proposed design brings architectural elements that will promote a sympathetic scale at the pedestrian level and a sense of an urban park rather than an asphalt parking lot, which is the actual perception of the existing site. This project will require Planning Board and City Commission review since it is a Major Development Plan.

# Application



**CITY OF KEY WEST  
BUILDING DEPARTMENT  
CERTIFICATE OF APPROPRIATENESS**

APPLICATION # H 12.01.1181

|                          |  |            |                       |
|--------------------------|--|------------|-----------------------|
| OWNER'S NAME:            | <u>The City of Key West</u>                                      | DATE:      | <u>August 9, 2012</u> |
| OWNER'S ADDRESS:         | <u>3132 Flagler Avenue, Key West, Florida 33040</u>              | PHONE #:   | <u>305.809.3888</u>   |
| APPLICANT'S NAME:        | <u>Anthony D. Sarno / mbi   k2m Architecture, Inc.</u>           | PHONE #:   | <u>305.292.7722</u>   |
| APPLICANT'S ADDRESS:     | <u>1001 Whitehead Street, Suite 101, Key West, Florida 33040</u> |            |                       |
| ADDRESS OF CONSTRUCTION: | <u>525 Angela Street (or assumed)</u>                            | # OF UNITS | <input type="text"/>  |

**THERE WILL BE A FINAL INSPECTION REQUIRED UNDER THIS PERMIT**

**DETAILED DESCRIPTION OF WORK:** Site development with hardscape and lighting design. Elements include concrete pavers, aluminum fencing, concrete site wall with Oolitic Limestone, LED light fixtures, flag pole, bike racks, trash and recycling containers, and concrete benches and bollards.

*Chapter 837.06 F.S.-False Official Statements – Whoever knowingly makes a false statement in writing with the intent to mislead a public servant in the performance of his or her official duty shall be guilty of a misdemeanor of the second degree punishable as provided for in s. 775.082 or 775.083*

This application for Certificate of Appropriateness must precede applications for building permits, right of way permits, variances, and development review approvals. Applications must meet or exceed the requirements outlined by the Secretary of the Interior's Standards for Rehabilitation and Key West's Historic Architectural Guidelines.

Once completed, the application shall be reviewed by staff for completeness and either approved or scheduled for presentation to the Historic Architectural Review Commission at the next available meeting. The applicant must be present at this meeting. The filing of this application does not ensure approval as submitted.

Applications that do not possess the required Submittals will be considered incomplete and will not be reviewed for approval.

Date: August 9, 2012

Applicant's Signature:   
Edward Fernandez

**Required Submittals**

|  |
|--|
| TWO SETS OF SCALED DRAWINGS OF FLOOR PLAN, SITE PLAN AND EXTERIOR ELEVATIONS (for new buildings and additions)                   |
| TREE REMOVAL PERMIT (if applicable)  |
| PHOTOGRAPHS OF EXISTING BUILDING (repairs, rehabs, or expansions)  |
| PHOTOGRAPHS OF ADJACENT BUILDINGS (new buildings and additions)  |
| ILLUSTRATIONS OF MANUFACTURED PRODUCTS TO BE USED SUCH AS SHUTTERS, DOORS, WINDOWS, PAINT COLOR CHIPS, AND AWNING FABRIC SAMPLES |

**Staff Use Only**

Date: \_\_\_\_\_

Staff Approval: \_\_\_\_\_

Fee Due:\$ \_\_\_\_\_

HISTORIC ARCHITECTURAL REVIEW APPLICATION

# HISTORIC ARCHITECTURAL REVIEW COMMISSION USE ONLY

\*\*\*\*\*

Approved \_\_\_\_\_

Denied \_\_\_\_\_

Deferred \_\_\_\_\_

Reason for Deferral or Denial:

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HARC Comments:

*parking lot.*

*Guidelines for fences / parkings open space*

*Secretary of the Interior's Standards & guidelines.*

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Limit of Work Approved, Conditions of Approval and/or Suggested  
Changes:

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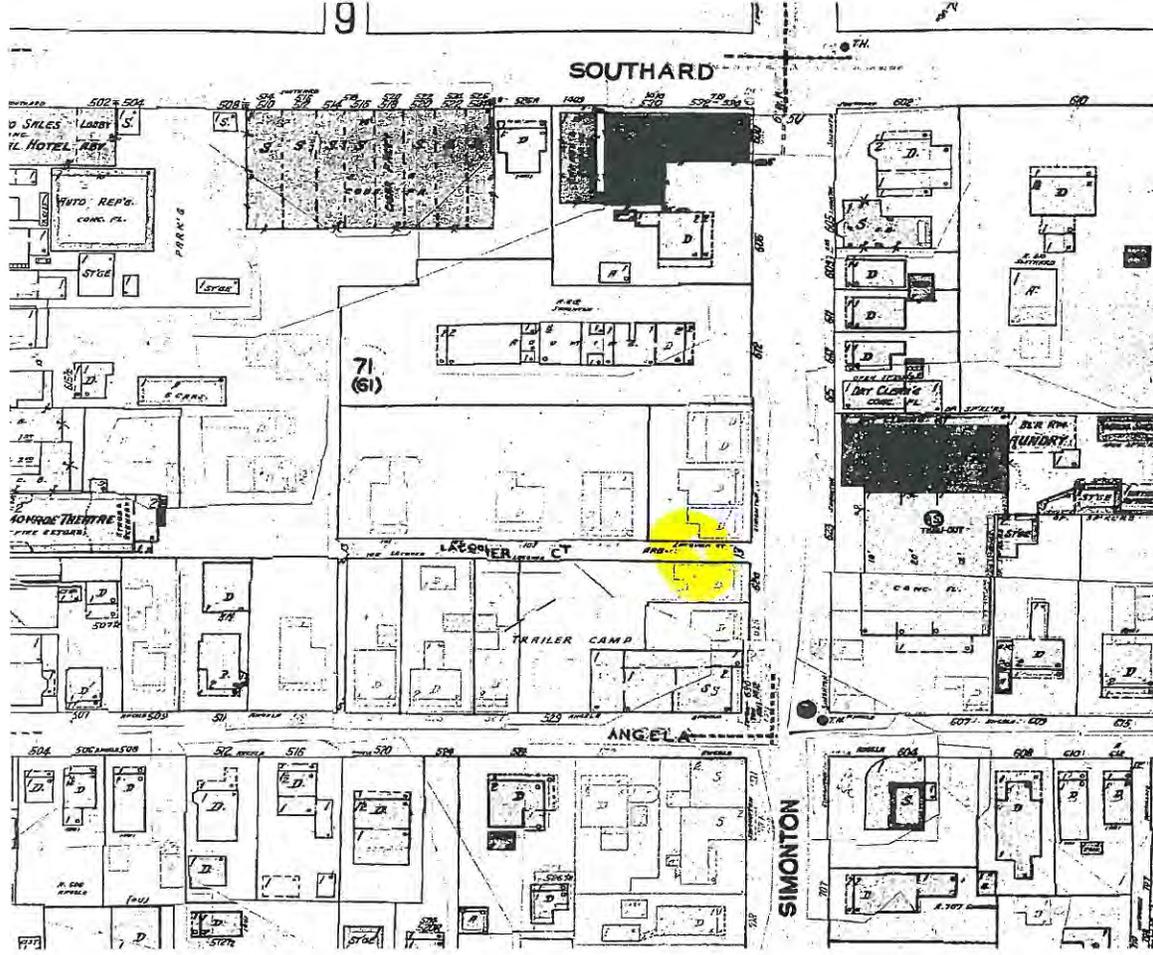
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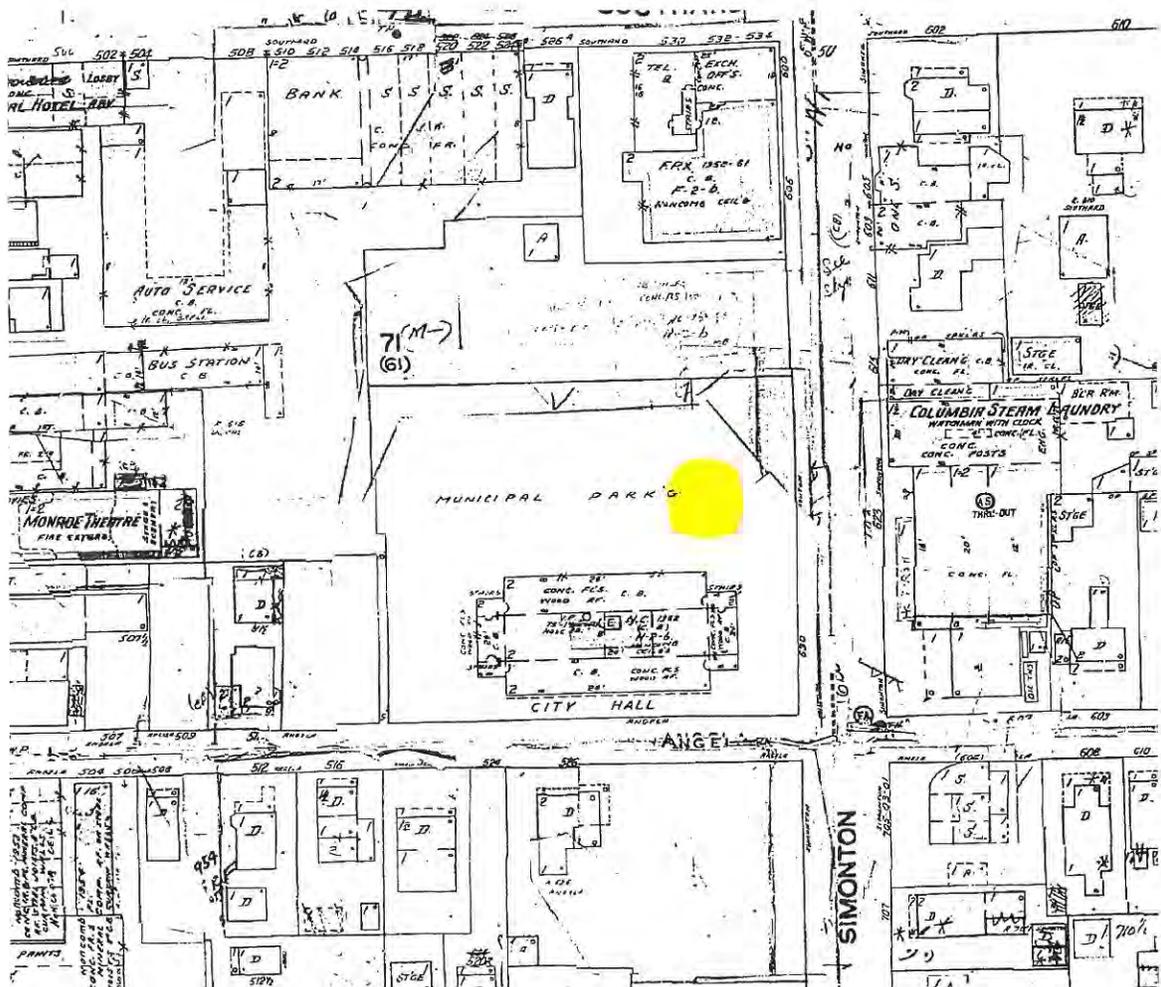
Signature: \_\_\_\_\_

Historic Architectural  
Review Commission

# Sanborn Maps



#525 Angela Street Sanborn map 1948- Trailer camp



#525 Angela Street Sanborn map 1962

# **Project Photos**



Google earth





nonton Street

© 2012 Google  
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US Dept of State Geographer

Google earth

Google earth



# Survey



# Proposed Plans



MBI | K2M ARCHITECTURE, INC.



**KEY WEST FIRE DEPARTMENT  
STATION NUMBER 2**



# FIRE STATION #2

## BUILDING AND SITE DEVELOPMENT

### ANGELA STREET AND SIMONTON STREET, KEY WEST

THE CITY OF KEY WEST  
3132 FLAGLER AVENUE, KEY WEST, FLORIDA 33040

## HARC SUBMISSION

### AUGUST 9, 2012

|  |  |   |  |
|--|--|---|--|
| <p><b>DESIGN TEAM</b></p> <p><u>ARCHITECT:</u><br/>mbi   k2m Architecture, Inc.<br/>Michael B. Ingram, RA<br/>1001 Whitehead Street, Suite 101<br/>Key West, Florida 33040<br/>305.292.7722</p> <p><u>CIVIL ENGINEER:</u><br/>Perez Engineering<br/>Allen Perez, P.E.<br/>1010 Kennedy Drive, Suite 400<br/>Key West, Florida 33040<br/>305.293.9440</p> | <p><b>DRAWING INDEX</b></p> <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; vertical-align: top; padding: 2px;"> <p><u>ARCHITECTURAL</u></p> <p>A0.1.1 COVER SHEET, DRAWING INDEX, &amp; LOCATION MAP</p> <p>A1.1.1 ARCHITECTURAL SITE PLAN</p> <p>A2.1.1 FIRST FLOOR PLAN</p> <p>A2.1.2 SECOND FLOOR PLAN</p> <p>A3.1.1 EXTERIOR ELEVATIONS</p> <p>A3.1.2 EXTERIOR ELEVATIONS</p> </td> <td style="width: 50%; vertical-align: top; padding: 2px;"> <p><u>LANDSCAPE</u></p> <p>L-1.0 EXISTING TREE DISPOSITION PLAN</p> <p>L-1.1 TRANSPLANTING &amp; PLANTING NOTES AND DETAILS</p> <p>L-2.0 SCHEMATIC PLANTING PLAN</p> <p>L-3.0 LANDSCAPE ELEVATION</p> <p>L-3.1 LANDSCAPE SECTION</p> <p>L-4.0 PAVING PLAN</p> <p>L-5.0 SITE FURNITURE PLAN</p> </td> </tr> </table> | <p><u>ARCHITECTURAL</u></p> <p>A0.1.1 COVER SHEET, DRAWING INDEX, &amp; LOCATION MAP</p> <p>A1.1.1 ARCHITECTURAL SITE PLAN</p> <p>A2.1.1 FIRST FLOOR PLAN</p> <p>A2.1.2 SECOND FLOOR PLAN</p> <p>A3.1.1 EXTERIOR ELEVATIONS</p> <p>A3.1.2 EXTERIOR ELEVATIONS</p> | <p><u>LANDSCAPE</u></p> <p>L-1.0 EXISTING TREE DISPOSITION PLAN</p> <p>L-1.1 TRANSPLANTING &amp; PLANTING NOTES AND DETAILS</p> <p>L-2.0 SCHEMATIC PLANTING PLAN</p> <p>L-3.0 LANDSCAPE ELEVATION</p> <p>L-3.1 LANDSCAPE SECTION</p> <p>L-4.0 PAVING PLAN</p> <p>L-5.0 SITE FURNITURE PLAN</p> |
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| <p><b>LOCATION MAP</b></p>  <p style="text-align: center;"><b>PROJECT LOCATION</b> ★</p>  | <p><b>PROJECT APPROVALS</b></p> <p><u>HISTORIC ARCHITECTURAL REVIEW COMMISSION</u></p> <p>SUBMITTED - BUILDING: MAY 9, 2012</p> <p>APPROVED: JUNE 12, 2012</p> <p># H1201-0776</p> <p>SUBMITTED - SITE AND HARDSCAPE: JULY 11, 2012 (NO QUORUM)</p> <p>SUBMITTED - SITE AND HARDSCAPE: AUGUST 9, 2012</p> <p>APPROVED:</p> <p><u>TREE COMMISSION</u></p> <p>SUBMITTED:</p> <p>APPROVED:</p> <p><u>DRC / MAJOR DEVELOPMENT PROCESS</u></p> <p>SUBMITTED:</p> <p>DRC MEETING:</p> <p>PLANNING BOARD MEETING:</p> <p>CITY COMMISSION MEETING:</p>   |   |  |

**FIRE STATION #2**  
**THE CITY OF KEY WEST**  
**HARC SUBMISSION**

# mbi | k2m

## ARCHITECTURE, INC.

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PROF. REG. AA26001059

|   |
|---|
| <b>SUBMISSIONS</b>                          |
| May 9, 2012 - HARC Submission               |
| July 11, 2012 - HARC Submission - No Quorum |
| August 9, 2012 - HARC Submission            |
|   |
|   |
|   |
|   |

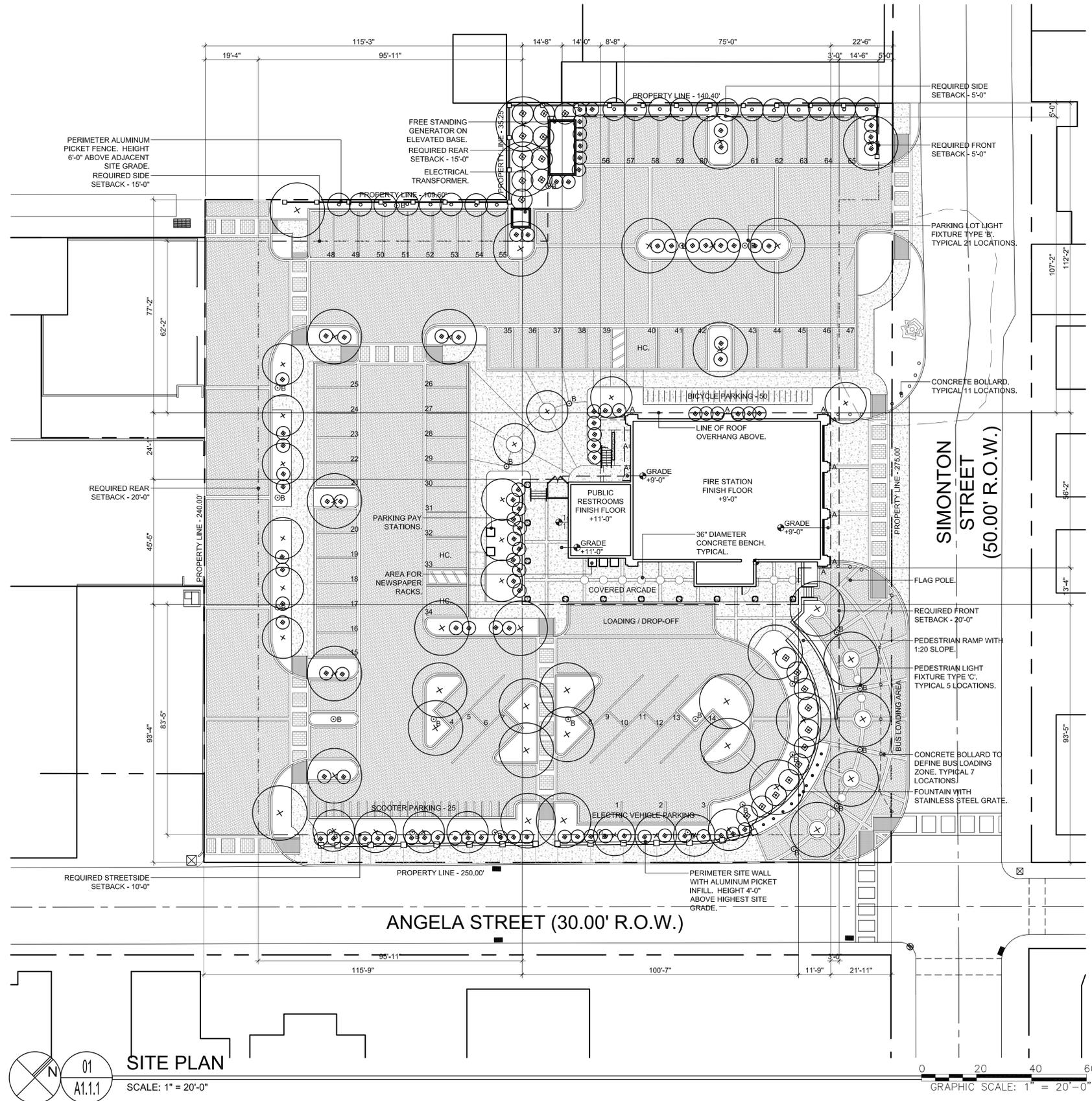
|                    |                 |
|--------------------|-----------------|
| Project No.        | Phase:          |
| 12 060             | HARC Submission |
| <b>COVER SHEET</b> |                 |
| <b>A0.1.1</b>      |                 |

