

**PLANNING BOARD  
RESOLUTION NO. 2014-55**

**A RESOLUTION OF THE KEY WEST PLANNING BOARD  
GRANTING MAJOR DEVELOPMENT PLAN AND  
LANDSCAPE MODIFICATION / WAIVER APPROVALS  
PURSUANT TO SECTIONS 108-91.A.2.(A) AND 108-517 OF  
THE LAND DEVELOPMENT REGULATIONS OF THE  
CODE OF ORDINANCES OF THE CITY OF KEY WEST,  
FLORIDA FOR THE RECONSTRUCTION OF 17  
TRANSIENT RESIDENTIAL UNITS AND FOR THE  
REDUCTION OF REQUIRED LANDSCAPING ASSOCIATED  
WITH THE PROPOSED HOTEL REDEVELOPMENT ON  
PROPERTY LOCATED AT 716-718 SOUTH STREET (RE #  
00036870-000000, AK # 1037681) IN THE HISTORIC  
RESIDENTIAL / OFFICE (HRO) ZONING DISTRICT;  
PROVIDING FOR AN EFFECTIVE DATE**

**WHEREAS**, Section 108-91 of the Code of Ordinances (the “Code”) of the City of Key West, Florida (the “City”) provides that within the Historic District, a Major Development Plan is required for the reconstruction of five or more transient residential units; and


**WHEREAS**, modifications and waivers to reduce the City’s landscaping requirements are requested pursuant to City Code Section 108-517; and

**WHEREAS**, Code Sections 108-196(a) and 122-62(a) require the Planning Board to review and approve, approve with conditions or deny the proposed Major Development Plan and Conditional Use in an advisory capacity to the City Commission; and

**WHEREAS**, Code Section 108-517(a) requires the Planning Board to consider the landscape waiver request and render the final action; and

**WHEREAS**, this matter came before the Planning Board at a duly noticed public hearing on

  
\_\_\_\_\_ Chairman

  
\_\_\_\_\_ Planning Director

September 18, 2014; and

**WHEREAS**, the granting of a Major Development Plan and Landscape Modification / Waiver application is consistent with the criteria of the Code of Ordinances; and

**WHEREAS**, the Planning Board finds that the granting of a Major Development Plan and Landscape Modification / Waiver application is in harmony with the general purpose and intent of the Land Development Regulations, and will not be injurious to the neighborhood, or otherwise detrimental to the public welfare.

**NOW, THEREFORE, BE IT RESOLVED** by the Planning Board of the City of Key West, Florida:

**Section 1.** That the above recitals are incorporated by reference as if fully set forth herein.

**Section 2.** The Major Development Plan and Landscape Modification / Waiver for the redevelopment of the existing 17-unit hotel on property located at 716-718 South Street (RE # 00036870-000000, AK # 1037681) in the Historic Residential / Office (HRO) Zoning District pursuant to Sections 108-91.A.2.(a) and 108-517 of the Land Development Regulations of the Code of Ordinances of the City of Key West, Florida, as shown in the attached plans dated July 2, 2014, is hereby approved with the following conditions:

**General conditions:**

1. This approval shall not become effective until the concurrent applications for height variance is approved and effective.



Chairman



Planning Director

2. The City reserves the right to reevaluate the loading space requirement pursuant to City Code Section 108-649 based upon the annual conditional approval inspections, code compliance issues and other relevant factors.

3. Although subject to a separate City approval, the City shall not bear any of the costs of the proposed street, sidewalk and landscaping improvements within City rights-of-way.

4. The application shall incorporate any proposed cisterns into the drainage plan and shall submit an irrigation plan pursuant to City Code Section 108-243(d).

5. During all phases of demolition and construction, temporary fencing and erosion barriers shall be installed and maintained. All adjacent City streets and sidewalks shall be kept clean and clear of construction debris.

6. Rooftop pool shall be closed between sunset and sunrise each day.

**Conditions prior to issuance of a building permit:**

7. Approval of a Public Art Plan shall be obtained from the AIPP Board, pursuant to City Code Section 2-487, and may include payment of an in-lieu fee.

**Conditions prior to issuance of a Certificate of Occupancy:**

8. On-site artwork shall be installed and inspected by the City pursuant to Code Section 2-487.

9. The property owner shall obtain and maintain a Conditional Approval Permit, pursuant to City Code Chapter 18, Article XII, Division 1. The City Code Compliance shall

inspect the property on an annual basis upon reasonable notice to determine compliance with the above conditions.


**Section 3.** Full, complete and final application for all permits required for which this resolution is wholly or partly necessary, shall be submitted in its entirety within 12 months after the date hereof.

**Section 4.** This Major Development Plan and Landscape Modification / Waiver application approval by the Planning Board does not constitute a finding as to ownership or right to possession of the property, and assumes, without finding, the correctness of the applicant's assertion of legal authority respecting the property.

**Section 5.** This resolution shall go into effect immediately upon its passage and adoption and authentication by the signatures of the presiding officer and the Clerk of the Board.

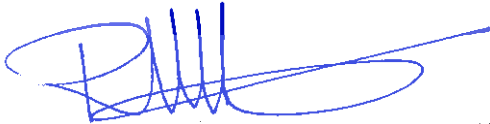
**Section 6.** This resolution is subject to appeal periods as provided by the City of Key West Code of Ordinances (including the Land Development Regulations). After the City appeal period has expired, this permit or development order shall be rendered to the Florida Department of Economic Opportunity. Pursuant to Chapter 73C-44, F.A.C., this permit or development order is not effective for 45 days after it has been properly rendered to the DEO with all exhibits and applications attached to or incorporated by reference in this approval; that within the 45-day review period, the DEO can appeal the permit or development order to the Florida Land and Water Adjudicatory Commission; and that such an appeal stays the effectiveness of the permit until the appeal is resolved by agreement or order.

 Chairman

 Planning Director

Read and passed on first reading at a regularly scheduled meeting held this 18th day of September, 2014.

Authenticated by the Chairman of the Planning Board and the Planning Director.



Richard Klitenick, Planning Board Chairman

9/30/2014

Date

**Attest:**

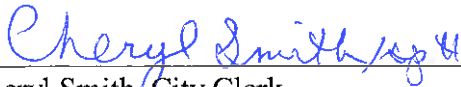


Donald Leland Craig, AICP, Planning Director

9/23/2014

Date

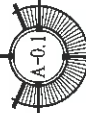
**Filed with the Clerk:**



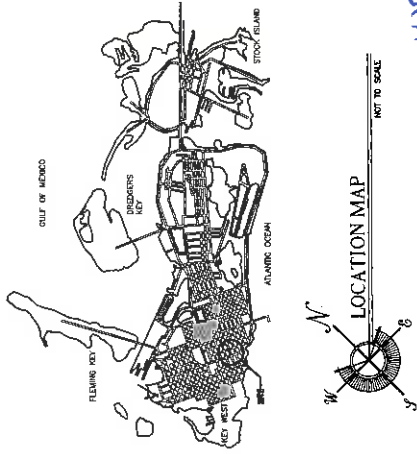
Cheryl Smith, City Clerk

10/3/14

Date



## TWO OCEAN INN - KEY WEST, FLORIDA



PAGE	DESCRIPTION	PAGE	DESCRIPTION
A-01	COVER SHEET	C-1	CONCEPTUAL DRAINAGE PLAN
A-1	SITE PLAN - PARKING LEVEL	L-1.0	TREE DISPOSITION PLAN
A-2	FLOOR PLAN - 1ST FLOOR	L-1.1	SITE LANDSCAPE PLAN
A-3	FLOOR PLAN - 2ND FLOOR	L-1.2	ROOF LANDSCAPE PLAN
A-4	ROOF PLAN	LS-1	LIFE SAFETY - PARKING LEVEL
A-5	ELEVATION	LS-2	LIFE SAFETY - 1ST FLOOR
A-6	CONCEPTUAL SECTION	LS-3	LIFE SAFETY - 2ND FLOOR
A-7	RENDERING	LS-4	LIFE SAFETY - ROOF
A-8	RENDERING	SU-1	SURVEY
A-9	RENDERING		
A-10	RENDERING		
E-1	CONCEPTUAL LIGHTING PLAN		
EX-1	EXISTING SITE PLAN		

TWO OCEAN INN  
716-716 SOUTH STREET  
KEY WEST, FLORIDA

WILLIAM P. HORN  
ARCHITECT, P.A.

815 LYONS BLVD  
KEY WEST,  
FLORIDA  
33001

TEL: 305.854.8282  
FAX: 305.854.1433  
WWW: WWW.WPHORN.COM  
AIA LICENSE NO.  
141600001

TWO OCEAN INN  
716-711 SOUTH STREET  
KEY WEST, FL

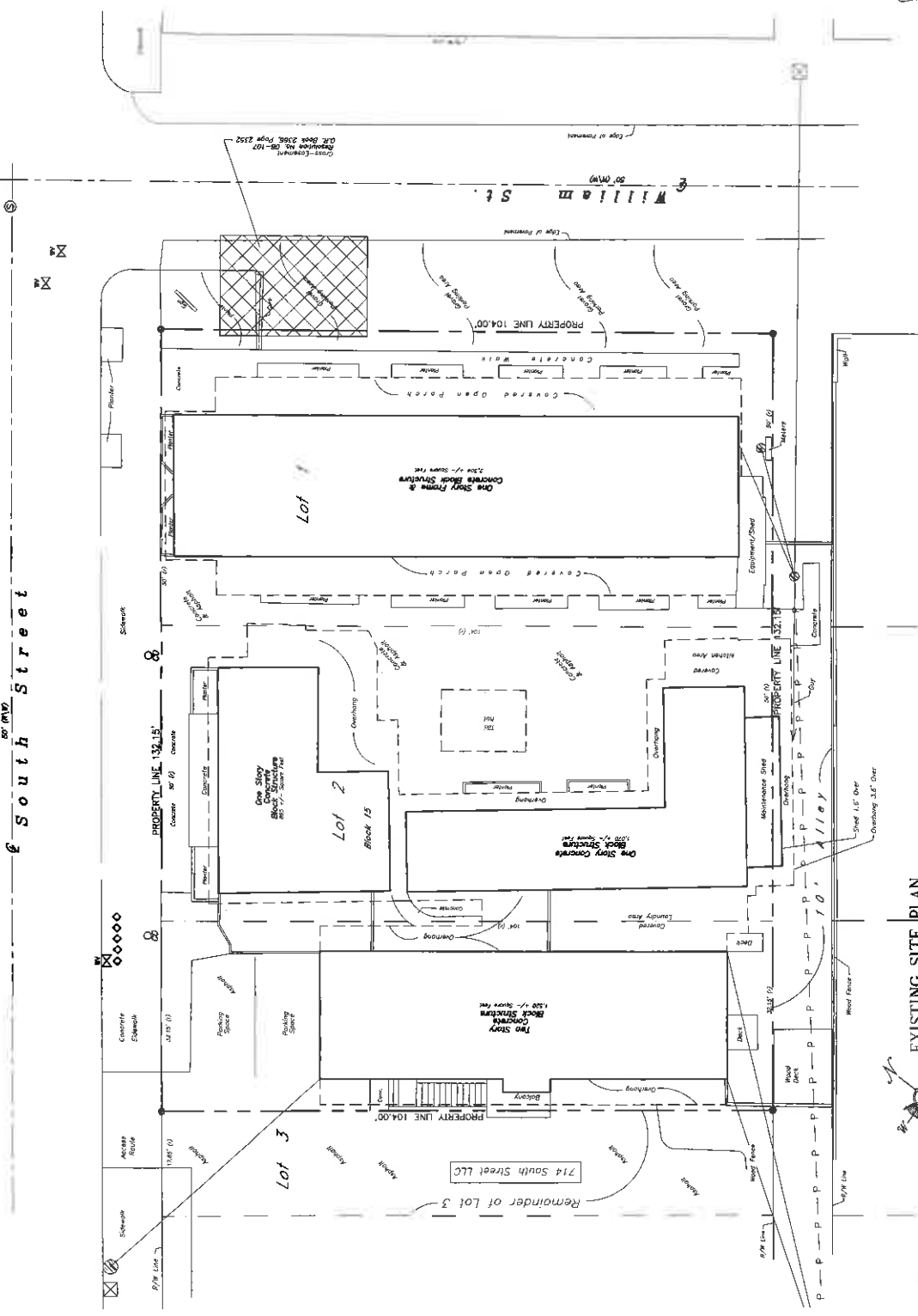
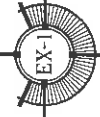
DATE

12-12-13  
05-12-14 PLUNG BD

REVISIONS

DRAWN BY  
E.M.A.

