

# **Fire and Engineering Report**



Brendon Cunningham <bcunning@keywestcity.com>

---

**FW: KW Kia**

2 messages

---

Jason Barroso <jbarroso@keywestcity.com>  
To: bcunning@keywestcity.com

Thu, Oct 10, 2013 at 8:37 AM

*Jason Barroso* Lt. FIRE INSPECTOR  
Key West Fire Department  
1600 N. Roosevelt Blvd.  
Key West, Florida 33040  
305-809-3933 Office  
305-293-8399 Fax  
jbarroso@keywestcity.com  
*Serving the Southernmost City*

---

**From:** Daiwa007@aol.com [mailto:Daiwa007@aol.com]  
**Sent:** Tuesday, October 08, 2013 3:09 PM  
**To:** jbarroso@keywestcity.com; greg@smithoropeza.com  
**Cc:** pparchkw@aol.com  
**Subject:** KW Kia

All Concerned,

Attached is an updated site plan for KIA showing proposed amendments. This is not complete, but it demonstrates the intention for the on-site storage of automobile inventory. Jason, the dotted line represents area that will be open at all times. We have not had time to flesh this out to Mr. Pike's specifications.

For the final, which we will issue in the next day or so, we propose to amend those sheets and add signage and pavement striping indicating that those areas inside the dotted lines) are designated fire lanes with no parking. In addition, Mr. Pike wishes to add a fire hydrant in-line to the 2" RPZ hookup that is already on-site. I apologize for not having that information already, we are under a tight deadline that we are trying to get passed in order to focus all efforts on this project. Thank you for your time.

Antonio A. Osborn Jr.

**Pike Architects Inc.**

305.797.2309

Daiwa007@aol.com

P. S. Jason, the dimensions we spoke about for the existing awning (12'-11" clear), are on the amended drawings already (elevations).

---

 **KIA 10.08.2013 FIRE.pdf**  
3937K

---

**Jason Barroso** <jbarroso@keywestcity.com>  
To: bcunning@keywestcity.com

Thu, Oct 10, 2013 at 8:42 AM


B,

Please find attached the approved parking lay out provided by the architects, approved Fire Truck Turn around with Fire Dept. accessibility in and around the entire subject property.

Thank You,

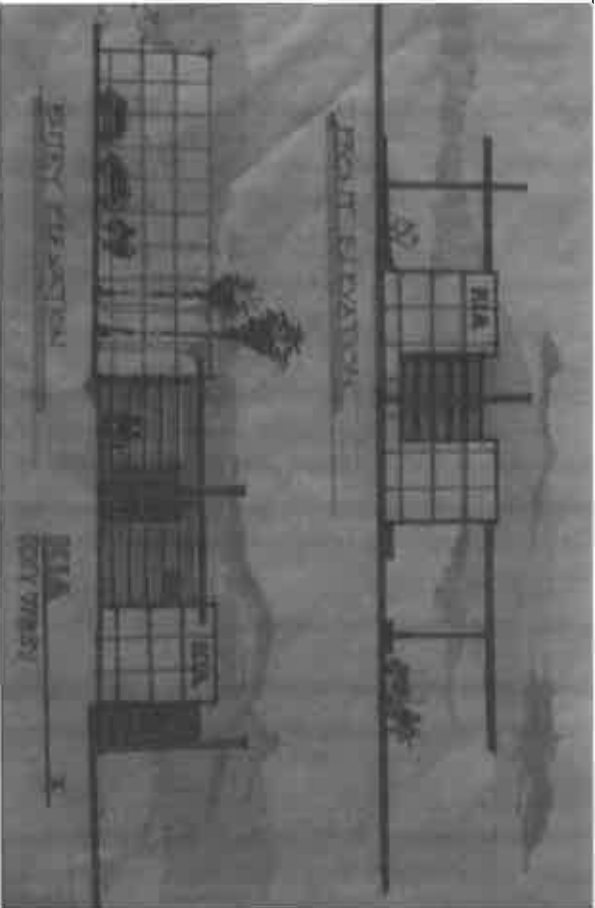
[Quoted text hidden]