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DATE: August 9, 2012

PLOTTED: 8/8/2012 2:52 PM

| LIGHTING LEGEND |        |   |      |  |
|-----------------|--------|---|------|--|
| NUMBER          | SYMBOL | TYPE  | LAMP | REMARKS  |
| A               |        | VISA LIGHTING - AVATAR METRO OW1316               | LED  | WALL MOUNTED TO BUILDING   |
| B               |        | BETA LED - THE EDGE LED ROUND AREA LIGHT          | LED  | MOUNTED ON 12'-0" POLE   |
| C               |        | SILESCENT - S100 LP2 8" ROUND - 2700K 15 WATT LED | LED  | CEILING MOUNTED TO ARCADE - REFER TO CEILING PLANS FOR LOCATIONS |



Seal:

Consultants:

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enewland@earthlink.net

Submissions:

2012.05.09 HARC Submission  
2012.07.11 HARC Submission - No Quorum  
2012.08.09 HARC Submission

**FIRE STATION #2**  
Angela Street and Simonton Street, Key West, Florida  
**BUILDING AND SITE DEVELOPMENT**  
FOR  
City of Key West, 3132 Flagler Avenue, Key West, Florida 33040

PLOTTED: 8/10/2012 7:57 AM

Drawing Size: 24x36 | Project #: MK-12060  
Drawn By: ADS | Checked By: MBI

Title:  
ARCHITECTURAL  
SITE  
PLAN

Sheet Number:

**A1.1.1**

Date: August 9, 2012

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Seal:

Consultants:

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Submissions:

- 2012.05.09 HARC Submission
- 2012.07.11 HARC Submission - No Quorum
- 2012.08.09 HARC Submission

**FIRE STATION #2**  
Angela Street and Simonton Street, Key West, Florida  
**BUILDING AND SITE DEVELOPMENT**  
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City of Key West, 3132 Flagler Avenue, Key West, Florida 33040

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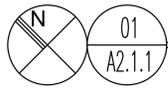
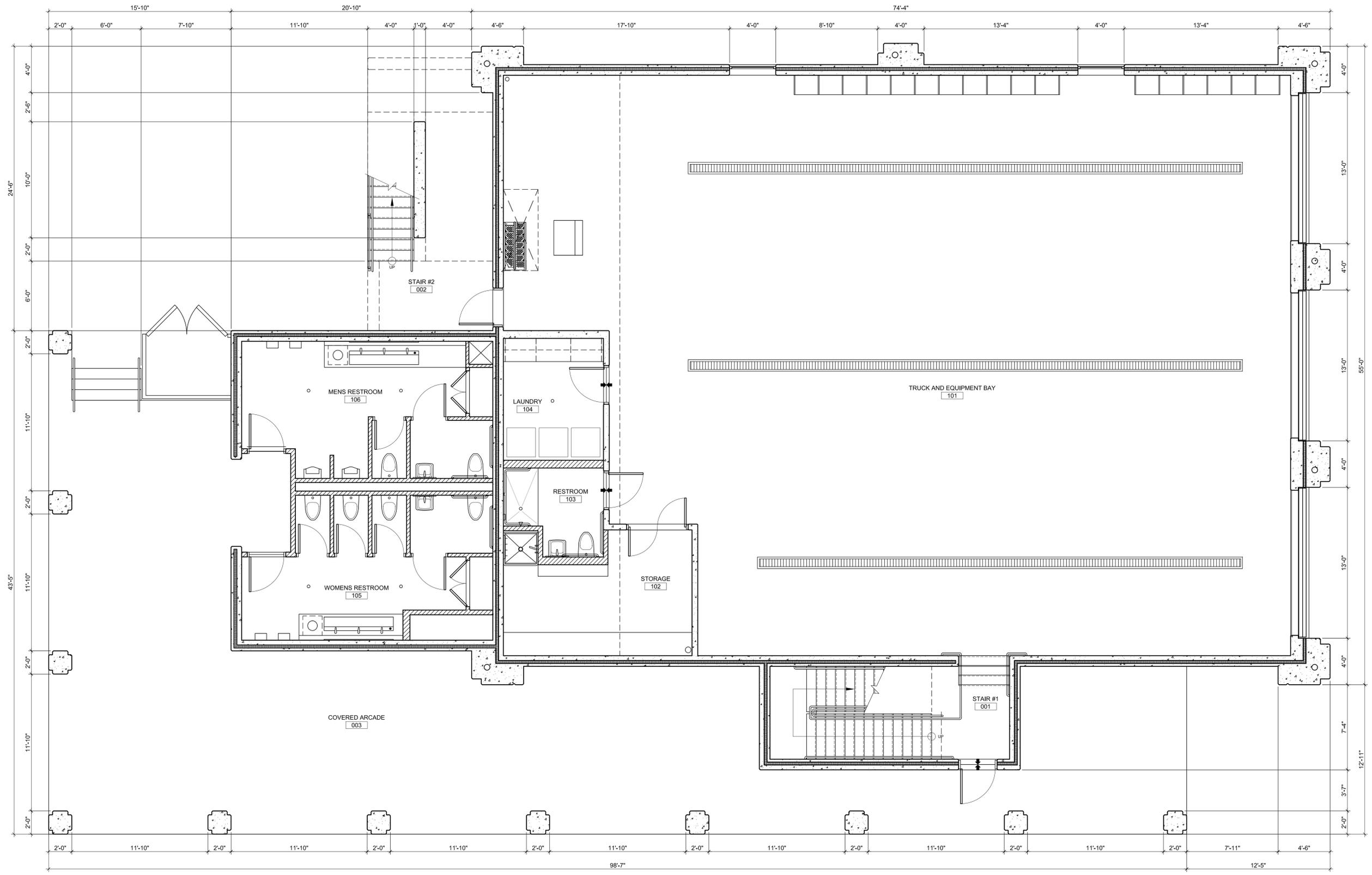
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| Drawing Size<br>24x36 | Project #:<br>MK-12060 |
| Drawn By:<br>ADS      | Checked By:<br>MBI     |

Title:  
**FIRST FLOOR PLAN**

Sheet Number:

**A2.1.1**

Date: August 9, 2012  
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**01 FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0"



Seal:

Consultants:

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Submissions:

- 2012.05.09 HARC Submission
- 2012.07.11 HARC Submission - No Occup
- 2012.08.09 HARC Submission

**FIRE STATION #2**  
Angela Street and Simonton Street, Key West, Florida  
**BUILDING AND SITE DEVELOPMENT**  
FOR  
City of Key West, 3132 Flagler Avenue, Key West, Florida 33040

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| Drawing Size<br>24x36 | Project #:<br>MK-12060 |
| Drawn By:<br>ADS      | Checked By:<br>MBI     |

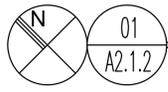
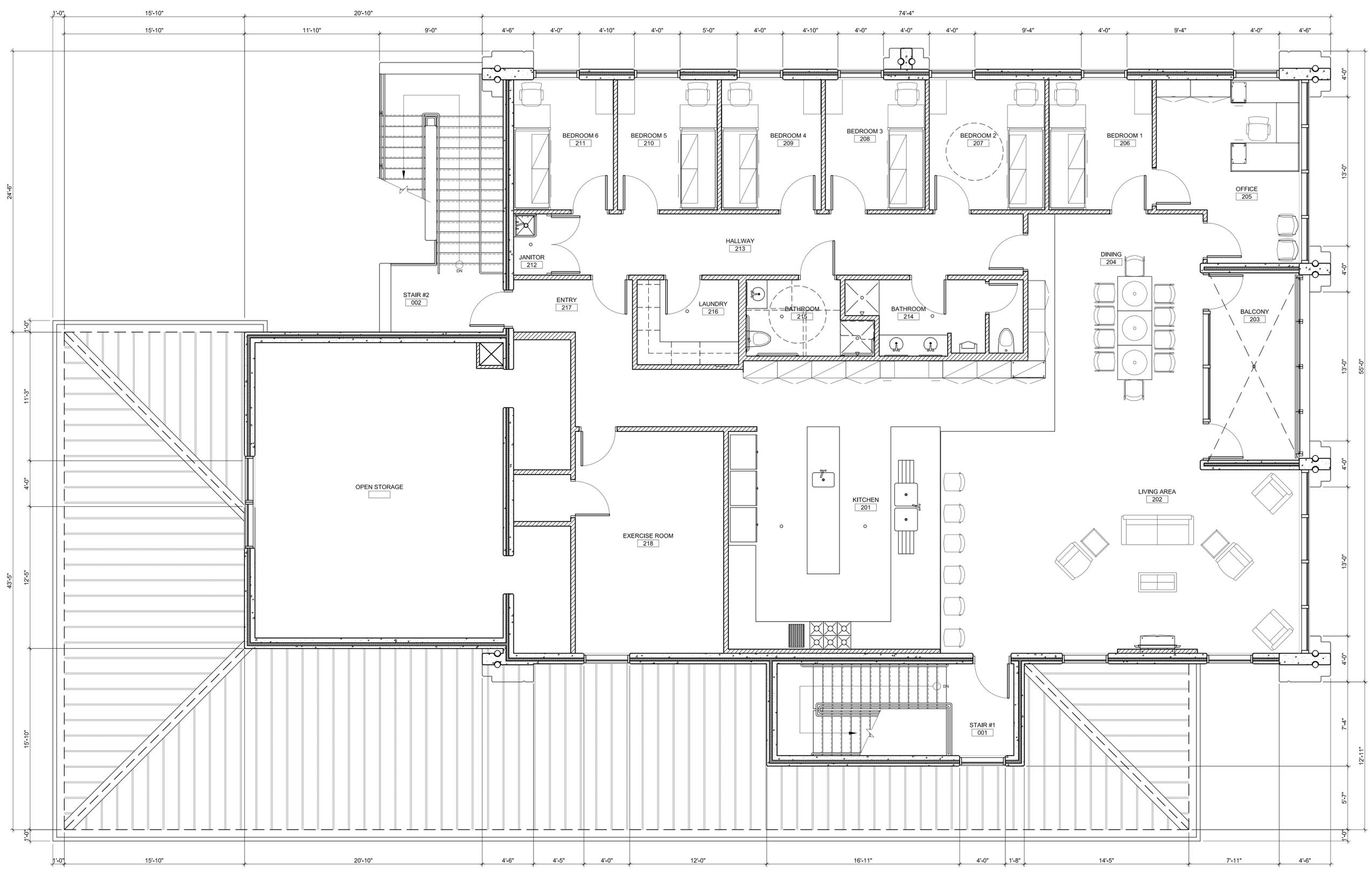
Title:  
**SECOND FLOOR PLAN**

Sheet Number:

**A2.1.2**

Date: August 9, 2012

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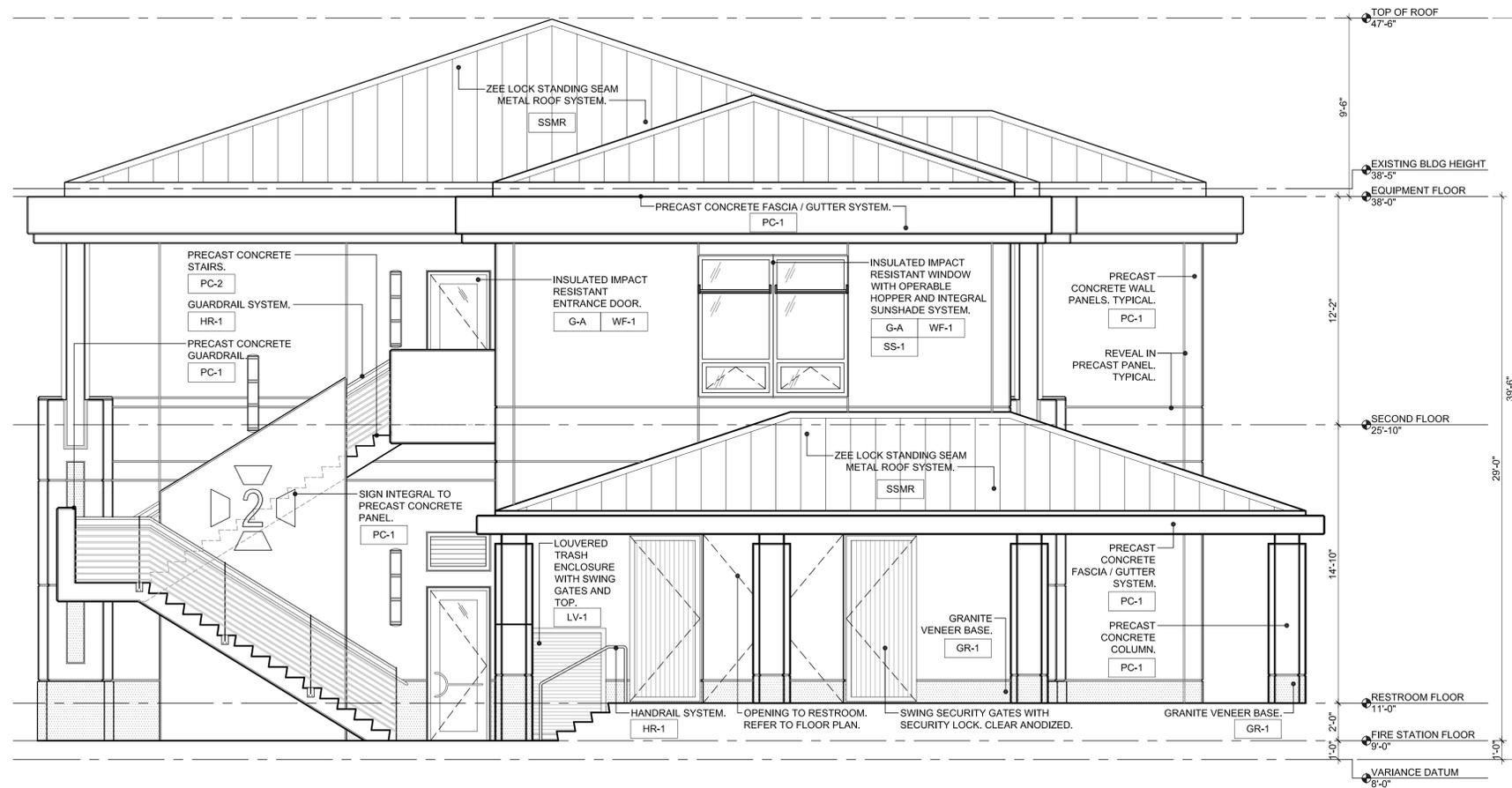
**01 SECOND FLOOR PLAN**

SCALE: 1/4" = 1'-0"

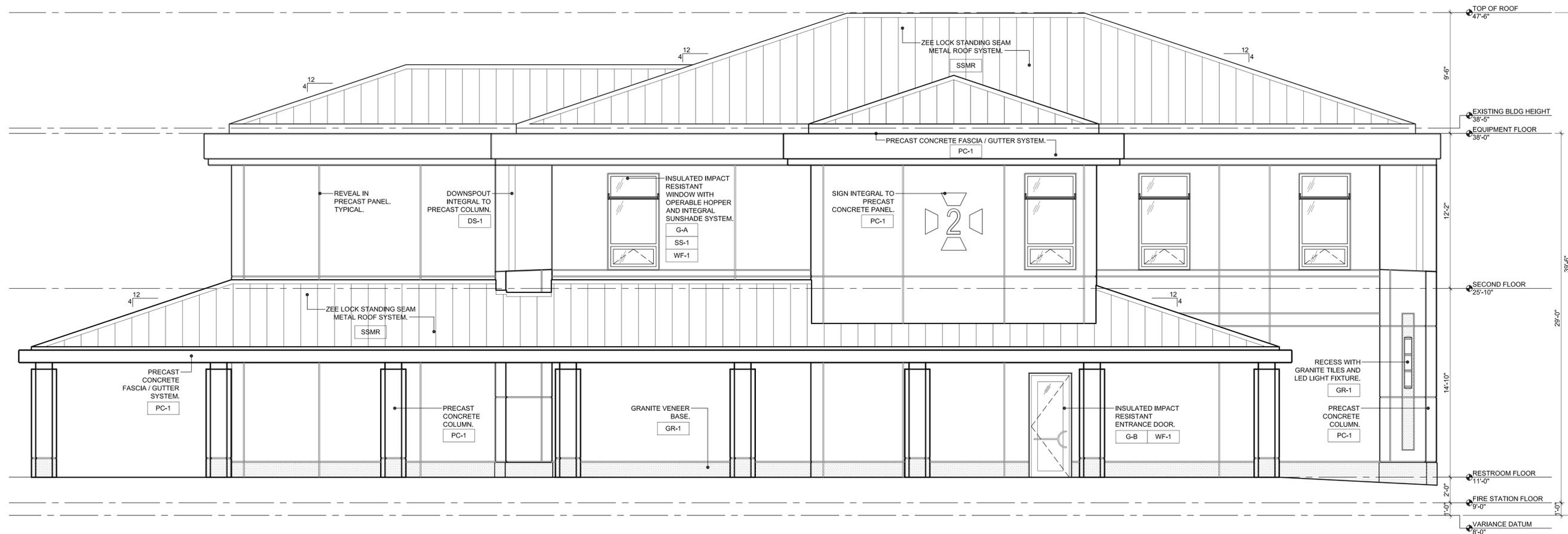




| ELEVATION MATERIAL LEGEND |   |  |
|---------------------------|---|--|
| SYMBOL                    | MATERIAL  | COLOR / SPECIFICATION                    |
| SSMR                      | STANDING SEAM METAL ROOF                                  | ZINC-COTE / 07 41 13                     |
| PC-1                      | ARCHITECTURAL PRECAST CONCRETE FINISH 1 - LIGHT SANDBLAST | GPK 1645 SB-L / 03 45 00                 |
| PC-2                      | ARCHITECTURAL PRECAST CONCRETE FINISH 1 - HEAVY SANDBLAST | GPK 1645 SB-H / 03 45 00                 |
| G-A                       | GLASS TYPE A  | LIGHT TINT / 08 88 19                    |
| G-B                       | GLASS TYPE B  | LIGHT TINT FROSTED / 08 88 19            |
| LV-1                      | MECHANICAL LOUVERS  | CLEAR ANODIZED                           |
| SS-1                      | SUNSHADE  | CLEAR ANODIZED / 08 44 50                |
| WF-1                      | WINDOW / DOOR FRAMES                                      | RED ANODIZED                             |
| GR-1                      | GRANITE - FINISH 1  | BLACK DIAMOND THERMAL / 04 42 56         |
| HR-1                      | GUARDRAIL / HANDRAIL SYSTEM                               | STAINLESS STEEL / BLACK GALVANIZED STEEL |



02 WEST ELEVATION  
A3.1.2 SCALE: 1/4" = 1'-0"



01 SOUTH ELEVATION - ANGELA STREET  
A3.1.2 SCALE: 1/4" = 1'-0"

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Submissions:  
2012.05.09 HARC Submission  
2012.07.11 HARC Submission - No Quorum  
2012.08.09 HARC Submission