PROJECT  
SUBJECT  
1304



**EXISTING SITE PLAN**  
SCALE: 1/8"=1'-0"  
SITE PLAN BASED ON INFORMATION OBTAINED FROM SURVEY  
PREPARED BY J. LYNN O'LENNY, INC.  
DATED ON 10-09-13.

TWO OCEAN INN  
716-711 SOUTH STREET  
KEY WEST, FLORIDA



DATE

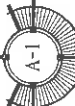
12-12-13  
05-12-14 PLUNG BD

REVISIONS

DRAWN BY  
E.M.A.

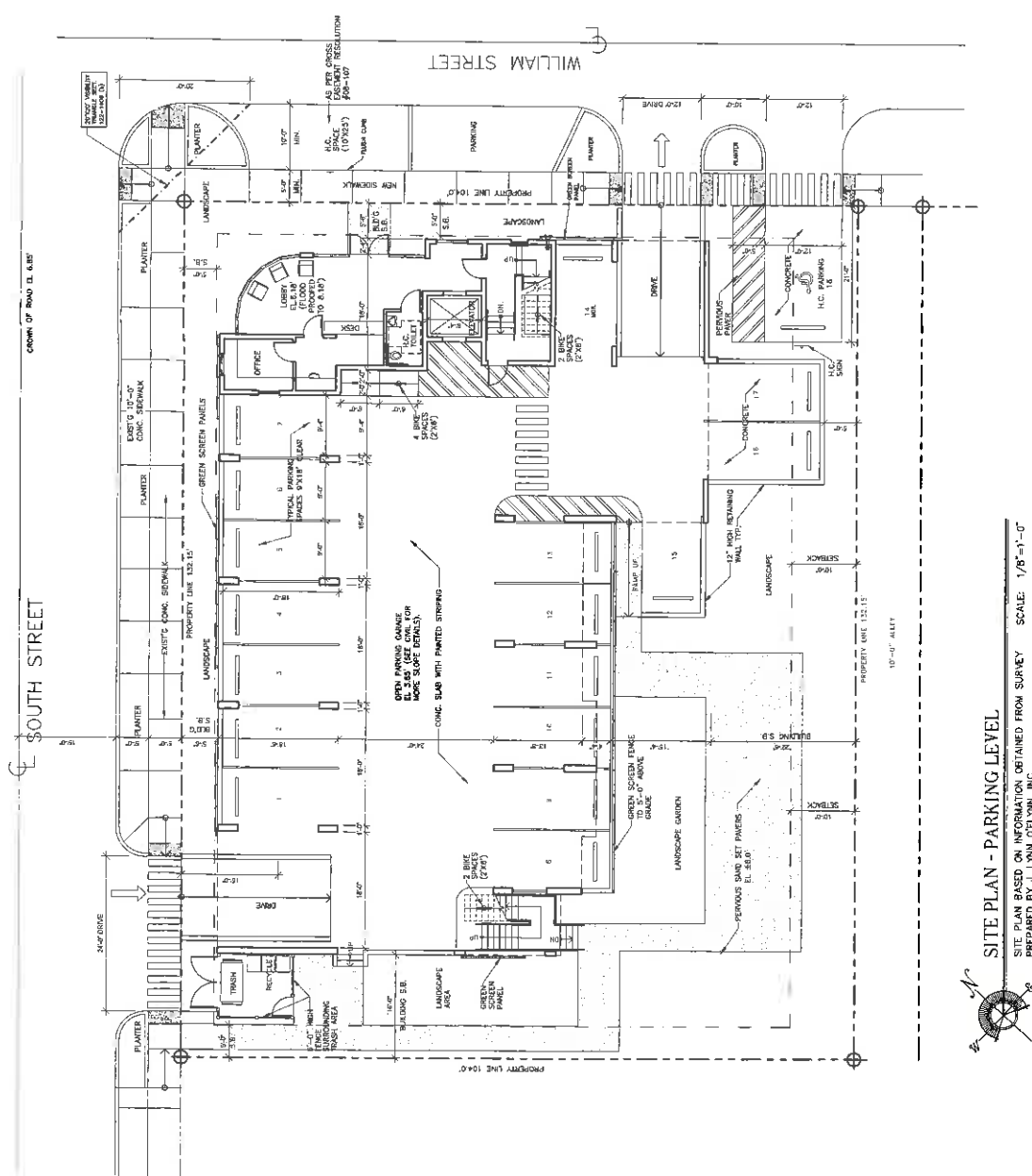
PROJECT  
SUBJECT  
1304





*Handwritten in blue:*  
MJK  
KSA

SITE DATA	
SITE AREA = 13744 S.F.	
LAND USE = MIX (RESIDING, RESIDENTIAL / OFFICE)	
FLOOD ZONE = "X" AND "AL" (L.O.)	
LOT COVERAGE ALLOWED = 6.87% S.O.F.T. = 50%	
LOT COVERAGE PROVIDED = 6.87% S.O.F.T. = 50%	
NET AREA AVAILABLE FOR BUILDING = 9360 S.F.	
IMPERVIOUS SURFACES ALLOWED = 2436 S.O.F.T. = 50%	
IMPERVIOUS SURFACES PROVIDED = 1814 S.O.F.T. = 50%	
<b>SETBACKS:</b>	
FRONT (SOUTH ST.) = 5'-0" REQUIRED	
SIDE SETBACKS PROVIDED = 5'-0" REQUIRED	
STREETSIDE SETBACK = 5'-0" REQUIRED	
REAR (ALLEY) PROVIDED = 10'-0" REQUIRED	
REAR (ALLEY) PROVIDED = 22'-0"	
<b>HEIGHT:</b> 30'-0" ABOVE CROWN OF ROAD	
STARTS	
FOR NON-HABITABLE ROOF STRUCTURES OF ELEVATOR AND	
<b>PARKING:</b>	
1 SPACE PER UNIT X 17 UNITS = 17 SPACES	
1 SPACIAL TOTAL REQUIRED = 10 SPACES	
PROVIDED (INCLUDING 14-C SPACES) = 18 SPACES	
RECYCLE REQUIRED = 7 SPACES (18 SPACES X 35%)	
PROVIDED = 8 SPACES	
BUILDING DATA	
OCCUPANCY = R-1 (HOTEL)	
CONSTRUCTION TYPE = TYPE IIB, SPRINKLERED PER NFPA 13R	
TRAVEL DISTANCE TO AN EXIT (SPRINKLERED) = 200 FT.	
COMMON PATH TO A CHOICE OF EXITS = 50 FT.	
<b>FIRST FLOOR (9 UNITS/SERVICE)</b>	
ENCLOSED (GROSS) (PARKING/Lobby)	= 844 S.F.
ENCLOSED (GROSS)	= 1018 S.F.
ENCLOSED (NET)	= 648 S.F.
<b>SECOND FLOOR (8 UNITS/SERVICE)</b>	
ENCLOSED (GROSS)	= 6105 S.F.
ENCLOSED (NET)	= 650 S.F.
ENCLOSURE (STAIR/ELEVATOR)	= 283 S.F.
TRELLIS	= 380 S.F.
<b>BUILDING TOTALS:</b>	
ENCLOSED (GROSS)	= 13168 S.F.
COMMERCIAL SERVICES	= 2081 S.F.
HOTEL	= 2188 S.F.
COVERED (GROSS)	= 6018 S.F.
COVERED (NET)	= 1818 S.F.
<b>PREVIOUS PARKING SUBMITTALS:</b>	
ENCLOSED (GROSS) AS APPROVED	= 14,546
COVERED (GROSS) AS APPROVED	= 4,674
COVERED (NET) AS APPROVED	= NOT LISTED



**SITE PLAN - PARKING LEVEL**  
SITE PLAN BASED ON INFORMATION OBTAINED FROM SURVEY  
PREPARED BY J. LYNN O'FLYNN, INC.  
DATED ON 10/9/13  
SCALE: 1/8"=1'-0"

TWO OCEAN INN  
716-718 SOUTH STREET  
KEY WEST, FLORIDA



WILLIAM P. IORIO  
ARCHITECT, P.A.

185 EAST 10<sup>TH</sup> ST  
KEY WEST,  
FLORIDA  
33409

TEL: 305-296-8307  
FAX: 305-296-1403

LICENSE NO.  
14000000

TWO OCEAN INN  
716-N. SOUTH STREET  
KEY WEST, FL.

SCALE

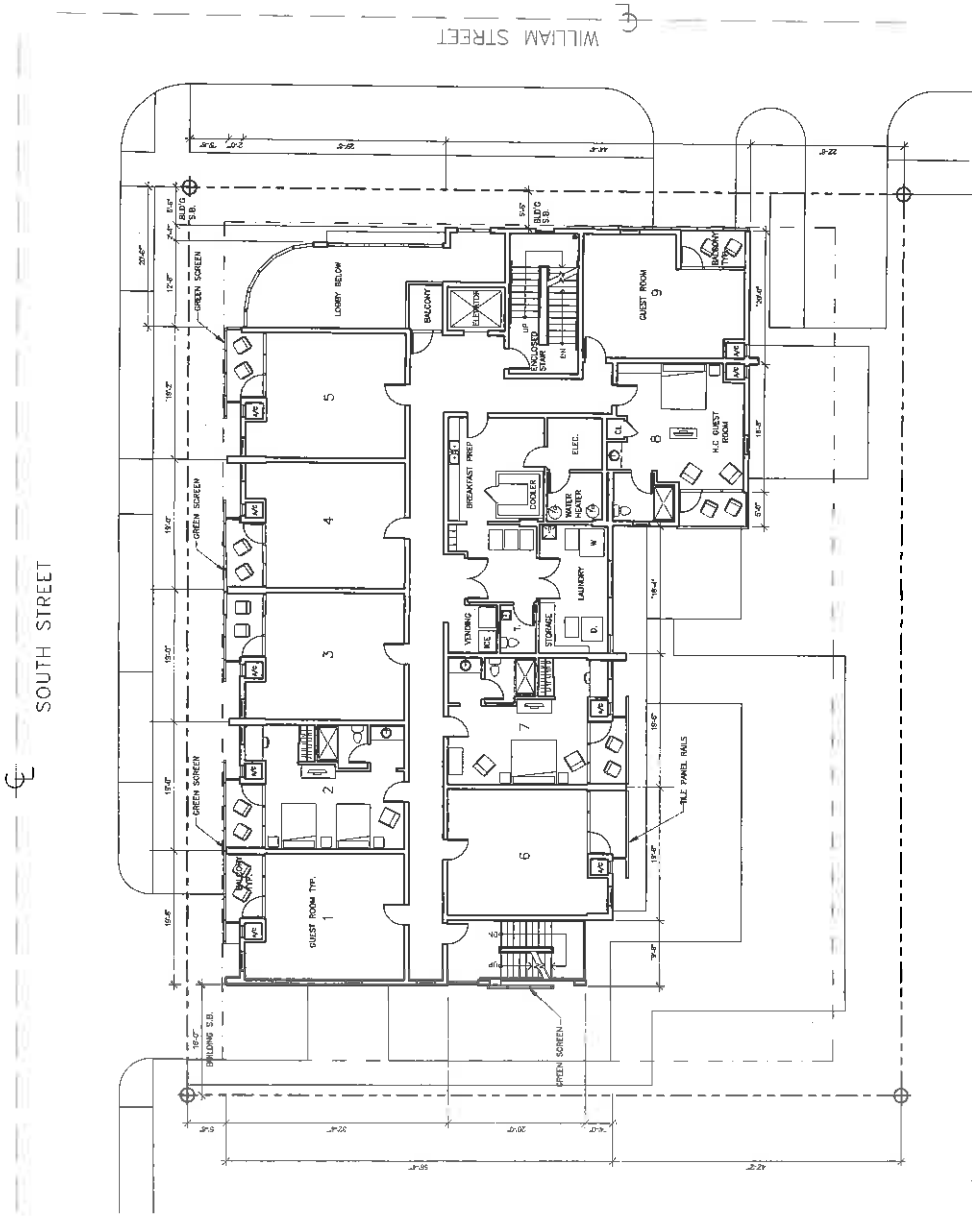
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SYSTEMS WITHOUT THE  
WRITTEN PERMISSION  
OF THE ARCHITECT.  
DATE:  
3-24-14 (REV.)  
5-12-14 (FL. RD.)

REVISIONS

DRAWN BY  
QC  
PH  
PROJECT  
NUMBER  
1204



*FLTB OK*



1ST LEVEL FLOOR PLAN  
SCALE: 1/8"=1'-0"

TWO OCEAN INN  
716-718 SOUTH STREET  
KEY WEST, FLORIDA

WILLIAM F. HORS  
ARCHITECT, P.A.