---

 **KIA 10.08.2013 FIRE.pdf**  
3937K

# KEY WEST KIA DEALERSHIP

2826 NORTH ROOSEVELT BOULEVARD  
KEY WEST, FLORIDA 33040

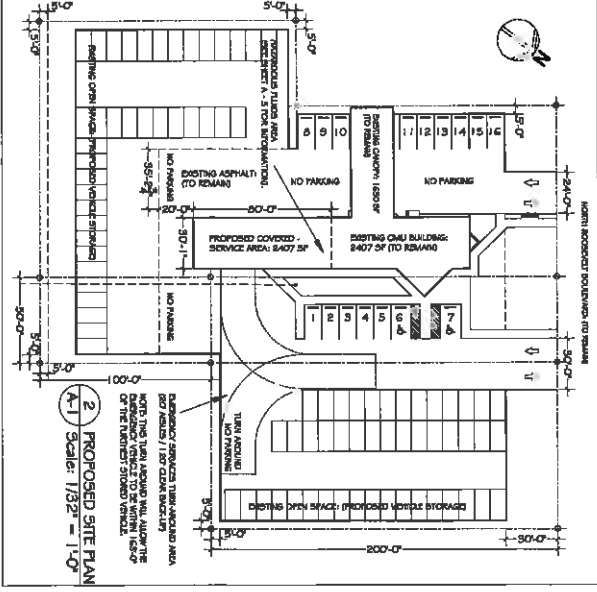
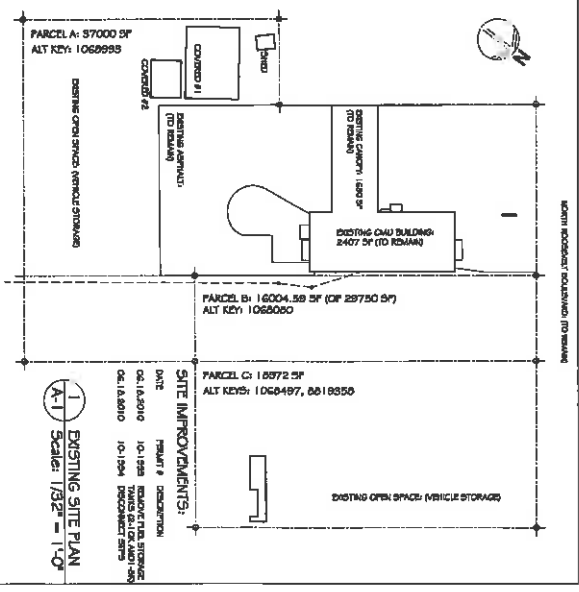


## SHEET SCHEDULE

SHEET	CONTENT
A-1	EXISTING & PROPOSED SITE PLAN & SITE DATA
A-2	EXISTING & PROPOSED EXTERIOR (PAVING)
A-3	EXISTING & PROPOSED EXTERIOR (ROOFING)
A-4	EXISTING & PROPOSED EXTERIOR (LANDSCAPE & LIGHTING PLAN & DETAILS)
A-5	PROPOSED LIFE SAFETY PLAN
A-6	PROPOSED SITE DRAINAGE PLAN & DETAILS
A-7	CONCEPTUAL LANDSCAPE & LIGHTING PLAN & DETAILS

## PROPOSED KIA DEALERSHIP SITE DATA: 05.31.2013

SITE ANALYSIS - EXISTING		SITE ANALYSIS - REQUIRED		SITE ANALYSIS - PROPOSED		COMPLIANT	
ZONE	CS	CS	CS	CS	CS	YES (NO CHANGES)	YES (NO CHANGES)
MIN. AREA	7,197K.59 SF (1.45 AC)	15,000 SF	7,197K.59 SF (1.45 AC)	YES (NO CHANGES)	YES (NO CHANGES)	YES (NO CHANGES)	YES (NO CHANGES)
MIN. WIDTH	247' x 300'	150'	247' x 300'	YES (NO CHANGES)	YES (NO CHANGES)	YES (NO CHANGES)	YES (NO CHANGES)
MIN. DEPTH	300' x 300'	100'	300' x 300'	YES (NO CHANGES)	YES (NO CHANGES)	YES (NO CHANGES)	YES (NO CHANGES)
HEIGHTS	35.00 SF (0.817M)	60M	35.00 SF (0.817M)	NO (ADJUSTANCE REQ.)	NO (ADJUSTANCE REQ.)	NO (ADJUSTANCE REQ.)	NO (ADJUSTANCE REQ.)
CONTR. STR. CONC.	2407 SF	CONC.	2407 SF	NO (ADJUSTANCE REQ.)	NO (ADJUSTANCE REQ.)	NO (ADJUSTANCE REQ.)	NO (ADJUSTANCE REQ.)
CONTR. STR. CONC.	1,520 SF	CONC.	1,520 SF	NO (ADJUSTANCE REQ.)	NO (ADJUSTANCE REQ.)	NO (ADJUSTANCE REQ.)	NO (ADJUSTANCE REQ.)
CONTR. STR. CONC.	1,228 SF	CONC.	1,228 SF	NO (ADJUSTANCE REQ.)	NO (ADJUSTANCE REQ.)	NO (ADJUSTANCE REQ.)	NO (ADJUSTANCE REQ.)
CONTR. STR. CONC.	843 SF	CONC.	843 SF	NO (ADJUSTANCE REQ.)	NO (ADJUSTANCE REQ.)	NO (ADJUSTANCE REQ.)	NO (ADJUSTANCE REQ.)
CONTR. STR. CONC.	65 SF	CONC.	65 SF	NO (ADJUSTANCE REQ.)	NO (ADJUSTANCE REQ.)	NO (ADJUSTANCE REQ.)	NO (ADJUSTANCE REQ.)
CONTR. STR. CONC.	17,850 SF	CONC.	17,850 SF	NO (ADJUSTANCE REQ.)	NO (ADJUSTANCE REQ.)	NO (ADJUSTANCE REQ.)	NO (ADJUSTANCE REQ.)
CONTR. STR. CONC.	6590 SF (0.237M)	CONC.	6590 SF (0.237M)	NO (ADJUSTANCE REQ.)	NO (ADJUSTANCE REQ.)	NO (ADJUSTANCE REQ.)	NO (ADJUSTANCE REQ.)
CONTR. STR. CONC.	2407 SF	CONC.	2407 SF	NO (ADJUSTANCE REQ.)	NO (ADJUSTANCE REQ.)	NO (ADJUSTANCE REQ.)	NO (ADJUSTANCE REQ.)
CONTR. STR. CONC.	1,520 SF	CONC.	1,520 SF	NO (ADJUSTANCE REQ.)	NO (ADJUSTANCE REQ.)	NO (ADJUSTANCE REQ.)	NO (ADJUSTANCE REQ.)
CONTR. STR. CONC.	1,228 SF	CONC.	1,228 SF	NO (ADJUSTANCE REQ.)	NO (ADJUSTANCE REQ.)	NO (ADJUSTANCE REQ.)	NO (ADJUSTANCE REQ.)
CONTR. STR. CONC.	843 SF	CONC.	843 SF	NO (ADJUSTANCE REQ.)	NO (ADJUSTANCE REQ.)	NO (ADJUSTANCE REQ.)	NO (ADJUSTANCE REQ.)
CONTR. STR. CONC.	65 SF	CONC.	65 SF	NO (ADJUSTANCE REQ.)	NO (ADJUSTANCE REQ.)	NO (ADJUSTANCE REQ.)	NO (ADJUSTANCE REQ.)
CONTR. STR. CONC.	17,850 SF	CONC.	17,850 SF	NO (ADJUSTANCE REQ.)	NO (ADJUSTANCE REQ.)	NO (ADJUSTANCE REQ.)	NO (ADJUSTANCE REQ.)