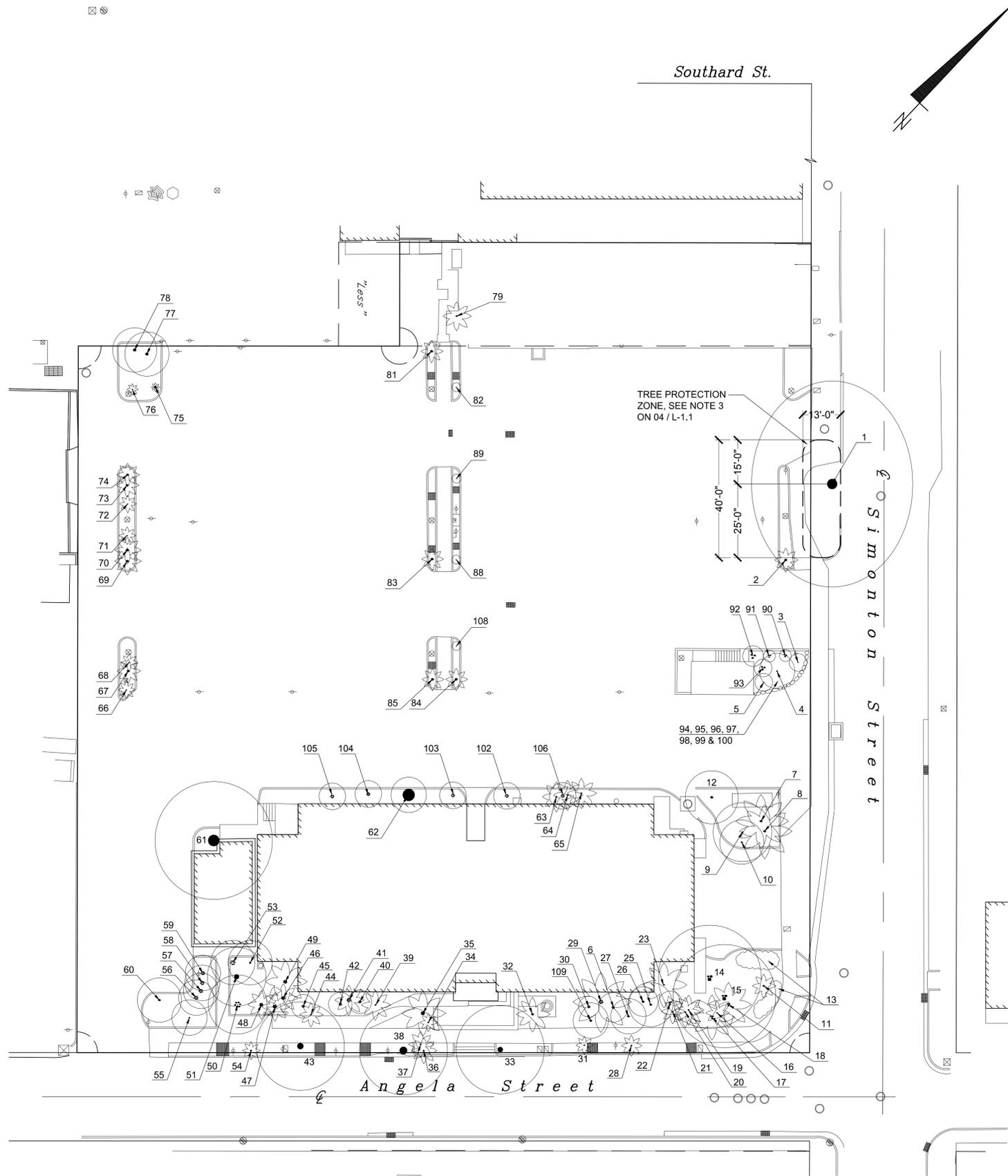
**FIRE STATION #2**  
Angela Street and Simonton Street, Key West, Florida  
**BUILDING AND SITE DEVELOPMENT**  
FOR  
City of Key West, 3132 Flagler Avenue, Key West, Florida 33040

PLOTTED: 8/8/2012 3:07 PM  
Drawing Size: 24x36 | Project #: MK-12060  
Drawn By: ADS | Checked By: MBI

Title:  
**EXTERIOR ELEVATIONS**  
Sheet Number:  
**A3.1.2**  
Date: August 9, 2012  
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| City of Key West Administration Building<br>Existing Tree Disposition List |                          |                   |        |           |               |             |                            |
|--|--------------------------|-------------------|--------|-----------|---------------|-------------|----------------------------|
| NUMBER   | BOTANICAL NAME           | COMMON NAME       | HEIGHT | SPREAD    | CALIPER       | CONDITION   | STATUS/TRANSPLANT LOCATION |
| 1  | Swietenia mahagoni       | Mahogany          | 80'    | 70' x 55' | 40"           | Specimen    | Remain                     |
| 2  | Sabal palmetto           | Palmetto          | 12'    | 8'        | 8"            | Good        | KW Bight                   |
| 3  | Boumeria ovata           | Strong Bark       | 10'    | 6'        | 1 1/2"        | Good        | PP Grinnel and Angela      |
| 4  | Lysionoma laisiliqua     | Wild Tamarind     | 12'    | 12'       | 3 1/2"        | Good        | KW Bight                   |
| 5  | Boumeria ovata           | Strong Bark       | 10'    | 6'        | 1 1/2"        | Good        | PP Grinnel and Angela      |
| 6  | Codiaeum variegatum      | Croton            | 15'    | 10'       | Multi         | Fair        | KW Bight                   |
| 7  | Cocos nucifera           | Coconut           | 20'    | 18'       | 7"            | Good        | Mallory                    |
| 8  | Cocos nucifera           | Coconut           | 20'    | 18'       | 7"            | Good        | South Roosevelt            |
| 9  | Ficus                    | Fig               | 20'    | 20'       | 4 1/2"        | Fair        | Remove                     |
| 10   | Not Identified           |                   | 20'    | 15'       | 4 1/2"        | Fair        | Remove                     |
| 11   | Adonidia merrilli        | Christmas Palm    | 20'    | 8'        | 6"            | Fair        | Remove                     |
| 12   | Dracaena marginata       | Dracaena          | 20'    | 18'       | 8" Multi      | Poor        | Remove                     |
| 13   | Capparis cynophallophora | Jamaican Caper    | 5'     | 5'        | 2" Multi      | Poor/Hedged | Remove                     |
| 14   | Clusia rosea             | Autograph Tree    | 20'    | 35'       | 6"-12" Multi  | Poor        | Remove                     |
| 15   | Clusia rosea             | Autograph Tree    | 20'    | 35'       | 8" Multi      | Poor        | Remove                     |
| 16   | Thrinax radiata          | Thatch Palm       | 5'     | 8'        | 3"            | Good        | KW Bight                   |
| 17   | Thrinax radiata          | Thatch Palm       | 20'    | 15'       | 4" Multi      | Fair        | PP 18 and Flagler          |
| 18   | Thrinax radiata          | Thatch Palm       | 20'    | 15'       | 5' & 4" Multi | Fair        | PP 18 and Flagler          |
| 19   | Thrinax radiata          | Thatch Palm       | 20'    | 10'       | 4"            | Fair        | KW Bight                   |
| 20   | Thrinax radiata          | Thatch Palm       | 20'    | 10'       | 4"            | Fair        | KW Bight                   |
| 21   | Thrinax radiata          | Thatch Palm       | 5'     | 8'        | 2"            | Good        | KW Bight                   |
| 22   | Codiaeum variegatum      | Croton            | 10'    | 8'        | Multi         | Fair        | KW Bight                   |
| 23   | Thrinax radiata          | Thatch Palm       | 15'    | 15'       | 4"            | Fair        | KW Bight                   |
| 24   | Not Applicable           |                   |        |           |               |             |                            |
| 25   | Bursera simarouba        | Gumbo Limbo       | 18'    | 15'       | 3 1/2"        | Good        | KW Bight                   |
| 26   | Myrcianthes fragrans     | Simpson Stopper   | 18'    | 10'       | 3 1/2"        | Good        | KW Bight                   |
| 27   | Swietenia mahagoni       | Mahogany          | 18'    | 12'       | 3 1/2"        | Good        | Bayview                    |
| 28   | Thrinax radiata          | Thatch Palm       | 6'     | 7'        | 4"            | Good        | KW Bight                   |
| 29   | Ptychosperma macarthurii | McArthur Palm     | 25'    | 20'       | 2" Multi      | Poor/Leggy  | Remove                     |
| 30   | Codiaeum variegatum      | Croton            | 15'    | 7'        | Multi         | Fair        | Mallory                    |
| 31   | Thrinax radiata          | Thatch Palm       | 6'     | 6'        | 3 1/2"        | Good        | Garrison B                 |
| 32   | Dypsis lastelliana       | Teddy Bear Palm   | 6'     | 12'       | 7"            | Good        | KW Bight                   |
| 33   | Delonix regia            | Poinciana         | 50'    | 30'       | 20"           | Poor        | Remove                     |
| 34   | Thrinax radiata          | Thatch Palm       | 5'     | 6'        | 3"            | Good        | KW Bight                   |
| 35   | Sabal palmetto           | Palmetto          | 30'    | 15'       | 13"           | Good        | KW Bight                   |
| 36   | Ptychosperma elegans     | Alexander Palm    | 30'    | 9'        | 3 1/2"        | Fair        | Remove                     |
| 37   | Ptychosperma elegans     | Alexander Palm    | 30'    | 9'        | 3 1/2"        | Fair        | Remove                     |
| 38   | Delonix regia            | Poinciana         | 50'    | 30'       | 30"           | Poor        | Remove                     |
| 39   | Ptychosperma elegans     | Alexander Palm    | 45'    | 10'       | 4"            | Poor/Leggy  | Remove                     |
| 40   | Murraya paniculata       | Jasmine           | 10'    | 8'        | 2" Multi      | Fair        | Remove                     |
| 41   | Ptychosperma elegans     | Alexander Palm    | 20'    | 10'       | 3" Multi      | Fair        | Remove                     |
| 42   | Murraya paniculata       | Jasmine           | 10'    | 8'        | 3" Multi      | Fair        | Remove                     |
| 43   | Delonix regia            | Poinciana         | 50'    | 30'       | 24"           | Poor        | Remove                     |
| 44   | Thrinax radiata          | Thatch Palm       | 6'     | 8'        | 3"            | Good        | KW Bight                   |
| 45   | Codiaeum variegatum      | Croton            | 12'    | 8'        | Multi         | Fair        | Mallory                    |
| 46   | Thrinax radiata          | Thatch Palm       | 20'    | 10'       | 4" Multi      | Fair        | KW Bight                   |
| 47   | Thrinax radiata          | Thatch Palm       | 20'    | 10'       | 4" Multi      | Fair        | KW Bight                   |
| 48   | Thrinax radiata          | Thatch Palm       | 12'    | 10'       | 5" Multi      | Fair        | Mallory                    |
| 49   | Thrinax radiata          | Thatch Palm       | 30'    | 15'       | 4" Multi      | Fair        | KW Bight                   |
| 50   | Dracaena marginata       | Dracaena          | 20'    | 20'       | 7" Multi      | Poor        | Remove                     |
| 51   | Erythrina herbacea       | Coral Bean        | 50'    | 20'       | 18"           | Fair/Leggy  | Remove                     |
| 52   | Capparis cynophallophora | Jamaican Caper    | 20'    | 15'       | 6"            | Fair        | KW Bight                   |
| 53   | Capparis cynophallophora | Jamaican Caper    | 20'    | 15'       | 2 1/2" Multi  | Fair        | KW Bight                   |
| 54   | Thrinax radiata          | Thatch Palm       | 5'     | 6'        | 5"            | Good        | Garrison B                 |
| 55   | Not Identified           |                   | 8'     | 12'       | 5"            | Poor        | Remove                     |
| 56   | Capparis cynophallophora | Jamaican Caper    | 20'    | 12'       | 8" Multi      | Fair        | KW Bight                   |
| 57   | Capparis cynophallophora | Jamaican Caper    | 20'    | 12'       | 4" Multi      | Fair        | KW Bight                   |
| 58   | Capparis cynophallophora | Jamaican Caper    | 15'    | 12'       | 5" Multi      | Poor        | Remove                     |
| 59   | Capparis cynophallophora | Jamaican Caper    | 15'    | 12'       | 2" Multi      | Poor        | Remove                     |
| 60   | Capparis cynophallophora | Jamaican Caper    | 15'    | 15'       | 7"            | Fair        | KW Bight                   |
| 61   | Peltophorum pterocarpum  | Yellow Poinciana  | 50'    | 40'       | 45"           | Poor        | Remove                     |
| 62   | Large Tree Stump         |                   | 12'    | 12'       | 48"           | Poor        | Remove                     |
| 63   | Ptychosperma elegans     | Alexander Palm    | 30'    | 10'       | 3"            | Fair        | Remove                     |
| 64   | Ptychosperma elegans     | Alexander Palm    | 20'    | 10'       | 3"            | Fair        | Remove                     |
| 65   | Ptychosperma elegans     | Alexander Palm    | 15'    | 10'       | 3"            | Fair        | Remove                     |
| 66   | Thrinax morrisii         | Key Thatch Palm   | 5'     | 6'        | 3"            | Good        | Garrison B                 |
| 67   | Sabal palmetto           | Palmetto          | 12'    | 8'        | 8"            | Good        | Garrison B                 |
| 68   | Thrinax morrisii         | Key Thatch Palm   | 5'     | 6'        | 3"            | Good        | Garrison B                 |
| 69   | Sabal palmetto           | Palmetto          | 15'    | 9'        | 8"            | Good        | Garrison B                 |
| 70   | Sabal palmetto           | Palmetto          | 16'    | 9'        | 10"           | Good        | Garrison B                 |
| 71   | Thrinax morrisii         | Key Thatch Palm   | 4'     | 6'        | 3"            | Good        | Garrison B                 |
| 72   | Thrinax morrisii         | Key Thatch Palm   | 4'     | 6'        | 3"            | Good        | Garrison B                 |
| 73   | Sabal palmetto           | Palmetto          | 16'    | 8'        | 9"            | Good        | Garrison B                 |
| 74   | Sabal palmetto           | Palmetto          | 14'    | 8'        | 8"            | Good        | Garrison B                 |
| 75   | Sabal palmetto           | Palmetto          | 10'    | 3'        | 9"            | Fair        | Garrison B                 |
| 76   | Thrinax morrisii         | Key Thatch Palm   | 4'     | 4'        | 2"            | Good        | Garrison B                 |
| 77   | Citrus aurantium         | Sour Orange       | 15'    | 15'       | 10"           | Poor        | Remove                     |
| 78   | Tecoma stans             | Yellow Elder      | 18'    | 15'       | 10"           | Poor        | Remove                     |
| 79   | Adonidia merrilli        | Christmas Palm    | 18'    | 10'       | 5"            | Fair        | Garrison B                 |
| 80   | Not Applicable           |                   |        |           |               |             |                            |
| 81   | Sabal palmetto           | Palmetto          | 15'    | 8'        | 8"            | Good        | Garrison B                 |
| 82   | Eugenia foetida          | Spanish Stopper   | 6'     | 3'        | 1 1/2"        | Good        | PP 6th and Flagler         |
| 83   | Sabal palmetto           | Palmetto          | 15'    | 8'        | 8"            | Good        | KW Bight                   |
| 84   | Sabal palmetto           | Palmetto          | 15'    | 8'        | 8"            | Good        | KW Bight                   |
| 85   | Sabal palmetto           | Palmetto          | 12'    | 8'        | 9"            | Good        | KW Bight                   |
| 86   | Not Applicable           |                   |        |           |               |             |                            |
| 87   | Not Applicable           |                   |        |           |               |             |                            |
| 88   | Eugenia foetida          | Spanish Stopper   | 10'    | 3'        | 1 1/2"        | Good        | KW Bight                   |
| 89   | Eugenia foetida          | Spanish Stopper   | 6'     | 3'        | 1"            | Good        | KW Bight                   |
| 90   | Eugenia rhombica         | Red Stopper       | 6'     | 4'        | 1" Multi      | Good        | Indigenous                 |
| 91   | Eugenia foetida          | Spanish Stopper   | 8'     | 4'        | 1" Multi      | Good        | PP 6th and Flagler         |
| 92   | Boumeria cassiniifolia   | Little Strongbark | 4'     | 7'        | 1" Multi      | Good        | PP 6th and Flagler         |
| 93   | Calyptanthus pallens     | Spicewood         | 7'     | 6'        | 1" Multi      | Good        | Indigenous                 |
| 94   | Serenoa repens           | Saw Palmetto      | 3'     | 3'        | NA            | Good        | KW Bight                   |
| 95   | Canella winterana        | Wild Cinnamon     | 7'     | 4'        | 1"            | Good        | Indigenous                 |
| 96   | Coccothrinax argenteata  | Silver Palm       | 2'     | 2'        | 2"            | Good        | Indigenous                 |
| 97   | Lantana depressa         | White Lantana     | 3'     | 4'        | Multi         | Good        | Indigenous                 |
| 98   | Psychotria ligustrifolia | Dwarf Wild Coffee | 3'     | 3'        | Multi         | Good        | Garrison B                 |
| 99   | Zamia pumila             | Coontie           | 3'     | 3'        | NA            | Good        | Garrison B                 |
| 100  | Eugenia confusa          | Red Berry Stopper | 7'     | 4'        | 1" Multi      | Good        | PP Grinnel and Angela      |
| 101  | Not Applicable           |                   |        |           |               |             |                            |
| 102  | Codiaeum variegatum      | Croton            | 15'    | 9'        | Multi         | Fair        | Mallory                    |
| 103  | Codiaeum variegatum      | Croton            | 15'    | 9'        | Multi         | Fair        | Mallory                    |
| 104  | Codiaeum variegatum      | Croton            | 15'    | 9'        | Multi         | Fair        | Mallory                    |
| 105  | Codiaeum variegatum      | Croton            | 15'    | 9'        | Multi         | Fair        | Mallory                    |
| 106  | Codiaeum variegatum      | Croton            | 15'    | 9'        | Multi         | Fair        | Mallory                    |
| 107  | Not Applicable           |                   |        |           |               |             |                            |
| 108  | Eugenia foetida          | Spanish Stopper   | 8'     | 3'        | 1 1/2"        | Good        | Garrison B                 |
| 109  | Murraya paniculata       | Jasmine           | 12'    | 12'       | 6"            | Fair        | Remove                     |

All Shrubs/Vegetation Not Shown On This Schedule Are To Be Removed.



NOTES:  
 Specific location of transplanted material at each proposed transplant location to be determined by City of Key West Urban Forester.  
 Tree #1 Swietenia mahagoni scheduled to remain may pose risks due to age, condition and location. The City of Key West must obtain the advice of an International Society of Arboriculture Certified Arborist regarding the condition of the tree and tree care that may be needed to mitigate risks prior to construction commencing.