605 EAST 1ST  
KEY WEST  
FLORIDA  
33001

TEL. 305-296-1800  
FAX 305-296-1700  
LUCAS W. WOOD  
ARCHITECT

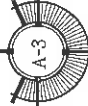
TWO OCEAN INN  
716-718 SOUTH STREET  
KEY WEST FL.

SCALE

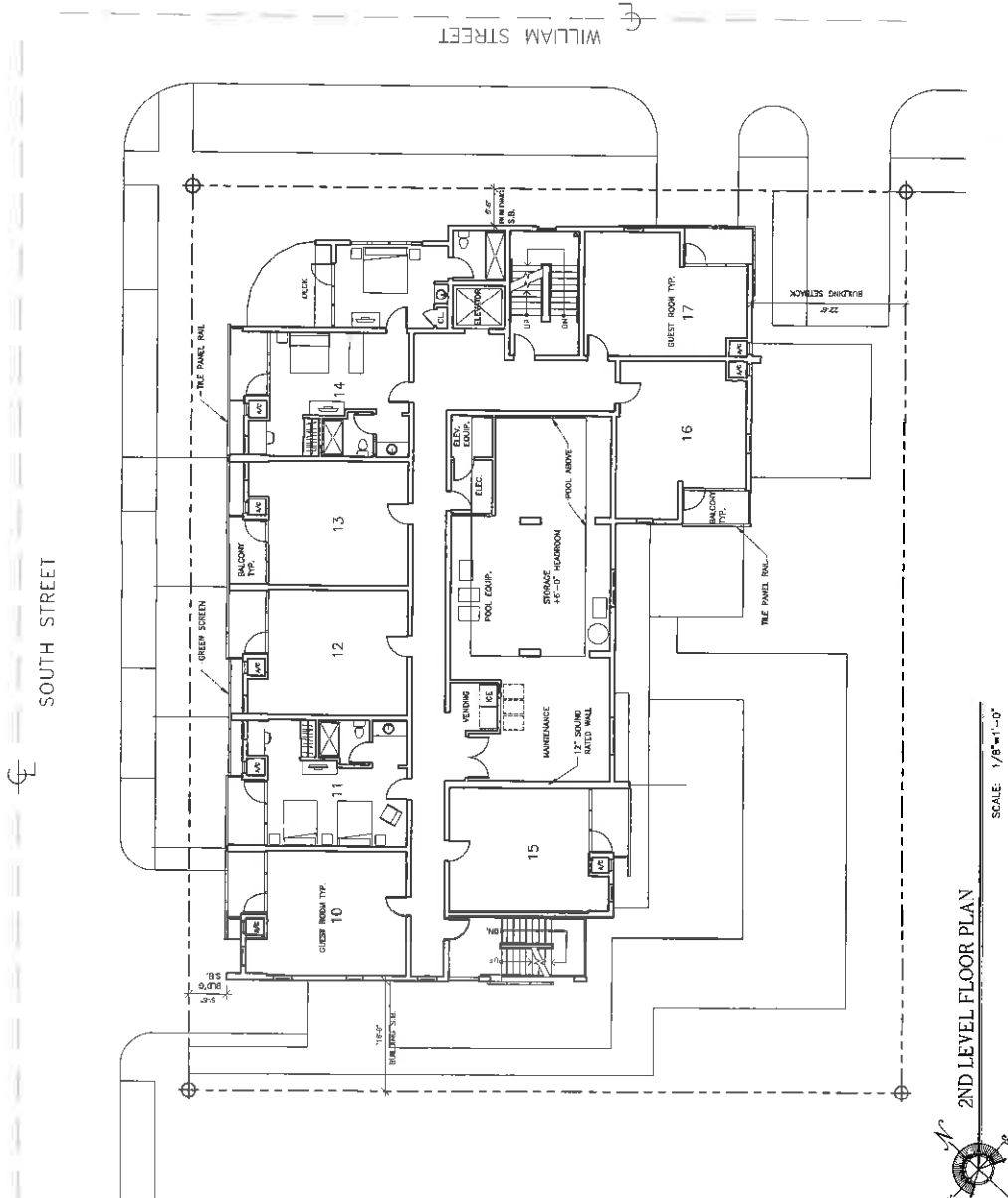
THESE DIMENSIONS MAY  
VARY WITHOUT NOTICE  
WILLIAM F. HORS  
DATE: 3-21-14 JWC  
5-12-14 P.L. BD.

REVISIONS

DRAWN BY  
CHECKED BY  
PROJECT  
DATE



*Handwritten notes:*  
SMB  
KJB



2ND LEVEL FLOOR PLAN

SCALE: 1/8"=1'-0"



TWO OCEAN INN  
716-718 SOUTH STREET  
KEY WEST, FLORIDA

WILLIAM F. HORN  
ARCHITECT, P.A.

9 WEAVER STREET  
KEY WEST  
FLORIDA  
33902

TEL: 305 296-6202  
FAX: 305 296-6202

LICENSE NO.  
A 12080

TWO OCEAN INN  
716716 SOUTH STREET  
KEY WEST, FL.

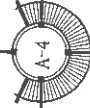
Scale

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THE WRITTEN PERMISSION  
OF THE ARCHITECT.

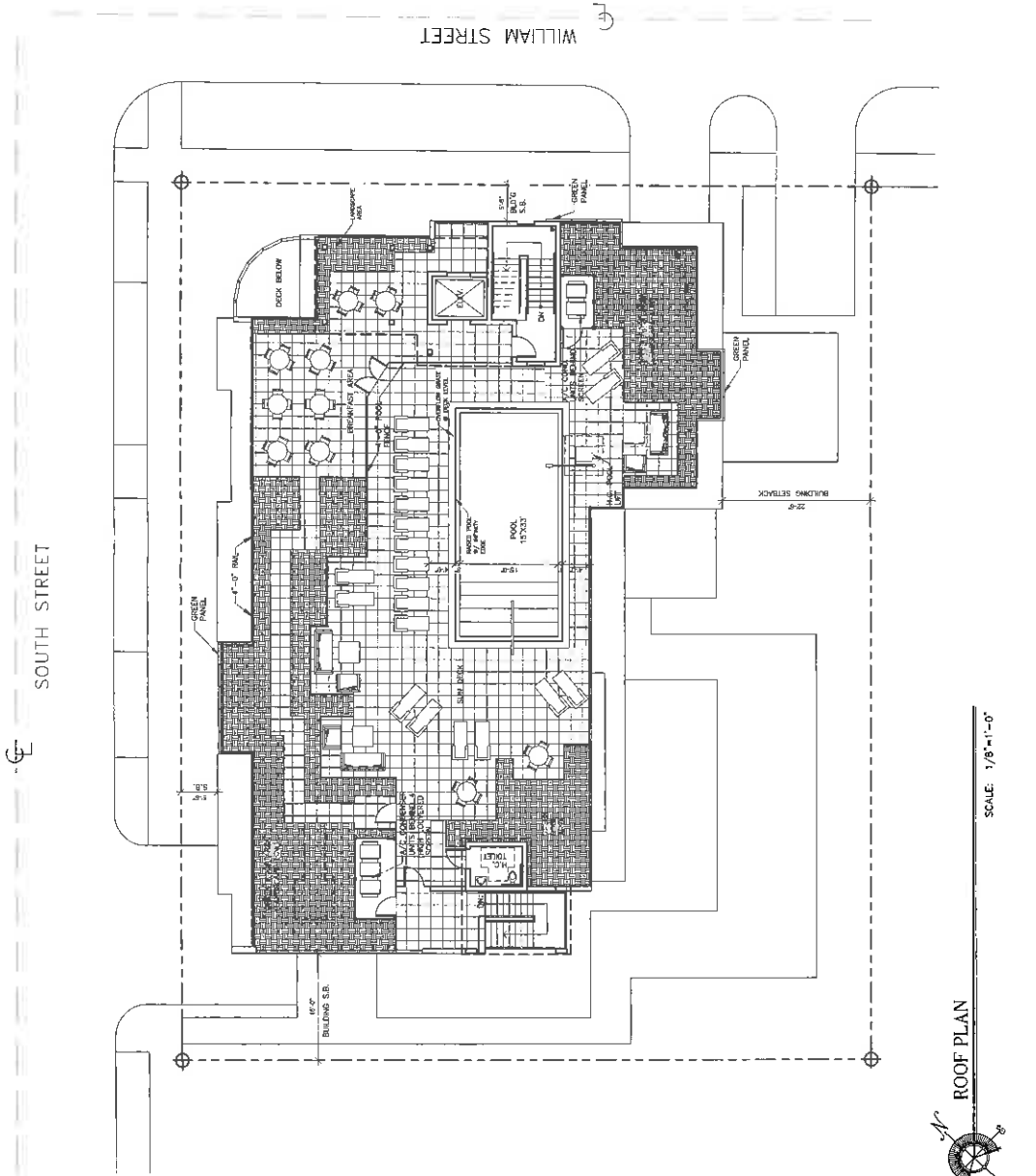
DATE: 11/14/03  
BY: J. H. HORN  
PROJECT NUMBER:  
8-25-14 HARC

REVISIONS

DRAWN BY:  
C.E. PH  
PROJECT  
NUMBER:  
1004

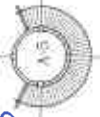


*Handwritten notes:*  
SFT  
C.M.F.

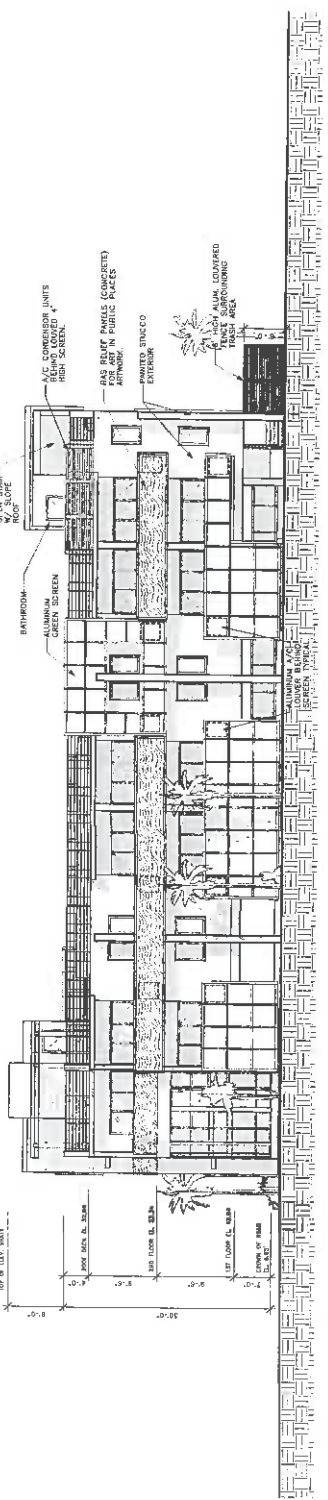


ROOF PLAN  
SCALE: 1/8"=1'-0"

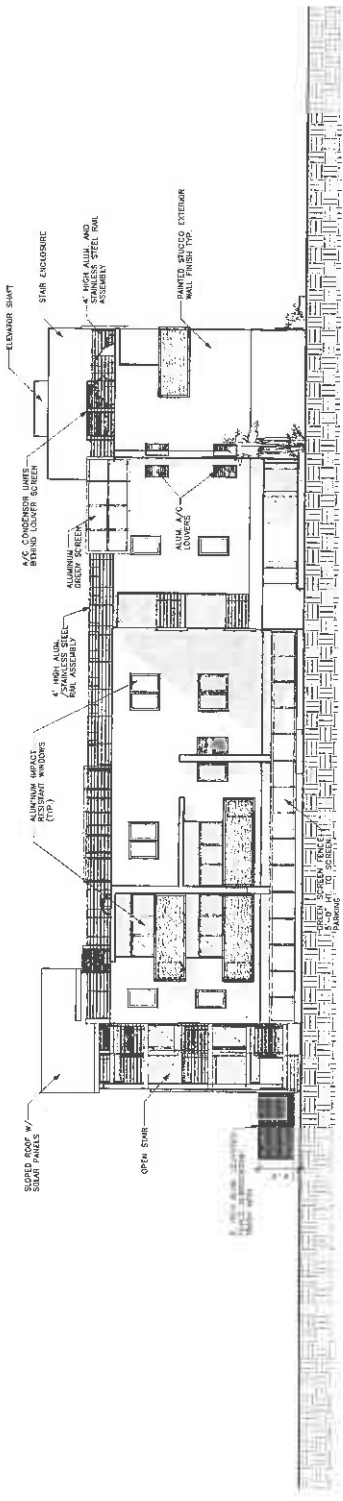
TWO OCEAN INN  
716716 SOUTH STREET  
KEY WEST, FLORIDA



*Handwritten notes:*  
KIB  
KIB



NORTH WEST ELEVATION - SOUTH ST. SIDE  
1/8" = 1'-0"



SOUTH EAST ELEVATION - GARDEN SIDE  
1/8" = 1'-0"

TWO OCEAN INN  
716-718 SOUTH STREET  
KEY WEST, FL

VILLAVAMP ARCHITECTS, P.A.