PETER M. FINE P.L.A. REGISTRATION # AFD015195

<b>SHEET #</b> A-1	PROJECT: RENOVATION OF FILING STATION <b>KEY WEST KIA</b> 2826 NORTH ROOSEVELT BLVD. KEY WEST, FL 33040	471 US HIGHWAY 1 SUITE 101 KEY WEST, FL 33040 305-286-1692
	DRAWING TITLE: <b>PROPOSED &amp; EXISTING          SITE PLANS &amp; SITE DATA</b>	PETER FINE ARCHITECT 101 19th Street, Suite 101 Key West, FL 33040




THE CITY OF KEY WEST

Post Office Box 1409 Key West, FL 33041-1409 (305) 809-3700

---

**TO:** Brendon Cunningham, Senior Planner II

**CC:** Doug Bradshaw, Senior Project Manager  
Gregory S. Oropeza, Esq., Applicant

**FROM:** Elizabeth Ignoffo, E.I., Permit Engineer 

**DATE:** August 27, 2013

**SUBJECT: Conditional Use Application – 2826-2832 North Roosevelt Boulevard  
KIA Dealership  
Parking Area Plan Review and Comments**

Revised site plans, dated August 20, 2013, for the Key West KIA Dealership, to be located at 2826 North Roosevelt Boulevard, have been reviewed. Revisions include paving the car lot storage area and storage area for hazardous fluids.

The following comments are provided:

Stormwater Drainage

Site Drainage Plan proposes grading the properties into three drainage basins and constructing dry retention swales in each basin to capture stormwater runoff. The swales are designed to retain one-inch of runoff from the designated basin area.

The Site Drainage Plan addresses City of Key West Code of Ordinances, Sec. 108-711, requirement to retain one-inch from the project site area.

Solid Waste

A hazardous fluids storage area will be created for the storage of oil and anti-freeze. Batteries and tires will be stored in interior cabinet and storage rack.

Locations for the trash/recycling and hazardous fluids areas will be in accordance with City of Key West Code of Ordinances, Sec. 108-279, not visible from the public right-of-way.

Parking Area Plan and ADA Accessibility

Proposed Site Plan provides two ADA accessible and 14 standard vehicle parking spaces, and six bicycle spaces. Conceptual Landscape and Lighting Plan shows frontage and perimeter landscape buffer and area lighting to be produced by building lamps and site dock fixtures that will be directed away from public areas. A portion of the rear vehicle storage lot will not be illuminated.

Driveway

The proposed site plan shows two driveways located less than 100 feet apart, which may create safety and operational hazards. Multiple driveway connections for a single parcel, including adjacent properties under common use, may be allowed with Florida Department of Transportation approval. Please coordinate driveway access entrances with FDOT.