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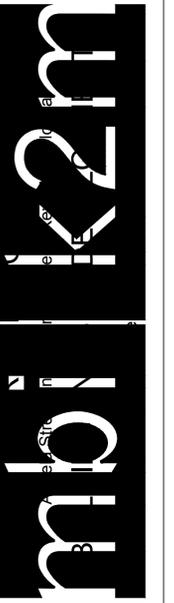
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Submissions:

2012.05.09 HARC Submission



Drawing Size | Project #:  
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 EN / JV | EN

Title:  
 EXISTING TREE  
 DISPOSITION PLAN

Sheet Number:

**L-1.0**

Date: June 25, 2012

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- Trees to be relocated shall be root pruned a minimum of eight weeks prior to transplanting. Landscape Contractor shall maintain transplanted materials during transplanting procedure by watering, weeding, mowing, spraying, fertilizing, pruning and other horticultural practices.
- Landscape Contractor is responsible for verifying locations of all underground and overhead utilities and easements prior to commencing work. All Utility companies and/or the General Contractor shall be notified by Landscape Contractor to verify utility locations prior to digging. General Contractor is responsible for coordinating utility trenching with the landscape plan prior to beginning of project. The Owner or Landscape Architect shall not be responsible for damage to utility or irrigation lines.
- The Landscape Contractor shall comply with all local and State codes and shall be responsible for obtaining all applicable permits.
- Landscape Architect will inspect the relocated materials to ensure compliance with horticultural practices as noted. Landscape Architect will submit a written report to Landscape Contractor of any deficiencies found during the maintenance period.
- The Landscape Contractor is responsible for guaranteeing the transplanted trees for a period of one year. At the time of final inspection all transplanted trees that are not in a healthy growing condition they shall be replaced by the Landscape Contractor.
- Root Pruning and Transplanting Operations: The Landscape Contractor shall take all precautions to minimize shock of root pruning and transplanting in accordance with standard arboriculture procedures including:
  - The diameter of the root-pruning or transplanting circle shall be at a distance away from the trunk equal to 12" times each inch of trunk diameter at breast height.
  - All roots small shall be cleanly cut with a sharp spade, a clean saw or chainsaw depending on the size of the root.
  - The canopy of the tree shall be thinned to compensate for the root loss, still leaving the entire shape of the canopy intact. The thinning shall be as per the ANSI A-300 Standards.
  - After root pruning trees, backfill roots to original existing grade with a soil mixture consisting of 50% existing soil and 50% mulch.
  - Provide a minimum of 3" mulch over backfill area to prevent weed growth, conserve moisture and prevent evaporation.
  - Install tree bracing as per Planting Detail 10 / L-1.1 to ensure stability of tree during time period prior to transplanting.
  - If General Contractor commences site building demolition prior to the completion of the root pruning period the Landscape Contractor is responsible for providing tree protection as per Tree Protection Detail 05 / L-1.1 to ensure that the tree or root system is not damaged during the root-pruning period.
  - After root pruning, during root regeneration period trees shall be watered 3 times per week.
  - Immediately prior to transplanting the branches of the tree up to avoid damage during transplanting.
  - The root ball shall be wrapped with burlap to protect the soil around the roots and protect the roots from drying out prior to moving from the hole.
  - Finish cutting of root ball for transplanting.
  - Transplanting must occur within 24 hours after being dug for relocation. Plants should be kept in shade and the canopy kept moist.
  - Digging and preparation of the new hole for the transplant shall be done prior to removing the tree from the existing location.
  - The depth of the new hole shall be equal to the depth of the root ball and the width shall be equal to twice the width of the root ball.
  - Trees shall be filled from the ground with heavy equipment designed specifically for tree relocation so that the trunk and crown is not impacted and damaged by the equipment.
  - The slings used to lift the trees shall be non-binding nylon type slings that are wrapped under the root ball to support the weight of tree. Slings shall not be solely wrapped around the trunk of the tree that can cause damage, girding and result in decline and death of the tree.
  - The tree shall be planted slightly higher than their original planting level prior to relocation. The tree shall be centrally positioned in the planting hole and set straight, plumb or normal to the growth pattern prior to transplanting.
  - The tree shall be backfilled according to Planting Detail 10 / L-1.1 with a soil mix consisting of 50% freshwater sand and 50% in-laid muck. The palm shall be backfilled according to the Planting Detail with a soil mix consisting of 70% freshwater sand and 30% in-laid muck.
  - The Landscape Contractor is responsible for providing water to deep root water trees at installation to eliminate air pockets in the backfill mix prior to mulching.
  - A 3" saucer shall be created around the edge of the plant pit to help hold water.
  - Provide a minimum of 3" layer of mulch over saucer and backfill area outside saucer to prevent the weed growth, conserve moisture, and prevent evaporation.
  - Over the guarantee period the Landscape Contractor is responsible for resetting any trees that are not vertical when caused by winds less than 75 MPH.
  - After the transplanted trees are in their final location the City of Key West will be responsible for obtaining water and watering to maintain soil moisture during the guarantee period at a minimum of:
    - First Month- Daily, Second Month- 3 Times Per Week, Third and Fourth Month 2 Times Per Week; Last Eight Months- 1 Time Per Week. At each irrigation procedure apply 2-3 gallons of water per inch of trunk caliper to the top of the root ball.

**01 TREE TRANSPLANTING NOTES**  
 SCALE: N.T.S.

**GENERAL NOTES**

- Landscape Contractor is responsible for verifying locations of all underground and overhead utilities and easements prior to commencing work. All Utility companies and/or the General Contractor shall be notified to verify utility locations prior to commencing work. The Owner, Architect or Landscape Architect shall not be responsible for damage to utility or irrigation lines.
- Landscape Contractor shall examine the site and become familiar with conditions affecting the installation prior to submitting bids. Failure to do so shall not be considered cause for future extras or complaints.
- Landscape Contractor is responsible for verifying all plant quantities prior to bidding and within (7) seven calendar days of receipt of these plans shall notify the Landscape Architect in writing of any and all discrepancies. In cases of discrepancies, the Landscape Contractor shall take over the plant quantities.
- No substitutions are to be made without prior consent of the Landscape Architect. Plant material supply is the responsibility of the Landscape Contractor, and he/she shall take steps to insure availability at time of planting.
- All plant material shall meet or exceed the size on the plant list. In all cases meeting the height and the spread specifications shall take precedence over container size.
- The Landscape Contractor is responsible for coordinating root pruning and tree and palm removals and transplants shown on the Tree Disposition Plan. The Landscape Contractor is to remove and discard from site existing unwanted trees, palms, shrubs, groundcovers, sod and weeds within landscape areas.
- Landscape Contractor to provide finish grade in plant beds 3" lower than finish elevation of hardscape elements to accommodate 3" layer of mulch. Hardscape elements include roads, driveways, curbs, sidewalks and planters.

**PLANTING NOTES**

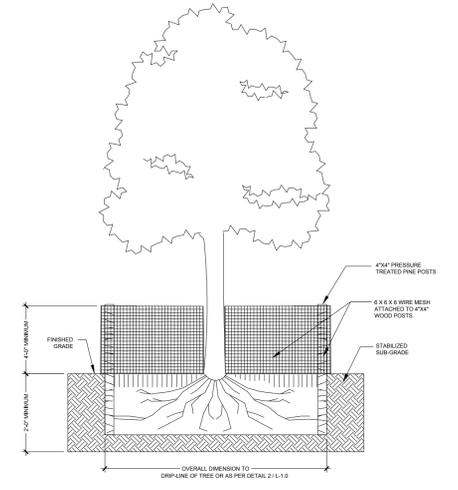
- Landscape Contractor shall furnish and install all trees, palms, shrubs, groundcover, sod, planting soil, fertilizer, herbicide, preemergence herbicide, seed, and mulch.
- Landscape Contractor shall guarantee all plant material for a period of one year from the day of final acceptance by the Landscape Architect.
- All plant material shall be Florida #1 or better, as defined in the Grades and Standards for Nursery Plants, Part I and II by the State of Florida Department of Agriculture.
- Landscape Contractor is responsible for scheduling a nursery visit for the Landscape Architect to approve all trees, palms and shrubs prior to delivery to the project site.
- Landscape Contractor shall coordinate work with that of the Irrigation and Landscape Lighting Contractor.
- The Landscape Contractor shall treat new plant areas with preemergence herbicide after weeds and grass have been removed. Landscape Contractor shall wait (7) seven days after preemergence treatment prior to planting.
- Planting soil shall be a mix of 30% in-laid muck and 70% freshwater sand. Planting soil mix/backfill shall be clean and free of construction debris, weeds, rock and noxious pests and disease.
- All soil mix in plant beds for groundcovers, shrubs, palms and trees shall be as per details.
- All planting areas and planting pits shall be tested for sufficient percolation prior to final planting and irrigation installation to ensure proper drainage. Plant beds in parking lots and in areas compacted by heavy equipment shall be de-compacted so that drainage is not impeded.
- All synthetic burlap, string, cords or wire baskets shall be removed before trees are planted. All synthetic tape shall be removed from branches and trunks prior to final acceptance. The top 1/3 of the burlap shall be removed or tucked into the plant pit before the trees are backfilled.
- Landscape Contractor is responsible for mulching all plant beds and planters with a minimum 3" layer of natural color Eucalyptus or Enviro-mulch immediately after planting. In no case shall Cypress mulch be used.
- All Trees/Palms in sod areas are to receive a mulched saucer with width of the plant pit.
- Landscape Contractor shall guy and stake all trees and palms as per specifications and details. No paint shall be applied to any surface of trees or palms. No nails, screws or wiring shall penetrate the outer surface of trees and palms. All guying and staking shall be removed twelve months after planting.
- All palm and tree guy wires and bracing are to be flagged for visibility, for their duration. All unattended and unplanted tree pits shall be properly barricaded and flagged during construction.
- All broken branches and clear trunk branches are to be pruned according to ANSI A-300 Guidelines for Tree Pruning to trim 5' or height clearance to the base of canopy.
- Landscape Contractor to provide all plants with fertilizer 30 days after installation. Fertilizer shall comply with state fertilizer laws. It shall have a chemical designation as indicated for each type of plant: Palms: 12-4-12 N-P-K, Slow Release Palm Special with micronutrients. Shrubs, Groundcover and Trees: 6-6-6 N-P-K with micronutrients.

**02 GENERAL PLANTING NOTES**  
 SCALE: N.T.S.

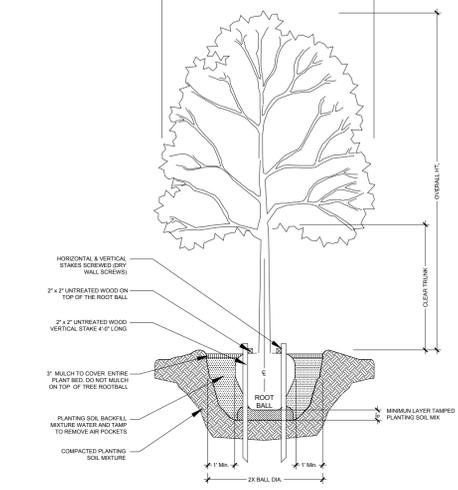
**03 PALM TRANSPLANTING NOTES**  
 SCALE: N.T.S.

- Before beginning work, the General Contractor is required to meet at the site with the Landscape Architect and the City of Key West Urban Forestry Program Manager to review all work procedures, access routes, storage areas, and tree protection measures.
- The General Contractor is required to coordinate with the Landscape Architect and the City of Key West Urban Forestry Program Manager to determine the amount of tree canopy that the General Contractor will be responsible for during the project.
- The General Contractor shall erect fences to protect trees to be preserved as per Tree Protection Detail 05/L-1.1 and Tree Disposition Plan L-1.0. Fences define a specific protection zone for each tree or group of trees to be protected. Fences are to remain until all site work has been completed. Fences may not be relocated or removed without the written permission of the Landscape Architect or the City of Key West Urban Forestry Manager.
- Construction trailers, traffic and storage areas must remain outside fenced areas at all times.
- All underground utilities and drain or irrigation lines shall be routed outside the tree protection zone. If lines must traverse the protection area, they shall be tunneled or bored under the tree.
- No construction materials, equipment, spoil, or waste or washout water may be deposited, stored, or parked within the tree protection zone (fenced area).
- Additional tree pruning required for clearance during construction shall be trimmed as per ANSI A-300 Standards and not by construction personnel.
- Any herbicides placed under paving materials must be safe for use around trees and labeled for that use. Any pesticides used on site must be tree-safe and not easily transported by water.
- If injury should occur to any tree during construction, the General Contractor is responsible for notifying the Landscape Architect and City of Key West Urban Forestry Program Manager as soon as possible for evaluation so that appropriate treatments can be applied.
- The General Contractor shall notify the Landscape Architect and the City of Key West Urban Forestry Program Manager of any grading, construction, demolition, or other work that is expected to encounter tree roots.
- All trees to remain on site shall be irrigated three times a week for the duration of construction. At each irrigation procedure shall apply to the soil area within the tree protection zone 2-3 gallons of water per inch of trunk caliper.
- Erosion control devices such as silt fencing, debris basins, and water diversion structures shall be installed to prevent siltation and/or erosion within the tree protection zone.
- Before grading, pad preparation, or excavation for foundations, footings, walls, or trenching near trees the trees shall be root pruned 12 inches outside the tree protection zone by cutting all roots cleanly to a depth of 30 inches. Roots shall be cut manually by digging a trench and cutting exposed roots with a saw, vibrating knife, rock saw, narrow trencher with sharp blades, or other approved root-pruning equipment.
- Any roots damaged during grading or construction shall be exposed to sound tissue and cut cleanly with a saw.
- If temporary haul or access roads must pass over the root area of trees to be retained, a road bed of 6 inches of mulch or gravel shall be created to protect the soil. The road bed material shall be replenished as necessary to maintain a 6-inch depth.
- Spill from trenches, basements, or other excavations shall not be placed within the tree protection zone, either temporarily or permanently.
- No burn piles or debris pits shall be placed within the tree protection zone. No ashes, debris, or garbage may be dumped or buried within the tree protection zone.
- Maintain tree safe areas around fenced areas. Also, no heat sources, flames, ignition sources, or smoking is allowed near mulch or trees.

**04 TREE PROTECTION NOTES**  
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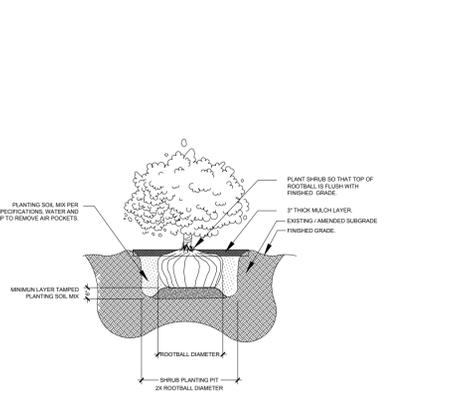


**05 TREE PROTECTION DETAIL**  
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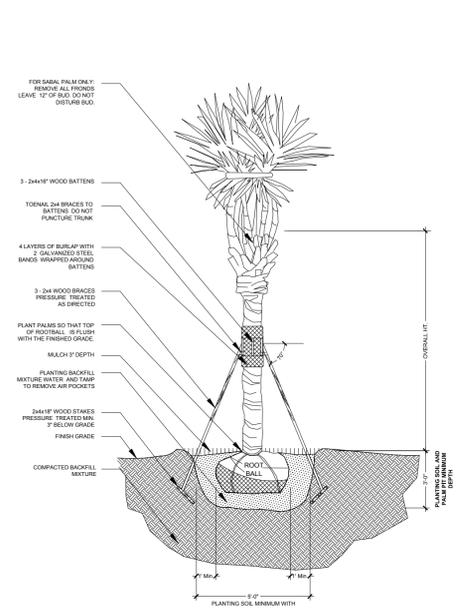


**06 TREE PLANTING DETAIL ON SITE**  
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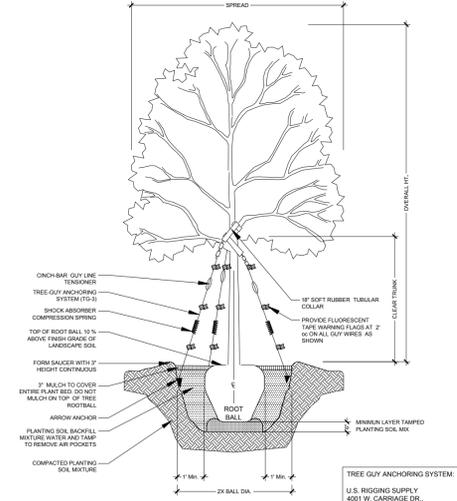
**07 SHRUB PLANTING DETAIL**  
 SCALE: N.T.S.



**08 SHRUB PLANTING DETAIL**  
 SCALE: N.T.S.



**09 PALM TRANSPLANTING DETAIL OFFSITE**  
 SCALE: N.T.S.



**10 TREE TRANSPLANTING DETAIL OFFSITE**  
 SCALE: N.T.S.

**11 VINE PLANTING DETAIL**  
 SCALE: N.T.S.

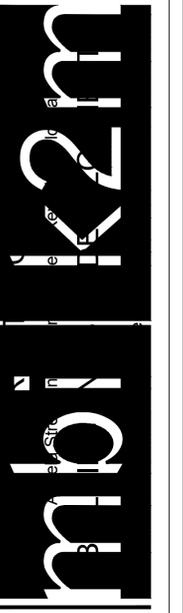


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Submissions:  
 2012.05.09 HARC Submission



Drawing Size: Project #:  
 MK-12060

Drawn By: Checked By:  
 EN / JV EN

Title:  
 TRANSPLANTING & PLANTING NOTES & DETAILS

Sheet Number:

**L-1.1**

Date: June 25, 2012

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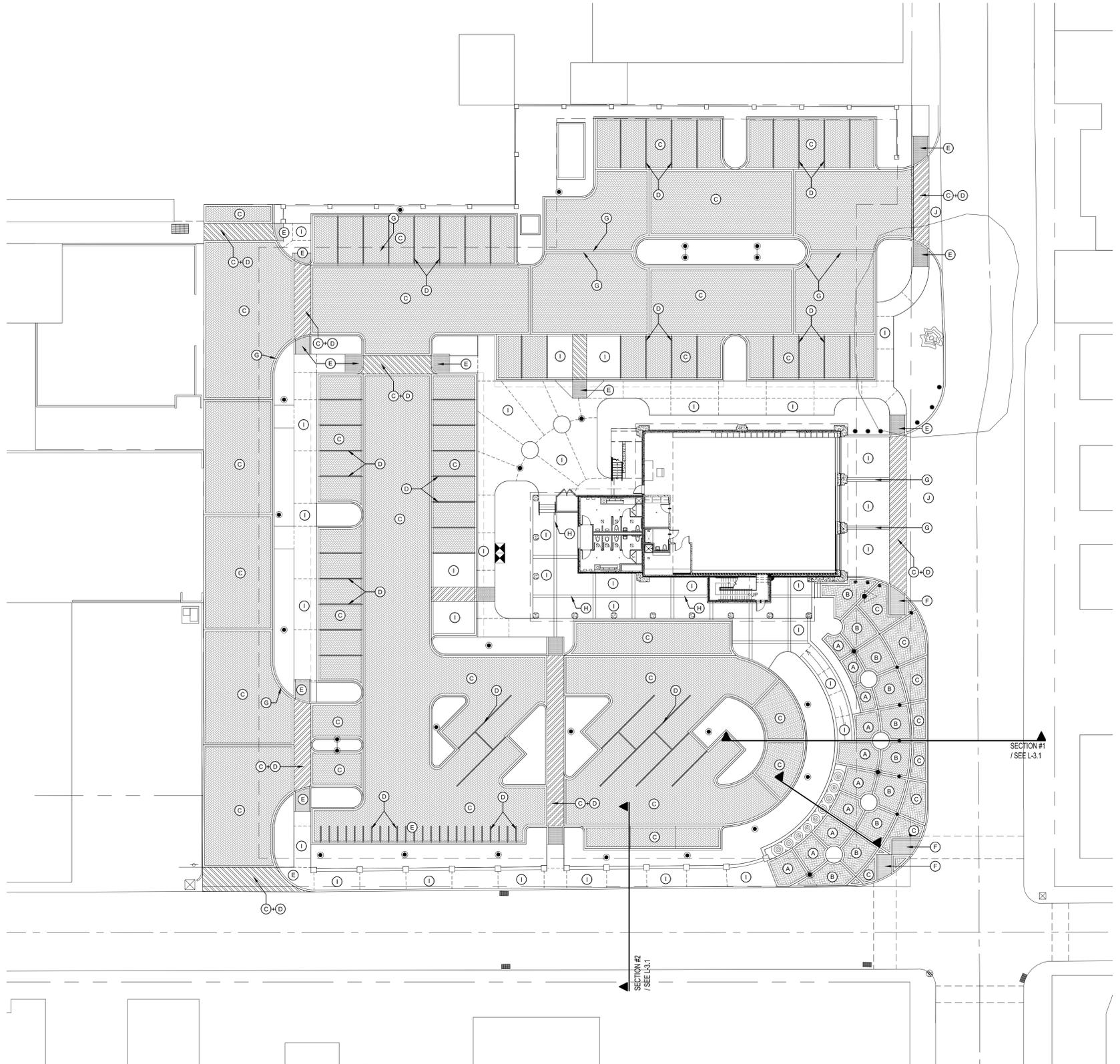


| PAVING MATERIAL SCHEDULE |   |  |
|--------------------------|---|--|
| SYMBOL                   | SPECIFICATION   | CONTACT  |
| A                        | 4" x 8" x 31/8" CONCRETE PAVER / COLOR: LIGHT / 45 DEGREE HERRINGBONE WITH CONTINUOUS 4" x 8" x 31/8" CONCRETE PAVER / COLOR: LIGHT IN SINGLE SOLDIER COURSE BORDER   | Tremron Group<br>11321 NW 112th Court<br>MEDLEY, FL 33178<br><br>Phone: (305) 825-9000<br>Fax: (305) 823-8614<br>Leo Salcedo - Manufacturers Representative<br>Phone: (305) 481-1788 |
| B                        | 4" x 8" x 31/8" CONCRETE PAVER / COLOR: MEDIUM / 45 DEGREE HERRINGBONE WITH CONTINUOUS 4" x 8" x 31/8" CONCRETE PAVER / COLOR: MEDIUM IN SINGLE SOLDIER COURSE BORDER |  |
| C                        | 4" x 8" x 31/8" CONCRETE PAVER / COLOR: DARK / 45 DEGREE HERRINGBONE WITH CONTINUOUS 4" x 8" x 31/8" CONCRETE PAVER / COLOR: DARK IN SINGLE SOLDIER COURSE BORDER     |  |
| D                        | 4" x 8" x 31/8" CONCRETE PAVER / COLOR: WHITE /   |  |
| E                        | 4" x 8" x 31/8" CONCRETE PAVER / COLOR: DARK / TRUNCATED DOME FOR TACTILE SURFACE AT PEDESTRIAN INTERSECTION.   |  |
| F                        | 4" x 8" x 31/8" CONCRETE PAVER / COLOR: LIGHT / TRUNCATED DOME FOR TACTILE SURFACE AT PEDESTRIAN INTERSECTION.  | KEYS GRANITE<br>8788 NW 27TH AVENUE<br>MIAMI FLORIDA 33172<br>Phone: (305) 477 7363<br>Fax: 305 477 9567<br>sales@keysgranite.com  |
| G                        | 4" x 8" x 31/8" CONCRETE PAVER / COLOR: DARK IN SINGLE SOLDIER COURSE   |  |
| H                        | 12" x 36" X ??? GRANITE PAVER STACKED/ COLOR: BLACK DIAMOND / FINISH: THERMAL / MATCH BUILDING VERNEER BASE.  |  |
| I                        | CONCRETE. COLOR: NATURAL GRAY. FINISH: LIGHT BROOM AND ROCK SALT. ROCK SALT NOT TO EXCEED 1/4" DIAMETER.  |  |
| J                        | ASPHALT   |  |

NOTE: FOR MATERIAL, COLOR AND AESTHETIC SELECTION ONLY. SEE CIVIL ENGINEERING AND ARCHITECTURAL PLANS FOR INSTALLATION DETAILS AND DIMENSIONING.