11111  
 11111  
 11111  
 11111  
 11111  
 11111

TWO OCEAN INN  
 716-718 SOUTH STREET

SCALE

DATE  
 2-28-11 ORC  
 5-12-11 R.L. DP  
 6-25-11 HARC

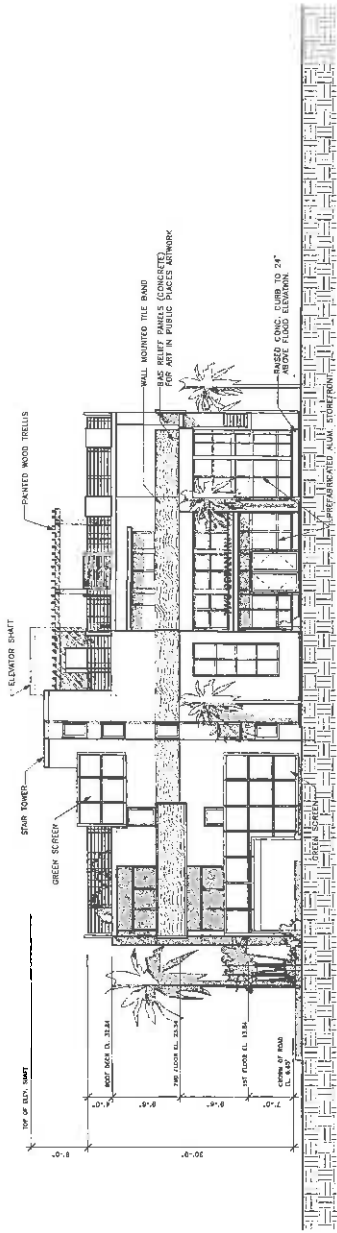
REVISIONS

DRAWN BY  
 CE

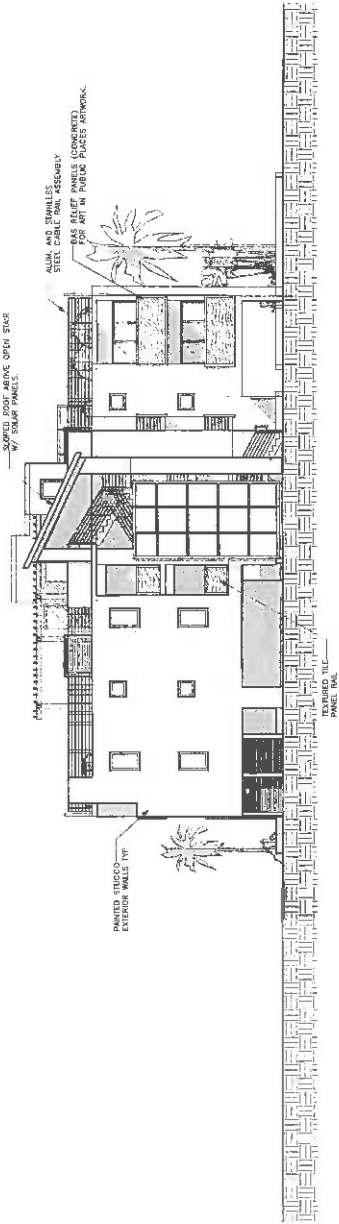
PROJECT NUMBER  
 1111



*Handwritten initials: MK, BJA*



NORTH EAST ELEVATION - WILLIAM ST. SIDE  
 1/8" = 1'-0"



SOUTH WEST ELEVATION  
 1/8" = 1'-0"

TWO OCEAN INN  
 716-718 SOUTH STREET  
 KEY WEST, FL

WILLIAM P. HORE  
ARCHITECT, P.A.

10000 BAYVIEW  
SUITE 100  
KEY WEST  
FLORIDA  
33603

TEL. 305.296.9307  
FAX 305.297.7621  
MULTILINGUO  
ALABAMA

TWO OCEAN INN  
716-718 SOUTH STREET  
KEY WEST, FL

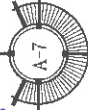
SCALE

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FROM THE ARCHITECT.

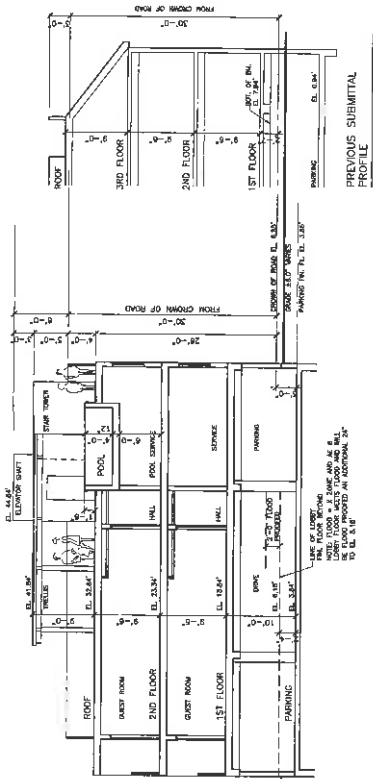
DATE  
3-21-14 BRK.  
5-12-14 PL ED.

REVISIONS

DRAWN BY  
CH  
PH  
PROJECT  
NUMBER  
1004



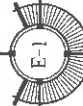
*Handwritten initials: JPH, KJB*



TWO OCEAN INN - 716, 718 SOUTH STREET

CONCEPTUAL SECTION  
SCALE: 1/8"=1'-0"

TWO OCEAN INN  
716-718 SOUTH STREET  
KEY WEST, FLORIDA

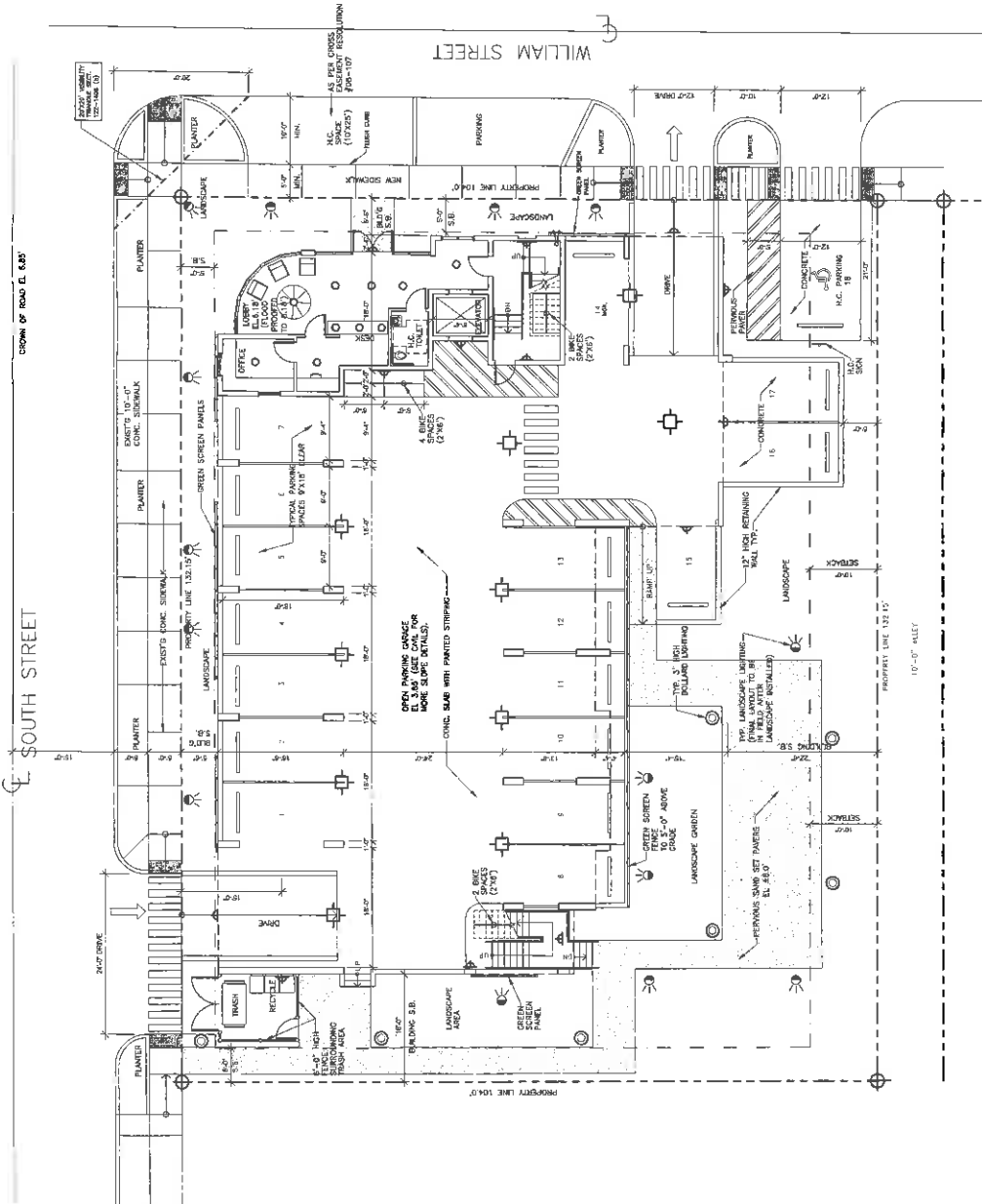


*Handwritten notes:*  
MWA  
BCX  
1284

**ELECTRICAL LIGHTING LEGEND**

- RECESSED CAN LIGHTING (LED)
- CEILING MOUNTED LED DOWN LIGHTS
- △ WALL MOUNTED LED DOWN LIGHTS
- ▽ LANDSCAPE LED LIGHTING, LOW VOLTAGE
- ⊙ BOLLARD LED LIGHTS

NOTE: ALL LIGHTING SHALL BE LED AND MEET ALL CITY CODE REQUIREMENTS INCLUDING BEING CIE OPT TYPE (DO NOT LIGHT OFF PROPERTY) AND SHALL MEET ALL DARK SKY REQUIREMENTS.



**CONCEPTUAL LIGHTING PLAN**

SITE PLAN BASED ON INFORMATION OBTAINED FROM SURVEY SCALE: 1/8"=1'-0"  
PREPARED BY: WILLAMP LORR ARCHITECT, P.A.  
DATED ON 10/29/23

**TWO OCEAN INN**  
716-718 SOUTH STREET  
KEY WEST, FLORIDA

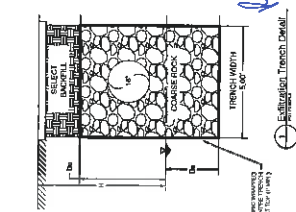
**Water Quantity Calculations - 25yr 75th Design Storm**

**Water Quality Calculations - 25yr 75th Design Storm**

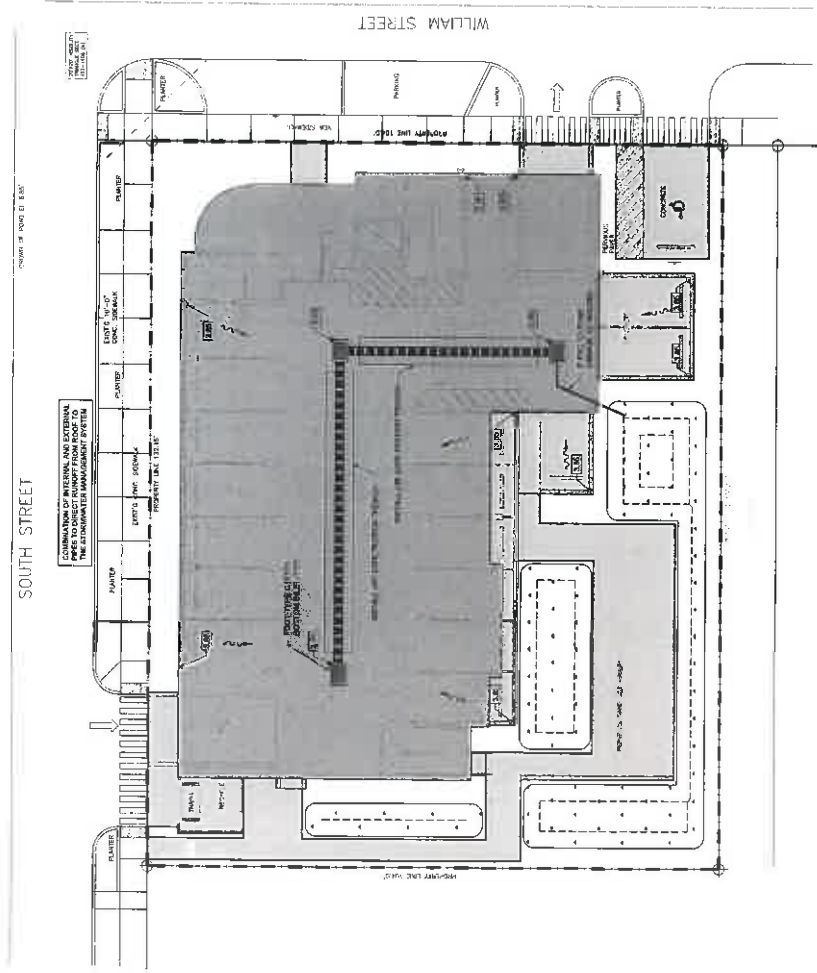
Project Area	13,744	sq ft
Impervious Area	12,344	sq ft
Permeable Area	1,400	sq ft
Runoff Coefficient	0.89	
Peak Runoff Rate	1.15	in/hr
Peak Runoff Volume	11.5	in-ft
Peak Runoff Depth	1.15	in
Peak Runoff Rate	1.15	in/hr
Peak Runoff Volume	11.5	in-ft
Peak Runoff Depth	1.15	in
Peak Runoff Rate	1.15	in/hr
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**Water Quality Calculations - 25yr 75th Design Storm**

Project Area	13,744	sq ft
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Permeable Area	1,400	sq ft
Runoff Coefficient	0.89	
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Peak Runoff Volume	11.5	in-ft
Peak Runoff Depth	1.15	in
Peak Runoff Rate	1.15	in/hr
Peak Runoff Volume	11.5	in-ft
Peak Runoff Depth	1.15	in



12" DIA. SAND BEDDING  
 12" DIA. SAND BEDDING  
 12" DIA. SAND BEDDING



**LEGEND**

- PROJECT LIMITS
- ASPHALT PAVEMENT
- CONCRETE
- ROOF AREA
- UTILITY AREA
- STORMWATER FLOW

1" = 10'  
 0 10 20  
 SAID TO INSET ON ORIGINAL DRAWINGS IF NOT TWO INCHES ON THIS SHEET. MUST SCALE ACCORDINGLY.



Project Name	TWO OCEAN INN
Project Address	KEY WEST, FLORIDA
Client	
Architect	
Engineer	
Contractor	
Planting Date	
Planting Area	
Planting Species	
Planting Quantity	
Planting Notes	

# TWO OCEAN INN

KEY WEST, FLORIDA

Drawing Title	Project #
Drawn by	Checked by
Date	Date

## EXISTING TREE DISPOSITION PLAN

Sheet Number:  
**L-1.0**

Date: MAY 20, 2014

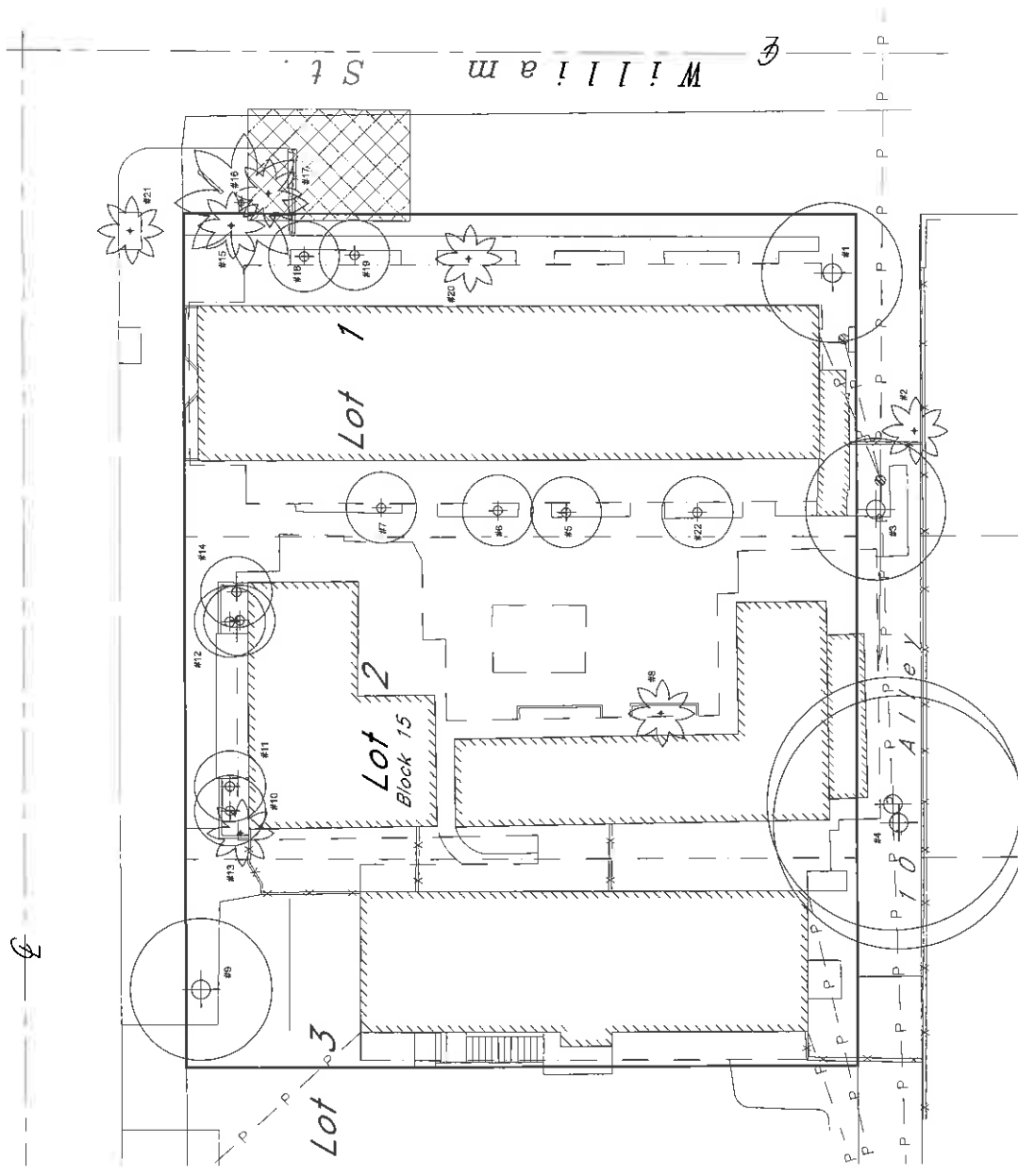
*Handwritten:* SPA  
MVA

- NOTES:
1. Site survey provided by William P. Kern Architects, PA
  2. Height, spread, caliper and location of existing vegetation is approximate.
  3. All other existing vegetation not scheduled here is to be removed.

EXISTING TREE & PALM INFORMATION SCHEDULE	DATE	LOCATION	HEIGHT	SPREAD	CALIPER	CO. IDENTIFICATION	REMARKS
#1	10/15/13	Lot 1	10'	10'	10"	101	...
#2	10/15/13	Lot 1	10'	10'	10"	102	...
#3	10/15/13	Lot 1	10'	10'	10"	103	...
#4	10/15/13	Lot 1	10'	10'	10"	104	...
#5	10/15/13	Lot 1	10'	10'	10"	105	...
#6	10/15/13	Lot 1	10'	10'	10"	106	...
#7	10/15/13	Lot 1	10'	10'	10"	107	...
#8	10/15/13	Lot 1	10'	10'	10"	108	...
#9	10/15/13	Lot 1	10'	10'	10"	109	...
#10	10/15/13	Lot 1	10'	10'	10"	110	...
#11	10/15/13	Lot 1	10'	10'	10"	111	...
#12	10/15/13	Lot 1	10'	10'	10"	112	...
#13	10/15/13	Lot 1	10'	10'	10"	113	...
#14	10/15/13	Lot 1	10'	10'	10"	114	...
#15	10/15/13	Lot 1	10'	10'	10"	115	...
#16	10/15/13	Lot 1	10'	10'	10"	116	...
#17	10/15/13	Lot 1	10'	10'	10"	117	...
#18	10/15/13	Lot 1	10'	10'	10"	118	...
#19	10/15/13	Lot 1	10'	10'	10"	119	...
#20	10/15/13	Lot 1	10'	10'	10"	120	...
#21	10/15/13	Lot 1	10'	10'	10"	121	...
#22	10/15/13	Lot 1	10'	10'	10"	122	...
#23	10/15/13	Lot 1	10'	10'	10"	123	...
#24	10/15/13	Lot 1	10'	10'	10"	124	...
#25	10/15/13	Lot 1	10'	10'	10"	125	...
#26	10/15/13	Lot 1	10'	10'	10"	126	...
#27	10/15/13	Lot 1	10'	10'	10"	127	...
#28	10/15/13	Lot 1	10'	10'	10"	128	...
#29	10/15/13	Lot 1	10'	10'	10"	129	...
#30	10/15/13	Lot 1	10'	10'	10"	130	...
#31	10/15/13	Lot 1	10'	10'	10"	131	...
#32	10/15/13	Lot 1	10'	10'	10"	132	...
#33	10/15/13	Lot 1	10'	10'	10"	133	...
#34	10/15/13	Lot 1	10'	10'	10"	134	...
#35	10/15/13	Lot 1	10'	10'	10"	135	...
#36	10/15/13	Lot 1	10'	10'	10"	136	...
#37	10/15/13	Lot 1	10'	10'	10"	137	...
#38	10/15/13	Lot 1	10'	10'	10"	138	...
#39	10/15/13	Lot 1	10'	10'	10"	139	...
#40	10/15/13	Lot 1	10'	10'	10"	140	...
#41	10/15/13	Lot 1	10'	10'	10"	141	...
#42	10/15/13	Lot 1	10'	10'	10"	142	...
#43	10/15/13	Lot 1	10'	10'	10"	143	...
#44	10/15/13	Lot 1	10'	10'	10"	144	...
#45	10/15/13	Lot 1	10'	10'	10"	145	...
#46	10/15/13	Lot 1	10'	10'	10"	146	...
#47	10/15/13	Lot 1	10'	10'	10"	147	...
#48	10/15/13	Lot 1	10'	10'	10"	148	...
#49	10/15/13	Lot 1	10'	10'	10"	149	...
#50	10/15/13	Lot 1	10'	10'	10"	150	...