- LEGEND:
- CONCRETE BOLLARD
  - ⊙ POLE LIGHT
  - ⊙ DOUBLE POLE LIGHT
  - ⊙ PARKING PAY STATION
  - ⊙ PARKING SIGNAGE

NOTE:  
SEE ARCHITECTURAL AND ELECTRICAL ENGINEERING PLANS FOR DETAILS.



**01**  
**L-2.0**  
**SITE PLAN**  
SCALE: 1" = 20'-0"



BAR IS TWO INCHES ON ORIGINAL DRAWINGS IF NOT TWO INCHES ON THIS SHEET. ADJUST SCALES ACCORDINGLY.

Seal:

Consultants:

LANDSCAPE ARCHITECT  
Elizabeth Newland  
Landscape Architecture, LLC  
3225 Florida Dr. Suite 300  
Coral Gables, Florida 33134  
305 481 6201  
liznewland@bellsouth.net

Submissions:

2012.05.09 HARC Submission

**FIRE STATION #2**  
Angela Street and Simonton Street, Key West, Florida  
**BUILDING AND SITE DEVELOPMENT**  
FOR  
City of Key West, 3132 Flagler Avenue, Key West, Florida 33040

PLOTTED: 7/10/2012 11:04 PM

Drawing Size: 24x36 | Project #: MK-12060  
Drawn By: EN-JV | Checked By: EN

Title:  
**PAVING PLAN**

Sheet Number:

**L-4.0**

Date: June 25, 2012  
©2012 by mbi | k2m Architecture, Inc.

Seal:

Consultants:

LANDSCAPE ARCHITECT  
Elizabeth Newland  
Landscape Architecture, LLC  
3225 Florida Dr. Leon Blvd., Suite 300  
Coral Gables, Florida 33134  
305.481.6201  
lnewland@ellsouth.net

Submissions:

2012.05.09 HARC Submission

**FIRE STATION #2**  
Angela Street and Simonton Street, Key West, Florida  
**BUILDING AND SITE DEVELOPMENT**  
FOR  
City of Key West, 3132 Flagler Avenue, Key West, Florida 33040

PLOTTED: 7/10/2012 11:05 PM

Drawing Size: 24x36 Project #: MK-12060  
Drawn By: EN-JV Checked By: EN

Title:  
**SITE FURNITURE PLAN**

Sheet Number:

**L-5.0**

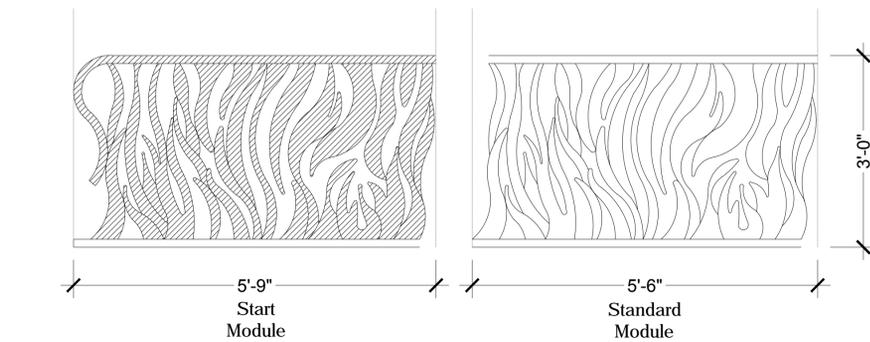
Date: June 25, 2012

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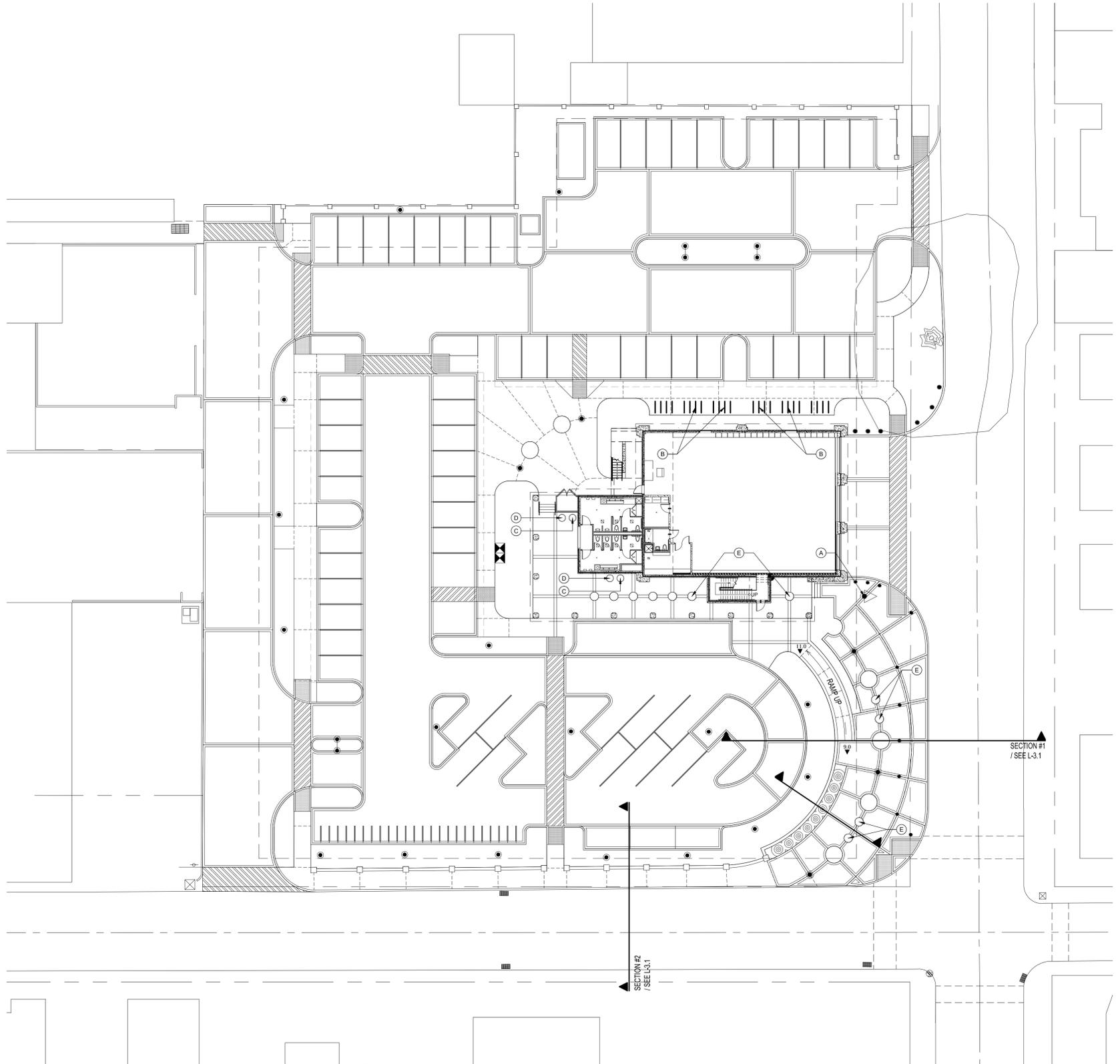
| SITE FURNITURE SCHEDULE |          |                           |  |  |
|-------------------------|----------|---------------------------|--|--|
| SYMBOL                  | QUANTITY | TYPE                      | SPECIFICATION  | CONTACT  |
| A                       | 1        | FLAG POLE                 | HALYARD FLAGPOLE 30'-0" INTERNAL / STAINLESS STEEL CONE-TAPERED / SATIN FINISH / SEE ARCHITECTURAL PLANS FOR CONSTRUCTION DETAILS  | THE BAARTOL COMPANY<br>901 W. FRANKLIN ST.<br>P.O. BOX 670 / KENTON, OHIO<br>TEL. 800.537.4143 FAX. 419.673.1409 |
| B                       | 6        | BIKE RACK CONFIGURATION C | CAST STAINLESS STEEL / CAST-IN-PLACE / COMBINATION OF 1-SKGAR-162, 2-SKGAR-208, 2-SKGAR-254, 2-SKGAR-300, 2-SKGAR-344, 1-SKGAR-391 / ALUMINUM FINISH   | FORMS+SURFACES<br>TEL. 1.800.451.0410<br>FAX. 412.781.7840<br>www.forms-surfaces.com                             |
| C                       | 2        | LITTER RECEPTACLE         | 36 GALLON ROUND SIDE OPENING / STAINLESS STEEL FINISH / LITTER RECEPTACLE WITH DOME LID / SLUNI-36 SOD / SATIN TEXTURE / SURFACE MOUNT TO SUBSTRATE / UPGRADES: SATIN FINISH STAINLESS STEEL LID, SINGLE LINER WITH DRAIN HOLES AND TETHER CHAIN FOR LID |  |
| D                       | 2        | RECYCLING RECEPTACLE      | 36 GALLON ROUND BOTTLE & CAN RECYCLER / STAINLESS STEEL FINISH WITH DOME LID / SLUNI-36 RBD / SATIN TEXTURE / SURFACE MOUNT TO SUBSTRATE / UPGRADES: SATIN FINISH STAINLESS STEEL LID, SINGLE LINER WITH DRAIN HOLES AND TETHER CHAIN FOR LID            | DOTY & SONS CONCRETE INC.<br>1275 EAST STATE STREET<br>SYCAMORE, IL 60178<br>TEL. 1800.233.3907 / 815.895.2884   |
| E                       | 14       | BENCH                     | ROUND CONCRETE CAMPUS BENCH / B57436 36" DIA X 18" TALL / SB FINISHES (SANDBLAST) COLOR: C2 / SEALER: ACR3 SEMI-GLOSS  |  |
| F                       | 16       | BOLLARD                   | DOME TOP ROUND CONCRETE BOLLARD / B12300 12" DIA X 30" TALL / SB FINISHES (SANDBLAST) COLOR: C2 / SEALER: ACR3 SEMI-GLOSS  |  |

- LEGEND:**
- CONCRETE BOLLARD
  - POLE LIGHT
  - DOUBLE POLE LIGHT
  - ⊠ PARKING PAY STATION
  - ▬ PARKING SIGNAGE

**NOTE:**  
SEE ARCHITECTURAL AND ELECTRICAL ENGINEERING PLANS FOR DETAILS.



**01 L-2.0 FLAME HANDRAIL CONCEPT**  
SCALE: 3/4" = 1'-0"



**01 L-2.0 SITE PLAN**  
SCALE: 1" = 20'-0"



BAR IS TWO INCHES ON ORIGINAL DRAWINGS IF NOT TWO INCHES ON THIS SHEET. ADJUST SCALES ACCORDINGLY.



## DOME TOP BOLLARD

**ITEM NUMBER**

B1230D

**DETAIL**

Diameter: 12"

Height: 30"

**WEIGHT**

135 lbs

**FINISH SHOWN**

Special Finish - SB2

**FINISHES AVAILABLE**

Standard Finishes: EX1, EX2, SB1 or SB7

All EX and SB available.

[RETURN TO PRODUCTS PAGE](#)

FOR MORE INFORMATION PLEASE CALL US TOLL FREE AT 800.233.3907



## BENCHES



### ROUND CAMPUS BENCH

| ITEM NUMBER | SIZE            | WEIGHT   |
|-------------|-----------------|----------|
| B5718       | 18" Dia x 18" H | 180 lbs  |
| B5726       | 26" Dia x 17" H | 330 lbs  |
| B5736       | 36" Dia x 18" H | 827 lbs  |
| B5742       | 42" Dia x 18" H | 940 lbs  |
| B5748       | 48" Dia x 18" H | 1125 lbs |

#### FINISH SHOWN

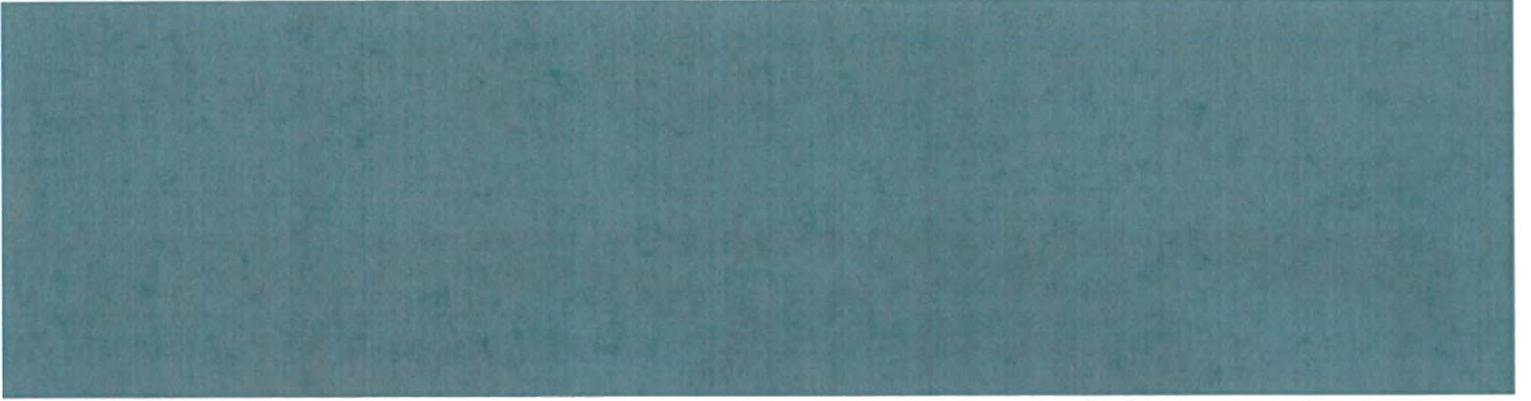
French Gray Charcoal & EX1 (Exposed Aggregate Tan Blend Pea Gravel)

#### FINISHES AVAILABLE

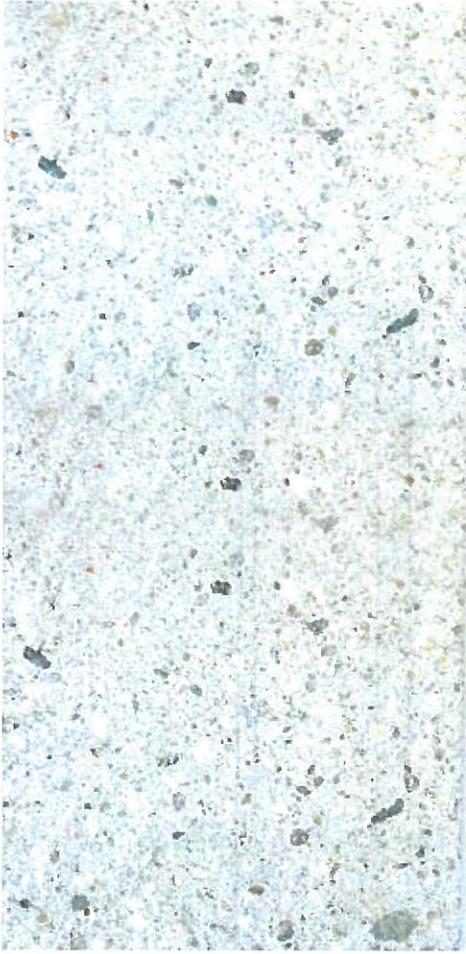
EX Finishes (Exposed Aggregate)  
SB Finishes (Sandblast)

[RETURN TO PRODUCTS PAGE](#)

FOR MORE INFORMATION PLEASE CALL US TOLL FREE AT 800.233.3907



C2 (Light Sandblast, Limestone Color)





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## Commercial Grade Flagpoles



\*Adobe Acrobat is required to view specs.