South Street

William St



# TWO OCEAN INN

**PLANT SCHEDULE**

SYMBOL	PLANT NAME	COMMON NAME	HEIGHT	SPREAD	SPACING	CONDITION
1	1' PALM TREE	1' PALM TREE	1'-0"	1'-0"	10'-0" x 10'-0"	10/10
2	2' PALM TREE	2' PALM TREE	2'-0"	2'-0"	10'-0" x 10'-0"	10/10
3	3' PALM TREE	3' PALM TREE	3'-0"	3'-0"	10'-0" x 10'-0"	10/10
4	4' PALM TREE	4' PALM TREE	4'-0"	4'-0"	10'-0" x 10'-0"	10/10
5	5' PALM TREE	5' PALM TREE	5'-0"	5'-0"	10'-0" x 10'-0"	10/10
6	6' PALM TREE	6' PALM TREE	6'-0"	6'-0"	10'-0" x 10'-0"	10/10
7	7' PALM TREE	7' PALM TREE	7'-0"	7'-0"	10'-0" x 10'-0"	10/10
8	8' PALM TREE	8' PALM TREE	8'-0"	8'-0"	10'-0" x 10'-0"	10/10
9	9' PALM TREE	9' PALM TREE	9'-0"	9'-0"	10'-0" x 10'-0"	10/10
10	10' PALM TREE	10' PALM TREE	10'-0"	10'-0"	10'-0" x 10'-0"	10/10
11	11' PALM TREE	11' PALM TREE	11'-0"	11'-0"	10'-0" x 10'-0"	10/10
12	12' PALM TREE	12' PALM TREE	12'-0"	12'-0"	10'-0" x 10'-0"	10/10
13	13' PALM TREE	13' PALM TREE	13'-0"	13'-0"	10'-0" x 10'-0"	10/10
14	14' PALM TREE	14' PALM TREE	14'-0"	14'-0"	10'-0" x 10'-0"	10/10
15	15' PALM TREE	15' PALM TREE	15'-0"	15'-0"	10'-0" x 10'-0"	10/10
16	16' PALM TREE	16' PALM TREE	16'-0"	16'-0"	10'-0" x 10'-0"	10/10
17	17' PALM TREE	17' PALM TREE	17'-0"	17'-0"	10'-0" x 10'-0"	10/10
18	18' PALM TREE	18' PALM TREE	18'-0"	18'-0"	10'-0" x 10'-0"	10/10
19	19' PALM TREE	19' PALM TREE	19'-0"	19'-0"	10'-0" x 10'-0"	10/10
20	20' PALM TREE	20' PALM TREE	20'-0"	20'-0"	10'-0" x 10'-0"	10/10
21	21' PALM TREE	21' PALM TREE	21'-0"	21'-0"	10'-0" x 10'-0"	10/10
22	22' PALM TREE	22' PALM TREE	22'-0"	22'-0"	10'-0" x 10'-0"	10/10
23	23' PALM TREE	23' PALM TREE	23'-0"	23'-0"	10'-0" x 10'-0"	10/10
24	24' PALM TREE	24' PALM TREE	24'-0"	24'-0"	10'-0" x 10'-0"	10/10
25	25' PALM TREE	25' PALM TREE	25'-0"	25'-0"	10'-0" x 10'-0"	10/10
26	26' PALM TREE	26' PALM TREE	26'-0"	26'-0"	10'-0" x 10'-0"	10/10
27	27' PALM TREE	27' PALM TREE	27'-0"	27'-0"	10'-0" x 10'-0"	10/10
28	28' PALM TREE	28' PALM TREE	28'-0"	28'-0"	10'-0" x 10'-0"	10/10
29	29' PALM TREE	29' PALM TREE	29'-0"	29'-0"	10'-0" x 10'-0"	10/10
30	30' PALM TREE	30' PALM TREE	30'-0"	30'-0"	10'-0" x 10'-0"	10/10

**MINIMUM LANDSCAPE REQUIREMENTS**

SEC. 109-41.1(1) MINIMUM LANDSCAPE REQUIREMENTS

Site Area: 13,194 SF ± 3.0% Minimum Area of Landscaping  
 61' 18" Minimum  
 2,146 SF 7.0%  
 5,635 SF 25%

Total Plants Provided: Provided: 160  
 Required: 160  
 100%

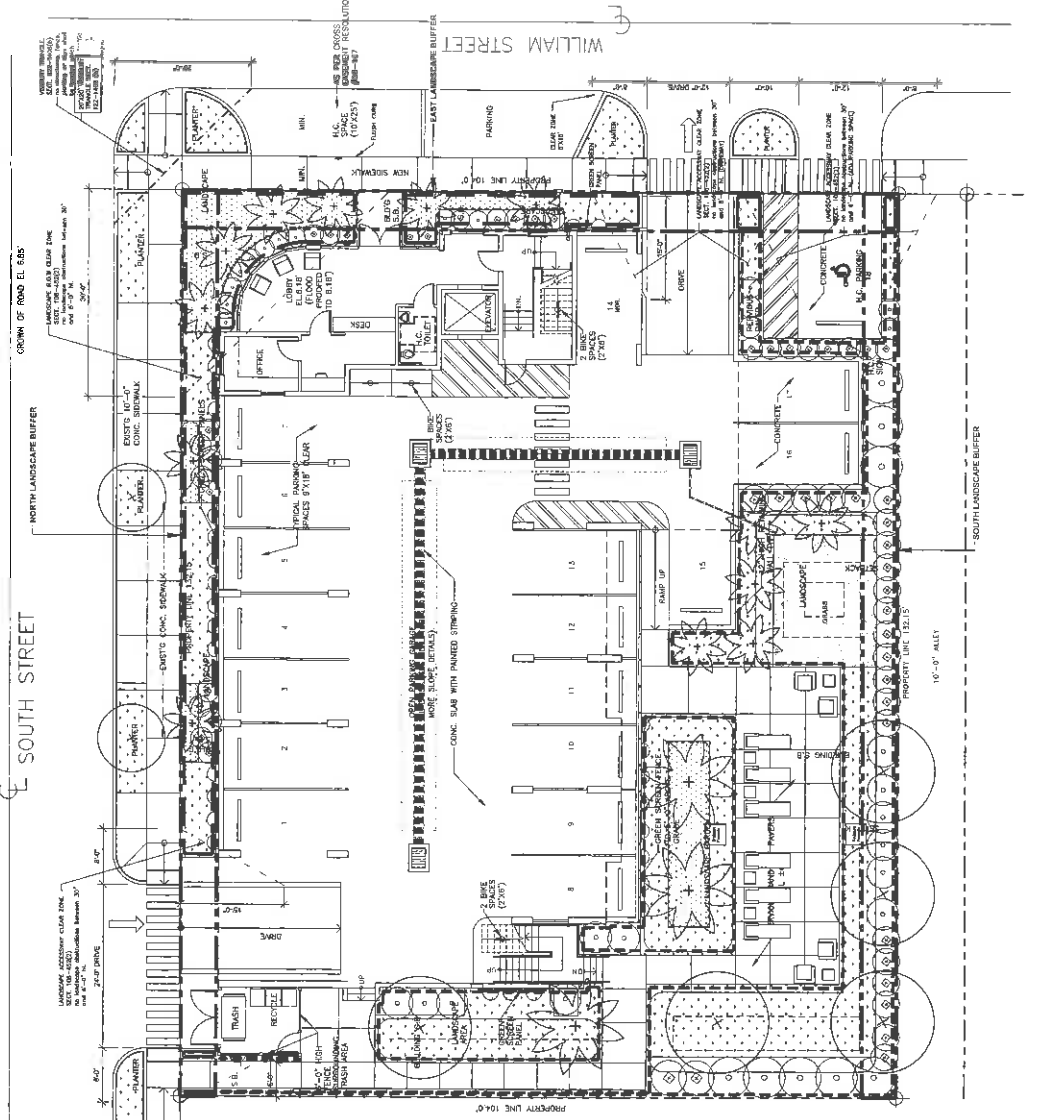
Total Plant Uplift Provided: 160  
 Required: 160  
 100%

Total Trees Required: 160  
 Provided: 160  
 100%

**LANDSCAPE BUFFER REQUIREMENTS**

SEC. 109-41.1(2) LANDSCAPE BUFFER REQUIREMENTS

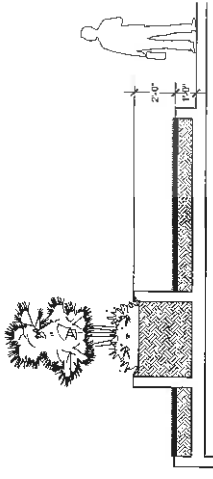
Buffer Type	Area (SF)	Minimum Area of Landscaping	Minimum Uplift	Minimum Trees
North	1,500	150	150	15
East	1,500	150	150	15
South	1,500	150	150	15
West	1,500	150	150	15
<b>Total</b>	<b>6,000</b>	<b>600</b>	<b>600</b>	<b>60</b>



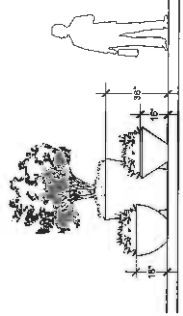
NOTES:  
 1. Site survey provided by William P. Horn Architects, PA  
 2. Sign locations, landscape deck zones, dimensions and color references provided by William P. Horn Architects, PA

LANDSCAPE ALONG RIGHT-OF-WAY  
 NON-VEHICULAR OPEN SPACE  
 LANDSCAPE BUFFER

*Handwritten notes:*  
 100%  
 100%



1 ROOF PLANTER SECTION (CONCEPTUAL)  
SCALE: 3/8" = 1'-0"

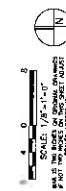
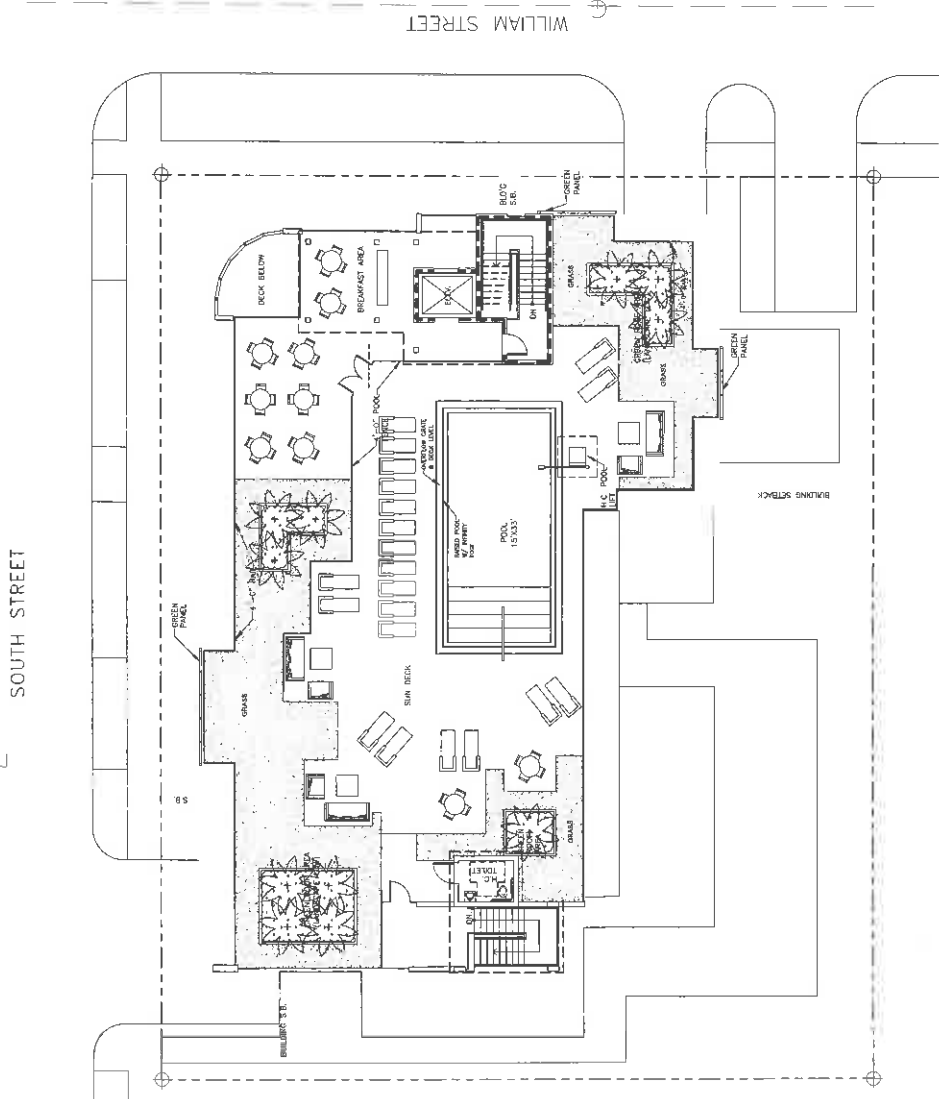


3 ROOF PLANT POT OPTION (CONCEPTUAL)  
SCALE: 3/8" = 1'-0"

PLANT	QUANTITY	SYMBOL	PLANT NAME	HEIGHT	SPACING	CONTAINER	SPACING	LOCATION
1	1	[Symbol]	1.00' TALL TREE	1.00'	1.00'	1.00'	1.00'	ROOF PLANTER
2	1	[Symbol]	2.00' TALL TREE	2.00'	2.00'	2.00'	2.00'	ROOF PLANTER
3	1	[Symbol]	3.00' TALL TREE	3.00'	3.00'	3.00'	3.00'	ROOF PLANTER
4	1	[Symbol]	4.00' TALL TREE	4.00'	4.00'	4.00'	4.00'	ROOF PLANTER
5	1	[Symbol]	5.00' TALL TREE	5.00'	5.00'	5.00'	5.00'	ROOF PLANTER
6	1	[Symbol]	6.00' TALL TREE	6.00'	6.00'	6.00'	6.00'	ROOF PLANTER
7	1	[Symbol]	7.00' TALL TREE	7.00'	7.00'	7.00'	7.00'	ROOF PLANTER
8	1	[Symbol]	8.00' TALL TREE	8.00'	8.00'	8.00'	8.00'	ROOF PLANTER
9	1	[Symbol]	9.00' TALL TREE	9.00'	9.00'	9.00'	9.00'	ROOF PLANTER
10	1	[Symbol]	10.00' TALL TREE	10.00'	10.00'	10.00'	10.00'	ROOF PLANTER