### Stainless Steel Cone-Tapered Flagpole

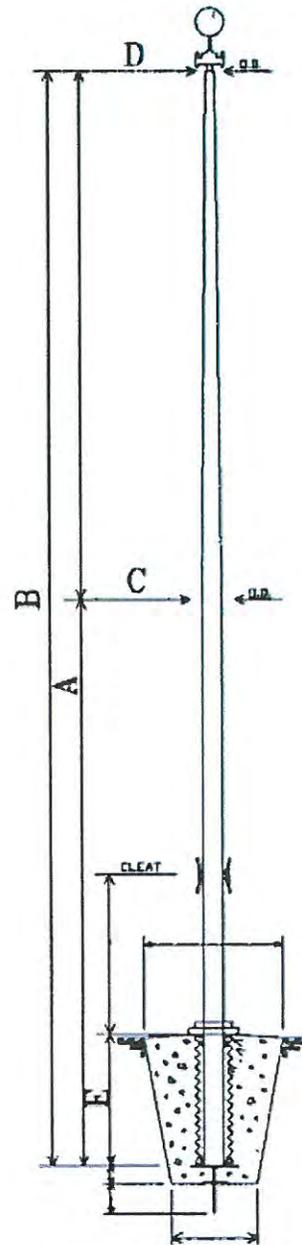
[Download Spec Sheet](#) | [Request a Quote for this Product](#)

Standard Baartol Fittings:

- Stainless steel ball (sized to match pole butt diameter)
- Double all stainless steel revolving truck
- 2 - 3/8 " braided polypropylene halyards with wire splicers
- 4 - chrome plated swivel snaps with vinyl snap covers
- 2 - 9" cast stainless steel cleats with screws
- 1 - 14-1/2" cast stainless steel flash collar (4" - 6-5/8" butt diameter flag pole) 20" fabricated stainless steel flash collar (8-5/8" and larger butt diameter flagpole)
- 1 - corrugated steel foundation tube

Options Available:

- Wingspread eagle finial top (in Lieu of ball)
- Ornamental flash collar
- Internal halyard (winch operated)
- Fabricated stainless steel cleat box (padlock style)
- Finishes:
  - #4 satin polished finish
  - #7 satin polished finish



Baartol Company  
 901 W. Franklin St.  
 P.O. Box 670  
 Kenton, Ohio  
 Tel. 419-673-0758  
 Toll Free. 800-537-4143  
 Fax: 419-673-1409

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**BIKE GARDEN™ BIKE RACK**

PRODUCT DATA



**FORMS+SURFACES®**



# BIKE GARDEN™ BIKE RACK

PRODUCT DATA

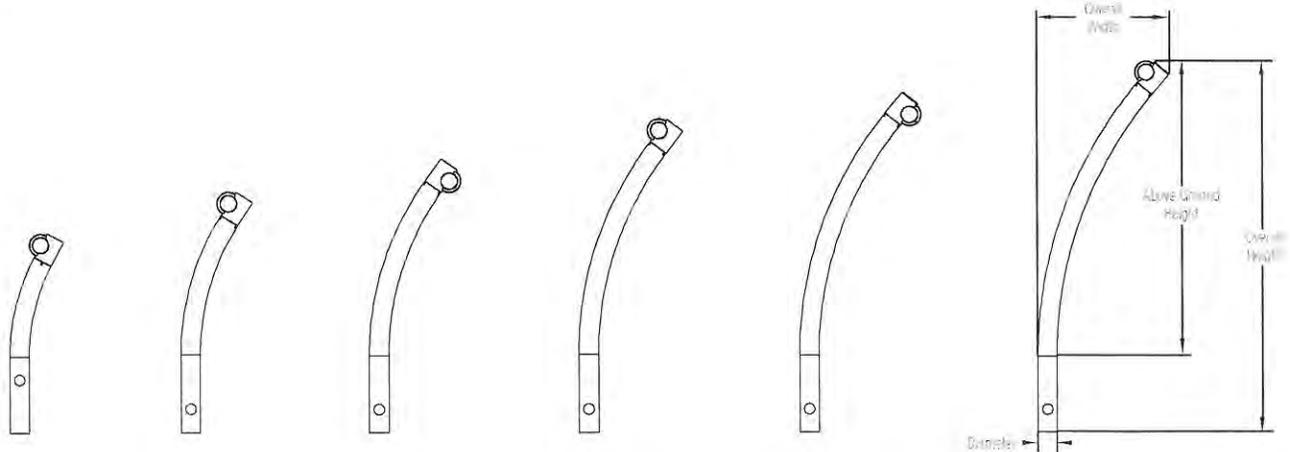
Inspired by organic forms, the **Bike Garden** provides a truly unique solution to the increasing challenges of bike parking and security. Its "stems" can be arranged in a wide variety of configurations to creatively accommodate almost any setting and provide riders with the added assurance of multiple locking points to secure the frame and wheels. Constructed entirely of rugged, corrosion-resistant stainless steel, Bike Garden's stems can be surface mounted or cast in place and may be purchased individually for maximum arrangement flexibility or in pre-configured layouts.

## MATERIALS & FINISHES

## INSTALLATION & MAINTENANCE

| MATERIALS  | FINISH   | INSTALLATION  | MAINTENANCE  |
|--|--|---|--|
| <ul style="list-style-type: none"> <li>Constructed entirely of corrosion-resistant stainless steel.</li> <li>Head and optional surface mount foot are cast stainless steel; body is stainless steel tubing.</li> </ul> | <ul style="list-style-type: none"> <li>Available in stainless steel with a radial Satin finish or powdercoated.</li> <li>Standard powdercoat colors are Aluminum Texture and Slate Texture; optional colors from the F+S color chart and custom RAL colors are available for an upcharge.</li> <li>Due to the inherent nature of metal castings, gloss powdercoats are not offered for cast components.</li> </ul> | <ul style="list-style-type: none"> <li>Bike Garden can be cast in place or surface mounted. Anchors and stainless steel screws are included for surface mount.</li> </ul> | <ul style="list-style-type: none"> <li>Metal surfaces can be cleaned as needed using a soft cloth or brush with warm water and a mild detergent. Avoid abrasive cleaners.</li> </ul> |

## NOMINAL DIMENSIONS (Cast in place)



| MODEL         | ABOVE GROUND HEIGHT | OVERALL HEIGHT   | OVERALL WIDTH  | DIAMETER       | WEIGHT            |
|---------------|---------------------|------------------|----------------|----------------|-------------------|
| SKGAR-162-CIP | 16.2" (411 mm)      | 26.2" (665 mm)   | 7.1" (180 mm)  | 2.5" (63.5 mm) | 8.6 lbs (3.9 kg)  |
| SKGAR-208-CIP | 20.8" (528 mm)      | 30.8" (782 mm)   | 9.2" (234 mm)  | 2.5" (63.5 mm) | 9.8 lbs (4.4 kg)  |
| SKGAR-254-CIP | 25.3" (643 mm)      | 35.3" (897 mm)   | 11.8" (300 mm) | 2.5" (63.5 mm) | 11.3 lbs (5.1 kg) |
| SKGAR-300-CIP | 29.9" (759 mm)      | 39.9" (1,013 mm) | 13.3" (338 mm) | 2.5" (63.5 mm) | 12.7 lbs (5.8 kg) |
| SKGAR-344-CIP | 34.4" (874 mm)      | 44.4" (1,128 mm) | 15.8" (401 mm) | 2.5" (63.5 mm) | 14.1 lbs (6.4 kg) |
| SKGAR-391-CIP | 39.1" (993 mm)      | 49.1" (1,247 mm) | 17.3" (439 mm) | 2.5" (63.5 mm) | 15.4 lbs (7.0 kg) |







# BIKE GARDEN<sup>SM</sup> BIKE RACK

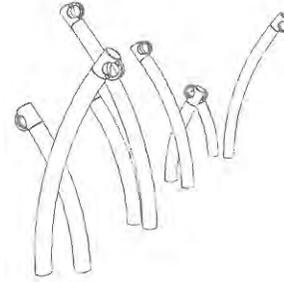
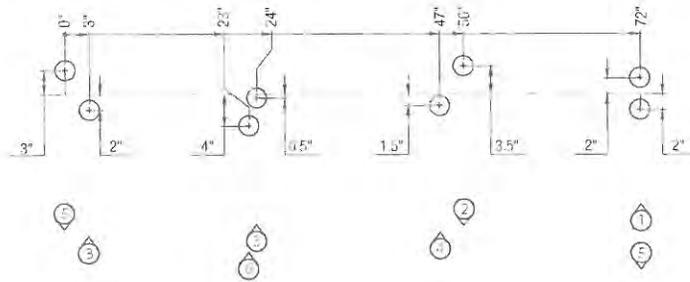


PRODUCT DATA

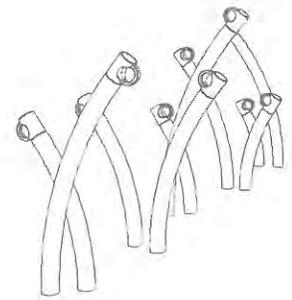
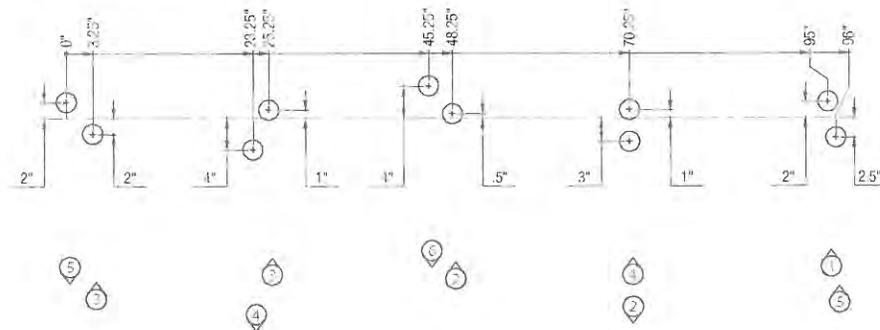
NOTE: Arrows point in the direction of the curve; numbers represent the specific models to the right.

- 1 = SKGAR-162    4 = SKGAR-300
- 2 = SKGAR-208    5 = SKGAR-344
- 3 = SKGAR-254    6 = SKGAR-391

## CONFIGURATION B



## CONFIGURATION C



## ENVIRONMENTAL CONSIDERATIONS

- Please refer to the Bike Garden Bike Rack Environmental Data Sheets for detailed environmental impact information.
- Bike Garden metal components are up to 76% recycled content and are fully recyclable.
- Standard powdercoat finishes are no-VOC; non-standard powdercoat finishes are no- or low-VOC, depending on color.
- Low maintenance.

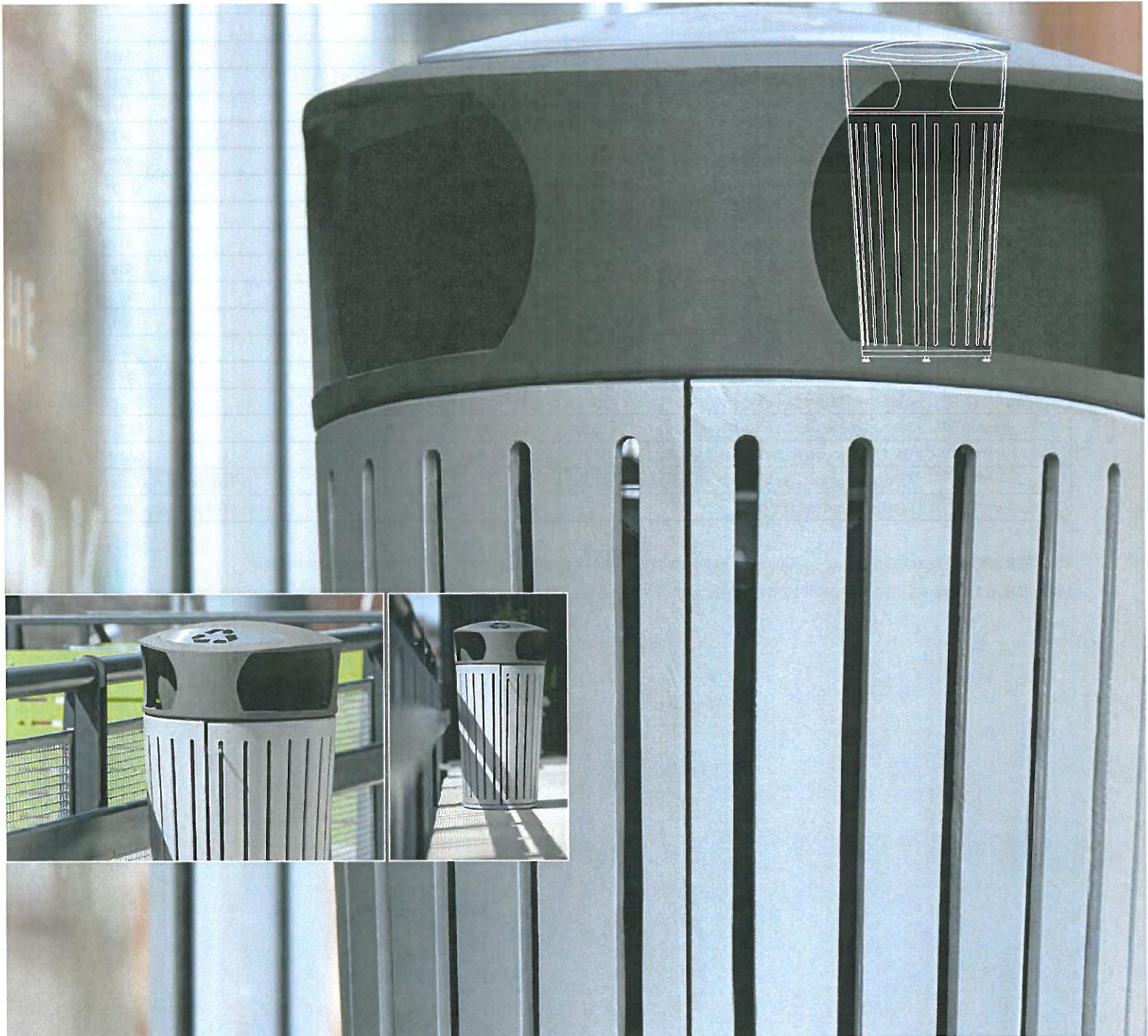






**DISPATCH™** LITTER & RECYCLING RECEPTACLE

PRODUCT DATA





# DISPATCH™ LITTER & RECYCLING RECEPTACLE



PRODUCT DATA

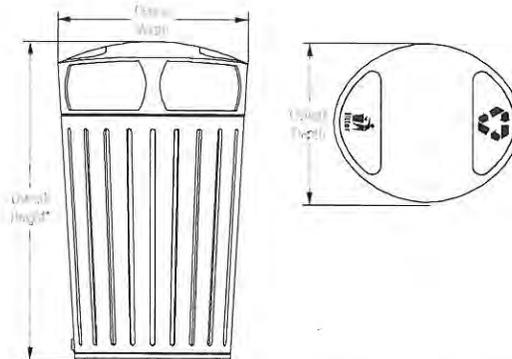
Dispatch combines distinctive design, robust materials and a versatile array of waste stream management options. Receptacles are made of heavy cast aluminum with a hinged side-access door for easy servicing. Available with 36 and 45 gallon capacities in single-stream and split-stream versions, openings can be configured for litter-only, bottles & cans-only, paper-only or for combined litter and recycling. Attractive, durable and highly adaptable, Dispatch is an ideal litter and recycling solution for any public space.

## MATERIAL & CONSTRUCTION DETAILS

## INSTALLATION & MAINTENANCE

| BODY AND LID  | CONFIGURATION OPTIONS   | LID GRAPHICS  | INSTALLATION  |
|---|---|---|---|
| <ul style="list-style-type: none"> <li>Body and lid are made of solid cast aluminum with a powdercoat finish.</li> <li>Standard powdercoat colors are Aluminum Texture and Slate Texture; F+S optional colors and custom RAL colors are available for an upcharge.</li> <li>Due to the inherent nature of metal castings, gloss powdercoats are not offered for cast components.</li> </ul> | <ul style="list-style-type: none"> <li>Receptacles are available in 36 and 45 gallon configurations.</li> <li>Single-stream receptacles use a single 36 or 45 gallon liner.</li> <li>Split-stream configurations are divided by an internal baffle plate to create two separate litter and/or recycling streams. 36 gallon receptacles use two 16 gallon half liners; 45 gallon receptacles use two 20 gallon half liners.</li> </ul> | <ul style="list-style-type: none"> <li>Instructional graphics are applied to two sign plates, which are mechanically fastened to the top of each lid.</li> <li>Sign plates are stainless steel with a Satin finish; instructional graphics are Black vinyl.</li> </ul>                      | <ul style="list-style-type: none"> <li>Receptacles can be used freestanding with a concrete base or surface mounted with or without a concrete base.</li> <li>Anchors and stainless steel mounting screws are provided for surface mounting.</li> </ul> |
| RECYCLING OPENINGS  | SIDE ACCESS DOOR AND LATCH  | LINERS  | MAINTENANCE   |
| <ul style="list-style-type: none"> <li>Openings can be limited to a particular type of recyclable. Along with the standard full litter opening, round bottles &amp; cans and slotted paper openings are available. See details on page 2.</li> </ul>  | <ul style="list-style-type: none"> <li>Receptacle opens in a clamshell fashion with half of the cast body serving as a swing-out door.</li> <li>Two stainless steel latch options are available: lift lever or screwdriver-operated recessed access.</li> </ul>   | <ul style="list-style-type: none"> <li>Both single-stream and split-stream receptacles use independent, replaceable internal liners designed to be used with or without plastic litter bags.</li> <li>Liners are molded from durable black polyethylene with UL94HB fire rating.</li> </ul> | <ul style="list-style-type: none"> <li>Metal surfaces can be cleaned as needed using a soft cloth or brush with warm water and a mild detergent. Avoid abrasive cleaners.</li> </ul>  |

## NOMINAL DIMENSIONS (36 GALLON)



| MODEL     | OVERALL HEIGHT* | OVERALL WIDTH  | OVERALL DEPTH  | WEIGHT          | INTERNAL CAPACITY                |
|-----------|-----------------|----------------|----------------|-----------------|----------------------------------|
| SLDIS-136 | 43.0" (1092 mm) | 25.5" (648 mm) | 21.8" (554 mm) | 112 lbs (50 kg) | 36 gallons (136 liters)          |
| SLDIS-216 | 43.0" (1092 mm) | 25.5" (648 mm) | 21.8" (554 mm) | 112 lbs (50 kg) | 32 (2 x 16) gallons (121 liters) |

\*NOTE: Concrete base adds 2.75" to overall height







# DISPATCH™ LITTER & RECYCLING RECEPTACLE

PRODUCT DATA

### ENVIRONMENTAL CONSIDERATIONS

- Please refer to the Dispatch Environmental Data Sheets for detailed environmental impact information.
- Dispatch Receptacle has up to 90% recycled content.
- All components are fully recyclable.
- Rustproof cast aluminum construction ensures a long product life cycle.
- Standard powdercoat finishes are no-VOC; non-standard powdercoat finishes are no- or low-VOC, depending on color.
- Low maintenance and easy to disassemble.

### NET PRICING AND ORDERING INFORMATION (pricing does not include freight)

| MODEL     | DESCRIPTION   | NET PRICE                           |
|-----------|---|-------------------------------------|
| SLDIS-136 | Dispatch Receptacle, 36 gallon, single-stream, one 36 gallon liner      | \$1,550                             |
| SLDIS-216 | Dispatch Receptacle, 36 gallon, split-stream, two 16 gallon half liners | \$1,650                             |
| SLDIS-145 | Dispatch Receptacle, 45 gallon, single-stream, one 45 gallon liner      | \$1,750                             |
| SLDIS-220 | Dispatch Receptacle, 45 gallon, split-stream, two 20 gallon half liners | \$1,850                             |
|           | Optional powdercoat color from Forms+Surfaces standard color chart      | + \$200 per color/per order         |
|           | Custom RAL powdercoat color   | + minimum \$500 per color/per order |
|           | Add concrete base   | + \$149 per receptacle              |
|           | Add recycling openings  | + \$25 per side/per receptacle      |

**TO ORDER SPECIFY:** quantity, model, powdercoat color(s), lid graphics, recycle openings (optional), latch option, freestanding or surface mount with or without concrete base

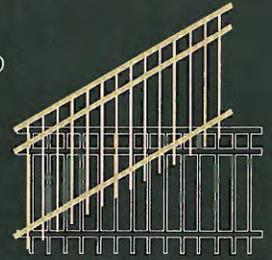
**LEAD TIME:** 6 to 8 weeks. Shorter lead times may be available upon request. Please contact us to discuss your specific timing requirements.





# MONTAGE PLUS<sup>®</sup>

by AMERISTAR FENCE PRODUCTS<sup>®</sup>



**SEE WHY SO MANY ARE CHOOSING MONTAGE PLUS<sup>®</sup>  
TO BEAUTIFY AND SECURE THEIR PROPERTIES**



**AMERISTAR<sup>®</sup>  
FENCE PRODUCTS**

**VISIT US ONLINE AT [AMERISTARFENCE.COM](http://AMERISTARFENCE.COM) OR CALL 888-333-3422**

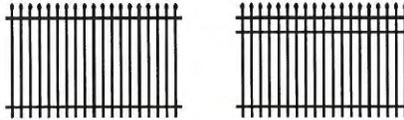
# MONTAGE PLUS<sup>®</sup>

## STYLES, HEIGHTS, & PANEL OPTIONS

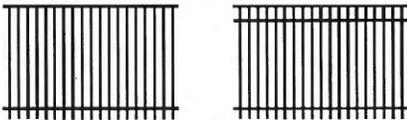


**CLASSIC<sup>™</sup>**

Available Heights: 3', 3½', 4', 5' or 6'  
Rail Treatment: Extended Picket or Flush Bottom  
Picket Air-Space: 4" standard or 3" Pet, Pool & Play



Available Heights: 3', 3½', 4', 5' or 6'  
Rail Treatment: Extended Picket or Flush Bottom  
Picket Air-Space: 4" standard or 3" Pet, Pool & Play

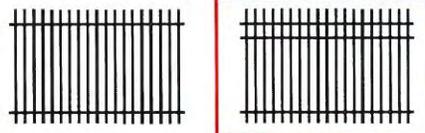


**MAJESTIC<sup>™</sup>**

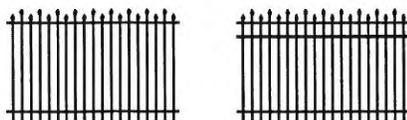


**GENESIS<sup>™</sup>**

Available Heights: 3', 3½', 4', 5' or 6'  
Rail Treatment: Extended Picket or Flush Bottom  
Picket Air-Space: 4" standard or 3" Pet, Pool & Play



Available Heights: 3', 3½', 4', 5' or 6'  
Rail Treatment: Extended Picket or Flush Bottom  
Picket Air-Space: 4" standard



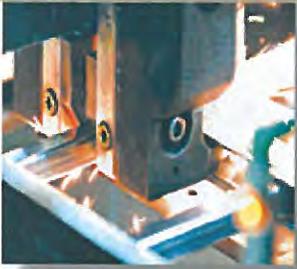
**WARRIOR<sup>™</sup>**

# MONTAGE PLUS®

## SPECIFICATIONS

| MONTAGE PLUS® - SPECIFICATIONS |                    |              |
|--------------------------------|--------------------|--------------|
| Pickets                        | Rails              | Posts        |
| ¾" square x 18 ga.             | 1½" x 1½" x 14 ga. | 2½" x 16 ga. |

## FUSION WELDED CONSTRUCTION



- SUPERIOR STRENGTH
- PROFUSION WELD TECHNOLOGY
- NO VISIBLE SCREWS OR RIVETS
- RAKEABLE DESIGN / ABLE TO FOLLOW GRADE

## E-COAT FINISH

- MAINTENANCE-FREE FINISH
- DURABLE ARCHITECTURAL COATING
- COATED INSIDE & OUT



- BLACK & BRONZE COLORS AVAILABLE



- Acrylic Topcoat
- Epoxy Primer
- Zinc Phosphate
- Pre-Galvanized Steel

## COMMITMENT TO QUALITY



Montage Plus is produced using up to 96% recycled steel.



Ameristar is American owned and operated. We take great pride in manufacturing "Made in the USA" products.

# MONTAGE PLUS<sup>®</sup>

## FEATURES

### ALL TERRAIN FENCE



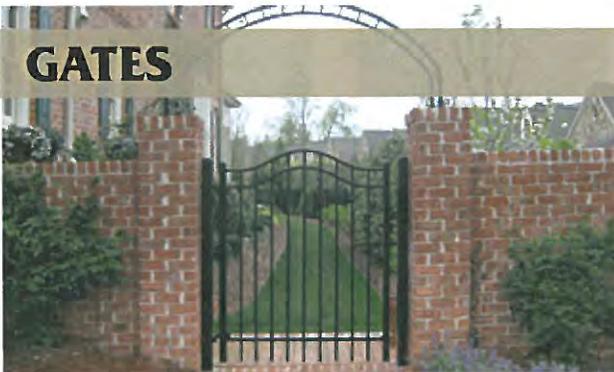
Unlike conventional welded panels that require stair-stepping, the all-terrain fence (ATF) design of Montage allows panels to rack along the grade. The ATF design feature helps maintain security at grade and keep the aesthetics intended with an ornamental fence.

### POOL, PET & PLAY

Montage Plus<sup>®</sup> is available in an optional 3" picket air space. The Pool, Pet & Play fencing option is the perfect solution for increased strength and security. Montage Plus<sup>®</sup> Pool, Pet & Play is the best solution for increasing safety and security around ones property.

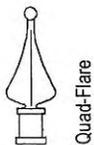


### GATES

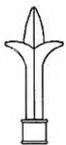


- Montage Plus<sup>®</sup> Single & Double Swing Gates
- Montage Plus<sup>®</sup> Single & Double Swing Arched Gates
- Estate<sup>®</sup> Gates – Aluminum Arched Entry Gates
- TransPort<sup>®</sup> – Cantilever Gates
- PassPort<sup>®</sup> – Roll Gates

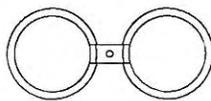
## FINIALS & ADORNMENTS



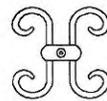
Quad-Flare



Triad



Double Ring



Butterfly Scroll



Ball Cap

AMERISTAR FENCE PRODUCTS  
1555 N. MINGO Rd.  
TULSA, OK 74116

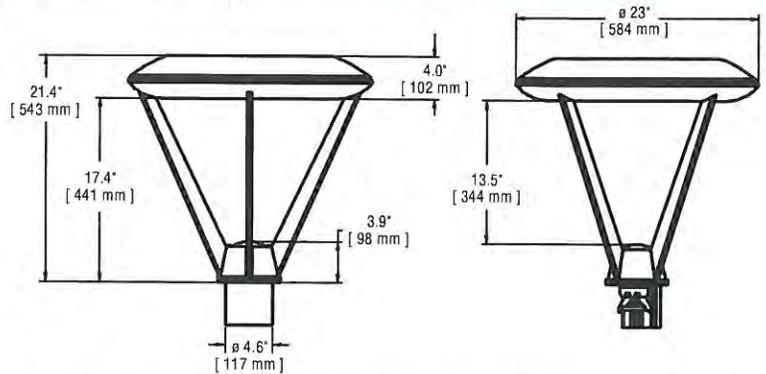


PH. 888-333-3422  
MKTG@AMERISTARFENCE.COM  
WWW.AMERISTARFENCE.COM

# ARE-EDR-1S-R5 THE EDGE® LED Round Area Light – Type I Short

Rev. Date: 9/16/11

BetaLED Catalog #: ARE - EDR - 1S - R5 - - D - - - - -



Notes:

| Product | Family | Optic           | Mounting        | # of LEDs (x 10)  | LED Series | Voltage   | Color Options   | Drive Current<br>Not Field Adjustable  | Factory-Installed Options<br>Please type additional options in manually on the lines provided above.  |
|---------|--------|-----------------|-----------------|---|------------|---|---|--|---|
| ARE     | EDR    | 1S <sup>1</sup> | R5 <sup>2</sup> | <input type="checkbox"/> 04 <sup>3</sup><br><input type="checkbox"/> 06 <sup>3</sup><br><input type="checkbox"/> 08 <sup>3</sup><br><input type="checkbox"/> 10 <sup>3</sup><br><input type="checkbox"/> 12 | D          | <input type="checkbox"/> UL<br>Universal<br>120–277V<br><input type="checkbox"/> UH<br>Universal<br>347–480V<br><input type="checkbox"/> 34<br>347V | <input type="checkbox"/> SV<br>Silver<br><input type="checkbox"/> BK<br>Black<br><input type="checkbox"/> BZ<br>Bronze<br><input type="checkbox"/> PB<br>Platinum<br>Bronze<br><input type="checkbox"/> WH<br>White | <input type="checkbox"/> 350<br>350mA<br><input type="checkbox"/> 525<br>525mA<br><input type="checkbox"/> 700 <sup>4</sup><br>700mA | <input type="checkbox"/> 43K 4300K Color Temperature <sup>5</sup><br><input type="checkbox"/> DIM 0–10V Dimming <sup>6,7</sup><br><input type="checkbox"/> F Fuse <sup>8,9,10</sup><br><input type="checkbox"/> HL Hi/Low (175/350/525, dual circuit input) <sup>11</sup><br><input type="checkbox"/> P Photocell <sup>9,10</sup><br><input type="checkbox"/> TL Two-Level (175/525 w/ integrated sensor control) <sup>11</sup><br><input type="checkbox"/> TL2 Two-Level (0/350 w/ integrated sensor control) <sup>11</sup><br><input type="checkbox"/> TL3 Two-Level (0/525 w/ integrated sensor control) <sup>11</sup> |

## Footnotes

- IESNA Type I Short distribution
- Spider mount, center direct fits inside 5" (127mm) round pole
- Consists of multiple 20 LED light bars 40, 60, 80, and 100 LED units use blanks as needed in place of populated light bars
- Available on fixtures with 40–60 LEDs
- Color temperature per fixture; 6000K standard; minimum 70 CRI
- Control by others
- Refer to [dimming spec sheet](#) for availability and additional information
- When code dictates fusing use time delay fuse
- Not available when UH voltage is selected
- Not available with all multi-level options. Refer to [multi-level spec sheet](#) for availability and additional information
- Refer to the [multi-level spec sheet](#) for availability and additional information

## LED PERFORMANCE SPECS

| # of LEDs                                       | Initial Delivered Lumens – Type I Short @ 6000K | B U G    |          | Initial Delivered Lumens – Type I Short @ 4300K | B U G       |   | System Watts 120–480V | Total Current @ 120V | Total Current @ 240V | Total Current @ 277V | Total Current @ 347V | Total Current @ 480V | L <sub>70</sub> Hours* @ 25° C (77° F) | 50K Hours Lumen Maintenance Factor* @ 15° C (59° F) |          |     |
|---|---|----------|----------|---|-------------|---|-----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|--|---|----------|-----|
|   |   | Rating** | Rating** |   |             |   |                       |                      |                      |                      |                      |                      |  |   |          |     |
| <b>350mA Fixture Operating at 25° C (77° F)</b> |   |          |          |   |             |   |                       |                      |                      |                      |                      |                      |  |   |          |     |
| 40 <sup>3</sup>                                 | 4.522 (04)                                      | 2        | 0        | 0   | 4.168 (04)  | 2 | 0                     | 0                    | 47                   | 0.40                 | 0.21                 | 0.19                 | 0.15                                   | 0.12  | >150,000 | 93% |
| 60 <sup>3</sup>                                 | 6.695 (06)                                      | 2        | 0        | 0   | 6.171 (06)  | 2 | 0                     | 0                    | 68                   | 0.58                 | 0.30                 | 0.26                 | 0.20                                   | 0.16  | >150,000 |     |
| 80 <sup>3</sup>                                 | 8.927 (08)                                      | 3        | 0        | 1   | 8.228 (08)  | 3 | 0                     | 1                    | 90                   | 0.77                 | 0.38                 | 0.34                 | 0.26                                   | 0.20  | >150,000 |     |
| 100 <sup>3</sup>                                | 11.131 (10)                                     | 3        | 0        | 1   | 10.259 (10) | 3 | 0                     | 1                    | 111                  | 0.95                 | 0.47                 | 0.42                 | 0.32                                   | 0.24  | >150,000 |     |
| 120   | 13.357 (12)                                     | 3        | 0        | 1   | 12.311 (12) | 3 | 0                     | 1                    | 132                  | 1.15                 | 0.56                 | 0.50                 | 0.38                                   | 0.28  | >150,000 |     |
| <b>525mA Fixture Operating at 25° C (77° F)</b> |   |          |          |   |             |   |                       |                      |                      |                      |                      |                      |  |   |          |     |
| 40 <sup>3</sup>                                 | 6.331 (04)                                      | 2        | 0        | 0   | 5.835 (04)  | 2 | 0                     | 0                    | 70                   | 0.57                 | 0.29                 | 0.26                 | 0.21                                   | 0.16  | 136,000  | 92% |
| 60 <sup>3</sup>                                 | 9.374 (06)                                      | 3        | 0        | 1   | 8.639 (06)  | 3 | 0                     | 1                    | 102                  | 0.87                 | 0.44                 | 0.39                 | 0.30                                   | 0.22  | 129,000  |     |
| 80 <sup>3</sup>                                 | 12.498 (08)                                     | 3        | 0        | 1   | 11.519 (08) | 3 | 0                     | 1                    | 133                  | 1.14                 | 0.56                 | 0.49                 | 0.39                                   | 0.29  | 129,000  |     |
| 100 <sup>3</sup>                                | 15.583 (10)                                     | 4        | 1        | 1   | 14.362 (10) | 4 | 0                     | 1                    | 172                  | 1.47                 | 0.75                 | 0.67                 | 0.51                                   | 0.38  | 128,000  |     |
| 120   | 18.700 (12)                                     | 4        | 1        | 1   | 17.235 (12) | 4 | 0                     | 1                    | 204                  | 1.76                 | 0.88                 | 0.78                 | 0.60                                   | 0.44  | 128,000  |     |
| <b>700mA Fixture Operating at 25° C (77° F)</b> |   |          |          |   |             |   |                       |                      |                      |                      |                      |                      |  |   |          |     |
| 40 <sup>3</sup>                                 | 7.733 (04)                                      | 3        | 0        | 2   | 7.127 (04)  | 3 | 0                     | 1                    | 93                   | 0.79                 | 0.40                 | 0.35                 | 0.27                                   | 0.20  | 111,000  | 90% |
| 60 <sup>3</sup>                                 | 11.449 (06)                                     | 3        | 0        | 1   | 10.552 (06) | 3 | 0                     | 1                    | 137                  | 1.18                 | 0.59                 | 0.51                 | 0.39                                   | 0.29  | 111,000  |     |

\* For recommended lumen maintenance factor data see [TD-13](#)

\*\* For more information on the IES BUG (Backlight-Uplight-Glare) Rating visit [www.iesna.org/PDF/Erratas/TM-15-07BugRatingsAddendum.pdf](http://www.iesna.org/PDF/Erratas/TM-15-07BugRatingsAddendum.pdf)



**General Description**

Slim, low profile design minimizes wind load requirements. Fixture sides are rugged cast aluminum with integral, weather-tight LED driver compartments, spun aluminum vented cover and high performance aluminum heatsinks. Post top mounting consists of precision machined, extruded aluminum arms (4) mounted to weather tight cast lower hub with center bolt direct mount system for 5" (127mm) round poles. Direct mount system provides clean hardware-less outer appearance. Five year limited warranty on fixture.

**Electrical**

Modular design accommodates varied lighting output from high power, white, 6000K (+/- 500K per full fixture), minimum 70 CRI, long life LED sources. Optional 4300K (+/- 300K per full fixture) also available. 120–277V 50/60 Hz, Class 1 LED drivers are standard. 347–480V 50/60 Hz driver is optional. LED drivers have power factor >90% and THD <20% at full load. Units provided with integral 10kV surge suppression protection standard. Integral weather-tight electrical box with terminal strips (12Ga - 20Ga) for easy power hook-up. Surge protection tested in accordance with IEEE/ANSI C62.41.2.

**Testing & Compliance**

UL listed in the U.S. and Canada for wet locations and enclosure rated IP66 per IEC 60529. Consult factory for CE Certified products. Dark Sky Friendly. IDA Approved. RoHS Compliant.



**Finish**

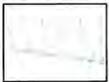
Exclusive Colorfast DeltaGuard® finish features an E-Coat epoxy primer with an ultra-durable silver powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion. Bronze, black, white and platinum bronze powder topcoats are also available. The finish is covered by our 10 year limited warranty.

Fixture and finish are endurance tested to withstand 5,000 hours of elevated ambient salt fog conditions as defined in ASTM Standard B 117.

**Patents**

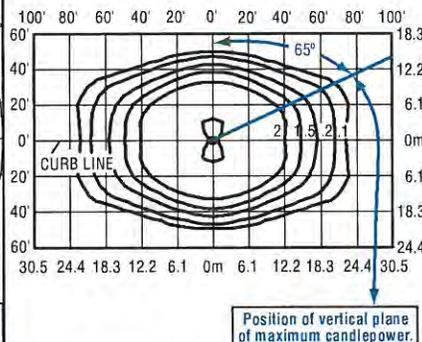
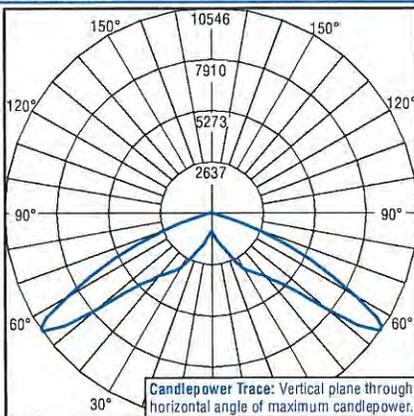
U.S. and international patents granted and pending. BetaLED is a division of Ruud Lighting, Inc. For a listing of Ruud Lighting, Inc. patents, visit [www.uspto.gov](http://www.uspto.gov).

**Field-Installed Accessories**



**Bird Spikes**  
 XA-BRDSPK

**Photometrics**



Independent Testing Laboratories certified test. Report No. ITL68091. Candlepower trace of 4300K, 120 LED Type I Short area luminaire with 17,295 initial delivered lumens operating at 525mA. All published luminaire photometric testing performed to IESNA LM-79-08 standards.

Isofootcandle plot of 4300K, 120 LED Type I Short area round luminaire at 25' (7.6m) A.F.G. Luminaire with 17,235 initial delivered lumens operating at 525mA. Initial FC at grade.

**THE EDGE® EPA & Weight Calculations**

| # of LEDs             | Approximate Weight    |          |
|-----------------------|-----------------------|----------|
|                       | 120–277V <sup>1</sup> | Post Top |
| <b>Post Top Mount</b> |                       |          |
| 40                    | 39.7 lbs. (18kg)      | 1.10     |
| 60                    | 40.9 lbs. (18.6kg)    | 1.10     |
| 80                    | 42.6 lbs. (19.4kg)    | 1.10     |
| 100                   | 43.7 lbs. (19.9kg)    | 1.10     |
| 120                   | 45.3 lbs. (20.6kg)    | 1.10     |

1. Add 5 lbs. (2.3kg) for transformer in 347–480V fixtures when multi-level options are selected





(shown) Post Top 5" Round R5

### THE EDGE Area Round

THE EDGE architectural area round luminaires are ideal for illuminating any open-space application including pathways, parks, and parking lots. With a low-profile modular design, this aesthetically-pleasing luminaire provides improved illumination performance while reducing energy consumption.

- Energy-saving two-level options
- Optional backlight cutoff shield



Adjustable Arm  
AA



Direct Arm  
DA



Direct Arm Long  
DL



Post Top  
R3



Post Top 4" Square  
R4

| PRODUCT | FAMILY | OPTIC | MOUNTING | NUMBER OF LEDS (x10) |
|---------|--------|-------|----------|----------------------|
| ARE     | EDR    | 2M    | AA       | 04                   |
|         |        | 2S    | DA       | 06                   |
|         |        | 3M    | DL       | 08                   |
|         |        | 4M    | R3       | 10                   |
|         |        | 5M    | R4       | 12                   |
|         |        | 5S    | R5       |                      |
|         |        | 2MB   |          |                      |
|         |        | 2SB   |          |                      |
|         |        | 3MB   |          |                      |
|         |        | 4MB   |          |                      |

### 4

#### Pedestrian and Parking Lot Area Lighting

The Minneapolis Public Housing Authority (MPHA) retrofitted exterior campus lighting with THE EDGE area round and square luminaires. The retrofit provides a reduction in energy use, virtually zero maintenance with no relamping necessary, and dramatically improved illumination.

Installing an energy efficient lighting solution is an important contribution to the authority's green initiative to reduce energy use. The increased visibility from the enhanced illumination performance THE EDGE luminaires provide is appreciated by MPHA residents.





THE EDGE product family offers diverse lighting opportunities for parking lots and structures, roadways, pathways, security areas and flood applications – just to name a few. Functional and flexible, THE EDGE luminaires are available in numerous configurations for versatility and reliability in any environment. THE EDGE luminaires deliver optimum illumination and unobtrusive architectural blending.