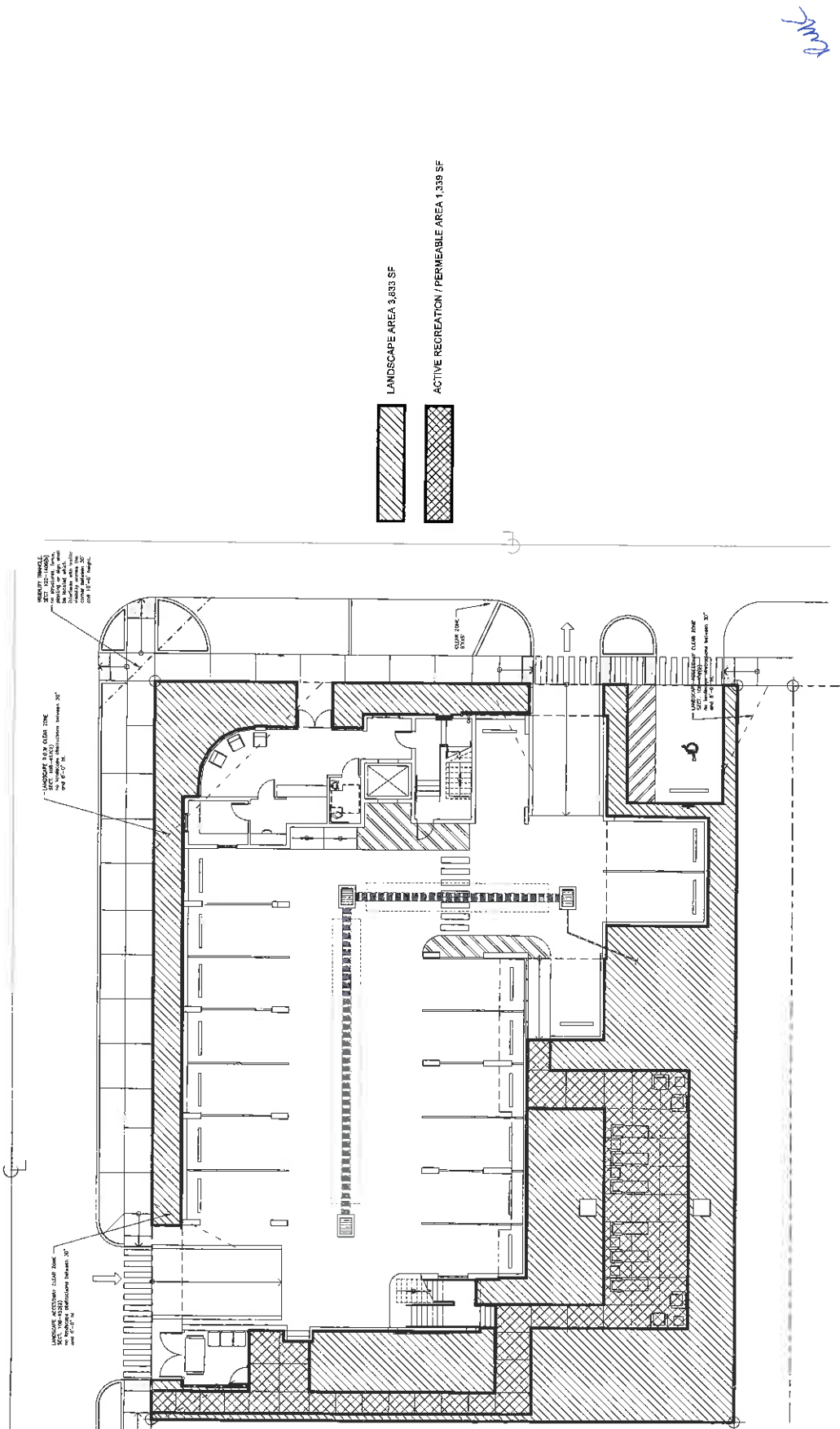
*Handwritten notes:*  
1-2  
1-3

NOTES:  
1. All plantings shall be provided by William P. Horn Architect, PA.  
2. Significance, landscape site zone dimensions and costs of materials provided by William P. Horn Architect, PA.



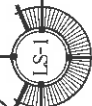
1 ROOF LEVEL LANDSCAPE PLAN  
SCALE: 3/8" = 1'-0"

**TWO OCEAN INN**  
 KEY WEST, FLORIDA



NOTES:  
 1. All areas are provided by William P. Horn Architect, PA.  
 2. Spot hatching indicates clear zone dimensions and other references provided by William P. Horn Architect, PA.

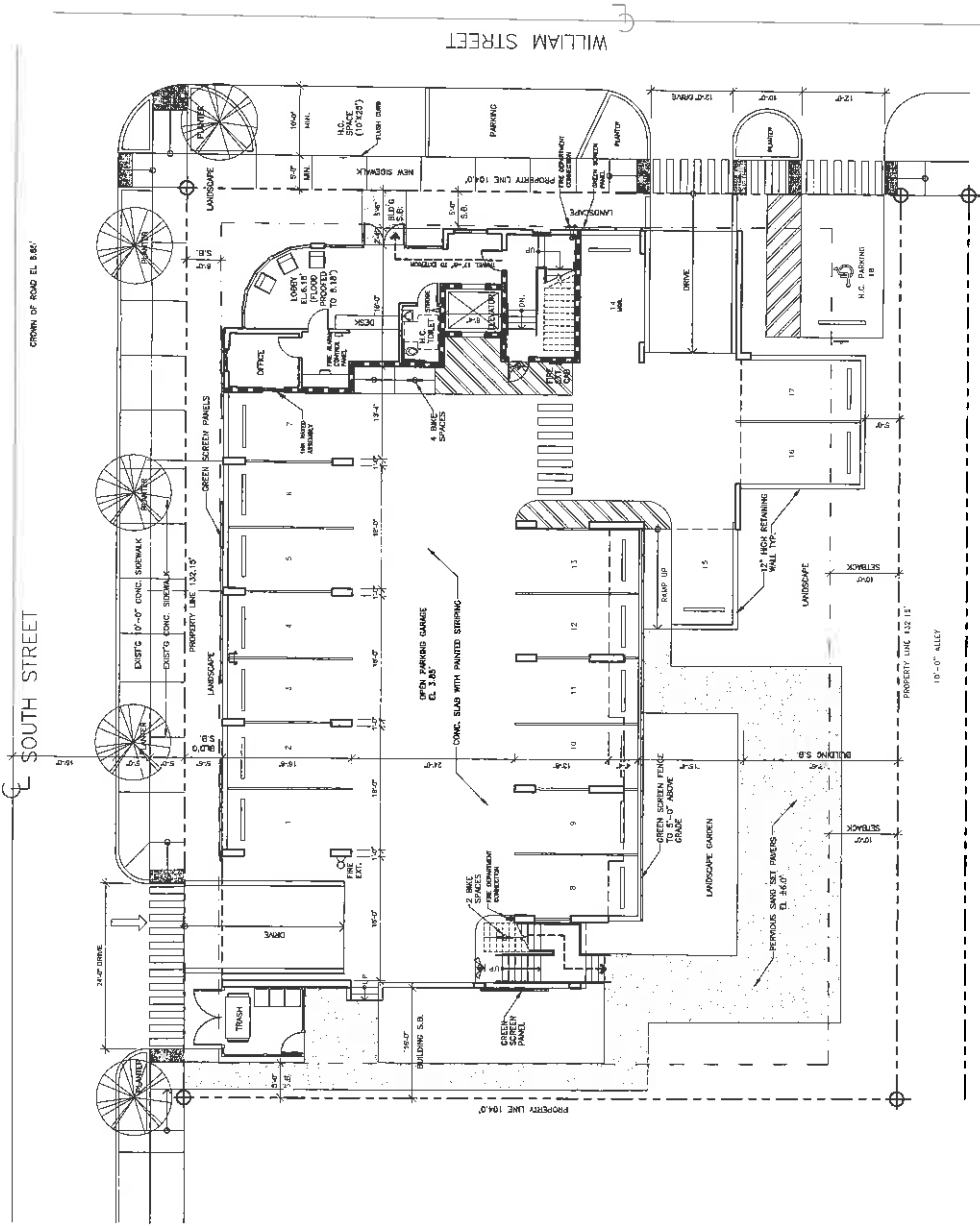
*Handwritten:* WPH  
*Handwritten:* K/B



SITE DATA	
SITE AREA = 13,745 S.F.	
LAND USE = IHC-2 (HISTORIC RESIDENTIAL OFFICE)	
FLOOD ZONE = "X" AND "AE" (EL. 9)	
LOT COVERAGE ALLOWED = 6.871% (50 FT. = 40K)	
LOT COVERAGE PROPOSED = 6.871% (50 FT. = 30K)	
IMPERVIOUS SURFACES ALLOWED = 0.248 SOLT. = 60K	
IMPERVIOUS SURFACES PROPOSED = 0.248 SOLT. = 60K	
SETBACKS:	
FRONT (SOUTH ST.) = 5'0" REQUIRED	
SIDE SETBACK PROVIDED = 5'0" REQUIRED	
REAR (ALL) PROVIDED = 10'0" REQUIRED	
PROVIDED = 22'0"	
HEIGHT: 30'-0" ABOVE CROWN OF ROAD	
48'-0" FOR NON-HABITABLE ROOF STRUCTURES OF ELEVATOR AND STAIRS.	
1 SPACE PER UNIT X 17 UNITS = 17 SPACES	
1 SPACE FOR MANAGER = 15 SPACES	
TOTAL PROVISIONS INCLUDING 11% C. SPACE = 15 SPACES	
TOTAL PROVISIONS INCLUDING 11% C. SPACE IS PROVIDED ON WELDON ST. AS PER PREVIOUS APPROVAL.	
BICYCLE PARKING = 5 SPACES	
LOADING ZONE NOT REQUIRED BASED ON BUILDING SQUARE FOOTAGE. SEE BUILDING DATA.	
BUILDING DATA	
OCCUPANCY = R-1 (HOTEL)	
CONSTRUCTION TYPE = TYPE IIB, SPRINKLERED RTR WITH 13P	
MAX. 16,000 S.F. PER FLOOR, 4 STORIES, 55'-0" HT.	
TOTAL FLOOR AREA (GROSS) = 64,800 S.F.	
COMMON PATH TO A CORNER OF LOTS = 54 FT.	
GROUND FLOOR:	
ENCLOSURE(GROSS)	= 844 S.F.
CORRIDOR PARKING	= 807 S.F.
FIRST FLOOR	
(5 UNITS/SERVICE)	
ENCLOSED	= 5,872 S.F.
COVERED	= 148 S.F.
SECOND FLOOR	
(6 UNITS/SERVICE)	
ENCLOSED	= 6,105 S.F.
COVERED	= 620 S.F.
ENCLOSED (STAIR/ELEVATOR)	= 293 S.F.
TRAILER	= 300 S.F.
BUILDING TOTALS:	
ENCLOSED(GROSS)	= 13,169 S.F.
COMMERCIAL SERVICES	= 2,191 S.F.
CIRCULATION	= 2,199 S.F.
HOTEL	= 8,099 S.F.
COVERED PARKING	= 1,844 S.F.
ENCLOSED (STAIR/ELEVATOR)	= 6,018 S.F.
PREVIOUS PLANNING	
ENCLOSED	= 14,346 S.F.
COVERED PARKING	= 1,844 S.F.
BUILDING TOTALS	= 16,190 S.F.
AS APPROVED	= NOT LISTED

LIFE SAFETY LEGEND	
	EMERGENCY LIGHT
	COMBO EXIT LIGHT AND FIRE DEPT. CONNECTION
	FIRE ALARM CONTROL PANEL
	FIRE ALARM PULL BOX
	SMOKE DETECTOR AND CO SENSOR
	FIRE DEPT. CONNECTION
	FIRE ALARM CONTROL PANEL
	FIRE ALARM PULL BOX

*Handwritten notes:*  
KSA  
MVA



**PARKING LEVEL**  
SITE PLAN BASED ON INFORMATION OBTAINED FROM SURVEY SCALE: 1/8"=1'-0"  
PREPARED BY J. LYNN OF LYNN, INC.  
DATED ON 10/8/13

**TWO OCEAN INN**  
716-711 SOUTH STREET  
KEY WEST, FLORIDA

WILLIAM D. HORAN  
ARCHITECT, P.A.