For lasting durability, fixture housings are constructed of low-copper aluminum and feature BetaLED's exclusive DeltaGuard finish and 10-year finish warranty. Also included is an integral, weather-tight LED driver compartment, high performance heat sinks, and 10kV surge suppression. THE EDGE luminaires are International Dark Sky Association (IDA) approved with IES BUG ratings available, UL and cUL listed, and are photometrically tested to IESNA LM-79-08 standards.

# Noticing

# Public Meeting Notice

The Historic Architectural Review Commission will hold a public hearing at 5:30 p.m., August 15, 2012 at Old City Hall, 510 Greene Street, Key West, Florida. The purpose of the hearing will be to consider a request for:

**MAJOR DEVELOPMENT PLAN- SITE DEVELOPMENT WITH  
HARDSCAPE AND LIGHT DESIGN**

**#525 ANGELA STREET**

**Applicant- MBI/K2M ARCHITECTURE - Application Number H12-01-1181**

If you wish to see the application or have any questions, you may visit the Planning Department during regular office hours at 3140 Flagler Avenue call 809-3973 or visit our website at [www.keywestcity.com](http://www.keywestcity.com) .

**THIS NOTICE CAN NOT BE REMOVED FROM THE SITE UNTIL HARC FINAL DETERMINATION**

# HARC POSTING AFFIDAVIT

**STATE OF FLORIDA:**  
**COUNTY OF MONROE:**

**BEFORE ME**, the undersigned authority, personally appeared **Anthony D. Sarno**, who, first being duly sworn, on oath, depose and says that the following statements are true and correct to the best of his/her knowledge and belief:

1. That a legal notice for Public Notice of Hearing of the Historic Architectural Review Commission (HARC) was placed on the following address:  
**525 Angela Street** on the **16** day of **August**, 2012.

This legal notice(s) contained an area of at least 8.5"x11".

The property was posted to notice a public hearing before the Key West Historic Architectural Review Commission to be held on **August 28**, 2012.

The legal notice(s) is/are clearly visible from the public street adjacent to the property.

The Certificate of Appropriateness number for this legal notice is **H12-01-1181**.

2. A photograph of that legal notice posted in the property is attached hereto.



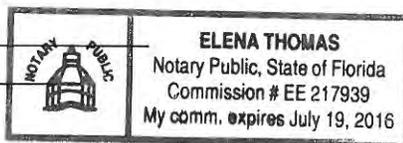
**Signed Name of Affiant:**  
Anthony D. Sarno  
**Date:** 8/16/12  
**Address:** 1001 Whitehead St #201  
**City:** Key West  
**State, Zip:** Florida 33090

The forgoing instrument was acknowledged before me on this 16th day of August, 2012.

By (Print name of Affiant) Anthony Sarno who is personally known to me or has produced FLDL S650004803450 as identification and who did take an oath.

**NOTARY PUBLIC**

Sign Name: Elena Thomas  
Print Name: Elena Thomas  
Notary Public - State of Florida (seal)  
My Commission Expires: \_\_\_\_\_



**Property Appraiser  
Information**

**Karl D. Borglum**  
**Property Appraiser**  
**Monroe County, Florida**

Key West (305) 292-3420  
Marathon (305) 289-2550  
Plantation Key (305) 852-7130

---

**Property Record View**

Alternate Key: 1012548 Parcel ID: 00012210-000000

Website tested on  
Internet Explorer.  
Requires Adobe Flash  
10.3 or higher

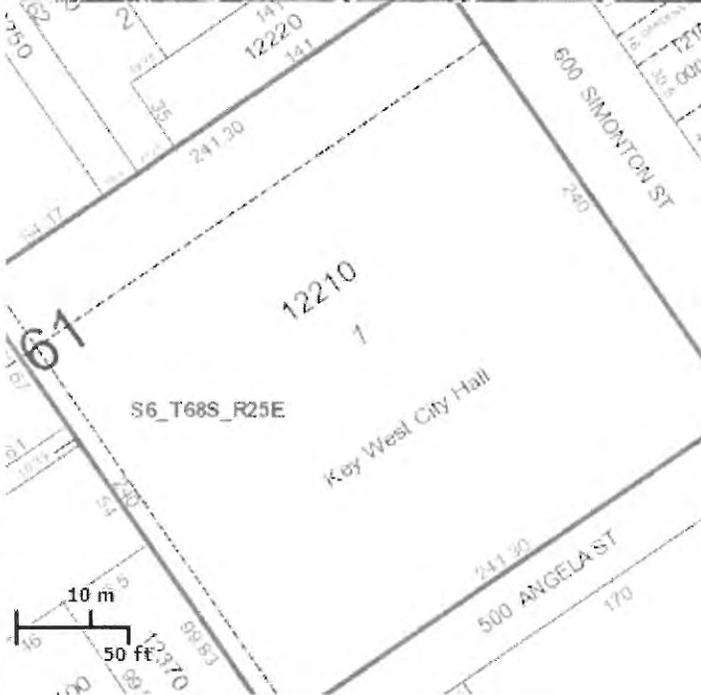
**Ownership Details**

**Mailing Address:**  
CITY OF KEY WEST FLA  
PO BOX 1409  
KEY WEST, FL 33041

**Property Details**

**PC Code:** 89 - MUNICIPAL OTHER THAN (PC/LIST)  
**Millage Group:** 10KW  
**Affordable Housing:** No  
**Section-Township-Range:** 06-68-25  
**Property Location:** 525 ANGELA ST KEY WEST  
**Legal Description:** KW ALL LOT 1&PT LOTS 2-3-4 OR35-107-108 SQR 61 OR160-589-590 OR608-337

Parcel Map (Click to open dynamic parcel map)



Exemptions

| Exemption            | Amount       |
|----------------------|--------------|
| 15 - MUNICIPAL LANDS | 4,558,590.00 |

Land Details

| Land Use Code | Frontage | Depth | Land Area |
|---------------|----------|-------|-----------|
|---------------|----------|-------|-----------|

|                          |     |     |              |
|--------------------------|-----|-----|--------------|
| 100E - COMMERCIAL EXEMPT | 240 | 241 | 62,417.00 SF |
|--------------------------|-----|-----|--------------|

### Building Summary

Number of Buildings: 1  
 Number of Commercial Buildings: 1  
 Total Living Area: 19112  
 Year Built: 1960

### Building 1 Details

Building Type  
 Effective Age 16  
 Year Built 1960  
 Functional Obs 0

Condition E  
 Perimeter 1,124  
 Special Arch 0  
 Economic Obs 0

Quality Grade 450  
 Depreciation % 19  
 Grnd Floor Area 19,112

**Inclusions:**

Roof Type  
 Heat 1  
 Heat Src 1

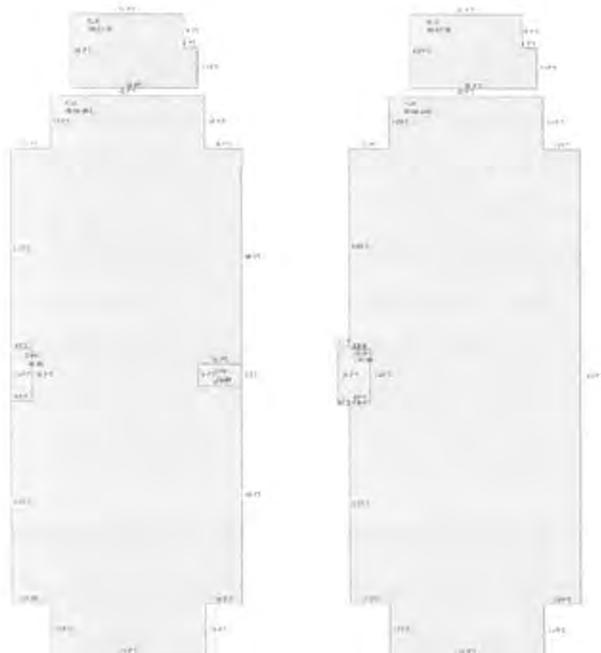
Roof Cover  
 Heat 2  
 Heat Src 2

Foundation  
 Bedrooms 0

**Extra Features:**

2 Fix Bath 0  
 3 Fix Bath 0  
 4 Fix Bath 0  
 5 Fix Bath 0  
 6 Fix Bath 0  
 7 Fix Bath 0  
 Extra Fix 31

Vacuum 0  
 Garbage Disposal 0  
 Compactor 0  
 Security 0  
 Intercom 0  
 Fireplaces 0  
 Dishwasher 0



**Sections:**

| Nbr | Type | Ext Wall | # Stories | Year Built | Attic A/C | Basement % | Finished Basement % | Area |
|-----|------|----------|-----------|------------|-----------|------------|---------------------|------|
|-----|------|----------|-----------|------------|-----------|------------|---------------------|------|

|   |     |   |      |       |
|---|-----|---|------|-------|
| 1 | FLA | 1 | 1991 | 8,856 |
| 2 | OPF | 1 | 1991 | 84    |
| 3 | OPF | 1 | 1991 | 72    |
| 4 | OUF | 1 | 1991 | 132   |
| 5 | FLA | 1 | 1991 | 8,928 |
| 6 | FLA | 1 | 1999 | 664   |
| 7 | FLA | 1 | 1999 | 664   |

Interior Finish:

| Section Nbr | Interior Finish Nbr | Type         | Area % | Sprinkler | A/C |
|-------------|---------------------|--------------|--------|-----------|-----|
|             | 2320                | CITY BLDGS B | 100    | Y         | Y   |
|             | 2324                | CITY BLDGS B | 100    | Y         | Y   |
|             | 2325                | CITY BLDGS B | 100    | N         | Y   |
|             | 2326                | CITY BLDGS B | 100    | Y         | Y   |

Exterior Wall:

| Interior Finish Nbr | Type   | Area % |
|---------------------|--------|--------|
| 591                 | C.B.S. | 100    |

Misc Improvement Details

| Nbr | Type               | # Units   | Length | Width | Year Built | Roll Year | Grade | Life |
|-----|--------------------|-----------|--------|-------|------------|-----------|-------|------|
| 1   | AP2:ASPHALT PAVING | 13,400 SF | 0      | 0     | 1973       | 1974      | 2     | 25   |
| 2   | AC2:WALL AIR COND  | 10 UT     | 0      | 0     | 1991       | 1992      | 2     | 20   |
| 3   | AC2:WALL AIR COND  | 23 UT     | 0      | 0     | 1991       | 1992      | 1     | 20   |
| 4   | FN2:FENCES         | 210 SF    | 5      | 42    | 1999       | 2000      | 2     | 30   |
| 5   | PT3:PATIO          | 200 SF    | 50     | 4     | 1999       | 2000      | 2     | 50   |
| 6   | AP2:ASPHALT PAVING | 34,800 SF | 240    | 145   | 2006       | 2007      | 2     | 25   |

Appraiser Notes

|                                     |
|-------------------------------------|
| KEY WEST CITY HALL & PARKING GARAGE |
| HURRICANE DAMAGES                   |

Building Permits

| Bldg Number | Date Issued | Date Completed | Amount | Description | Notes                   |
|-------------|-------------|----------------|--------|-------------|-------------------------|
| 04-1892     | 06/10/2004  | 12/02/2004     | 89,000 | Commercial  | R&R HIST. STREET LIGHTS |
| 04-0786     | 03/15/2004  | 06/22/2004     | 21,000 | Commercial  | REPAIR ROOF             |
| 04-0097     | 01/16/2004  | 06/22/2004     | 2,600  | Commercial  | NEW FENCE & GATE        |
| 02-2073     | 07/30/2002  | 11/17/2002     | 7,800  | Commercial  | REPLACE FRONT DOORS     |
| 02-2473     | 09/18/2002  | 11/17/2002     | 8,200  | Commercial  | ELECTRICAL FOR DOOR     |
| 1 02-2514   | 07/30/2002  | 11/17/2002     | 2,500  | Commercial  | ELECTRIC DOOR           |

|   |          |            |            |         |            |  |
|---|----------|------------|------------|---------|------------|--|
| 1 | 01-3208  | 09/20/2001 | 08/24/2001 | 4,000   | Commercial | 1200SF TILE  |
|   | 00-1406  | 05/23/2000 | 07/10/2000 | 1       | Commercial | REPLACE 10 FIXTURES                                |
|   | 00-0844  | 03/31/2000 | 07/10/2000 | 1       | Commercial | REPLACE DOOR                                       |
|   | 00-0149  | 02/07/2000 | 07/10/2000 | 1,500   | Commercial | CANVAS AWNING                                      |
|   | 99-1491  | 05/03/1999 | 02/15/2000 | 99,000  | Commercial | ADDITION   |
| 1 | 98-1132  | 04/20/1998 | 01/01/1999 | 8,400   | Commercial | INSTALL OF BACKFLOW                                |
|   | 97-2378  | 07/01/1997 | 07/01/1997 | 3,240   | Commercial | PLUMBING   |
|   | 97-1874  | 06/01/1997 | 06/01/1997 | 1,200   | Commercial | ROOF   |
|   | 97-0140  | 01/01/1997 | 06/01/1997 | 4,000   | Commercial | REPAIR   |
|   | 96-0316  | 01/01/1996 | 11/01/1996 | 2,300   | Commercial | MECHANICAL   |
|   | 95-0059  | 12/01/1995 | 11/01/1996 | 1       | Commercial | ELECTRICAL   |
|   | 96-2764  | 07/01/1996 | 11/01/1996 | 5,000   | Commercial | ELECTRICAL   |
|   | B95-3959 | 11/01/1995 | 11/01/1995 | 20,000  | Commercial | CONVERT STOR TO OFFICE SP                          |
|   | B95-3740 | 11/01/1995 | 11/01/1995 | 10,000  | Commercial | CONVERT STOR TO OFFICE SP                          |
|   | A95-0418 | 02/01/1995 | 11/01/1995 | 6,300   | Commercial | 16 SQS SINGLE PLY ROOFING                          |
|   | E94-4009 | 12/01/1994 | 11/01/1995 | 500     | Commercial | ELECTRICAL   |
|   | B94-3721 | 11/01/1994 | 11/01/1995 | 500     | Commercial | PAINT OFFICES ON 2ND FL.                           |
|   | 04-3799  | 12/15/2004 | 06/30/2006 | 2,400   | Commercial | REPLACE EXISTING ROOF                              |
|   | 06-1893  | 03/21/2006 | 06/30/2006 | 30,000  | Commercial | STORM REPAIRS DRYWALL & DOORS ,INSULATION AND TILE |
|   | 05-1110  | 04/07/2005 | 06/30/2006 | 200     | Commercial | NEW RECEPTACLE IN THE COMPUTER ROOM.               |
|   | 05-1390  | 05/10/2005 | 06/30/2006 | 29,000  | Commercial | INSTALL SOFFITT                                    |
|   | 05-2825  | 03/06/2006 | 08/10/2006 | 250,000 | Commercial | REBUILD PARKING LOT, DRAINS, LIGHTING, ASPHALT.    |
|   | 07-3558  | 07/18/2007 | 07/18/2007 | 6,000   | Commercial | CHANGE OUT 10-TON A.C ON TOP OF ROOF               |
|   | 05-2824  | 07/07/2005 | 08/10/2006 | 200,000 | Commercial | DEMO PARKING GARAGE.                               |

### Parcel Value History

Certified Roll Values.

[View Taxes for this Parcel.](#)

| Roll Year | Total Bldg Value | Total Misc Improvement Value | Total Land Value | Total Just (Market) Value | Total Assessed Value | School Exempt Value | School Taxable Value |
|-----------|------------------|------------------------------|------------------|---------------------------|----------------------|---------------------|----------------------|
| 2011      | 2,974,861        | 76,575                       | 1,509,992        | 4,561,428                 | 4,561,428            | 4,561,428           | 0                    |
| 2010      | 3,121,768        | 79,420                       | 3,432,935        | 6,634,123                 | 6,634,123            | 6,634,123           | 0                    |
| 2009      | 3,121,768        | 82,259                       | 7,333,998        | 10,538,025                | 10,538,025           | 10,538,025          | 0                    |
| 2008      | 3,121,768        | 85,097                       | 8,114,210        | 11,321,075                | 11,321,075           | 11,321,075          | 0                    |
| 2007      | 2,124,852        | 87,942                       | 9,362,550        | 11,575,344                | 11,575,344           | 11,575,344          | 0                    |
| 2006      | 3,609,656        | 18,396                       | 6,241,700        | 9,869,752                 | 9,869,752            | 9,869,752           | 0                    |
| 2005      | 3,651,148        | 18,450                       | 5,617,530        | 9,287,126                 | 9,287,126            | 9,287,126           | 0                    |
| 2004      | 3,734,110        | 18,511                       | 4,369,190        | 8,121,811                 | 8,121,811            | 8,121,811           | 0                    |
| 2003      | 3,734,110        | 19,276                       | 1,498,008        | 5,251,394                 | 5,251,394            | 5,251,394           | 0                    |

|      |           |        |           |           |           |           |   |
|------|-----------|--------|-----------|-----------|-----------|-----------|---|
| 2002 | 3,715,245 | 20,040 | 1,498,008 | 5,233,293 | 5,233,293 | 5,233,293 | 0 |
| 2001 | 3,715,245 | 20,811 | 1,498,008 | 5,234,064 | 5,234,064 | 5,234,064 | 0 |
| 2000 | 3,715,245 | 15,189 | 1,373,174 | 5,103,608 | 5,103,608 | 5,103,608 | 0 |
| 1999 | 3,895,535 | 15,126 | 1,373,174 | 5,083,835 | 5,083,835 | 5,083,835 | 0 |
| 1998 | 2,469,019 | 15,836 | 1,373,174 | 3,858,029 | 3,858,029 | 3,858,029 | 0 |
| 1997 | 2,469,019 | 5,896  | 1,248,340 | 3,723,255 | 3,723,255 | 3,723,255 | 0 |
| 1996 | 1,969,723 | 5,896  | 1,248,340 | 3,223,959 | 3,223,959 | 3,223,959 | 0 |
| 1995 | 1,969,723 | 5,896  | 1,248,340 | 3,223,959 | 3,223,959 | 3,223,959 | 0 |
| 1994 | 1,969,723 | 5,896  | 1,248,340 | 3,223,959 | 3,223,959 | 3,223,959 | 0 |
| 1993 | 1,969,723 | 5,896  | 1,248,340 | 3,223,959 | 3,223,959 | 3,223,959 | 0 |
| 1992 | 1,969,723 | 5,896  | 1,248,340 | 3,223,959 | 3,223,959 | 3,223,959 | 0 |
| 1991 | 995,293   | 0      | 1,248,340 | 2,243,633 | 2,243,633 | 2,243,633 | 0 |
| 1990 | 918,732   | 0      | 1,014,276 | 1,933,008 | 1,933,008 | 1,933,008 | 0 |
| 1989 | 918,732   | 0      | 998,672   | 1,917,404 | 1,917,404 | 1,917,404 | 0 |
| 1988 | 866,114   | 0      | 873,838   | 1,739,952 | 1,739,952 | 1,739,952 | 0 |
| 1987 | 838,572   | 0      | 573,456   | 1,412,028 | 1,412,028 | 1,412,028 | 0 |
| 1986 | 845,990   | 0      | 561,753   | 1,407,743 | 1,407,743 | 1,407,743 | 0 |
| 1985 | 815,551   | 0      | 561,753   | 1,377,304 | 1,377,304 | 1,377,304 | 0 |
| 1984 | 796,789   | 0      | 561,753   | 1,358,542 | 1,358,542 | 1,358,542 | 0 |
| 1983 | 796,789   | 0      | 310,800   | 1,107,589 | 1,107,589 | 1,107,589 | 0 |
| 1982 | 706,568   | 0      | 310,800   | 1,017,388 | 1,017,388 | 1,017,388 | 0 |

### Parcel Sales History

NOTE: Sales do not generally show up in our computer system until about two to three months after the date of sale. If a recent sale does not show up in this list, please allow more time for the sale record to be processed. Thank you for your patience and understanding.

There are no sales to display for this parcel.

This page has been visited 32,716 times.

Monroe County Property Appraiser  
Karl D. Borglum  
P.O. Box 1176  
Key West, FL 33041-1176