REGISTERED  
STATE OF FLORIDA  
ARCHITECT

TEL: 305-296-8800  
FAX: 305-296-8801  
LICENSE NO.  
AA 000000

TWO OCEAN INN  
716 SOUTH STREET  
KEY WEST, FL

SCALE

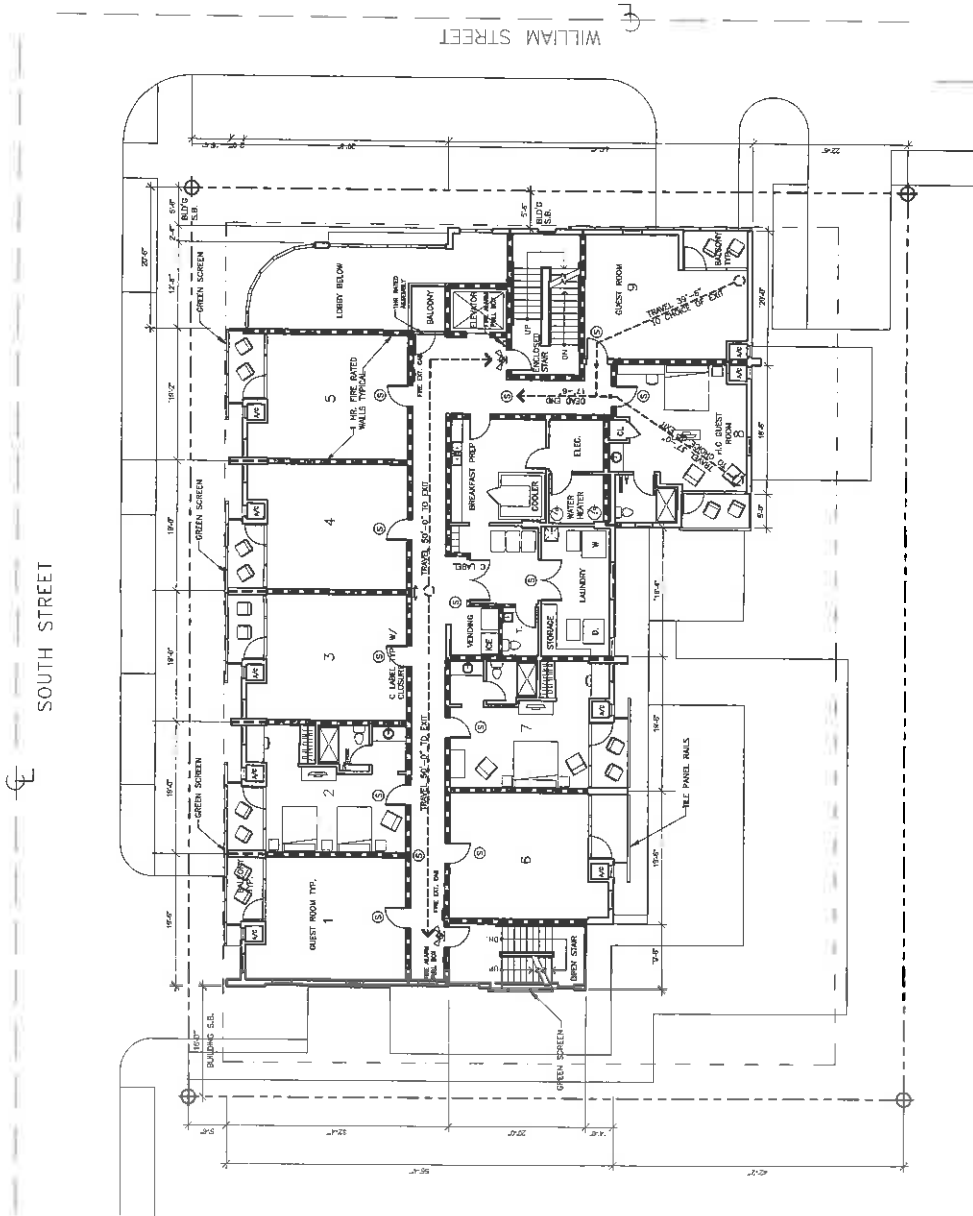
THIS SET IS TO BE USED ONLY  
FOR THE PROJECT AND SITE  
INDICATED HEREON. ANY  
OTHER USE IS PROHIBITED.  
DATE: 3-21-14 BHC  
3-21-14 PL. BD.

REVISIONS

DRAWN BY  
CHECKED BY  
DATE



*Handwritten notes:*  
ONE  
K15



1ST LEVEL FLOOR PLAN

SCALE: 1/8"=1'-0"

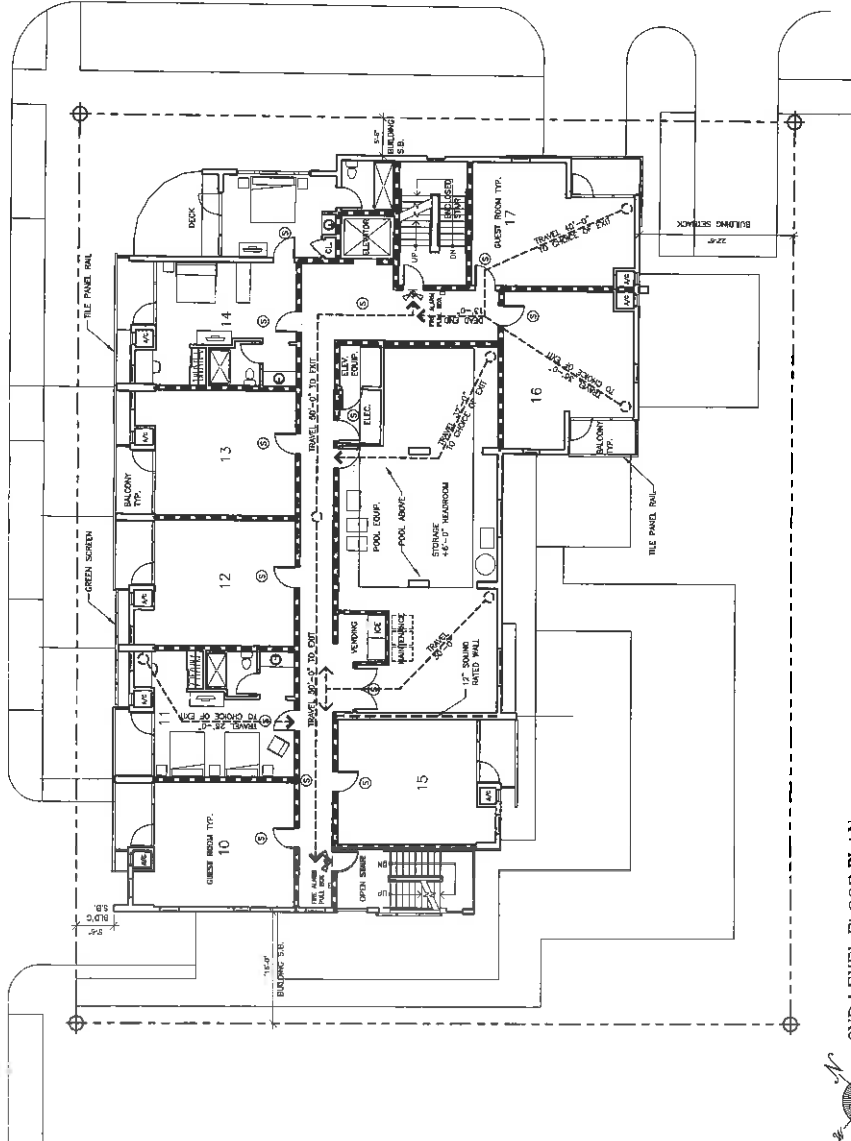
TWO OCEAN INN  
716-711 SOUTH STREET  
KEY WEST, FLORIDA



*Handwritten:* SCA  
SLS

SOUTH STREET

WILLIAM STREET



2ND LEVEL FLOOR PLAN

SCALE: 1/8"=1'-0"



TWO OCEAN INN  
716-711 SOUTH STREET  
KEY WEST, FLORIDA

WILLIAM F. HOOR  
ARCHITECT, P.A.

SHEPARDSON ST  
KEY WEST  
FLORIDA  
33090

TOLL: 305-296-9392  
FAX: 305-296-4223

LICENSE NO.  
41476

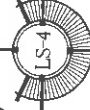
TWO OCEAN INN  
716-711 SOUTH STREET  
KEY WEST FL

SCALE

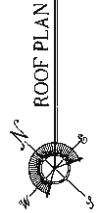
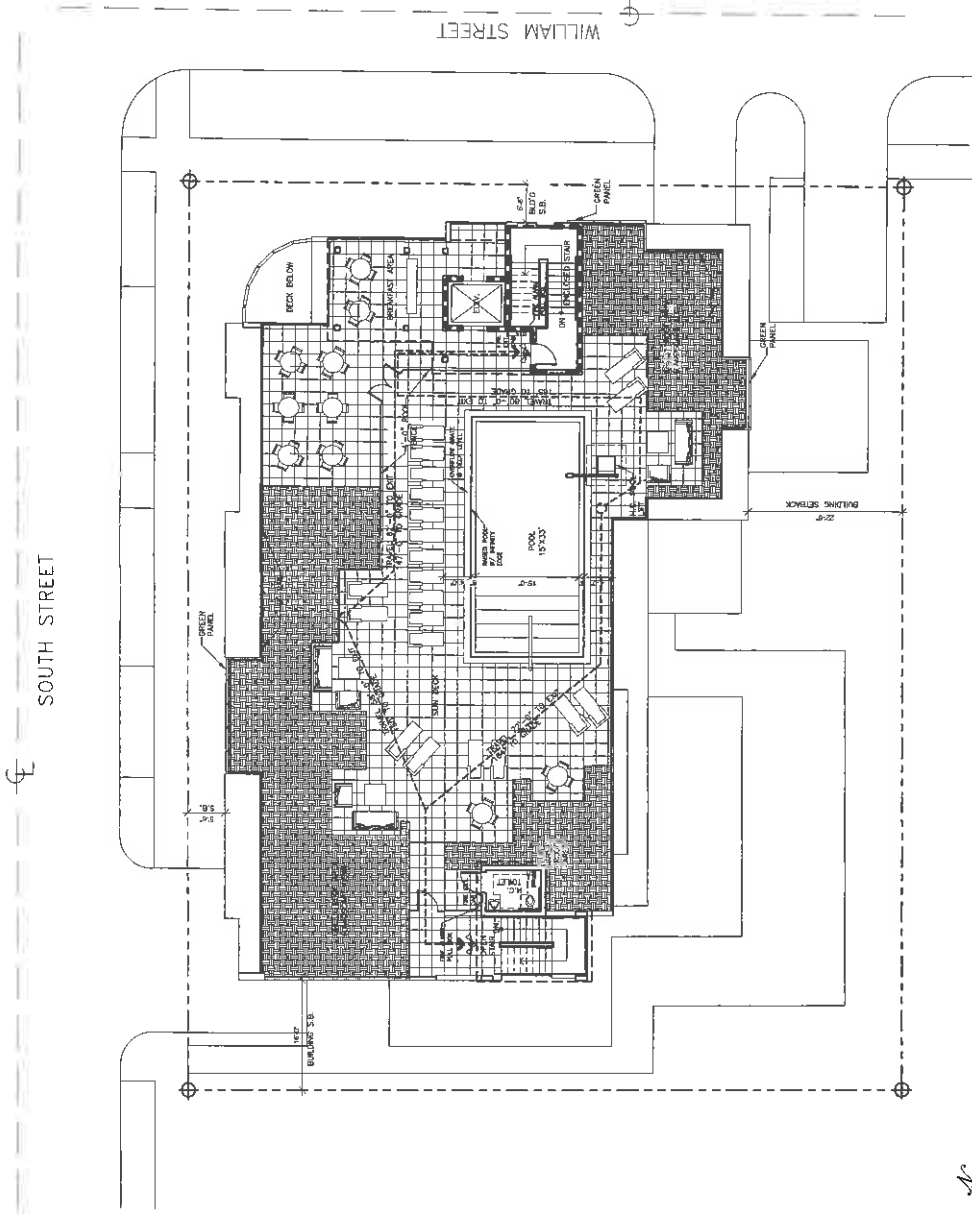
THIS DRAWING MAY  
BE USED FOR ANY  
PURPOSE WITHOUT  
THE WRITTEN  
CONSENT OF THE  
ARCHITECT.  
DATE: 3-29-14 JHC  
5-12-14 FL BD

REVISIONS

DRAWN BY:  
OC  
FH  
PROJECT  
NUMBER  
1524



*JHC*  
*KJB*



ROOF PLAN

SCALE 1/8"=1'-0"

TWO OCEAN INN  
716-711 SOUTH STREET  
KEY WEST, FLORIDA